



**Request for Proposal  
RFP-4666-19-DH**

**Professional Architectural Services for  
Fire Station #6**

**RESPONSES DUE:**

July 23, 2019 prior to 3:30 PM

**Accepting Electronic Responses Only**

**Responses Only Submitted Through the Rocky Mountain E-Purchasing System  
(RMEPS)**

**<https://www.rockymountainbidsystem.com/default.asp>**

(Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline. 800-835-4603)

**PURCHASING REPRESENTATIVE:**

Duane Hoff Jr., Senior Buyer

**[duaneh@gjcity.org](mailto:duaneh@gjcity.org)**

970-244-1545

This solicitation has been developed specifically for a Request for Proposal intended to solicit competitive responses for this solicitation, and may not be the same as previous City of Grand Junction solicitations. All offerors are urged to thoroughly review this solicitation prior to submitting. Submittal by **FAX, EMAIL or HARD COPY IS NOT ACCEPTABLE** for this solicitation.

# **REQUEST FOR PROPOSAL**

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## REQUEST FOR PROPOSAL

### **SECTION 1.0: ADMINISTRATIVE INFORMATION & CONDITIONS FOR SUBMITTAL**

- 1.1 Issuing Office:** This Request for Proposal (RFP) is issued by the City of Grand Junction, on behalf of the Grand Junction Fire Department. All contact regarding this RFP is directed to:
- RFP QUESTIONS:**  
Duane Hoff Jr., Senior Buyer  
[duaneh@gjcity.org](mailto:duaneh@gjcity.org)
- 1.2 Purpose:** The purpose of this RFP is to obtain proposals from qualified professional architectural firms to provide design services for the new Fire Station #6 facility.
- 1.3 The Owner:** The Owner is the City of Grand Junction, Colorado and is referred to throughout this Solicitation. The term Owner means the Owner or his authorized representative.
- 1.4 Non-Mandatory Site Visit Meeting:** **Prospective offerors are encouraged to attend a non-mandatory site visit meeting on July 9, 2019 at 9:00 am.** Meeting location shall begin at Fire Station #4 located at 2884 B ½ Road, Grand Junction, CO and conclude at the new Fire Station #6 site located at 731 27 Road, Grand Junction, CO. The purpose of this visit will be to inspect and to clarify the contents of this Invitation for Bids (IFB).
- 1.5 Compliance:** All participating Offerors, by their signature hereunder, shall agree to comply with all conditions, requirements, and instructions of this RFP as stated or implied herein. Should the Owner omit anything from this packet which is necessary to the clear understanding of the requirements, or should it appear that various instructions are in conflict, the Offeror(s) shall secure instructions from the Purchasing Division prior to the date and time of the submittal deadline shown in this RFP.
- 1.6 Submission:** Please refer to section 5.0 for what is to be included. **Each proposal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (<https://www.rockymountainbidsystem.com/default.asp>).** *This site offers both “free” and “paying” registration options that allow for full access of the Owner’s documents and for electronic submission of proposals. (Note: “free” registration may take up to 24 hours to process. Please Plan accordingly.)* Please view our “**Electronic Vendor Registration Guide**” at <http://www.gjcity.org/business-and-economic-development/bids/> for details. For proper comparison and evaluation, the City requests that proposals be formatted as directed in Section 5.0 “Preparation and Submittal of Proposals.” Submittals received that fail to follow this format may be ruled non-responsive. (Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline. **800-835-4603**).
- 1.7 Altering Proposals:** Any alterations made prior to opening date and time must be initialed by the signer of the proposal, guaranteeing authenticity. Proposals cannot be altered or amended after submission deadline.

- 1.8 Withdrawal of Proposal:** A proposal must be firm and valid for award and may not be withdrawn or canceled by the Offeror for sixty (60) days following the submittal deadline date, and only prior to award. The Offeror so agrees upon submittal of their proposal. After award this statement is not applicable.
- 1.9 Acceptance of Proposal Content:** The contents of the proposal of the successful Offeror shall become contractual obligations if acquisition action ensues. Failure of the successful Offeror to accept these obligations in a contract shall result in cancellation of the award and such vendor shall be removed from future solicitations.
- 1.10 Addenda:** All questions shall be submitted in writing to the appropriate person as shown in Section 1.1. Any interpretations, corrections and changes to this RFP or extensions to the opening/receipt date shall be made by a written Addendum to the RFP by the City Purchasing Division. Sole authority to authorize addenda shall be vested in the City of Grand Junction Purchasing Representative. Addenda will be issued electronically through the Rocky Mountain E-Purchasing website at [www.rockymountainbidsystem.com](http://www.rockymountainbidsystem.com). Offerors shall acknowledge receipt of all addenda in their proposal.
- 1.11 Exceptions and Substitutions:** All proposals meeting the intent of this RFP shall be considered for award. Offerors taking exception to the specifications shall do so at their own risk. The Owner reserves the right to accept or reject any or all substitutions or alternatives. When offering substitutions and/or alternatives, Offeror must state these exceptions in the section pertaining to that area. Exception/substitution, if accepted, must meet or exceed the stated intent and/or specifications. The absence of such a list shall indicate that the Offeror has not taken exceptions, and if awarded a contract, shall hold the Offeror responsible to perform in strict accordance with the specifications or scope of services contained herein.
- 1.12 Confidential Material:** All materials submitted in response to this RFP shall ultimately become public record and shall be subject to inspection after contract award. **“Proprietary or Confidential Information”** is defined as any information that is not generally known to competitors and which provides a competitive advantage. Unrestricted disclosure of proprietary information places it in the public domain. Only submittal information clearly identified with the words **“Confidential Disclosure”** and uploaded as a separate document shall establish a confidential, proprietary relationship. Any material to be treated as confidential or proprietary in nature must include a justification for the request. The request shall be reviewed and either approved or denied by the Owner. If denied, the proposer shall have the opportunity to withdraw its entire proposal, or to remove the confidential or proprietary restrictions. Neither cost nor pricing information nor the total proposal shall be considered confidential or proprietary.
- 1.13 Response Material Ownership:** All proposals become the property of the Owner upon receipt and shall only be returned to the proposer at the Owner’s option. Selection or rejection of the proposal shall not affect this right. The Owner shall have the right to use all ideas or adaptations of the ideas contained in any proposal received in response to this RFP, subject to limitations outlined in the entitled “Confidential Material”. Disqualification of a proposal does not eliminate this right.

- 1.14 Minimal Standards for Responsible Prospective Offerors:** A prospective Offeror must affirmably demonstrate their responsibility. A prospective Offeror must meet the following requirements.
- Have adequate financial resources, or the ability to obtain such resources as required.
  - Be able to comply with the required or proposed completion schedule.
  - Have a satisfactory record of performance.
  - Have a satisfactory record of integrity and ethics.
  - Be otherwise qualified and eligible to receive an award and enter into a contract with the Owner.
- 1.15 Open Records:** Proposals shall be received and publicly acknowledged at the location, date, and time stated herein. Offerors, their representatives and interested persons may be present. Proposals shall be received and acknowledged only so as to avoid disclosure of process. However, all proposals shall be open for public inspection after the contract is awarded. Trade secrets and confidential information contained in the proposal so identified by offer as such shall be treated as confidential by the Owner to the extent allowable in the Open Records Act.
- 1.16 Sales Tax:** The Owner is, by statute, exempt from the State Sales Tax and Federal Excise Tax; therefore, all fees shall not include taxes.
- 1.17 Public Opening:** Proposals shall be opened in the City Hall Auditorium, 250 North 5<sup>th</sup> Street, Grand Junction, CO, 81501, immediately following the proposal deadline. Offerors, their representatives and interested persons may be present. Only the names and locations on the proposing firms will be disclosed.

## SECTION 2.0: GENERAL CONTRACT TERMS AND CONDITIONS

- 2.1. Acceptance of RFP Terms:** A proposal submitted in response to this RFP shall constitute a binding offer. Acknowledgment of this condition shall be indicated on the Letter of Interest or Cover Letter by the autographic signature of the Offeror or an officer of the Offeror legally authorized to execute contractual obligations. A submission in response to the RFP acknowledges acceptance by the Offeror of all terms and conditions including compensation, as set forth herein. An Offeror shall identify clearly and thoroughly any variations between its proposal and the Owner's RFP requirements. Failure to do so shall be deemed a waiver of any rights to subsequently modify the terms of performance, except as outlined or specified in the RFP.
- 2.2. Execution, Correlation, Intent, and Interpretations:** The Contract Documents shall be signed by the Owner and Firm. By executing the contract, the Firm represents that they have familiarized themselves with the local conditions under which the Services is to be performed, and correlated their observations with the requirements of the Contract Documents. The Contract Documents are complementary, and what is required by any one, shall be as binding as if required by all. The intention of the documents is to include all labor, materials, equipment, services and other items necessary for the proper execution and completion of the scope of services as defined in the technical specifications and drawings contained herein. All drawings, specifications and copies furnished by the Owner are, and shall remain, Owner property. They are not to be used on any other project.

- 2.3. Permits, Fees, & Notices:** The Firm shall secure and pay for all permits, governmental fees and licenses necessary for the proper execution and completion of the services. The Firm shall give all notices and comply with all laws, ordinances, rules, regulations and orders of any public authority bearing on the performance of the services. If the Firm observes that any of the Contract Documents are at variance in any respect, he shall promptly notify the Owner in writing, and any necessary changes shall be adjusted by approximate modification. If the Firm performs any services knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Owner, he shall assume full responsibility and shall bear all costs attributable.
- 2.4. Responsibility for those Performing the Services:** The Firm shall be responsible to the Owner for the acts and omissions of all his employees and all other persons performing any of the services under a contract with the Firm.
- 2.5. Payment & Completion:** The Contract Sum is stated in the Contract and is the total amount payable by the Owner to the Firm for the performance of the services under the Contract Documents. Upon receipt of written notice that the services is ready for final inspection and acceptance and upon receipt of application for payment, the Owner's Project Manager will promptly make such inspection and, when they find the services acceptable under the Contract Documents and the Contract fully performed, the Owner shall make payment in the manner provided in the Contract Documents. Partial payments will be based upon estimates, prepared by the Firm, of the value of services performed and materials placed in accordance with the Contract Documents. The services performed by Firm shall be in accordance with generally accepted professional practices and the level of competency presently maintained by other practicing professional firms in the same or similar type of services in the applicable community. The services and services to be performed by Firm hereunder shall be done in compliance with applicable laws, ordinances, rules and regulations.
- 2.6. Protection of Persons & Property:** The Firm shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. Firm shall erect and maintain, as required by existing safeguards for safety and protection, and all reasonable precautions, including posting danger signs or other warnings against hazards promulgating safety regulations and notifying owners and users of adjacent utilities. When or where any direct or indirect damage or injury is done to public or private property by or on account of any act, omission, neglect, or misconduct by the Firm in the execution of the services, or in consequence of the non-execution thereof by the Firm, they shall restore, at their own expense, such property to a condition similar or equal to that existing before such damage or injury was done, by repairing, rebuilding, or otherwise restoring as may be directed, or it shall make good such damage or injury in an acceptable manner.
- 2.7. Changes in the Services:** The Owner, without invalidating the contract, may order changes in the services within the general scope of the contract consisting of additions, deletions or other revisions. All such changes in the services shall be authorized by Change Order/Amendment and shall be executed under the applicable conditions of the contract documents. A Change Order/Amendment is a written order to the Firm signed by

the Owner issued after the execution of the contract, authorizing a change in the services or an adjustment in the contract sum or the contract time.

- 2.8. Minor Changes in the Services:** The Owner shall have authority to order minor changes in the services not involving an adjustment in the contract sum or an extension of the contract time and not inconsistent with the intent of the contract documents.
- 2.9. Uncovering & Correction of Services:** The Firm shall promptly correct all services found by the Owner as defective or as failing to conform to the contract documents. The Firm shall bear all costs of correcting such rejected services, including the cost of the Owner's additional services thereby made necessary. The Owner shall give such notice promptly after discover of condition. All such defective or non-conforming services under the above paragraphs shall be removed from the site where necessary and the services shall be corrected to comply with the contract documents without cost to the Owner.
- 2.10. Acceptance Not Waiver:** The Owner's acceptance or approval of any services furnished hereunder shall not in any way relieve the proposer of their present responsibility to maintain the high quality, integrity and timeliness of his services. The Owner's approval or acceptance of, or payment for, any services shall not be construed as a future waiver of any rights under this Contract, or of any cause of action arising out of performance under this Contract.
- 2.11. Change Order/Amendment:** No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All amendments to the contract shall be made in writing by the Owner.
- 2.12. Assignment:** The Offeror shall not sell, assign, transfer or convey any contract resulting from this RFP, in whole or in part, without the prior written approval from the Owner.
- 2.13. Compliance with Laws:** Proposals must comply with all Federal, State, County and local laws governing or covering this type of service and the fulfillment of all ADA (Americans with Disabilities Act) requirements. Firm hereby warrants that it is qualified to assume the responsibilities and render the services described herein and has all requisite corporate authority and professional licenses in good standing, required by law.
- 2.14. Debarment/Suspension:** The Firm hereby certifies that the Firm is not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Governmental department or agency.
- 2.15. Confidentiality:** All information disclosed by the Owner to the Offeror for the purpose of the services to be done or information that comes to the attention of the Offeror during the course of performing such services is to be kept strictly confidential.
- 2.16. Conflict of Interest:** No public official and/or Owner employee shall have interest in any contract resulting from this RFP.
- 2.17. Contract:** This Request for Proposal, submitted documents, and any negotiations, when properly accepted by the Owner, shall constitute a contract equally binding between the Owner and Offeror. The contract represents the entire and integrated agreement between

the parties hereto and supersedes all prior negotiations, representations, or agreements, either written or oral, including the Proposal documents. The contract may be amended or modified with Change Orders, Field Orders, or Amendment.

- 2.18. Project Manager/Administrator:** The Project Manager, on behalf of the Owner, shall render decisions in a timely manner pertaining to the services proposed or performed by the Offeror. The Project Manager shall be responsible for approval and/or acceptance of any related performance of the Scope of Services.
- 2.19. Contract Termination:** This contract shall remain in effect until any of the following occurs: (1) contract expires; (2) completion of services; (3) acceptance of services or, (4) for convenience terminated by either party with a written *Notice of Cancellation* stating therein the reasons for such cancellation and the effective date of cancellation at least thirty days past notification.
- 2.20. Employment Discrimination:** During the performance of any services per agreement with the Owner, the Offeror, by submitting a Proposal, agrees to the following conditions:
- 2.20.1. The Offeror shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, age, disability, citizenship status, marital status, veteran status, sexual orientation, national origin, or any legally protected status except when such condition is a legitimate occupational qualification reasonably necessary for the normal operations of the Offeror. The Offeror agrees to post in conspicuous places, visible to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.
- 2.20.2. The Offeror, in all solicitations or advertisements for employees placed by or on behalf of the Offeror, shall state that such Offeror is an Equal Opportunity Employer.
- 2.20.3. Notices, advertisements, and solicitations placed in accordance with federal law, rule, or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.
- 2.21. Immigration Reform and Control Act of 1986 and Immigration Compliance:** The Offeror certifies that it does not and will not during the performance of the contract employ illegal alien services or otherwise violate the provisions of the Federal Immigration Reform and Control Act of 1986 and/or the immigration compliance requirements of State of Colorado C.R.S. § 8-17.5-101, *et.seq.* (House Bill 06-1343).
- 2.22. Ethics:** The Offeror shall not accept or offer gifts or anything of value nor enter into any business arrangement with any employee, official, or agent of the Owner.
- 2.23. Failure to Deliver:** In the event of failure of the Offeror to deliver services in accordance with the contract terms and conditions, the Owner, after due oral or written notice, may procure the services from other sources and hold the Offeror responsible for any costs resulting in additional purchase and administrative services. This remedy shall be in addition to any other remedies that the Owner may have.

- 2.24. Failure to Enforce:** Failure by the Owner at any time to enforce the provisions of the contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the contract or any part thereof or the right of the Owner to enforce any provision at any time in accordance with its terms.
- 2.25. Force Majeure:** The Offeror shall not be held responsible for failure to perform the duties and responsibilities imposed by the contract due to legal strikes, fires, riots, rebellions, and acts of God beyond the control of the Offeror, unless otherwise specified in the contract.
- 2.26. Indemnification:** Offeror shall defend, indemnify and save harmless the Owner and all its officers, employees, insurers, and self-insurance pool, from and against all liability, suits, actions, or other claims of any character, name and description brought for or on account of any injuries or damages received or sustained by any person, persons, or property on account of any negligent act or fault of the Offeror, or of any Offeror's agent, employee, sub-contractor or supplier in the execution of, or performance under, any contract which may result from proposal award. Offeror shall pay any judgment with cost which may be obtained against the Owner growing out of such injury or damages.
- 2.27. Independent Firm:** The Offeror shall be legally considered an Independent Firm and neither the Firm nor its employees shall, under any circumstances, be considered servants or agents of the Owner. The Owner shall be at no time legally responsible for any negligence or other wrongdoing by the Firm, its servants, or agents. The Owner shall not withhold from the contract payments to the Firm any federal or state unemployment taxes, federal or state income taxes, Social Security Tax or any other amounts for benefits to the Firm. Further, the Owner shall not provide to the Firm any insurance coverage or other benefits, including Workers' Compensation, normally provided by the Owner for its employees.
- 2.28. Nonconforming Terms and Conditions:** A proposal that includes terms and conditions that do not conform to the terms and conditions of this Request for Proposal is subject to rejection as non-responsive. The Owner reserves the right to permit the Offeror to withdraw nonconforming terms and conditions from its proposal prior to a determination by the Owner of non-responsiveness based on the submission of nonconforming terms and conditions.
- 2.29. Ownership:** All plans, prints, designs, concepts, etc., shall become the property of the Owner.
- 2.30. Oral Statements:** No oral statement of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this document and/or resulting agreement. All modifications to this request and any agreement must be made in writing by the Owner.
- 2.31. Patents/Copyrights:** The Offeror agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to the Offeror for any/all suits arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this RFP.

- 2.32. Venue:** Any agreement as a result of responding to this RFP shall be deemed to have been made in, and shall be construed and interpreted in accordance with, the laws of the City of Grand Junction, Mesa County, Colorado.
- 2.33. Expenses:** Expenses incurred in preparation, submission and presentation of this RFP are the responsibility of the company and can not be charged to the Owner.
- 2.34. Sovereign Immunity:** The Owner specifically reserves its right to sovereign immunity pursuant to Colorado State Law as a defense to any action arising in conjunction to this agreement.
- 2.35. Public Funds/Non-Appropriation of Funds:** Funds for payment have been provided through the Owner's budget approved by the City Council/Board of County Commissioners for the stated fiscal year only. State of Colorado statutes prohibit the obligation and expenditure of public funds beyond the fiscal year for which a budget has been approved. Therefore, anticipated orders or other obligations that may arise past the end of the stated Owner's fiscal year shall be subject to budget approval. Any contract will be subject to and must contain a governmental non-appropriation of funds clause.
- 2.36. Collusion Clause:** Each Offeror by submitting a proposal certifies that it is not party to any collusive action or any action that may be in violation of the Sherman Antitrust Act. Any and all proposals shall be rejected if there is evidence or reason for believing that collusion exists among the proposers. The Owner may or may not, at the discretion of the Owner Purchasing Representative, accept future proposals for the same service or commodities for participants in such collusion.
- 2.37. Gratuities:** The Firm certifies and agrees that no gratuities or kickbacks were paid in connection with this contract, nor were any fees, commissions, gifts or other considerations made contingent upon the award of this contract. If the Firm breaches or violates this warranty, the Owner may, at their discretion, terminate this contract without liability to the Owner.
- 2.38. Performance of the Contract:** The Owner reserves the right to enforce the performance of the contract in any manner prescribed by law or deemed to be in the best interest of the Owner in the event of breach or default of resulting contract award.
- 2.39. Benefit Claims:** The Owner shall not provide to the Offeror any insurance coverage or other benefits, including Worker's Compensation, normally provided by the Owner for its employees.
- 2.40. Default:** The Owner reserves the right to terminate the contract in the event the Firm fails to meet delivery or completion schedules, or otherwise perform in accordance with the accepted proposal. Breach of contract or default authorizes the Owner to purchase like services elsewhere and charge the full increase in cost to the defaulting Offeror.
- 2.41. Multiple Offers:** If said proposer chooses to submit more than one offer, THE ALTERNATE OFFER must be clearly marked "Alternate Proposal". The Owner reserves the right to make award in the best interest of the Owner.

**2.42. Cooperative Purchasing:** Purchases as a result of this solicitation are primarily for the Owner. Other governmental entities may be extended the opportunity to utilize the resultant contract award with the agreement of the successful provider and the participating agencies. All participating entities will be required to abide by the specifications, terms, conditions and pricings established in this Proposal. The quantities furnished in this proposal document are for only the Owner. It does not include quantities for any other jurisdiction. The Owner will be responsible only for the award for our jurisdiction. Other participating entities will place their own awards on their respective Purchase Orders through their purchasing office or use their purchasing card for purchase/payment as authorized or agreed upon between the provider and the individual entity. The Owner accepts no liability for payment of orders placed by other participating jurisdictions that choose to piggy-back on our solicitation. Orders placed by participating jurisdictions under the terms of this solicitation will indicate their specific delivery and invoicing instructions.

**2.43. Definitions:**

- 2.43.1. "Offeror" and/or "Proposer" refers to the person or persons legally authorized by the Consultant to make an offer and/or submit a response (fee) proposal in response to the Owner's RFP.
- 2.43.2. The term "Services" includes all labor, materials, equipment, and/or services necessary to produce the requirements of the Contract Documents.
- 2.43.3. "Firm" is the person, organization, firm or consultant identified as such in the Agreement and is referred to throughout the Contract Documents. The term Firm means the Firm or his authorized representative. The Firm shall carefully study and compare the General Contract Conditions of the Contract, Specification and Drawings, Scope of Services, Addenda and Modifications and shall at once report to the Owner any error, inconsistency or omission he may discover. Firm shall not be liable to the Owner for any damage resulting from such errors, inconsistencies or omissions. The Firm shall not commence services without clarifying Drawings, Specifications, or Interpretations.
- 2.43.4. "Sub-Contractor" is a person or organization who has a direct contract with the Firm to perform any of the services at the site. The term Sub-Contractor is referred to throughout the contract documents and means a Sub-Contractor or his authorized representative.

**2.44. Public Disclosure Record:** If the Proposer has knowledge of their employee(s) or sub-proposers having an immediate family relationship with an Owner employee or elected official, the proposer must provide the Purchasing Representative with the name(s) of these individuals. These individuals are required to file an acceptable "Public Disclosure Record", a statement of financial interest, before conducting business with the Owner.

**SECTION 3.0: INSURANCE REQUIREMENTS**

**3.1 Insurance Requirements:** The selected Firm agrees to procure and maintain, at its own cost, policy(s) of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Firm shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant

to this Section by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

Firm shall procure and maintain and, if applicable, shall cause any Sub-Contractor of the Firm to procure and maintain insurance coverage listed below. Such coverage shall be procured and maintained with forms and insurers acceptable to The Owner. All coverage shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage. Minimum coverage limits shall be as indicated below unless specified otherwise in the Special Conditions:

(a) Worker Compensation: Firm shall comply with all State of Colorado Regulations concerning Workers' Compensation insurance coverage.

(b) General Liability insurance with minimum combined single limits of:

ONE MILLION DOLLARS (\$1,000,000) each occurrence and  
ONE MILLION DOLLARS (\$1,000,000) per job aggregate.

The policy shall be applicable to all premises, products and completed operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground (XCU) hazards. The policy shall contain a severability of interests provision.

(c) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than:

ONE MILLION DOLLARS (\$1,000,000) each occurrence and  
ONE MILLION DOLLARS (\$1,000,000) aggregate

(d) Professional Liability & Errors and Omissions Insurance policy with a minimum of:

ONE MILLION DOLLARS (\$1,000,000) per claim

This policy shall provide coverage to protect the Firm against liability incurred as a result of the professional services performed as a result of responding to this Solicitation.

With respect to each of Consultant's owned, hired, or non-owned vehicles assigned to be used in performance of the Services. The policy shall contain a severability of interests provision.

**3.2 Additional Insured Endorsement:** The policies required by paragraphs (b), and (c) above shall be endorsed to include the Owner and the Owner's officers and employees as additional insureds. Every policy required above shall be primary insurance, and any insurance carried by the Owner, its officers, or its employees, or carried by or provided through any insurance pool of the Owner, shall be excess and not contributory insurance to

that provided by Firm. The Firm shall be solely responsible for any deductible losses under any policy required above.

## SECTION 4.0: SPECIFICATIONS/SCOPE OF SERVICES

- 4.1. General/Background:** The City of Grand Junction is interested in hiring a professional licensed architect to provide design and construction collaboration services for the construction of the new Fire Station #6 facility to be located at 731 27 Road, Grand Junction, CO.

Fire station #6 shall be a full service fire station with firefighters certified as emergency medical service (EMS) technicians. Station square footage requirements are estimated to be approximately 8500 square feet and capable of housing 3 to 4 pieces of fire equipment including an engine and ambulance. The station will be staffed 24 hours a day (3 shifts of up to 8 fire personnel). Central HVAC plus special ventilation systems will be required. An amount equal to one percent (1%) of the construction expenditures will be used to provide for art work at the facility. A list of minimum and optional building/site requirements are included in this solicitation package.

The time line for this project is ambitious. All planning, design and construction efforts will be expedited to the extent possible. The City is desirous of a late (Fall) 2020 occupancy date.

**NOTE: The City of Grand Junction owns plans from the previously developed and constructed Fire Station #4 and intends to use these plans as the basis for the new Fire Station #6 development and construction. (See attached PDF plans) Actual electronic plans will be provided to the awarded architectural firm. The architect will work with the City to modify the existing plans, as needed, for the new fire station. From this, the awarded firm shall provide final drawings, scope, and specifications for the new proposed Fire Station #6. It is the City's intent that these plans serve as a prototype design for future fire stations of similar size.**

- 4.2. Special Conditions/Provisions:**

**4.2.1 Non-Mandatory Site Visit Meeting:** Prospective offerors are encouraged to attend a non-mandatory site visit meeting on July 9, 2019 at 9:00 am. Meeting location shall begin at Fire Station #4 located at 2884 B ½ Road, Grand Junction, CO and conclude at the new Fire Station #6 site located at 731 27 Road, Grand Junction, CO. The purpose of this visit will be to inspect and to clarify the contents of this Invitation for Bids (IFB).

**4.2.2 Price/Fees:** Project pricing shall be all inclusive, to include, but not be limited to: labor, materials, equipment, travel, design, meetings, drawings, engineering work, shipping/freight, licenses, fees, etc.

Provide a not to exceed cost using Solicitation Response Form found in Section 7, accompanied by a complete list of costs breakdown.

All fees will be considered by the Owner to be negotiable.

**4.2.3 Codes:** All designs shall be in accordance with most current and applicable State, Federal, County, and Municipal building codes and regulations pertaining to fire station construction.

#### **4.3. Specifications/Scope of Services:**

##### **Primary Areas:**

- Residential Space
- Office Space
- Public Space
- Fire Equipment Storage and Maintenance Space
- Apparatus Storage Space
- Department Special Equipment Storage (throughout facility).

##### **Residential Space:**

- Dayroom to accommodate 8-10 personnel.
- Kitchen with three (3) separate food storage lockers (min. 28 cu. ft. ea.) and provisions for three (3) refrigerators (min. 22 cu. ft. ea.), two (2) microwaves, one (1) dishwasher, and one (1) gas stove.
- Dining area sufficient in size for 8-10 personnel
- Eight (8) individual bedrooms each with: 3 clothing lockers (min. 44 cu. ft. ea.), cable service, phone service and computer connections with sufficient space for a desk.
- Minimum of three (3) individual restrooms with one (1) shower, one (1) sink, one (1) toilet, and one (1) urinal in each.
- Laundry room with washer and dryer hookups, a utility sink, and storage for laundry supplies. (2 washer/dryer sets preferred)

##### **Office Space:**

- Office #1 with individual work space for 4 fire personnel, each with a computer, 1-2 shared desk phones and 1 shared printer/fax/copier unit.
- Office #2 is a private office with work space for 1 fire Captain with a desk phone, computer and printer.
- Office #3 is a private office with work space for 1 fire Battalion Chief with a desk, phone, computer, and printer.

##### **Public Space:**

- One (1) public unisex restroom.
- Space for a drinking fountain.

##### **Fire Fighter and Equipment Storage/Maintenance Space:**

- Shop area.
- SCBA compressor room with 208v 3-phase electrical power.
- Bunker storage and cleaning area (28 bunker set minimum).

- Physical fitness room.
- Hose cleaning, drying and storage area. A hose tower is preferred for drying hose.
- EMS storage area
- General supplies storage area.

**Fire Apparatus Storage Space:**

- Three (3) drive-through bays (minimum - 60 feet long) with full length floor trench drains in each.
- Apparatus exhaust system, AIRVAC 911 Exhaust Removal System.
- Infrared radiant heat throughout.
- Three (3) phase electrical power (208 volt) supply for air trailer.
- Six (6) ceiling mounted, retractable, compressed air cord reels (copper piped to fixed compressor).
- Six (6) ceiling mounted, retractable, electric cord reels.
- Two (2) ceiling mounted, 2" cold water outlets with shut-off valves.

**Miscellaneous Equipment Space (located in various locations throughout the facility):**

- Emergency generator.
- Industrial capacity, stationary air compressor.
- SCBA compressor
- Bunker gear extraction washer.
- Hose washer.
- Hose racks.
- Radio antenna.
- Communication line. Fiber optic preferred.
- First In station alerting system.
- Flag pole.
- Information Technology (IT) room (minimum 8 ft. x 8 ft.)
- Fire sprinkler system.
- Employee parking
- Public parking
- Dumpster enclosure

**The architectural firm awarded as a result of this RFP and subsequent proposal shall:**

- Based off of previously developed Fire Station #4 plans, drawings, scope, and specifications, prepare all necessary plans, drawings, scope, and specifications for the construction of Fire Station #6 facility to include site and utility infrastructure.
- Accomplish and prepare required reports for survey and testing.
- Site/utility planning and design.
- Building design and engineering.

- Develop layout and flow of facility in collaboration with the City Fire Department team.
- On-site inspection of engineered features.
- Assurance of specification compliance.
- Participate with the City Fire Department, Public Works Department, Community Development Department, and the selected Construction Management Firm to facilitate required public hearings and neighborhood meetings as a part of the zoning and permit process. In addition, neighborhood stakeholder meetings may be held throughout the process to insure the neighboring community is kept informed of the process.
- All construction drawings shall be stamped by a professional architect, registered in the State of Colorado.
- Assist the City in the development of the Invitation for Bid (IFB) for release to the public after Construction Documents have been completed, including attendance at the pre-bid meeting, answering contractor's questions, and reviewing IFB responses.
- The Architectural Firm awarded as a result of this RFP process will be required to fully collaborate with the City Project Manager, City Fire Department Team, and the selected Construction Management Firm. They shall insure the final design and construction of the facility complies with the requirements of the Fire Department, and City of Grand Junction conditions, covenants and restrictions. The City shall require maximum collaboration by the Design Firm and the Construction Management Firm to insure value engineering through constructability assessments during the preconstruction phase as well as the construction phase of the project.
- All finalized drawings, plans, scope, specifications (both hard copy and electronic, to include CAD versions), shall become the property of the City.

**The City of Grand Junction shall provide:**

- Apply for and coordinate all City required permits, zoning changes, etc. including costs.
- Provide plans, drawings, scope, and specifications originally developed for Fire Station #4, which shall be the basis for development of plans, drawings, scope and specifications for Fire Station #6.
- Provide a base map of the property showing topographic contour, existing features, property pins, boundary survey, existing ditches, etc. as necessary to develop building site plan. Base map will be provided electronically in Auto Cad drawing format.

- Schedule any neighborhood meetings including facilitate public notices and mailings.
- Provide a list of mandatory station requirements and optional desires, such as:
  - Lengthen the apparatus bays to original Fire Station #4 design.
  - Dryer vent should exit through wall with shorter distance then through the ceiling.
  - Eight bedrooms to original Fire Station #4 design.
  - Expand PT room to original Fire Station design/Roll up door options.
  - Lower overall height of station to original Fires Station design.
  - Raise roof trusses over the “living” quarters to increase above ceiling space to run IT/AV cable.
  - Provide pathway between Hose Tower and IT Closet.
  - Provide masonry veneer at Hose Tower.
  - Increase slope at floor drains in apparatus bay.
  - Delete interior partitions around air compressor in Shop.
  - Provide a decontamination sink on both sides of apparatus bays.
  - Delete SCBA Room, not required.
  - Delete lighting control panel.
  - Provide one (1) additional office for future Battalion Chief.
  - Rotate Lounge 90 degrees to accommodate recliners better.
  - Landscape design shall not be a part of this contract.
  - Add gutters to design.
  - Redesign hose tower catwalk/beam.
  - Add smoke removal system, AIRVAC 911 Exhaust Removal System.
  - Add power for Air Trailer.

**4.4. Attached Documents:**

1. As-Built Drawings for Fire Station #4
2. Project Site Map

**4.5. RFP Tentative Time Schedule:**

- |   |                        |
|---|------------------------|
| • Request for Proposal available:                 | July 1, 2019           |
| • Non-Mandatory Site Visit                        | July 9, 2019           |
| • Inquiry deadline, no questions after this date: | July 11, 2019          |
| • Addendum Posted:                                | July 12, 2019          |
| • Submittal deadline for proposals:               | July 23, 2019          |
| • Owner evaluation of proposals:                  | July 24-August 1, 2019 |
| • Interviews (if required)                        | August 13, 2019        |
| • Final selection:                                | August 15, 2019        |
| • Contract execution:                             | August 23, 2019        |
| • Work begins no later than:                      | August 26, 2019        |

**4.6. Questions Regarding Scope of Services:**

Duane Hoff Jr., Senior Buyer  
[duaneh@gjcity.org](mailto:duaneh@gjcity.org)

## SECTION 5.0: PREPARATION AND SUBMITTAL OF PROPOSALS

**Submission:** Each proposal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (<https://www.rockymountainbidsystem.com/default.asp>). This site offers both “free” and “paying” registration options that allow for full access of the Owner’s documents and for electronic submission of proposals. (Note: “free” registration may take up to 24 hours to process. Please Plan accordingly.) Please view our “**Electronic Vendor Registration Guide**” at <http://www.gjcity.org/BidOpenings.aspx> for details. (Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline **800-835-4603**). For proper comparison and evaluation, the City requests that proposals be formatted as directed in Section 5.0 “Preparation and Submittal of Proposals.” Offerors are required to indicate their interest in this Project, show their specific experience and address their capability to perform the Scope of Services in the Time Schedule as set forth herein. For proper comparison and evaluation, the Owner requires that proposals be formatted **A to F**:

- A. Cover Letter:** Cover letter shall be provided which explains the Firm’s interest in the project. The letter shall contain the name/address/phone number/email of the person who will serve as the firm's principal contact person with Owner’s Contract Administrator and shall identify individual(s) who will be authorized to make presentations on behalf of the firm. The statement shall bear the signature of the person having proper authority to make formal commitments on behalf of the firm. By submitting a response to this solicitation the Firm agrees to all requirements herein.
- B. Qualifications/Experience/Credentials:** Proposers shall provide their qualifications for consideration as a contract provider to the City of Grand Junction and include prior experience in similar projects.
- C. Strategy and Implementation Plan:** Describe your (the firm’s) interpretation of the Owner’s objectives with regard to this RFP. Describe the proposed strategy and/or plan for achieving the objectives of this RFP. The Firm may utilize a written narrative or any other printed technique to demonstrate their ability to satisfy the Scope of Services. The narrative should describe a logical progression of tasks and efforts starting with the initial steps or tasks to be accomplished and continuing until all proposed tasks are fully described and the RFP objectives are accomplished. Include a **time schedule** for completion of your firm’s implementation plan and an estimate of time commitments from Owner staff.
- D. References:** A minimum of three (3) **references** with name, address, telephone number, and email address that can attest to your experience in projects of similar scope and size.
- E. Fee Proposal:** Provide a not to exceed cost using Solicitation Response Form found in Section 7, accompanied by a complete list of costs breakdown.
- F. Additional Data (optional):** Provide any additional information that will aid in evaluation of your qualifications with respect to this project.

## SECTION 6.0: EVALUATION CRITERIA AND FACTORS

- 6.1 Evaluation:** An evaluation team shall review all responses and select the proposal or proposals that best demonstrate the capability in all aspects to perform the scope of services and possess the integrity and reliability that will ensure good faith performance.
- 6.2 Intent:** Only respondents who meet the qualification criteria will be considered. Therefore, it is imperative that the submitted proposal clearly indicate the firm's ability to provide the services described herein.

Submittal evaluations will be done in accordance with the criteria and procedure defined herein. The Owner reserves the right to reject any and all portions of proposals and take into consideration past performance. The following parameters will be used to evaluate the submittals (in no particular order of priority):

- Responsiveness of submittal to the RFP
- Understanding of the project and the objectives
- Experience/Demonstrated capability
- Necessary resources
- Strategy & Implementation Plan
- References
- Fees

Owner also reserves the right to take into consideration past performance of previous awards/contracts with the Owner of any vendor, Firm, supplier, or service provider in determining final award(s).

The Owner will undertake negotiations with the top rated firm and will not negotiate with lower rated firms unless negotiations with higher rated firms have been unsuccessful and terminated.

- 6.3 Oral Interviews:** Interviews are not anticipated for this solicitation process. However, the Owner reserves the right to invite the most qualified rated proposer(s) to participate in oral interviews, if needed.
- 6.4 Award:** Firms shall be ranked or disqualified based on the criteria listed in Section 6.2. The Owner reserves the right to consider all of the information submitted and/or oral presentations, if required, in selecting the project Firm.

**SECTION 7.0: SOLICITATION RESPONSE FORM**  
**RFP-4666-19-DH Professional Architectural Services for Fire Station #6**

*Offeror must submit entire Form completed, dated and signed.*

**1) Not to exceed cost to provide design services for Fire Station #6, per solicitation documents:**

**NOT TO EXCEED COST \$ \_\_\_\_\_**

**WRITTEN: \_\_\_\_\_ dollars.**

-----  
*The Owner reserves the right to accept any portion of the services to be performed at its discretion*  
-----

The undersigned has thoroughly examined the entire Request for Proposals and therefore submits the proposal and schedule of fees and services attached hereto.

This offer is firm and irrevocable for sixty (60) days after the time and date set for receipt of proposals.

The undersigned Offeror agrees to provide services and products in accordance with the terms and conditions contained in this Request for Proposal and as described in the Offeror's proposal attached hereto; as accepted by the Owner.

Prices in the proposal have not knowingly been disclosed with another provider and will not be prior to award.

- Prices in this proposal have been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.
- No attempt has been made nor will be to induce any other person or firm to submit a proposal for the purpose of restricting competition.
- The individual signing this proposal certifies they are a legal agent of the offeror, authorized to represent the offeror and is legally responsible for the offer with regard to supporting documentation and prices provided.
- Direct purchases by the City of Grand Junction are tax exempt from Colorado Sales or Use Tax. Tax exempt No. 98-903544. The undersigned certifies that no Federal, State, County or Municipal tax will be added to the above quoted prices.
- City of Grand Junction payment terms shall be Net 30 days.
- Prompt payment discount of \_\_\_\_\_ percent of the net dollar will be offered to the Owner if the invoice is paid within \_\_\_\_\_ days after the receipt of the invoice.

RECEIPT OF ADDENDA: the undersigned Firm acknowledges receipt of Addenda to the Solicitation, Specifications, and other Contract Documents. State number of Addenda received: \_\_\_\_\_

It is the responsibility of the Proposer to ensure all Addenda have been received and acknowledged.

\_\_\_\_\_  
Company Name – (Typed or Printed)

\_\_\_\_\_  
Authorized Agent – (Typed or Printed)

\_\_\_\_\_  
Authorized Agent Signature

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Address of Offeror

\_\_\_\_\_  
E-mail Address of Agent

\_\_\_\_\_  
City, State, and Zip Code

\_\_\_\_\_  
Date

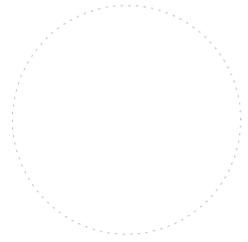
# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

CHAMBERLIN ARCHITECTS  
437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804

725 Saint Joseph St., Suite B1  
Rapid City, South Dakota 57701  
T 605.355.6804

www.chamberlinarchitects.com



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

### COVER SHEET

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

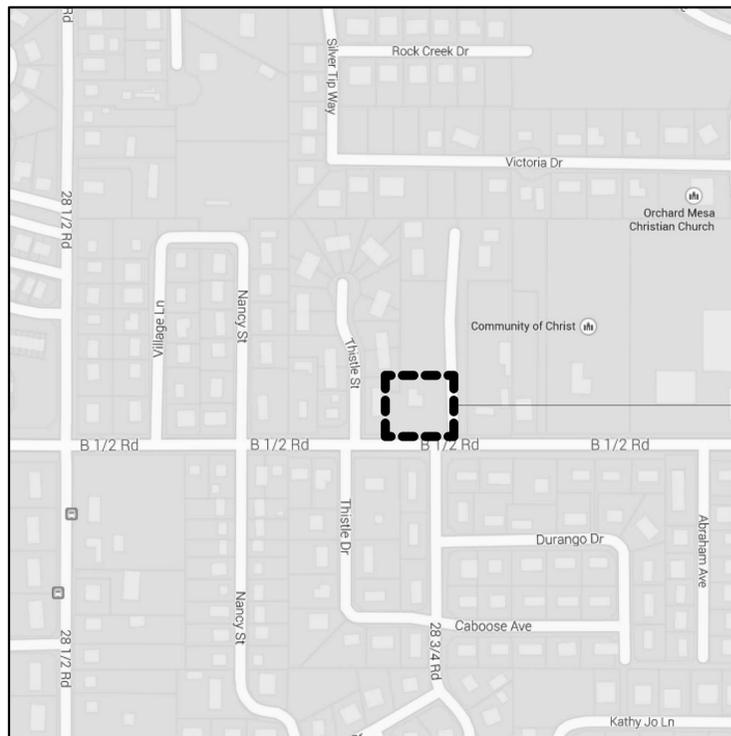
PROJECT NO: 1443 **G001**

### LOCALITY MAP



BUILDING SITE

### VICINITY MAP



BUILDING SITE

### OWNER

CITY OF GRAND JUNCTION  
250 N. 5th Street  
Grand Junction, CO 81501

### DESIGN TEAM

**ARCHITECT:**  
CHAMBERLIN ARCHITECTS  
437 Main Street  
Grand Junction, CO 81501  
(970) 242-6804

**CIVIL:**  
AUSTIN CIVIL GROUP  
123 North 7th Street, Suite 300  
GRAND JUNCTION, CO 81501  
PHONE: (970) 242-7540

**LANDSCAPE:**  
JULEE WOLVERTON  
61945 Nighthawk Road  
Montrose, CO 81403  
(970) 249-9392

**STRUCTURAL:**  
LINDAUER DUNN, INC  
802 Rood Avenue  
Grand Junction, CO 81501  
(970) 241-0900

**MECHANICAL:**  
RALSTON MECHANICAL CONSULTING, LLC  
356 Echo Canyon Court  
Grand Junction, CO 81507  
(970) 434-9819

**ELECTRICAL:**  
GRAND VALLEY ENGINEERING SOLUTIONS  
2961 Circling Hawk Court  
Grand Junction, CO 81503  
(970) 256-0353

### DRAWING LIST

- GENERAL
- G001 COVER SHEET
- CIVIL
- C-2 GENERAL NOTES & DETAILS
- C-3 DEMOLITION PLAN
- C-4 SITE PLAN
- C-5 UTILITY PLAN
- C-6 UTILITY DETAILS
- C-7 HORIZONTAL CONTROL PLAN
- C-8 OVERALL GRADING PLAN
- C-9 GRADING PLAN SHEET 1
- C-10 GRADING PLAN SHEET 2
- LANDSCAPE
- L101 LANDSCAPE PLAN
- L201 LANDSCAPE ENLARGEMENT PLAN
- L301 LANDSCAPE LEGENDS
- L401 LANDSCAPE DETAILS
- IRRIGATION
- IR-101 IRRIGATION PLAN
- IR-201 IRRIGATION LEGEND
- IR-301 IRRIGATION NOTES & DETAILS
- IR-302 IRRIGATION DETAILS
- ARCHITECTURAL
- A001 NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES
- A002 CODE CHECKLIST & LIFE SAFETY PLAN
- A101 FLOOR PLAN
- A121 REFLECTED CEILING PLAN
- A141 ROOF PLAN
- A151 FURNITURE, FIXTURES, AND EQUIPMENT
- A161 INTERIOR FINISH PLAN
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- A301 ENLARGED FLOOR PLANS
- A401 INTERIOR ELEVATIONS
- A402 INTERIOR ELEVATIONS
- A403 INTERIOR ELEVATIONS
- A404 INTERIOR ELEVATIONS
- A405 INTERIOR ELEVATIONS
- A406 INTERIOR ELEVATIONS
- A501 WALL SECTIONS
- A502 WALL SECTIONS
- A503 WALL SECTIONS
- A504 WALL SECTIONS
- A601 ARCHITECTURAL DETAILS

### DRAWING LIST

- A602 ARCHITECTURAL DETAILS
- A603 ARCHITECTURAL DETAILS
- A604 MONUMENT SIGN DETAILS
- A621 CASEWORK DETAILS
- A622 CASEWORK SECTIONS
- A701 DOOR SCHEDULE, FRAME, DOOR, WINDOW & SIGN TYPES
- A702 DOOR DETAILS
- A721 WINDOW DETAILS
- A741 COLOR SCHEDULE
- STRUCTURAL
- S100 GENERAL NOTES
- S101 SCHEDULE OF SPECIAL INSPECTIONS
- S102 FOUNDATION PLAN
- S103 LOW ROOF FRAMING PLAN
- S104 UPPER ROOF FRAMING PLAN
- S200 TYPICAL FOUNDATION DETAILS
- S201 MASONRY DETAILS
- S202 CMU WALL ELEVATIONS
- S203 CMU WALL ELEVATIONS
- S204 TYPICAL STEEL FRAMING DETAILS
- S205 TYPICAL WOOD FRAMING DETAILS
- S300 FOUNDATION SECTIONS
- S301 FRAMING SECTIONS
- S302 FRAMING SECTIONS
- MECHANICAL
- M001 MECHANICAL SCHEDULES AND LEGEND
- M101 MECHANICAL PLAN
- M301 MECHANICAL DETAILS
- PLUMBING
- P101 PLUMBING PLAN
- P201 ENLARGED PLUMBING PLAN & GAS PIPING SITE PLAN
- P301 PLUMBING DETAILS
- ELECTRICAL
- E101 LEGEND, SITE PLAN, ONE LINE & DETAILS
- E201 LIGHTING PLAN
- E301 POWER PLAN
- E302 LIGHTING PROTECTION & ROOF PLAN
- E401 SYSTEMS PLAN
- E402 ALERTING SYSTEM PLAN
- E501 SCHEDULES
- E502 SCHEDULES
- E503 SCHEDULES
- E504 SCHEDULES
- E505 SCHEDULES

100% CONSTRUCTION DOCUMENTS

**GENERAL CONSTRUCTION NOTES**

- Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
- The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.
- Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
- Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plot. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.
- All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.
- Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.
- All earthwork operations shall be completed in accordance with the recommendations and requirements of the Geotechnical and Geologic Hazards Investigation Report by Huddleston-Berry, Project #00390-0003, dated November 20, 2014.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.
- All utility installations within the City of Grand Junction jurisdiction are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.
- All sewer lines must be tested and approved per Orchard Mesa Sanitation District requirements PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.

11. In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All work within the City of Grand Junction Right-of-Way shall require a "Work in the Right-of-Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

13. All concrete shall have a minimum of 6: Class VI ABC, unless otherwise noted.

**PAVING CONSTRUCTION NOTES**

- All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.
- Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. The subgrade soils shall be scarified to a depth of 12-inches, moisture conditioned, and recompact to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T-99.
- Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.
- Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack-coated before proposed surface is placed.
- All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..
- Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less than 10 feet but not less than 5 feet.
- PAVEMENT SECTION: Automobile Parking – "Hot-Mix Asphalt" 3-inch HMA over 6-inch CDOT Class 6 over 6" CDOT Class 3 over 12-inch scarified & recompact subgrade. Truck Traffic – "Hot-Mix Asphalt" 3-inch HMA over 6-inch CDOT Class 6 over 16" CDOT Class 3 over 12-inch scarified & recompact subgrade. "Rigid Pavement" 6-inch or 8-inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6-inch CDOT Class 6 over 12-inch scarified & recompact subgrade.

**Summary of Pavement Recommendations**

**Automobile Parking Areas**  
EDLA = 5, Structural Number = 2.75

ALTERNATIVE	PAVEMENT SECTION (Inches)				TOTAL
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	
Full Depth HMA	7.0				7.0
A	3.0	10.0			13.0
B	4.0	7.0			11.0
C	3.0	6.0	6.0		15.0
Rigid Pavement		6.0		6.0	12.0

**Truck Traffic Areas**  
EDLA = 30, Structural Number = 3.70

ALTERNATIVE	PAVEMENT SECTION (Inches)				TOTAL
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	
Full Depth HMA	9.0				9.0
A	3.0	17.0			20.0
B	4.0	14.0			18.0
C	3.0	6.0	16.0		25.0
Rigid Pavement		6.0		8.0	14.0

**WATER LINE CONSTRUCTION**

- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BACKFLOW PREVENTION EQUIPMENT AND ABOVE GROUND ENCLOSURES. Double Check Detector Assembly design shall be "Watts" Series L709DCDA assemblies or FEBCO Masterseries 876VST (N-Pattern), or Ute Water Approved equal.
- Above Ground Enclosures shall be as manufactured by Aqua Shield or WATTS or approved equal and be aluminum, insulated with freeze protection, heated, with service access and mounted on a 4" minimum thick concrete slab. Aqua Shield #NBPFB or Watts Model # WB-N6 or Ute Water approved Equal.
- All water line and water service construction shall be constructed in accordance with the Ute Water District Standards and Specifications.
- Contractor shall notify the Ute Water Conservancy 48 hours prior to the beginning of construction of any water line related work.
- All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6".
- All water mains to be DR-18 PVC, conforming to AWWA C-900.
- Ductile Iron fittings to conform to AWWA C-110.
- Fire Hydrants shall conform to AWWA C-502, Mueller Super Centurian or Kennedy Gaurdian.
- All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C-651-86 or latest revision thereof. No separate pay.
- All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.
- All Ute Water Mains are to be bedded per City of Grand Junction Standards.
- All water service lines 2" and smaller from the meter to the building structure shall be "Pure Core" blue, 200 psi rated HDPE pipe, or approved equal.

**STORM SEWER CONSTRUCTION NOTES**

- All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.
- All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
- All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
- All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:  
12 inch to 36 inch shall meet ASSHTO M294  
42 inch to 48 inch shall meet ASSHTO MP6  
All HDPE pipe up to 30" shall be backfilled to springline with Class-6.

**FUGITIVE DUST CONTROL PLAN**

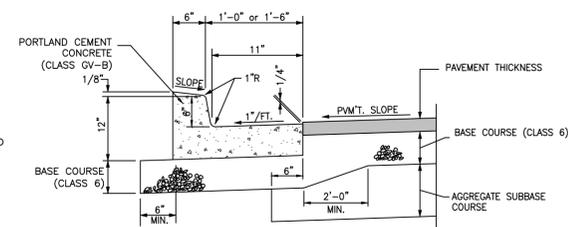
- Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.
- Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.
- Haul road both into and around the site are to be sprayed as needed to suppress dust.
- The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.
- Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

UTILITIES AND AGENCIES			
ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241-7076	
UTE WATER	JIM DAUGHEY	242-7491	
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762	
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106	
XCEL ENERGY	JOHN PRICE	244-2693	
CENTURY LINK	CHRIS JOHNSON	244-4311	
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750	

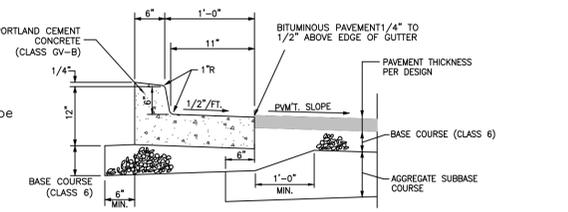
**SANITARY SEWER CONSTRUCTION NOTES**

- The Orchard Mesa Sanitation District plan review is only for general conformance with the Orchard Mesa Sanitation District Design Criteria. The District is not responsible for the accuracy and adequacy of the design, of dimensions, and elevations which shall be confirmed and correlated at the job site. The Orchard Mesa Sanitation District, through the approval of this document, assumes no responsibility other than as stated above for the completeness and/or accuracy of this document.
- All sewer line construction shall conform to the Orchard Mesa Sanitation District's Standards and Specifications.
- All materials and workmanship shall be subject to inspection by the District. The District reserves the right to accept or reject any materials and workmanship that does not conform to its Standards and Specifications.
- The Contractor shall have one (1) signed set of the Plans (approved by the Orchard Mesa Sanitation District), and one (1) copy of the appropriate Orchard Mesa Sanitation District STANDARDS AND SPECIFICATIONS at the job site at all times. The Contractor shall also have a copy of any permits necessary to complete the Work.
- The Contractor shall notify the District at least 48 hours prior to commencement of construction.
- All sanitary sewer pipe shall be PVC SDR35 unless otherwise specified. All pipe joints shall be 13 foot joints unless otherwise approved by the District Engineer.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
- All trenches shall be compacted to 95% as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab to a level required by City of Grand Junction Standard's and Specifications. A copy of the compaction test results shall be provided to the District during the course of the project.
- A minimum 10-foot separation shall be maintained at all times between waterlines and sewer line (except at specified crossings).
- All sanitary sewer services to be 4" PVC SDR35 unless otherwise specified.
- Sewer service stub-outs shall extend 14 feet beyond the property line and shall be glue-capped and marked with a 2x4 post painted green.
- Manholes shall be constructed as shown on the Orchard Mesa Sanitation District Standard Sanitary Sewer Detail Sheet. At the District's direction, the Contractor shall field vacuum test manholes to ensure that they are of watertight construction and that manholes have not been damaged during installation.
- No service lines shall be connected directly into manholes.
- All work to install the new sewer service to the District's 10-inch sewer main is to be completed by the District's Contractor, unless otherwise approved by the District. The District's Contractor will also extend the sewer service line from the new top connection to the property line. All the District's expenses related to installing the new tap and extending the new sewer service line to the property line are to be paid by the Petitioner.
- Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20 degrees to 30 degrees from the upstream main sewer line into the manhole. Manhole steps shall be installed in vertical alignment with the ring and cover.
- Steel paving rings are not allowed for grade adjustment unless otherwise approved by the District.
- The Contractor is responsible for all required sewer line testing to be completed in the presence of the District Engineer or their representative. Final testing is to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing Initial Acceptance of the sewer line extension.
- Sanitary sewer cleanouts located within traveled surface areas shall be provided with a cast-iron traffic rated lamp hole cover.

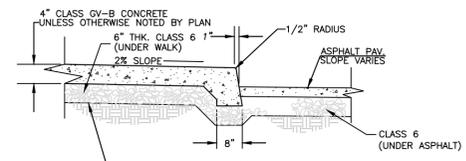
**TYPICAL CONCRETE SECTIONS**



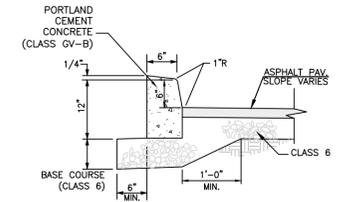
**A STANDARD 1'-6" CURB AND GUTTER**  
NOT TO SCALE



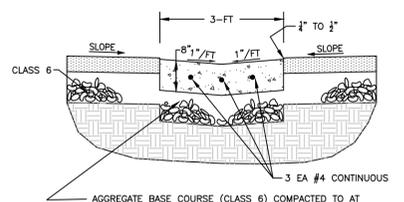
**B 1'-6" SPILL CURB AND GUTTER**  
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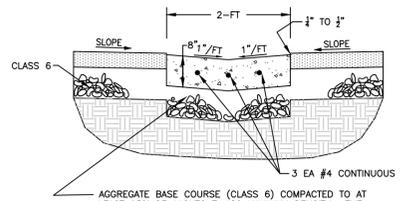
**C SIDEWALK AND PAVEMENT SECTION**  
NOT TO SCALE



**D BARRIER CURB**  
NOT TO SCALE



**E 3' WIDE VALLEY PAN DETAIL**  
NOT TO SCALE



**F 2' WIDE VALLEY PAN DETAIL**  
NOT TO SCALE

LEGEND	
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING CURB/GUTTER
	PROPOSED CURB/GUTTER
	PROPOSED SPILL CURB/GUTTER
	PROPOSED TRANSITION CURB/GUTTER
	EXISTING RETAINING WALL
---	EXISTING 1-FT CONTOUR
---	EXISTING 5-FT CONTOUR
---	PROPOSED 1-FT CONTOUR
---	PROPOSED 5-FT CONTOUR
---	EXISTING ASPHALT
---	PROPOSED ASPHALT
---	PROPOSED HEAVY DUTY ASPHALT
---	EXISTING CONCRETE
---	PROPOSED CONCRETE
---	PROPOSED HEAVY DUTY CONCRETE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER CLEANOUT
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING STORM SEWER INLET
---	PROPOSED STORM SEWER INLET
---	EXISTING STORM SEWER MANHOLE
---	PROPOSED STORM SEWER MANHOLE
---	PROPOSED INLINE DRAIN
---	EXISTING 8" WATER MAIN
---	PROPOSED 2" DOMESTIC SERVICE
---	PROPOSED 4" FIRE LINE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	EXISTING WATER METER
---	PROPOSED WATER METER
---	PROPOSED METER/BACKFLOW VAULT
---	PROPOSED IRRIGATION MANHOLE
---	PROPOSED FENCE
---	EXISTING FENCE
---	PROPOSED TRAFFIC FLOW
---	GRADE BREAK
---	ROOF DRAIN (RD)
---	STREET LIGHT POLE
---	FIRE DEPARTMENT CONNETION
---	PARKING LOT LIGHT
---	PROPOSED BUILDING LIGHT
---	POWER POLE
---	FLOWLINE
---	EOP EDGE OF PAVEMENT
---	TOC TOP OF CONCRETE
---	TOW TOP OF WALL
---	BOW BOTTOM OF WALL
---	TBW TOP BACK OF WALK
---	TC TOP OF CURB
---	BOC BACK OF CURB
---	LS LANDSCAPE AREA
---	UTILITY PEDESTALS

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(970) 242-7540

**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**GENERAL NOTES  
AND DETAILS**

NO:	ISSUED FOR:	DATE:
△	REVIEW COMMENTS RND#1	4-28-15
△	REVIEW COMMENTS RND#2	6-3-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MIRA

DATE: **4-10-15** SHEET NO:

PROJECT NO: **1443** **C-2**

**GENERAL CONSTRUCTION NOTES**

- Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
- The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.
- Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
- Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plot. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.
- All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.
- Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.
- All earthwork operations shall be completed in accordance with the recommendations and requirements of the Geotechnical and Geologic Hazards Investigation Report by Huddleston-Berry, Project #00390-0003, dated November 20, 2014.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.
- All utility installations within the City of Grand Junction jurisdiction are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.
- All sewer lines must be tested and approved per Orchard Mesa Sanitation District requirements PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.

11. In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All work within the City of Grand Junction Right-of-Way shall required a "Work in the Right-of-Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

13. All concrete shall have a minimum of 6: Class VI ABC, unless otherwise noted.

**PAVING CONSTRUCTION NOTES**

- All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.
- Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. The subgrade soils shall be scarified to a depth of 12-inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T-99.
- Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.
- Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack-coated before proposed surface is placed.
- All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..
- Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less than 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: Automobile Parking - "Hot-Mix Asphalt" 3-inch HMA over 6-inch CDOT Class 6 over 6" CDOT Class 3 over 12-inch scarified & recompacted subgrade. Truck Traffic - "Hot-Mix Asphalt" 3-inch HMA over 6-inch CDOT Class 6 over 16" CDOT Class 3 over 12-inch scarified & recompacted subgrade. "Rigid Pavement" 6-inch or 8-inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6-inch CDOT Class 6 over 12-inch scarified & recompacted subgrade.

**Summary of Pavement Recommendations**

**Automobile Parking Areas**  
EDLA = 5, Structural Number = 2.75

ALTERNATIVE	PAVEMENT SECTION (Inches)				TOTAL
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	
Full Depth HMA	7.0				7.0
A	3.0	10.0			13.0
B	4.0	7.0			11.0
C	3.0	6.0	6.0		15.0
Rigid Pavement		6.0		6.0	12.0

**Truck Traffic Areas**  
EDLA = 30, Structural Number = 3.70

ALTERNATIVE	PAVEMENT SECTION (Inches)				TOTAL
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	
Full Depth HMA	9.0				9.0
A	3.0	17.0			20.0
B	4.0	14.0			18.0
C	3.0	6.0	16.0		25.0
Rigid Pavement		6.0		8.0	14.0

**WATER LINE CONSTRUCTION**

- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BACKFLOW PREVENTION EQUIPMENT AND ABOVE GROUND ENCLOSURES. Double Check Detector Assemblies shall be "Watts" Series L709DCDA assemblies or FEBCO Masterseries 876VS (N-Pattern), or Ute Water Approved equal.
- Above Ground Enclosures shall be as manufactured by Aqua Shield or NIBFP8 or Watts Model # WB-N6 or Ute Water approved Equal.
- All water line and water service construction shall be constructed in accordance with the Ute Water District Standards and Specifications.
- The Contractor is responsible to install meter pits and yokes which will be SUPPLIED BY UTE WATER
- Contractor shall notify the Ute Water Conservancy 24 hours prior to the beginning of construction of any water line related work.
- All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6".
- All water mains to be DR-18 PVC, conforming to AWWA C-900.
- Ductile Iron fittings to conform to AWWA C-110.
- Fire Hydrants shall conform to AWWA C-502, Mueller Super Centurian or Kennedy Gaurdian.
- All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C-651-86 or latest revision thereof. No separate pay.
- All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.
- All Ute Water Mains are to be bedded per City of Grand Junction Standards.
- All water service lines 2" and smaller from the meter to the building structure shall be "Pure Core" blue, 200 psi rated HDPE pipe, or approved equal.

**STORM SEWER CONSTRUCTION NOTES**

- All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.
- All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C-76, Class III unless otherwise noted.
- All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR-35 unless otherwise noted.
- All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:  
12 inch to 36 inch shall meet ASSHTO M294  
42 inch to 48 inch shall meet ASSHTO MP6  
All HDPE pipe up to 30" shall be backfilled to springline with Class-6.

**FUGITIVE DUST CONTROL PLAN**

- Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.
- Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.
- Haul road both into and around the site are to be sprayed as needed to suppress dust.
- The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.
- Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

**UTILITIES AND AGENCIES**

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241-7076
UTE WATER	JIM DAUGHEY	242-7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106
XCEL ENERGY	JOHN PRICE	244-2693
CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750

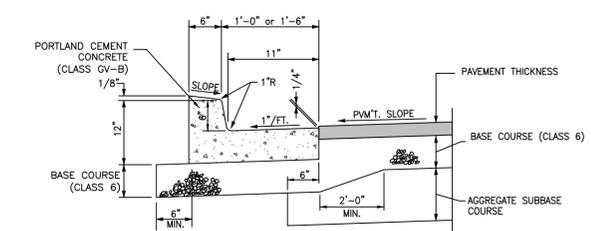
**ORCHARD MESA SANITATION DISTRICT NOTES**

- All sewer line construction shall conform to Orchard Mesa Sanitation District's Standards and Specifications unless otherwise specified.
- All materials and workmanship shall be subject to approval by the District. The District reserves the right to accept or reject materials and workmanship that does not conform to its Standards and Specifications.
- The Contractor shall have one signed copy of the Plans and a copy of the District's Standards and Specifications at the job site at all times.
- All sanitary sewer pipe shall be PVC SDR-35 unless otherwise specified. All pipe joints shall be 13 foot joints unless otherwise approved by the District Engineer.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
- All trenches shall be compacted to 90% within 2% of optimum moisture content, as determined AASHTO T-180. Contractor shall be required to perform all necessary compaction tests through a certified soils lab. A copy of the compaction test results shall be provided to the District during the course of the project.
- A minimum 10-foot separation shall be maintained at all times between waterlines and sewer lines (except at specified crossings).
- All sanitary sewer services to be 4" PVC SDR 35 unless otherwise specified.
- Sewer service stub-outs shall extend 14 feet beyond the property line and shall be glue-capped and marked with a 2x4 post painted green.
- The Contractor shall notify the District at least 48 hours prior to commencement of construction.
- Manholes shall be constructed as shown on the Orchard Mesa Sanitation District Standard Sanitary Sewer Detail sheet. At the District's direction, the Contractor shall field vacuum test manholes to ensure that they are of watertight construction and that manholes have not been damaged during installation.
- No service lines shall be connected directly into manholes.
- Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20 degrees to 30 degrees from the upstream main sewer line into the manhole. Manhole steps shall be installed in vertical alignment with the ring and cover.
- Steel paving rings are not allowed for grade adjustment unless otherwise approved by the District.
- The Contractor is responsible for all required sewer line testing to be completed in the presence of the District Engineer or their representative. Final testing is to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing Initial Acceptance of the sewer line extension.
- Where sanitary sewers cross under a water line with less than 18 inches of vertical separation, and in all cases where the sanitary sewer crosses over the waterline at any depth, provide total concrete encasement of pipe for a length of 10 feet to either side of the waterline.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for sewer line trench backfill unless otherwise approved by the Engineer.
- To inhibit the movement of ground water through sewer bedding and haunching material, clay cutoff wall of native material are to be constructed approximately 10 feet upstream from each manhole and shown on sanitary sewer plan and profiles.
- The contractor shall obtain a City of Grand Junction Street Cut Permit for all work within existing City right-of-way prior to construction.

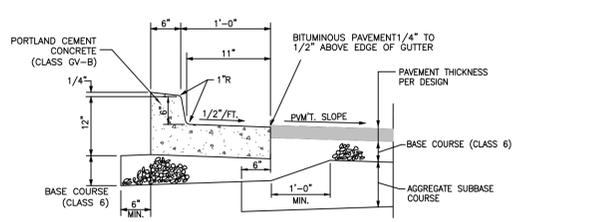
**LEGEND**

---	PROPERTY LINE	☐	PROPOSED INLINE DRAIN
---	ADJACENT PROPERTY LINE	— 8" —	EXISTING 8" WATER MAIN
---	EXISTING EASEMENT	— 2" —	PROPOSED 2" DOMESTIC SERVICE
---	PROPOSED EASEMENT	— 4" —	PROPOSED 4" FIRE LINE
▨	EXISTING BUILDING	☼	EXISTING FIRE HYDRANT
▨	PROPOSED BUILDING	☼	PROPOSED FIRE HYDRANT
▨	EXISTING CURB/GUTTER	☼	EXISTING WATER METER
▨	PROPOSED CURB/GUTTER	☼	PROPOSED WATER METER
▨	PROPOSED SPILL CURB/GUTTER	☼	PROPOSED METER/BACKFLOW VAULT
▨	PROPOSED TRANSITION CURB/GUTTER	☼	PROPOSED IRRIGATION MANHOLE
▨	EXISTING RETAINING WALL	⊗	PROPOSED FENCE
---	EXISTING 1-FT CONTOUR	⊗	EXISTING FENCE
---	EXISTING 5-FT CONTOUR	→	PROPOSED TRAFFIC FLOW
---	PROPOSED 1-FT CONTOUR	→	GRADE BREAK
---	PROPOSED 5-FT CONTOUR	•	ROOF DRAIN (RD)
▨	EXISTING ASPHALT	☼	STREET LIGHT POLE
▨	PROPOSED ASPHALT	☼	FIRE DEPARTMENT CONNETION
▨	PROPOSED HEAVY DUTY ASPHALT	☼	PARKING LOT LIGHT
▨	EXISTING CONCRETE	☼	PROPOSED BUILDING LIGHT
▨	PROPOSED CONCRETE	☼	POWER POLE
▨	PROPOSED HEAVY DUTY CONCRETE	☼	FLOWLINE
▨	EXISTING SANITARY SEWER	☼	EOP
▨	PROPOSED SANITARY SEWER	☼	TOP OF CONCRETE
☼	EXISTING SANITARY SEWER MANHOLE	☼	TOW
☼	PROPOSED SANITARY SEWER MANHOLE	☼	BOW
☼	PROPOSED SANITARY SEWER CLEANOUT	☼	TBW
☼	EXISTING STORM SEWER	☼	TC
☼	PROPOSED STORM SEWER	☼	BOC
☼	EXISTING STORM SEWER INLET	☼	LS
☼	PROPOSED STORM SEWER INLET	☼	UTILITY PEDESTALS
☼	EXISTING STORM SEWER MANHOLE	☼	
☼	PROPOSED STORM SEWER MANHOLE	☼	

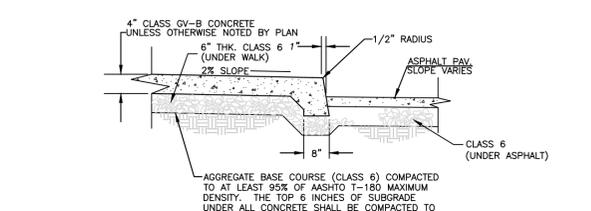
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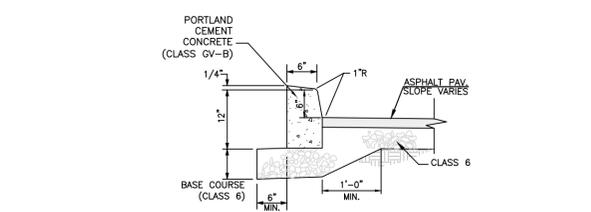
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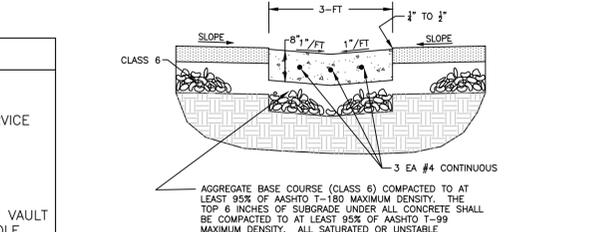
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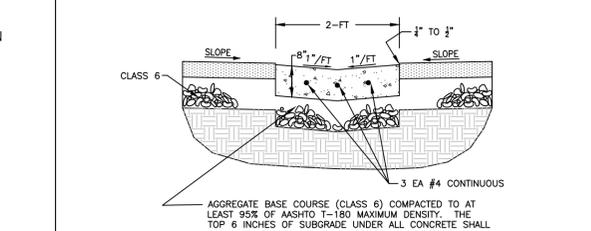
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**D BARRIER CURB**  
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**E 3' WIDE VALLEY PAN DETAIL**  
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**F 2' WIDE VALLEY PAN DETAIL**  
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**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**GENERAL NOTES AND DETAILS**

NO: REVIEW COMMENTS RND#1  
ISSUED FOR:  
DATE: 4-28-15

PROJECT STATUS: 100% CD  
DRAWN BY: LMS  
CHECKED BY: MIRA

DATE: 4-10-15  
SHEET NO:

PROJECT NO: 1443  
**C-2**













# Revised

**GENERAL NOTES:**

- ALL PARKING SPACES ARE 9'-FT WIDE X 18.5'-FT LONG UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.
- AS SHOWN BY PLAN VIEW, THE PROJECT SITE IS LOCATED WITHIN A NON-FEMA 100-YEAR FLOODPLAIN BOUNDARY ACCORDING TO THE "ORCHARD MESA FLOOD HAZARD MITIGATION REPORT", DATED JULY 2009, AND PREPARED BY AYRES ASSOCIATES. THE REPORT IDENTIFIES A 100-YEAR WATER SURFACE ELEVATION OF APPROXIMATELY 4669.35 (NAVD88) NEAR THE CENTER OF THE SITE, WHICH SHALL BE USED AS THE FLOODPLAIN ELEVATION.

**BENCHMARK**

60D NAIL  
 N 26287.81  
 E 104125.06  
 ELEV: 4668.30  
 (PER CITY OF GRAND JUNCTION)

**LEGEND**

---	PROPERTY LINE	—	PROPOSED INLINE DRAIN
---	ADJACENT PROPERTY LINE	— 8" —	EXISTING 8" WATER MAIN
---	EXISTING EASEMENT	— 2" —	PROPOSED 2" DOMESTIC SERVICE
---	PROPOSED EASEMENT	— 4" —	PROPOSED 4" FIRE LINE
---	EXISTING BUILDING	—	EXISTING FIRE HYDRANT
---	PROPOSED BUILDING	—	PROPOSED FIRE HYDRANT
---	EXISTING CURB/GUTTER	—	EXISTING WATER METER
---	PROPOSED CURB/GUTTER	—	PROPOSED WATER METER
---	PROPOSED SPILL CURB/GUTTER	—	PROPOSED METER/BACKFLOW VAULT
---	PROPOSED TRANSITION CURB/GUTTER	—	PROPOSED IRRIGATION MANHOLE
---	EXISTING RETAINING WALL	—	PROPOSED FENCE
---	EXISTING 1'-FT CONTOUR	—	EXISTING FENCE
---	EXISTING 5'-FT CONTOUR	—	PROPOSED TRAFFIC FLOW
---	PROPOSED 1'-FT CONTOUR	—	GRADE BREAK
---	PROPOSED 5'-FT CONTOUR	—	ROOF DRAIN (RD)
---	EXISTING ASPHALT	—	STREET LIGHT POLE
---	PROPOSED ASPHALT	—	FIRE DEPARTMENT CONNECTION
---	PROPOSED HEAVY DUTY ASPHALT	—	PARKING LOT LIGHT
---	EXISTING CONCRETE	—	PROPOSED BUILDING LIGHT
---	PROPOSED CONCRETE	—	POWER POLE
---	PROPOSED HEAVY DUTY CONCRETE	—	FLOWLINE
---	EXISTING SANITARY SEWER	—	EOP
---	PROPOSED SANITARY SEWER	—	TOP OF CONCRETE
---	EXISTING SANITARY SEWER MANHOLE	—	TOW
---	PROPOSED SANITARY SEWER MANHOLE	—	BOW
---	PROPOSED SANITARY SEWER CLEANOUT	—	TBW
---	EXISTING STORM SEWER	—	TOP OF WALK
---	PROPOSED STORM SEWER	—	TC
---	EXISTING STORM SEWER INLET	—	BOC
---	PROPOSED STORM SEWER INLET	—	LS
---	EXISTING STORM SEWER MANHOLE	—	LANDSCAPE AREA
---	PROPOSED STORM SEWER MANHOLE	—	UTILITY PEDESTALS

**LAND USE SUMMARY**

USE	SQUARE FT	PERCENT
BUILDINGS	9,335	8.0%
LANDSCAPE/OPEN	72,001	61.8%
ASPHALT/PKG/CONC	32,809	28.1%
ROW DEDICATION	2,440	2.1%
<b>TOTAL</b>	<b>116,585</b>	<b>100.0%</b>

**PARKING SUMMARY**

Fire Station @ 10 Employee + 4 Visitor = 14  
 Total Parking Required = 14 Spaces  
 Total Parking Provided On Site = 14 Spaces

**UTILITIES AND AGENCIES**

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241-7076
UTE WATER	JIM DAUGHETY	242-7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106
XCEL ENERGY	JOHN PRICE	244-2693
CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

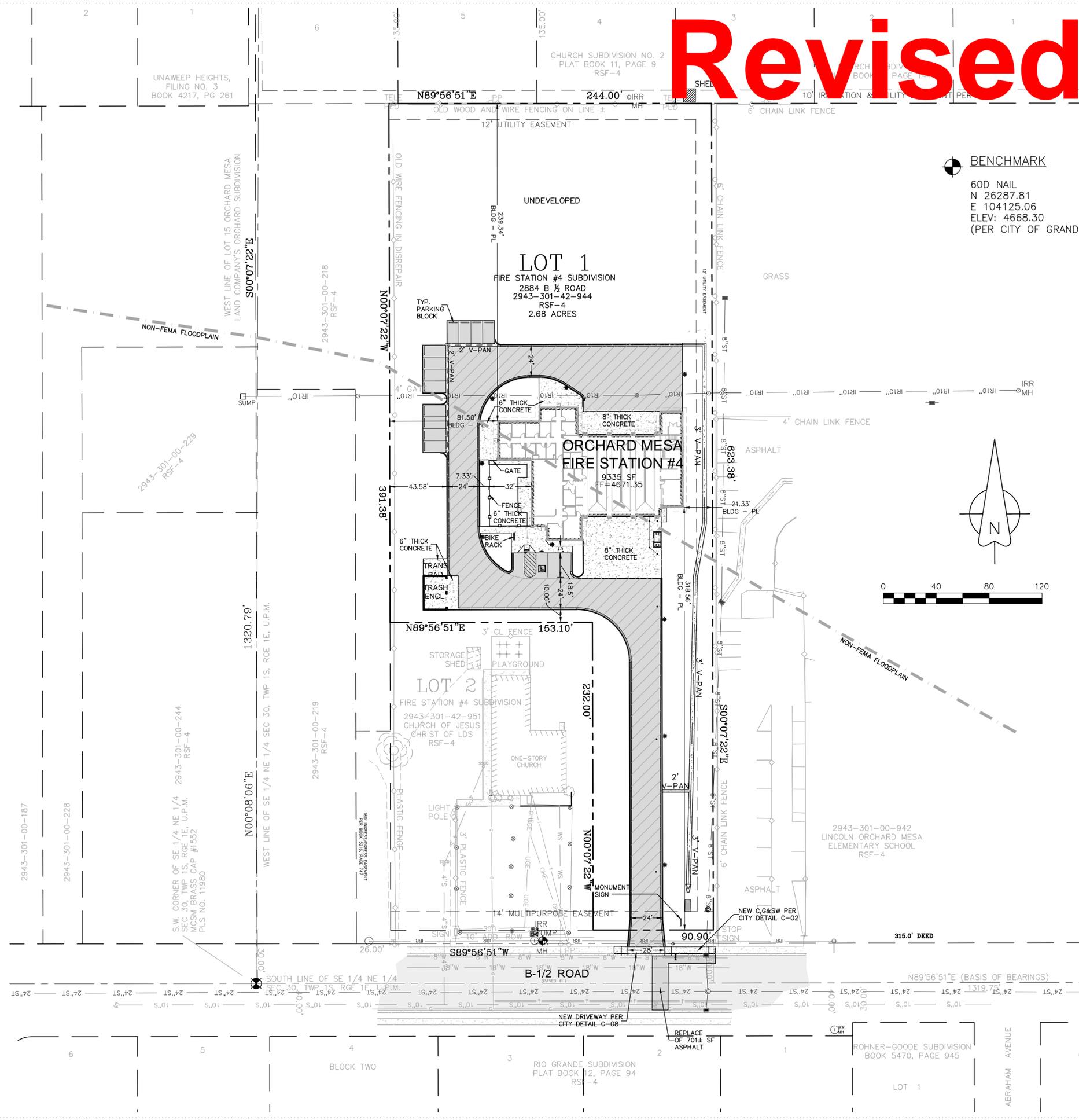
DATE: 4-10-15 SHEET NO: C-4

PROJECT NO: 1443

**ORCHARD MESA FIRE STATION #4**

**SITE PLAN**

NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_



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 (970) 242-7540



PROJECT NO: 1443

**C-4**



ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

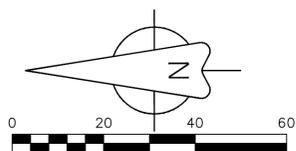
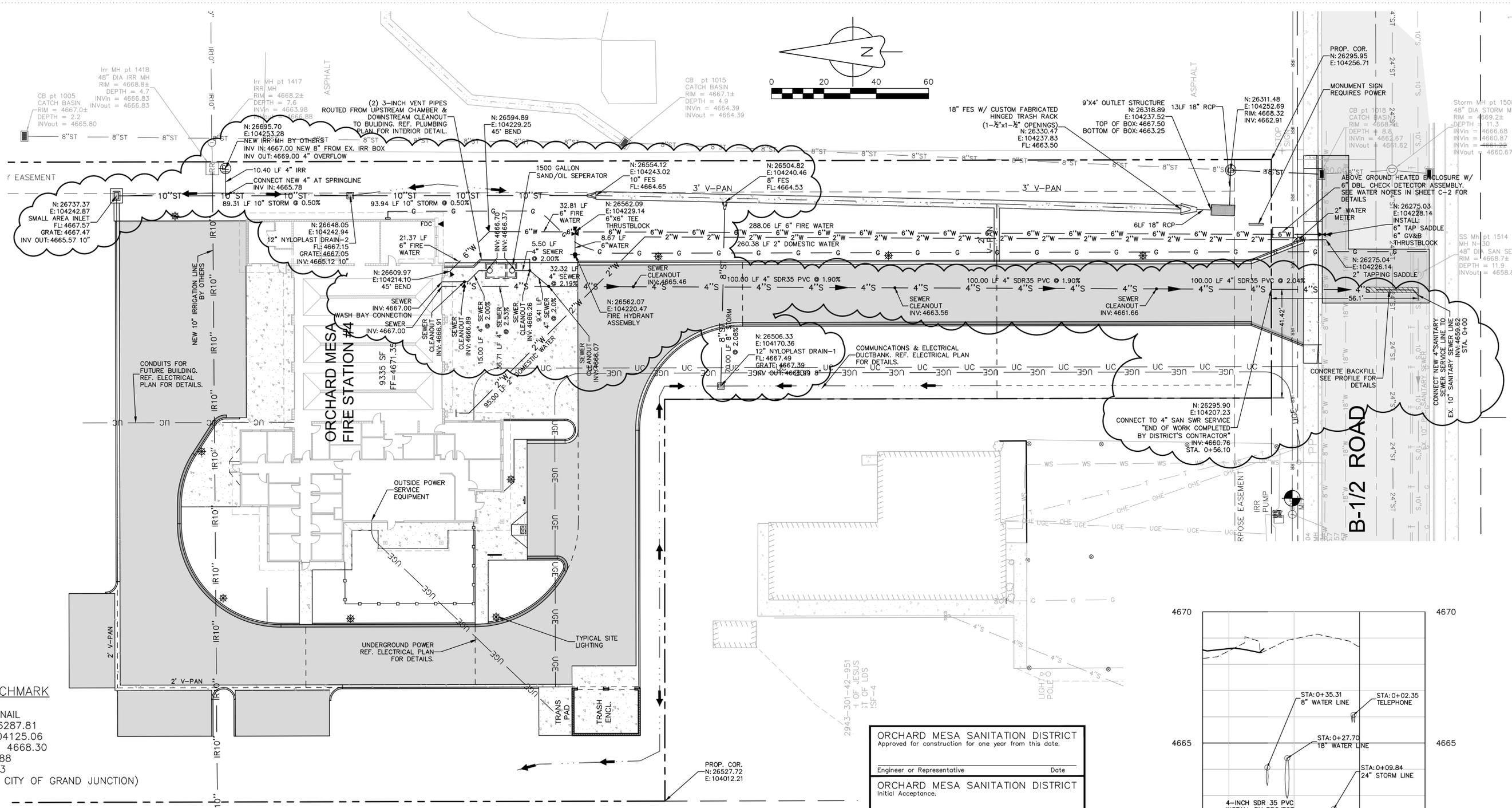
UTILITY PLAN

NO:	ISSUED FOR:	DATE:
△	REVIEW COMMENTS RND#1	4-28-15
△	REVISED SANITARY SEWER SERVICE	5-7-15
△	REVIEW COMMENTS RND#2	6-3-15
△	IRR. DRAINAGE & FIRE LINE	6-11-15

PROJECT STATUS: 100% CD  
DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15 SHEET NO:

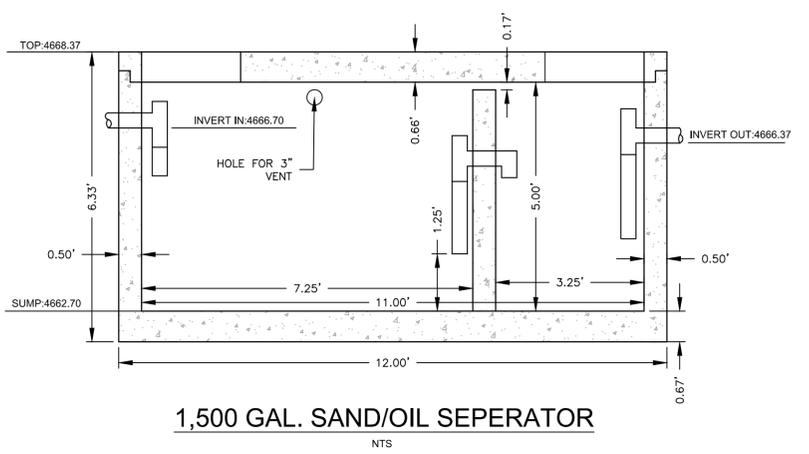
PROJECT NO: 1443 **C-5**



**BENCHMARK**  
60D NAIL  
N: 26287.81  
E: 104125.06  
ELEV: 4668.30  
NAVD88  
NAD83  
(PER CITY OF GRAND JUNCTION)

- NOTE:**
- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.
  - ALL SEWER CLEANOUTS LOCATED WITHIN TRAVELED DRIVEWAYS SHALL BE PROVIDED WITH TRAFFIC RATED RING & COVERS.

UTILITIES AND AGENCIES		
ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241-7076
UTE WATER	JIM DAUGHEY	242-7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2792
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106
XCEL ENERGY	JOHN PRICE	244-2693
CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750



**ORCHARD MESA SANITATION DISTRICT**  
Approved for construction for one year from this date.

Engineer or Representative \_\_\_\_\_ Date \_\_\_\_\_

**ORCHARD MESA SANITATION DISTRICT**  
Initial Acceptance.

Engineer or Representative \_\_\_\_\_ Date \_\_\_\_\_

**UTE WATER DISTRICT**  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

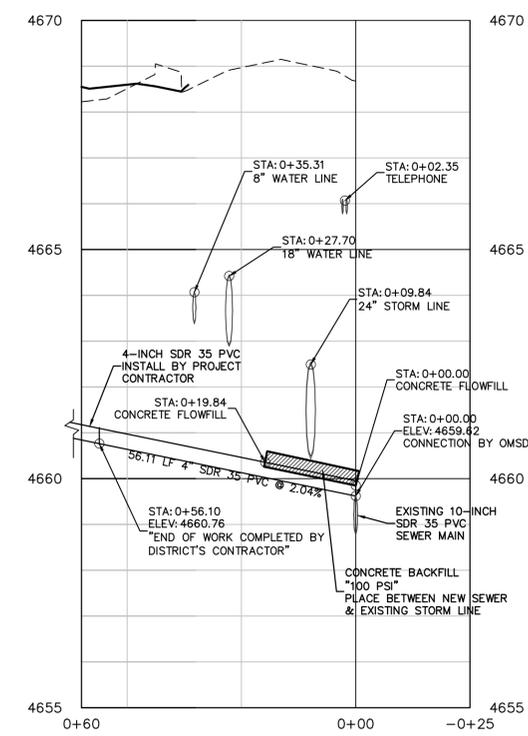
**CITY OF GRAND JUNCTION ENGINEERING**  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."



4-INCH SEWER SERVICE  
HORIZONTAL: 1"=20', VERTICAL: 1"=2'



# Revised



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

### UTILITY PLAN

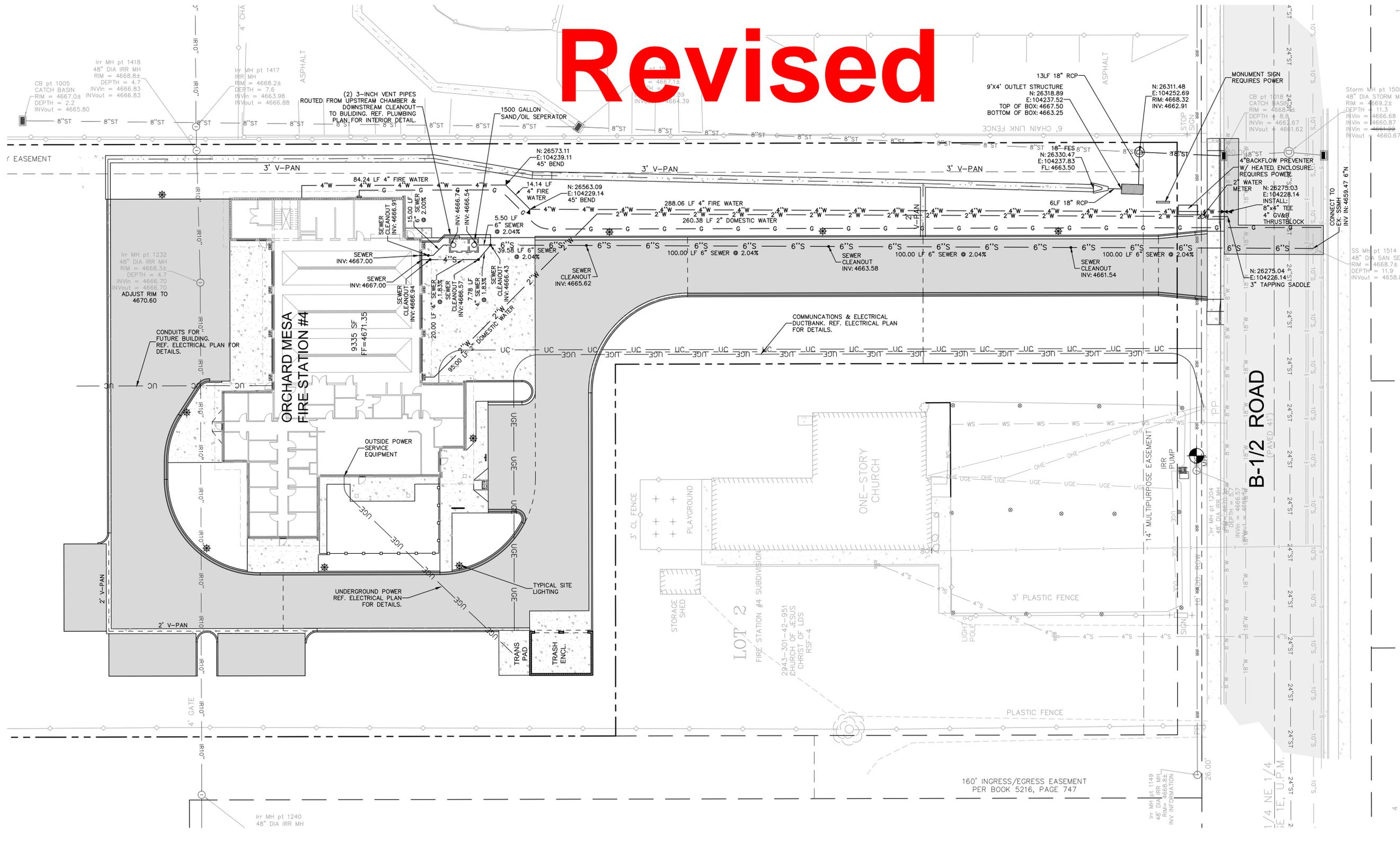
NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD

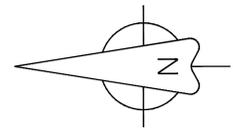
DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15 SHEET NO. \_\_\_\_\_

PROJECT NO: 1443 **C-5**



NOTE:  
1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.



UTILITIES AND AGENCIES		
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UTE WATER DISTRICT	CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____	BY: _____ DATE: _____
ACCEPTED AS CONSTRUCTED	ACCEPTED AS CONSTRUCTED
BY: _____ DATE: _____	BY: _____ DATE: _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

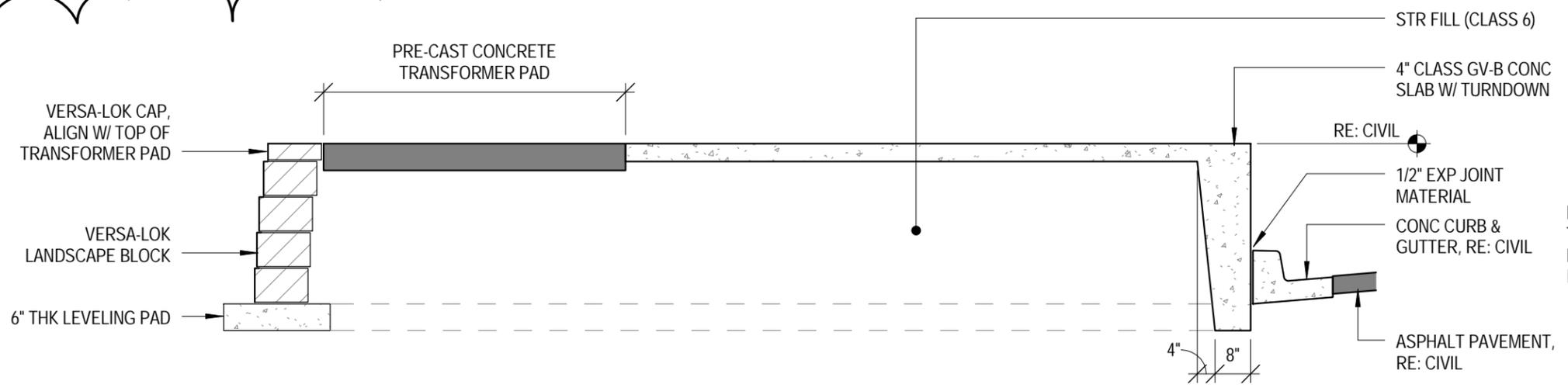
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 2014 CHAMBERLIN ARCHITECTS







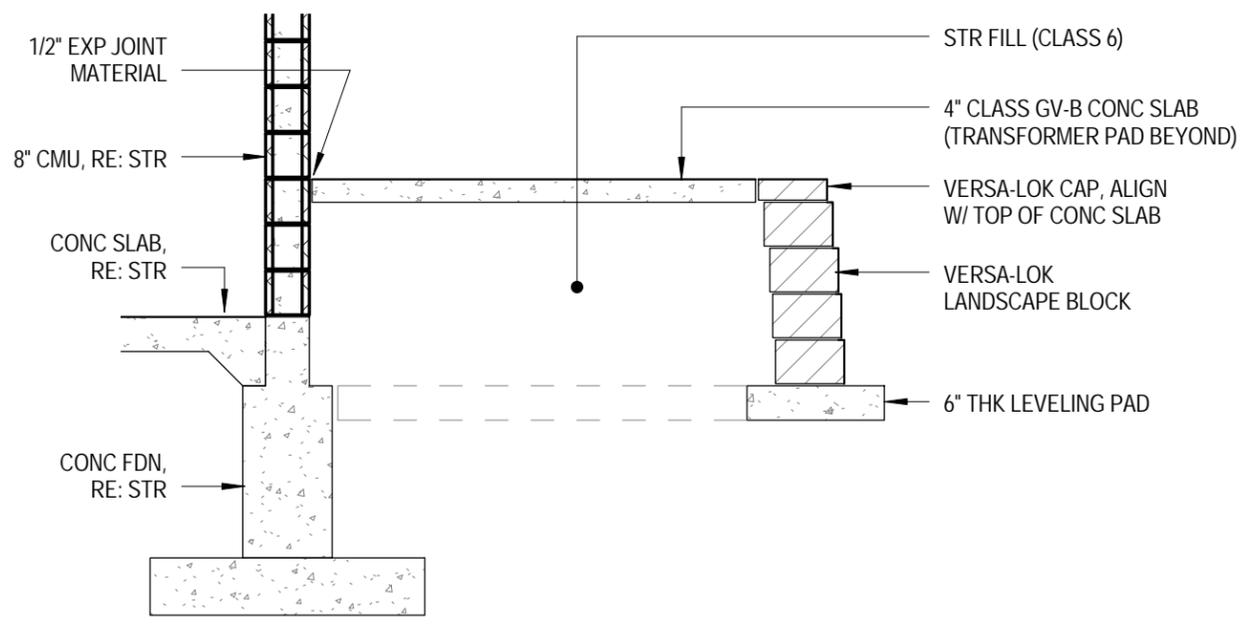




NOTE: CONTRACTOR'S OPTION TO PROVIDE VERSA-LOK LANDSCAPE BLOCK at EAST EDGE ILO CONC TURNDOWN.

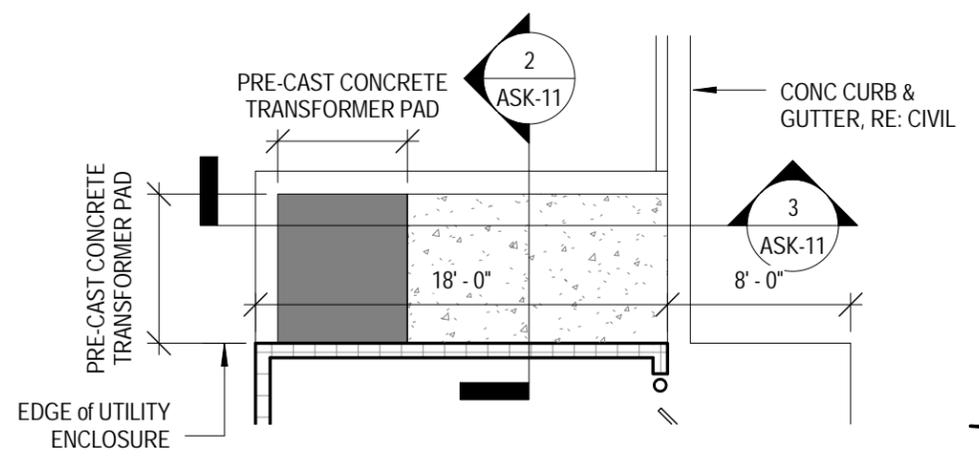
3 TRANSFORMER PAD SECTION A

SCALE: 3/8" = 1'-0"



2 TRANSFORMER PAD SECTION B

SCALE: 3/8" = 1'-0"



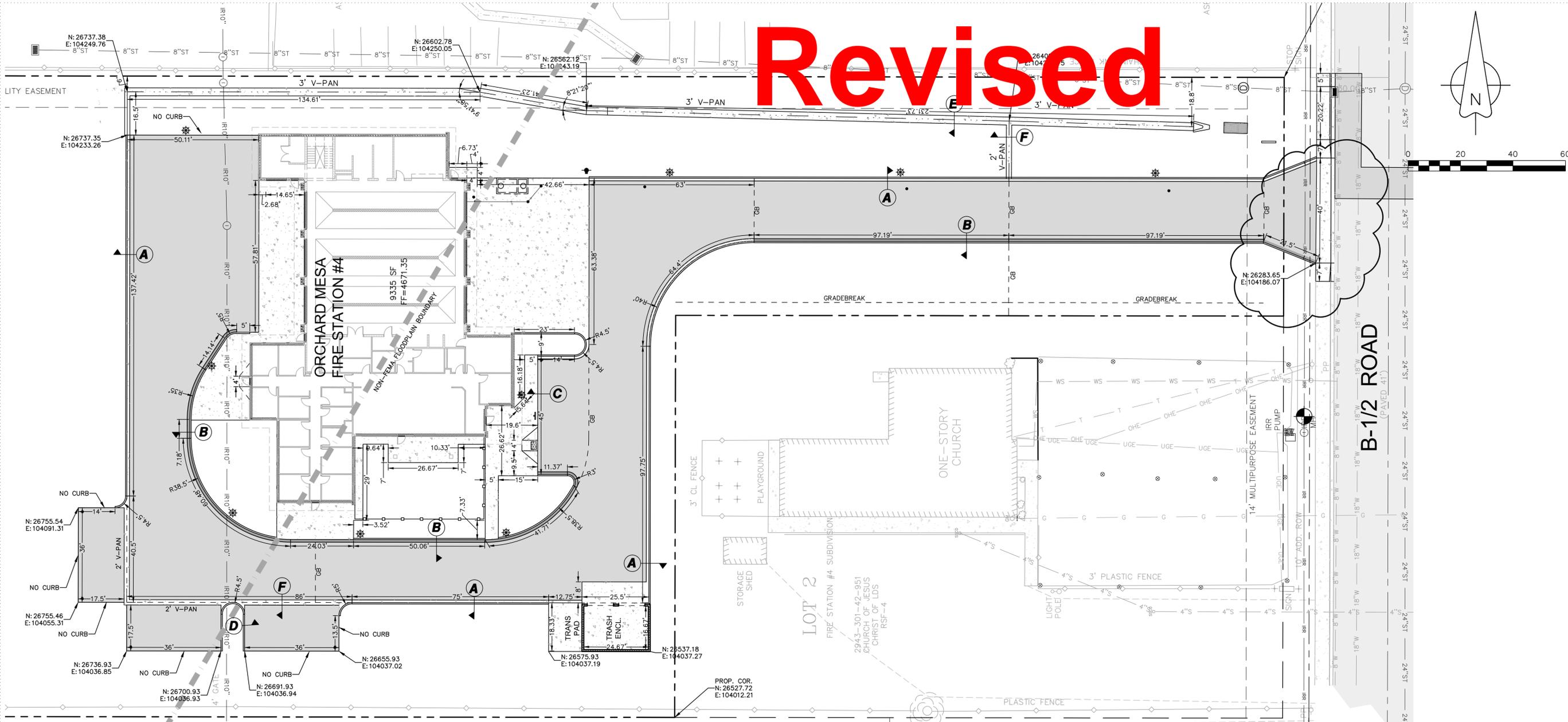
1 FLOOR PLAN - TRANSFORMER PAD

SCALE: 1/8" = 1'-0"

Grades around pad will remain per Civil

C H A M B E R L I N A R C H I T E C T S <small>GRAND JUNCTION, COLORADO 970.242.6804      RAPID CITY, SOUTH DAKOTA 605.355.6804</small>		DESCRIPTION: <b>TRANSFORMER PAD DETAILS</b>			ISSUED WITH: <b>PR#008</b>	<b>ASK-11</b> <small>LOCATION:</small>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>As indicated</b>	DATE: <b>7/23/15</b>	PREPARED BY: <b>JW</b>		

# Revised



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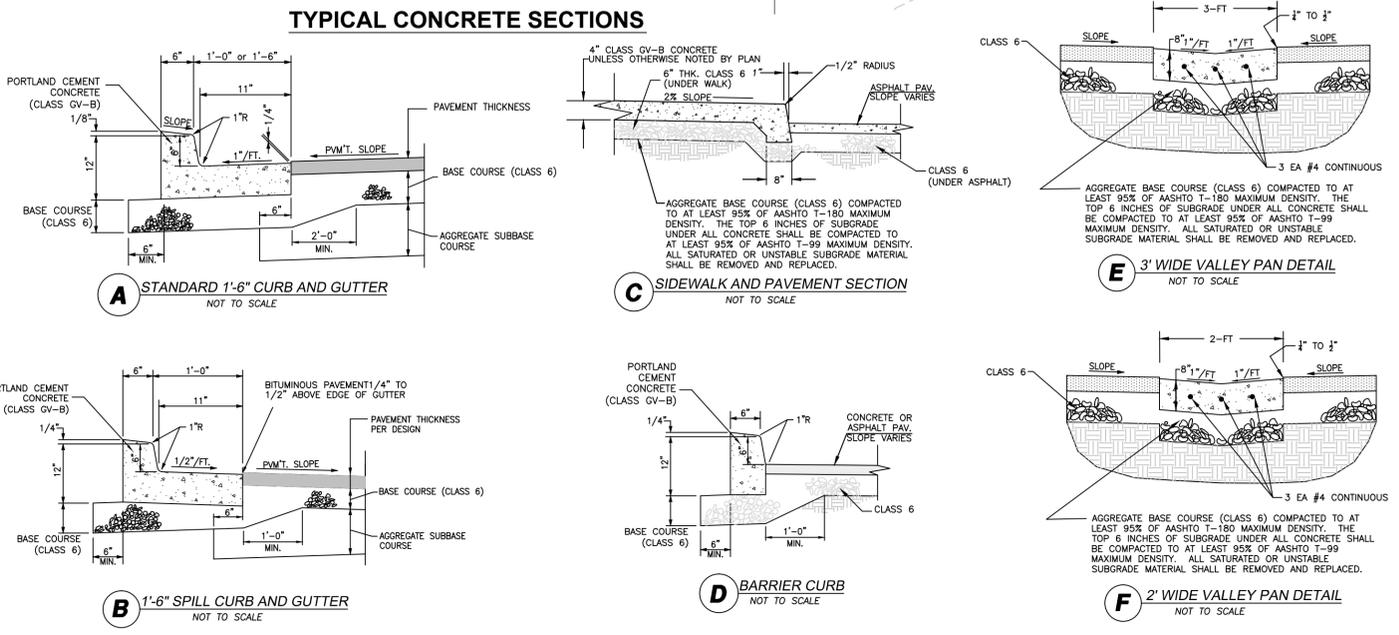


## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## HORIZONTAL CONTROL PLAN

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING CURB/GUTTER
	PROPOSED CURB/GUTTER
	PROPOSED SPILL CURB/GUTTER
	PROPOSED TRANSITION CURB/GUTTER
	EXISTING RETAINING WALL
	EXISTING 1-Ft CONTOUR
	EXISTING 5-Ft CONTOUR
	PROPOSED 1-Ft CONTOUR
	PROPOSED 5-Ft CONTOUR
	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY CONCRETE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER INLET
	PROPOSED STORM SEWER INLET
	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED IN-LINE DRAIN
	EXISTING 8" WATER MAIN
	PROPOSED 2" DOMESTIC SERVICE
	PROPOSED 4" FIRE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER METER
	PROPOSED WATER METER
	PROPOSED METER/BACKFLOW VAULT
	PROPOSED IRRIGATION MANHOLE
	PROPOSED FENCE
	EXISTING FENCE
	PROPOSED TRAFFIC FLOW
	GRADE BREAK
	ROOF DRAIN (RD)
	STREET LIGHT POLE
	FIRE DEPARTMENT CONNECTION
	PARKING LOT LIGHT
	PROPOSED BUILDING LIGHT
	POWER POLE
	FLOWLINE
	EDGE OF PAVEMENT
	TOP OF CONCRETE
	TOP OF WALL
	BOTTOM OF WALL
	TOP BACK OF WALK
	TOP OF CURB
	BACK OF CURB
	LANDSCAPE AREA
	UTILITY PEDESTALS



**BENCHMARK**

60D NAIL  
 N: 26287.81  
 E: 104125.06  
 ELEV: 4668.30  
 NAVD88  
 NAD83  
 (PER CITY OF GRAND JUNCTION)

**CITY OF GRAND JUNCTION ENGINEERING**

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

REVIEW COMMENTS RND#1 4-28-15

PROJECT STATUS: 100% CD

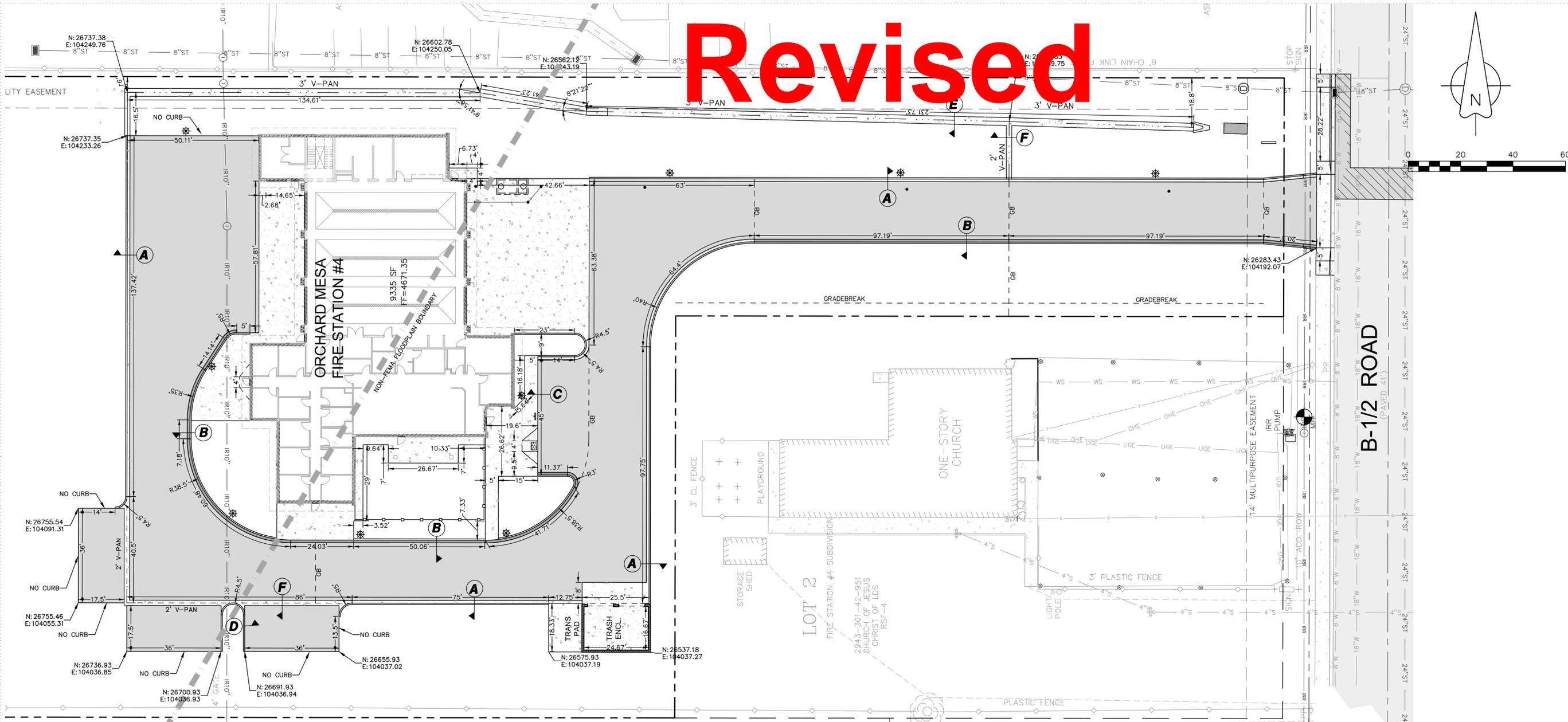
DRAWN BY: LMS CHECKED BY: MIRA

DATE: 4-10-15 SHEET NO: C-7

PROJECT NO: 1443

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

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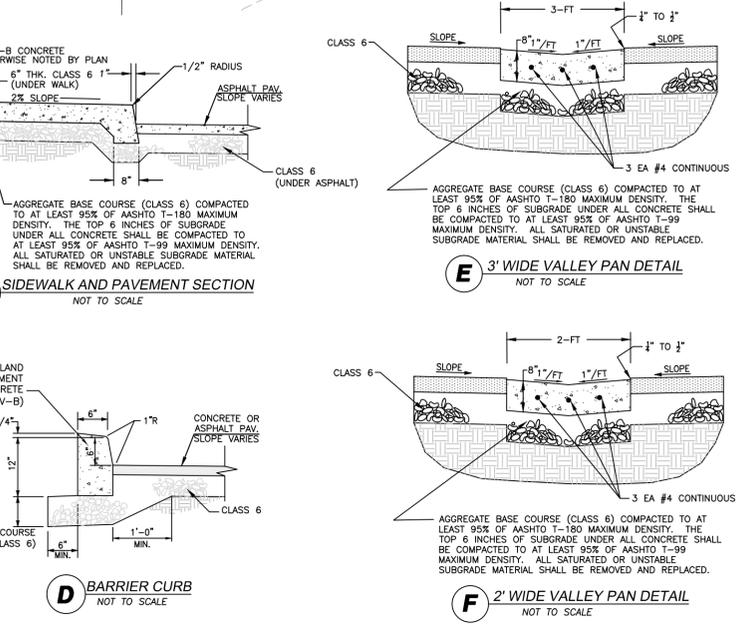
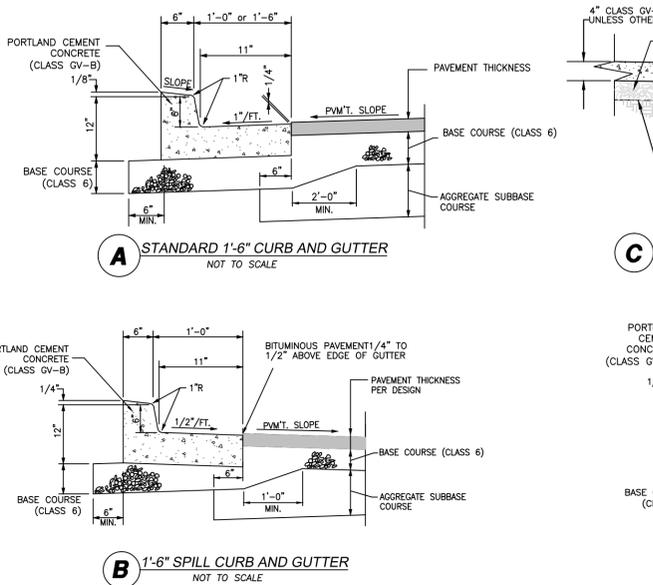
## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## HORIZONTAL CONTROL PLAN

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING CURB/GUTTER
	PROPOSED CURB/GUTTER
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	EXISTING RETAINING WALL
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	PROPOSED CONCRETE
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	PROPOSED SANITARY SEWER
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	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER INLET
	PROPOSED STORM SEWER INLET
	EXISTING STORM SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED INLINE DRAIN
	EXISTING 8" WATER MAIN
	PROPOSED 2" DOMESTIC SERVICE
	PROPOSED 4" FIRE LINE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER METER
	PROPOSED WATER METER
	PROPOSED METER/BACKFLOW VAULT
	PROPOSED IRRIGATION MANHOLE
	PROPOSED FENCE
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	PROPOSED BUILDING LIGHT
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	FLOWLINE
	EOP
	TOC
	TOW
	BOW
	TBW
	TC
	BOC
	LS
	LANDSCAPE AREA
	UTILITY PEDESTALS

### TYPICAL CONCRETE SECTIONS



CITY OF GRAND JUNCTION ENGINEERING	
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	
BY: _____	DATE: _____
ACCEPTED AS CONSTRUCTED	
BY: _____	DATE: _____

NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MIRA

DATE: 4-10-15 SHEET NO: C-7

PROJECT NO: 1443

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## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

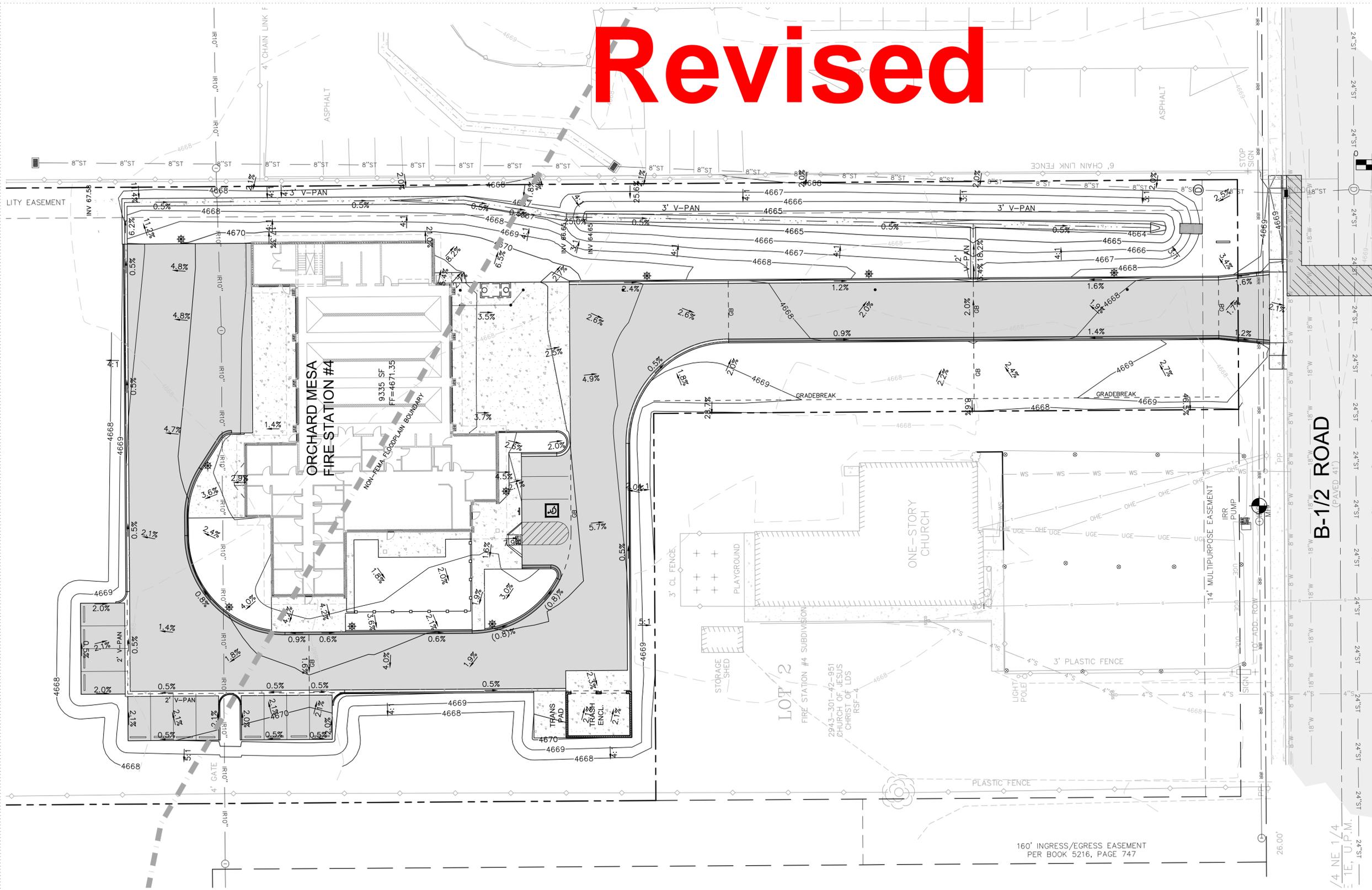
## OVERALL GRADING PLAN

NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15 SHEET NO: C-8



**FLOODPLAIN INFORMATION**

As shown by plan view, the project site is located within a NON-FEMA 100-year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100-year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used as the floodplain elevation.

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

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ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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12/17/2014 3:37:28 PM  
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DATE: 4/10/15  
DRAWN BY: LMS  
CHECKED BY: MRA  
DATE: 4-10-15  
SHEET NO: C-8  
PROJECT NO: 1443





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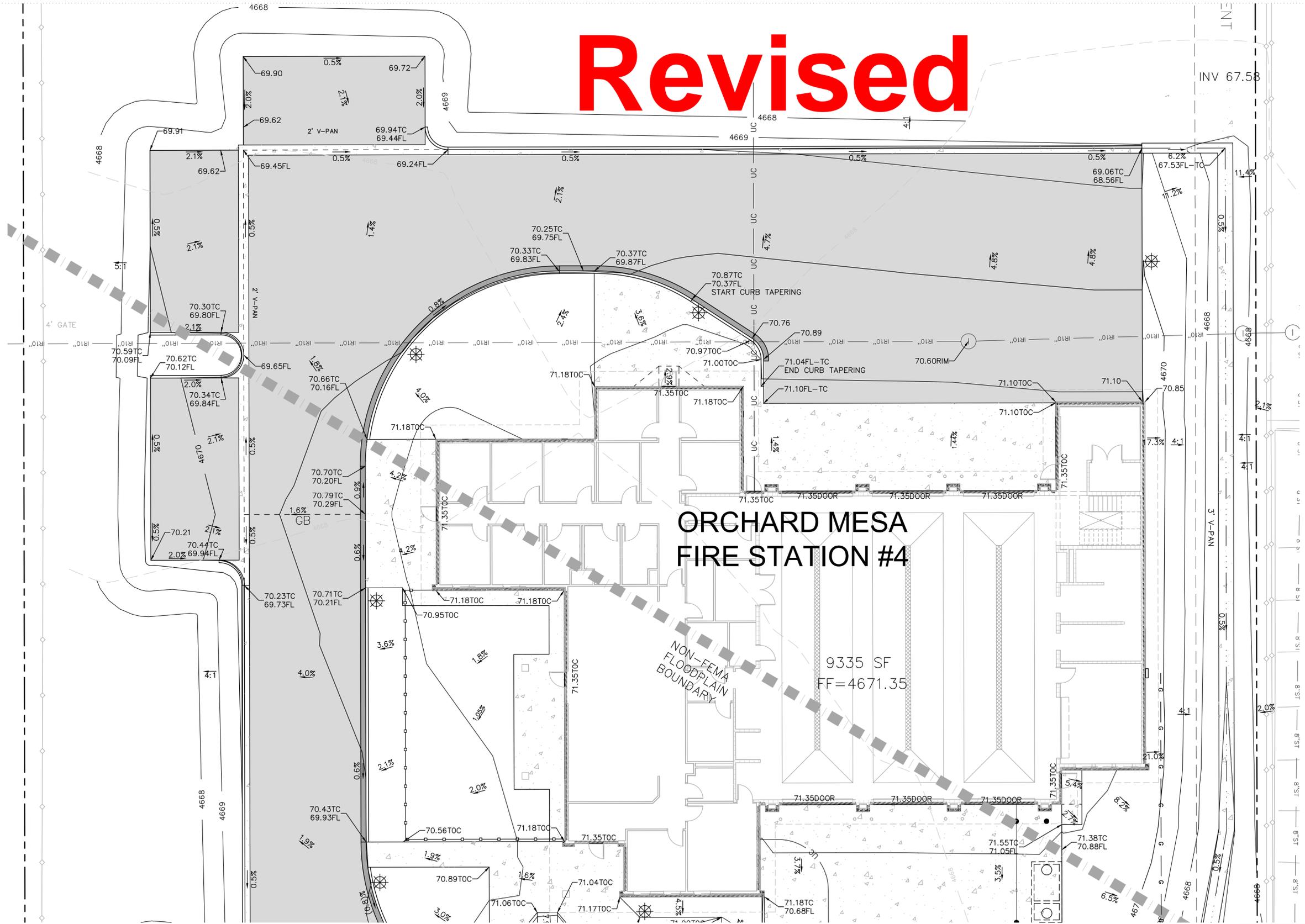
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## ORCHARD MESA FIRE STATION #4

9335 SF  
FF=4671.35

NON-FEMA  
FLOODPLAIN  
BOUNDARY



**FLOODPLAIN INFORMATION**  
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CITY OF GRAND JUNCTION ENGINEERING  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ACCEPTED AS CONSTRUCTED  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD  
DRAWN BY: LMS CHECKED BY: MRA  
DATE: 4-10-15 SHEET NO. C-9

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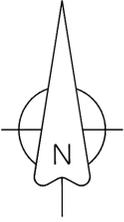
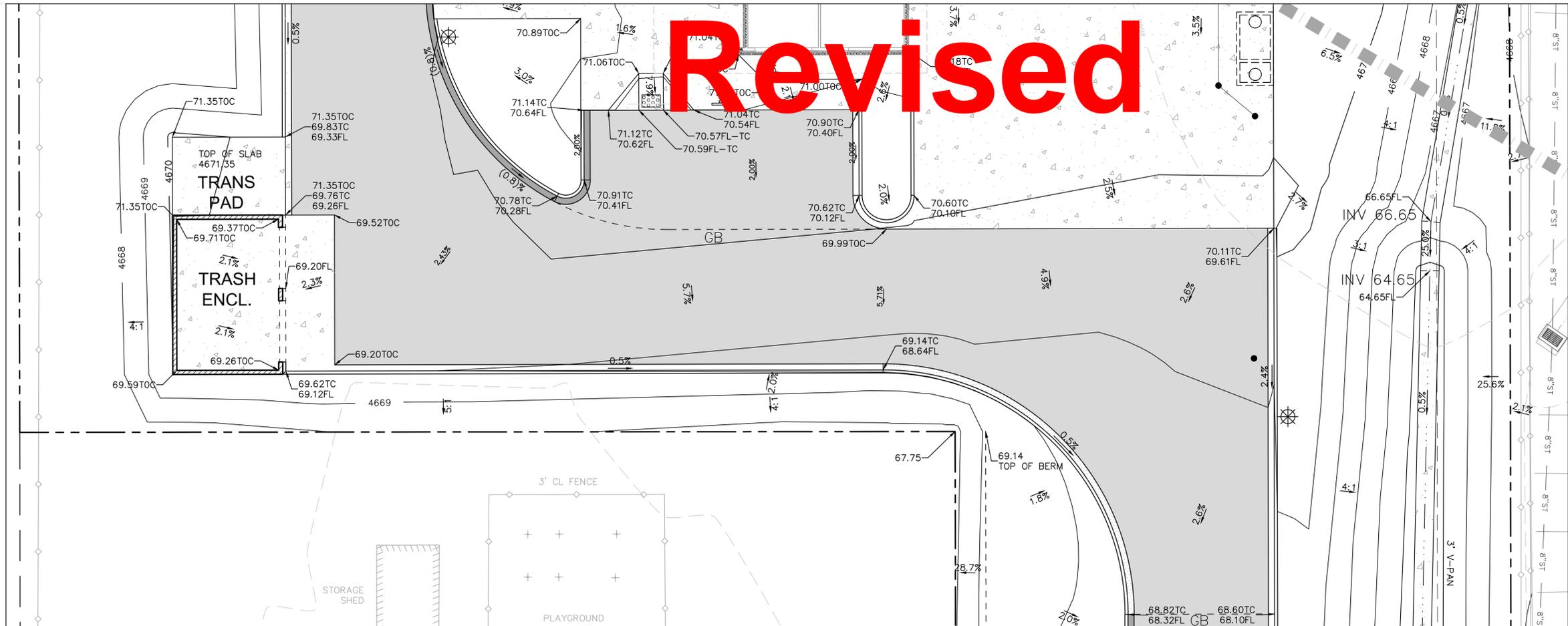
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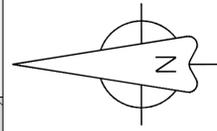
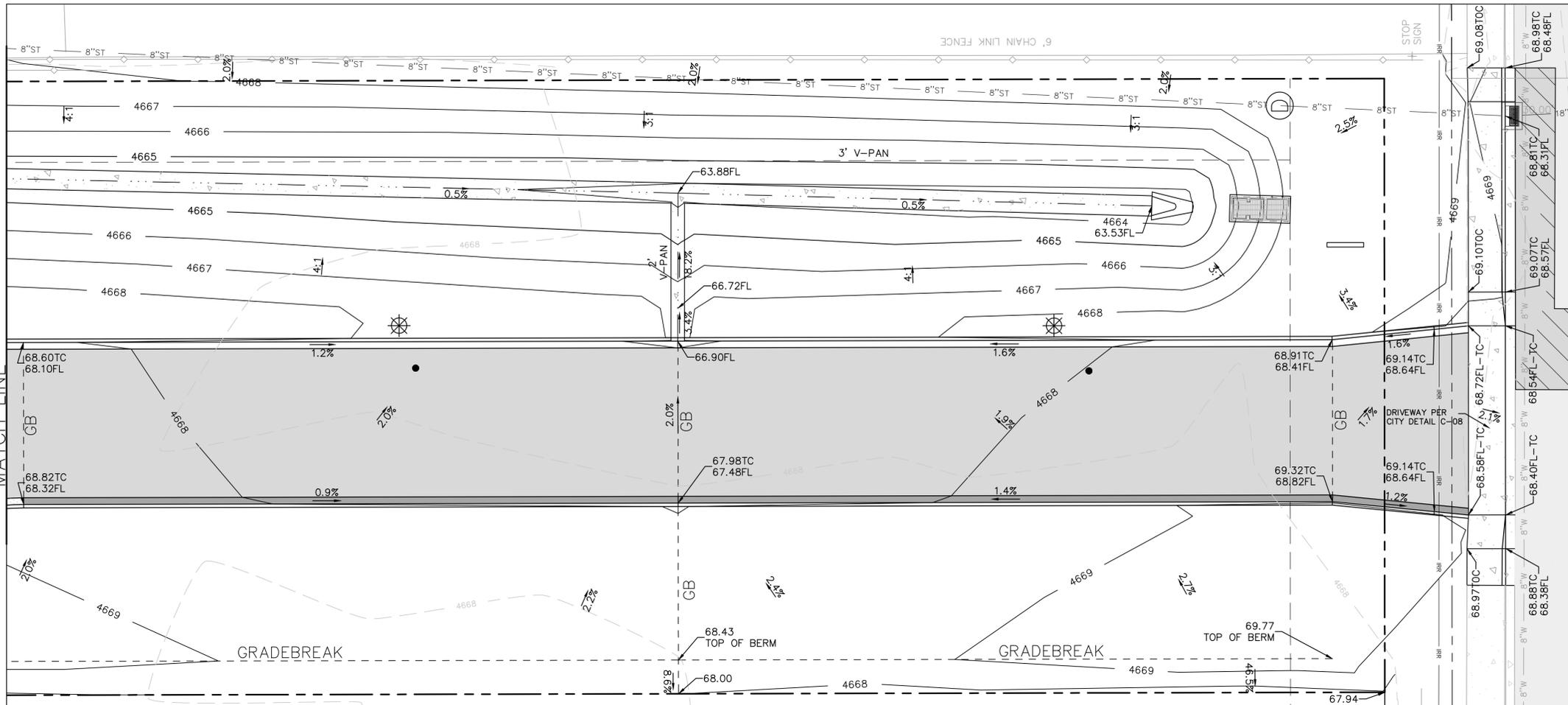
# Revised



**FLOODPLAIN INFORMATION**

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MATCH LINE



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ACCEPTED AS CONSTRUCTED	
BY: _____	DATE: _____

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(970) 242-7540



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN  
SHEET 2

NO: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15 SHEET NO. \_\_\_\_\_

PROJECT NO: 1443 **C-10**

12/17/2014 3:38:52 PM  
 M:\PROJECTS\1443\05 Orchard Mesa Fire Station\DWG\CD\Production\Grading\CD\Grading.dwg  
 PROJECT: 1443 Orchard Mesa Fire Station\DWG\CD\Production\Grading\CD\Grading.dwg  
 STATION: 443

CHAMBERLIN ARCHITECTS

437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804

725 Saint Joseph St., Suite B1  
Rapid City, South Dakota 57701  
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www.chamberlinarchitects.com

**IRRIGATION NOTES:**

1. CONTRACTOR SHALL INSTALL TWO UNDERGROUND PRESSURIZED AUTOMATIC IRRIGATION SYSTEMS FOR THE SITE. SEE THE IRRIGATION PLANS FOR THE DESIGN & PROPOSED LOCATIONS OF THE DITCH WATER IRRIGATION PUMP, IRRIGATION CONTROLLER, AND THE DOMESTIC WATER BACKFLOW PREVENTER.
2. THE LAWN AND DROUGHT TOLERANT GRASS AREAS ARE TO BE IRRIGATED WITH NON-POTABLE DITCH IRRIGATION WATER. A PUMP AND FILTER SHALL BE INSTALLED ACCORDING TO INDUSTRY GUIDELINES. SEE THE IRRIGATION PLANS.
3. A DRIP IRRIGATION SYSTEM SHALL BE INSTALLED TO WATER ALL TREES, SHRUBS, ORNAMENTAL GRASS, AND PERENNIALS. THIS SYSTEM WILL USE POTABLE WATER AND IS TO BE TIED INTO THE DOMESTIC WATER LINE AT AN APPROPRIATE CONNECTING POINT. SEE THE IRRIGATION PLANS.
5. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR FOR A FULLY FUNCTIONING, FULL-COVERAGE IRRIGATION SYSTEM. THE SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR.
6. THE CONTRACTOR SHALL WINTERIZE THE IRRIGATION SYSTEMS IN THE FALL AND PROVIDE SPRING START-UP DURING THE ONE-YEAR WARRANTY PERIOD.



**CITY OF GRAND JUNCTION LANDSCAPE REQUIREMENTS:**  
154,544 SF (3.55 ACRES) SITE OF WHICH  
74,350 SF AREA IS DEVELOPED, 80,194 SF LEFT NATIVE

74,350 / 2500 = 30 REQUIRED TREES  
74,350 / 300 = 248 REQUIRED SHRUBS

EXISTING TREES ALONG WEST PROPERTY LINE =  
22 EXISTING TREES WITH CALIPERS RANGING FROM 4" - 12":

4" CALIPER X 12 = 48" CALIPER  
5" CALIPER X 4 = 20" CALIPER  
6" CALIPER X 2 = 12" CALIPER  
7" CALIPER X 2 = 14" CALIPER  
8" CALIPER X 1 = 8" CALIPER  
12" CALIPER X 1 = 12" CALIPER  
22 TREES = 114" CALIPER

30 TREES REQUIRED X 2" CALIPER = 60" CALIPER REQUIRED  
114" EXISTING CALIPER - 60" REQUIRED = 54" CALIPER  
ADDITIONAL = NO TREES REQUIRED EXCEPT PER CODE AREAS  
INCLUDING: PARKING LOTS PERIMETER, PARKING LOT ISLANDS,  
ROAD FRONTAGES, BUFFERS, AND BUILDING PERIMETER.

SHRUB REDUCTION =  
54" CALIPER ADDITIONAL X -3 SHRUBS/1" CALIPER ADDITIONAL =  
54" ADDITIONAL X -3 = 162 SHRUBS  
248 SHRUBS REQUIRED - 162 SHRUBS = 86 SHRUBS REQ.

CONVERT 21 SHRUBS TO PERENNIALS AT THE 3:1 PERENNIAL  
TO SHRUB RATIO = 63 PERENNIALS  
86 - 21 SHRUBS = 65 SHRUBS REQUIRED

TREES REQUIRED = 18 TREES (2" CALIPER)  
TREES PROVIDED = 18 TREES (2" CALIPER)

5-GALLON SHRUBS REQUIRED = 65 SHRUBS (5-GALLON)  
5-GALLON SHRUBS PROVIDED = 72 SHRUBS (5-GALLON)

1-GALLON PERENNIALS REQUIRED = 63 PERENNIALS  
1-GALLON PERENNIALS PROVIDED = 72 PERENNIALS

**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**LANDSCAPE  
PLAN**

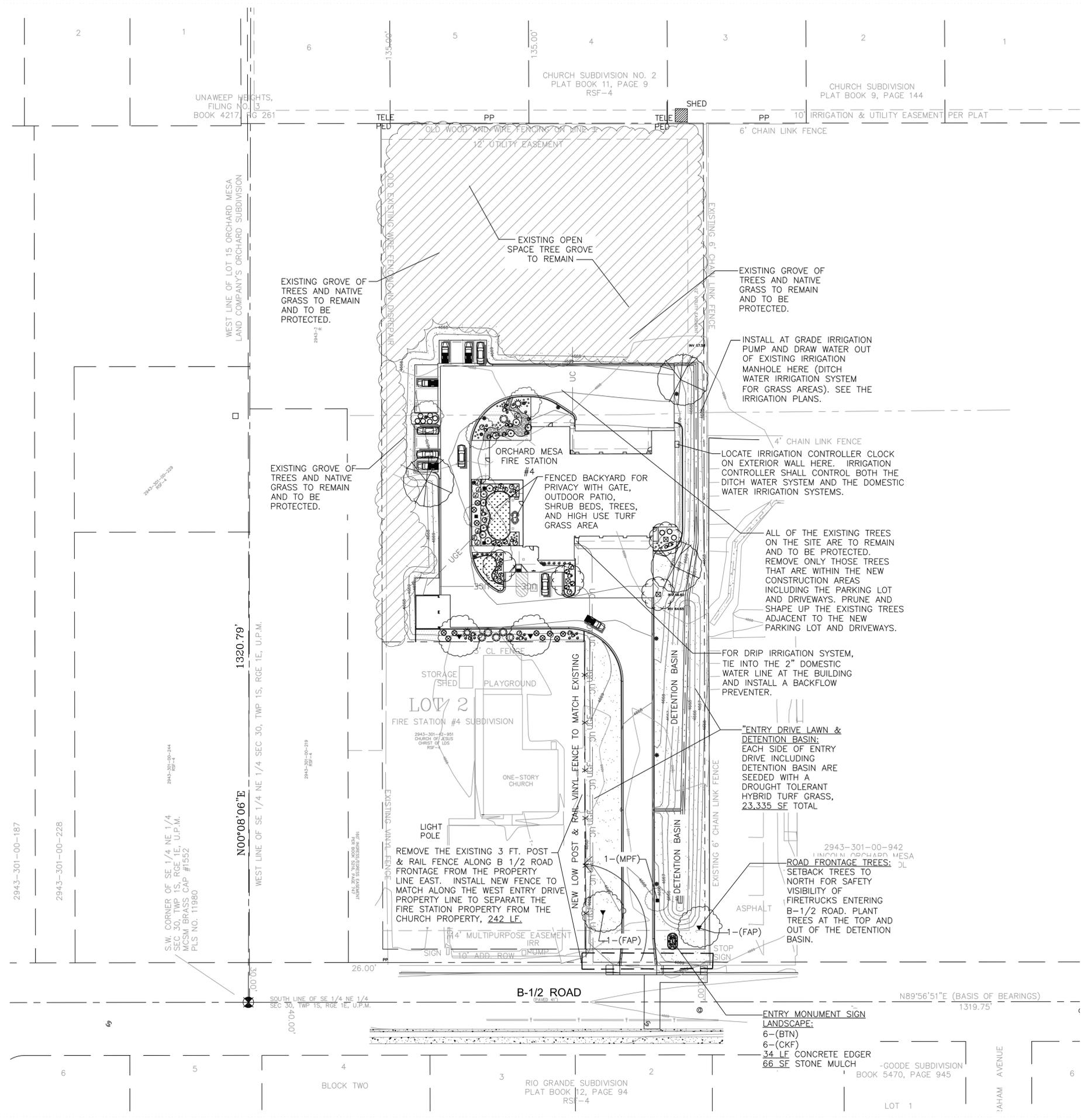
NO: ISSUED FOR: DATE:  
ADDENDUM #1 4/28/2015

PROJECT STATUS:  
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:

PROJECT NO:  
1443 **L101**



**LANDSCAPE  
MASTER PLAN**

Scale: 1" = 40'-0"



Julee Wolverson,  
Landscape Architect  
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Montrose, CO 81403  
p: 970.249.9392  
c: 970.417.1779  
wolverson@montrose.net

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT	
BY: _____	DATE: _____
CITY OF GRAND JUNCTION ENGINEERING	
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	
BY: _____	DATE: _____
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# Revised

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## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## LANDSCAPE PLAN

NO: ISSUED FOR: DATE:



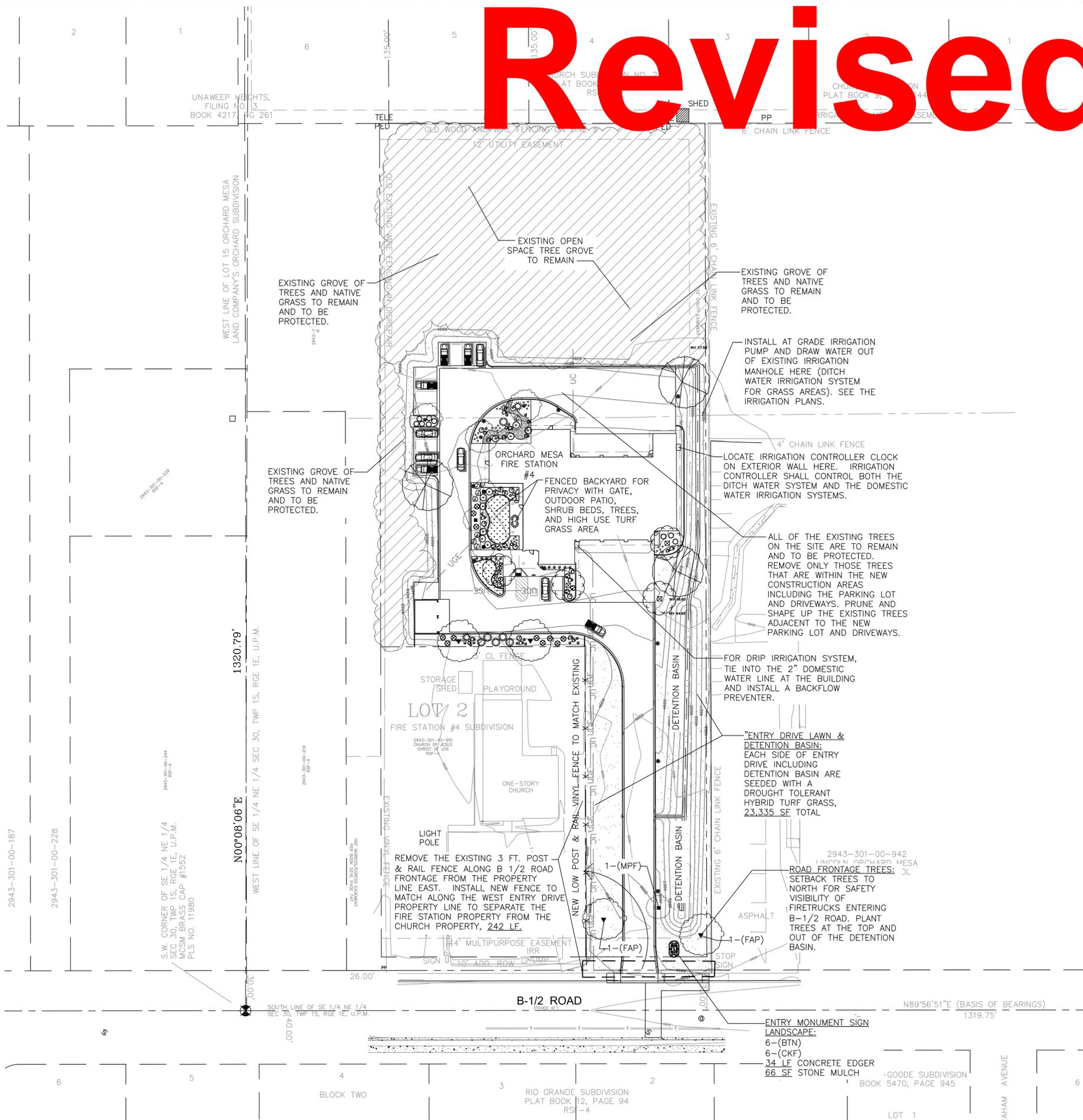
PROJECT STATUS:  
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## LANDSCAPE MASTER PLAN

Scale: 1" = 40'-0"



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Landscape Architect



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ACCEPTED AS CONSTRUCTED

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**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**LANDSCAPE  
ENLARGEMENT  
PLAN**

NO: ISSUED FOR: DATE:  
ADDENDUM #1 4/28/2015

PROJECT STATUS:  
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:

PROJECT NO:  
1443 **L201**

**LANDSCAPE NOTES:**

- SOIL AMENDMENT - INCORPORATE 5 CUBIC YARDS/1,000 SF AREA OF PREMIUM 3 ORGANIC COMPOST (TYPE 2) INTO TURF AREAS. AMEND SOIL PER THE GUIDELINES LISTED BELOW TO ADDRESS DEFICIENCIES NOTED IN THE SOIL ANALYSIS:
  - SALT LEVEL EQUAL TO OR LESS THAN 6 MMHOS/EM
  - pH LEVEL EQUAL TO OR LESS THAN 7
  - ORGANIC MATTER CONTENT EQUAL TO OR GREATER THAN 85%
  - NITROGEN: CARBON: BETWEEN 20:1 AND 30:1
  - PARTICLE SIZE: THE COURSER THE BETTER, NOT SILT OR CLAY SIZE PARTICLES
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER DRAWINGS. ALL TURF GRASS AREAS, BERMS, & SHRUB BEDS DO NOT EXCEED 3:1 SLOPE.
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- ALL PLANTS TO RECEIVE 3" DEPTH OF SHREDDED CEDAR BARK MULCH AROUND THE BASE OF EACH PLANT UNLESS OTHERWISE SPECIFIED. MULCH AROUND BASE OF TREES 2 FT. DIAMETER MINIMUM, AND SHRUBS 1 FT. DIAMETER MINIMUM.
- INSTALL 3" OF SPECIFIED STONE MULCH (NO LANDSCAPE FABRIC) THROUGHOUT ALL NON-TURF GRASS AREAS. SEE THE PLAN FOR LOCATIONS.
- ALL SHRUB BED AREAS AND GRASS AREAS TO BE SEPARATED BY AN EXTRUDED CONCRETE EDGER. SEE THE PLAN FOR LOCATIONS.
- NO PLANT MATERIAL SHALL BE LOCATED WITHIN 3 FT. OF A FIRE HYDRANT.
- PLANT MATERIAL WAS CHOSEN FOR ITS SPECIFIC VARIETY, HEIGHT, AND COLOR. ANY PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- LOCATE AND MARK LOCATIONS OF ALL UTILITIES PRIOR TO INSTALLING PLANT MATERIAL. DO NOT PLANT ANY TREES OR SHRUBS DIRECTLY OVER BURIED UTILITY LINES, OR ANY TREES UNDER OVERHEAD UTILITY LINES.
- WHEN PLANTING TREES OR SHRUBS, THOROUGHLY SOAK PLANTING HOLE WHILE BACKFILLING. PRUNE DEAD OR DAMAGED BRANCHES IMMEDIATELY AFTER PLANTING. FERTILIZE WITH AGRIFORM 21 GRAM PLANT TABLETS, 20-10-5. 6 TABLETS PER TREE, AND 3 PER SHRUB.
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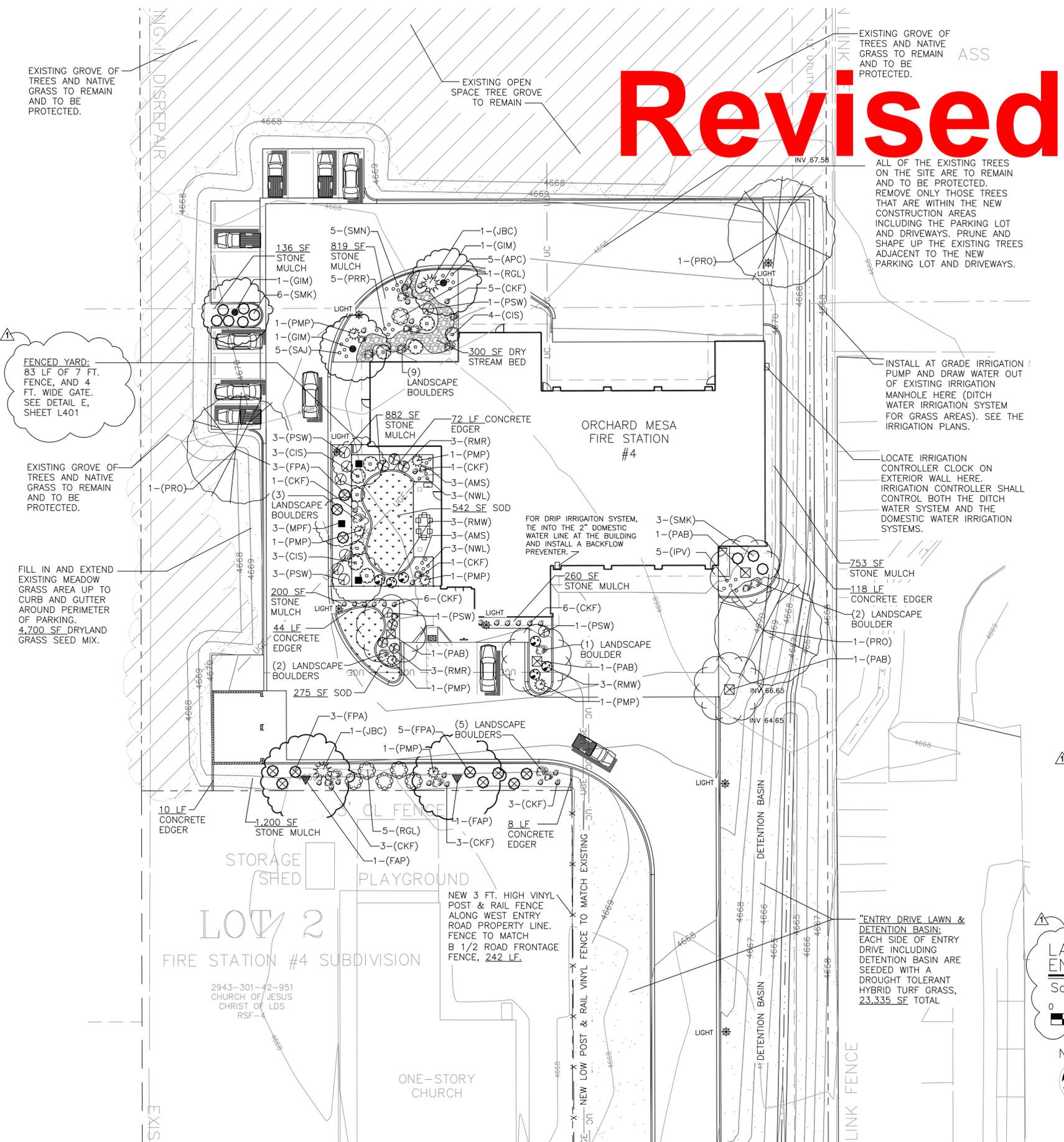


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**Revised**



# Revised

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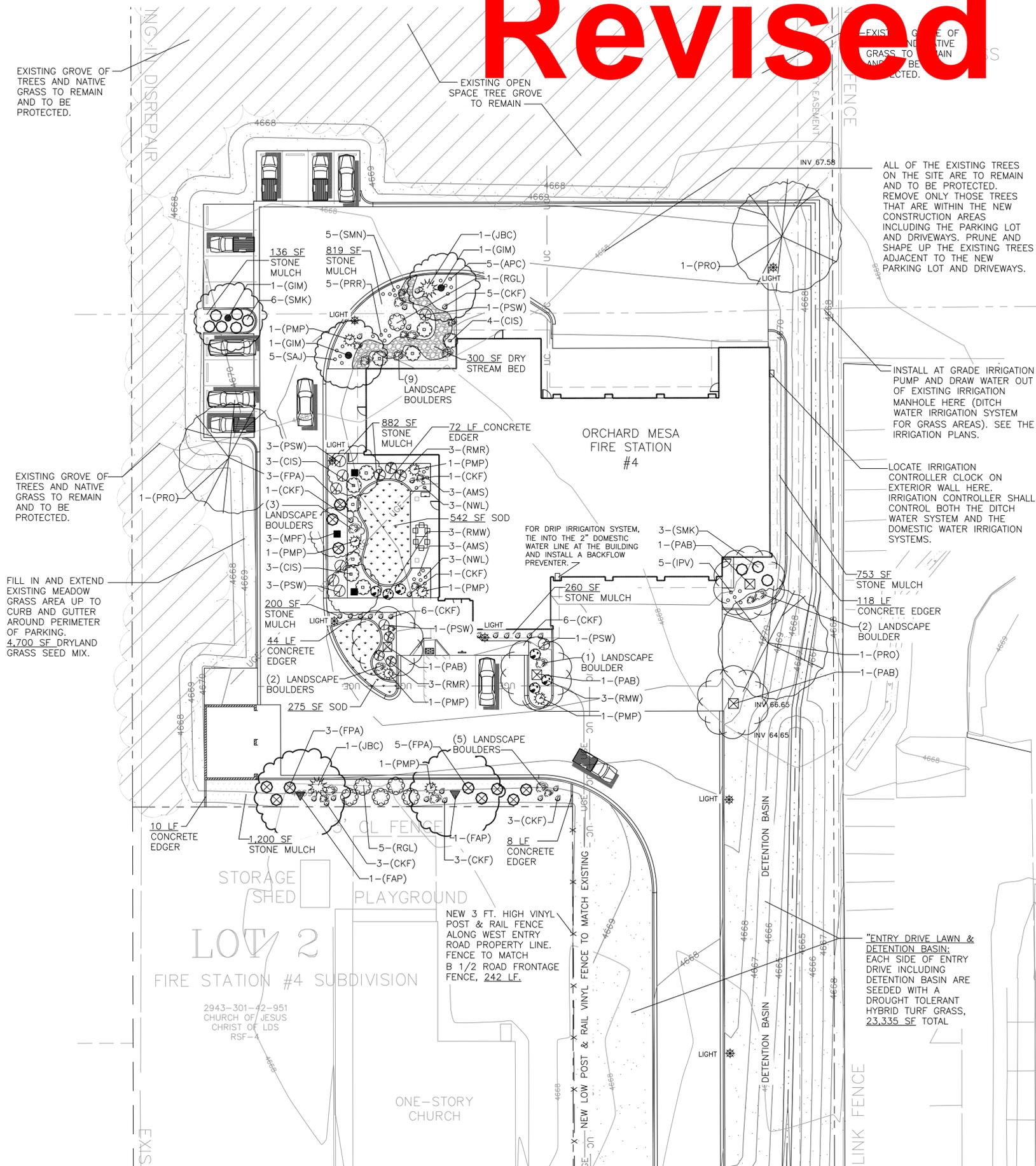
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EXISTING GROVE OF TREES AND NATIVE GRASS TO REMAIN AND TO BE PROTECTED.

EXISTING OPEN SPACE TREE GROVE TO REMAIN

ALL OF THE EXISTING TREES ON THE SITE ARE TO REMAIN AND TO BE PROTECTED. REMOVE ONLY THOSE TREES THAT ARE WITHIN THE NEW CONSTRUCTION AREAS INCLUDING THE PARKING LOT AND DRIVEWAYS. PRUNE AND SHAPE UP THE EXISTING TREES ADJACENT TO THE NEW PARKING LOT AND DRIVEWAYS.

INSTALL AT GRADE IRRIGATION PUMP AND DRAW WATER OUT OF EXISTING IRRIGATION MANHOLE HERE (DITCH WATER IRRIGATION SYSTEM FOR GRASS AREAS). SEE THE IRRIGATION PLANS.

LOCATE IRRIGATION CONTROLLER CLOCK ON EXTERIOR WALL HERE. IRRIGATION CONTROLLER SHALL CONTROL BOTH THE DITCH WATER SYSTEM AND THE DOMESTIC WATER IRRIGATION SYSTEMS.

EXISTING GROVE OF TREES AND NATIVE GRASS TO REMAIN AND TO BE PROTECTED.

FILL IN AND EXTEND EXISTING MEADOW GRASS AREA UP TO CURB AND GUTTER AROUND PERIMETER OF PARKING. 4,700 SF DRYLAND GRASS SEED MIX.

FOR DRIP IRRIGATION SYSTEM, TIE INTO THE 2" DOMESTIC WATER LINE AT THE BUILDING AND INSTALL A BACKFLOW PREVENTER.

753 SF STONE MULCH  
118 LF CONCRETE EDGER  
(2) LANDSCAPE BOULDER

"ENTRY DRIVE LAWN & DETENTION BASIN: EACH SIDE OF ENTRY DRIVE INCLUDING DETENTION BASIN ARE SEEDED WITH A DROUGHT TOLERANT HYBRID TURF GRASS, 23,335 SF TOTAL

10 LF CONCRETE EDGER

1,200 SF STONE MULCH

STORAGE SHED

PLAYGROUND

LOT 2

FIRE STATION #4 SUBDIVISION

2943-301-42-951 CHURCH OF JESUS CHRIST OF LDS RSF

ONE-STORY CHURCH

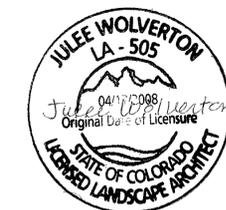
NEW 3 FT. HIGH VINYL POST & RAIL FENCE ALONG WEST ENTRY ROAD PROPERTY LINE. FENCE TO MATCH B 1/2 ROAD FRONTAGE FENCE, 242 LF.

NEW 3 FT. HIGH VINYL POST & RAIL VINYL FENCE TO MATCH EXISTING

DETENTION BASIN

DETENTION BASIN

LINK FENCE



## PLANT LEGEND: TREES

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(FAP)	FRAXINUS 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CALIPER	4 TOTAL	45' TALL, 30' SPREAD, PURPLE FALL COLOR
	(GIM)	GLEDITSIA TRICANTHOS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2" CALIPER	3 TOTAL	30' TALL, 25' SPREAD, YELLOW FALL COLOR
	(MPF)	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	2" CALIPER	4 TOTAL	20' TALL, 18' SPREAD, RED PINK SPRING FLOWERS
	(PRO)	POPULUS X ROBUSTA	ROBUSTA COTTONLESS COTTONWOOD	2" CALIPER	3 TOTAL	50' TALL, 30' SPREAD, YELLOW FALL COLOR
	(PAB)	PYRUS 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR (NON-FRUITING VARIETY)	2" CALIPER	4 TOTAL	40' TALL, 25' SPREAD, WHITE FLOWERS, RED FALL

## PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(AMS)	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
	(APC)	ARTEMESIA 'POWIS CASTLE'	POWIS CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
	(NWL)	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GALLON	6 TOTAL	12" TALL, 18" SPREAD, PURPLE SUMMER
	(PRR)	PENSTEMON 'RED ROCKS'	RED ROCKS PENSTEMON	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, PINK SUMMER
	(SMN)	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, BLUE SPRING
	(SAJ)	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GALLON	5 TOTAL	18" TALL, 12" SPREAD, RED FALL FLOWERS

## PLANT LEGEND: SHRUBS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(BTN)	BERBERIS THUNBERGII AUTROPURPUREA 'NANA'	CRIMSON PIGMY BARBERRY	5 GALLON	6 TOTAL	2' TALL, 2' SPREAD, RED FOLIAGE
	(CIS)	CORNUS ISANTI	ISANTI DOGWOOD	5 GALLON	10 TOTAL	4' TALL, 4' SPREAD, RED STEMS
	(FPA)	FALLUGIA PARADOXA	APACHE PLUME	5 GALLON	11 TOTAL	4' TALL, 4' SPREAD, WHITE SUMMER FLOWERS
	(JBC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GALLON	2 TOTAL	2' TALL, 6' SPREAD, BLUE EVERGREEN
	(PSW)	PHYSOCARPUS 'SUMMERWINE'	SUMMERWINE NINEBARK	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE FOLIAGE
	(PMP)	PINUS MUGO PUMILIO	DWARF MUGO PINE	5 GALLON	7 TOTAL	3' TALL, 4' SPREAD, EVERGREEN SHRUB
	(RGL)	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GALLON	6 TOTAL	3' TALL, 6' SPREAD, GLOSSY FOLIAGE
	(RMR)	ROSA 'MEIDLAND RED'	RED GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, RED FLOWERS
	(RMW)	ROSA 'MEIDLAND WHITE'	WHITE GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, WHITE FLOWERS
	(SMK)	SYRINGA 'MISS KIM'	MISS KIM LILAC	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE SPRING FLOWERS

## SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
	TURF GRASS SOD	817 SF	LOCALLY AVAILABLE TURF GRASS SOD. INSTALL PER THE SUPPLIER RECOMMENDATIONS. PREPARE SOIL WITH 5 CY SOIL CONDITIONER/1,000 SF. ROTOTILL AND FINE GRADE. INSTALL SOD JOINTS TIGHT, ROLL SOD TO ASSURE CONTACT WITH SOIL.
	TURF GRASS SEED (DROUGHT TOLERANT TURF)	28,035 SF	"HERCULES TURF BLEND" TURF GRASS MIXTURE AS AVAILABLE THRU SPENCERSGARDENS.COM. SEED AT THE RATE RECOMMENDED BY THE SUPPLIER FOR 100% COVERAGE. (DENSE, SHORT, DROUGHT TOLERANT, LOW MAINTENANCE, & LOOKS LIKE TURF)
	3/4" SCREENED TAN GRANITE (DESERT SWIRL)	4,316 SF <b>+ 468 SF</b>	PLACE 3" DEEP (NO LANDSCAPE FABRIC)
	4"-10" COBBLE DRY STREAM BED	300 SF <b>+ 100 SF</b>	MEANDER IN WIDTH AND DIRECTION. INSTALL PER THE DETAIL SHOWN ON SHEET L401.
	4"x6" EXTRUDED CONCRETE LANDSCAPE EDGER	286 LF	EXTRUDED 4"x6" CONCRETE LANDSCAPE EDGER. SEE THE DETAIL ON SHEET L401.
	LANDSCAPE BOULDER	11 MEDIUM 11 LARGE	BURY 2" DEPTH, SEE THE DETAIL ON SHEET L401 FOR TYPE, SIZES, AND INSTALLATION.
	3 FT. HIGH POST AND RAIL WHITE VINYL FENCE TO MATCH EXISTING	242 LF	INSTALL BY FENCE CONTRACTOR PER INDUSTRY STANDARDS.
	7 FT. HIGH COMMERCIAL GRADE DECORATIVE FENCE AND 4 FT. WIDE PEDESTRIAN GATE., BLACK COLOR	98 LF	AMERISTAR MFG. 7 FT. MONTAGE COMMERCIAL CLASSIC 3/4 RAIL, BLACK COLOR. INSTALL BY FENCE CONTRACTOR PER THE MFG. SPECS AND THE DETAIL ON SHEET L401.

## PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## LANDSCAPE LEGENDS

NO: ISSUED FOR: DATE:  
 ADDENDUM #1 4/28/2015  
 ADDENDUM #3 6/02/2015  
 PROPOSAL #3 6/16/2015

PROJECT STATUS:  
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:

PROJECT NO:  
1443 **L301**

Julie Wolverton,  
Landscape Architect



61945 Nighthawk Road  
Montrose, CO 81403  
p: 970.249.9392  
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wolverton@montrose.net

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

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"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

CHAMBERLIN ARCHITECTS  
437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804  
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Rapid City, South Dakota 57701  
T 605.355.6804  
www.chamberlinarchitects.com



### PLANT LEGEND: TREES

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(FAP)	FRAXINUS 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CALIPER	4 TOTAL	45' TALL, 30' SPREAD, PURPLE FALL COLOR
	(GIM)	GLEDITSIA TRICANTHOS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2" CALIPER	3 TOTAL	30' TALL, 25' SPREAD, YELLOW FALL COLOR
	(MPF)	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	2" CALIPER	4 TOTAL	20' TALL, 18' SPREAD, RED PINK SPRING FLOWERS
	(PRO)	POPULUS X ROBUSTA	ROBUSTA COTTONLESS COTTONWOOD	2" CALIPER	3 TOTAL	50' TALL, 30' SPREAD, YELLOW FALL COLOR
	(PAB)	PYRUS 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR (NON-FRUITING VARIETY)	2" CALIPER	4 TOTAL	40' TALL, 25' SPREAD, WHITE FLOWERS, RED FALL

### PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(IS)	LEUCANTHEMUM 'MOONSHINE'	MOONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
	(IC)	LEUCANTHEMUM 'DWARF CASTLE'	DWARF CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
	(NWL)	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GALLON	6 TOTAL	12" TALL, 18" SPREAD, PURPLE SUMMER
	(PRR)	PENSTEMON 'RED ROCKS'	RED ROCKS PENSTEMON	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, PINK SUMMER
	(SMN)	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, BLUE SPRING
	(SAJ)	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GALLON	5 TOTAL	18" TALL, 12" SPREAD, RED FALL FLOWERS

Revised

### PLANT LEGEND: SHRUBS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(BTN)	BERBERIS THUNBERGII AUTROPURPUREA 'NANA'	CRIMSON PIGMY BARBERRY	5 GALLON	6 TOTAL	2' TALL, 2' SPREAD, RED FOLIAGE
	(CIS)	CORNUS ISANTI	ISANTI DOGWOOD	5 GALLON	10 TOTAL	4' TALL, 4' SPREAD, RED STEMS
	(FPA)	FALLUGIA PARADOXA	APACHE PLUME	5 GALLON	11 TOTAL	4' TALL, 4' SPREAD, WHITE SUMMER FLOWERS
	(JBC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GALLON	2 TOTAL	2' TALL, 6' SPREAD, BLUE EVERGREEN
	(PSW)	PHYSOCARPUS 'SUMMERWINE'	SUMMERWINE NINEBARK	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE FOLIAGE
	(PMP)	PINUS MUGO PUMILIO	DWARF MUGO PINE	5 GALLON	7 TOTAL	3' TALL, 4' SPREAD, EVERGREEN SHRUB
	(RGL)	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GALLON	6 TOTAL	3' TALL, 6' SPREAD, GLOSSY FOLIAGE
	(RMR)	ROSA 'MEIDLAND RED'	RED GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, RED FLOWERS
	(RMW)	ROSA 'MEIDLAND WHITE'	WHITE GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, WHITE FLOWERS
	(SMK)	SYRINGA 'MISS KIM'	MISS KIM LILAC	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE SPRING FLOWERS

### SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
	TURF GRASS SOD	817 SF	LOCALLY AVAILABLE TURF GRASS SOD. INSTALL PER THE SUPPLIER RECOMMENDATIONS. PREPARE SOIL WITH 5 CY SOIL CONDITIONER/1,000 SF. ROTOTILL AND FINE GRADE. INSTALL SOD JOINTS TIGHT, ROLL SOD TO ASSURE CONTACT WITH SOIL.
	TURF GRASS SEED (DROUGHT TOLERANT TURF)	28,035 SF	"HERCULES TURF BLEND" TURF GRASS MIXTURE AS AVAILABLE THRU SPENCERSGARDENS.COM. SEED AT THE RATE RECOMMENDED BY THE SUPPLIER FOR 100% COVERAGE. (DENSE, SHORT, DROUGHT TOLERANT, LOW MAINTENANCE, & LOOKS LIKE TURF)
	3/4" SCREENED TAN GRANITE (DESERT SWIRL)	4,316 SF	PLACE 3" DEEP (NO LANDSCAPE FABRIC)
	4"-10" COBBLE DRY STREAM BED	300 SF	MEANDER IN WIDTH AND DIRECTION. INSTALL PER THE DETAIL SHOWN ON SHEET L401.
	4"x6" EXTRUDED CONCRETE LANDSCAPE EDGER	286 LF	EXTRUDED 4"x6" CONCRETE LANDSCAPE EDGER. SEE THE DETAIL ON SHEET L401.
	LANDSCAPE BOULDER	11 MEDIUM 11 LARGE	BURY 2" DEPTH, SEE THE DETAIL ON SHEET L401 FOR TYPE, SIZES, AND INSTALLATION.
	3 FT. HIGH POST AND RAIL WHITE VINYL FENCE TO MATCH EXISTING	242 LF	INSTALL BY FENCE CONTRACTOR PER INDUSTRY STANDARDS.
	7 FT. HIGH COMMERCIAL GRADE DECORATIVE FENCE AND 4 FT. WIDE PEDESTRIAN GATE., BLACK COLOR	LF	AMERISTAR MFG. 7 FT. MONTAGE COMMERCIAL CLASSIC 3/4 RAIL, BLACK COLOR. INSTALL BY FENCE CONTRACTOR PER THE MFG. SPECS AND THE DETAIL ON SHEET L401.

### PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

### ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

### LANDSCAPE LEGENDS

NO: ISSUED FOR: DATE:  
ADDENDUM #1 4/28/2015



PROJECT STATUS:  
100% CD's  
DRAWN BY: JW CHECKED BY: JW  
DATE:  
04-10-15 SHEET NO:

PROJECT NO:  
1443 **L301**

Julie Wolverson,  
Landscape Architect  
  
61945 Nighthawk Road  
Montrose, CO 81403  
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CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF GRAND JUNCTION ENGINEERING

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## PLANT LEGEND: TREES

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(FAP)	FRAXINUS 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CALIPER	4 TOTAL	45' TALL, 30' SPREAD, PURPLE FALL COLOR
	(GIM)	GLEDITSIA TRICANTHOS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2" CALIPER	3 TOTAL	30' TALL, 25' SPREAD, YELLOW FALL COLOR
	(MPF)	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	2" CALIPER	4 TOTAL	20' TALL, 18' SPREAD, RED PINK SPRING FLOWERS
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## PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(AMS)	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
	(APC)	ARTEMESIA 'POWIS CASTLE'	POWIS CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
	(NWL)	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GALLON	6 TOTAL	12" TALL, 18" SPREAD, PURPLE SUMMER
	(PRR)	PENSTEMON 'RED ROCKS'	RED ROCKS PENSTEMON	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, PINK SUMMER
	(SMN)	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, BLUE SPRING
	(SAJ)	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GALLON	5 TOTAL	18" TALL, 12" SPREAD, RED FALL FLOWERS

## PLANT LEGEND: SHRUBS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(BTN)	BERBERIS THUNBERGII AUTROPURPUREA 'NANA'	CRIMSON PIGMY BARBERRY	5 GALLON	6 TOTAL	2' TALL, 2' SPREAD, RED FOLIAGE
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## PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

## SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
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	TURF GRASS SEED (DROUGHT TOLERANT TURF)	28,035 SF	"HERCULES TURF BLEND" TURF GRASS MIXTURE AS AVAILABLE THRU SPENCERSGARDENS.COM. SEED AT THE RATE RECOMMENDED BY THE SUPPLIER FOR 100% COVERAGE. (DENSE, SHORT, DROUGHT TOLERANT, LOW MAINTENANCE, & LOOKS LIKE TURF)
	3/4" SCREENED TAN GRANITE (DESERT SWIRL)	4,316 SF	PLACE 3" DEEP (NO LANDSCAPE FABRIC)
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## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## LANDSCAPE LEGENDS

NO: ISSUED FOR: DATE:



PROJECT STATUS:  
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:

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1443 **L301**

Julie Wolverton,  
Landscape Architect



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p: 970.249.9392  
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CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT	
BY: _____	DATE: _____
CITY OF GRAND JUNCTION ENGINEERING	
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	
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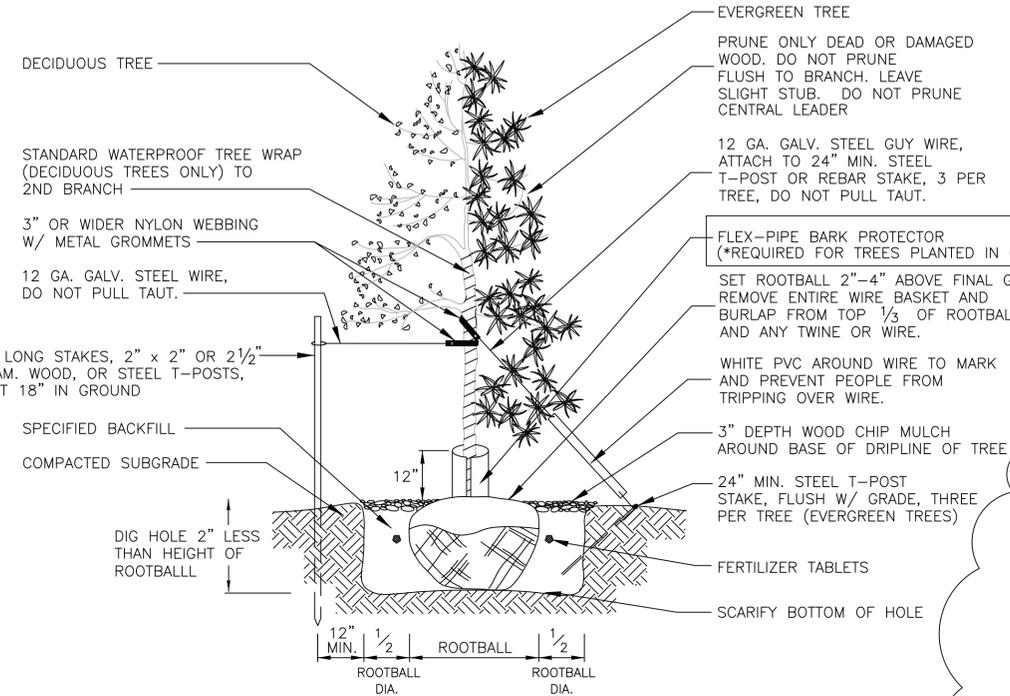
# Revised



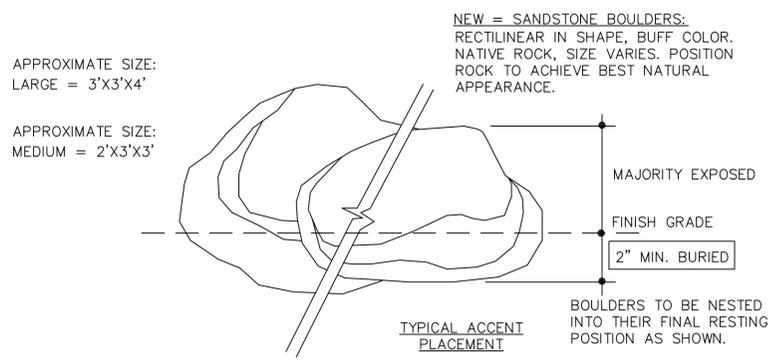
GUYING PATTERN FOR DECIDUOUS TREE PLANTING

GUYING PATTERN FOR EVERGREEN TREE PLANTING

ALL TREES REQUIRE (3) BUBBLERS PER TREE

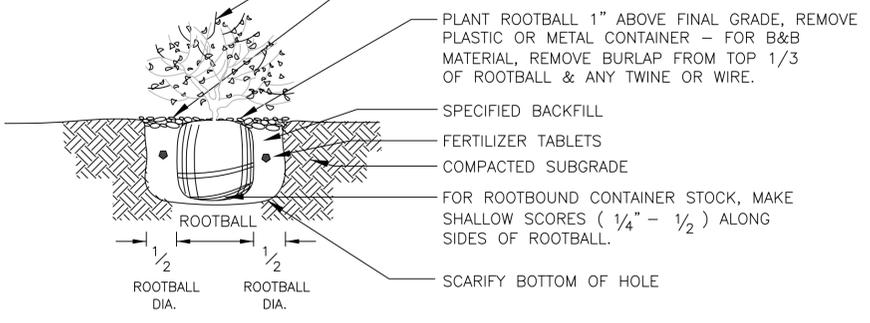


A TREE PLANTING SECTION  
L401 NOT TO SCALE

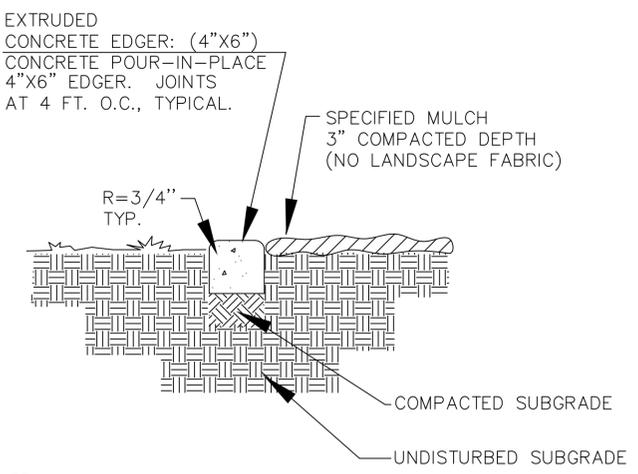


D LANDSCAPE BOULDERS  
L401 NOT TO SCALE

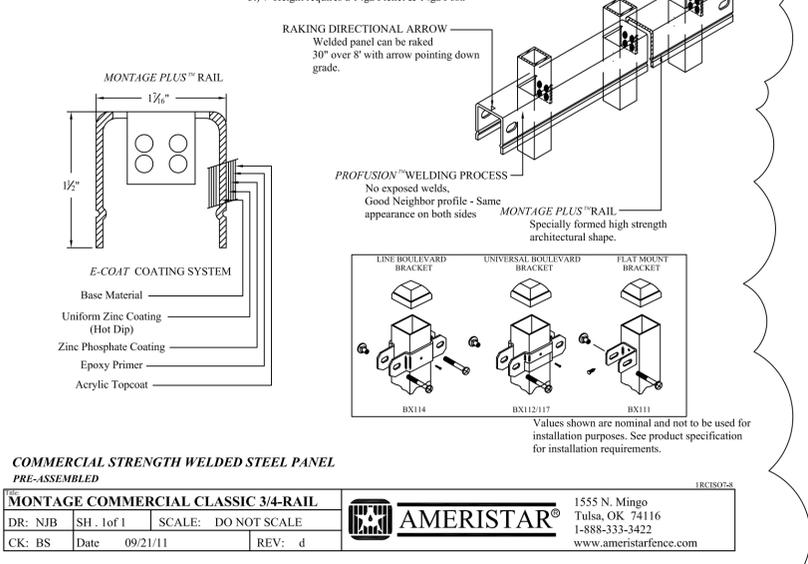
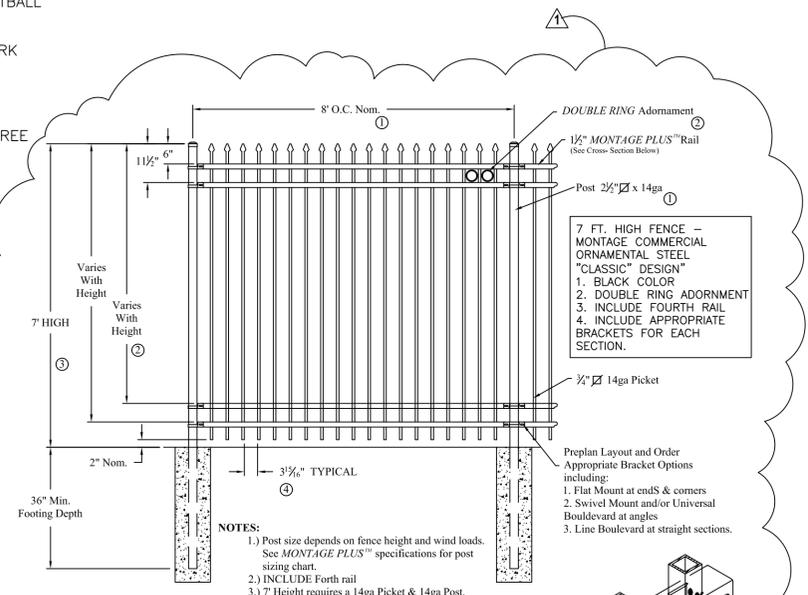
1. PLACEMENT OF LANDSCAPE BOULDERS REFERS TO BOULDERS PLACED IN THE GROUND 2" MIN BURIED BELOW GRADE AND REMAINDER EXPOSED ABOVE FINISH GRADE, TYPICAL.
2. CARE SHALL BE TAKEN DURING PLACEMENT AND HANDLING TO AVOID UNNATURAL SCARRING OF THE EXPOSED SURFACE.



B SHRUB & PERENNIAL PLANTING SECTION  
L401 NOT TO SCALE



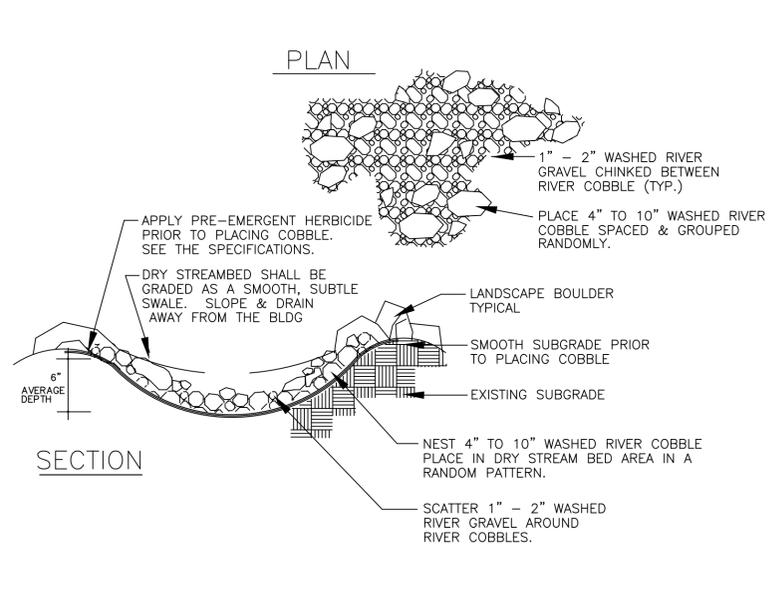
C CONCRETE EDGER / STONE MULCH  
L401 NOT TO SCALE



E 7 FT. COMMERCIAL GRADE DECORATIVE FENCE  
L401 NOT TO SCALE

COMMERCIAL STRENGTH WELDED STEEL PANEL PRE-ASSEMBLED

MONTAGE COMMERCIAL CLASSIC 3/4-RAIL			
DR: NJB	SH: 1of1	SCALE: DO NOT SCALE	1555 N. Mingo Tulsa, OK 74116 1-888-333-3422 www.ameristarfence.com
CK: BS	Date: 09/21/11	REV: d	



- NOTE:
1. WIDTH OF DRY STREAM BED SHALL VARY IN WIDTH FROM APPROX. 3 FT. WIDE MIN. TO 6 FT. WIDE MAX.
  2. LANDSCAPE BOULDERS SHALL BE NESTED IN GROUPS IN A RANDOM FASHION ALONG THE EDGES AND THROUGHOUT THE DRY STREAM BED AS SHOWN ON THE DWGS.
  3. APPLY A PRE-EMERGENT HERBICIDE THROUGHOUT STREAM BED AREA BEFORE PLACEMENT OF COBBLE (TYP.)
  4. INSTALL DRY STREAM BED TO LOOK AS NATURAL AS POSSIBLE WITH VARYING ROCK SIZES, GROUPINGS OF BOULDERS, AND VARYING WIDTH. LANDSCAPE ARCHITECT MUST APPROVE LAYOUT.

F DRY STREAM BED DETAIL  
L401 NOT TO SCALE

Julee Wolverton,  
Landscape Architect

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Montrose, CO 81403  
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CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

By: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

By: \_\_\_\_\_ DATE: \_\_\_\_\_

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CHAMBERLIN ARCHITECTS  
ENHANCING EVERYDAY LIVING THROUGH DESIGN

CHAMBERLIN ARCHITECTS  
437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804

725 Saint Joseph St., Suite B1  
Rapid City, South Dakota 57701  
T 605.355.6804

www.chamberlinarchitects.com



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## LANDSCAPE DETAILS

ISSUED FOR: \_\_\_\_\_ DATE: \_\_\_\_\_  
ADDENDUM #1 4/28/2015

PROJECT STATUS:  
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:  
PROJECT NO:  
1443 **L401**

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

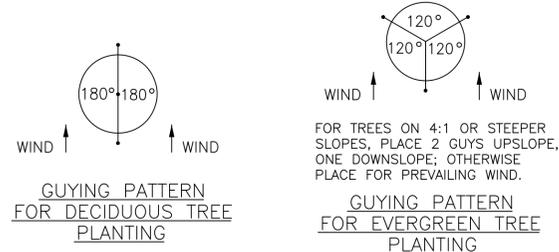
# Revised

CHAMBERLIN ARCHITECTS

437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804

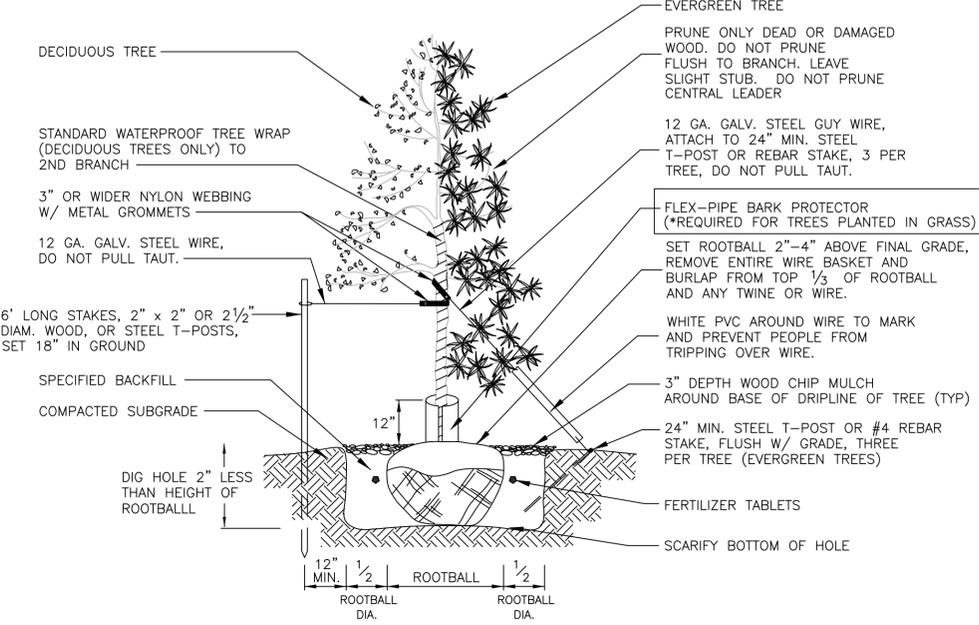
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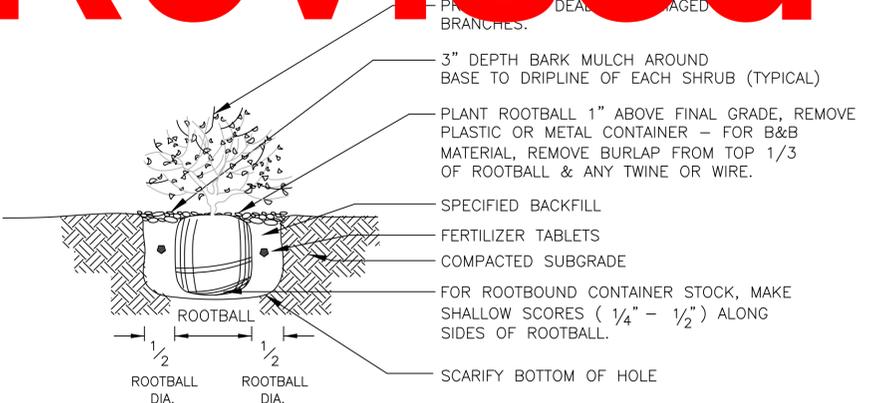


FOR TREES ON 4:1 OR STEEPER SLOPES, PLACE 2 GUYS UPSLOPE, ONE DOWNSLOPE; OTHERWISE PLACE FOR PREVAILING WIND.

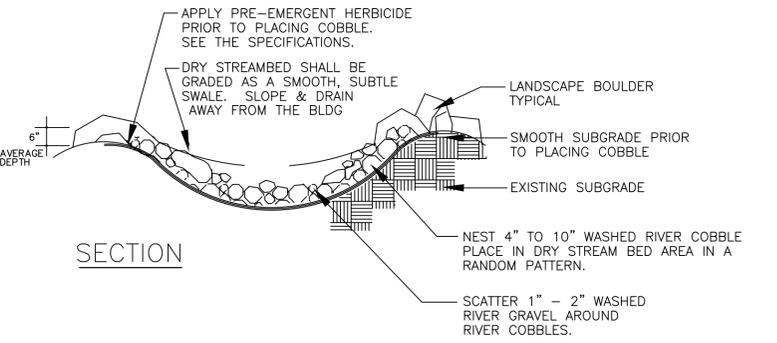
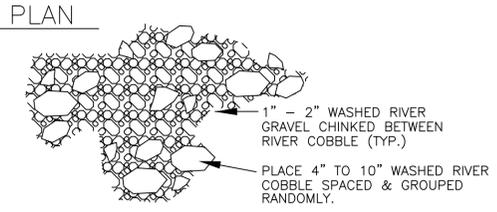
ALL TREES REQUIRE (3) BUBBLERS PER TREE



**A** TREE PLANTING SECTION  
L401 NOT TO SCALE

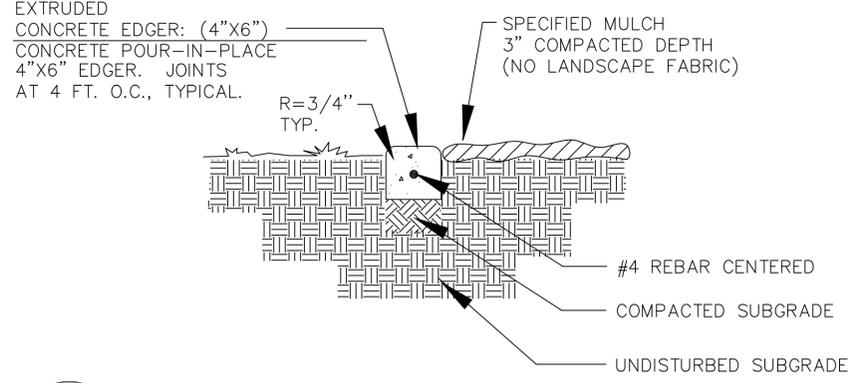


**B** SHRUB & PERENNIAL PLANTING SECTION  
L401 NOT TO SCALE

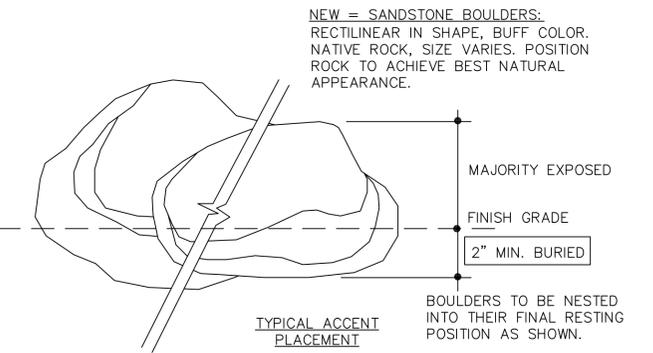


- NOTE:
1. WIDTH OF DRY STREAM BED SHALL VARY IN WIDTH FROM APPROX. 3 FT. WIDE MIN. TO 6 FT. WIDE MAX.
  2. LANDSCAPE BOULDERS SHALL BE NESTED IN GROUPS IN A RANDOM FASHION ALONG THE EDGES AND THROUGHOUT THE DRY STREAM BED AS SHOWN ON THE DWGS.
  3. APPLY A PRE-EMERGENT HERBICIDE THROUGHOUT STREAM BED AREA BEFORE PLACEMENT OF COBBLE (TYP.)
  4. INSTALL DRY STREAM BED TO LOOK AS NATURAL AS POSSIBLE WITH VARYING ROCK SIZES, GROUPINGS OF BOULDERS, AND VARYING WIDTH. LANDSCAPE ARCHITECT MUST APPROVE LAYOUT.

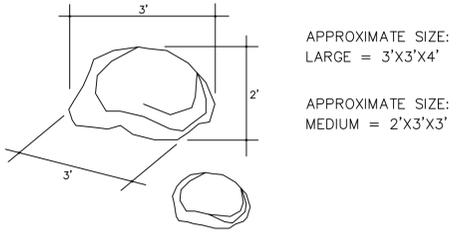
**E** DRY STREAM BED DETAIL  
L401 NOT TO SCALE



**C** CONCRETE EDGER / STONE MULCH  
L401 NOT TO SCALE



1. PLACEMENT OF LANDSCAPE BOULDERS REFERS TO BOULDERS PLACED IN THE GROUND 2" MIN BURIED BELOW GRADE AND REMAINDER EXPOSED ABOVE FINISH GRADE, TYPICAL.
2. CARE SHALL BE TAKEN DURING PLACEMENT AND HANDLING TO AVOID UNNATURAL SCARRING OF THE EXPOSED SURFACE.



**D** LANDSCAPE BOULDERS  
L401 NOT TO SCALE

Julee Wolverton,  
Landscape Architect



61945 Nighthawk Road  
Montrose, CO 81403  
p: 970.249.9392  
c: 970.417.1779  
wolverton@montrose.net

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT	
By: _____	DATE: _____
CITY OF GRAND JUNCTION ENGINEERING	
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	
By: _____	DATE: _____
ACCEPTED AS CONSTRUCTED	
By: _____	DATE: _____

## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## LANDSCAPE DETAILS

ISSUED FOR: DATE:



PROJECT STATUS:  
100% CD's

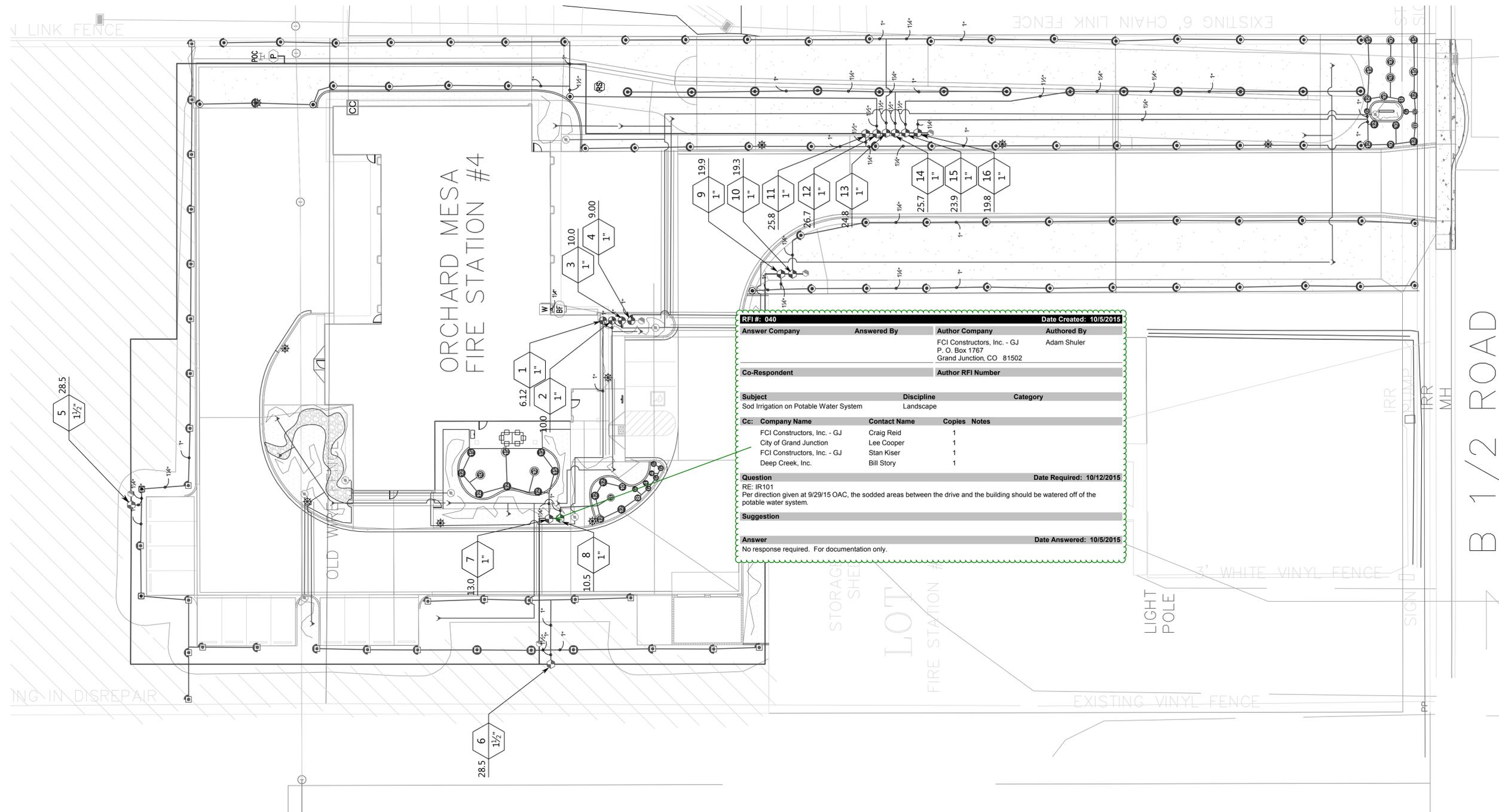
DRAWN BY: JW CHECKED BY: JW

DATE:  
04-10-15 SHEET NO:

PROJECT NO:  
1443 **L401**

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."





**RFI #: 040** Date Created: 10/5/2015

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ	Adam Shuler
		P. O. Box 1767	
		Grand Junction, CO 81502	

Co-Respondent: Author RFI Number

Subject	Discipline	Category
Sod Irrigation on Potable Water System	Landscape	

Cc: Company Name	Contact Name	Copies	Notes
FCI Constructors, Inc. - GJ	Craig Reid	1	
City of Grand Junction	Lee Cooper	1	
FCI Constructors, Inc. - GJ	Stan Kiser	1	
Deep Creek, Inc.	Bill Story	1	

**Question** Date Required: 10/12/2015  
RE: IR101  
Per direction given at 9/29/15 OAC, the sodded areas between the drive and the building should be watered off of the potable water system.

**Suggestion**

**Answer** Date Answered: 10/5/2015  
No response required. For documentation only.

**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**IRRIGATION  
PLAN**

NO: ISSUED FOR: DATE:



PROJECT STATUS:  
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE:  
**04-10-2015** SHEET NO:

PROJECT NO:  
**1443**  
2015-0002 **IR101**

**WATERING SCHEDULE**

NUMBER	MODEL	TYPE	PRECIP IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PGA-PRS-D- Globe					
2	Rain Bird PGA-PRS-D- Globe					
3	Rain Bird PGA-PRS-D- Globe					
4	Rain Bird PGA-PRS-D- Globe					
5	Rain Bird PESB (2)	Turf Rotary	0.41 in/h	1.40	5,897	2,948
6	Rain Bird PESB (2)	Turf Rotary	0.51 in/h	1.40	4,758	2,379
7	Rain Bird PESB (2)	Turf Spray	1.85 in/h	1.40	548.6	182.9
8	Rain Bird PESB (2)	Turf Spray	2.71 in/h	1.40	333.9	111.3
9	Rain Bird PESB (2)	Turf Rotary	0.36 in/h	1.40	4,686	2,343
10	Rain Bird PESB (2)	Turf Rotary	0.34 in/h	1.40	4,733	2,367
11	Rain Bird PESB (2)	Turf Rotary	0.36 in/h	1.40	6,054	3,027
12	Rain Bird PESB (2)	Turf Rotary	0.56 in/h	1.40	4,001	2,000
13	Rain Bird PESB (2)	Turf Rotary	0.35 in/h	1.40	6,036	3,018
14	Rain Bird PESB (2)	Turf Rotary	0.32 in/h	1.40	6,782	3,391
15	Rain Bird PESB (2)	Turf Rotary	0.35 in/h	1.40	5,679	2,839
TOTALS:			2,627	53,203	26,455	



Scale: 1" = 20'-0"  
0 20 40 60



**Grand Junction  
Pipe & Supply**  
Irrigation Design Department  
2868 I-70 Bus. Loop  
Grand Jct, CO 81501  
(970) 243-4604

Design Date:  
**04-10-2015**  
Drawing Number:  
**2015-0002**

Designed By:  
**B.G.V.**  
Checked By:  
**J.J.S.**

# IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC
	Rain Bird 1804-SAM-PRS 5 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	360
	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	360
	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	180
	Rain Bird 1804-SAM-PRS 12 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	90
	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	180
	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	90
	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	7	Adj
	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	9	Adj
	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
	Rain Bird R-VAN-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 4.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	3	CST
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	13	360
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	58	180
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4	90
	Rain Bird R-VAN-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17'-24' Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 6.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	2	CST
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3	360



Rain Bird R-1724 RD-1806-SAM-P45 (2)  
Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.

18 180



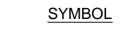
Rain Bird R-1724 RD-1806-SAM-P45 (2)  
Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.

8 90



Rain Bird 1804-SAM-PRS With Hunter PCN-25 Bubbler Nozzles  
4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.

18 360



1" PVC Pipe Transition Point above grade  
Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.

9



3/4" Drip Tube

678.9 I.F.



Rain Bird X CZ-100-PRB-LC 1"  
Medium Plus Flow Drip Control Kit, for Light Commercial Uses. 1" PGA Valve, with 1" Pressure Regulating 40psi Basket Filter. 5gpm to 20gpm.

4



Rain Bird PESB (2) 1"  
1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.

10



Rain Bird PESB (2) 1-1/2"  
1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.

2



Rain Bird 33-DLRC 3/4"  
3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.

6



Febco 825YA 1" Reduced Pressure Backflow Preventer

1



Rain Bird ESP4-SMTE with (2) ESP-SM6 Modules  
Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.

1



Rain Bird Rain Sensor With Rainfall and Temperature Data

1



MUNRO LP200B 2-HP Irrigation Pump

1



Irrigation Water Point Of Connection (Existing Irrigation Manhole)

1



2" Domestic Water Supply Line ( Tap Location For Domestic System)

1



Irrigation Lateral Line: PVC Class 200 SDR 21 1"  
PVC Class 200 irrigation pipe.

2,240 I.F.



Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"  
PVC Class 200 irrigation pipe.

460 I.F.



Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2"  
PVC Class 200 irrigation pipe.

300 I.F.



Irrigation Lateral Line: PVC Schedule 40  
PVC Class 200 irrigation pipe.

1500 I.F.



Irrigation Mainline: PVC Class 200 SDR 21 2"  
PVC Class 200 irrigation pipe.

1100 I.F.



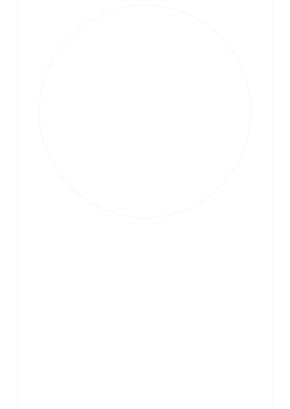
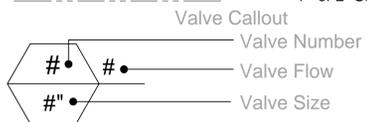
Irrigation Mainline: PVC Schedule 40 1 1/4"

100 I.F.



Pipe Sleeve: PVC Schedule 80  
4" or 2" Sch-40 Sleeving

440 I.F.



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## IRRIGATION LEGEND

NO: ISSUED FOR: DATE:



**Grand Junction Pipe & Supply**  
Irrigation Design Department  
2868 I-70 Bus. Loop  
Grand Jct, CO 81501  
(970) 243-4604

Design Date: <b>04-29-2015</b>	Designed By: <b>B.G.V.</b>
Drawing Number: <b>2015-0002</b>	Checked By: <b>J.J.S.</b>

PROJECT STATUS:  
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: **04-29-2015** SHEET NO.:

PROJECT NO: **1443**  
2015-0002

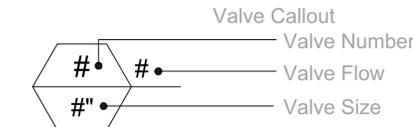
# IR201

# IRRIGATION SCHEDULE

# Revised

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC
⊕	Rain Bird 1804-SAM-PRS 5 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
⊕	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	360
⊕	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
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⊕	Rain Bird 1804-SAM-PRS 12 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	90
⊕	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	180
⊕	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	90
⊕	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
⊕	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	7	Adj
⊕	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
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⊕	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
⊕	Rain Bird R-VAN-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 4.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	3	CST
⊕	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	13	360
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⊕	Rain Bird R-VAN-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17'-24' Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 6.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	2	CST
⊕	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17'-24' Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3	360

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	1" PVC Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	9
⊕	3/4" Drip Tube	678.9 l.f.
⊕	Rain Bird PGA-PRS-D- Globe 1" 1", 1-1/2", 2" Electric Remote Control Valve, Globe. With Pressure Regulator Module.	4
⊕	Rain Bird PESB (2) 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	10
⊕	Rain Bird PESB (2) 1-1/2" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2
⊕	Rain Bird 33-DLRC 3/4" 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	6
⊕	Febco 825YA 1" Reduced Pressure Backflow Preventer	1
⊕	Rain Bird ESP4-SMTE with (2) ESP-SM6 Moudules Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.	1
⊕	Rain Bird Rain Sensor With Rainfall and Temperature Data	1
⊕	MUNRO LP200B 2-HP Irrigation Pump	1
⊕	Irrigation Water Point Of Connection (Existing Irrigation Manhole)	1
⊕	2" Domestic Water Supply Line ( Tap Location For Domestic System)	1
⊕	Irrigation Lateral Line: PVC Class 200 SDR 21 1" PVC Class 200 irrigation pipe.	2,240 l.f.
⊕	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4" PVC Class 200 irrigation pipe.	460 l.f.
⊕	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2" PVC Class 200 irrigation pipe.	300 l.f.
⊕	Irrigation Lateral Line: PVC Schedule 40 PVC Class 200 irrigation pipe.	1500 l.f.
⊕	Irrigation Mainline: PVC Class 200 SDR 21 2" PVC Class 200 irrigation pipe.	1100 l.f.
⊕	Irrigation Mainline: PVC Schedule 40 1 1/4"	100 l.f.
⊕	Pipe Sleeve: PVC Schedule 80 4" or 2" Sch-40 Sleevng	440 l.f.



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## IRRIGATION LEGEND

NO. ISSUED FOR: DATE:



PROJECT STATUS:  
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: 04-10-2015 SHEET NO:

PROJECT NO: 1443

2015-0002

**Grand Junction  
Pipe & Supply**  
Irrigation Design Department  
2868 I-70 Bus. Loop  
Grand Jct, CO 81501  
(970) 243-4604

Design Date: <b>04-10-2015</b>	Designed By: <b>B.G.V.</b>
Drawing Number: <b>2015-0002</b>	Checked By: <b>J.J.S.</b>

# IR201

**IRRIGATION NOTES:**

- All work shall be per existing county or state code and is subject to inspection and approval by appropriate inspectors and/or owner representative. Installer to be responsible for all installation standards, practices and all permit requirements.
- Julee Wolverton Landscapes have provided all base and planting information. Any discrepancies between said information and these irrigation plans shall be their responsibility. The installer will assume all costs and liabilities associated with any and all field changes to the system design.
- The system is designed to operate from the source with a flow of 28-30 gallons per minute (GPM) at 55 pounds per square inch (PSI) at the pump. (Irrigation Water Supply)
- This is designed to operate from a domestic water connection with the source providing a flow of 10-12 gallons per minute (GPM) at 75 pounds per square inch (PSI) with a 1" 825 RPYA Backflow Device. Unless otherwise noted on the plans, source flow and pressure are the responsibility of others.
- All pipe to be sleeved wherever concrete, asphalt, or any hard surfaces are to be overlaid. All sleeves to be 2 times the diameter of the pipe to be sleeved. Main line sleeves to have an additional 4" inch sleeve in parallel for control wires.
- Irrigation plan is a diagrammatic single line drawing. Any components shown on plan outside of landscape are shown for clarity only. Multiple pipes may be installed in the same trench when proper pipe spacing can be maintained.
- Main line to be buried 24" (inch) to top of pipe.
- Control wires to be routed with main line and attached at 24" increments with plastic wire ties or duct tape. Wire should be a looped common and one hot wire to each valve with extra wires in valve box. Wire splices to be located in a 10" (inch) round or larger valve box at least.
- Swing pipe to be used on all sprinkler heads under 6 GPM and swing joints on all heads over 6 GPM. Maximum length of swing pipe to be 5' (foot).
- Isolation valves to be located in 10" (inch) round valve box or larger.
- For obstructions (Electrical Transformers, Trees, Fire Hydrants, etc...), that will interfere with proper coverage of sprinkler heads, will require the addition of properly patterned heads around obstruction as to provide head to head coverage to all irrigated areas.
- Sprinkler heads to be set perpendicular to finished grade and adjusted to prevent over spray onto non irrigated areas.
- Laterals are sized at transitions only, segments that are not noted will be the same size as adjacent segments. Up stream segments will never be smaller than any down stream segments on the same lateral.

**VALVE SCHEDULE**

NUMBER	MODEL	SIZE	TYPE	PSI	PSI @ POC	GPM	PRECIP
<u>Domestic Water System</u>							
1	Rain Bird XCZ-100-PRB-LC Control Zone Kit	1"	SHRUB AREA FOR DRIP EMITTERS		39.80	6.12	0.30 in/h
2	Rain Bird XCZ-100-PRB-LC Control Zone Kit	1"	TREE ZONE WITH PCN BUBBLERS		45.99	10.0	30.64 in/h
3	Rain Bird XCZ-100-PRB-LC Control Zone Kit	1"	SHRUB AREA FOR DRIP EMITTERS		38.94	10.0	0.30 in/h
4	Rain Bird XCZ-100-PRB-LC Control Zone Kit	1"	TREE ZONE WITH PCN BUBBLERS		44.81	9.00	30.64 in/h
<u>Irrigation Water System</u>							
5	Rain Bird PESB (2)	1-1/2"	Turf Rotary	50.63	51.42	28.49	0.41 in/h
6	Rain Bird PESB (2)	1-1/2"	Turf Rotary	49.28	50.16	28.49	0.51 in/h
7	Rain Bird PESB (2)	1"	Turf Spray	32.59	50.81	12.97	1.85 in/h
8	Rain Bird PESB (2)	1"	Turf Spray	32.28	50.81	10.50	3.22 in/h
9	Rain Bird PESB (2)	1"	Turf Rotary	50.53	50.81	19.94	0.36 in/h
10	Rain Bird PESB (2)	1"	Turf Rotary	50.50	50.77	19.32	0.34 in/h
11	Rain Bird PESB (2)	1"	Turf Rotary	51.64	51.92	25.76	0.36 in/h
12	Rain Bird PESB (2)	1"	Turf Rotary	52.99	53.29	26.67	0.56 in/h
13	Rain Bird PESB (2)	1"	Turf Rotary	51.67	51.94	24.84	0.35 in/h
14	Rain Bird PESB (2)	1"	Turf Rotary	50.57	50.86	25.69	0.32 in/h
15	Rain Bird PESB (2)	1"	Turf Rotary	51.28	51.54	23.86	0.35 in/h
16	Rain Bird PESB (2)	1"	Turf Spray	35.95	51.54	19.77	2.29 in/h

**WATERING SCHEDULE**

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
<u>Domestic Water System</u>							
1	Rain Bird XCZ-100-PRB-LC Control Zone Kit	SHRUB AREA FOR DRIP EMITTERS	0.30 in/h	1.40	280		
2	Rain Bird XCZ-100-PRB-LC Control Zone Kit	TREE ZONE WITH PCN BUBBLERS	30.64 in/h	1.40	3		
3	Rain Bird XCZ-100-PRB-LC Control Zone Kit	SHRUB AREA FOR DRIP EMITTERS	0.30 in/h	1.40	280		
4	Rain Bird XCZ-100-PRB-LC Control Zone Kit	TREE ZONE WITH PCN BUBBLERS	30.64 in/h	1.40	3		
<u>Irrigation Water System</u>							
5	Rain Bird PESB	Turf Rotary	0.41 in/h	1.40	207	5,897	2,948
6	Rain Bird PESB	Turf Rotary	0.51 in/h	1.40	167	4,758	2,379
7	Rain Bird PESB	Turf Spray	1.85 in/h	1.40	46	596.7	198.9
8	Rain Bird PESB	Turf Spray	3.22 in/h	1.40	27	283.6	94.5
9	Rain Bird PESB	Turf Rotary	0.36 in/h	1.40	235	4,686	2,343
10	Rain Bird PESB	Turf Rotary	0.34 in/h	1.40	245	4,733	2,367
11	Rain Bird PESB	Turf Rotary	0.36 in/h	1.40	235	6,054	3,027
12	Rain Bird PESB	Turf Rotary	0.56 in/h	1.40	150	4,001	2,000
13	Rain Bird PESB	Turf Rotary	0.35 in/h	1.40	243	6,036	3,018
14	Rain Bird PESB	Turf Rotary	0.32 in/h	1.40	264	6,782	3,391
15	Rain Bird PESB	Turf Rotary	0.35 in/h	1.40	238	5,679	2,839
16	Rain Bird PESB	Turf Spray	2.29 in/h	1.40	37	731.6	243.9
<b>TOTALS:</b>			<b>2,660</b>	<b>50,238</b>	<b>24,850</b>		



**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**IRRIGATION  
NOTES &  
DETAILS**

NO: ISSUED FOR: DATE:



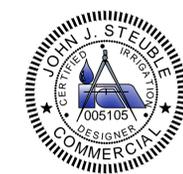
PROJECT STATUS:  
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE:  
**04-29-2015** SHEET NO:

PROJECT NO:  
**1443**  
2015-0002

**IR301**



**Grand Junction  
Pipe & Supply**  
Irrigation Design Department  
2868 I-70 Bus. Loop  
Grand Jct, CO 81501  
(970) 243-4604

Design Date: <b>04-29-2015</b>	Designed By: <b>B.G.V.</b>
Drawing Number: <b>2015-0002</b>	Checked By: <b>J.J.S.</b>

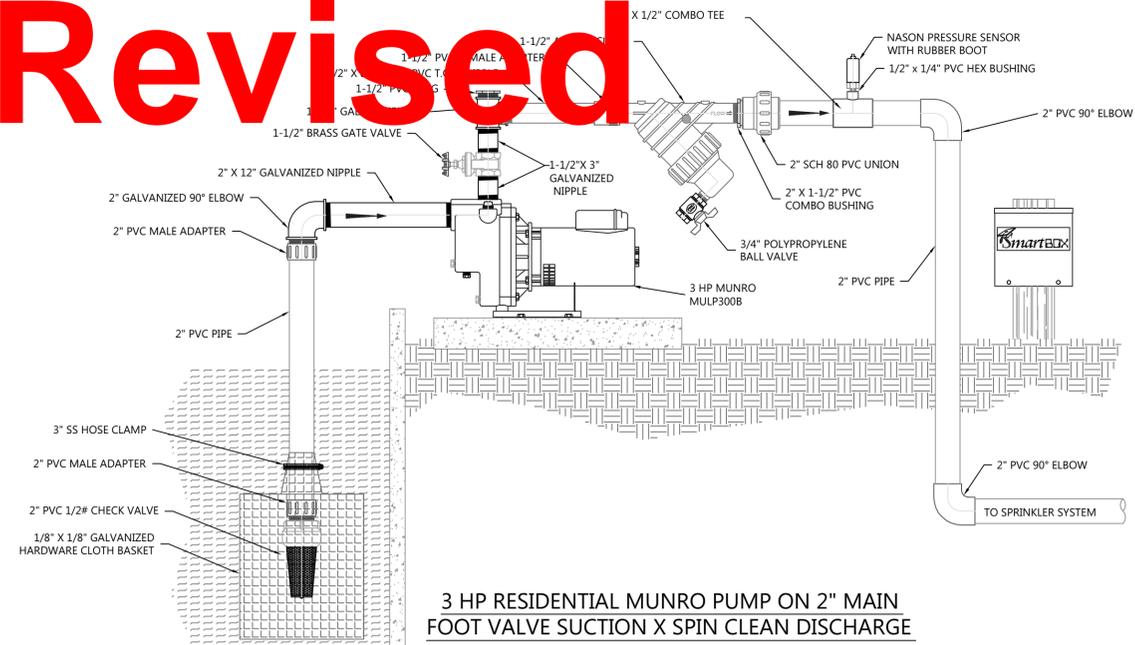
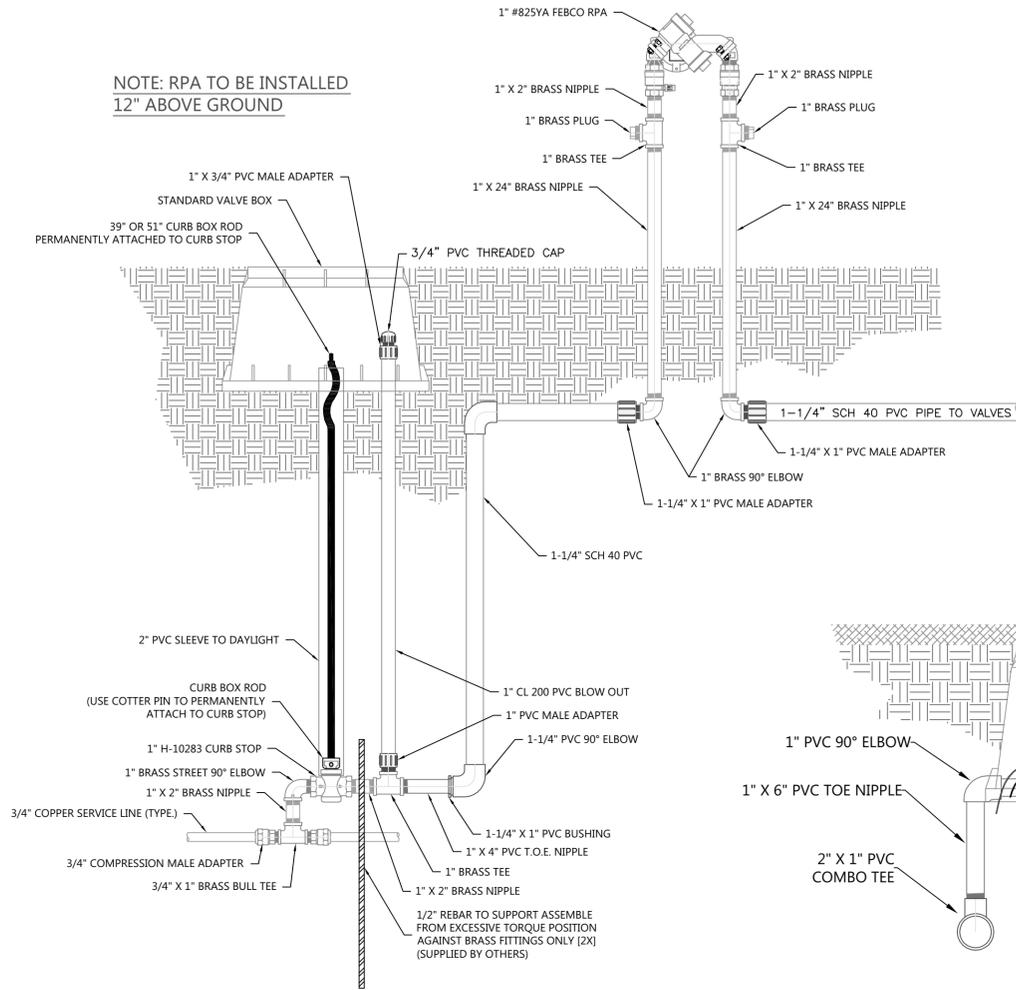




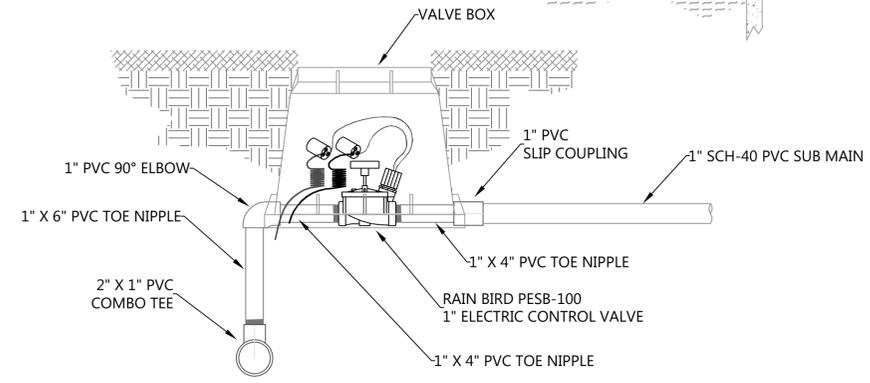
CITY OF GRAND JUNCTION & UTE WATER  
DOMESTIC CONNECTION DETAIL

# Revised

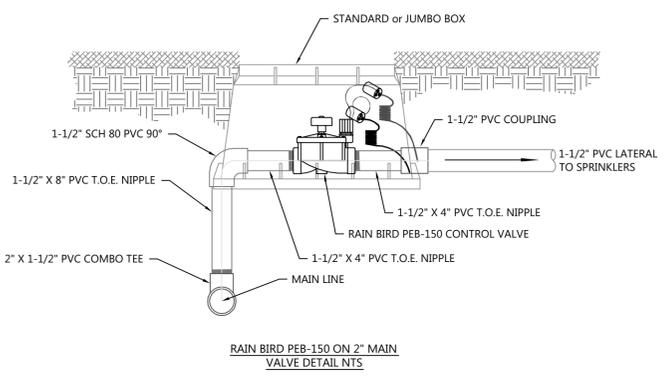
NOTE: RPA TO BE INSTALLED  
12" ABOVE GROUND



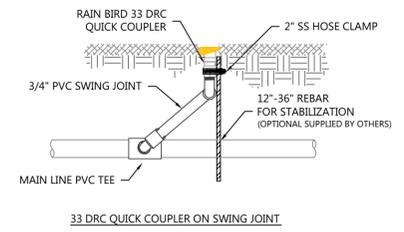
3 HP RESIDENTIAL MUNRO PUMP ON 2" MAIN  
FOOT VALVE SUCTION X SPIN CLEAN DISCHARGE



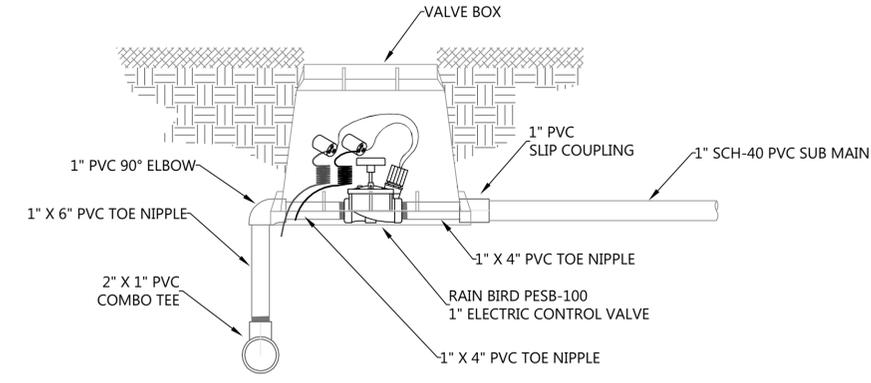
RAIN BIRD PEB-100 ON 2" MAIN  
VALVE DETAIL NTS



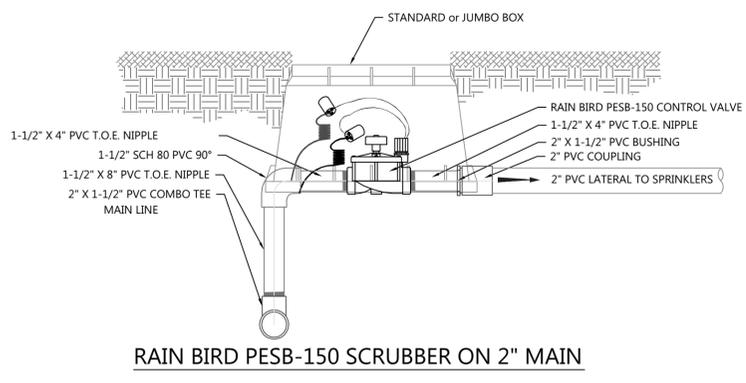
RAIN BIRD PEB-150 ON 2" MAIN  
VALVE DETAIL NTS



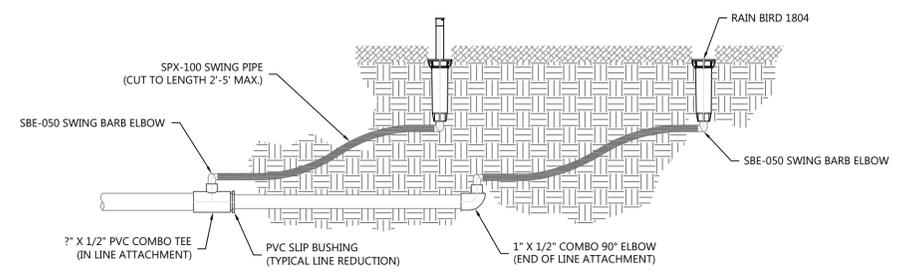
33 DRC QUICK COUPLER ON SWING JOINT



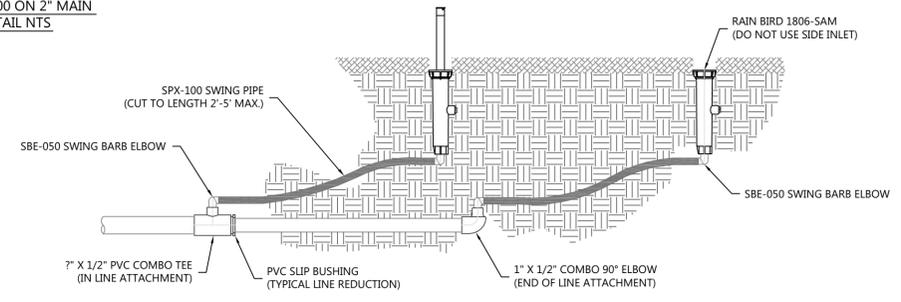
RAIN BIRD PEB-100 ON 2" MAIN  
VALVE DETAIL NTS



RAIN BIRD PESB-150 SCRUBBER ON 2" MAIN



RAIN BIRD 1804 ON SWING PIPE



RAIN BIRD 1806-SAM ON SWING PIPE

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## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## IRRIGATION DETAILS

NO: ISSUED FOR: DATE:



PROJECT STATUS:  
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE:  
04-10-2015 SHEET NO:

PROJECT NO:  
1443 IR302  
2015-0002



**Grand Junction  
Pipe & Supply**  
Irrigation Design Department  
2868 I-70 Bus. Loop  
Grand Jct, CO 81501  
(970) 243-4604

Design Date: 04-10-2015	Designed By: B.G.V.
Drawing Number: 2015-0002	Checked By: J.J.S.

4/10/2015 11:08:15 AM

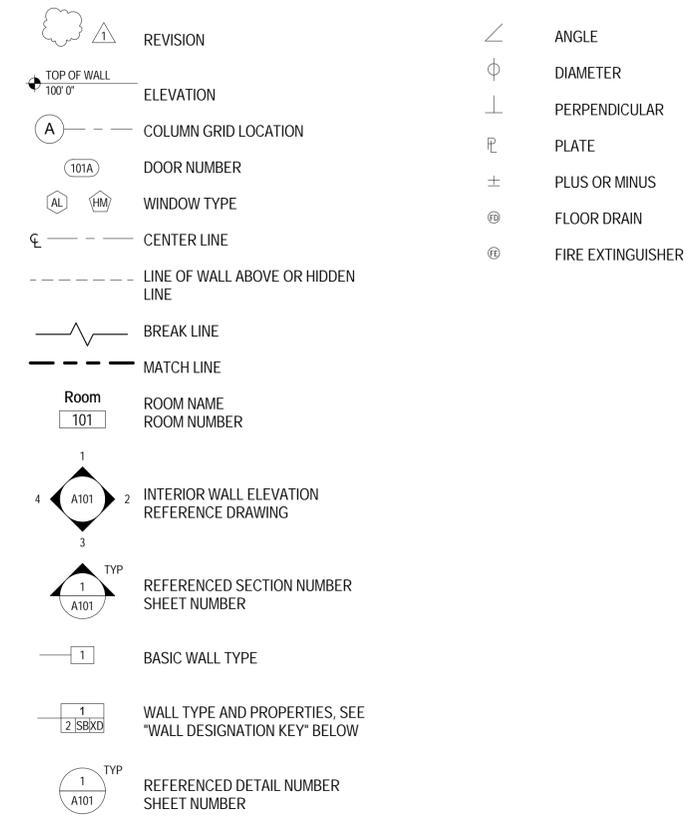
CURRENT PROJECTS\1443-CENTRAL-Panel.rvt

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**ARCHITECTURAL ABBREVIATIONS**

ABV above	ACC accessories	AFF above finished floor	ALT alternate	AL aluminum	APC acoustical panel ceiling	ARCH architect (ural)	ASPH asphalt	A/C air conditioning	BCS baby changing station	BD board	BLDG building	BLKG blocking	BO bottom of	BRG bearing	CBU cementitious backer unit	CG corner guard	CJ control joint	CLG ceiling	CLR clear (ance)	CMU concrete masonry unit	CNRG corner guard	COL column	CONC concrete	CONT continuous or continue	CORR corridor	CPT carpet (ed)	CSMT casement	CT ceramic tile	CTR center	CU condensing unit	CWOG center wall on grid	DBL double	DEMO demolish / demolition	DF drinking fountain	DIM dimension (s)	DIR direction	DISP dispenser	DN down	DR door	DS downspout	DTL detail	DWG drawing	DWR drawer	E east	EA each	EC evaporative cooler	EF exhaust fan	EG etched glass/glazing	EIFS exterior insul finish sys	EJ expansion joint	EL elevation	ELEC electric (al)	EM emergency	EWC electric water cooler	EWG end wall corner guard	EQ equal	EXG existing	EXH exhaust	EXP exposed	EXT exterior	FBO furnished by owner	FD floor drain	FDN foundation	FE fire extinguisher	FEC fire extinguisher cabinet	FEP finished end panel	FFE finished floor elevation	FIN finish	FLG flashing	FLR floor (ing)	FLUR fluorescent	FO face of	FRMG framing	FRP fiber reinforced plastic	FT foot (feet)	FTG footing	FV field verify	GA gage, gauge	GAL gallon	GALV galvanized	GB grab bar	GC general contractor	GL glass, glazing	GWB gypsum wallboard	GYP gypsum	HAS headed anchor stud	HB hose bibb	HCP handicap (ed)	HDR header	HDW hardware	HM hollow metal	HOR horizontal	HP heat pump	HR hose reel	HSS hollow structural steel	HT height	HVAC heating /vent /air cond	HWD hardwood	INCL include (d) (ing)	INSUL insulate (d) (ing)	INT interior	INV invert	JST joist	JT joint	L length, angle	LAM laminate (d)	LAV lavatory	LB pound	LF lineal foot	LG laminated glass, glazing	LIN linoleum	LR louver	LT light	MA match	MAS masonry	MATL material	MAX maximum	MB marker board	MECH mechanic (al)	MFR manufacture (r) (d)	MH manhole	MIN minimum	MISC miscellaneous	MLD molding, moulding	MMB membrane	MO masonry opening	MT mount (ed) (ing)	MTL metal	N north	N/A not applicable	NIC not in contract	NOM nominal	NTS not to scale	NECY necessary	OC on center (s)	OD outside diameter	OFD overflow drain	OH overhead	OPG opening	OPH opposite hand	OPP opposite	OSB oriented strand board	OTS open to structure	PB particle board	PERF perforate	PERIM perimeter	PLAM plastic laminate	PLT plate	PNL panel	PNT paint (ed)	PR pair	PROJ projector, projection	PSF pounds per square foot	PTI pounds per square inch	PT pressure treated	PTD paper towel dispenser	PTN partition	PVC polyvinyl choiride	PVMT pavement	PWD plywood	QT quarry tile	R riser, radius	RB rubber base	REC recycling	RCMD recommend (ed) (ations)	RE reference	REF refrigerator	REIN reinforce (d) (ing)	REQ required	REV revision (s), revised	RD roof drain	RFG roofing	RH robe hook	RM room	RO rough opening	ROW right of way	RR restroom	RTU roof top unit	RUB rubber	S south	SAG susp acoustic grid	SC shower curtain rod & hooks	SCH schedule	SD soap dispenser	SHT sheet	SHTG sheathing	SIM similar	SND sanitary napkin dispenser	SNV sanitary napkin vendor	SPEC specification	SPKR speaker	SO square	SS solid surface	SST stainless steel	STD standard	STL steel	STOR storage	STR structural	SUSP suspended	T tread	TB towel bar	TEL telephone	T.O. top of	TOC top of concrete	TOS top of steel	TOW top of wall	TPD toilet paper dispenser	TS tube steel	TYP typical	T&G tongue and groove	UNO unless noted otherwise	VB vapor barrier	VCT vinyl composition tile	VERT vertical	VIF verify in field	VM vending machine	VNL vinyl sheet	VTR vent through roof	W west, wide, width	W/ with	WB wood base	WC watercloset	WD wood	WDW window	WF wide flange	WG wire glass	W/O without	WP waterproof (ing)	WR waste receptacle	WRB weather resistive barrier	WWM welded wire mesh
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**SYMBOLS**



**GENERAL NOTES**

- COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN.
- ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.
- ALL ALIGNMENTS ARE FACE OF FINISH UNO.
- FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR INSTALLATION. PROVIDE 1/2-HR RATED WALLS SEPARATING SLEEPING UNITS (PER GA FILE NO. WP 3514).

CHAMBERLIN ARCHITECTS  
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**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES**

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A001**

**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**

PROJECT: Orchard Mesa Fire Station #4	ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Four (4)
OWNER: City of Grand Junction	ARCHITECT: Chamberlin Architects 437 Main Street Grand Junction, CO 81501
TO: FCI Constructors, Inc. 3070 I-70 B, Bldg A Grand Junction, CO 81504	ARCHITECT'S PROJECT NO: 1443
	DATE OF ISSUANCE: July 29, 2015

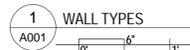
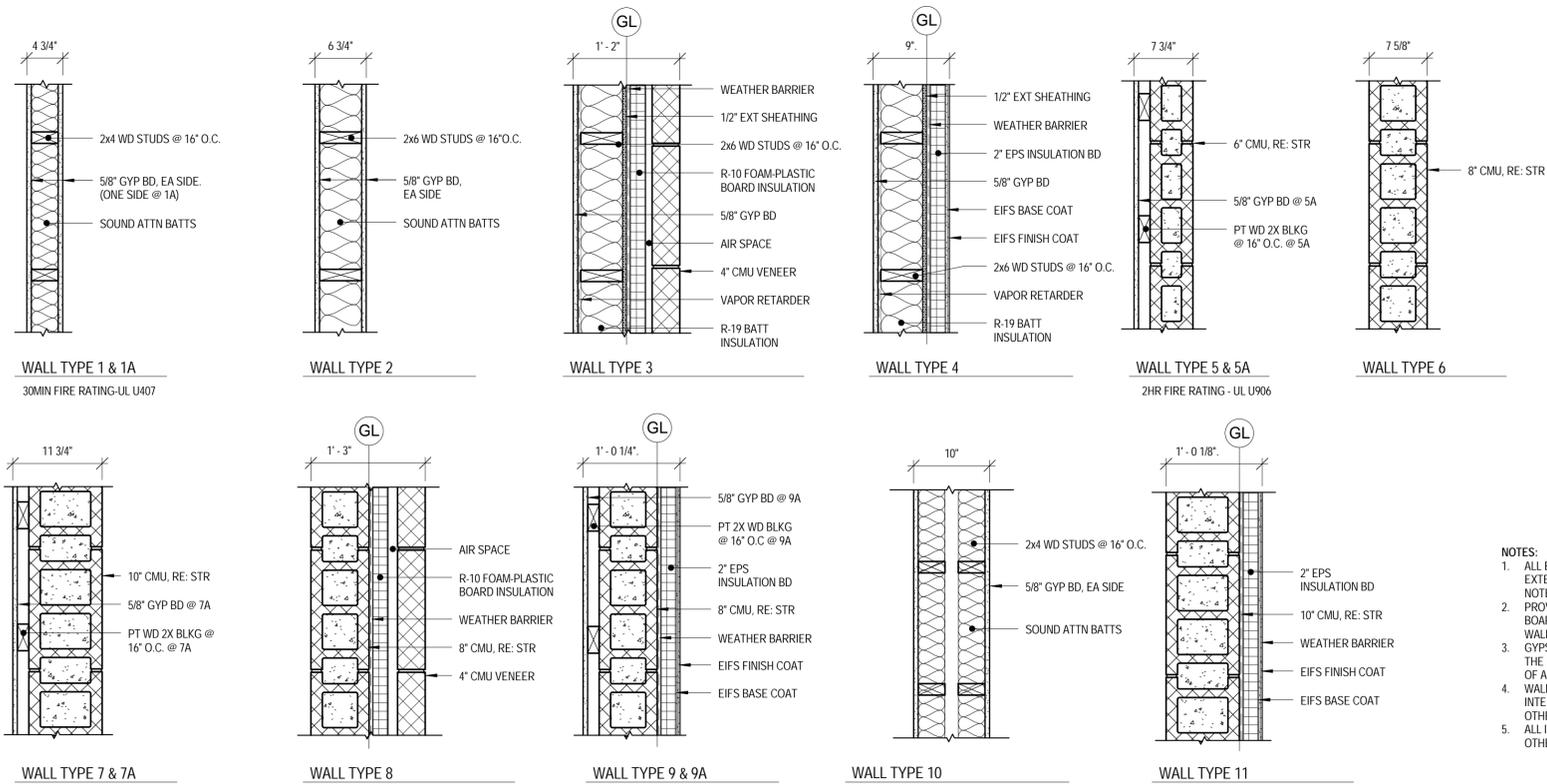
The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Preceding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

- Sheet A001, Wall Types, Wall Types 1, 1A & 10. Change text to read: "30-MIN FIRE RATING - UL U407, APPLIES TO WALLS WITH HEAVY DASHED LINE AS INDICATED ON SHEET A002, LIFE SAFETY PLAN"
- Sheet A001, Wall Types, Wall Types 5 & 5A. Delete "2-HR FIRE RATING - UL U906"

Attachments: None

ARCHITECT: Chamberlin Architects, P.C.

BY: Jonathan West  
S:\1443 - Orchard Mesa Fire Station #46. CONSTRUCTION\AS\ASH004 1443.doc



- NOTES:**
- ALL EXTERIOR WALL TYPES ARE SHOWN WITH THE EXTERIOR WALL FACING RIGHT UNLESS OTHERWISE NOTED.
  - PROVIDE GLASS MAT WATER-RESISTANT BACKER BOARD IN LIEU OF GYPSUM WALL BOARD BEHIND ALL WALL TILE.
  - GYPSUM BOARD SHALL BE MOISTURE-RESISTANT AT THE FOLLOWING LOCATIONS: WALLS AND CEILINGS OF ALL RESTROOMS AND SHOWERS
  - WALL TYPE CHANGES OCCUR AT CORNERS OR INTERSECTIONS OF WALLS UNLESS NOTED OTHERWISE.
  - ALL INTERIOR WALLS TO BE TYPE 1 UNLESS NOTED OTHERWISE.





**LEGEND**

	GYP BD, PAINT		6\" X 4\" RECESSED LINEAR FLUORESCENT WALL WASH, RE: ELEC		PENDANT, RE: ELEC		SUPPLY AIR GRILLE, RE: MECH	<b>NOTE:</b> CENTER LIGHT FIXTURES IN SPACE AS SHOWN ON REFLECTED CEILING PLANS WHEN LIGHT FIXTURES ARE NOT DIMENSIONED. (TYP)
	2X4 ACOUSTICAL PANEL CEILING. BALANCE TILE AND GRID AT EDGES IN ROOMS, UNO.		SUSPENDED LINEAR STRIP LIGHT, RE: ELEC		DOWNLIGHT, RE: ELEC		EXHAUST FAN, RE: MECH	
	2X2 ACOUSTICAL PANEL CEILING. BALANCE TILE AND GRID AT EDGES IN ROOMS, UNO.		UNDERCABINET LIGHT, RE: ELEC		WALL SCONCE, RE: ELEC		RETURN AIR GRILLE, RE: MECH	
			2X4\" RECESSED LIGHT, RE: ELEC		2X2\" RECESSED LIGHT, RE: ELEC		EXIT SIGN, RE: ELEC	
							CEILING MOUNTED PROJECTOR	
							CEILING MOUNTED SPEAKER	

**RFI # 041** Date Created: 10/13/2015

Answer Company	Answered By	Author Company	Authorized By
City of Grand Junction 250 North 5th Street Grand Junction, CO 81501	Lee Cooper	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

**Co-Respondent** Author RFI Number

Subject	Discipline	Category
10-7-15 IT Walk	Special Systems/Electrical	Information

Cc: Company Name	Contact Name	Copies	Notes
FCI Constructors, Inc. - GJ	Craig Reid	1	
Canyon Electric	Steve Bergman	1	
Hunter Drywall	Kevin Hunter	1	
Grand Mesa Mechanical, Inc.	Greg Martin	1	

**Question** Date Required: 10/20/2015

Just to confirm from our IT walk yesterday and call this morning. We need to proceed with

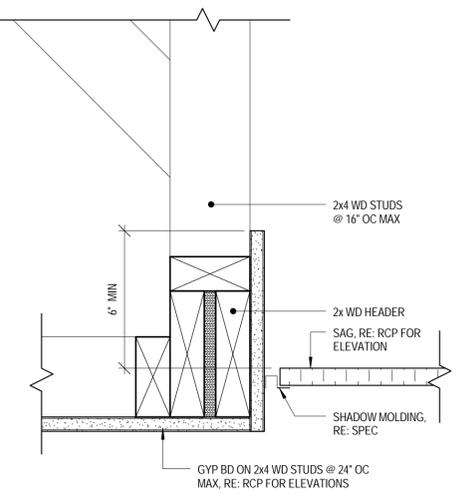
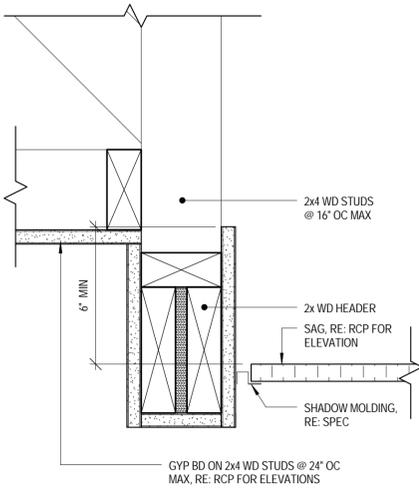
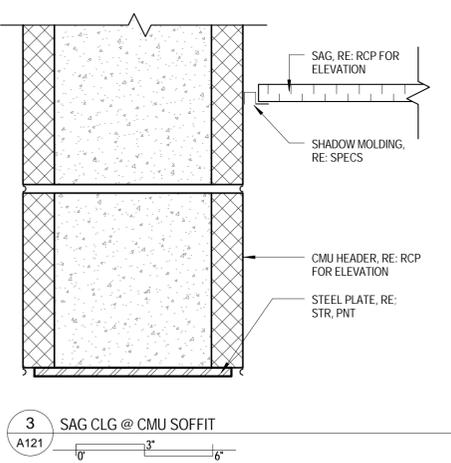
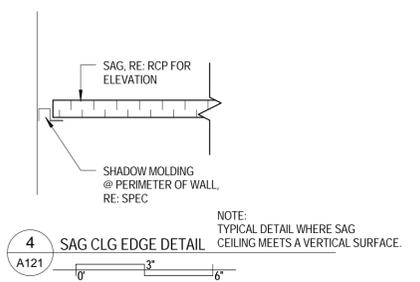
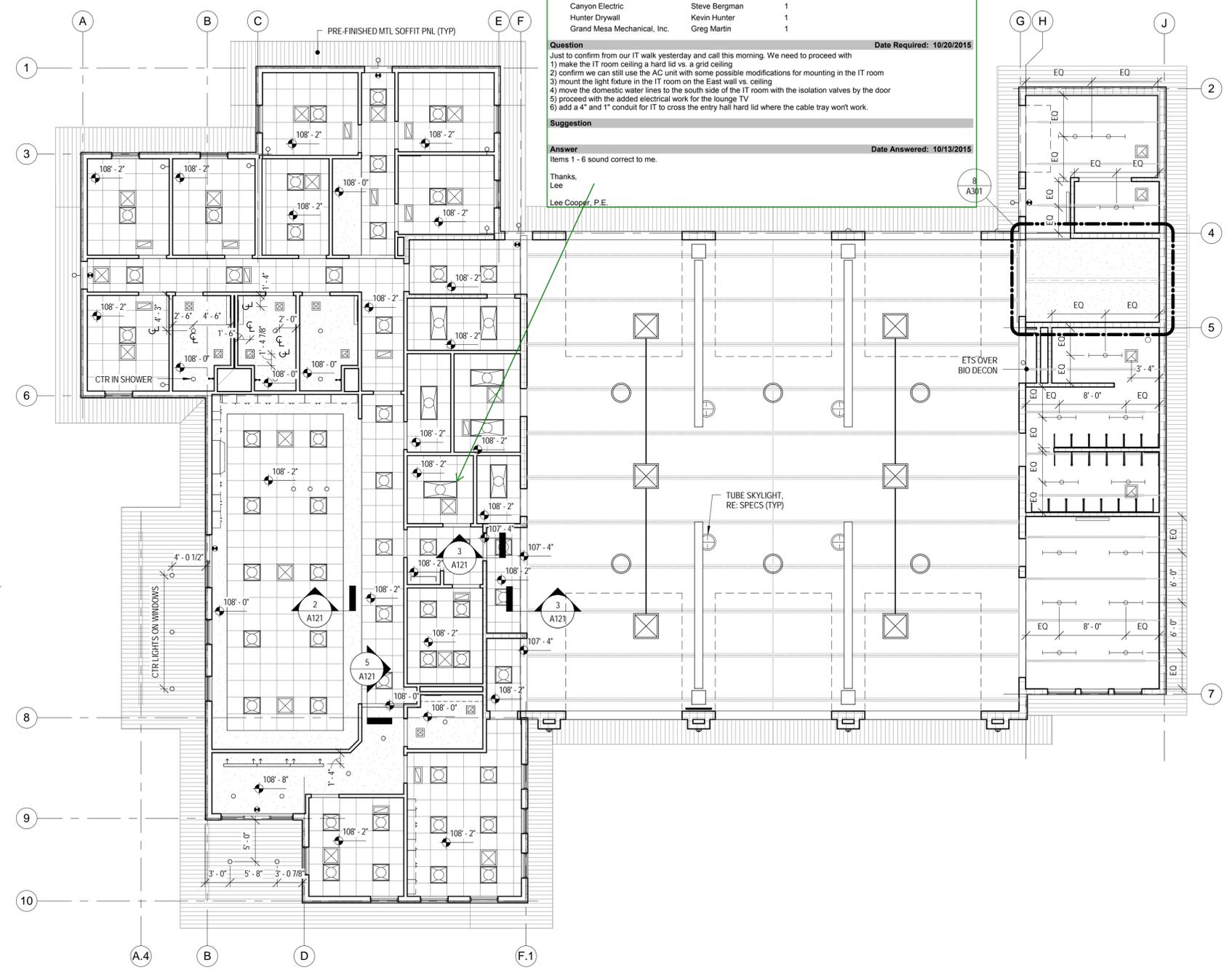
- 1) make the IT room ceiling a hard lid vs. a grid ceiling
- 2) confirm we can still use the AC unit with some possible modifications for mounting in the IT room
- 3) mount the light fixture in the IT room on the East wall vs. ceiling
- 4) move the domestic water lines to the south side of the IT room with the isolation valves by the door
- 5) proceed with the added electrical work for the lounge TV
- 6) add a 4\" and 1\" conduit for IT to cross the entry hall hard lid where the cable tray work work.

**Suggestion**

**Answer** Date Answered: 10/13/2015

Items 1 - 6 sound correct to me.

Thanks,  
Lee  
Lee Cooper, P.E.



**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**REFLECTED CEILING PLAN**

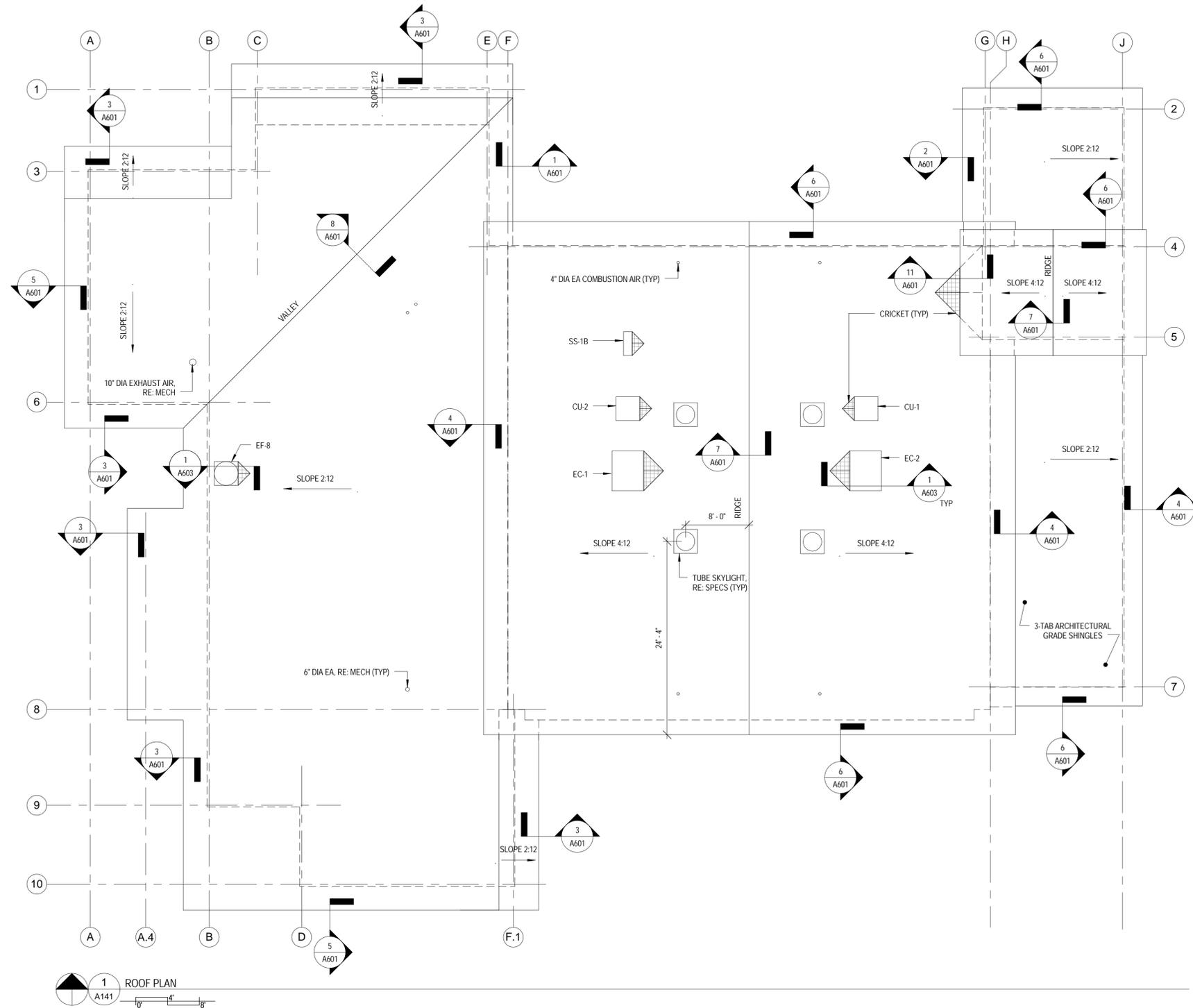
NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

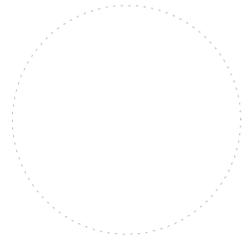
DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A121**



1 ROOF PLAN  
A141  
1" = 8'



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

ROOF PLAN

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

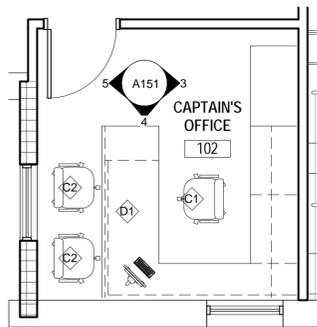
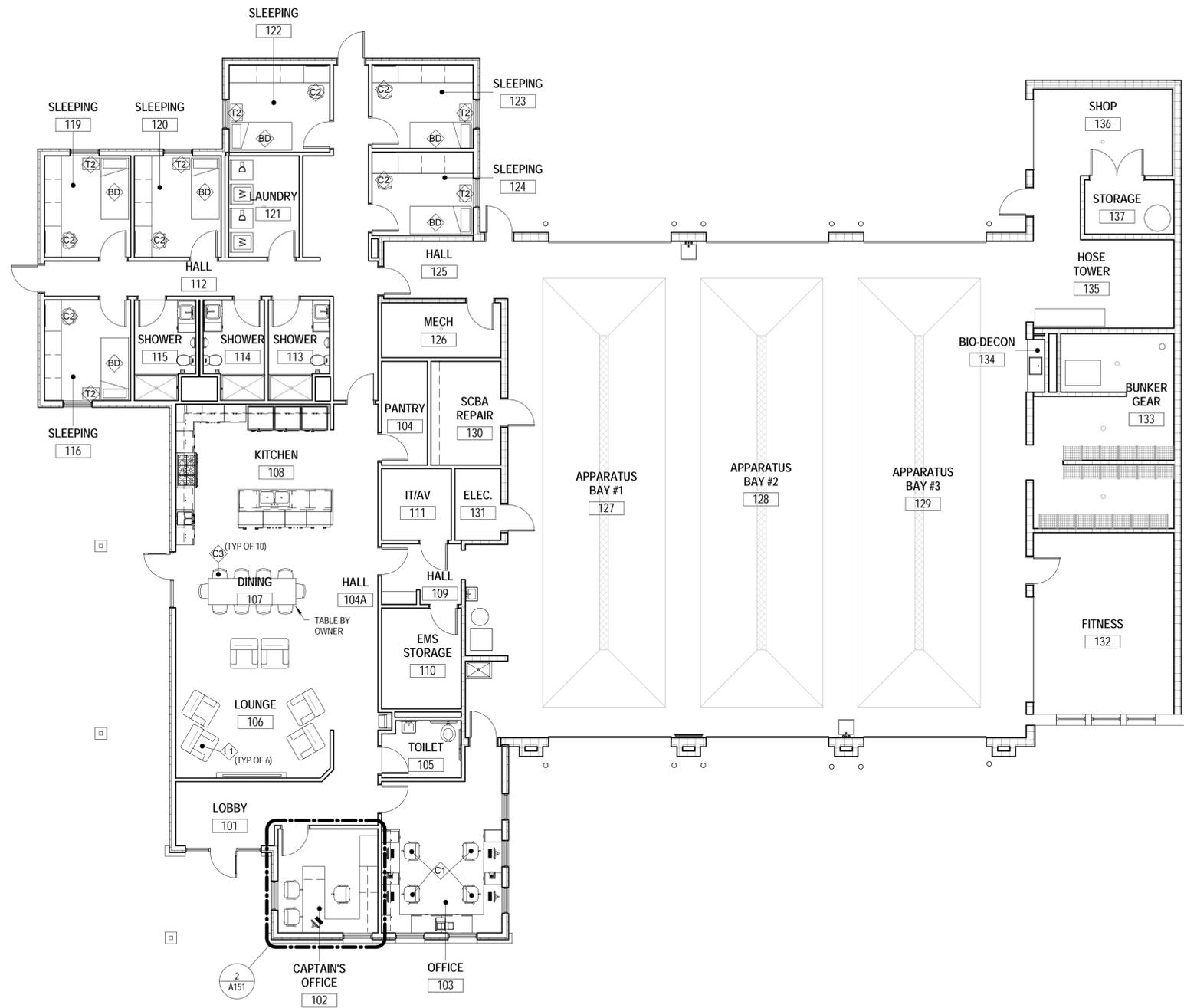
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DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A141**

FURNITURE SCHEDULE					
ITEM	TAG	MANUFACTURER	MODEL NUMBER	DESCRIPTION	COLORS
1	BD			BED	
3	C1			OFFICE TASK CHAIR	
4	C2			OFFICE DESK CHAIR	
5	C3			DINING CHAIR	
6	D1			DESK SYSTEM	
7	L1			RECLINER	
9	T2			NIGHT STAND	

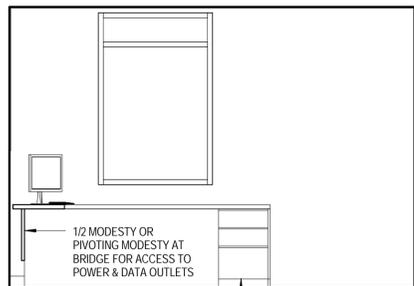
NOTE: FFE SHOWN FOR COORDINATION ONLY. ALL FFE BY OTHERS.



NOTE: LOCATE 2 GROMMETS IN THE FIELD WITH THE OWNER FOR WIRE MANAGEMENT. PROVIDE WIRE MANAGEMENT TRAYS UNDER THE WORKSURFACE FROM THE GROMMET TO THE ELECTRIC AND DATA WALL OUTLETS FOR WIRE MANAGEMENT.

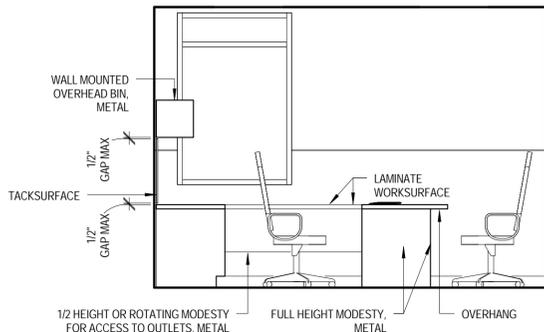
2 ENLARGED DESK D1  
A151

1 FURNITURE PLAN  
A151

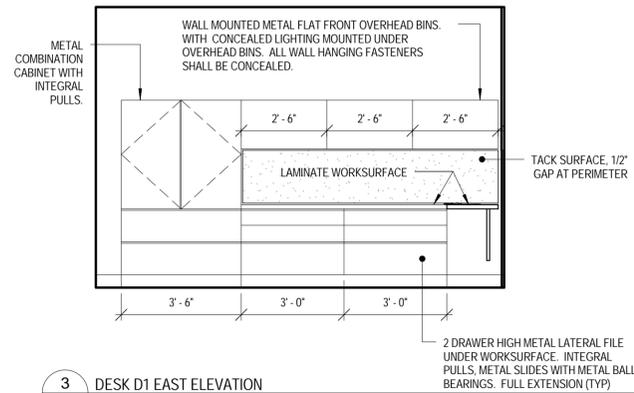


BOX, BOX FILE UNIT. METAL WITH METAL SLIDES AND METAL BALL BEARINGS. INTEGRAL PULLS, FULL EXTENSION.

5 DESK D1 WEST ELEVATION  
A151



4 DESK D1 SOUTH ELEVATION  
A151



3 DESK D1 EAST ELEVATION  
A151

**FFE LEGEND**

- NEW FURNITURE
- NEW FURNITURE TAG, RE: FURNITURE PRODUCT BINDER OR FURNITURE SCHEDULE FOR SPECIFICATIONS
- Room 101: ROOM NAME ROOM NUMBER
- Interior Wall Elevation Reference Drawing

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FURNITURE, FIXTURES, AND EQUIPMENT FOR REFERENCE ONLY

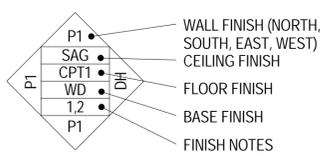
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PROJECT STATUS: 100% CDs

DRAWN BY: css CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A151**



**NOTES:**

COLORS, RE: INTERIOR COLOR SCHEDULE A741

PATTERN AT WALLS, RE: INTERIOR ELEVATIONS A401-A406

PATTERN AT CEILINGS, RE: REFLECTED CEILING PLAN A121

FLOOR FINISH TRANSITIONS, RE: A701

L CORNER GUARD

CJ - CONTROL JOINT

**WALL FINISHES**

P# - CMU OR GYPSUM WALLBOARD W/ PAINT

CMU - SEALED CONCRETE MASONRY UNIT

CT# - CERAMIC TILE

**CEILING FINISH**

SAG - SUSPENDED ACOUSTICAL PANEL CEILING.

P# - GYPSUM WALLBOARD WITH PAINT.

EXP - EXPOSED TO STRUCTURE.

**FLOOR FINISHES**

SPC - STAINED & POLISHED CONCRETE

CONC - SEALED CONCRETE

CT# - CERAMIC TILE.

CPT - CARPET TILE.

RUB - RUBBER, RESILIENT ATHLETIC FLOORING. FURNISHED AND INSTALLED BY OWNER.

**BASE FINISHES**

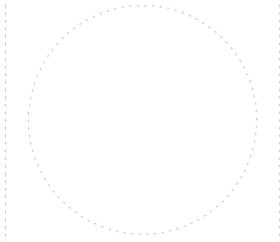
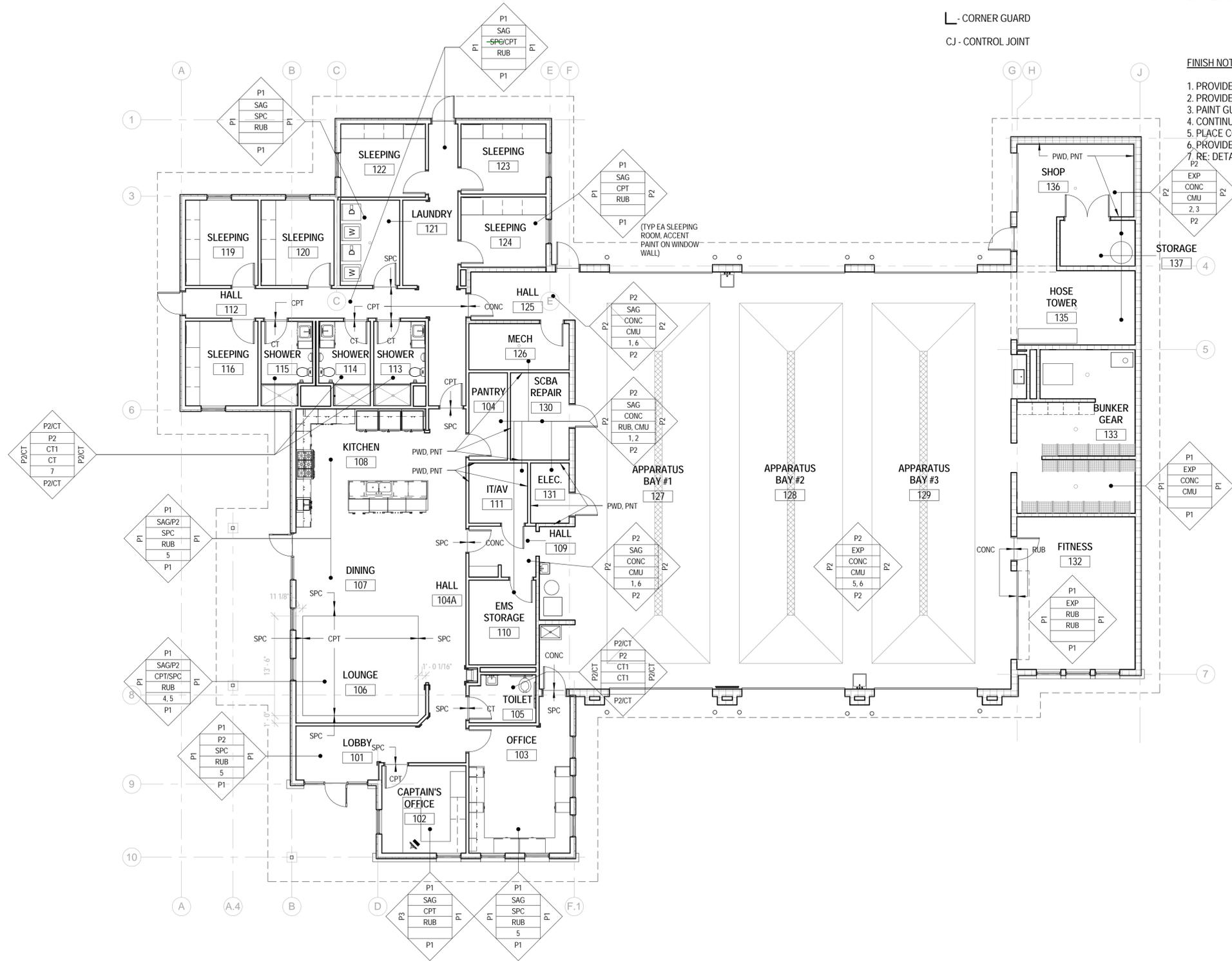
CT# - CERAMIC TILE.

RUB - RUBBER BASE.

CMU - CONCRETE MASONRY UNIT.

**FINISH NOTES**

1. PROVIDE RUB BASE AT GWB.
2. PROVIDE 3/4" PLYWOOD ON INDICATED WALLS FOR MOUNTING EQUIPMENT, PNT P2.
3. PAINT GUARDRAIL AND HANDRAIL P4.
4. CONTINUE POLISHED CONCRETE UNDER CPT IN LIVING AREA (TYP).
5. PLACE CONTROL JOINTS IN CONC ALONG GRIDLINES, UNO.
6. PROVIDE EPOXY PAINT TO 8'-0" AFF.
7. RE: DETAIL 8/A402 FOR TYPICAL TILE WAINSCOT PATTERN.



**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**INTERIOR FINISH  
PLAN**

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

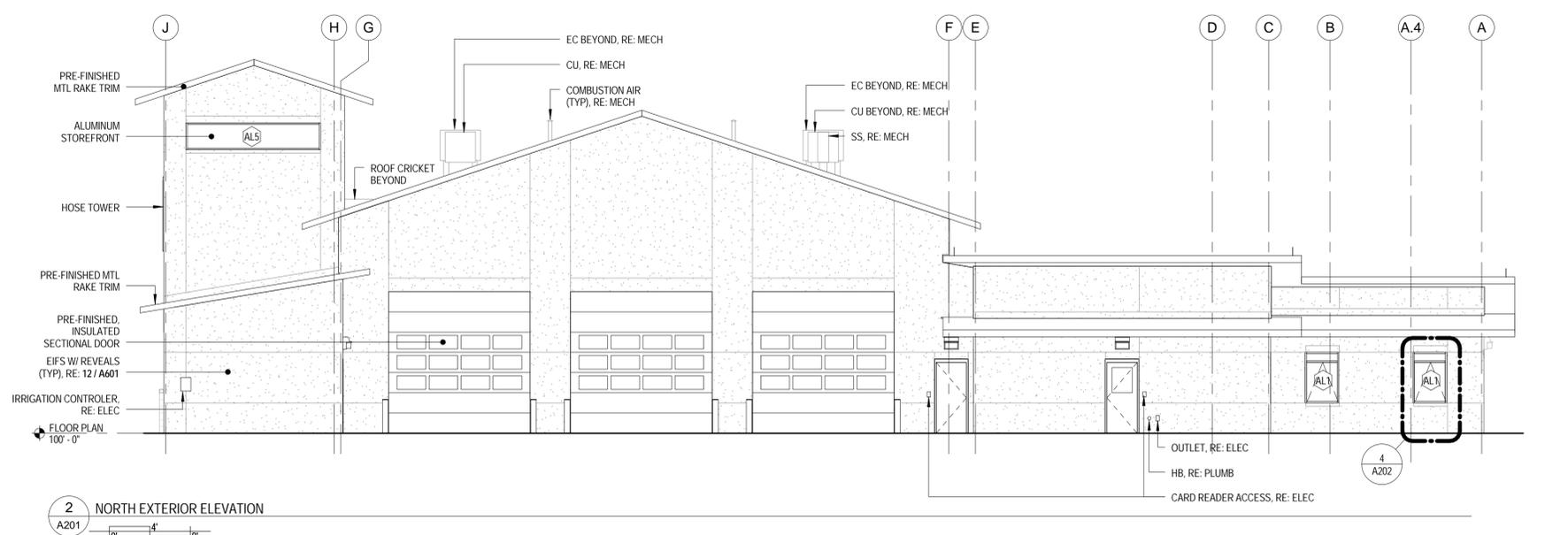
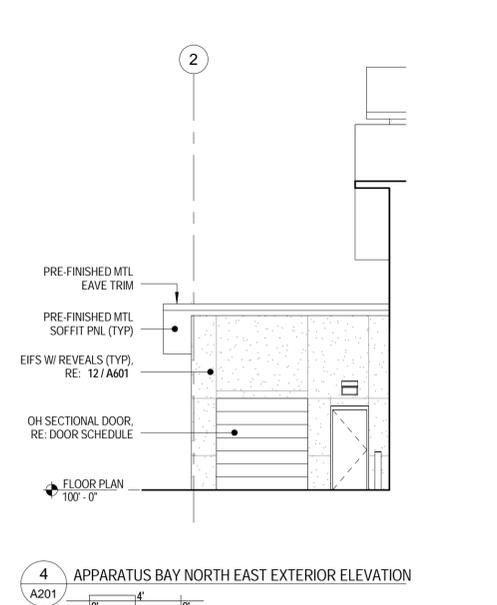
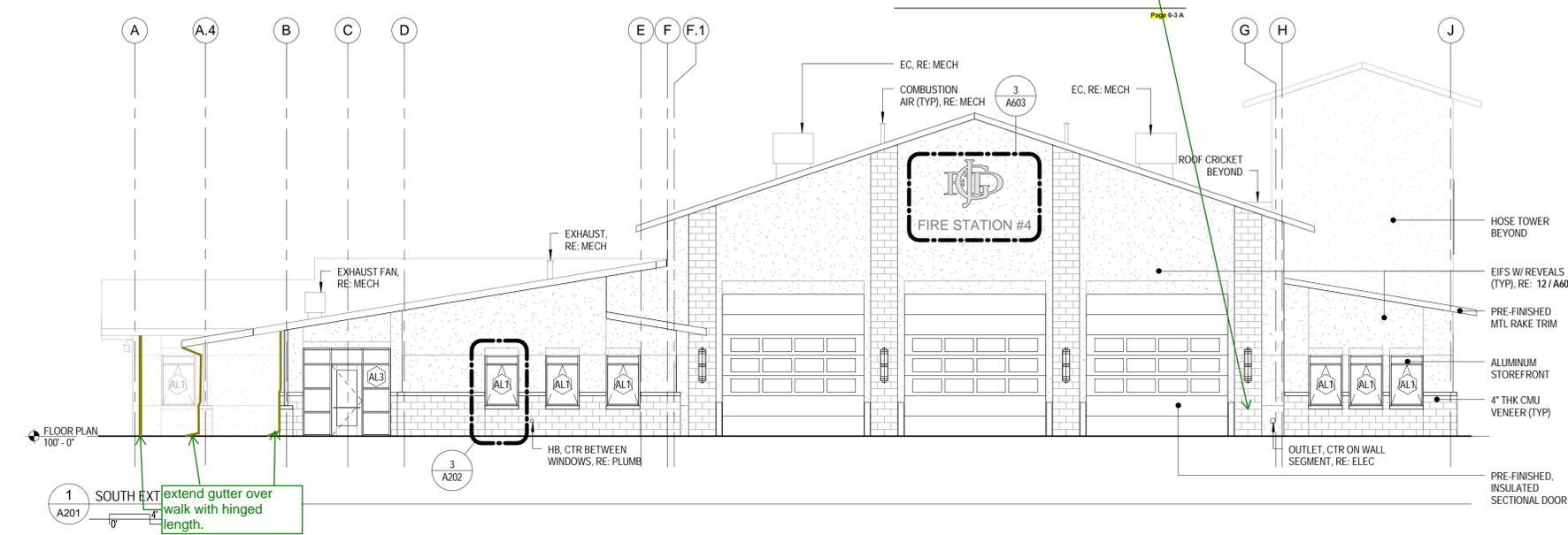
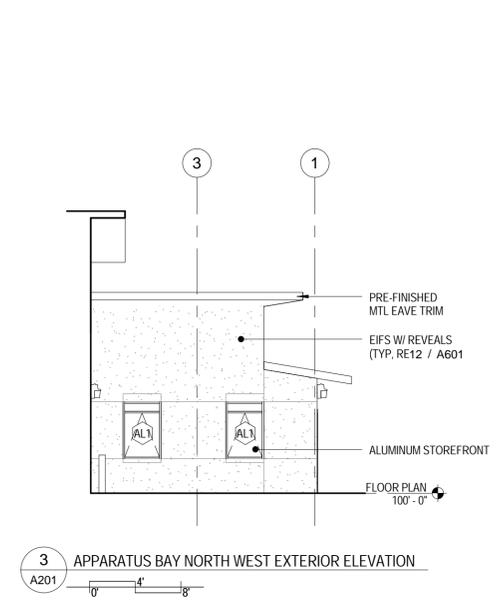
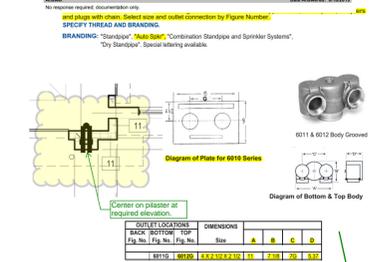
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A161**

**1 FINISH PLAN**  
A161

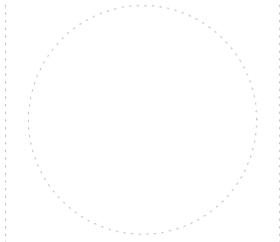
Subject	Fire Station	Category
FDC Location on Plan	Architectural	
Client Name	City of Grand Junction	Project Name
Client Address	1443	Project No.
Client Phone	970.242.6904	Project Location
Client Email	adam@chamberlinarchitects.com	Project Description
Client Website	www.chamberlinarchitects.com	Project Status



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Rapid City, South Dakota 57701  
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

EXTERIOR ELEVATIONS

NO. ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Aaron CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443

A201

ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

EXTERIOR  
ELEVATIONS

NO: ISSUED FOR: DATE:



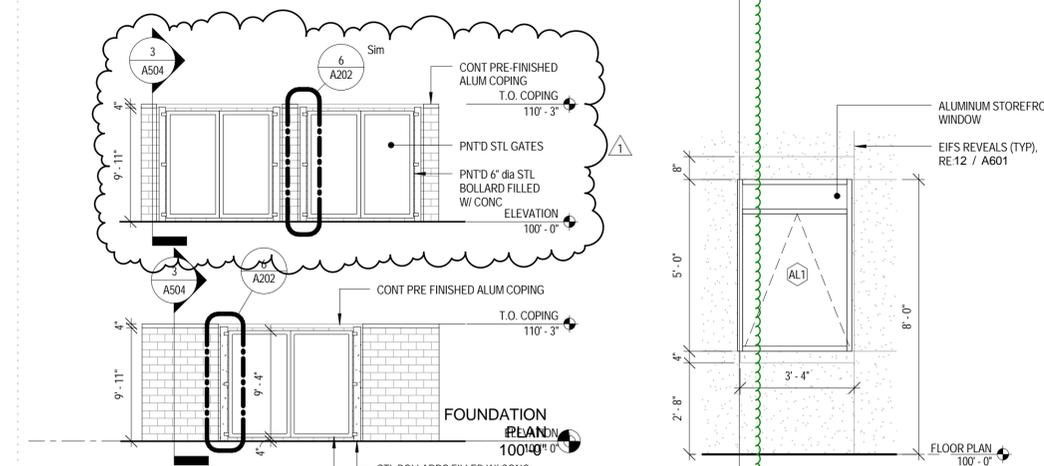
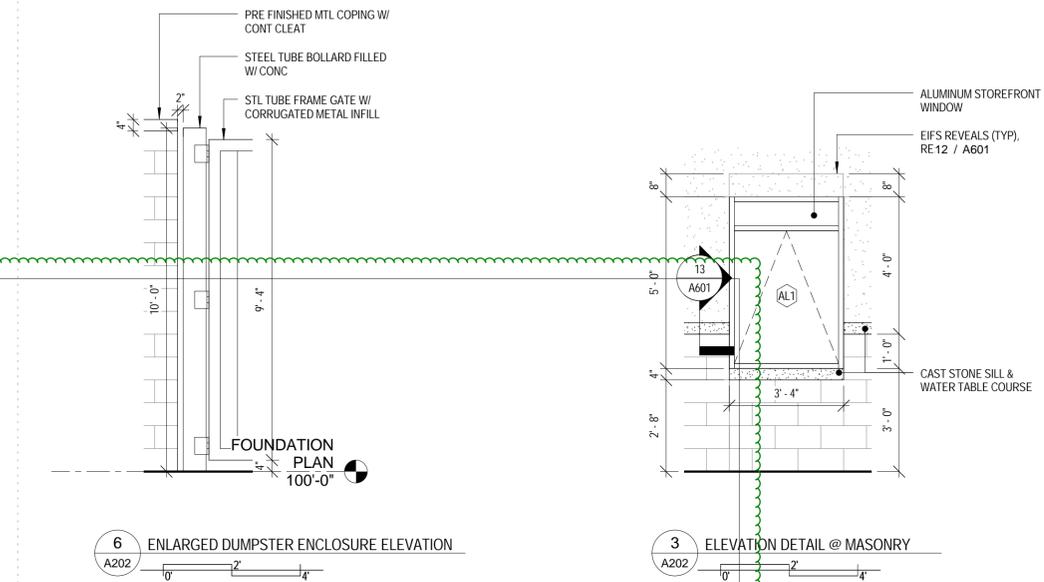
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE:  
04/10/2015 SHEET NO:

PROJECT NO:  
1443 **A202**

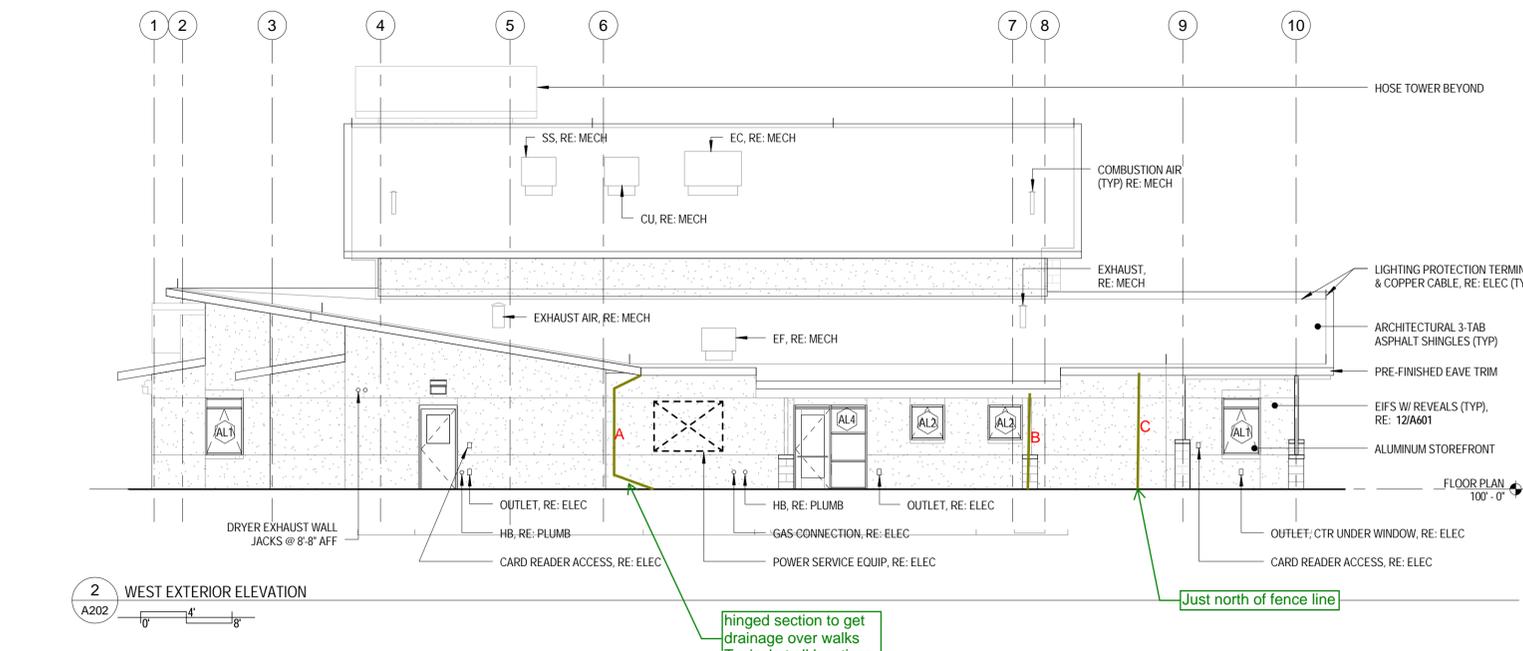
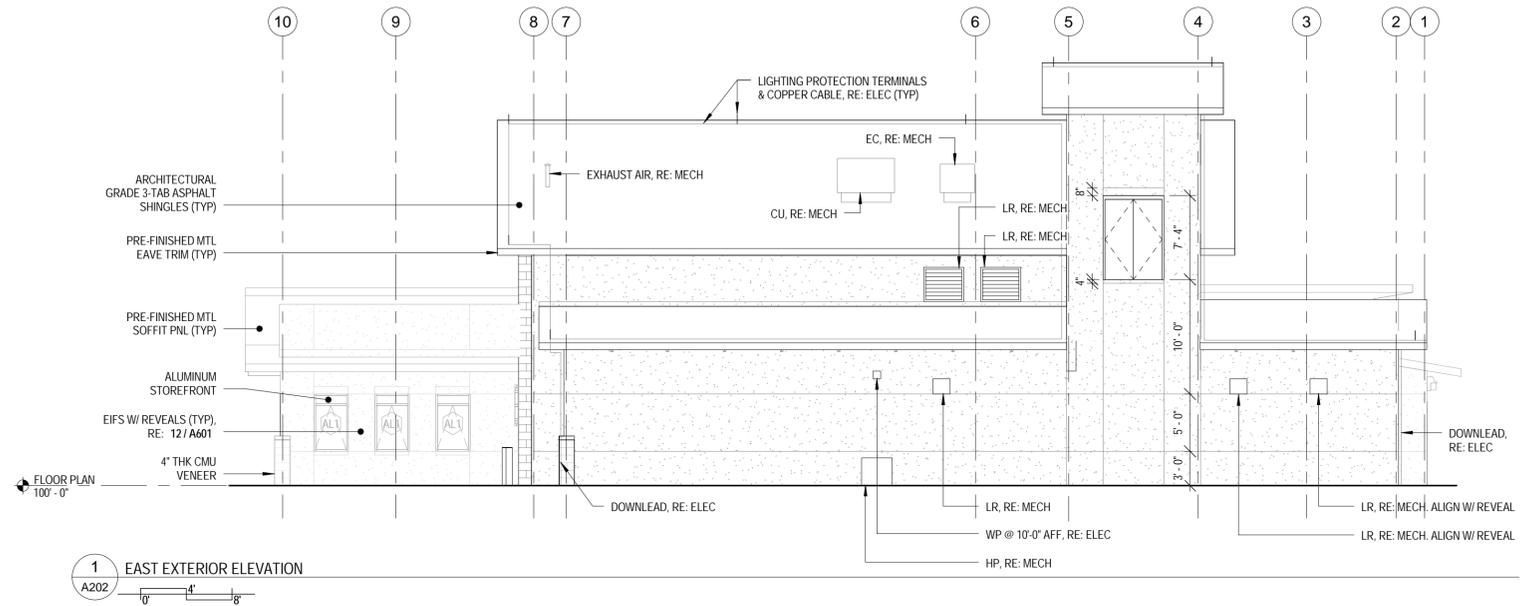
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437 MAIN STREET  
GRAND JUNCTION, COLORADO 81501-2511  
TELEPHONE: (970) 242-6804 FAX: (970) 242-6804

DESCRIPTION: UTILITY ENCLOSURE ELEVATION  
PROJECT: OMF#4  
PROJECT NO: A202  
SCALE: 1/8" = 1'-0"  
DATE: 04/24/15  
PREPARED BY: JW

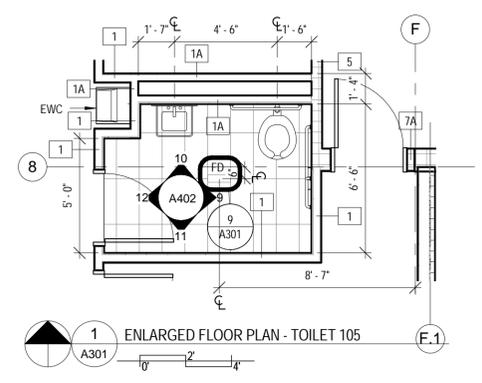
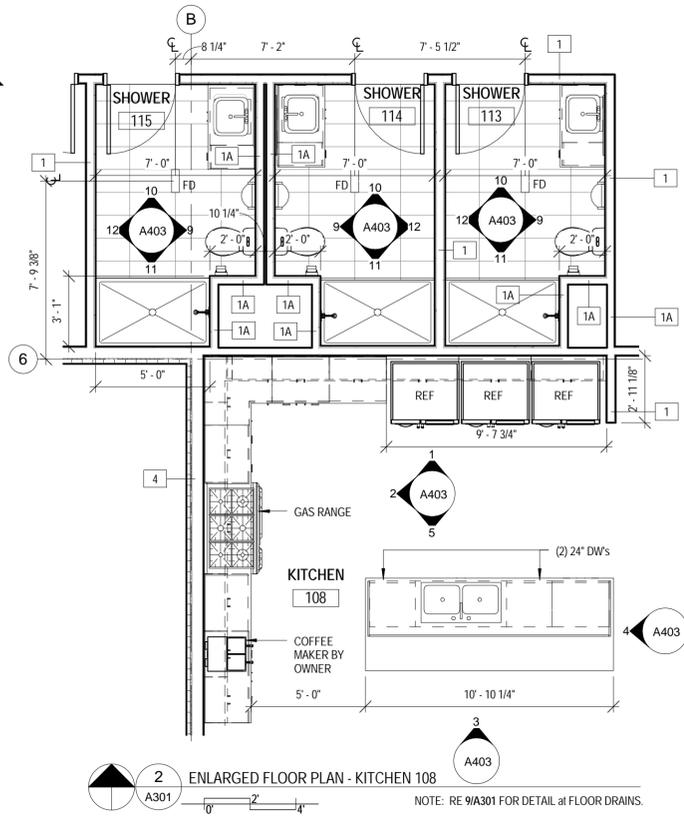
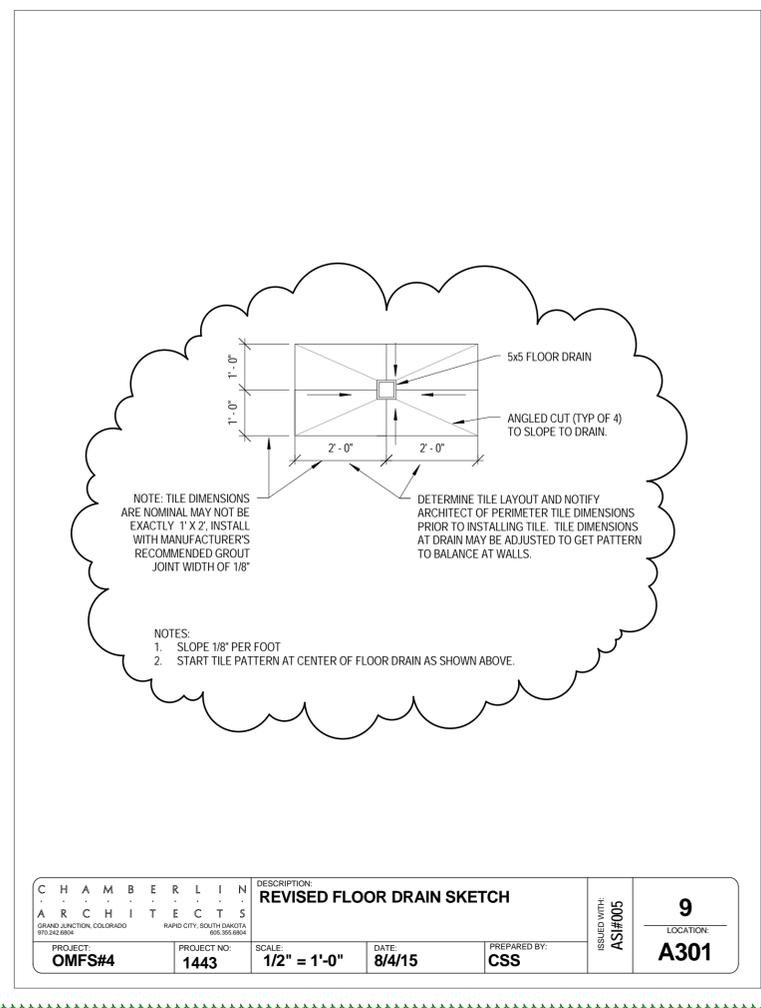
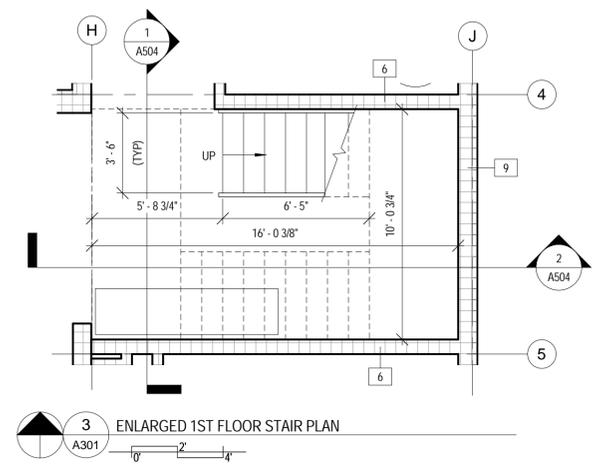
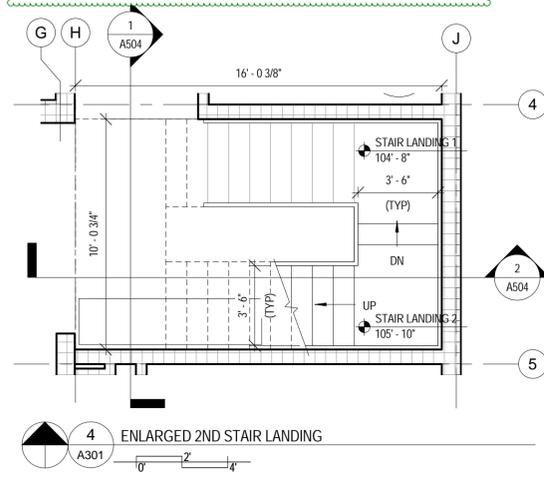
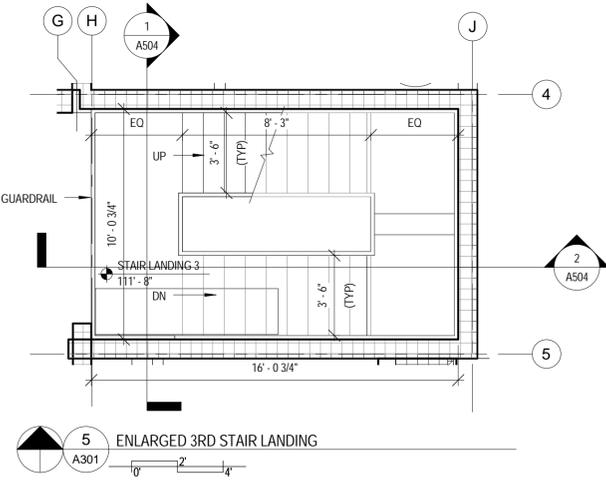
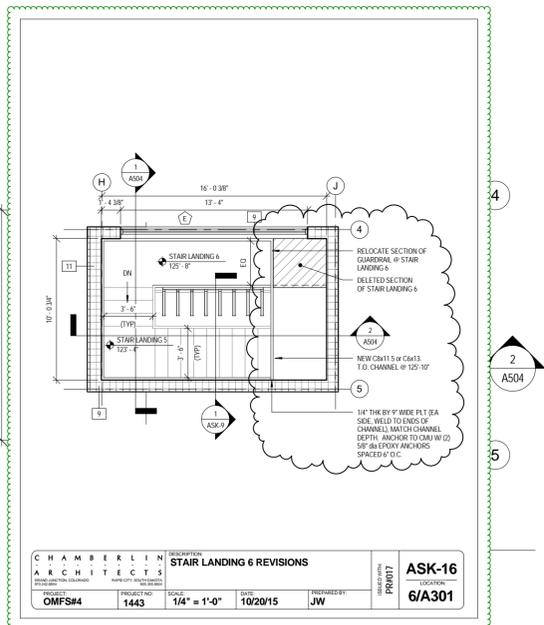
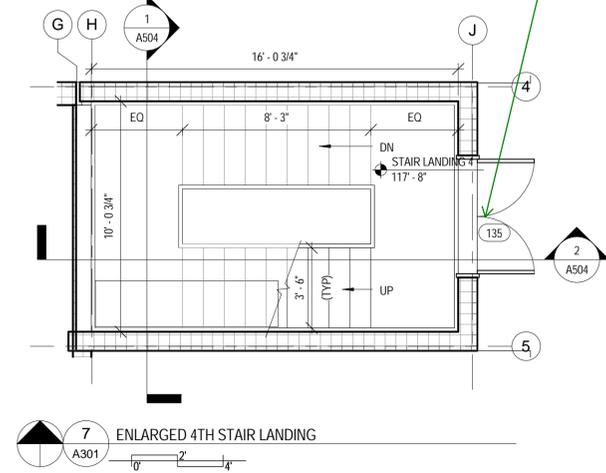
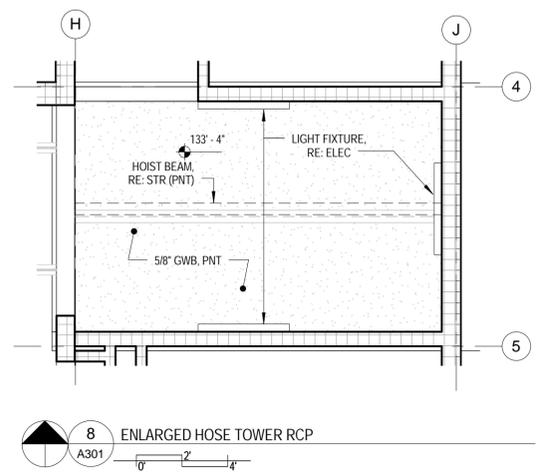
ISSUED WITH: ADD #1  
ASK-2  
LOCATION: 5/A202  
Addendum 1



CURRENT PROJECTS 1443-CENTRAL-PLAN (REV)

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Subject	Discipline	Category	
Door 135 Installation	Architectural	Owner Request and/or Owner Furnishing	
Cc: Company Name	Contact Name	Copies	Notes
FCl Constructors, Inc. - GJ	Craig Reid	1	
FCl Constructors, Inc. - GJ	Stan Kiser	1	
City of Grand Junction	Lee Cooper	1	
Question	Date Required: 9/1/2015		
Per OAC discussions Door 135 is to be installed to swing into the stairwell. It is to be centered on the wall it is installed in and the frame should be installed so the doors can swing 180 degrees. Are any hardware changes required at this opening?			
Suggestion	Date Answered: 8/27/2015		
RFI 034			
Answer	Date Answered: 8/27/2015		
No hardware changes necessary.			
8/27/15 - JMW			



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**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**ENLARGED FLOOR PLANS**

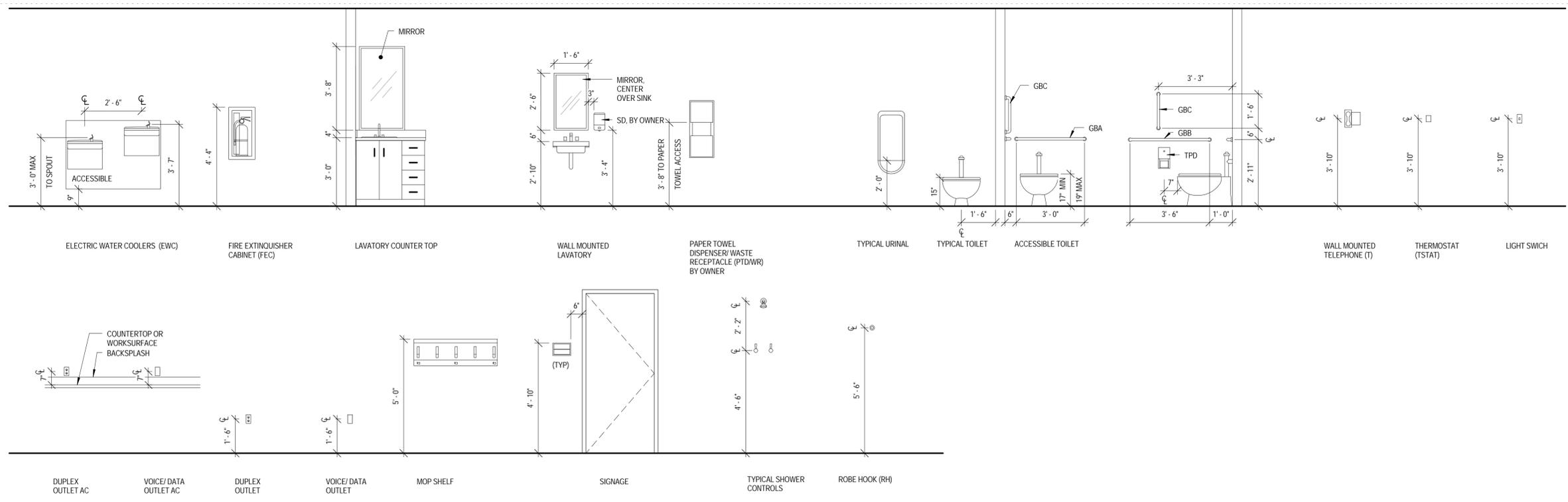
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PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

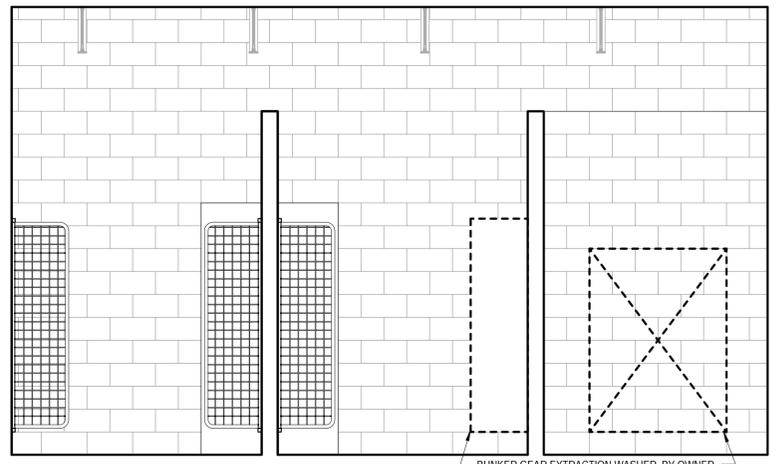
PROJECT NO: 1443 **A301**



1 TYPICAL ELEVATION HEIGHTS

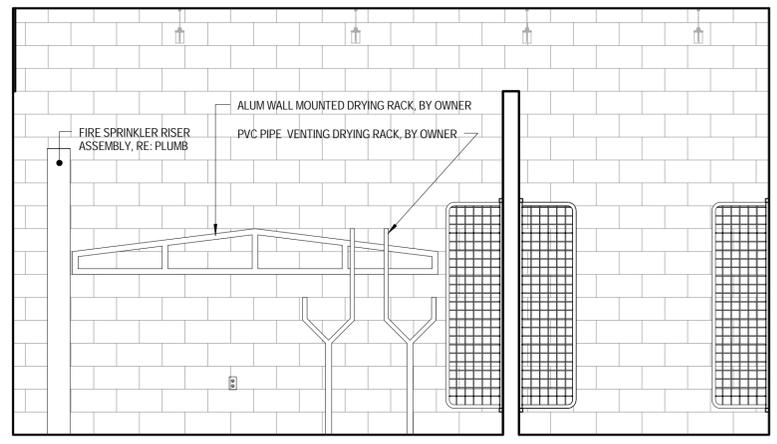
A401 0' 2' 4'

NOTE: PROVIDE TREATED WD BLOCKING AT ALL WALL MOUNTED ACCESSORIES



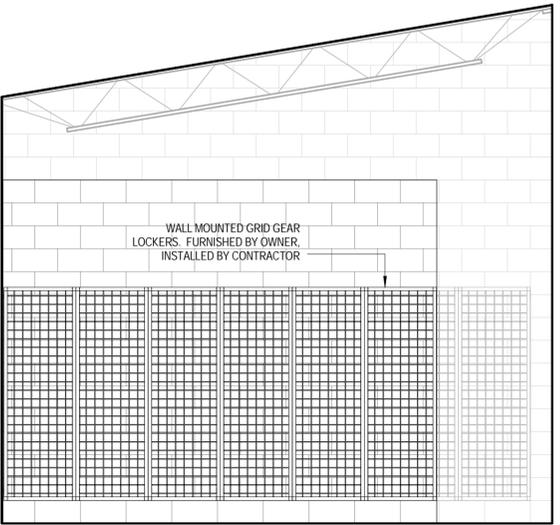
7 BUNKER GEAR 133 WEST

A401 0' 2' 4'



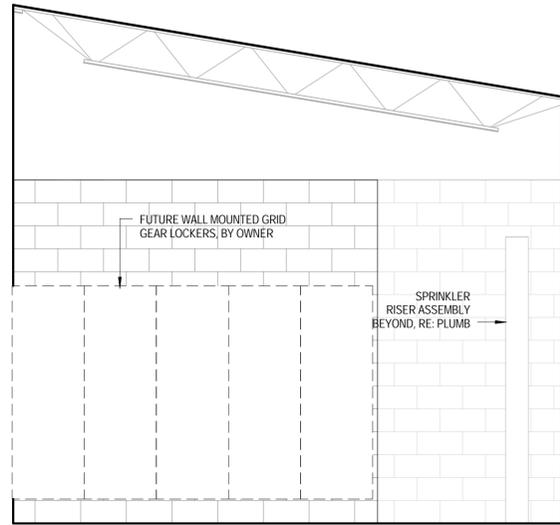
6 BUNKER GEAR 133 EAST

A401 0' 2' 4'



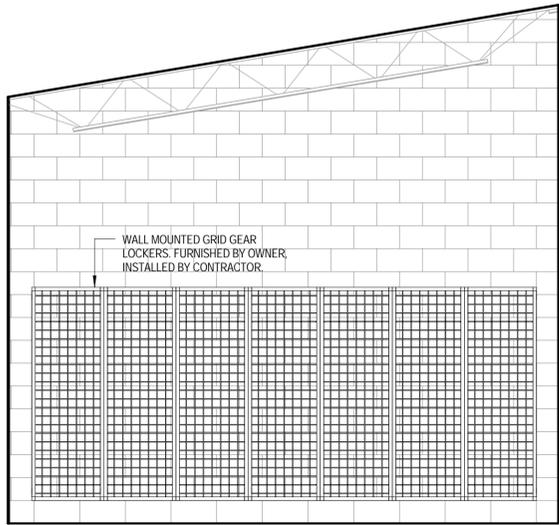
5 BUNKER GEAR 133 CENTER LOCKERS SOUTH

A401 0' 2' 4'



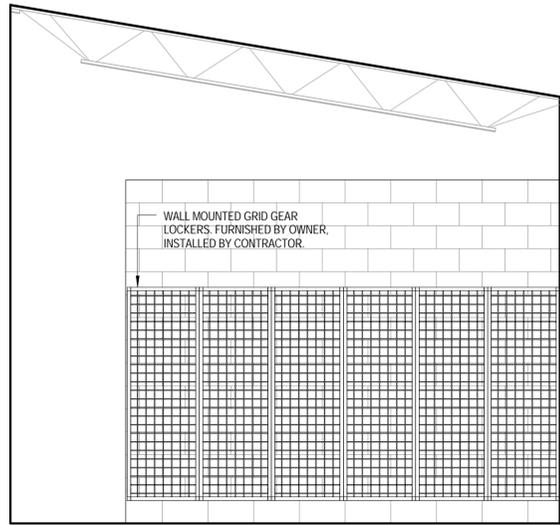
4 BUNKER GEAR 133 NORTH

A401 0' 2' 4'



3 BUNKER GEAR 133 SOUTH

A401 0' 2' 4'



2 BUNKER GEAR 133 CENTER LOCKERS NORTH

A401 0' 2' 4'

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

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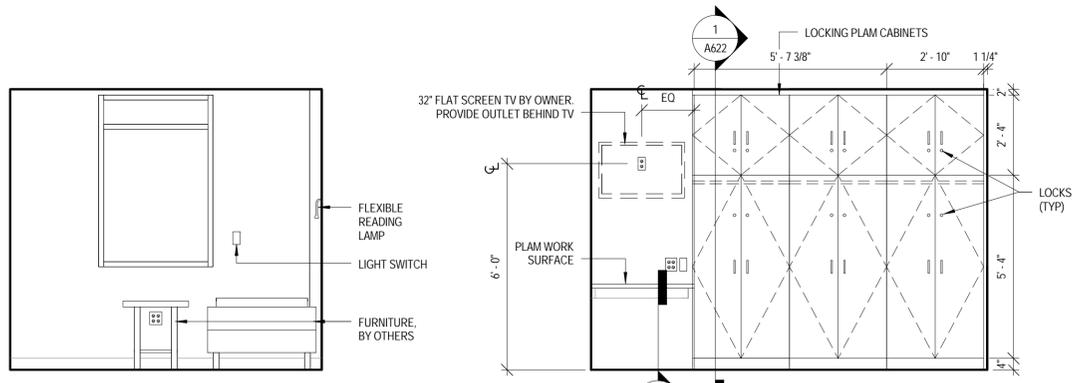
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PROJECT NO: 1443

A401

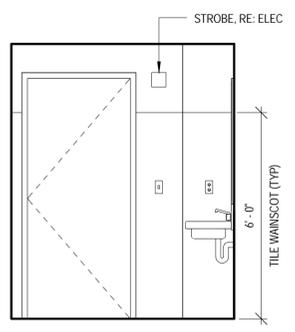
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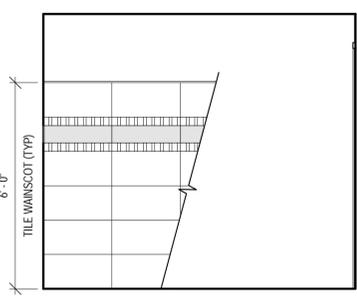


14 TYPICAL SLEEPING UNIT WINDOW ELEVATION  
A402

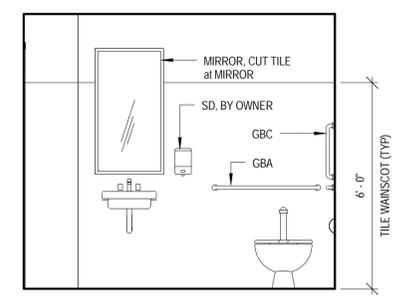
13 TYPICAL SLEEPING CASEWORK  
A402



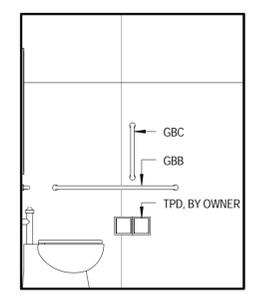
12 TOILET 105 WEST  
A402



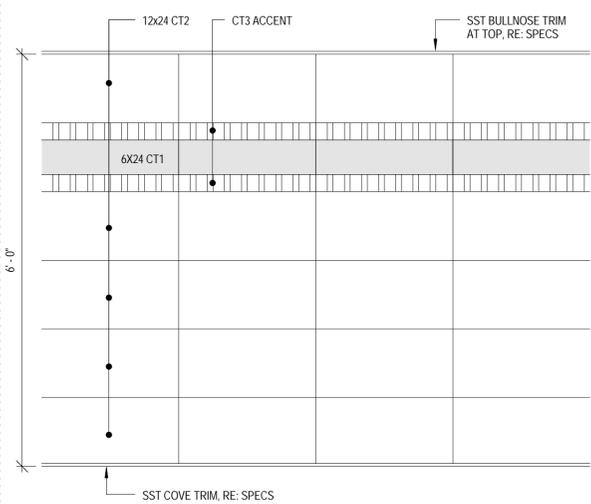
11 TOILET 105 SOUTH  
A402



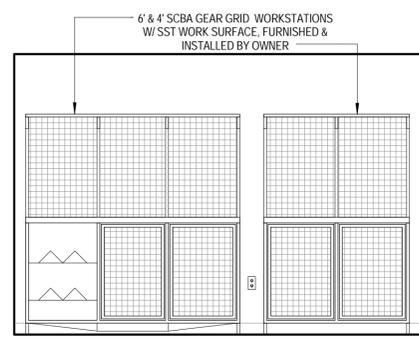
10 TOILET 105 NORTH  
A402



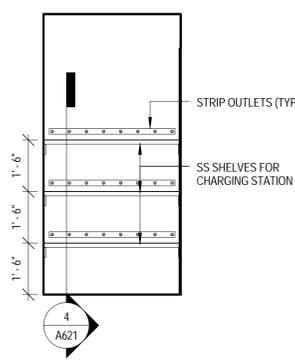
9 TOILET 105 EAST  
A402



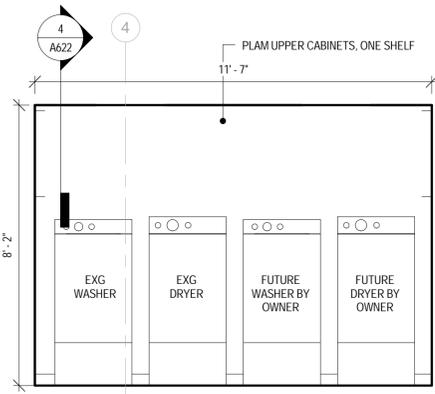
8 TYPICAL TILE WANSCOT PATTERN  
A402



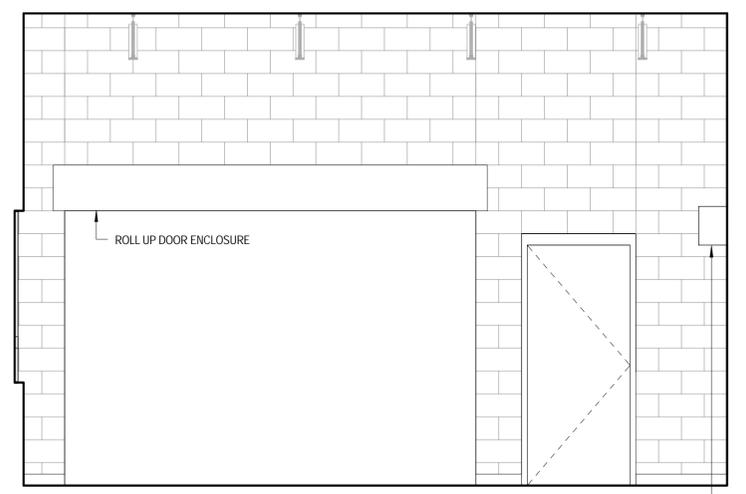
7 SCBA REPAIR 130 WEST  
A402



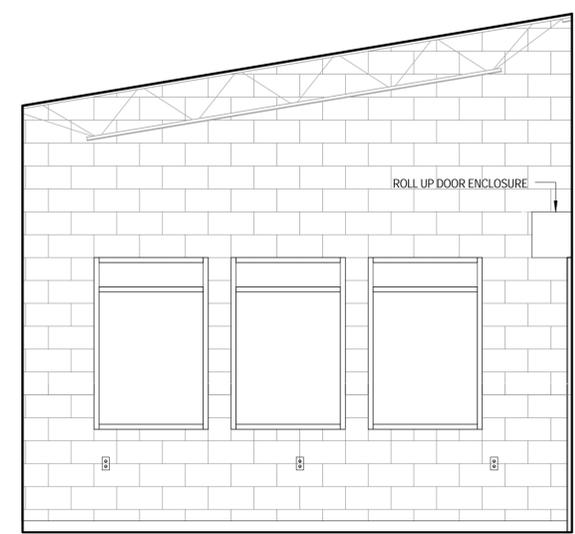
6 HALL 109 SOUTH  
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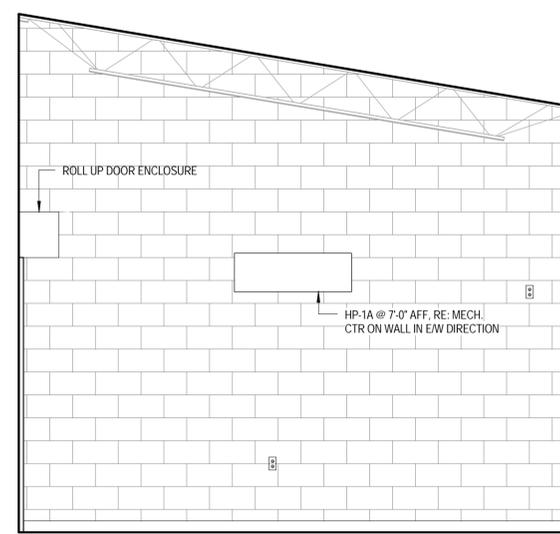
5 LAUNDRY 121 WEST  
A402



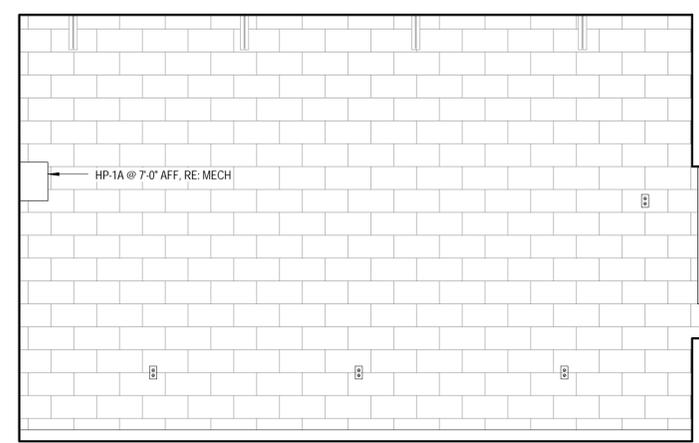
4 FITNESS 132 WEST  
A402



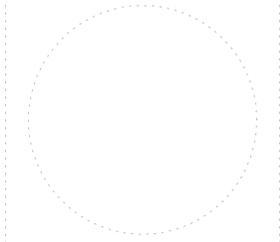
3 FITNESS 132 SOUTH  
A402



2 FITNESS 132 NORTH  
A402



1 FITNESS 132 EAST  
A402



# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## INTERIOR ELEVATIONS

NO: ISSUED FOR: DATE:



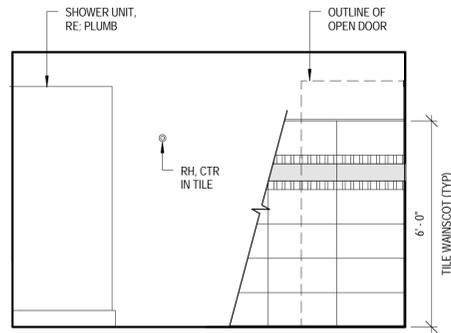
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DRAWN BY: Author CHECKED BY: Checker

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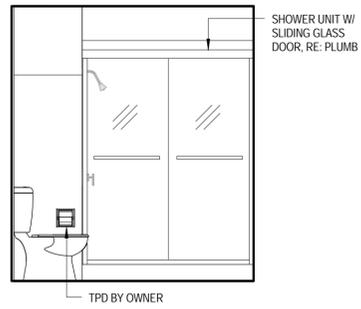
PROJECT NO: 1443 **A402**

CURRENT PROJECTS \443-CENTRAL-Parade.rvt

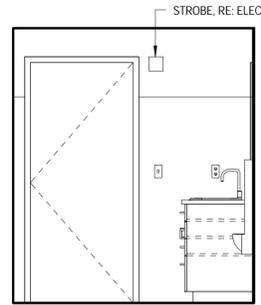
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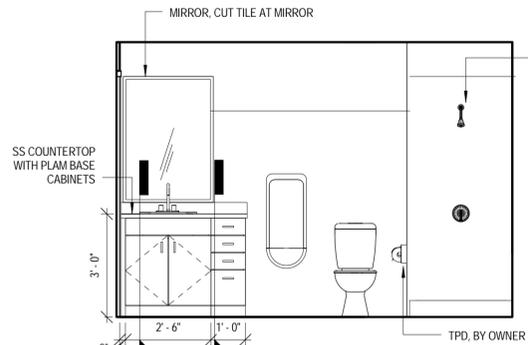
12 SHOWER 113 & 115 WEST, 114 EAST OPH  
A403



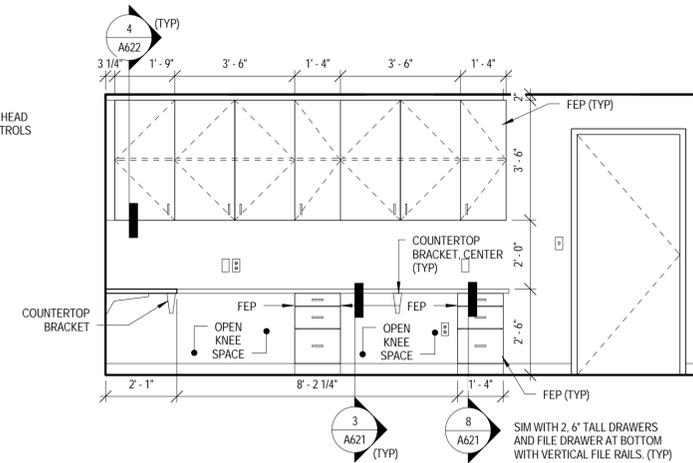
11 SHOWER 113 & 115 SOUTH, 114 SOUTH OPH  
A403



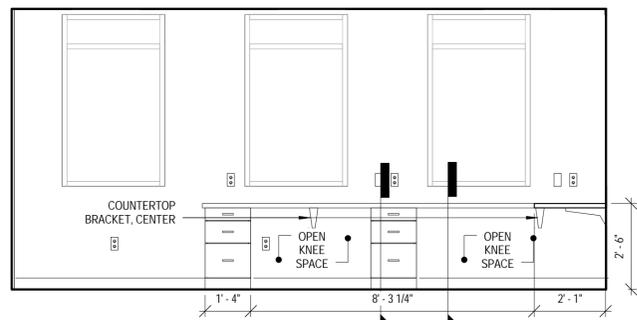
10 SHOWER 113 & 115 NORTH, 114 NORTH OPH  
A403



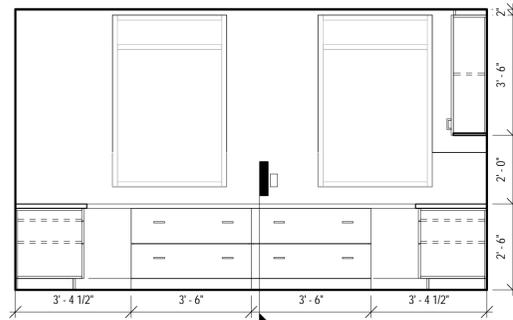
9 SHOWER 113 & 115 EAST, 114 WEST OPH  
A403



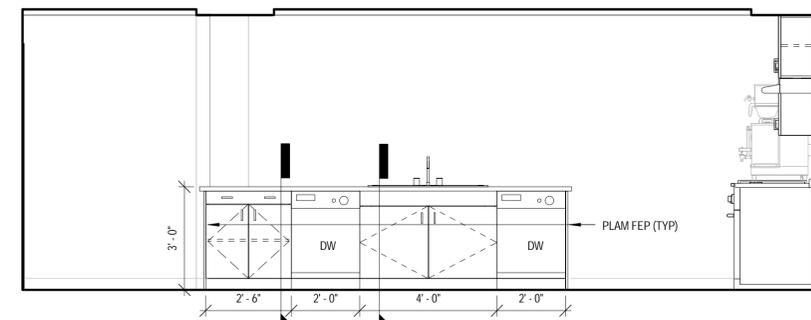
8 OFFICE 103 WEST  
A403



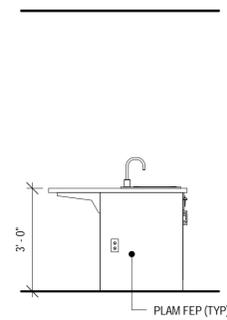
7 OFFICE 103 EAST  
A403



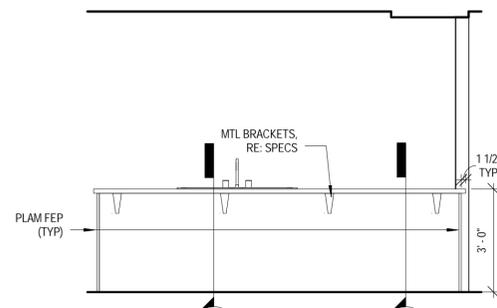
6 OFFICE 103 SOUTH  
A403



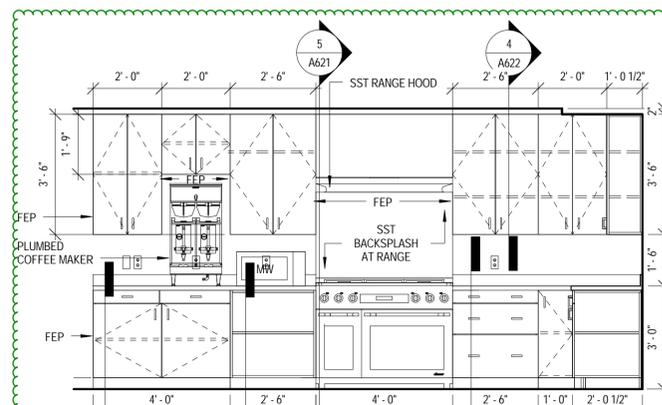
5 KITCHEN ISLAND SOUTH  
A403



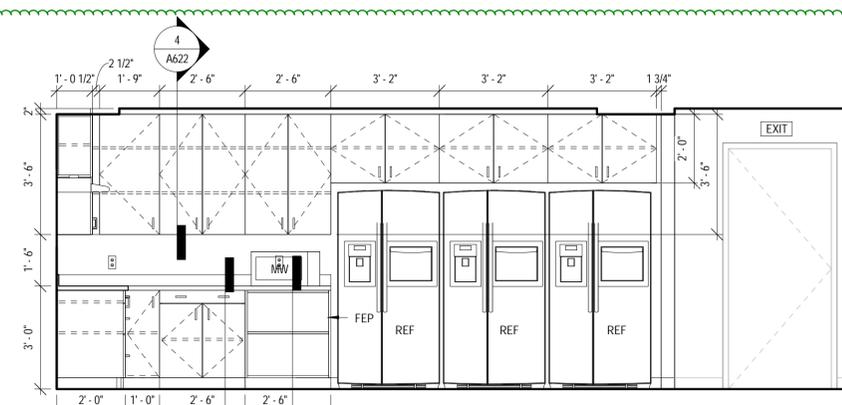
4 KITCHEN ISLAND WEST, EAST SIM OPH  
A403



3 KITCHEN ISLAND NORTH  
A403



2 KITCHEN 108 WEST  
A403



1 KITCHEN 108 NORTH  
A403

See PR 13, following page

ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR  
ELEVATIONS

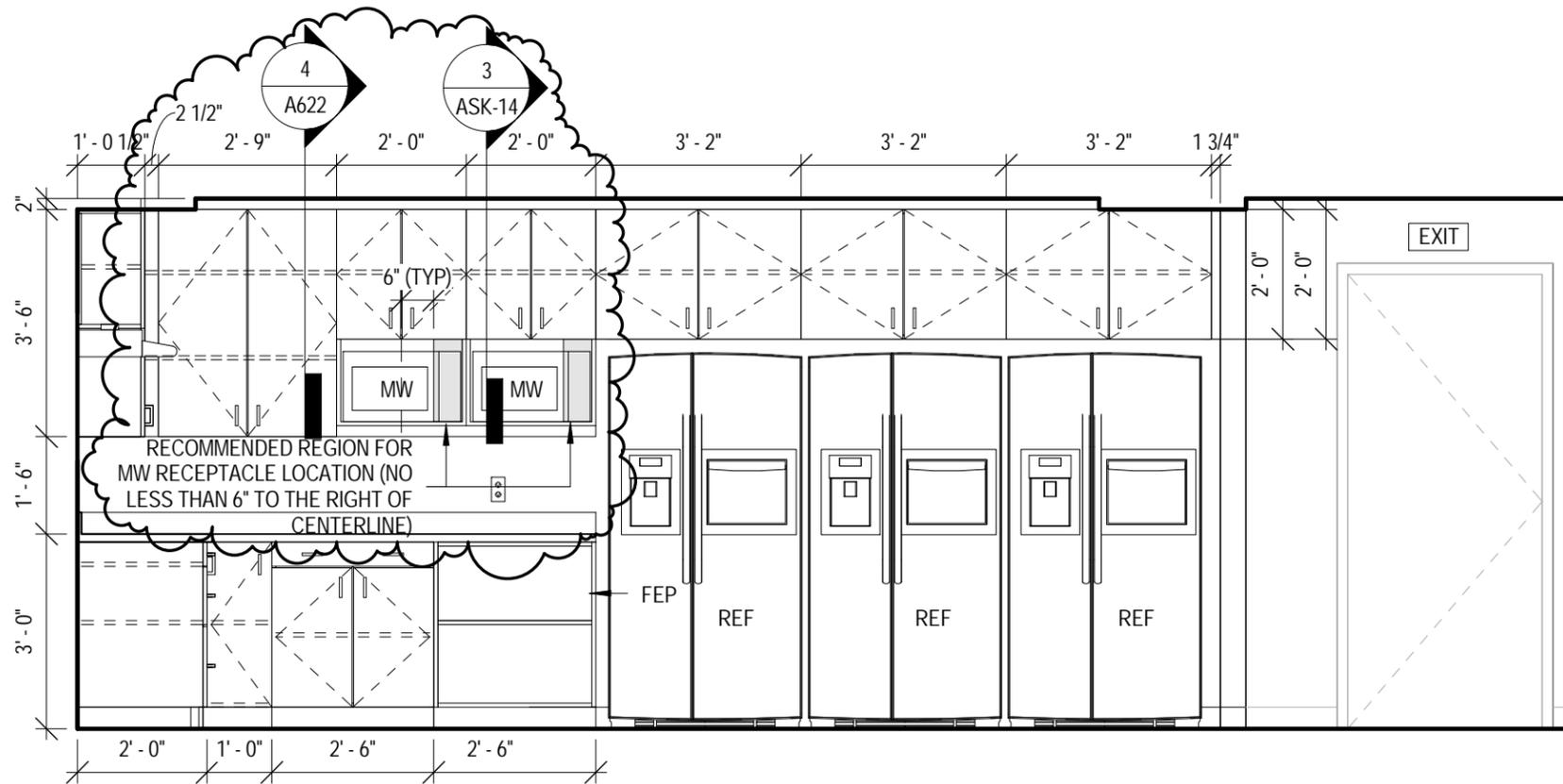
NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

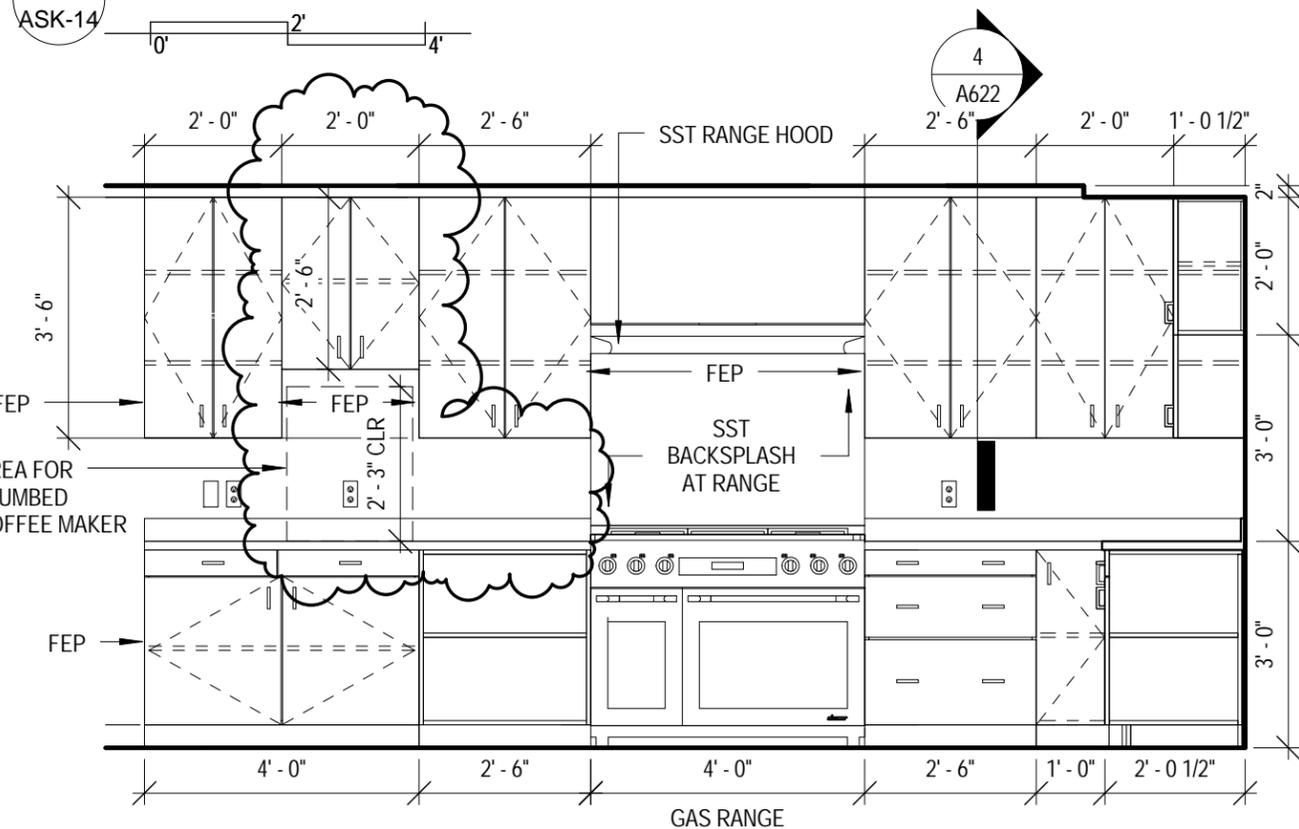
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

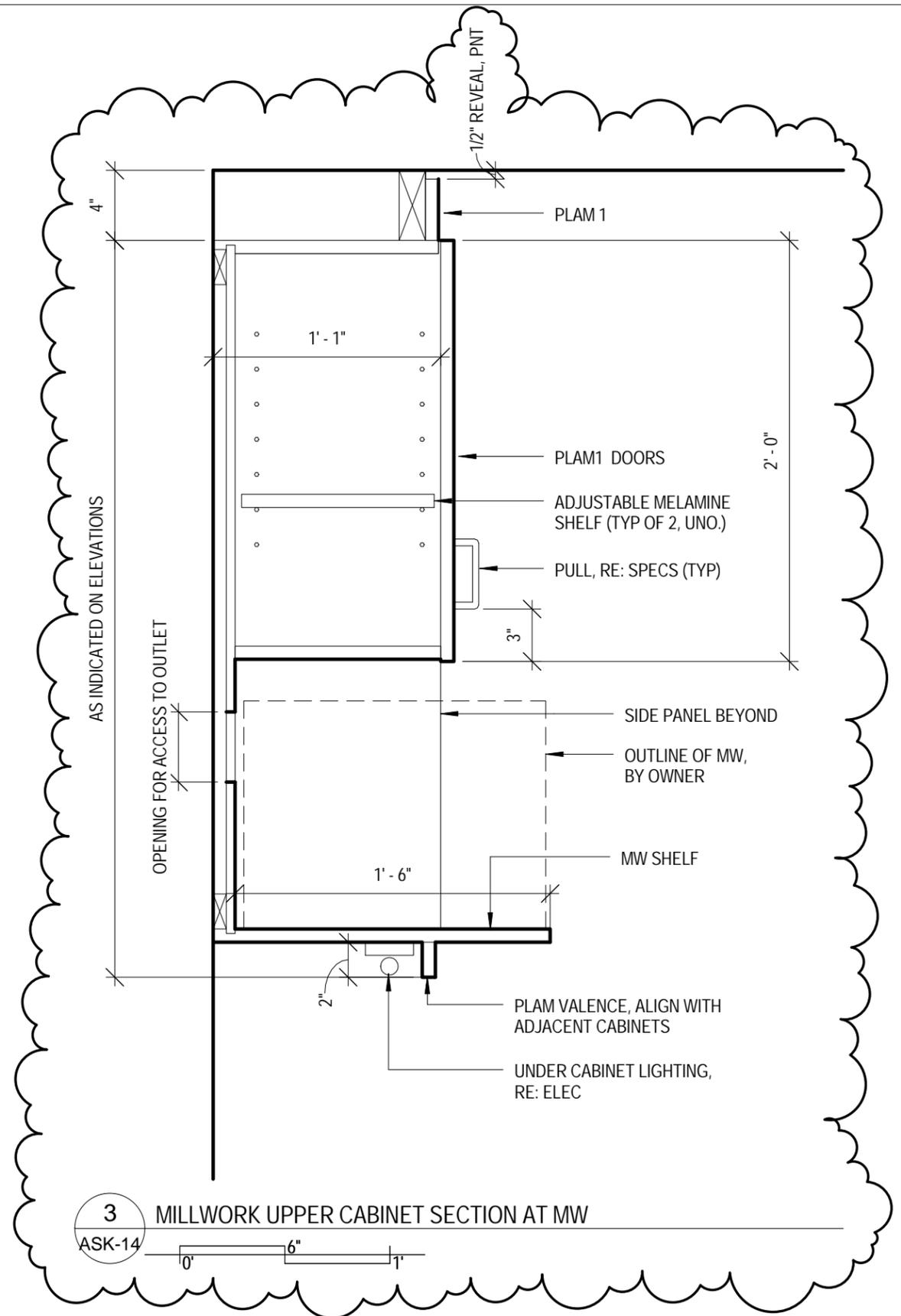
PROJECT NO: 1443 **A403**



1 ASK 14 KITCHEN 108 NORTH



2 ASK 14 KITCHEN 108 WEST



<b>C H A M B E R L I N</b> <b>A R C H I T E C T S</b> <small>GRAND JUNCTION, COLORADO 970.242.6804</small>		<small>RAPID CITY, SOUTH DAKOTA 605.355.6804</small>		DESCRIPTION: <b>PR #13 TO RELOCATE MICROWAVES AND ADJUST UPPER CABINET AT COFFEE MAKER</b>		ISSUED WITH: <b>PR#0013</b>	<b>1&amp;2</b> <small>LOCATION:</small> <b>A403</b>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>As indicated</b>	DATE: <b>9/15/15</b>	PREPARED BY: <b>CSS</b>			



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR  
ELEVATIONS

NO: ISSUED FOR: DATE:

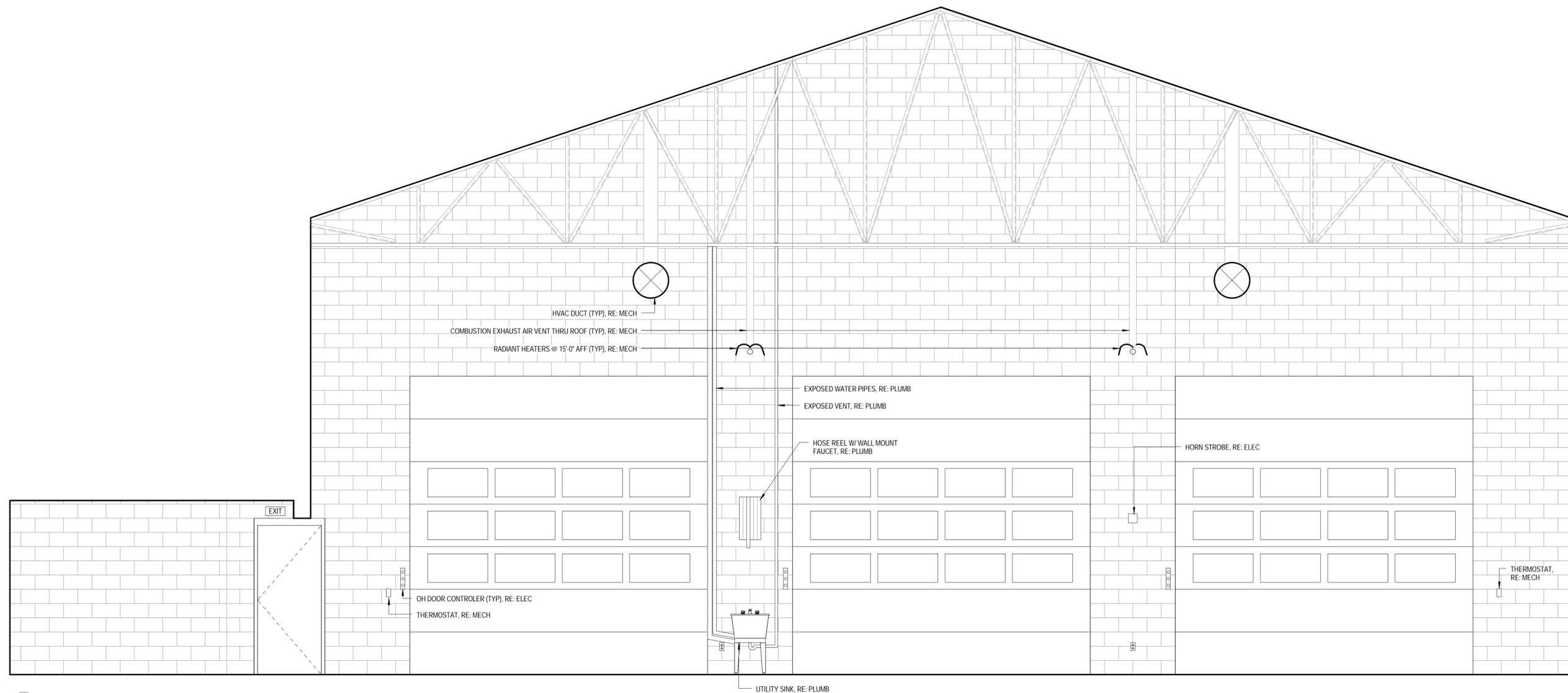


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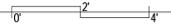
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A404**

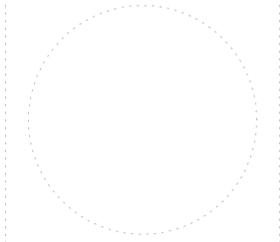


1 APPARATUS BAY NORTH  
A404



4/10/2015 11:09:46 AM

CHAMBERLIN ARCHITECTS  
437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804  
725 Saint Joseph St., Suite B1  
Rapid City, South Dakota 57701  
T 605.355.6804  
www.chamberlinarchitects.com



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR  
ELEVATIONS

NO: ISSUED FOR: DATE:



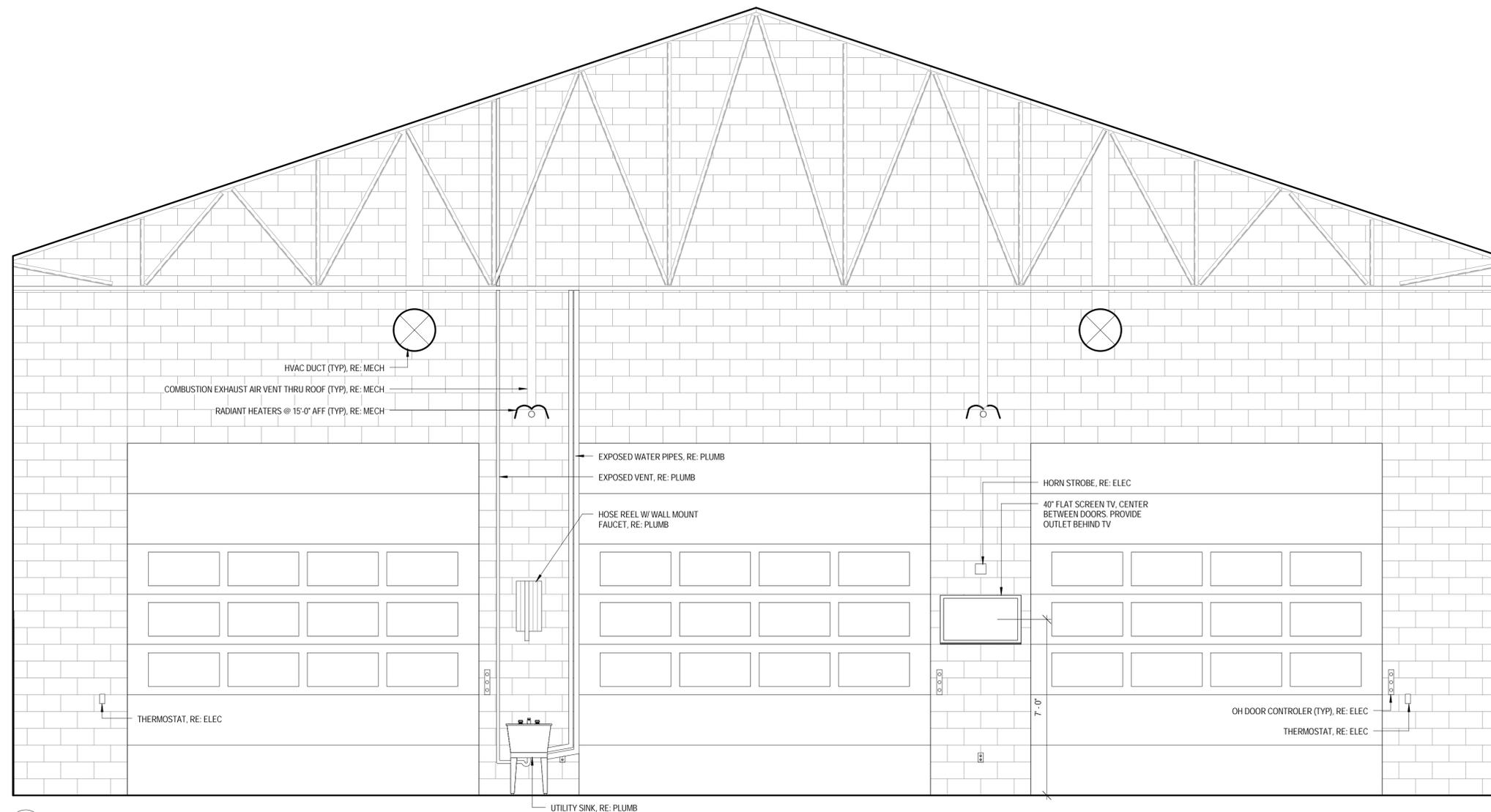
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DRAWN BY: Author CHECKED BY: Checker

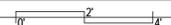
DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A405**

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1 APPARATUS BAY SOUTH  
A405



CURRENT PROJECTS 1443-CENTRAL-Parade.rvt

**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**

- OWNER
- ARCHITECT
- CONTRACTOR
- FIELD
- OTHER

PROJECT: Orchard Mesa Fire Station #4  
 OWNER: City of Grand Junction  
 TO: FCI Constructors, Inc.  
 3070 I-70 B, Bldg A  
 Grand Junction, CO 81504

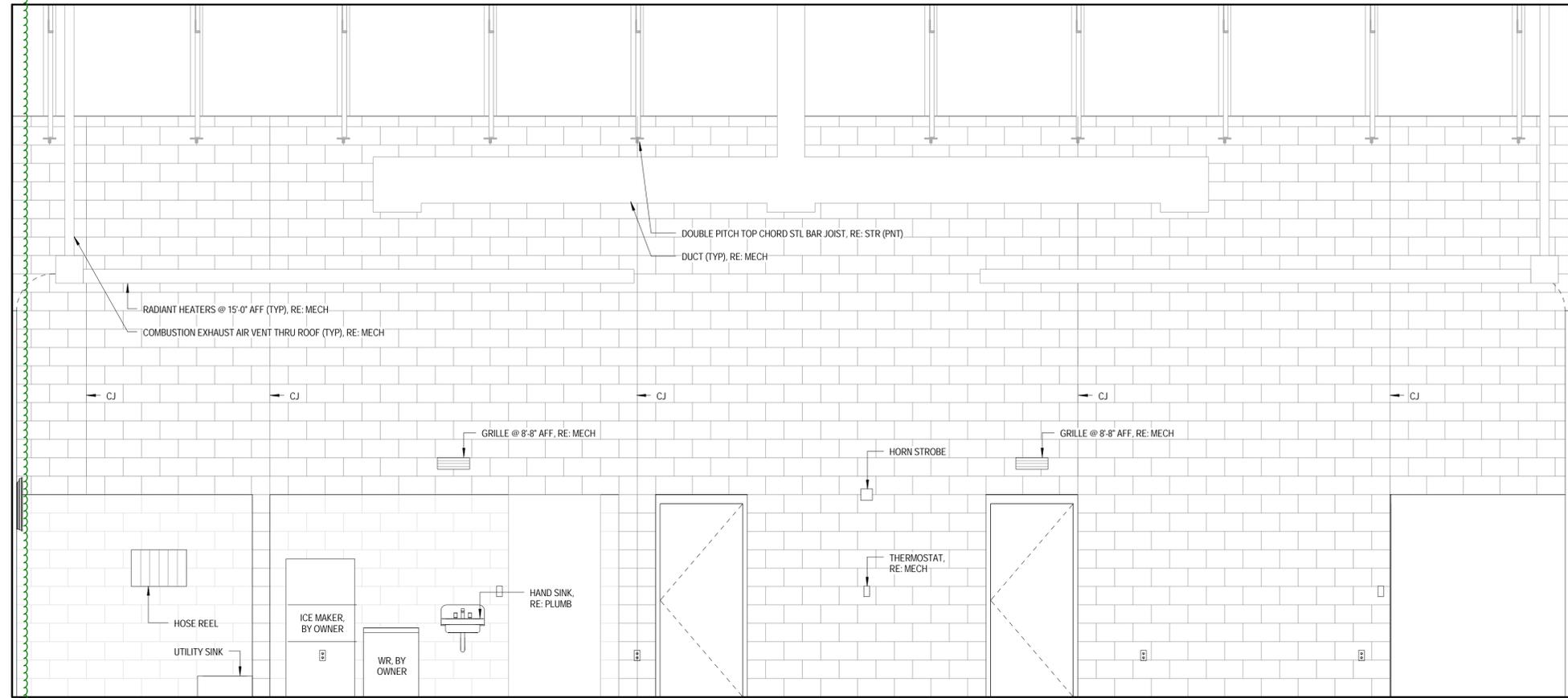
ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Seven (7)  
 ARCHITECT: Chamberlin Architects  
 437 Main Street  
 Grand Junction, CO 81501  
 ARCHITECT'S PROJECT NO: 1443  
 DATE OF ISSUANCE: August 28, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

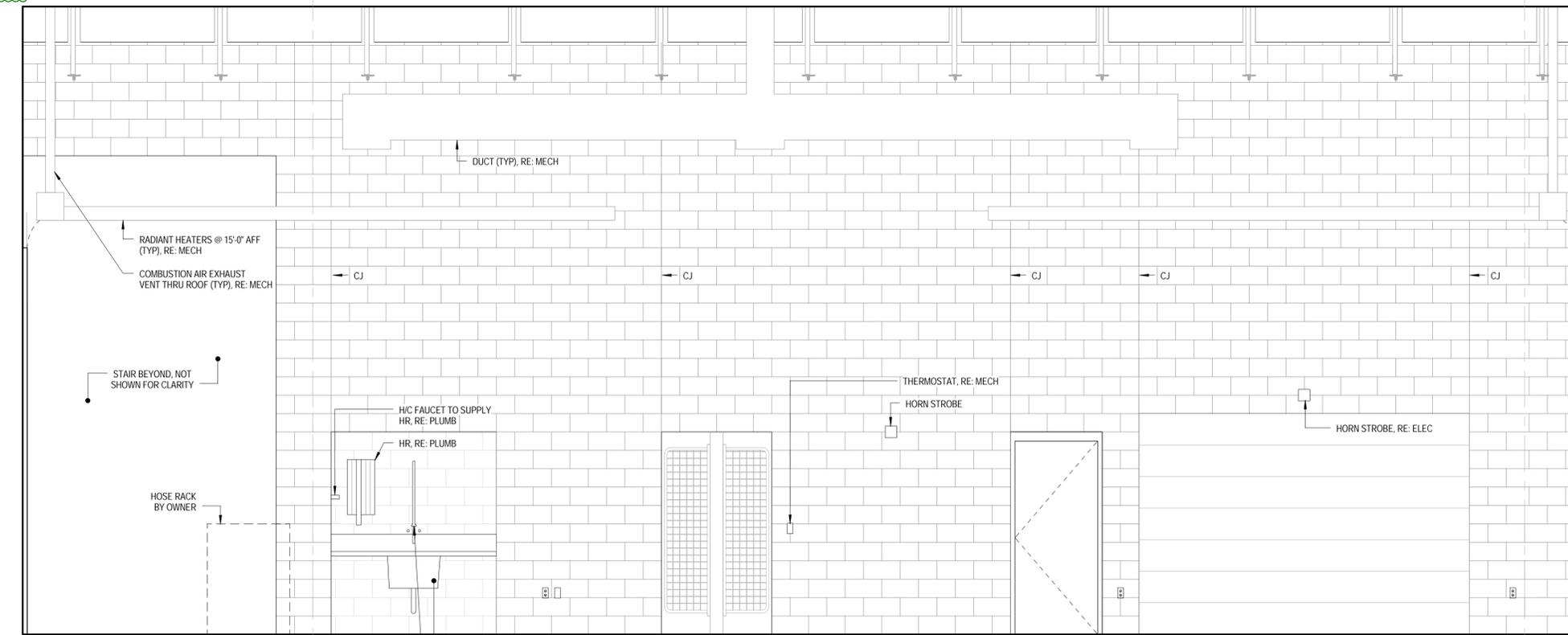
- Per on-site meeting with architect, structural engineer, electrician & superintendent all electrical conduit runs (and associated boxes) at masonry shear wall locations to be surface mounted. Existing conduit (and box) on Grid Line F near corner of Mech 126 to be abandoned in place and filled with concrete. Existing conduit (and box) on Grid Line 8 (east of Door 103B) to remain. Alerting system boxes to be field modified for surface mounting. All exposed electrical conduits and boxes to be painted to match adjacent wall color.

Attachments: none

ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West  
 S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\AS\AS\I007.1443.doc



2 APPARATUS BAY WEST  
 A406



1 APPARATUS BAY EAST  
 A406

CHAMBERLIN ARCHITECTS  
 437 Main St.  
 Grand Junction, Colorado 81501  
 T 970.242.6804  
 725 Saint Joseph St., Suite B1  
 Rapid City, South Dakota 57701  
 T 605.355.6804  
 www.chamberlinarchitects.com

**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**INTERIOR ELEVATIONS**

NO: ISSUED FOR: DATE:

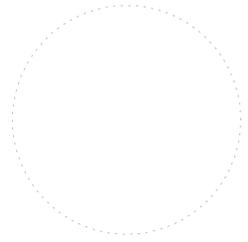


PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A406**



# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## WALL SECTIONS

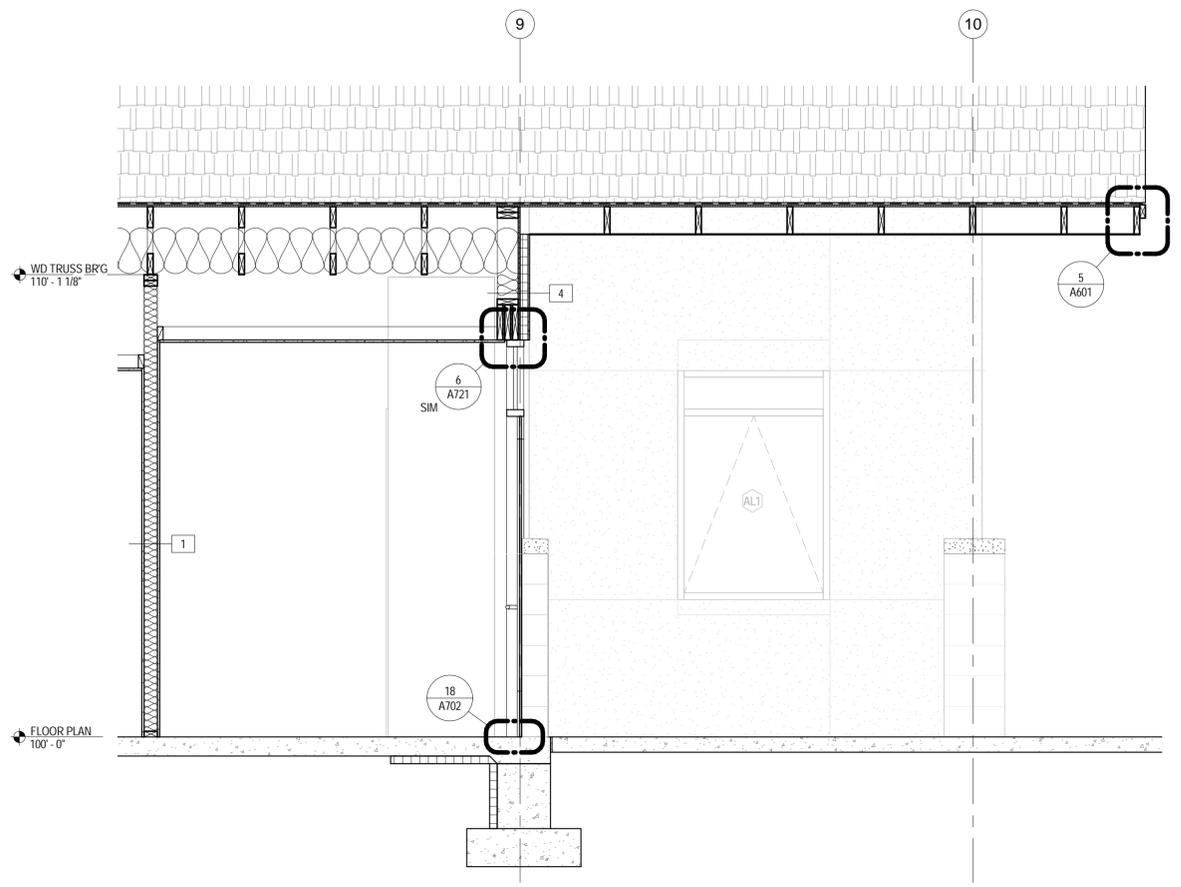
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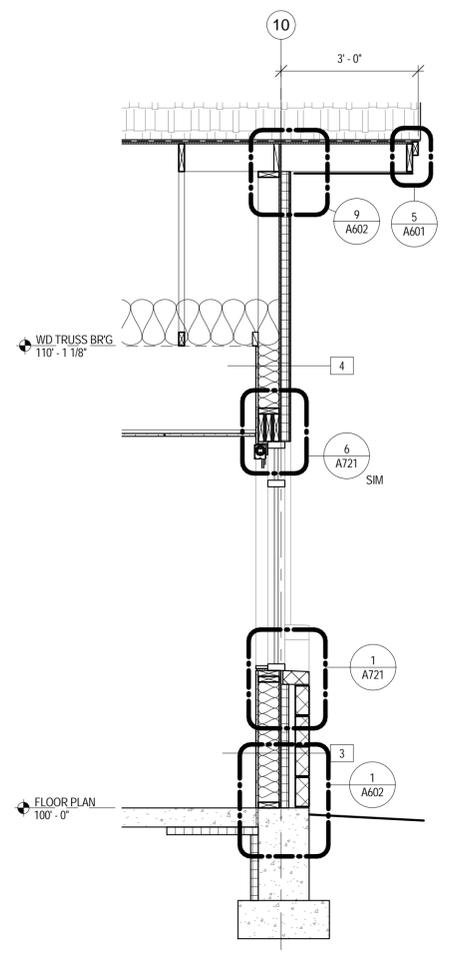
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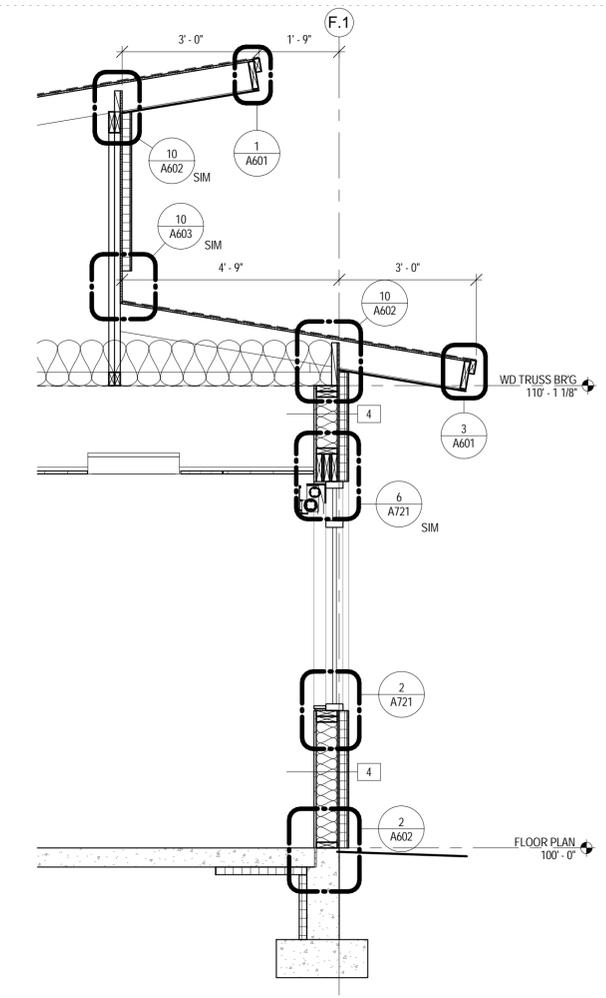
PROJECT NO: 1443 **A501**



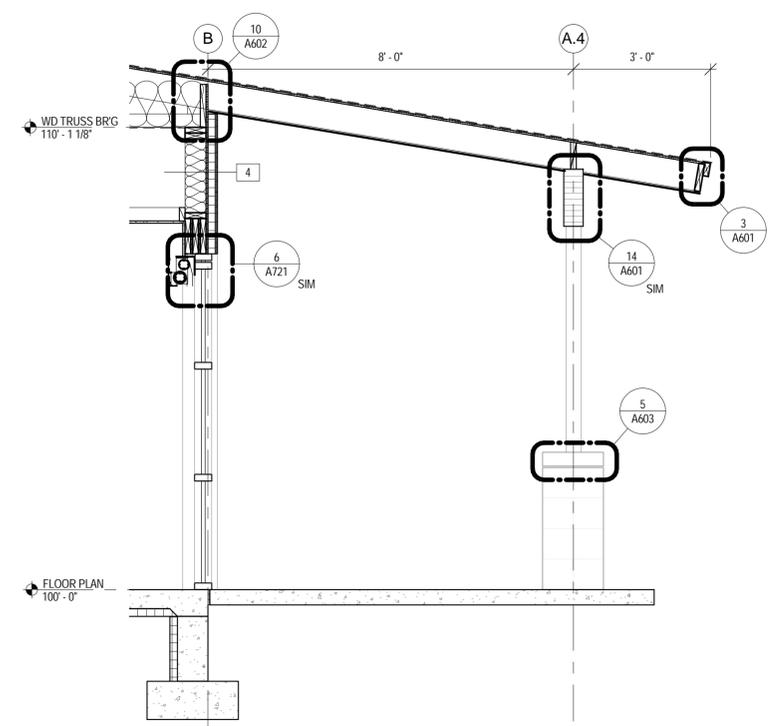
6 WALL SECTION 3  
A501 1' 1/2"



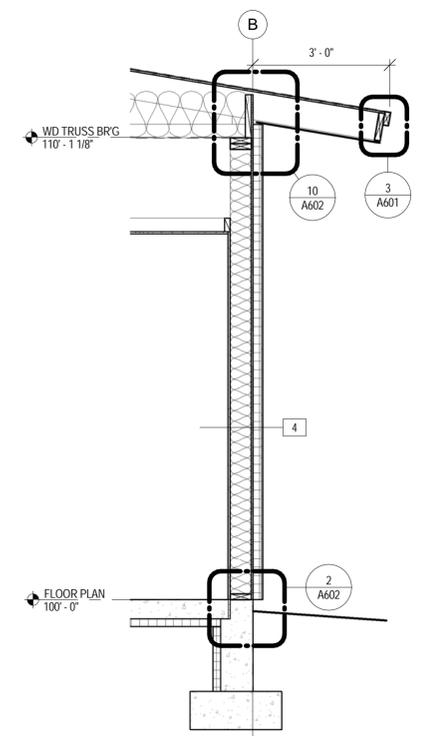
5 WALL SECTION 2  
A501 1' 1/2"



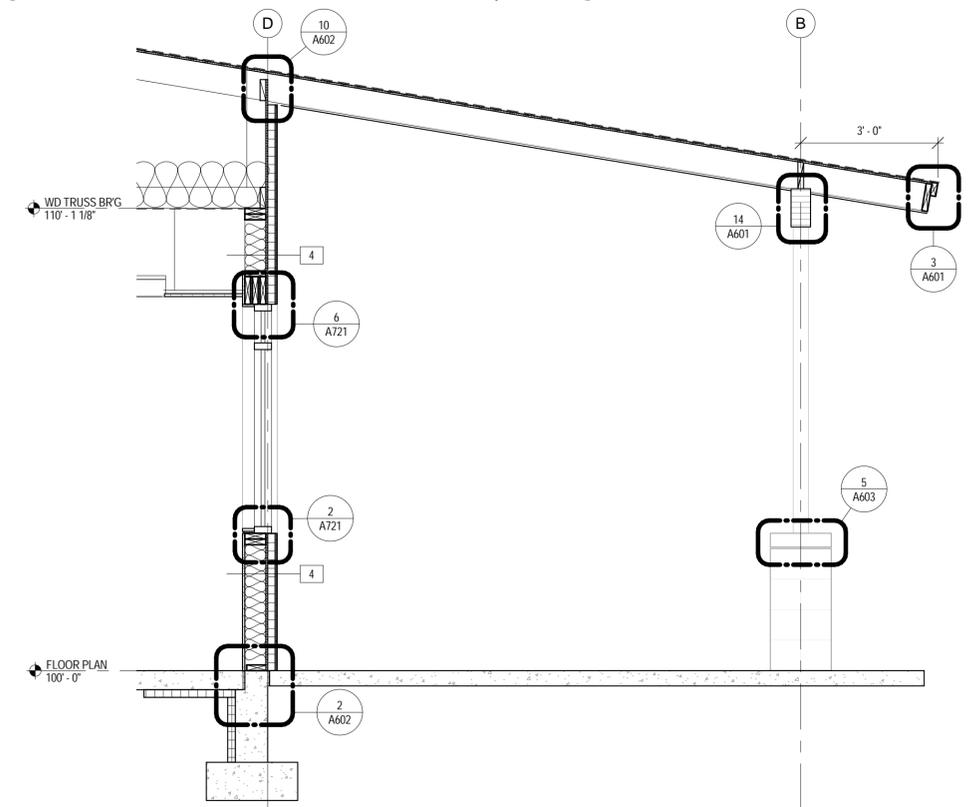
4 WALL SECTION 1  
A501 1' 1/2"



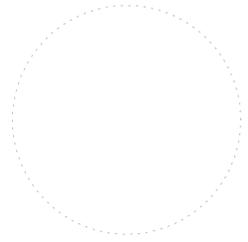
3 WALL SECTION 6  
A501 1' 1/2"



2 WALL SECTION 5  
A501 1' 1/2"



1 WALL SECTION 4  
A501 1' 1/2"



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO: ISSUED FOR: DATE:

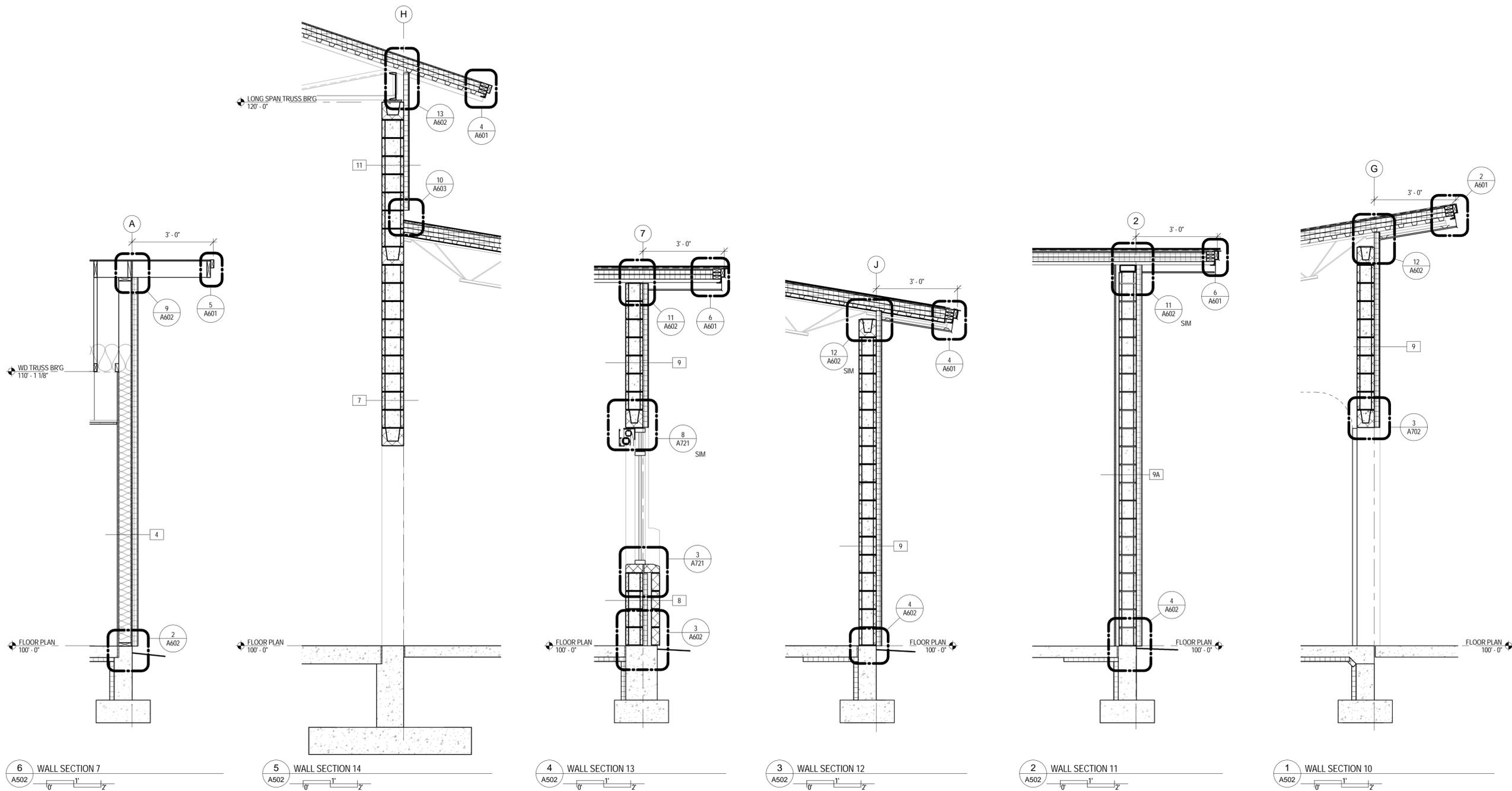


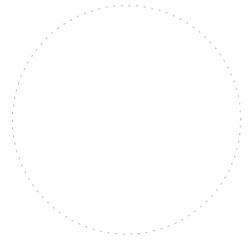
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A502**





# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## WALL SECTIONS

NO: ISSUED FOR: DATE:

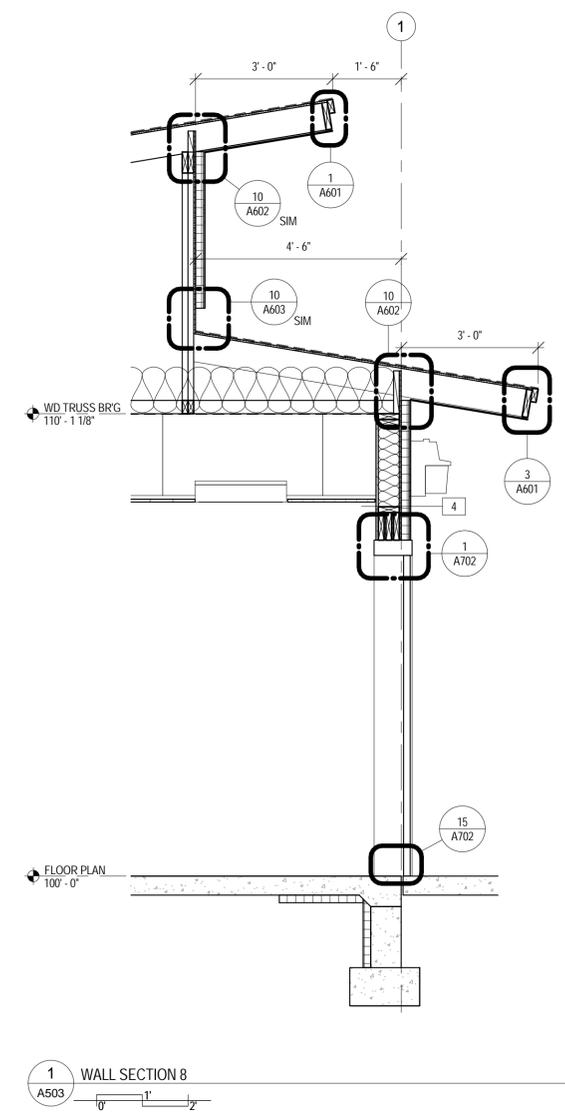
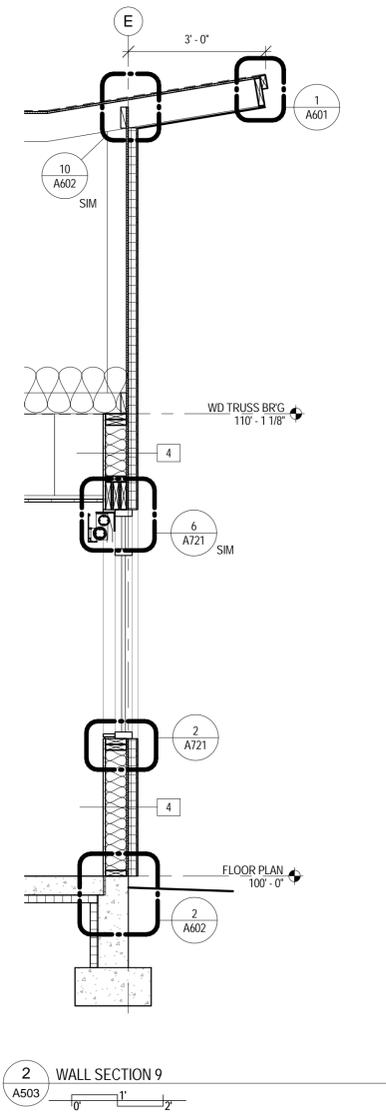
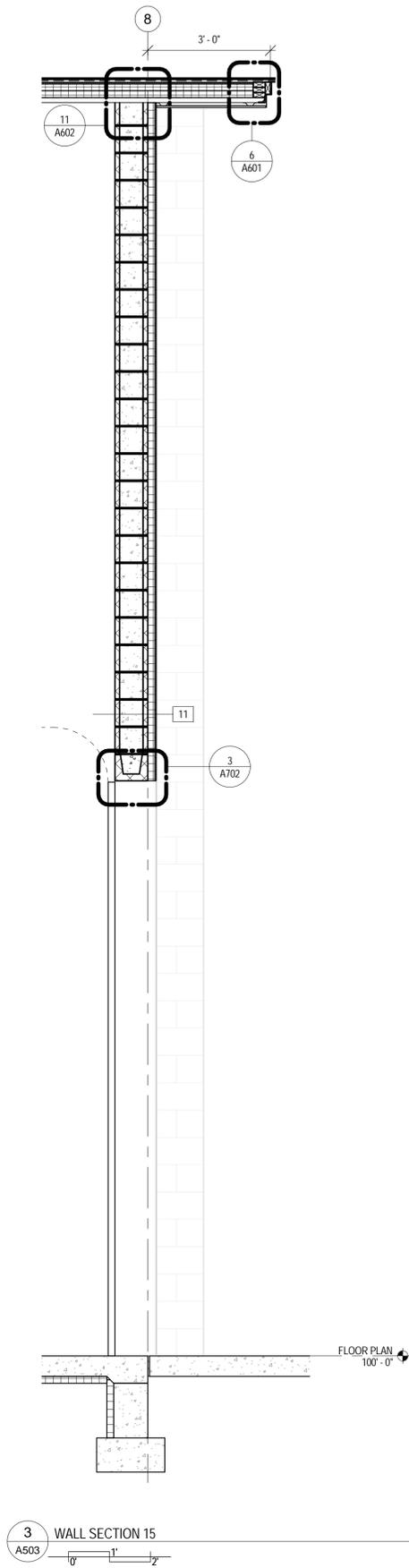
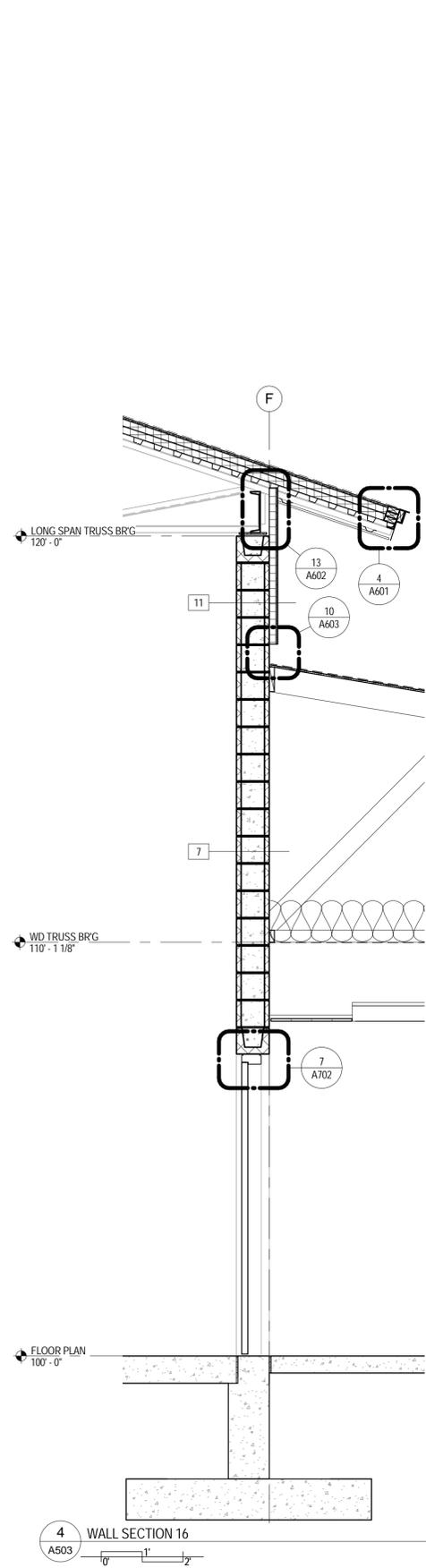


PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A503**



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ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO. ISSUED FOR: DATE:

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19
- 20

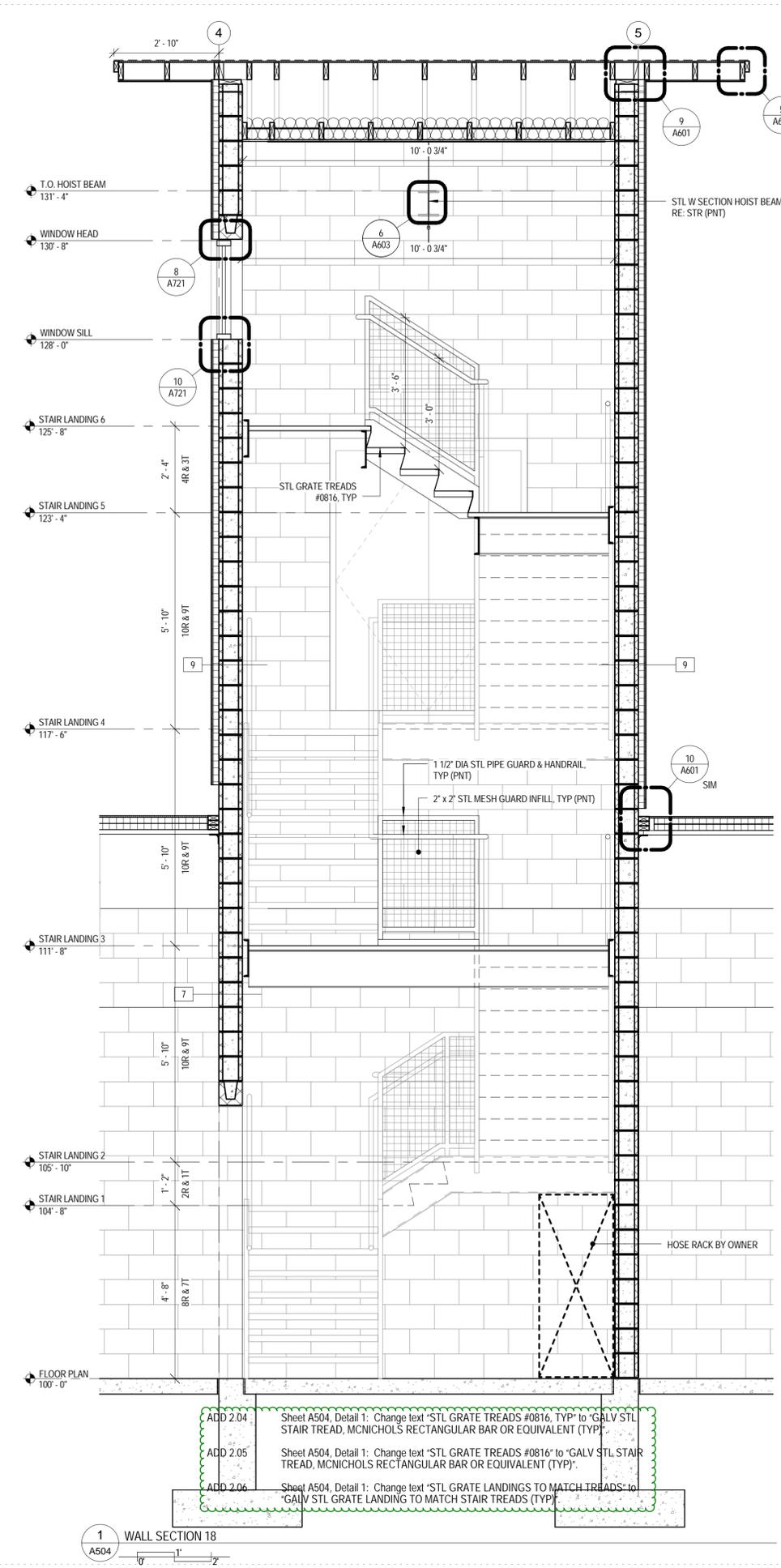
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

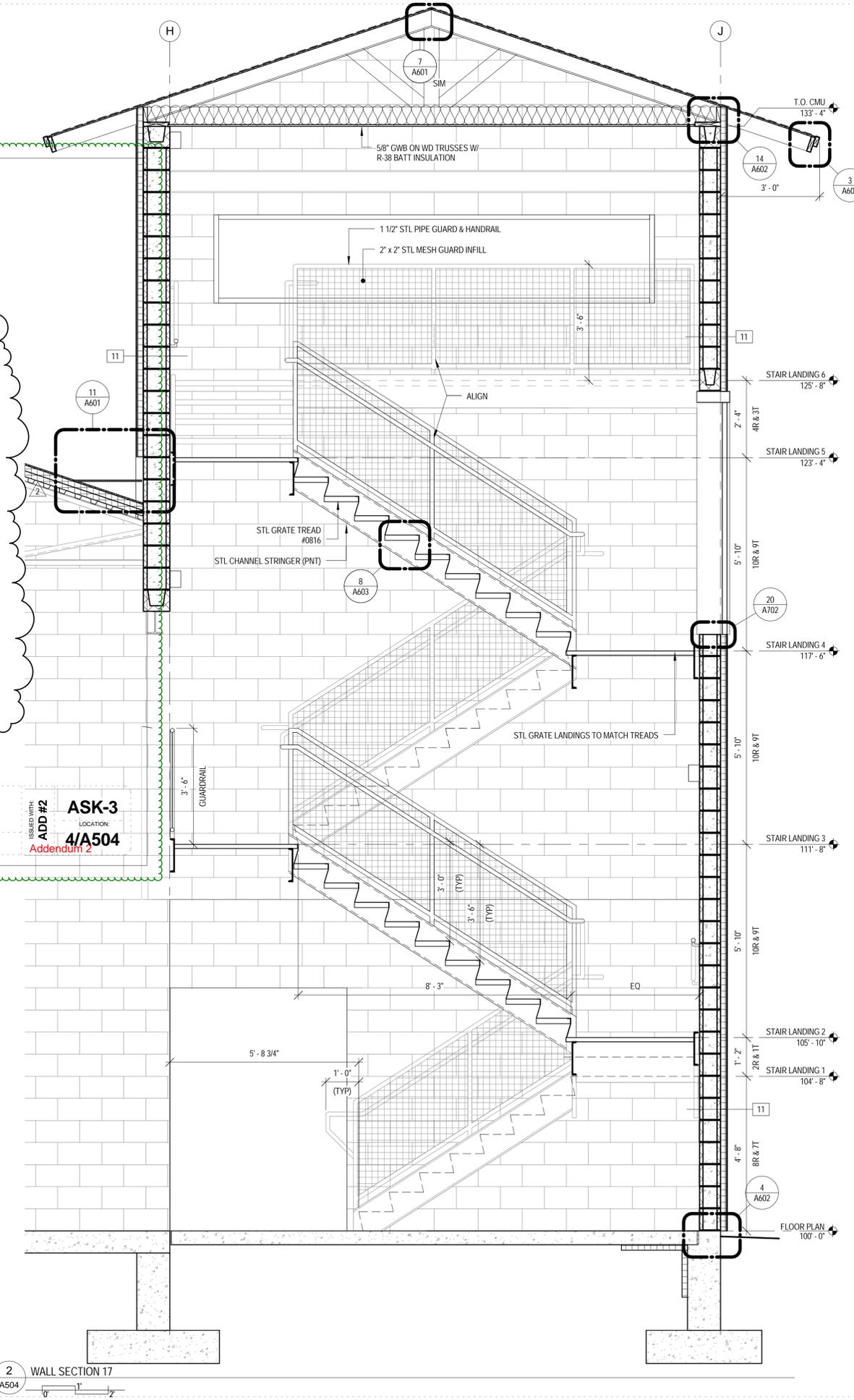
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PROJECT NO: 1443 **A504**

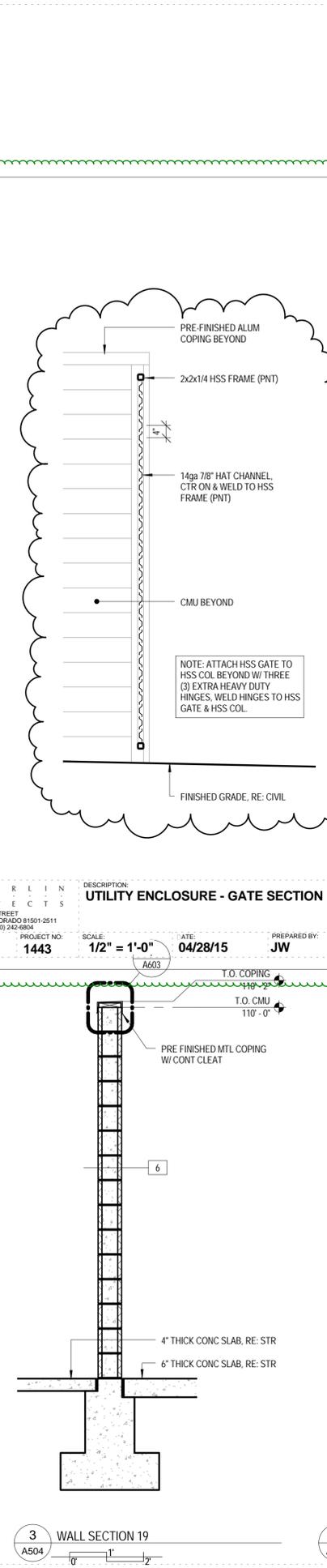
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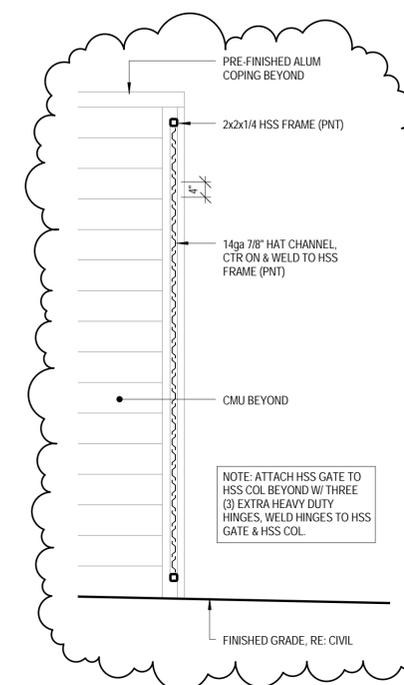
1 WALL SECTION 18  
A504



2 WALL SECTION 17  
A504



3 WALL SECTION 19  
A504



DESCRIPTION: UTILITY ENCLOSURE - GATE SECTION

PROJECT: OMFS#4 PROJECT NO: 1443

SCALE: 1/2" = 1'-0"

DATE: 04/28/15

PREPARED BY: JW

ISSUED WITH: ADD #2 ASK-3 LOCATION: 4/A504 Addendum 2

CHAMBERLIN ARCHITECTS  
437 MAIN STREET  
GRAND JUNCTION, COLORADO 81501-2511  
TELEPHONE: (970) 242-6904

CURRENT PROJECTS 1443-CENTRAL-ParadeYr

**PROPOSAL REQUEST**

FIELD   
 OWNER   
 ARCHITECT   
 CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4 PROPOSAL REQUEST NO: Ten (10)  
 OWNER: City of Grand Junction DATE: July 30, 2016  
 250 N. 5th Street ARCHITECT'S PROJECT NO: 1443  
 Grand Junction, CO 81501  
 TO: FCI Constructors, Inc. CONTRACT DATED: December 18, 2014  
 3070 I-70 B, Bldg A  
 Grand Junction, CO 81504

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

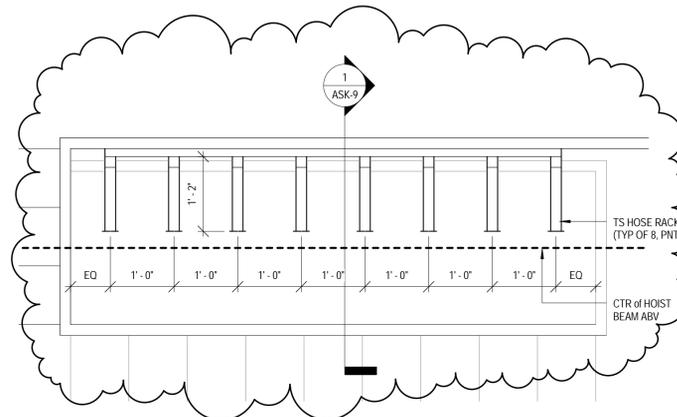
**Description:**

1. Add TS hose rack assembly as illustrated in the attached Sketches ASK-8 & ASK-9.
2. Add belay tie off assembly as illustrated in the attached Sketches ASK-10 & SSK-5.

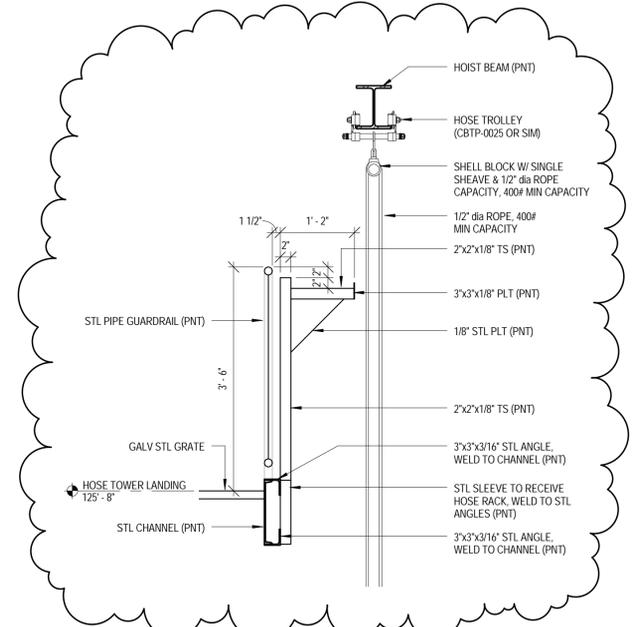
Attachments: ASK-8; ASK-9; ASK-10; SSK-5

ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West

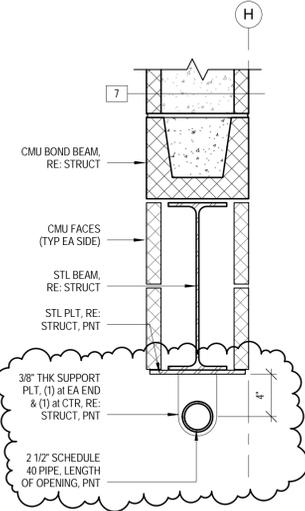
S:\1443 - Orchard Mesa Fire Station #4-6. CONSTRUCTION\PROPOSAL REQUESTS\PR#010.1443.doc



C H A M B E R L I N A R C H I T E C T S		DESCRIPTION: <b>HOSE TOWER - HOSE RACK PLAN</b>		ISSUED WITH: PR#010	LOCATION: <b>ASK-8</b>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>3/4" = 1'-0"</b>	DATE: <b>7/30/15</b>	PREPARED BY: <b>JW</b>	



C H A M B E R L I N A R C H I T E C T S		DESCRIPTION: <b>HOSE TOWER - HOSE RACK SECTION</b>		ISSUED WITH: PR#010	LOCATION: <b>ASK-9</b>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>3/4" = 1'-0"</b>	DATE: <b>7/30/15</b>	PREPARED BY: <b>JW</b>	



C H A M B E R L I N A R C H I T E C T S		DESCRIPTION: <b>BELAY TIE OFF DTL</b>		ISSUED WITH: PR#010	LOCATION: <b>ASK-10</b>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>1 1/2" = 1'-0"</b>	DATE: <b>7/30/15</b>	PREPARED BY: <b>JW</b>	

**PROPOSAL REQUEST**

FIELD   
 OWNER   
 ARCHITECT   
 CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4 PROPOSAL REQUEST NO: Eleven (11)  
 OWNER: City of Grand Junction DATE: July 31, 2016  
 250 N. 5th Street ARCHITECT'S PROJECT NO: 1443  
 Grand Junction, CO 81501  
 TO: FCI Constructors, Inc. CONTRACT DATED: December 18, 2014  
 3070 I-70 B, Bldg A  
 Grand Junction, CO 81504

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

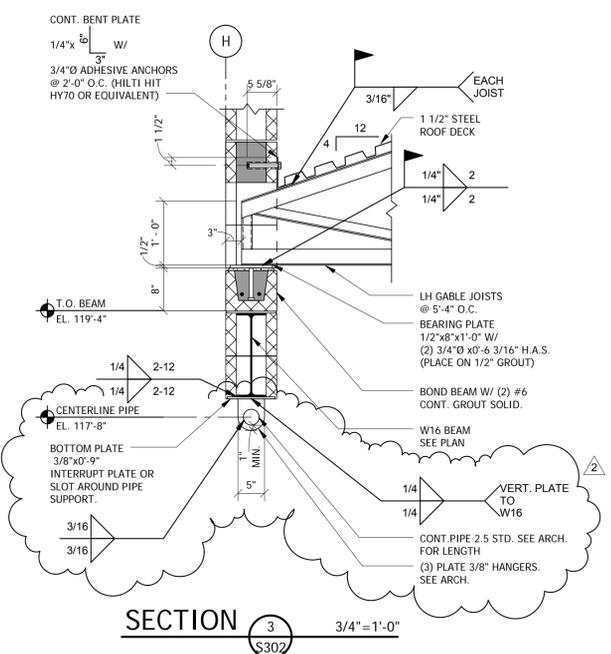
**Description:**

1. Add removable rails (one at 119'-0" AFF and one at 120'-6" AFF) at Door 135 as illustrated in the attached Sketch ASK-12.

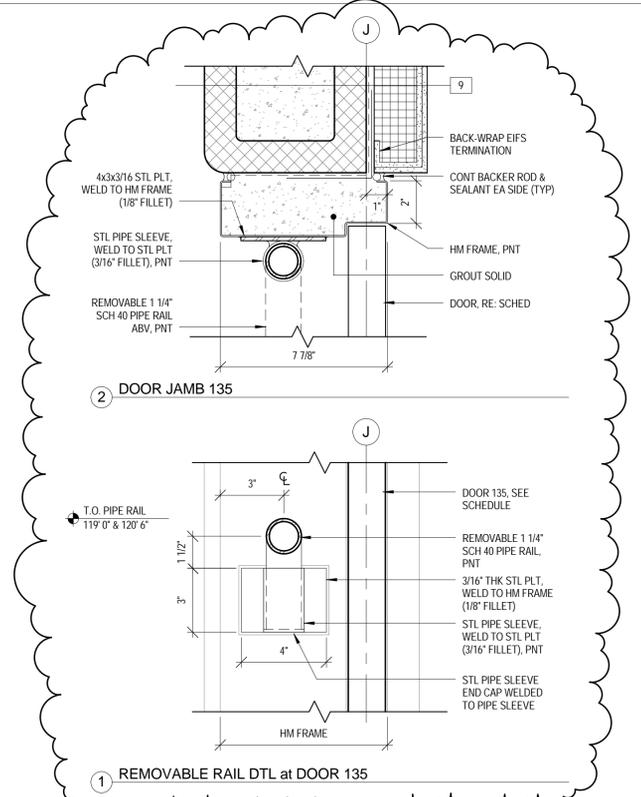
Attachments: ASK-12

ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West

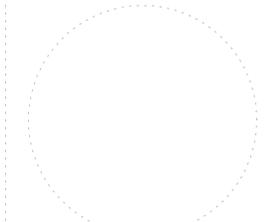
S:\1443 - Orchard Mesa Fire Station #4-6. CONSTRUCTION\PROPOSAL REQUESTS\PR#011.1443.doc



C H A M B E R L I N A R C H I T E C T S		DESCRIPTION: <b>DETAIL REVISION</b>		ISSUED WITH: PR#10	LOCATION: <b>SSK-5</b>
PROJECT: <b>O.M.F.S. #4</b>	PROJECT NO: <b>14.108</b>	SCALE: <b>AS NOTED</b>	DATE: <b>07/30/15</b>	PREPARED BY: <b>KDN</b>	



C H A M B E R L I N A R C H I T E C T S		DESCRIPTION: <b>REMOVABLE RAIL at DOOR 135 DTLS</b>		ISSUED WITH: PR#011	LOCATION: <b>ASK-12</b>
PROJECT: <b>OMFS#4</b>	PROJECT NO: <b>1443</b>	SCALE: <b>3" = 1'-0"</b>	DATE: <b>7/31/15</b>	PREPARED BY: <b>JW</b>	



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

ARCHITECTURAL  
DETAILS

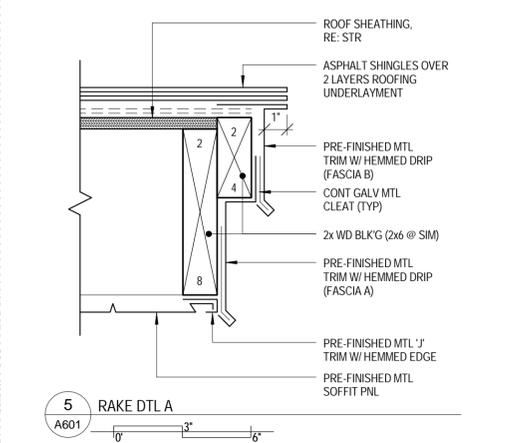
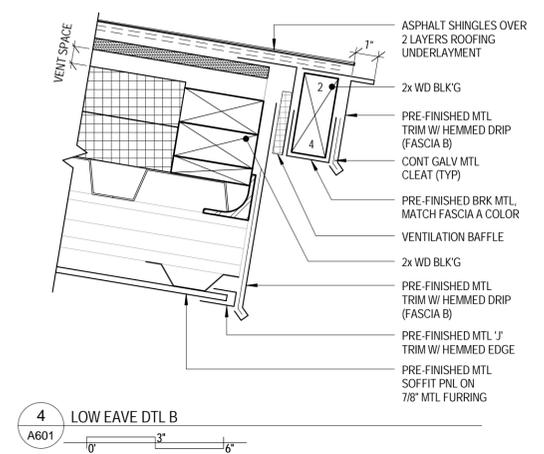
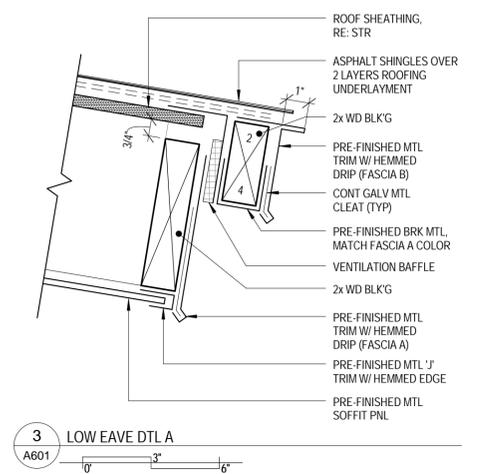
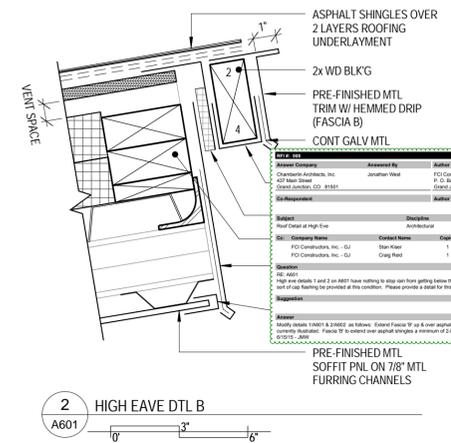
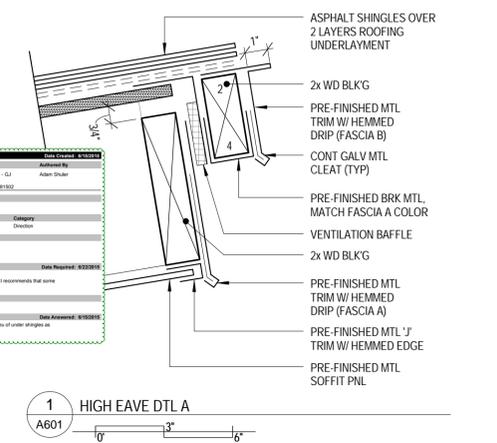
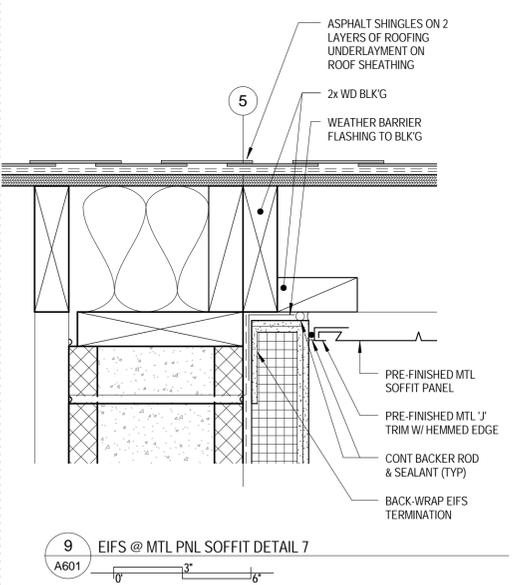
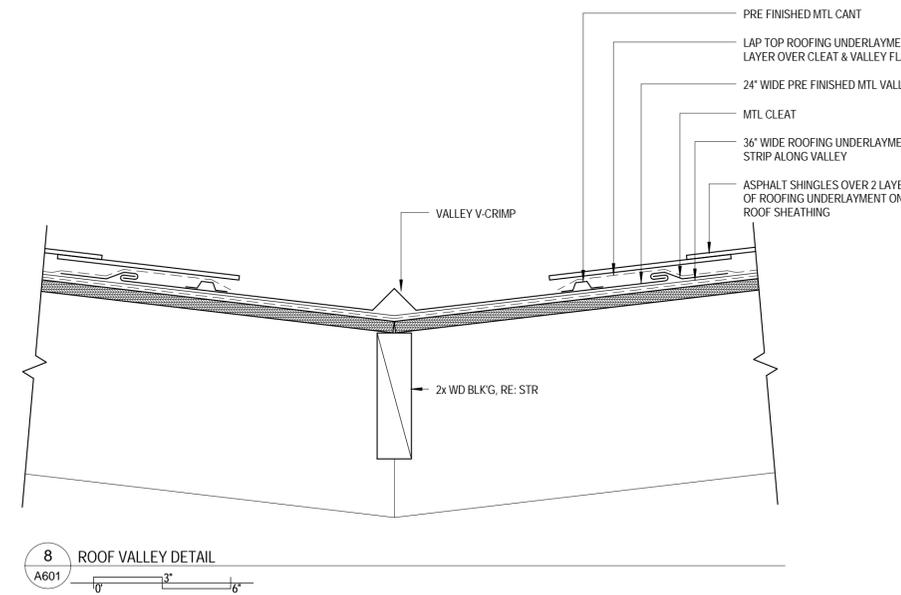
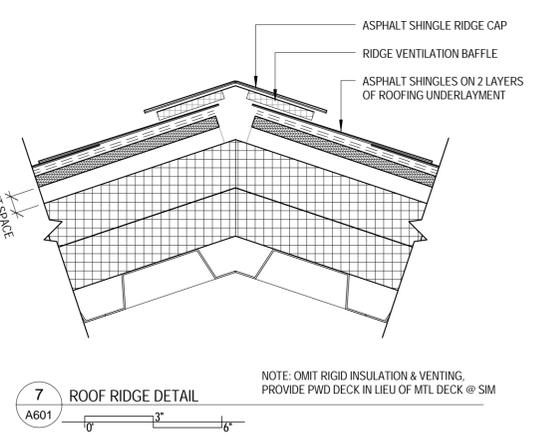
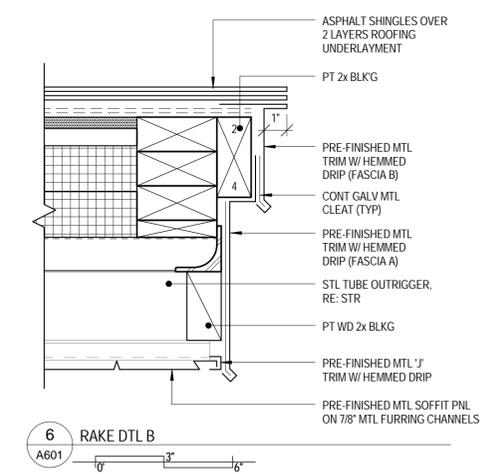
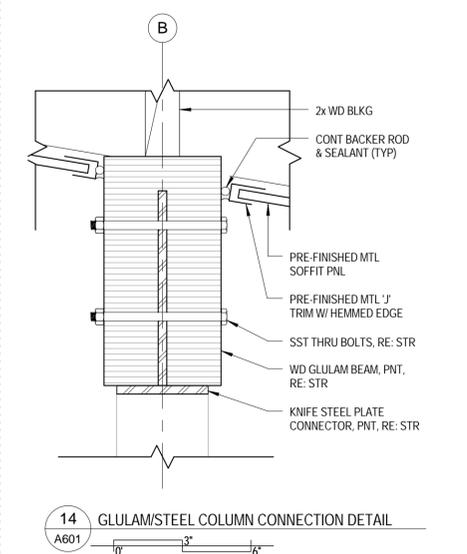
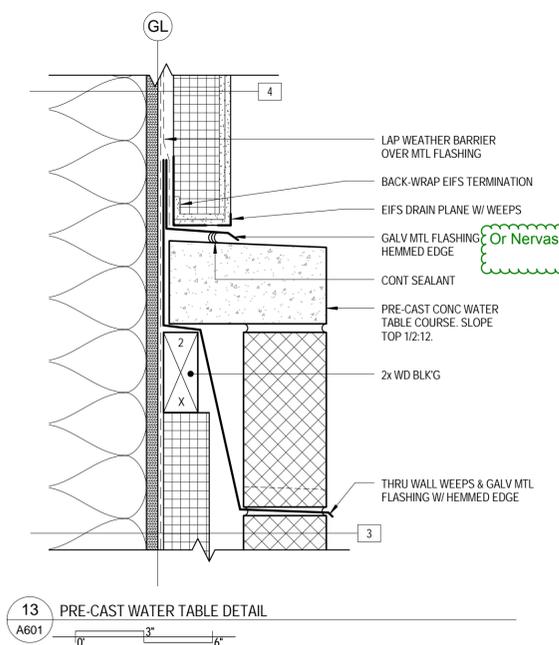
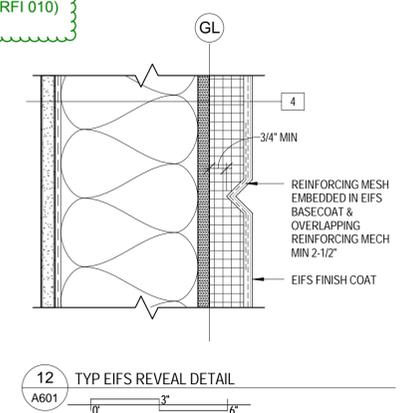
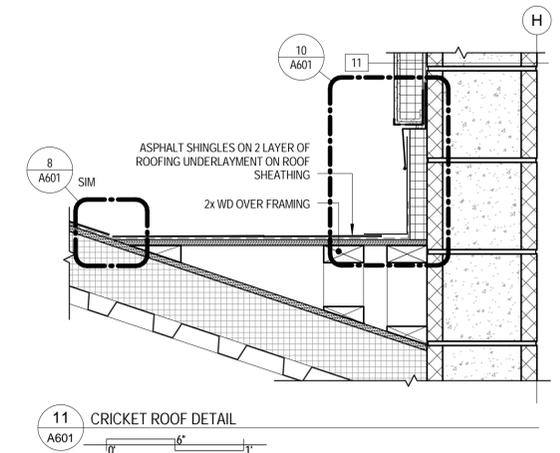
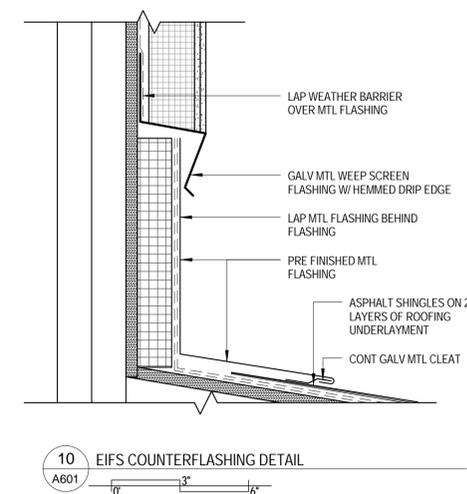
NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE:  
04/10/2015 SHEET NO:

PROJECT NO:  
1443 **A601**



4/10/2015 12:00:28 PM  
CURRENT PROJECTS\1443-CENTRAL-Panel.rvt  
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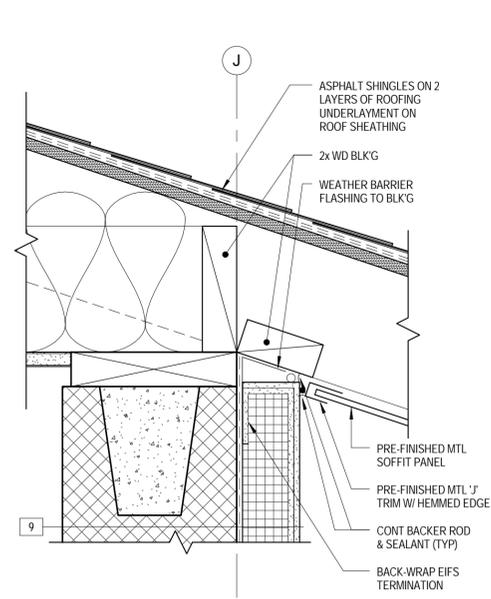
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CHAMBERLIN ARCHITECTS

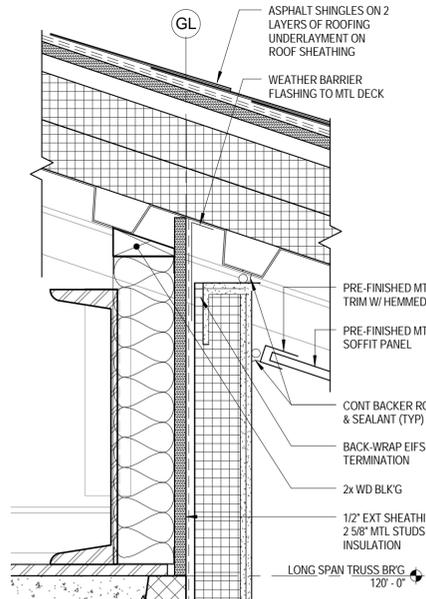
437 Main St.  
Grand Junction, Colorado 81501  
T 970.242.6804

725 Saint Joseph St., Suite B1  
Rapid City, South Dakota 57701  
T 605.355.6804

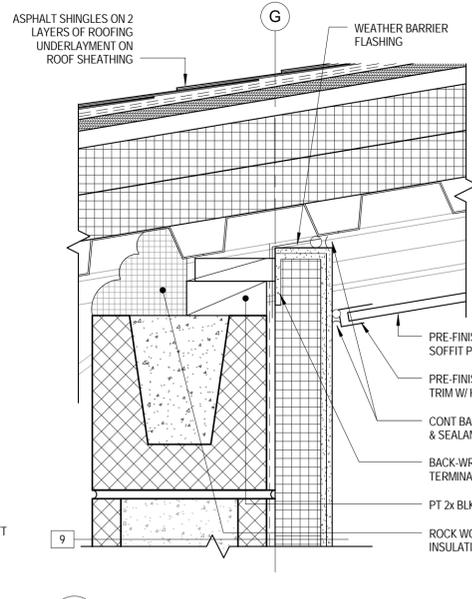
www.chamberlinarchitects.com



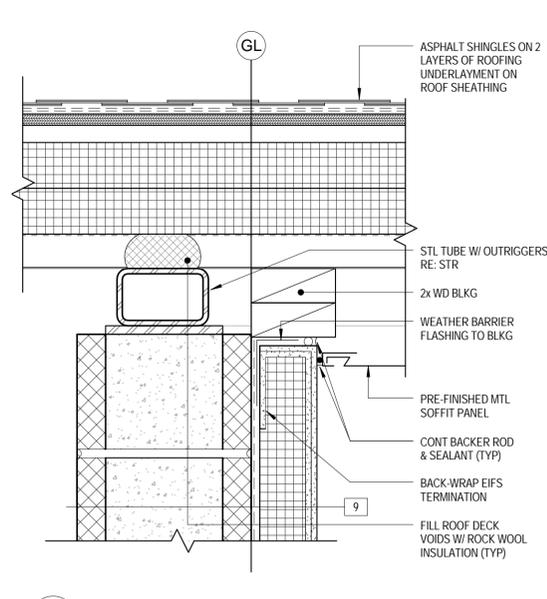
14 EIFS @ MTL PNL SOFFIT DETAIL 6



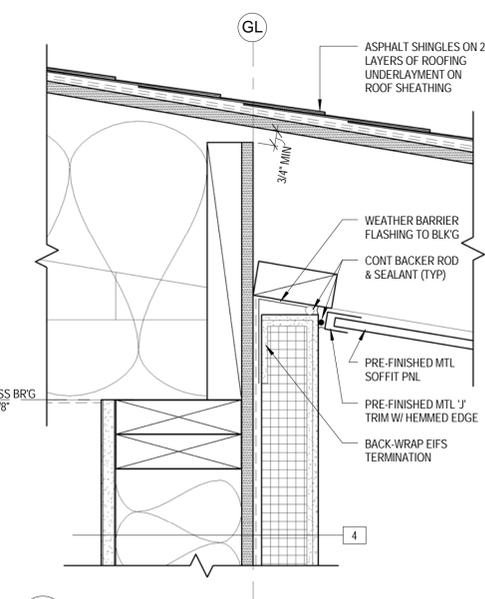
13 EIFS @ MTL PNL SOFFIT DETAIL 5



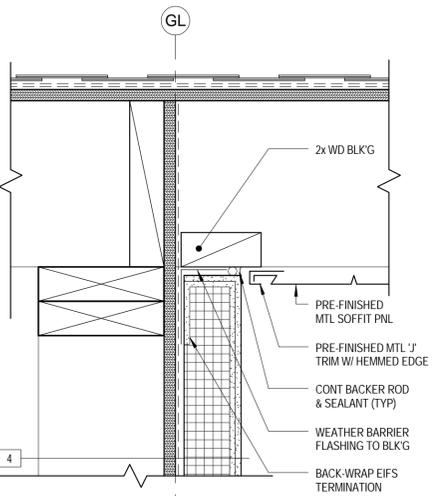
12 EIFS @ MTL PNL SOFFIT DETAIL 4



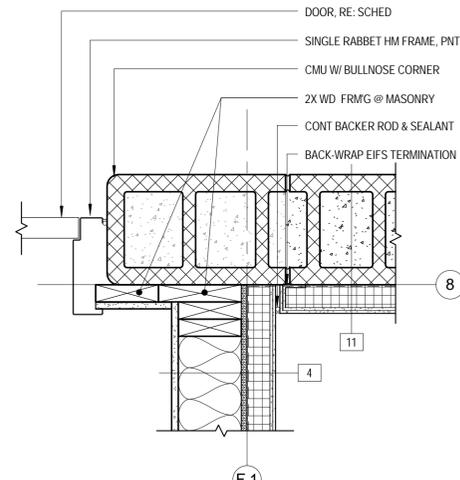
11 EIFS @ MTL PNL SOFFIT DETAIL 3



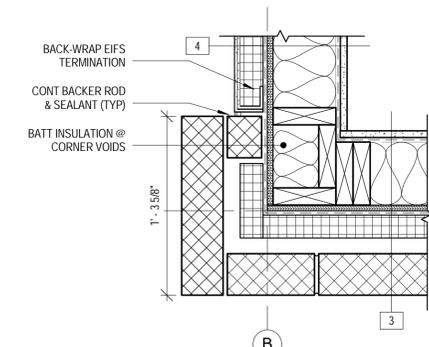
10 EIFS @ MTL PNL SOFFIT DETAIL 2



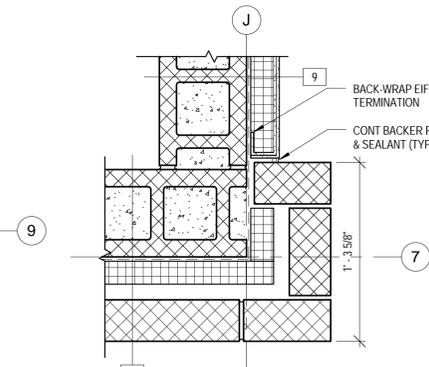
9 EIFS @ MTL PNL SOFFIT DETAIL



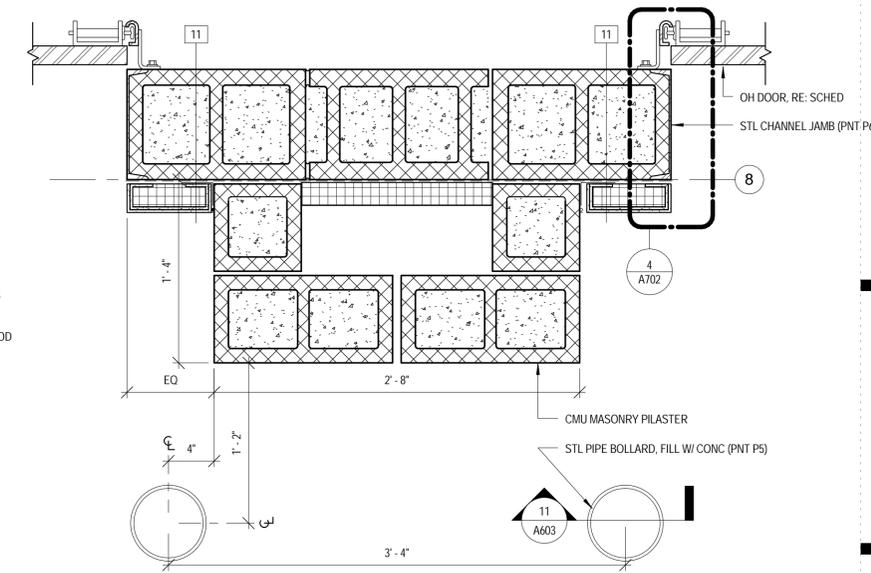
8 PLAN DETAIL 4



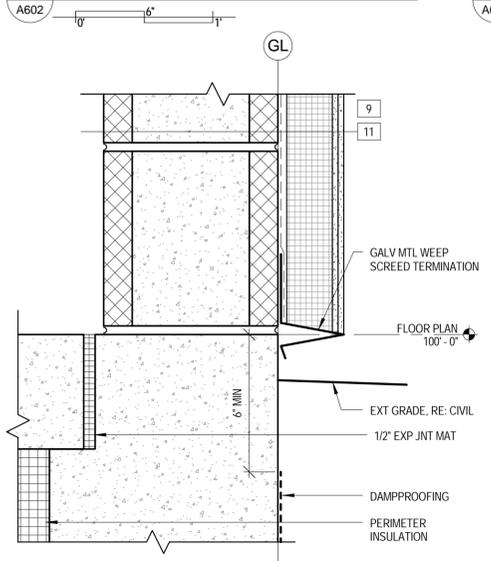
7 PLAN DETAIL 1



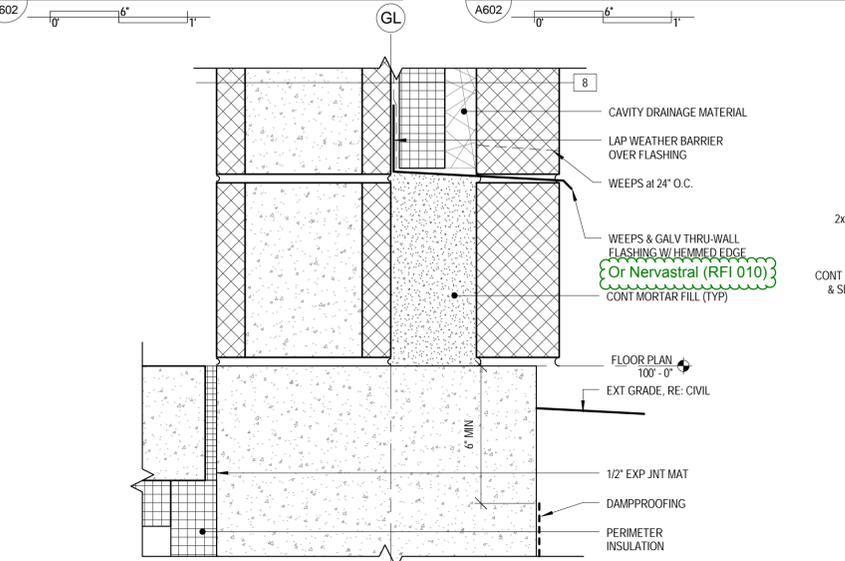
6 PLAN DETAIL 2



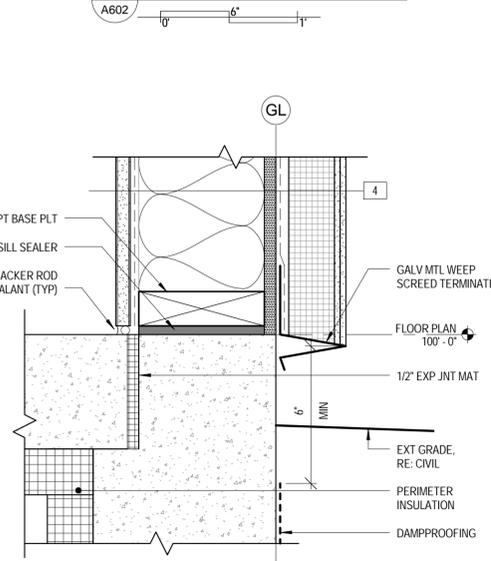
5 PILASTER PLAN DETAIL



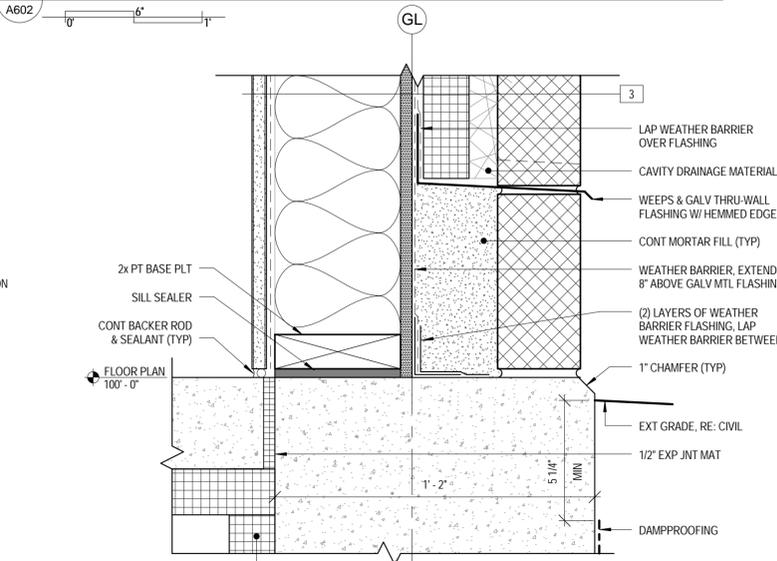
4 BASE DTL @ WALL TYPE 9 & 11



3 BASE DTL @ WALL TYP 8 & 10



2 BASE DTL @ WALL TYPE 4



1 BASE DTL @ WALL TYPE 3



# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## ARCHITECTURAL DETAILS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

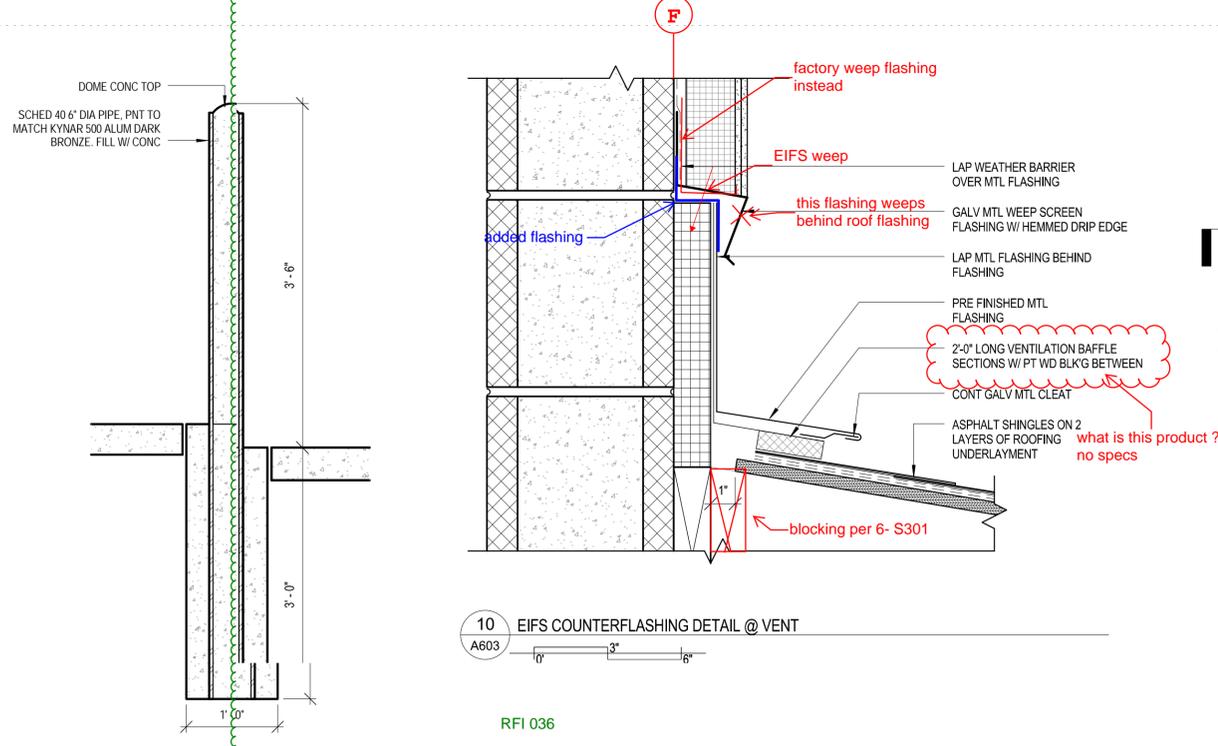
DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A602**

CURRENT PROJECTS 1443-CENTRAL-Parade.rvt

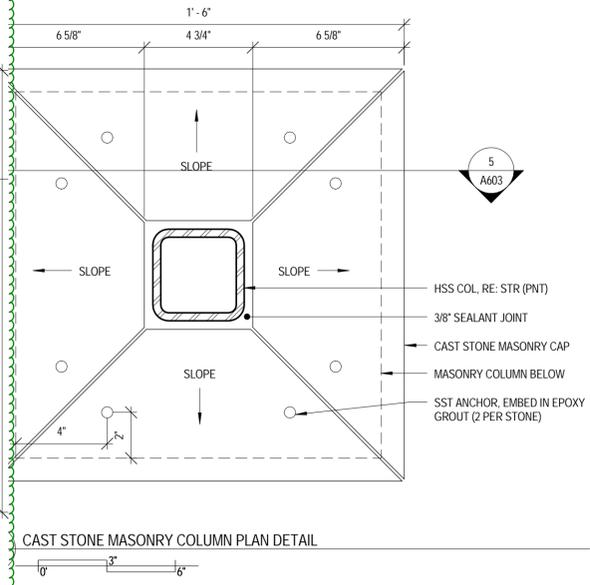
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4/10/2015 12:00:48 PM  
CURRENT PROJECTS\1443-CENTRAL-Parade.rvt

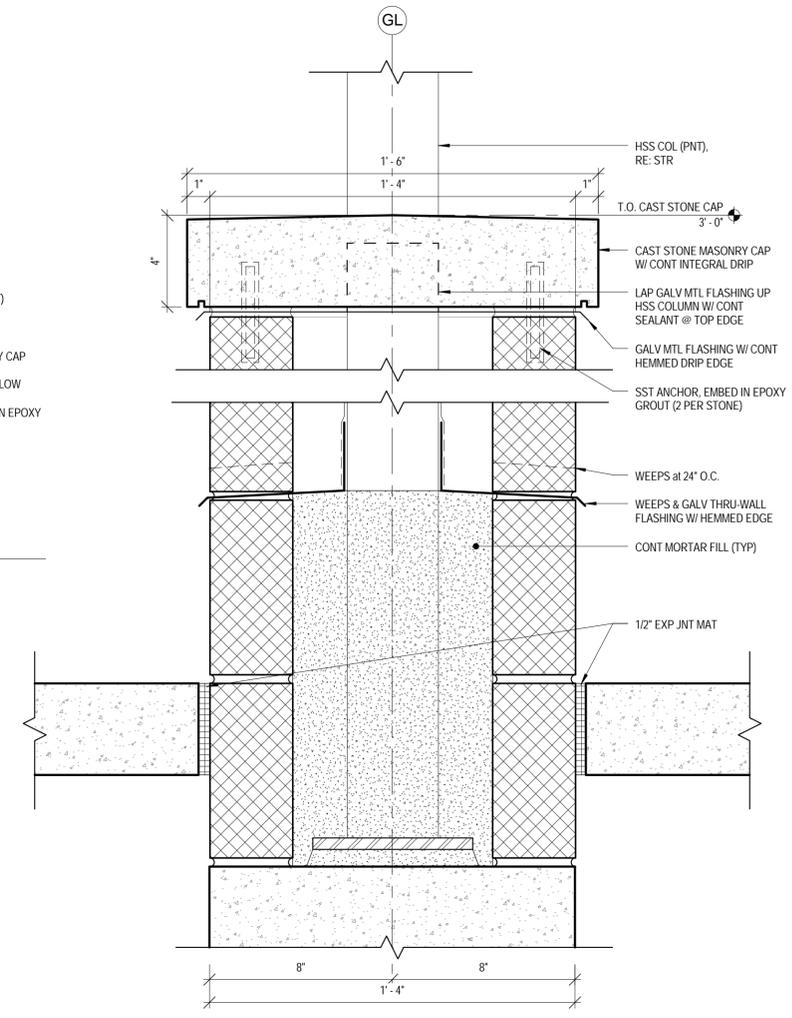


10 EIFS COUNTERFLASHING DETAIL @ VENT  
A603

RFI 036

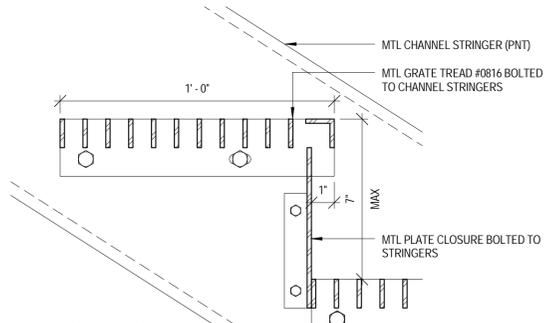


CAST STONE MASONRY COLUMN PLAN DETAIL

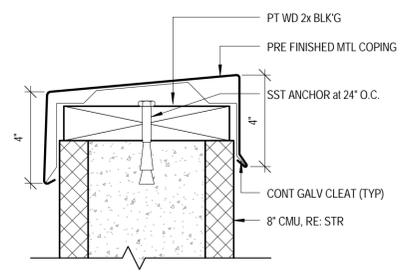


5 CAST STONE MASONRY COLUMN DETAIL  
A603

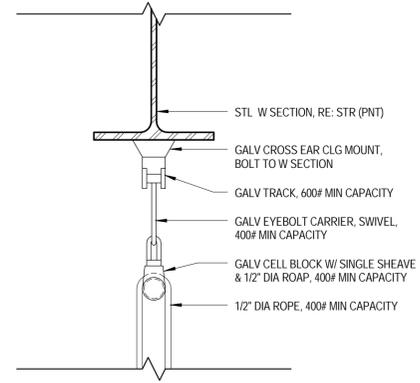
11 STEEL BOLLARD DETAIL  
A603



8 STAIR TREAD DETAIL  
A603



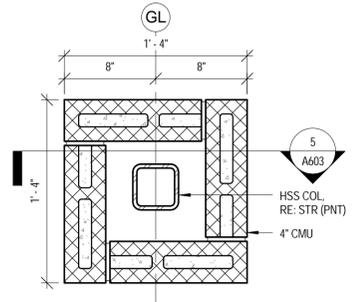
7 COPING DETAIL  
A603



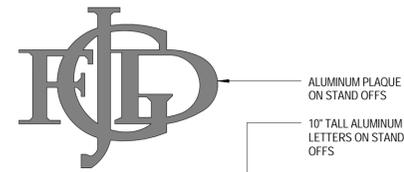
6 HOIST DETAIL  
A603

ADD 2.08 Sheet A603, Detail 8: Change text "MTL GRATE TREAD #0816 BOLTED TO CHANNEL STRINGERS" to "GALV STL STAIR TREAD, MCNICHOLS RECTANGULAR BAR OR EQUIVALENT, BOLT TO STRINGER".

ADD 2.09 Sheet A603, Detail 8: Delete metal plate closure bolted to stringers.

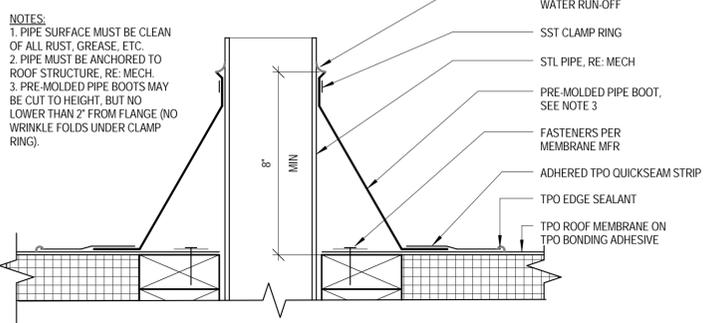


4 MASONRY COLUMN PLAN DETAIL  
A603



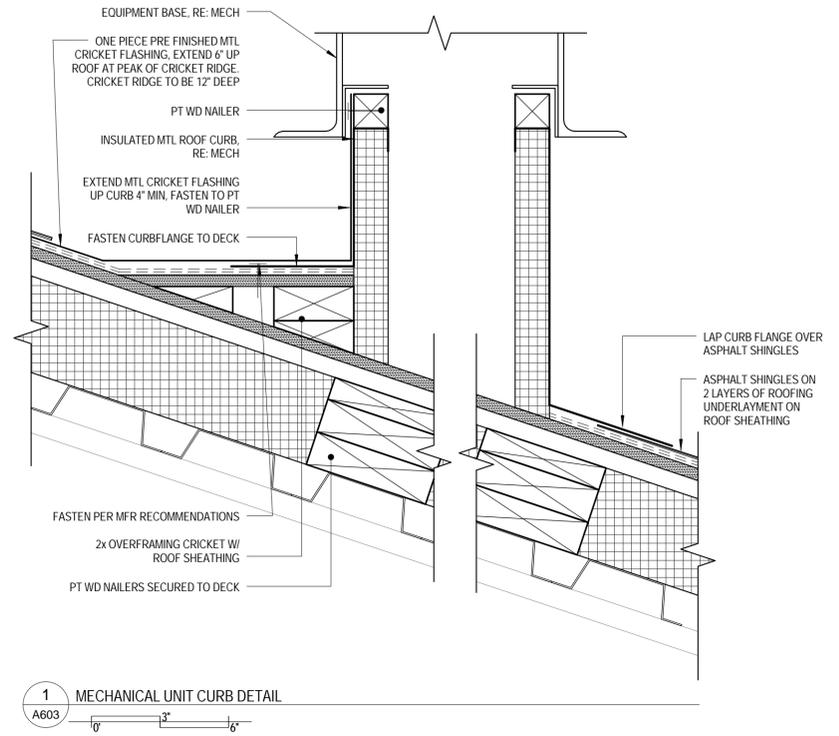
# FIRE STATION #4

3 GJFD LOGO  
A603



2 TYP ROOF PENETRATION DETAIL  
A603

NOTES:  
1. PIPE SURFACE MUST BE CLEAN OF ALL RUST, GREASE, ETC.  
2. PIPE MUST BE ANCHORED TO ROOF STRUCTURE, RE: MECH.  
3. PRE-MOLDED PIPE BOOTS MAY BE CUT TO HEIGHT, BUT NO LOWER THAN 2\"/>



1 MECHANICAL UNIT CURB DETAIL  
A603

## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## ARCHITECTURAL DETAILS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

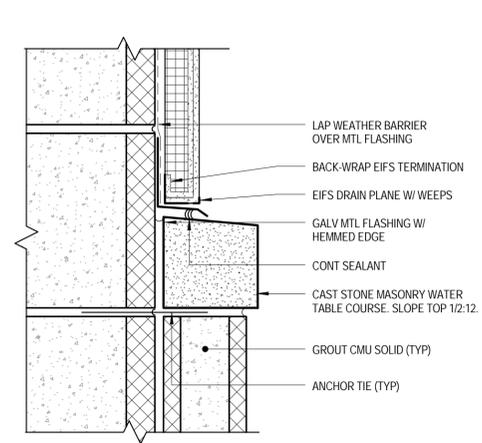
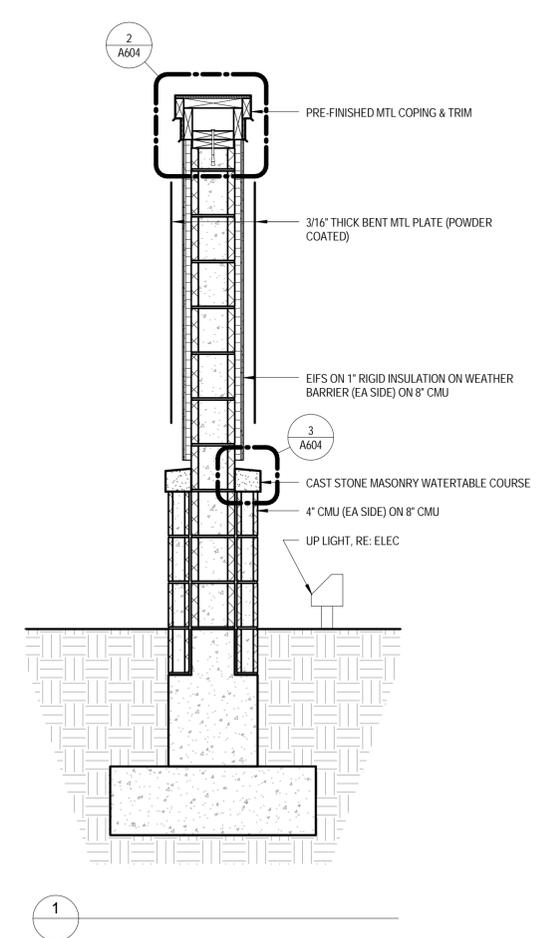
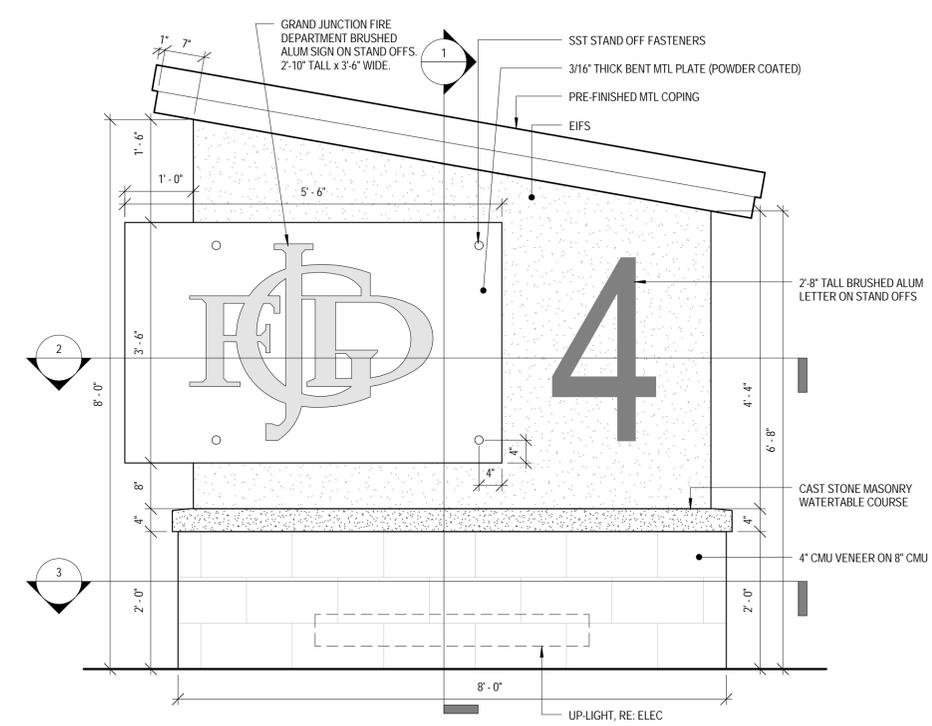
DRAWN BY: PH CHECKED BY: JW

DATE: 04/10/2015 SHEET NO:

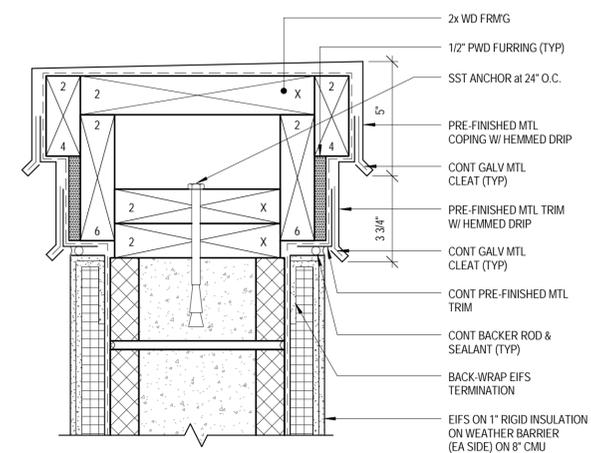
PROJECT NO: 1443 **A603**

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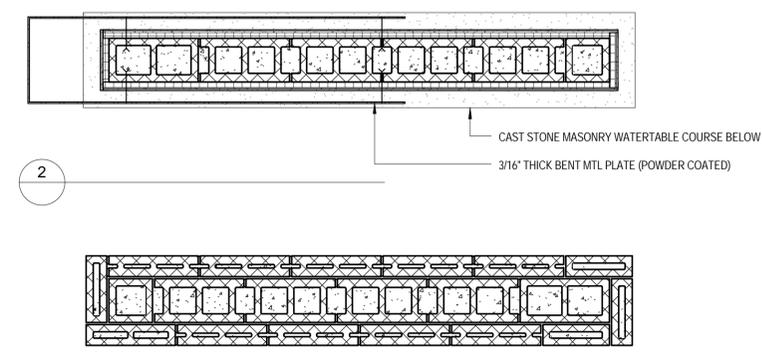
DELETED



3 MONUMENT SIGN WATER TABLE DETAIL  
A604



2 MONUMENT SIGN COPING DETAIL  
A604



3

1 MONUMENT SIGN  
A604

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

MONUMENT SIGN DETAILS

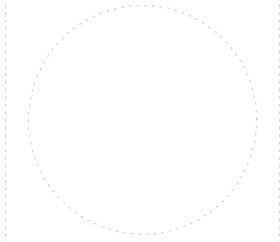
NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 A604



# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## CASEWORK DETAILS

NO: ISSUED FOR: DATE:

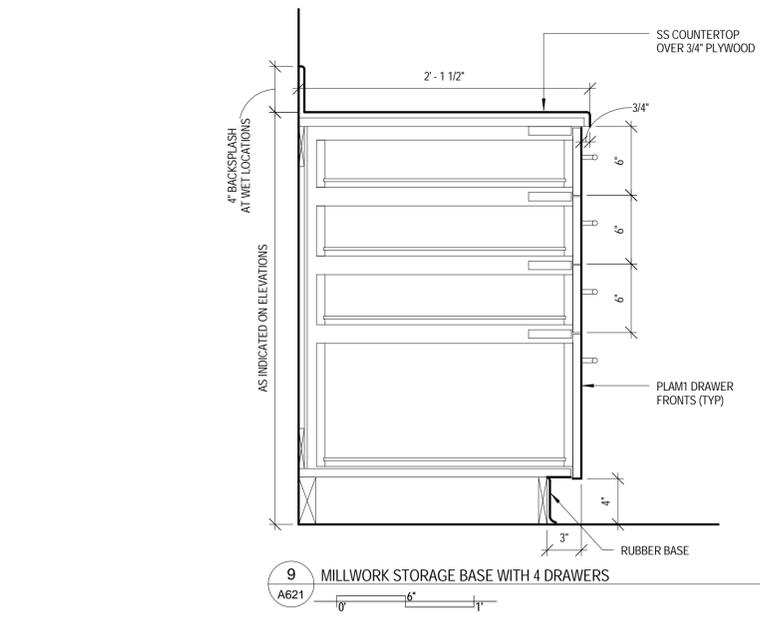


PROJECT STATUS: 100% CDs

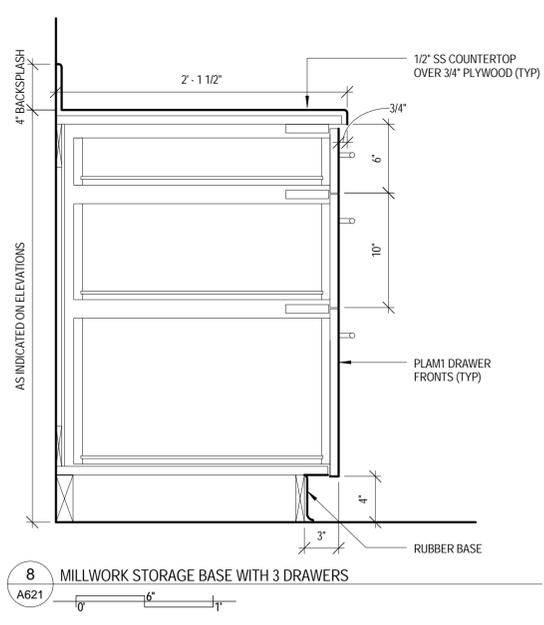
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

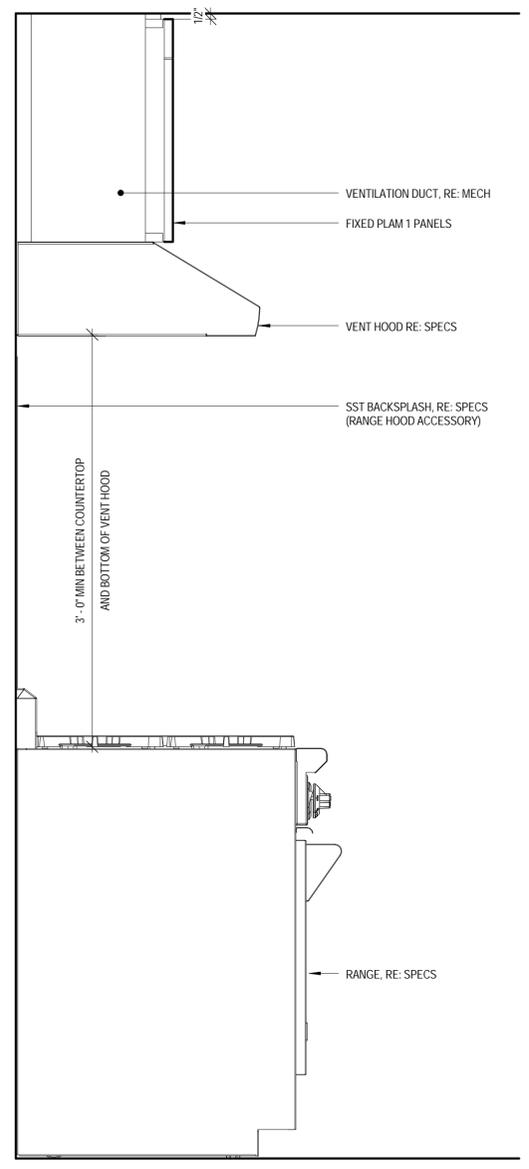
PROJECT NO: 1443 **A621**



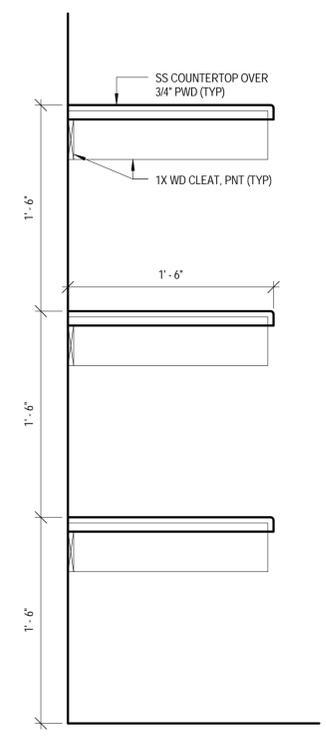
9 MILLWORK STORAGE BASE WITH 4 DRAWERS  
A621



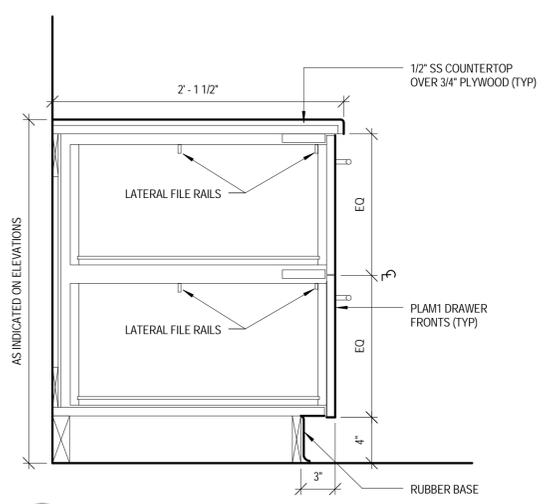
8 MILLWORK STORAGE BASE WITH 3 DRAWERS  
A621



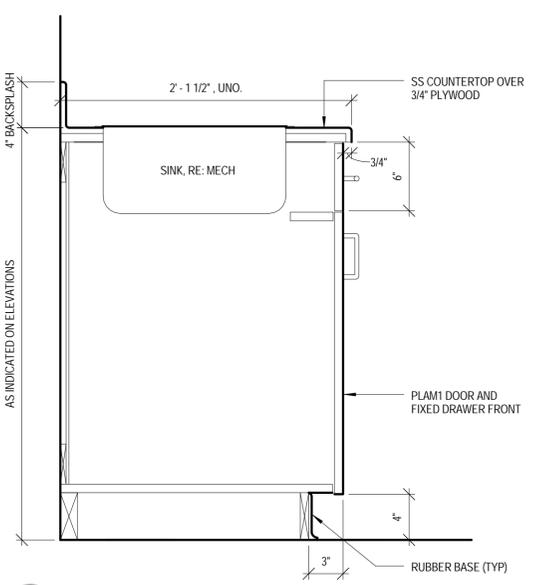
5 MILLWORK SECTION AT RANGE  
A621



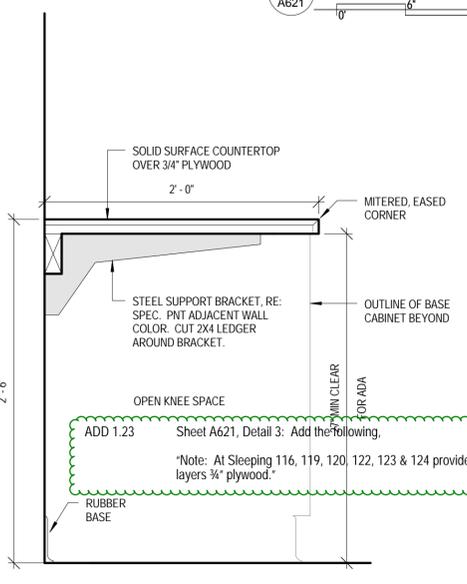
4 MILLWORK COUNTER TOP SECTIONS  
A621



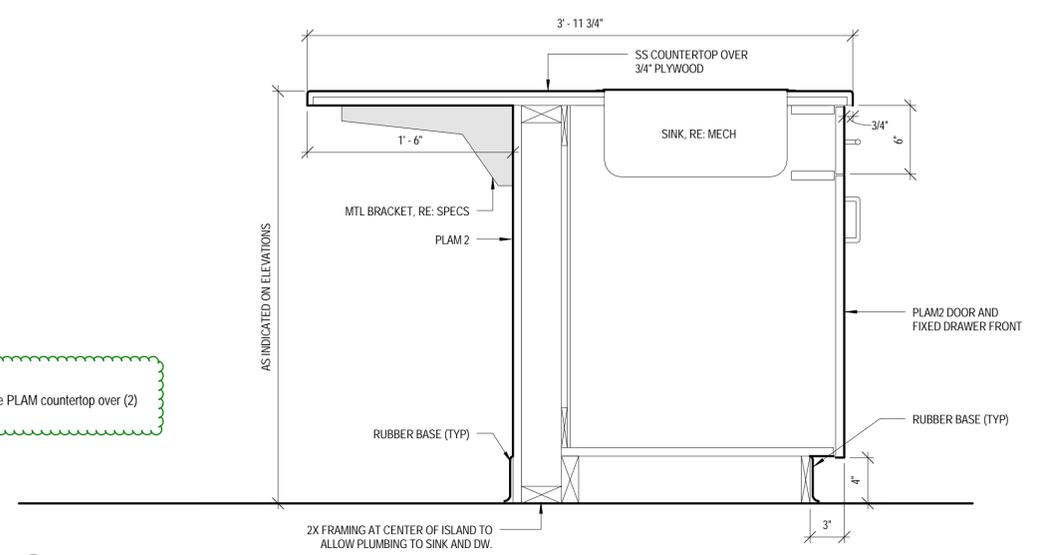
7 MILLWORK STORAGE BASE WITH 2 DRAWERS  
A621



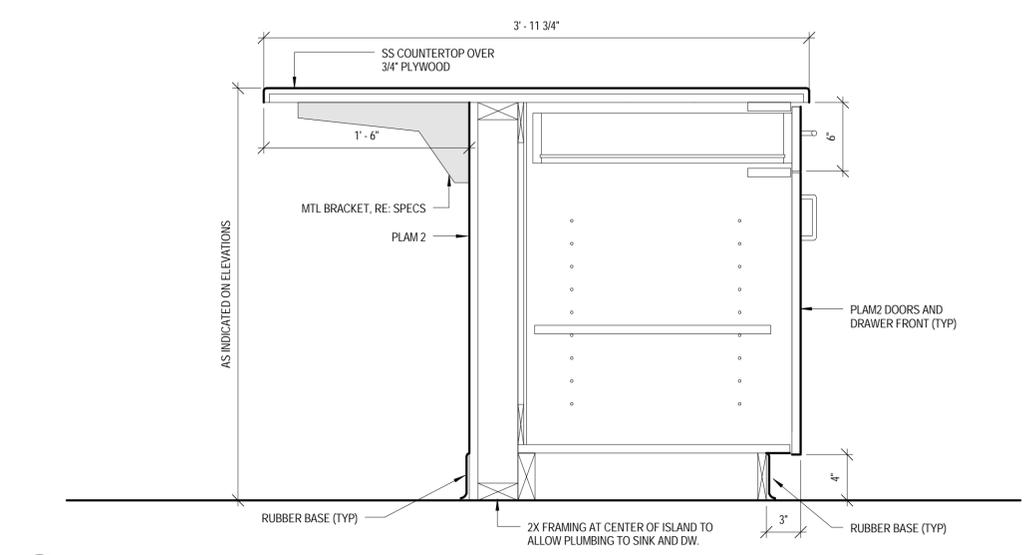
6 MILLWORK SECTION AT SINK  
A621



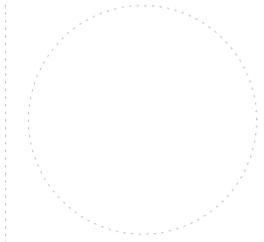
3 MILLWORK COUNTERTOP AT WORKSURFACE  
A621



2 ISLAND MILLWORK SECTION AT SINK  
A621



1 ISLAND MILLWORK SECTION AT RECYCLE CENTER  
A621



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

CASEWORK  
SECTIONS

NO: ISSUED FOR: DATE:

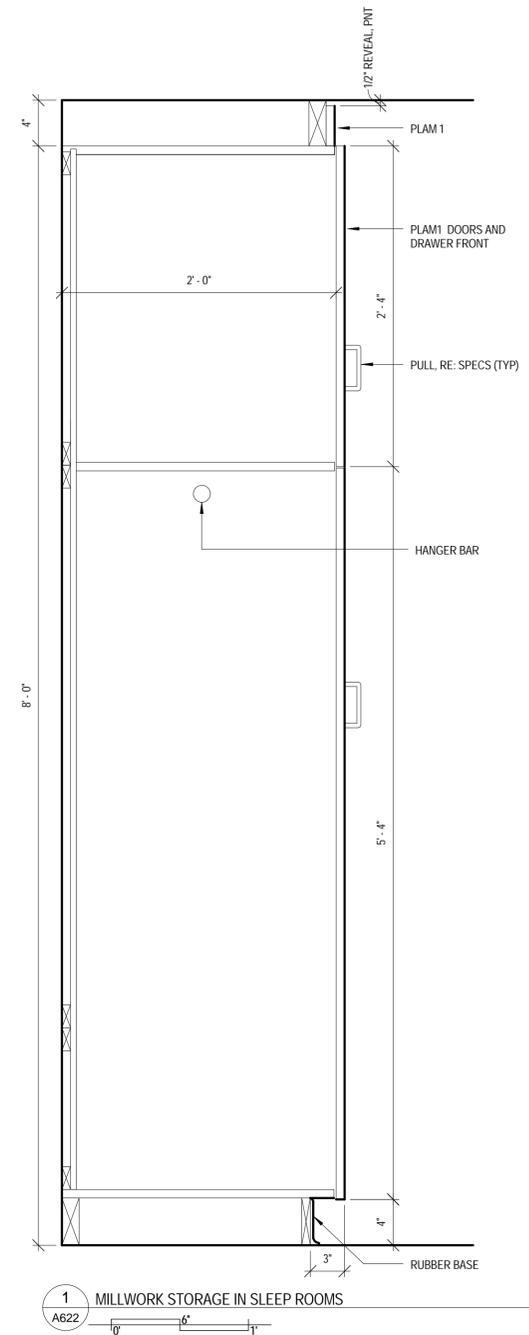
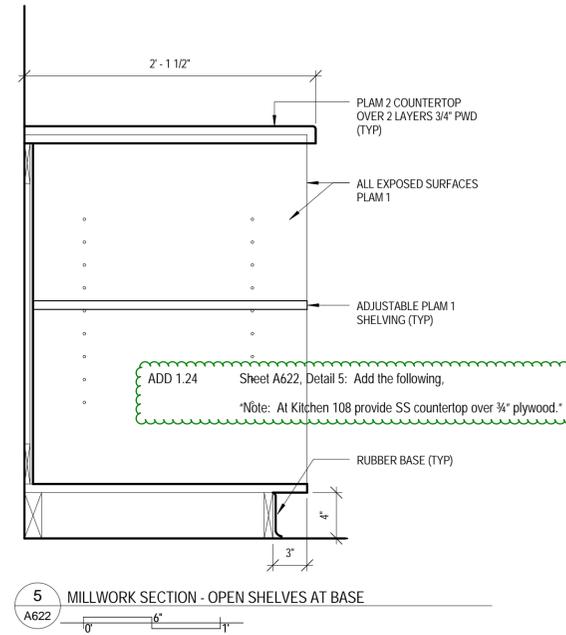
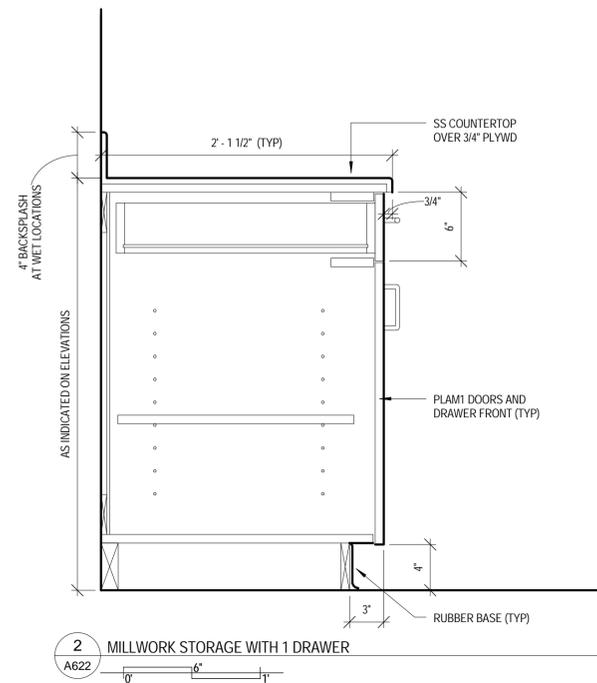
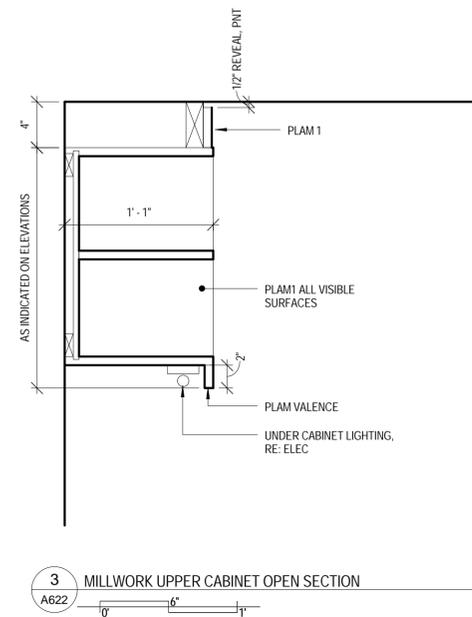
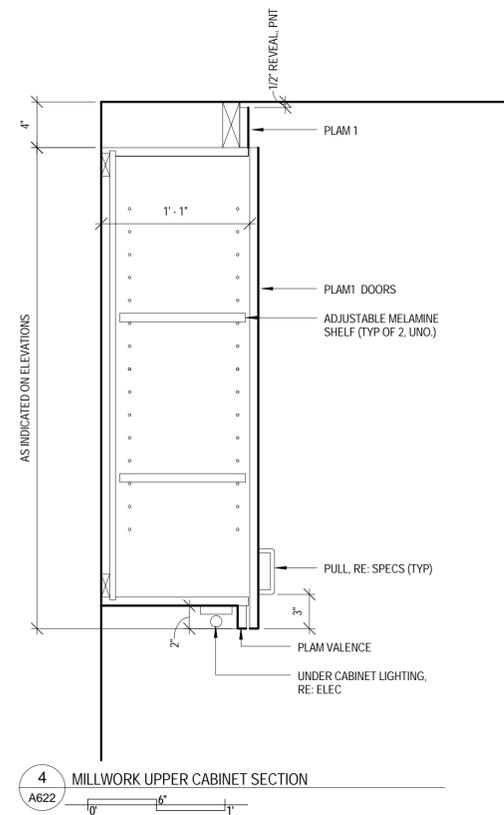


PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A622**



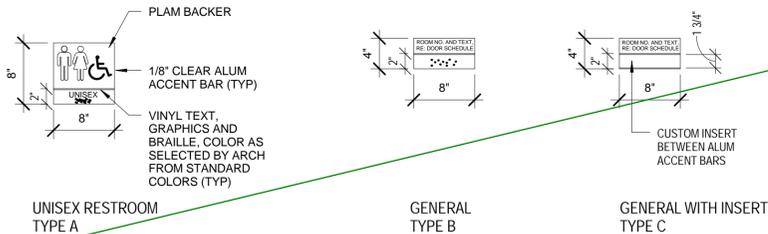
**PROPOSAL REQUEST**

PROJECT: Orchard Mesa Fire Station #4  
 OWNER: City of Grand Junction  
 TO: FCI Constructors, Inc.  
 PROPOSAL REQUEST NO: Two (2)  
 DATE: June 5, 2015  
 ARCHITECTS PROJECT NO: 1443  
 CONTRACT DATED:

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.  
 THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

- Description:
- Specification Section 087100, Door Hardware, Hardware Group No. 01 (Door 101A), delete the following hardware:  
 1 EA Surface Auto Operator 4642 WIMS  
 1 EA Weather Ring 8310-800  
 2 EA Actuator, Wall Mount 8310-8667  
 2 EA Flush Mount Box 8310-8668  
 1 EA Escutcheon 8310-874
  - Specification Section 087100, Door Hardware, Hardware Group No. 01, add the following hardware:  
 1 EA OH Stop 100S ADJ US28 IV  
 1 EA Surface Closure 4040XP EDA 689 LCN  
 1 EA PA Mounting Plate 4040XP-16PA AS REOD 689 LCN
  - Specification Section 087100, Door Hardware: Add the following:  
 Hardware Group No. 19  
 For use on mark-door #(s):  
 135  
 EACH TO HAVE:  
 QTY Description Catalog Number FN Mfr  
 6 EA Hinges 3CB1 4.5 X 4.5 NRP 626 IV  
 2 EA Manual Flush BoltFB458 626 IV  
 1 EA Dust Proof Strike DP2 626 BE IV  
 1 EA Deadbolt 827-7-STK 626 BE  
 1 EA Construction Core GREEN CONSTRUCTION CORE BE  
 1 EA Astragal 178SA AL NGP  
 1 SET Smoke Seal S89 D 19 PE  
 1 EA Door Bottom Sweep 315 CN 60 PE  
 1 EA Threshold 270 A 60 PE
  - Sheet A701, Door Schedule, Door No. 135: Add "18" in the HW SET column.

Attachments: none  
 ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West  
 S:\1443 - Orchard Mesa Fire Station #4.c CONSTRUCTION\PROPOSAL REQUESTS\PR#02.1443.doc



**4 SIGN TYPES**



ADD 1.25 Sheet A701, Door Types: Add the following.  
 \*General Note: Exterior door types C & F to receive 1-inch insulated glazing.\*

DOOR NO.	DOOR										FRAME			HDWR SET	NOTES	SIGNAGE	
	W	H	T	MATERIAL	TYPE	FIRE RATING	MATERIAL	TYPE	DETAIL			SIGN TYPE	TEXT				
									JAMB	HEAD	SILL						
101A	3'-0"	7'-0"	1'3/4"	AL	C		AL	AL3	RE: 3/A701	RE: 3/A701	18/A702	01					
102	3'-0"	7'-0"	1'3/4"	WD	C		HM	1	6/A702	5/A702	16/A702	08		C	CAPTAIN'S OFFICE 102		
103A	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	-	08		C	OFFICE 103		
103B	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	10/A702	9/A702	-	09		C	OFFICE 103		
104	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	-	16		B	PANTRY 104		
105	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	17/A702	13		A			
107	3'-0"	7'-0"	1'3/4"	AL	C		AL	AL4	RE: 3/A701	RE: 3/A701	19/A702	01.01					
109	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	-	03					
110	3'-0"	7'-0"	1'3/4"	HM	A		HM	1	6/A702	5/A702	-	04					
111	3'-0"	7'-0"	1'3/4"	HM	A		HM	1	6/A702	5/A702	-	10					
112A	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	16/A702	05					
112B	3'-0"	7'-0"	1'3/4"	HM	F		HM	1	2/A702	1/A702	15/A702	02					
112C	3'-0"	7'-0"	1'3/4"	HM	F		HM	1	2/A702	1/A702	15/A702	02					
113	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 113		
114	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 114		
115	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 115		
116	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
119	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
120	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
121	3'-0"	7'-0"	1'3/4"	WD	A		HM	1	6/A702	5/A702	16/A702	16		B	LAUNDRY 121		
122	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
123	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
124	3'-0"	7'-0"	1'3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15					
125A	3'-0"	7'-0"	1'3/4"	WD	A		HM	2	10/A702	9/A702	16/A702	03					
125B	3'-0"	7'-0"	1'3/4"	HM	F		HM	2	12/A702	11/A702	15/A702	02					
126	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	8/A702	7/A702	-	12		B	MECHANICAL ROOM 126		
127A	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
127B	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
128A	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
128B	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
129A	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
129B	14'-0"	14'-0"	2"	STL	D		STL	-	4/A702	3/A702	-	17					
130	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	8/A702	7/A702	-	03		B	SCBA REPAIR 130		
131	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	8/A702	7/A702	-	11		B	ELECTRICAL ROOM		
132A	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	8/A702	7/A702	13/A702	06		B	FITNESS 132		
132B	12'-0"	8'-0"	2"	STL	E		STL	-	4/A702 SIM	3/A702 SIM	-	17					
135	5'-0"	7'-0"	1'3/4"	HM	B		HM	2	12/A702	11/A702	20/A702						
136A	3'-0"	7'-0"	1'3/4"	HM	A		HM	2	12/A702	11/A702	15/A702	02.01					
136B	8'-0"	8'-0"	2"	STL	E		STL	-	4/A702	3/A702	-	17					
137	6'-0"	7'-0"	1'3/4"	HM	A		HM	2	8/A702	7/A702	-	07		B	STORAGE 137		

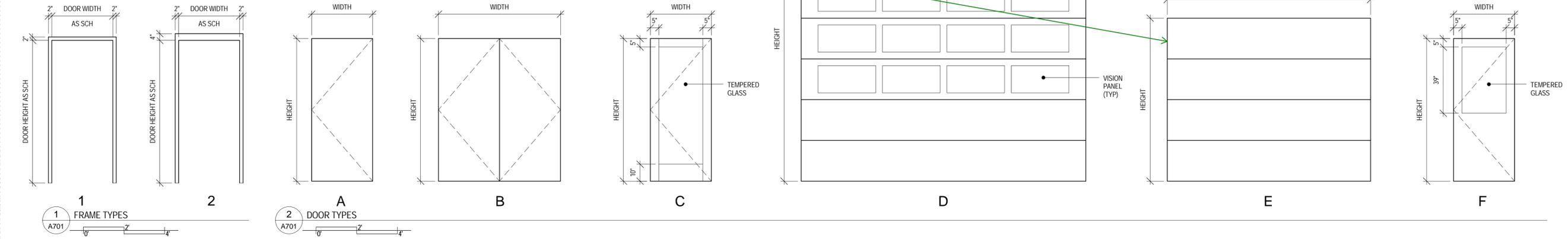
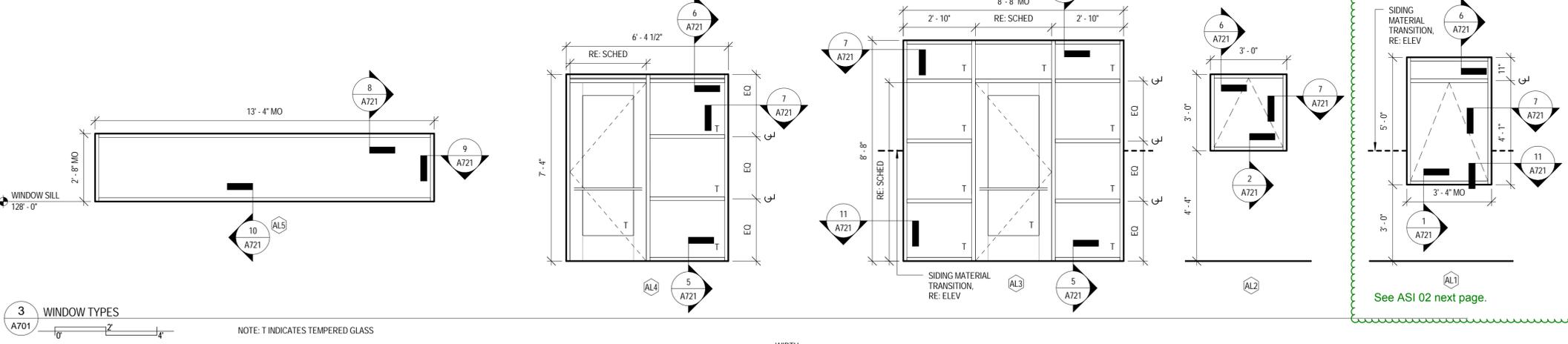
**PROPOSAL REQUEST**

PROJECT: Orchard Mesa Fire Station #4  
 OWNER: City of Grand Junction  
 TO: FCI Constructors, Inc.  
 PROPOSAL REQUEST NO: Six (6)  
 DATE: July 16, 2016  
 ARCHITECTS PROJECT NO: 1443  
 CONTRACT DATED: December 18, 2014

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.  
 THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

- Description:
- Change Door 132B from "Electric Door Operator" to "Manual Chain Operation".
  - Change Door 136B from "Electric Door Operator" to "Manual Chain Operation".
  - Provide shop-applied (factory) urethane finish at doors 127A, 127B, 128A, 128B, 129A and 129B (exterior face only). Color to match Sherwin Williams SWL 7593, Regie Eod. Contractor's option to provide either single stage (color & clearcoat mixed together) or 2-stage (color & clearcoat separate) finish.

Manufacturer's Tan  
 Attachments: none  
 ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West  
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 725 Saint Joseph St., Suite B1  
 Rapid City, South Dakota 57701  
 T 605.355.6804  
 www.chamberlinarchitects.com

**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**DOOR SCHEDULE, FRAME, DOOR, WINDOW & SIGN TYPES**

NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A701**

**ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS**

- OWNER
- ARCHITECT
- CONTRACTOR
- FIELD
- OTHER

PROJECT: Orchard Mesa Fire Station #4  
 OWNER: City of Grand Junction  
 TO: FCI Constructors, Inc.  
 3070 I-70 B, Bldg A  
 Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Two (2)  
 ARCHITECT: Chamberlin Architects  
 437 Main Street  
 Grand Junction, CO 81501  
 ARCHITECT'S PROJECT NO: 1443  
 DATE OF ISSUANCE: July 13, 2015

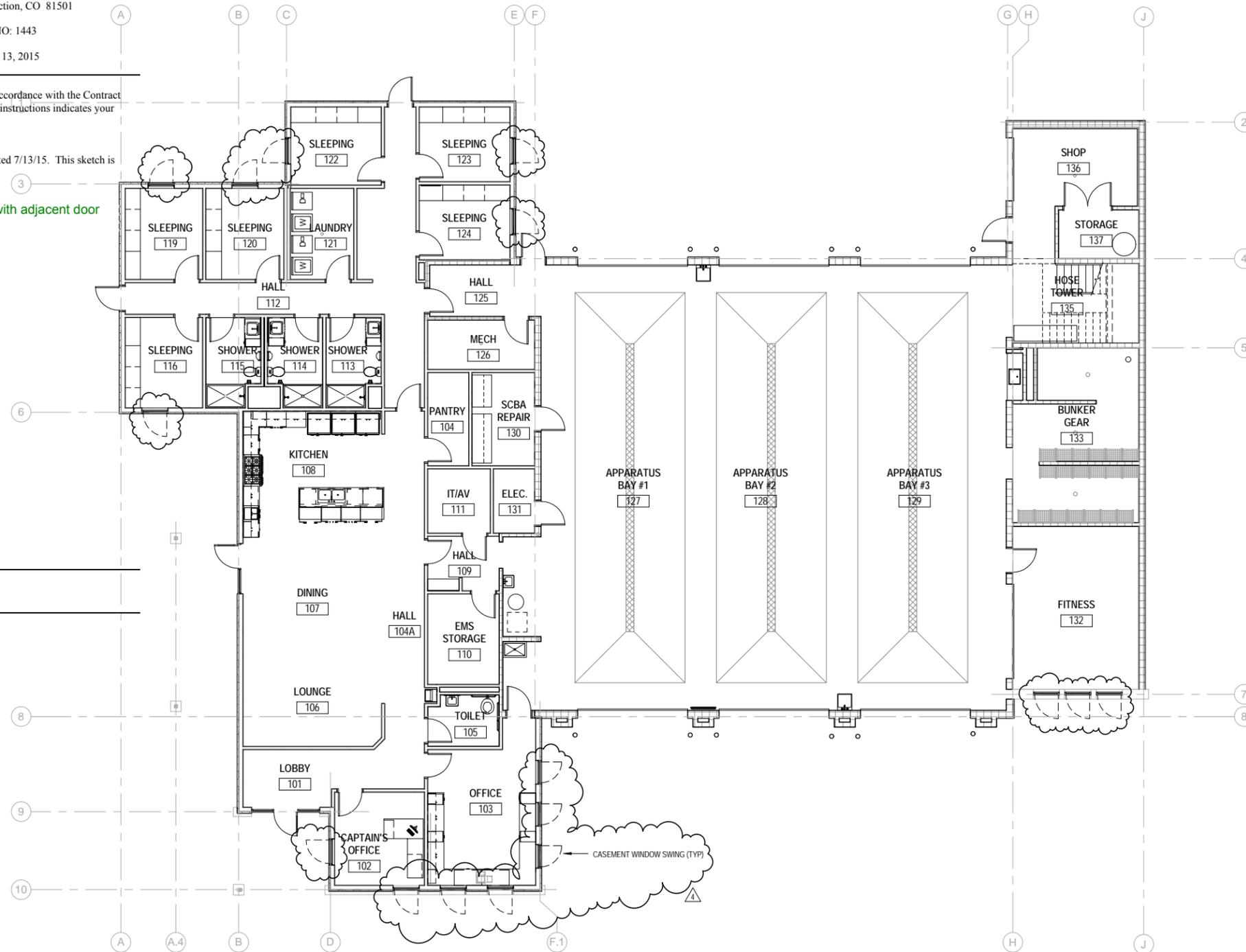
The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

Add FLOOR PLAN – CASEMENT SWING as illustrated in the attached Sketch ASK-5 dated 7/13/15. This sketch is issued as a supplement to our response to RFI#011.

Add "limiting block" to keep window at Sleeping 124 from interfering with adjacent door swing and egress route.

Attachments: ASK-5

ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West  
 S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI#002.1443.doc



1 FLOOR PLAN - CASEMENT SWING  
 ASK-5

CHAMBERLIN ARCHITECTS  
 437 Main St.  
 Grand Junction, Colorado 81501  
 T 970.242.6804  
 725 Saint Joseph St., Suite B1  
 Rapid City, South Dakota 57701  
 T 605.355.6804  
 www.chamberlinarchitects.com

**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**FLOOR PLAN - CASEMENT SWING**

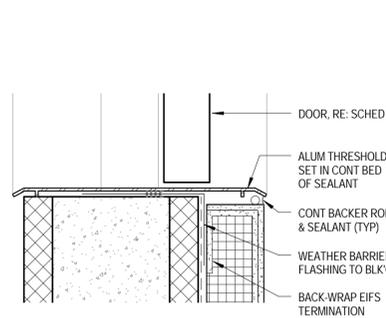
NO: ASI#002  
 ISSUED FOR:  
 DATE: 7/13/15

PROJECT STATUS: 100% CDs

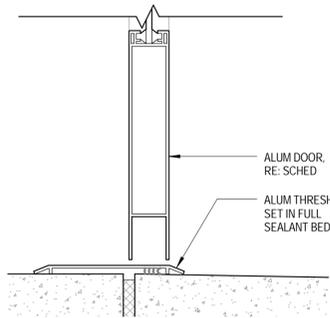
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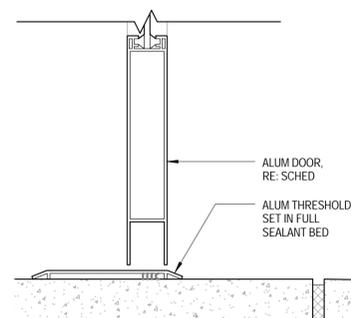
PROJECT NO: 1443 **ASK-5**



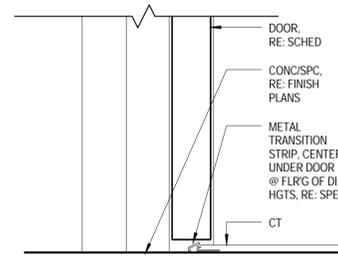
20 DOOR THRESHOLD @ STAIR TOWER  
A702



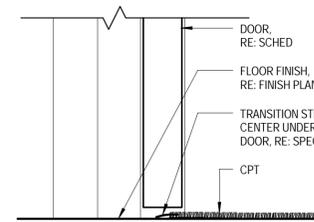
19 THRESHOLD @ STOREFRONT B  
A702



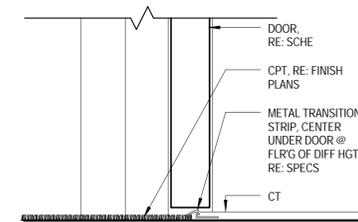
18 THRESHOLD @ STOREFRONT A  
A702



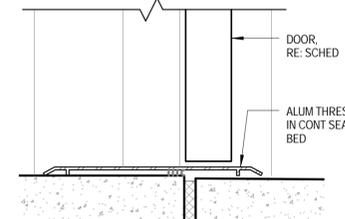
17 THRESHOLD @ CT TO CONC/SPC  
A702



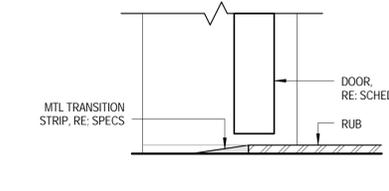
16 THRESHOLD AT CPT TO CONC/SPC  
A702



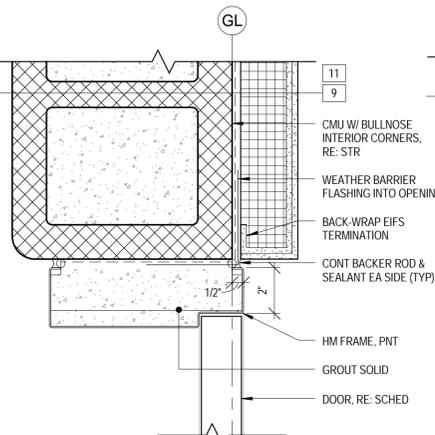
14 THRESHOLD @ CT TO CPT  
A702



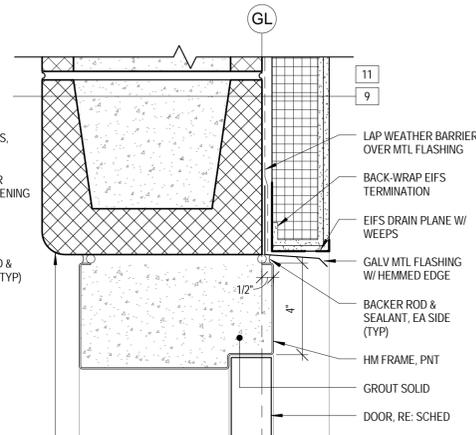
15 DOOR THRESHOLD @ GRADE  
A702



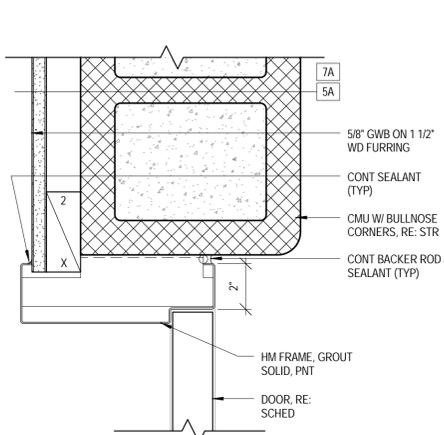
13 THRESHOLD @ CONC TO RUB  
A702



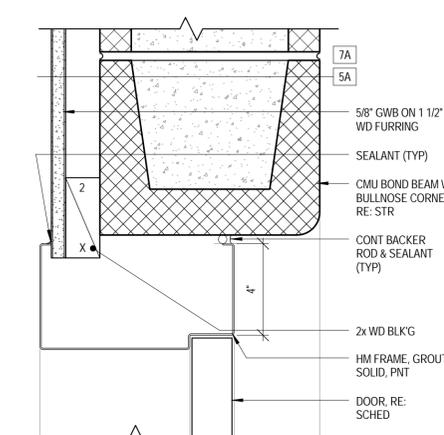
12 DOOR JAMB @ WALL TYPE 9, 11  
A702



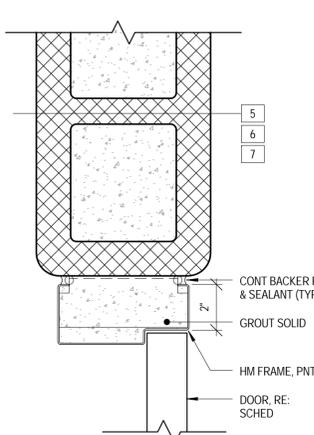
11 DOOR HEAD @ WALL TYPE 9, 11  
A702



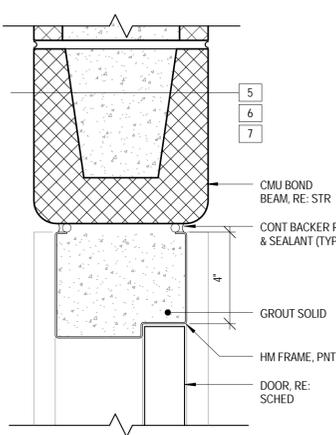
10 DOOR JAMB @ WALL TYPE 5A & 7A  
A702



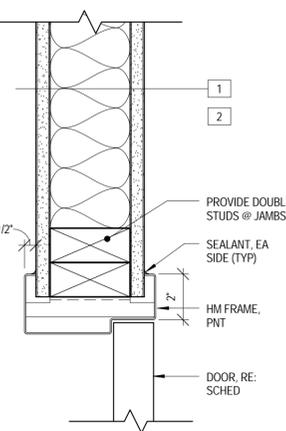
9 DOOR HEAD @ WALL TYPE 5A & 7A  
A702



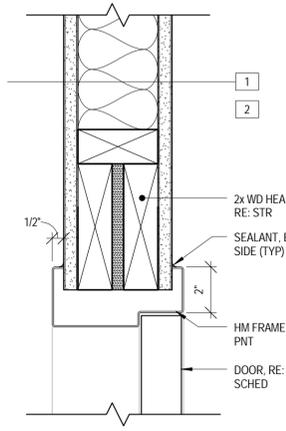
8 INT DOOR JAMB @ CMU  
A702



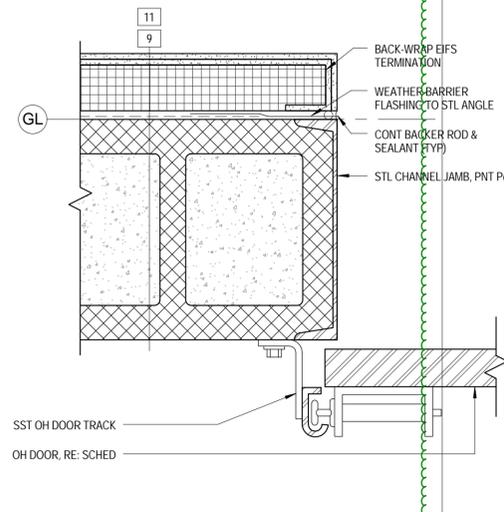
7 INT DOOR HEAD @ CMU  
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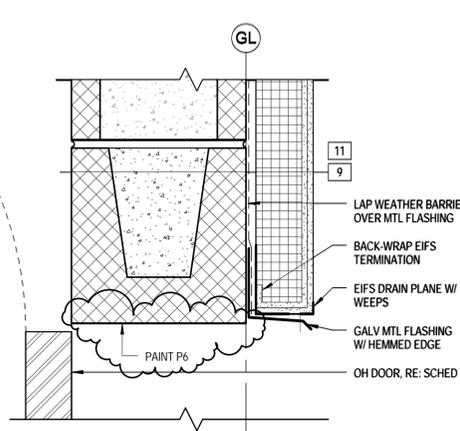
6 INT DOOR JAMB @ WD STUDS  
A702



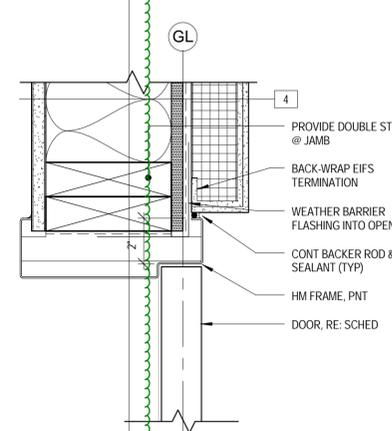
5 INT DOOR HEAD @ WD STUDS  
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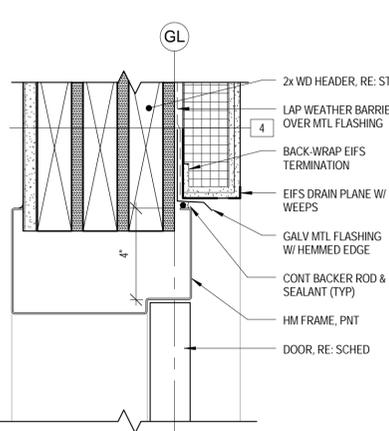
4 OH DOOR JAMB DETAIL  
A702



3 OH DOOR HEAD @ EIFS  
A702



2 HM DOOR JAMB @ WALL TYPE 4  
A702



1 HM DOOR HEAD @ WALL TYPE 4  
A702

# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## DOOR DETAILS

NO: ISSUED FOR: DATE:

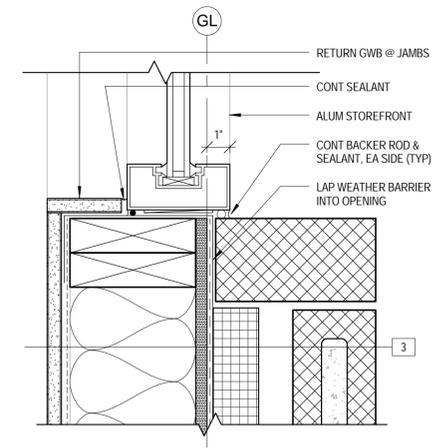


PROJECT STATUS: 100% CDs

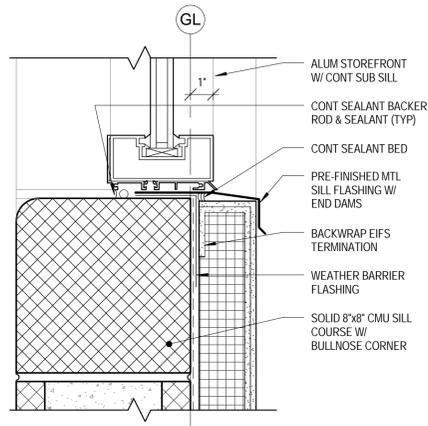
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

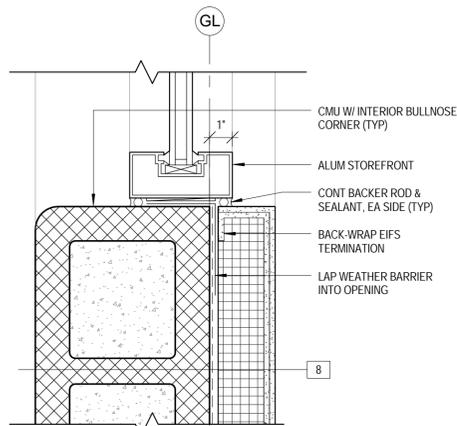
PROJECT NO: 1443 **A702**



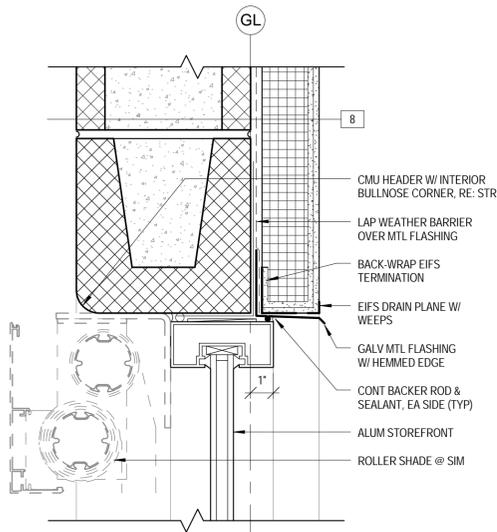
11 WINDOW JAMB DETAIL @ WALL TYPE 3  
A721



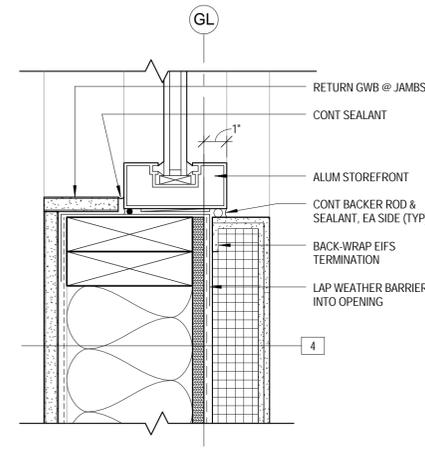
10 WINDOW SILL DTL @ WALL TYPE 9  
A721



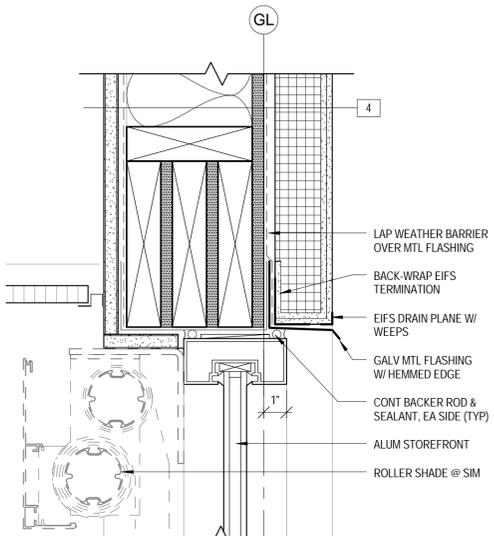
9 WINDOW JAMB DTL @ WALL TYPE 9  
A721



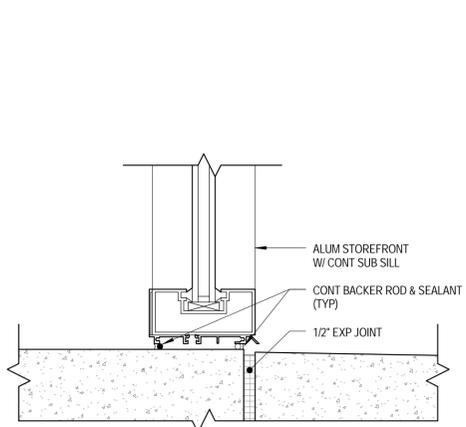
8 WINDOW HEAD DTL @ WALL TYPE 9  
A721



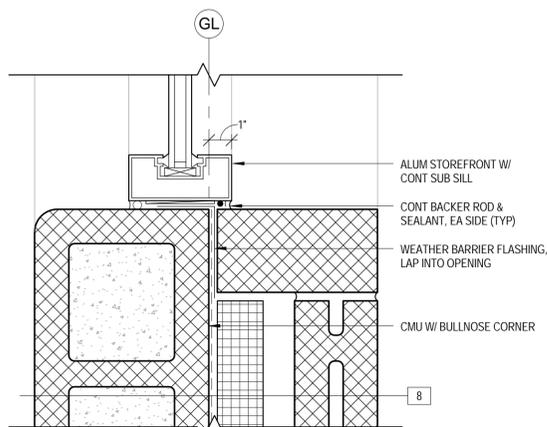
7 WINDOW JAMB DTL @ WALL TYPE 4  
A721



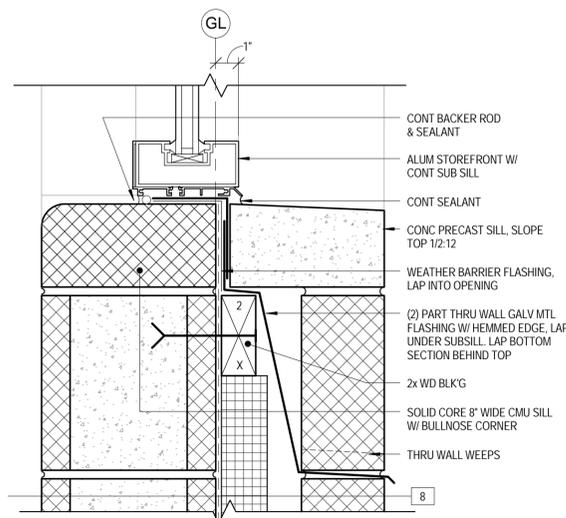
6 WINDOW HEAD DTL @ WALL TYPE 4  
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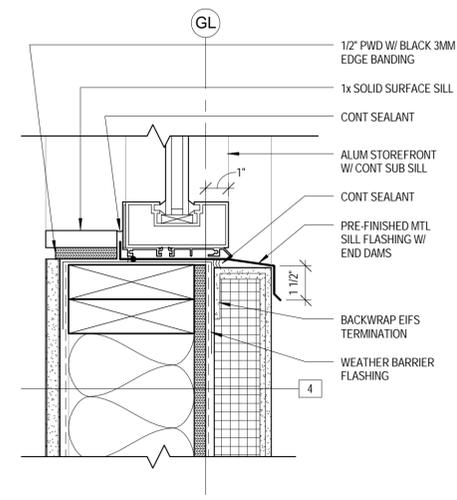
5 STOREFRONT SILL DETAIL @ GRADE  
A721



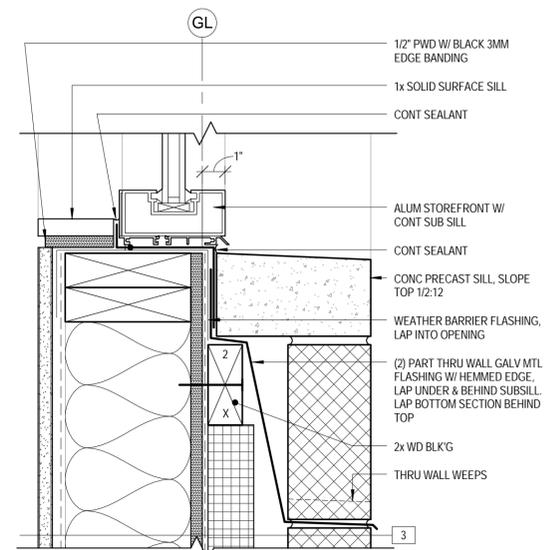
4 WINDOW JAMB DTL @ WALL TYPE 10  
A721



3 WINDOW SILL DTL @ WALL TYPE 8  
A721



2 WINDOW SILL DTL @ WALL TYPE 4  
A721



1 WINDOW SILL DTL @ WALL TYPE 3  
A721

# ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## WINDOW DETAILS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A721**



## ABBREVIATIONS

A.B.	-ANCHOR BOLT	F.O.B.	-FACE OF BRICK	P.T.	-PRESSURE TREATED
ADD'L	-ADDITIONAL	F.O. CONC.	-FACE OF CONCRETE	R.	-RADIUS
ADJ.	-ADJACENT	F.O.W.	-FACE OF WALL	REINF.	-REINFORCEMENT
A.I.S.C.	-AMERICAN INSTITUTE OF STEEL CONSTRUCTION	FS.	-FLAT SLAB	REQ'D	-REQUIRED
ALT.	-ALTERNATE	FT.	-FOOT	RM.	-ROOM
ARCH.	-ARCHITECTURAL	FTG.	-FOOTING	SCHED	-SCHEDULE
A.S.T.M.	-AMERICAN SOCIETY FOR TESTING & MATERIALS	F.W.	-FILLET WELD	SECT.	-SECTION
BLDG.	-BUILDING	GA.	-GAUGE	SHT.	-SHEET
BM.	-BEAM	GAL.	-GALVANIZED	s.d.l.	-SUPERIMPOSED DEAD LOAD
B.O.	-BOTTOM OF	G.L.	-BLU-LAM BEAM	SIM.	-SIMILAR
BOT.	-BOTTOM	GR.	-GRADE	s.l.	-SNOW LOAD
BSMT.	-BASEMENT	GR. BM.	-GRADE BEAM	S.L.V.	-SHORT LEG VERTICAL
BTWN.	-BETWEEN	H.A.S.	-HEADED ANCHOR STUD	SPC.	-SPACE
CANT.	-CANTILEVER	H.D.G.	-HOT DIPPED GALVANIZED	SPEC.	-SPECIFICATION
CB.	-CARDBOARD	HORIZ.	-HORIZONTAL	SQ.	-SQUARE
CH.	-CHAMFER	H.S.B.	-HIGH STRENGTH BOLT	STD.	-STANDARD
C.J.	-CONTROL CONSTRUCTION JOINT	HSS	-HOLLOW STRUCTURAL SECTION	STIFF.	-STIFFENER
CJP	-COMPLETE JOINT PENETRATION	I.D.	-INSIDE DIAMETER	STL.	-STEEL
CLR.	-CLEAR, CLEARANCE	I.F.	-INSIDE FACE	STOR.	-STORAGE
C.M.U.	-CONCRETE MASONRY UNIT	IN.	-INCH	SYM.	-SYMMETRICAL
COL.	-COLUMN	INT.	-INTERIOR	T.&B.	-TOP & BOTTOM
CONC.	-CONCRETE	JNT.	-JOINT	THK.	-THICKNESS
CONN.	-CONNECTION	K	-KIP (1,000 lbs.)	T.O.	-TOP OF
CONST.	-CONSTRUCTION	K.C.I.	-KIP PER CUBIC INCH	TYP.	-TYPICAL
CONT.	-CONTINUOUS	LB.	-POUND	U.N.O.	-UNLESS NOTED OTHERWISE
CONTR.	-CONTRACTOR	LN. FT.	-LINEAL FEET	VAR.	-VARIES
CTRD.	-CENTERED	LL	-LIVE LOAD	VERT.	-VERTICAL
C.W.	-CURTAIN WALL	L.L.V.	-LONG LEG VERTICAL	V.I.F.	-VERIFY IN FIELD
DET.	-DETAIL	L.S.L.	-LAMINATED STRAND LUMBER	WT.	-WEIGHT
DIAG.	-DIAGONAL	L.V.L.	-LAMINATED VENEER LUMBER		<b>SYMBOLS</b>
DIAM.	-DIAMETER	MAT'L.	-MATERIAL	⊕	CENTER LINE
DIM.	-DIMENSION	MAX.	-MAXIMUM	∅	DIAMETER
DISCONT.	-DISCONTINUOUS	MECH.	-MECHANICAL		ELEVATION
d.l.	-DEAD LOAD	MID.	-MIDDLE		
DWG.	-DRAWING	MIN.	-MINIMUM		
EA.	-EACH	MISC.	-MISCELLANEOUS		
E.F.	-EACH FACE	MTL.	-METAL	&	AND
EL.	-ELEVATION	N.I.C.	-NOT IN CONTRACT	W/	WITH
ELECT.	-ELECTRICAL	NO	-NUMBER		
ELEV.	-ELEVATOR	NOM.	-NOMINAL		
EQ.	-EQUAL	N.T.S.	-NOT TO SCALE		
E.W.B.	-END WALL BARS	O.C.	-ON CENTER	⊥	PLATE
E.W.	-EACH WAY	O.F.	-OUTSIDE FACE	X	BY
EXIST.	-EXISTING	O.D.	-OUTSIDE DIAMETER		
EXP. JNT.	-EXPANSION JOINT	O.H.	-OPPOSITE HAND	#	NUMBER
EXT.	-EXTERIOR	OPNG.	-OPENING		
FDN.	-FOUNDATION	P.A.F.	-POWDER ACTUATED FASTENERS	@	AT
FIN.	-FINISH	PL	-PLATE		
FLR.	-FLOOR	P.S.F.	-POUND PER SQUARE FOOT	⊞	SQUARE
		P.S.I.	-POUND PER SQUARE INCH		
		P.S.L.	-PARALLEL STRAND LUMBER		

### GENERAL NOTES CONT.

3. STEEL:
- ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 (Fy = 50 ksi).
  - ALL STRUCTURAL STEEL ANGLES, CHANNELS, S SHAPES, AND PLATES SHALL CONFORM TO ASTM A36 (Fy = 36 ksi).
  - ALL RECTANGULAR OR SQUARE HSS (HOLLOW STRUCTURAL SECTIONS) MEMBERS SHALL CONFORM TO ASTM A500 (GRADE B). ALL ROUND HSS MEMBERS SHALL CONFORM TO ASTM A53 (GRADE B) OR A500 (GRADE B), LATEST EDITIONS.
  - STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISION OF THE A.I.S.C. STEEL CONSTRUCTION MANUAL.
  - USE FRAMED BEAM CONNECTIONS WITH 3/4" DIAMETER ASTM A325 BOLTS, OR WELDED EQUIVALENT, UNLESS OTHERWISE SHOWN OR NOTED. (2) BOLT MIN. STEEL FABRICATOR SHALL PROVIDE SHOP DRAWINGS WITH DETAILED CONNECTIONS THAT HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 10 OF THE AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION. FOR BEAMS WITHOUT DESIGNATED LOADS ON DRAWINGS, USE 8k MINIMUM EACH END. IF TWO SYMBOLS ARE SHOWN, THEY DENOTE CONNECTION REQUIRED AT CORRESPONDING END. IF ONLY ONE SYMBOL IS SHOWN, IT DENOTES CONNECTION REQUIRED AT EACH END OF BEAM.
  - STEEL ROOF DECK:
    - STEEL DECK SHALL BE ERECTED IN ACCORDANCE WITH MANUFACTURER'S SUGGESTED SPECIFICATIONS.
    - STEEL ROOF DECK SHALL CONFORM TO ASTM A1008 AND SHALL HAVE A MINIMUM YIELD STRENGTH Fy = 33 KSI. SEE THE DECK SCHEDULE ON SHEET S204.
    - DECK TO BE CONTINUOUS OVER A MINIMUM OF 3 SUPPORTS. UNLESS OTHERWISE SHOWN.
    - WELD DECK TO ALL SUPPORTS WITH PUDDLE WELDS. DECK MUST BE CAPABLE OF WITHSTANDING A DIAPHRAGM SHEAR NOTED IN THE DECK SCHEDULE. CONNECT PANEL SEAMS WITH SELF-TAPPING SCREWS, PUDDLE WELDS, OR BUTTON PUNCHES AS INDICATED IN THE DECK SCHEDULE. SUBMIT TEST DATA FROM DECK MANUFACTURER FOR DECK SELECTED TO SUBSTANTIATE THAT DECK WILL MEET OR EXCEED REQUIRED DIAPHRAGM SHEAR.
    - PROVIDE L3 x 3 x 1/4 FRAMING AROUND ALL OPENINGS LARGER THAN 6".
  - ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE A.W.S. STANDARD QUALIFICATION TESTS.
  - SEE ARCHITECTURAL DRAWINGS FOR NAILER HOLES OR OTHER HOLES REQUIRED IN STEEL MEMBERS.
4. MASONRY:
- ALL REINFORCING IN MASONRY WALLS SHALL CONFORM TO ASTM A615, GRADE 60 AND SHALL BE FULLY ENCLOSED WITH GROUT. USE PEA GRAVEL WITH fc = 3,000 PSI.
  - CONCRETE MASONRY SHALL CONSIST OF LIGHTWEIGHT CONCRETE BLOCK WITH A COMPRESSIVE STRENGTH OF 1,900 PSI.
  - FILL ALL VOIDS AND BLOCK CELLS SOLID WITH MORTAR FOR A DISTANCE OF 24" BENEATH AND 12" EACH SIDE OF ALL BEAM REACTIONS OR OTHER CONCENTRATED LOADS, UNLESS OTHERWISE SHOWN OR NOTED.
  - MASONRY IS TO BE LAID IN TYPE "M" OR "S" MORTAR IN ACCORDANCE WITH SECTION 2103 OF THE INTERNATIONAL BUILDING CODE. TYPE "N" MASONRY CEMENT MORTAR IS NOT ACCEPTABLE.
  - MASONRY WALLS MUST BE ADEQUATELY BRACED DURING CONSTRUCTION TO WITHSTAND WIND AND SEISMIC LOADS. BRACING MUST REMAIN IN PLACE UNTIL ROOF (AND FLOOR) DIAPHRAGMS ARE FULLY CAPABLE OF PROVIDING LATERAL SUPPORT.
5. WOOD:
- ALL BEAMS AND HEADERS 2 TO 4 INCHES THICK SHALL BE HEM-FIR NO. 2 AND BETTER WITH Fb = 850 PSI AND E = 1,300,000 PSI.
  - ALL BEAMS 5" AND THICKER SHALL BE HEM-FIR NO. 2 WITH Fb = 850 PSI AND E = 1,300,000 PSI.
  - ALL POSTS AND COLUMNS 5" AND THICKER SHALL BE HEM-FIR NO. 2 WITH Fb = 850 PSI AND E = 1,300,000 PSI.
  - STUDS AND PLATES SHALL BE HEM-FIR IN STUD GRADE WITH Fb = 800 PSI AND E = 1,200,000 PSI.
  - LAMINATED VENEER LUMBER (L.V.L.) SHALL BE "MICRO-LAM" OR AN APPROVED EQUAL WITH Fb = 2,600 PSI AND E = 1,900,000 PSI.
  - GLUE LAMINATED BEAMS:
    - ALL LAMINATED MEMBERS SHALL BE FABRICATED WITH ONE OF THE FOLLOWING SPECIES: DOUGLAS FIR, HEMLOCK, LARCH, OR SOUTHERN PINE.
    - LAMINATED MEMBERS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE DESIGN AND FABRICATION OF STRUCTURAL GLUED LAMINATED LUMBER. PUBLISHED BY THE A.I.T.C. AND THE APPROPRIATE LUMBER PRODUCER'S ASSOCIATION.
    - LAMINATED MEMBERS SHALL BE FABRICATED AS FOLLOWS:
      - BEAMS:
 

SIMPLE SPAN	-----24F-V4
CONTINUOUS AND CANTILEVERS	-----24F-V8
      - COLUMNS:
 

COMBINATION SYMBOL	-----4
--------------------	--------
    - LAMINATED MEMBERS SHALL BE BUILT UP USING 2" NOMINAL MATERIAL. LAMINATED MEMBER SIZES NOTED ARE NET.
    - MEMBERS EXPOSED TO VIEW SHALL BE FURNISHED IN "ARCHITECTURAL" APPEARANCE GRADE. MEMBERS TO BE CONCEALED BY FINISH MATERIALS OR CEILINGS MAY BE "INDUSTRIAL" GRADE.
    - ADHESIVES USED SHALL COMPLY WITH THE SPECIFICATIONS AS CONTAINED IN VOLUNTARY PRODUCT STANDARD P556-73. STRUCTURAL GLUED LAMINATED TIMBER. WET-USE ADHESIVES ARE TO BE USED FOR ALL MEMBERS EXPOSED TO THE WEATHER.
  - BUILT UP BEAMS OF DIMENSIONAL LUMBER OR LAMINATED VENEER LUMBER SHALL BE ATTACHED TOGETHER WITH 16d COMMON NAILS @ 32" O.C. TOP AND BOTTOM, STAGGERED. PROVIDE 2-16d COMMON NAILS AT BEAM ENDS AND INTERMEDIATE SUPPORTS.
  - LAMINATED STRAND LUMBER (L.S.L.) RIM BOARDS SHALL BE "TIMBERSTRAND" BY TRUS-JOIST OR AN APPROVED EQUAL WITH Fb = 1,700 PSI AND E = 1,300,000 PSI.
6. FOUNDATIONS:
- FOUNDATION DESIGN IS BASED ON RECOMMENDATIONS BY HUDDLESTON BERRY ENGINEERING AND TESTING, L.L.C., JOB #00390-0003. RECOMMENDATIONS IN THIS REPORT SHOULD BE FOLLOWED.
- ALLOWABLE SOIL BEARING PRESSURE-----1,500 PSF  
SOILS ENGINEER OF RECORD SHALL EXAMINE THE EXCAVATION TO VERIFY SOIL CONDITIONS AND BEARING CAPACITIES PRIOR TO CONSTRUCTION.
7. SPECIAL INSPECTIONS:
- SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SCHEDULE ON SHEET S101.
8. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
9. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF, AND WALLS WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.

### GENERAL NOTES

1. LIVE LOADS USED IN DESIGN:
- ROOF:
 

FLAT ROOF SNOW LOAD Pf-----	30 PSF
GROUND SNOW LOAD Pg-----	36 PSF
SNOW EXPOSURE FACTOR Ce-----	1.0
SNOW LOAD IMPORTANCE FACTOR Is-----	1.2
THERMAL FACTOR Ct-----	1.0
  - STORAGE ROOMS-----125 PSF
  - STAIRS-----100 PSF
  - WIND:
 

EXPOSURE-----	C
RISK CATEGORY-----	IV
V ULT-----	120 MPH
V ASD-----	93 MPH
- COMPONENTS AND CLADDING (BASED ON EFFECTIVE AREA = 18 SQ. FT.)
- |  |        |
|--|--------|
| TYPICAL WALL AREA (INWARD PRESSURE)                    | 16 PSF |
| TYPICAL WALL AREA (OUTWARD PRESSURE)                   | 16 PSF |
| WALL CORNERS (OUTWARD PRESSURE)                        | 20 PSF |
| TYPICAL ROOF AREA (OUTWARD PRESSURE)                   | 22 PSF |
| ROOF EAVES, RAKES, RIDGES & CORNERS (OUTWARD PRESSURE) | 31 PSF |
| PARAPETS (INWARD OR OUTWARD PRESSURE)                  | 29 PSF |
- F. SEISMIC:
- |  |                    |       |                                  |       |          |       |          |       |  |
|--|--------------------|-------|----------------------------------|-------|----------|-------|----------|-------|--|
| RISK CATEGORY-----   | IV                 |       |                                  |       |          |       |          |       |  |
| IMPORTANCE FACTOR (Ie)-----  | 1.50               |       |                                  |       |          |       |          |       |  |
| R COEFFICIENT: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">APPARATUS BAY-----</td> <td style="text-align: right;">2.00</td> </tr> <tr> <td>LIVING QUARTERS AND OFFICES-----</td> <td style="text-align: right;">6.50</td> </tr> </table>  | APPARATUS BAY----- | 2.00  | LIVING QUARTERS AND OFFICES----- | 6.50  |          |       |          |       |  |
| APPARATUS BAY-----   | 2.00               |       |                                  |       |          |       |          |       |  |
| LIVING QUARTERS AND OFFICES-----   | 6.50               |       |                                  |       |          |       |          |       |  |
| SPECTRAL RESPONSE COEFFICIENTS: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">Ss-----</td> <td style="text-align: right;">0.237</td> </tr> <tr> <td>S1-----</td> <td style="text-align: right;">0.070</td> </tr> <tr> <td>SDS-----</td> <td style="text-align: right;">0.253</td> </tr> <tr> <td>SD1-----</td> <td style="text-align: right;">0.112</td> </tr> </table> | Ss-----            | 0.237 | S1-----                          | 0.070 | SDS----- | 0.253 | SD1----- | 0.112 |  |
| Ss-----  | 0.237              |       |                                  |       |          |       |          |       |  |
| S1-----  | 0.070              |       |                                  |       |          |       |          |       |  |
| SDS-----   | 0.253              |       |                                  |       |          |       |          |       |  |
| SD1-----   | 0.112              |       |                                  |       |          |       |          |       |  |
| SEISMIC RESPONSE COEFFICIENTS: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">Cs-----</td> <td style="text-align: right;">0.19</td> </tr> </table>   | Cs-----            | 0.19  |                                  |       |          |       |          |       |  |
| Cs-----  | 0.19               |       |                                  |       |          |       |          |       |  |
| SITE CLASS-----  | D                  |       |                                  |       |          |       |          |       |  |
| SEISMIC DESIGN CATEGORY-----   | C                  |       |                                  |       |          |       |          |       |  |
- BASIC SEISMIC:
- |   |   |   |                                  |                                   |  |
|---|---|---|----------------------------------|-----------------------------------|--|
| FORCE RESISTING SYSTEM: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">APPARATUS BAY AND LOCKER ROOMS-----</td> <td style="text-align: right;">ORDINARY REINFORCED MASONRY SHEAR WALLS</td> </tr> <tr> <td>LIVING QUARTERS AND OFFICES-----</td> <td style="text-align: right;">WOOD STRUCTURAL PANEL SHEAR WALLS</td> </tr> </table> | APPARATUS BAY AND LOCKER ROOMS-----     | ORDINARY REINFORCED MASONRY SHEAR WALLS | LIVING QUARTERS AND OFFICES----- | WOOD STRUCTURAL PANEL SHEAR WALLS |  |
| APPARATUS BAY AND LOCKER ROOMS-----   | ORDINARY REINFORCED MASONRY SHEAR WALLS |   |                                  |                                   |  |
| LIVING QUARTERS AND OFFICES-----  | WOOD STRUCTURAL PANEL SHEAR WALLS       |   |                                  |                                   |  |
| DESIGN BASE SHEAR-----  | 140K                                    |   |                                  |                                   |  |
| ANALYSIS PROCEDURE-----   | EQUIVALENT LATERAL FORCE PROCEDURE      |   |                                  |                                   |  |
2. CONCRETE:
- A. CONCRETE MIX TABLE (NORMAL WEIGHT CONCRETE):
- | INTENDED USE                     | 28 DAY STRENGTH F'C (KSI) | MAX W/C (NORMAL WEIGHT CONCRETE) | MAX AGGR. (IN) | SLUMP LIMITS (IN) (+/- 1") | TOTAL AIR LIMITS (%) (2) | CEMENT TYPE | CONCRETE TYPE (NORMAL WEIGHT-LW) | RECD ADMIXTURES (3) | OTHER REQUIREMENTS (4) |
|----------------------------------|---------------------------|----------------------------------|----------------|----------------------------|--------------------------|-------------|----------------------------------|---------------------|------------------------|
|                                  |                           |                                  |                |                            |                          |             |                                  |                     |                        |
| STEMWALLS, PILLASTERS & FOOTINGS | 4                         | 0.45                             | 3/4            | 4                          | 6                        | II          | NW                               | AE                  | FAR                    |
| INTERIOR SLABS ON GRADE          | 3.5                       | 0.45                             | 1 1/2          | 4                          | N                        | II          | NW                               | --                  | SOG                    |
|                                  |                           |                                  |                |                            |                          |             |                                  |                     |                        |
- NOTES:
- FOR THE MAXIMUM COARSE AGGREGATE SIZE INDICATED, USE THE FOLLOWING AGGREGATE SIZE NUMBERS PER ASTM C33:
    - 3/4" - #67 AGGREGATE
    - 1" - #57 AGGREGATE
  - TOTAL AIR CONTENT LIMITS INCLUDE BOTH ENTRAINED AND ENTRAPPED AIR +/- 1.2%. "N" IN COLUMN INDICATES ADDITION OF ENTRAINED AIR IS NOT PERMITTED.
  - ABBREVIATIONS FOR REQUIRED ADMIXTURES AS FOLLOWS:
    - AE = AIR-ENTRAINING ADMIXTURE. DO NOT USE ENTRAINED AIR FOR STEEL TROWELED FINISHED FLOORS.
    - WRA = WATER REDUCING ADMIXTURE.
  - ABBREVIATIONS FOR OTHER REQUIREMENTS AS FOLLOWS:
    - FAR = 20% CLASS F FLY ASH REQUIRED.
    - SOG = CONTRACTOR TO VERIFY ALKALINITY OF CONCRETE SURFACE, SLAB VAPOR TRANSMISSION, AND SLAB FLATNESS/LEVELNESS ARE COMPATIBLE WITH FLOORING SYSTEM AND ADHESIVES PRIOR TO INSTALLING FLOORING. AMOUNT OF CEMENTITIOUS MATERIALS LISTED SHALL BE PROVIDED, DO NOT USE LESS AND DO NOT SUPPLY OVER 5% MORE.
    - FOR CONCRETE PLACED BY PUMPING, PROVIDE CONCRETE MIX FLOWABILITY TO FACILITY PUMPING.
  - ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, EXCEPT COLUMN TIES, BEAM STIRRUPS, AND DOWELS TO SLAB ON GRADE WHICH MAY BE GRADE 40.
  - NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAIL OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 40 BAR DIAMETERS UNLESS OTHERWISE SHOWN OR NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
  - STAGGER SPLICES A MINIMUM OF 4'-0" FOR TOP AND BOTTOM CONTINUOUS BARS IN FOUNDATIONS, UNLESS OTHERWISE SHOWN OR NOTED.
  - DETAIL BARS IN ACCORDANCE WITH A.C.I. DETAILING MANUAL AND A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITIONS.
  - PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING (INCLUDING W.W.F.) AT POSITIONS SHOWN ON THE DRAWINGS. DO NOT ATTEMPT TO POSITION ANY REINFORCEMENT BY LIFTING DURING CONCRETE PLACEMENT.
  - REINFORCEMENT PROTECTION SHALL BE AS FOLLOWS:
 

(1) CONCRETE POURED AGAINST EARTH-----	3"
(2) FORMED CONCRETE EXPOSED TO EARTH OR WEATHER-----	2"
(3) FORMED STAIRS OR WALLS NOT EXPOSED TO WEATHER-----	3/4"
  - PLACE 2-#5 (ONE EACH FACE) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS OTHERWISE SHOWN OR NOTED.
  - SLABS, BEAMS, AND GRADE BEAMS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT MIDDLE OF SPAN WITH VERTICAL BULKHEADS AND KEYS AS SHOWN PER THE TYPICAL CONCRETE WALL CONSTRUCTION JOINT DETAIL. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
  - WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH +2" AT SIDE AND END LAPS, AND SHALL BE TIED TOGETHER.



## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## GENERAL NOTES

NO:                      ISSUED FOR:                      DATE:



PROJECT STATUS: 100% CD

DRAWN BY: KDN                      CHECKED BY: JAD

DATE:  
**04/10/15**                      SHEET NO:

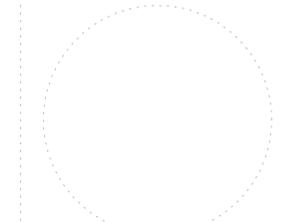
PROJECT NO:  
**14.108**                      **S100**

SPECIAL INSPECTIONS:  
A. SPECIAL INSPECTIONS SHALL COMPLY WITH CHAPTER 17 OF THE 2012 I.B.C.  
B. STATEMENT OF REQUIRED SPECIAL INSPECTIONS:

SYSTEM OF COMPONENT	VERIFICATION OF INSPECTION TASK	FREQUENCY (DURING TASK LISTED)		APPLICABLE CODE & SECTION FOR INSPECTION CRITERIA
		CONTINUOUS	PERIODIC	
1) SOILS	a) VERIFY SOILS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	--	X	--
	b) VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH & HAVE REACHED PROPER MATERIAL	--	X	--
	c) PERFORM CLASSIFICATION & TESTING OF CONTROLLED FILL MATERIALS	--	X	--
	d) VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT & COMPLETION OF CONTROLLED FILL	X	--	--
	e) OBSERVE SUBGRADE FOR PROPER PREPARATION BEFORE PLACEMENT OF CONTROLLED FILL	--	X	--
	2) CONCRETE	a) INSPECT REINFORCING STEEL	--	X
	b) VERIFY USE OF REQUIRED DESIGN MIX	--	X	ACI 318: CH. 4, 5.2-5.4 IBC 1904.2
	c) INSPECT REINFORCING STEEL WELDING	--	X	AWS D1.4 ACI 318: 3.5.2
	d) FABRICATE TEST SPECIMENS FROM FRESH CONCRETE FOR STRENGTH TESTS, SLUMP & AIR CONTENT TESTS AND TO DETERMINE CONCRETE TEMPERATURE	X	--	ASTM C172 ASTM C31 ACI 318: 5.6, 5.8
	e) INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	X	--	ACI 318: 5.9, 5.10
	f) INSPECT FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE & TECHNIQUES	--	X	ACI 318: 5.11- 5.13
	g) INSPECT FORMWORK FOR SHAPE, LOCATION & DIMENSIONS OF CONCRETE MEMBERS BEING FORMED	--	X	ACI 318: 6.1.1
	h) INSPECT ANCHORS CAST INTO CONCRETE.	--	X	ACI 318: 8.1.3, 21.2.8 IBC 1908.5, 1909.1
	i) INSPECT ANCHORS POST-INSTALLED INTO HARDENED CONCRETE MEMBERS.	--	X	ACI 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1
3) WOOD	a) INSPECT FABRICATED WOOD STRUCTURAL MEMBERS ASSEMBLED AT FABRICATOR'S SHOP OR PLANT.	--	X	--
	b) VERIFY MATERIAL SPECIES AND GRADES OF DIMENSIONAL LUMBER AND PLYWOOD OR O.S.B.	--	X	--
	c) VERIFY BOTTOM CHORD AND OTHER BRACING OF STRUCTURAL MEMBERS.	--	X	--
	d) INSPECT FOR PROPER FASTENING OF WOOD COMPONENTS.	--	X	IBC TABLE 2304.9.1
4) LATERAL BRACING SYSTEM	a) PERIODICALLY INSPECT NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS WITHIN WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, AND HOLDDOWNS.	--	X	--

5) MASONRY	a) VERIFY 1m OF CONCRETE MASONRY UNITS PRIOR TO CONSTRUCTION.	--	X	ACI 530: Art 2.6A
	b) AS MASONRY CONSTRUCTION BEGINS VERIFY THE FOLLOWING TO ENSURE COMPLIANCE: - PROPORTIONS OF SITE -- PREPARED MORTAR	--	X	ACI 530: Art 1.4B
	- CONSTRUCTION OF MORTAR JOINTS	--	X	ACI 530: Art 3.3B
	- LOCATION OF REINFORCEMENT CONNECTORS & ANCHORAGES	--	X	ACI 530: Art 3.4, 3.6A
	c) THE INSPECTION PROGRAM SHALL VERIFY: - SIZE & LOCATION OF STRUCTURAL ELEMENTS	--	X	ACI 530: Art 3.36
	- TYPE, SIZE & LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS	--	X	ACI 530: SECTION 1.22(e), 7.1.4, 3.1.6
	- SPECIFIED SIZE, GRADE, AND TYPE OF REINFORCEMENT	--	X	ACI 530: SECTION 1.13, Art 2.4, 3.4
	- WELDING OF REINFORCING BARS	X	--	ACI 530: SECTION 2.1.10.7.2, 3.3.34(B)
	- PROTECTION OF MASONRY DURING COLD WEATHER (TEMP. BELOW 40°F) OR HOT WEATHER (TEMP ABOVE 90°F)	--	X	IBC 2104.3, 2104.4 ACI 530 Art 1.8C, 1.8D
	d) PRIOR TO GROUTING, VERIFY THE FOLLOWING TO ENSURE COMPLIANCE: - GROUT SPACE IS CLEAR	--	X	ACI 530: Art 3.2D
	- PLACEMENT OF REINFORCEMENT, CONNECTORS & ANCHORAGES	--	X	ACI 530: SECTION 1.13, Art 3.4
	- PROPORTIONS OF SITE PREPARED GROUT	--	X	ACI 530: Art 2.6B
	- CONSTRUCTION OF MORTAR JOINTS	--	X	ACI 530: Art 3.3B
	e) VERIFY GROUT PLACEMENT TO ENSURE COMPLIANCE WITH CODE & CONSTRUCTION DOCUMENT PROVISIONS	X	--	ACI 530: Art 3.5
f) OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS	X	--	IBC 2105.2.2, 2105.3 ACI 530: Art 1.4	
g) VERIFY COMPLIANCE WITH INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND COMPLIANCE WITH THE APPROVED SUBMITTALS	--	X	ACI 530: Art 1.5	
6) STEEL	a) MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS & WASHERS	--	X	APPLICABLE ASTM MATERIAL SPEC. AISC 360, SECTION A3.3
	- IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--
	- MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--
	b) INSPECTION OF HIGH-STRENGTH BOLTING OF BEARING TYPE CONNECTIONS	--	X	AISC 360, SECTION M2.5 IBC SECTION 1704.3.3
	c) MATERIAL VERIFICATION OF STRUCTURAL STEEL: - IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	ASTM A6 OR A568 IBC SECTION 1708.4
	- MANUFACTURER'S CERTIFIED MILL TEST REPORTS	--	X	ASTM A6 OR A568 IBC SECTION 1708.4
	d) MATERIAL VERIFICATION OF WELD FILLER MATERIALS: - IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	AISC 360, SECTION A3.5
	- MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--
	e) INSPECTION OF WELDING 1) COMPLETE & PARTIAL PENETRATION GROOVE WELDS	X	--	AWS D1.1 AISC 360 NS.4-N5.5
	2) MULTI-PASS FILLET WELDS	X	--	AWS D1.1 AISC 360 NS.4-N5.5
	3) SINGLE PASS FILLET WELDS > 5/16"	X	--	AWS D1.1 AISC 360 NS.4-N5.5
	4) SINGLE PASS FILLET WELDS < 5/16"	--	X	AWS D1.1 AISC 360 NS.4-N5.5
	5) FLOOR & ROOF DECK WELDS	--	X	AWS D1.3
	f) STUD SHEAR CONNECTOR SIZES, SPACING, MATERIALS & QUANTITY	X	--	AISC 360, SECTION N6
g) WELDING OF STUD SHEAR CONNECTORS	--	X	AWS D1.1	
h) INSPECT STEEL FRAME JOINT DETAILS FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS	--	X	AISC 360 N5.7	

7) COLD-FORMED STEEL FRAMING	a) MATERIAL CERTIFICATION OF COLD FORMED STEEL: - IDENTIFICATION MARKINGS TO CONFORM TO ASTM SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	A.1.S.1 NAS-01	
	- MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--	
	b) VERIFY SIZES AND SPACING OF MEMBERS FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--	
	c) VERIFY WELDS AND CONNECTORS FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--	
	d) VERIFY POWDER DRIVEN FASTENER SPACING, SIZES AND INSTALLATION FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--	
8) STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL	a) MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK: 1) IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	APPLICABLE ASTM MATERIAL SPEC.	
	2) MANUFACTURER'S CERTIFIED TEST REPORTS	--	X	--	
	b) INSPECTION OF WELDING: 1) COLD-FORMED STEEL DECK: a) FLOOR AND ROOF DECK WELDS	--	X	AWS D1.3	
	2) REINFORCING STEEL a) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A706	--	X	AWS D1.4 ACI 318: SECTION 3.5.2	
	b) SHEAR REINFORCEMENT	X	--	AWS D1.4 ACI 318: SECTION 3.5.2	
	c) OTHER REINFORCING STEEL	--	X	AWS D1.4 ACI 318: SECTION 3.5.2	
	9) SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE	a) STRUCTURAL STEEL - INSPECTION OF STRUCTURAL STEEL ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM	--	X	AISC 341
	b) TESTING AND QUALIFICATION FOR SEISMIC RESISTANCE - TEST STRUCTURAL STEEL ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM IN ACCORDANCE WITH AISC QUALITY ASSURANCE REQUIREMENTS	--	X	AISC 341	
	- VERIFY STEEL REINFORCEMENT USED IN CONCRETE ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM BY CERTIFIED MILL TEST REPORTS FOR EACH SHIPMENT OF REINFORCEMENT	--	X	ACI 318, SECTION 21.1.5.2	
	- FOR WELDED REINFORCING STEEL OTHER THAN ASTM A706 IN CONCRETE ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM, PERFORM CHEMICAL TESTS TO VERIFY WELDABILITY	--	X	ACI 318, SECTION 3.5.2	
c) INSPECTION AND SEISMIC CERTIFICATION OF NON-STRUCTURAL COMPONENTS 1) INSPECT INSTALLATION AND ANCHORAGE OF MECHANICAL AND ELECTRICAL COMPONENTS REQUIRING ANCHORAGE AGAINST SEISMIC FORCES	--	X	IBC SECTION 1705.11.6, ASCE 7, SECTION 13.6		
2) CERTIFY BY TESTING OR EXPERIENCE DATA THAT MECHANICAL AND ELECTRICAL EQUIPMENT WILL REMAIN OPERABLE FOLLOWING THE DESIGN SEISMIC GROUND MOTION	--	X	IBC SECTION 1705.11.4, IBC SECTION 1705.12.3		
a) FOR SYSTEMS REQUIRING SEISMIC CERTIFICATION, VERIFY THAT LABELS, ANCHORAGE, OR MOUNTING CONFORM TO THE CERTIFICATE OF COMPLIANCE	--	X	IBC SECTION 1705.12.3, ASCE 7, SECTION 13.2		
3) INSPECT FABRICATION AND INSTALLATION OF ISOLATOR UNITS AND ENERGY DISSIPATION DEVICES IN SEISMIC ISOLATION SYSTEMS	--	X	IBC SECTION 1705.11.8		
4) TEST SEISMIC ISOLATION SYSTEMS	--	X	ASCE 7, SECTION 17.8		

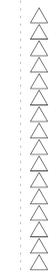


## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## SCHEDULE OF SPECIAL INSPECTIONS

NO: ISSUED FOR: DATE:

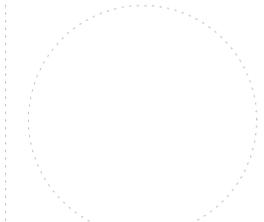


PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: 14.108 **S101**



**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**FOUNDATION PLAN**

NO: ISSUED FOR: DATE:

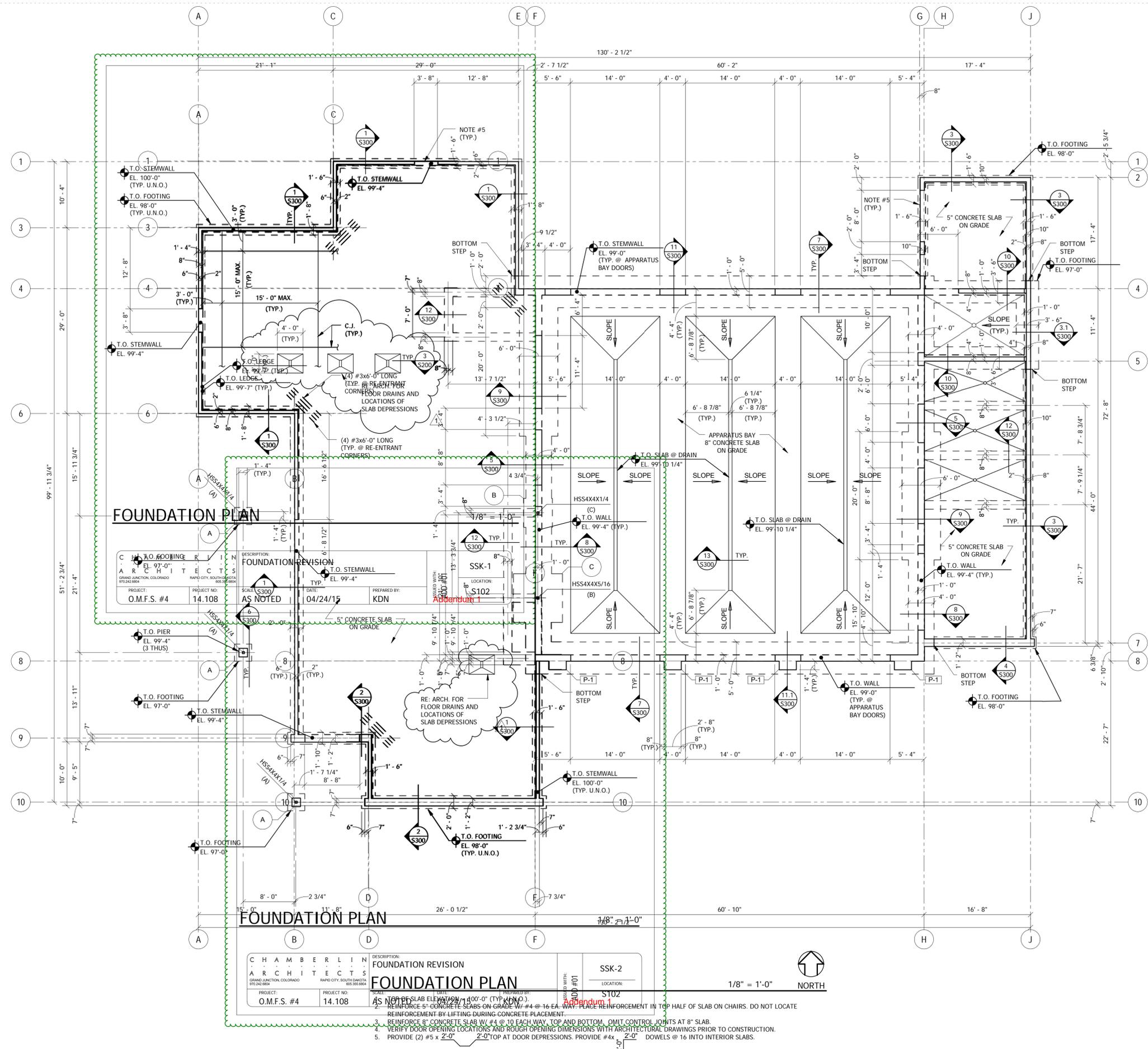


PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: **S102**  
14.108



<b>FOUNDATION REVISION</b> CHAMBERLIN ARCHITECTS GRAND JUNCTION, COLORADO 81501 RAPID CITY, SOUTH DAKOTA 57701		DESCRIPTION: <b>FOUNDATION PLAN</b> SSK-2 LOCATION: S102
PROJECT: O.M.F.S. #4	PROJECT NO: 14.108	SCALE: AS NOTED
DATE: 04/24/15		
PREPARED BY: KDN		
CHECKED BY: JAD		
DRAWN BY: JDG, KDN		

1. REINFORCE 5" CONCRETE SLABS ON GRADE W/ #4 @ 16 EA. WAY. PLACE REINFORCEMENT IN TOP HALF OF SLAB ON CHAIRS. DO NOT LOCATE REINFORCEMENT BY LIFTING DURING CONCRETE PLACEMENT.
2. REINFORCE 8" CONCRETE SLAB W/ #4 @ 10 EACH WAY, TOP AND BOTTOM. OMIT CONTROL JOINTS AT 8" SLAB.
3. VERIFY DOOR OPENING LOCATIONS AND ROUGH OPENING DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
4. PROVIDE (2) #5 x 2'-0" TOP AT DOOR DEPRESSIONS. PROVIDE #4 x 2'-0" DOWELS @ 16 INTO INTERIOR SLABS.

**ARCHITECT'S  
SUPPLEMENTAL INSTRUCTIONS**

- OWNER
- ARCHITECT
- CONTRACTOR
- FIELD
- OTHER

PROJECT: Orchard Mesa Fire Station #4  
 OWNER: City of Grand Junction  
 TO: FCI Constructors, Inc.  
 3070 I-70 B, Bldg A  
 Grand Junction, CO 81504

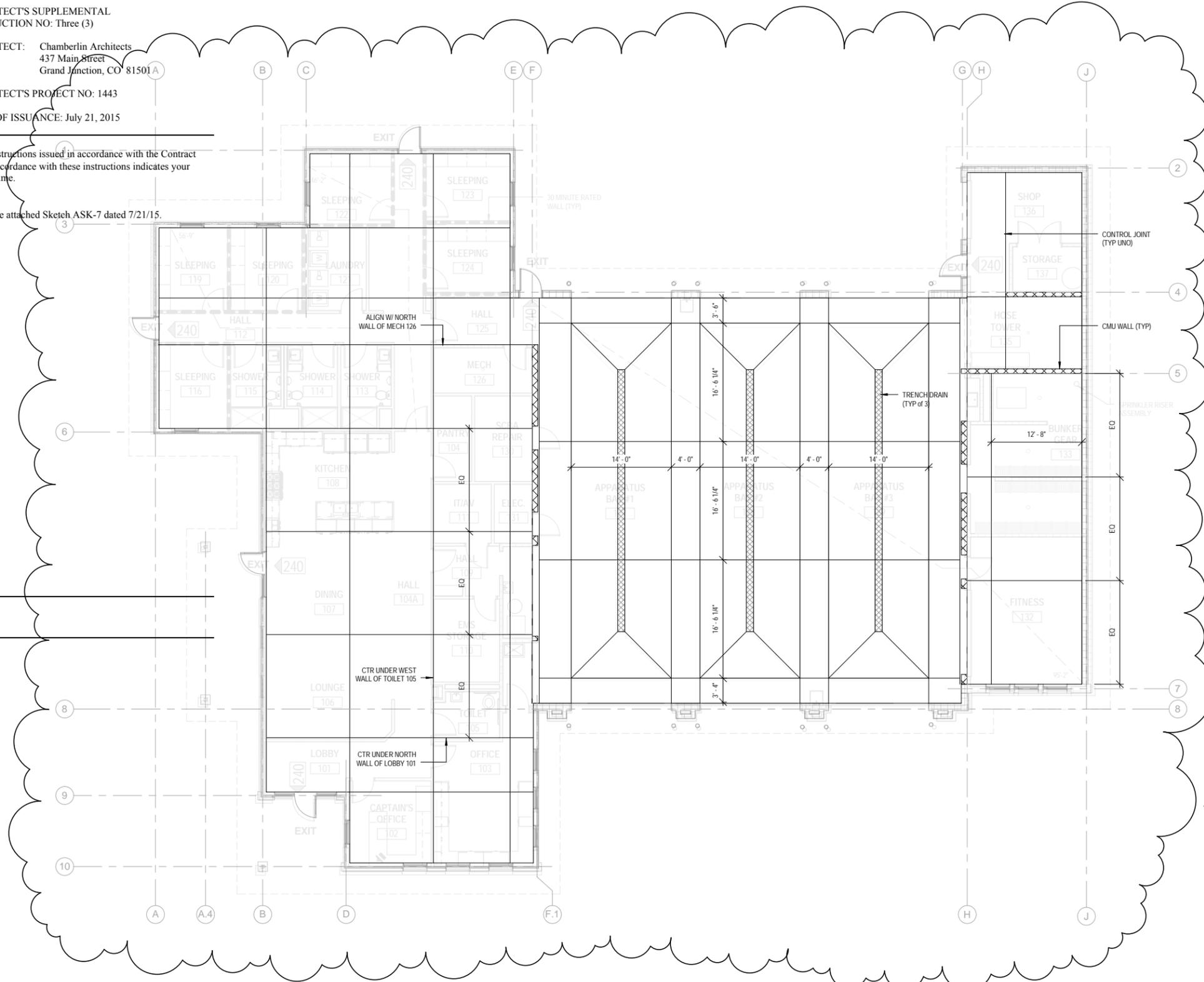
ARCHITECT'S SUPPLEMENTAL  
 INSTRUCTION NO: Three (3)  
 ARCHITECT: Chamberlin Architects  
 437 Main Street  
 Grand Junction, CO 81501  
 ARCHITECT'S PROJECT NO: 1443  
 DATE OF ISSUANCE: July 21, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

Add FLOOR PLAN – CONTROL JOINT LAYOUT as illustrated in the attached Sketch ASK-7 dated 7/21/15.

Attachments: ASK-7

ARCHITECT: Chamberlin Architects, P.C.  
 BY: Jonathan West  
 S:\1443 - Orchard Mesa Fire Station #4. CONSTRUCTION\AS\ASK#003.1443.doc



1 FLOOR PLAN - CONTROL JOINT LAYOUT  
 ASK-7

CHAMBERLIN ARCHITECTS  
 437 Main St.  
 Grand Junction, Colorado 81501  
 T 970.242.6804  
 725 Saint Joseph St., Suite B1  
 Rapid City, South Dakota 57701  
 T 605.355.6804  
 www.chamberlinarchitects.com

**ORCHARD MESA  
 FIRE STATION #4**

GRAND JUNCTION, COLORADO

**FLOOR PLAN -  
 CONTROL JOINT  
 LAYOUT**

NO: ASI#003  
 ISSUED FOR:  
 DATE: 7/21/15

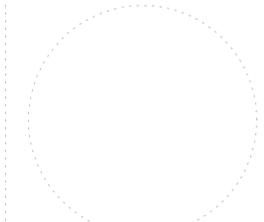
PROJECT STATUS: 100% CDs  
 DRAWN BY: JW CHECKED BY: Checker

DATE: 05/27/2015 SHEET NO:

PROJECT NO: 1443 **ASK-7**

CURRENT PROJECTS: 1443-ORCHARD MESA FIRE STATION #4

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**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**LOW ROOF  
FRAMING PLAN**

NO: ISSUED FOR: DATE:

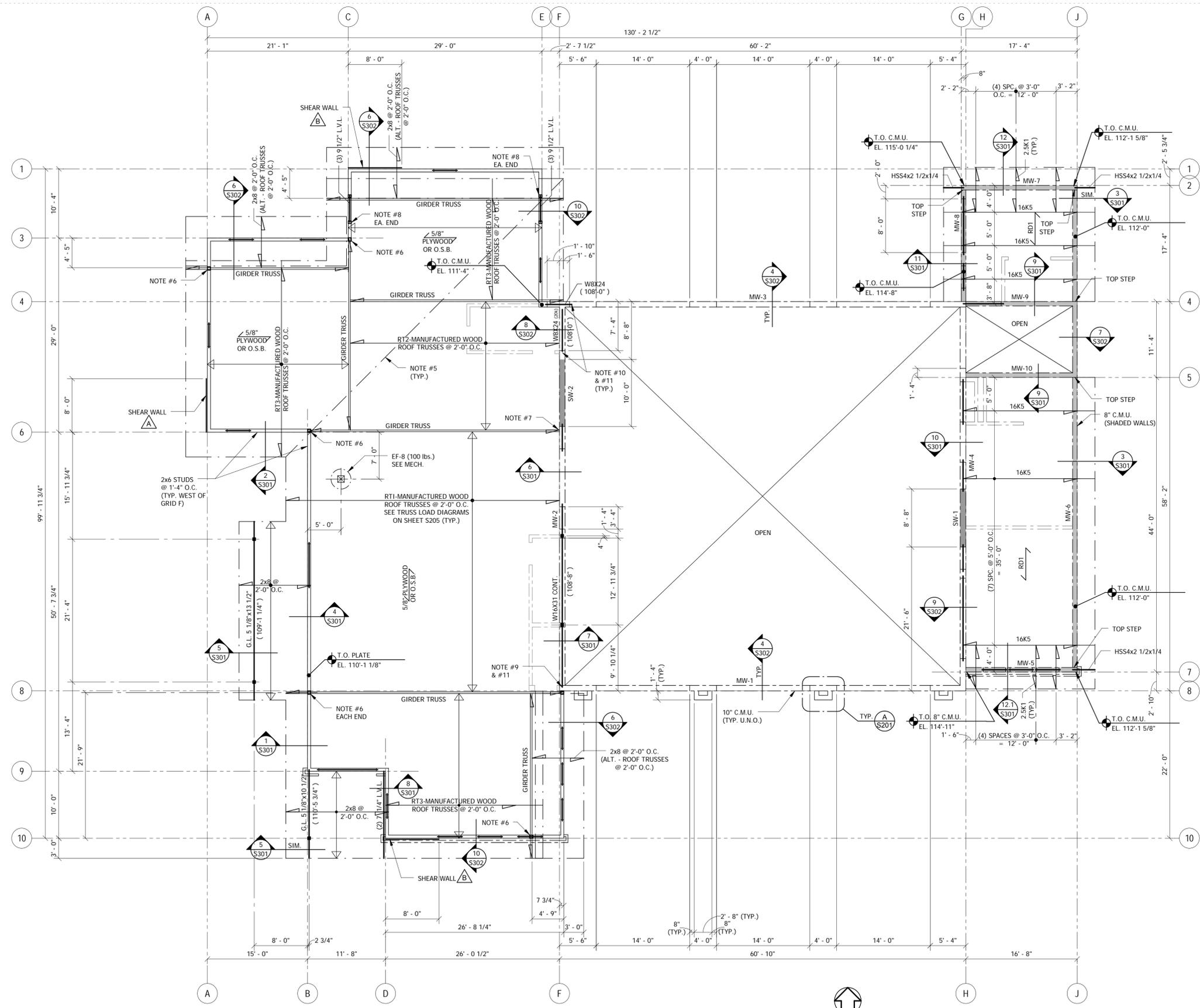


PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: **S103**



**LOW ROOF FRAMING PLAN**

1/8" = 1'-0" NORTH

1. TOP OF BEAM ELEVATION NOTED THUS: (XXX-XX").
2. PROVIDE JOIST BRIDGING IN ACCORDANCE WITH S.J.I. SPECIFICATIONS.
3. UNLESS NOTED OTHERWISE, ALL EXTERIOR HEADERS IN WOOD FRAMED WALLS SHALL BE 9 1/4" TJ-INSULATED\* HEADERS BY WEYERHAEUSER, OR AN ENGINEER APPROVED EQUIVALENT. BEAR ON (2) 2x6 STUDS EACH END, U.N.O.
4. ALL HANGERS REQUIRED AT CONNECTIONS BETWEEN ROOF TRUSSES ARE TO BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED IN THE STRUCTURAL DETAILS.
5. PROVIDE (2) 2x6 BLOCKING BETWEEN TRUSSES ALONG VALLEY LINE FOR PLYWOOD ATTACHMENT. CONNECT TO TRUSSES WITH SIMPSON TYPE "SUL26-2" HANGER EACH END.
6. BEAR ON (4) 2x6 STUDS.
7. PROVIDE SIMPSON TYPE "LGM210-3-SDS" HANGER WITH (8) 3/8"x0-4" TITEN HD ANCHORS TO GROUTED CELLS OF C.M.U. HANGER SIZE IS BASED UPON AN ASSUMPTION OF A (3) PLY GIRDER TRUSS. USE "LGM210-2" FOR A (2) PLY TRUSS OR "LGM210-4" FOR A (4) PLY TRUSS.
8. BEAR ON (3) 2x6 STUDS.
9. PROVIDE BEARING PLATE 1/2"x6 1/2"x0-6 1/2". PLACE ON 3/8" MIN. NON-SHRINK GROUT.
10. PROVIDE BEARING PLATE 1/2"x7 1/2"x0-8 1/2". W/ 8" LENGTH PARALLEL TO BEAM SPAN. PLACE ON 3/8" MIN. NON-SHRINK GROUT.
11. PROVIDE (2) 5/8"x1-0" LONG HEADED ANCHOR BOLTS WITH MINIMUM 8" EMBEDMENT.



**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**UPPER ROOF  
FRAMING PLAN**

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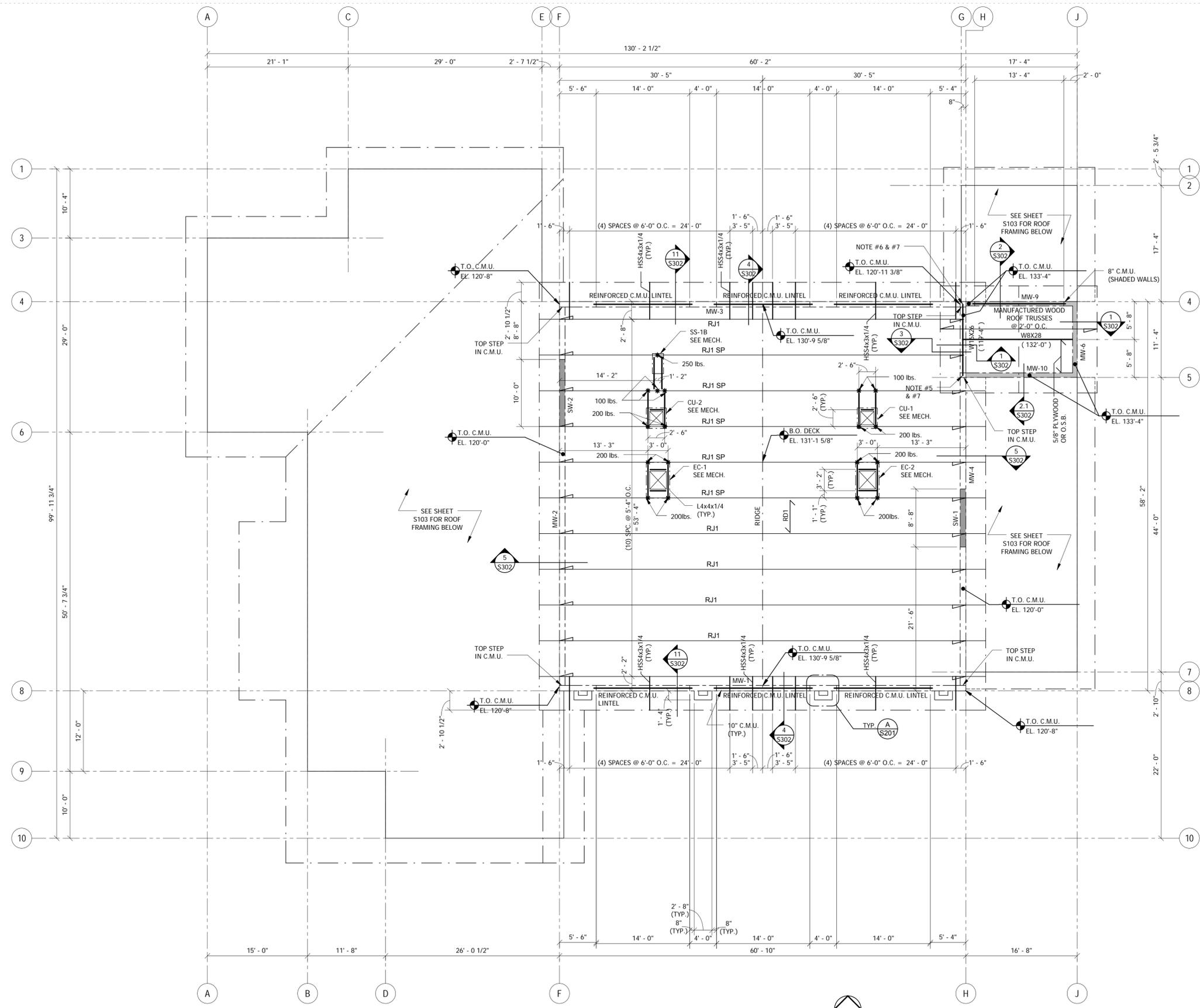


PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE:  
**04/10/15** SHEET NO:

PROJECT NO:  
**14.108 S104**



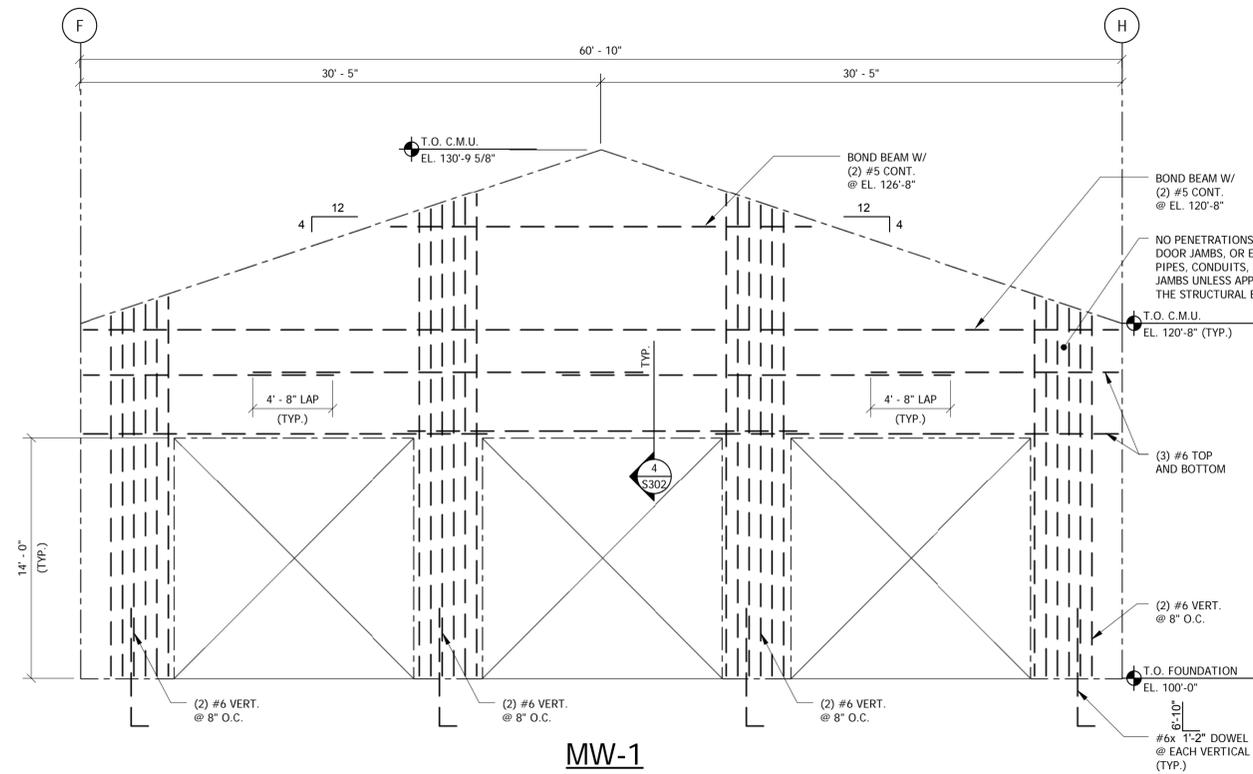
**UPPER ROOF FRAMING PLAN**

1/8" = 1'-0" NORTH

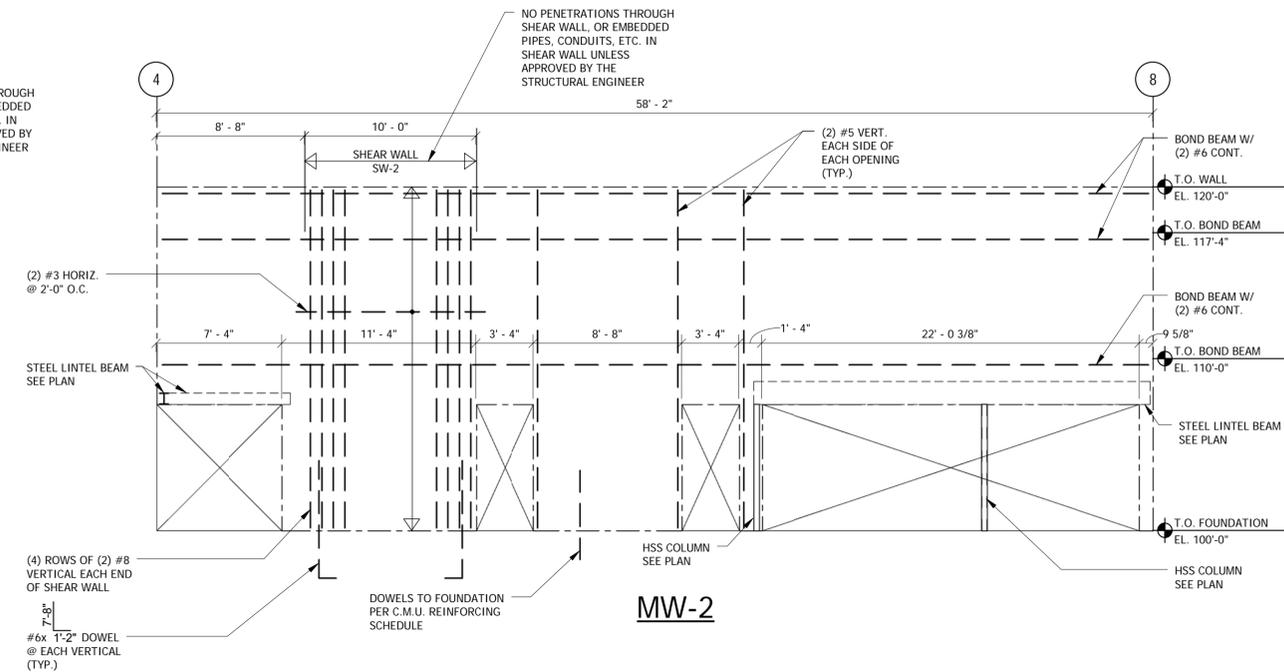
1. TOP OF STEEL ELEVATION NOTED THUS: (XXX'-XX").
2. STEEL ROOF JOISTS SHALL BE LH TYPE IN A GABLE CONFIGURATION WITH A TOP CHORD PITCH OF 4:12. SEE LOAD DIAGRAMS ON SHEET S203.
3. PROVIDE JOIST BRIDGING IN ACCORDANCE WITH S.J.I. SPECIFICATIONS. PROVIDE BOLTED DIAGONAL BRIDGING AS REQUIRED AT LH JOISTS.
4. VERIFY LOCATIONS, DIMENSIONS, AND WEIGHTS OF MECHANICAL UNITS AND VERIFY DIMENSIONS OF DUCT OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
5. PROVIDE BEARING PLATE 5/8"x6 1/2"x8 1/2" WITH LONG DIMENSION PARALLEL TO BEAM SPAN. PLACE ON 1/2" MIN. NON-SHRINK GROUT.
6. PROVIDE BEARING PLATE 5/8"x7"x8 1/2" WITH LONG DIMENSION PERPENDICULAR TO BEAM. PLACE ON 1/2" MIN. NON-SHRINK GROUT.
7. PROVIDE (2) 5/8"x1'-0" LONG HEADED ANCHOR BOLTS W/ MIN. 8" EMBEDMENT.



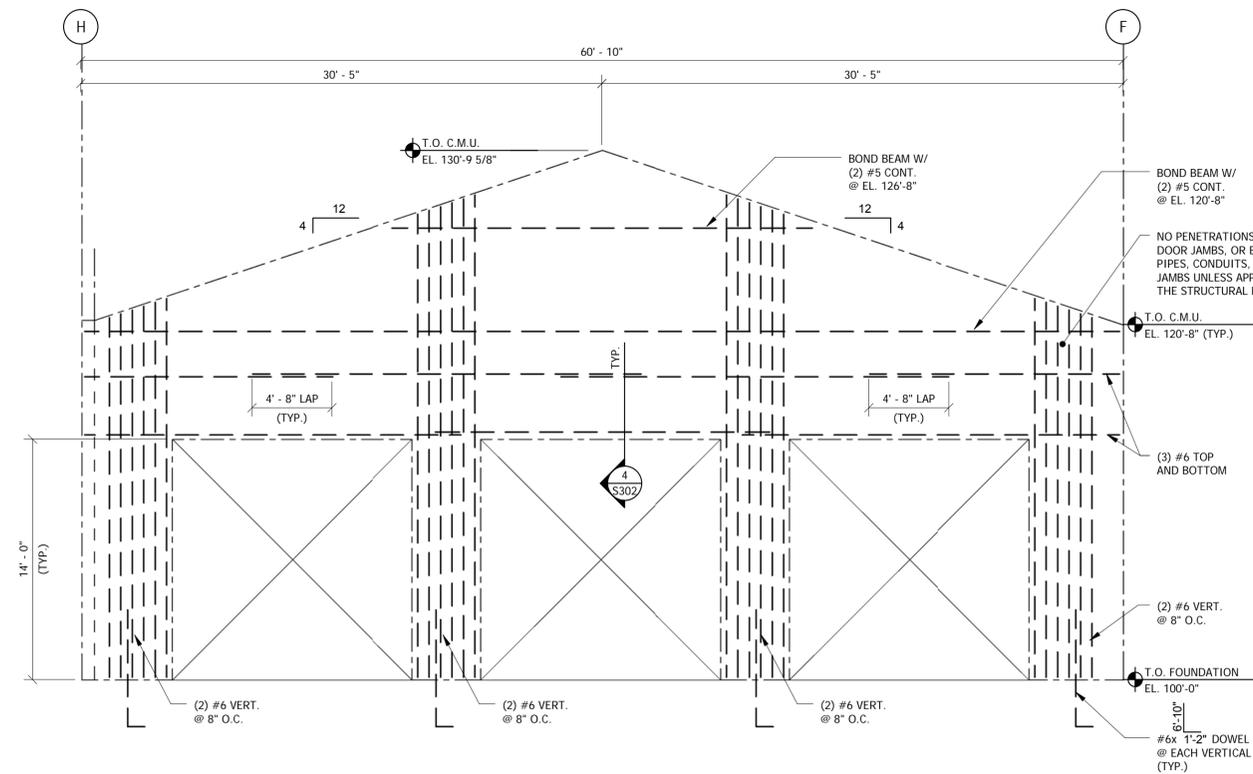




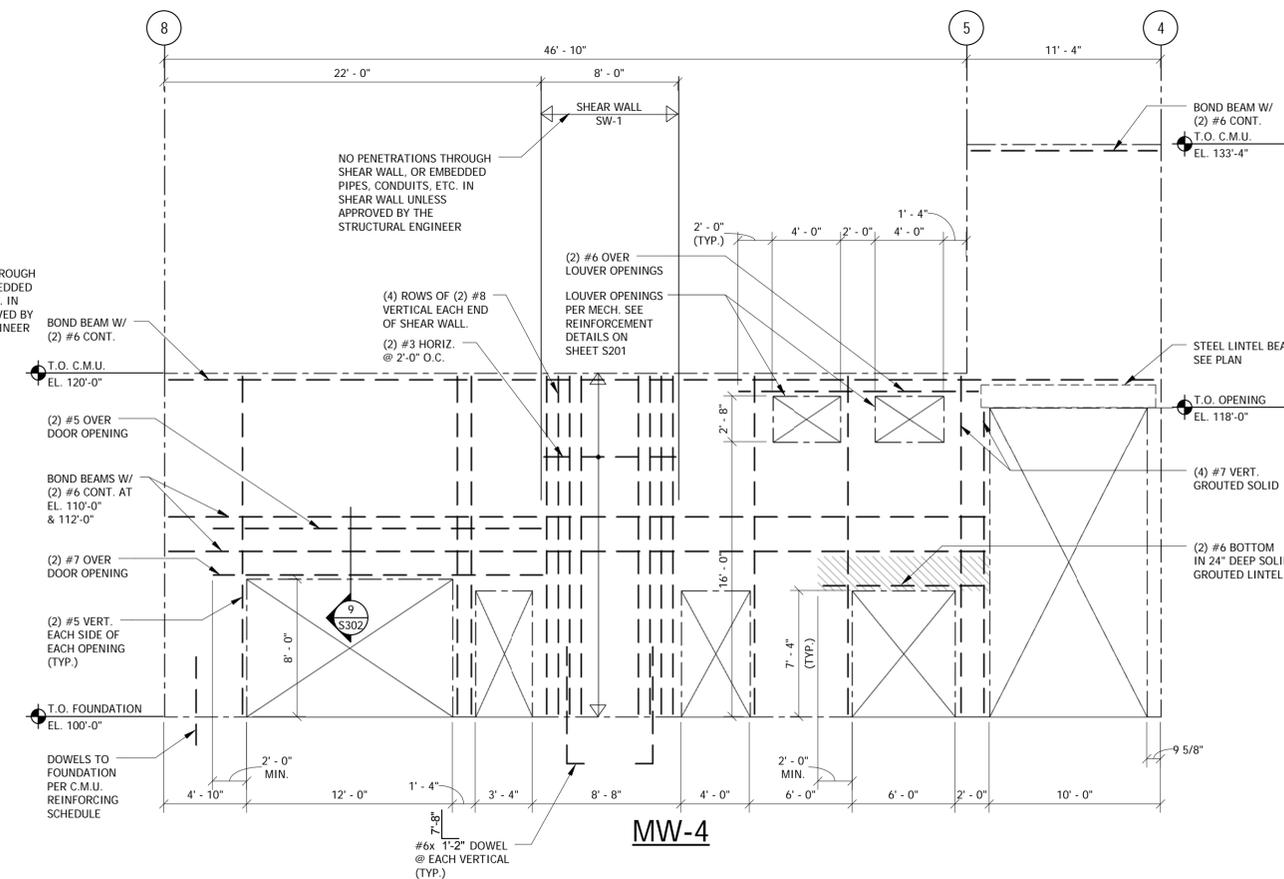
MW-1



MW-2



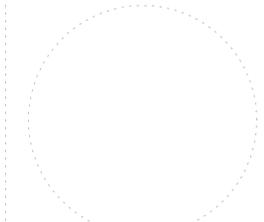
MW-3



MW-4

MASONRY WALL ELEVATIONS

3/16" = 1'-0"



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

C.M.U. WALL  
ELEVATIONS

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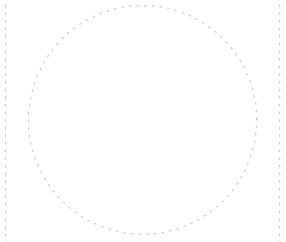


PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: 14.108 **S202**



**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**C.M.U. WALL  
ELEVATIONS**

NO: ISSUED FOR: DATE:

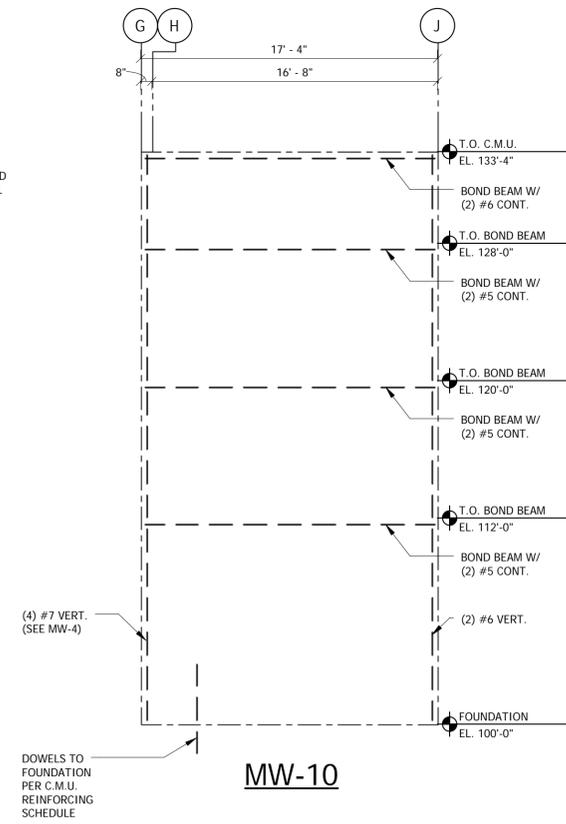
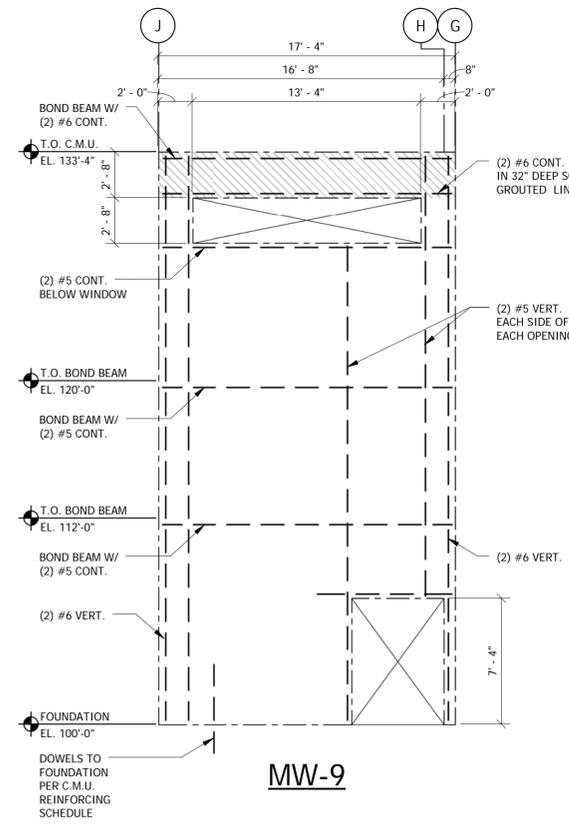
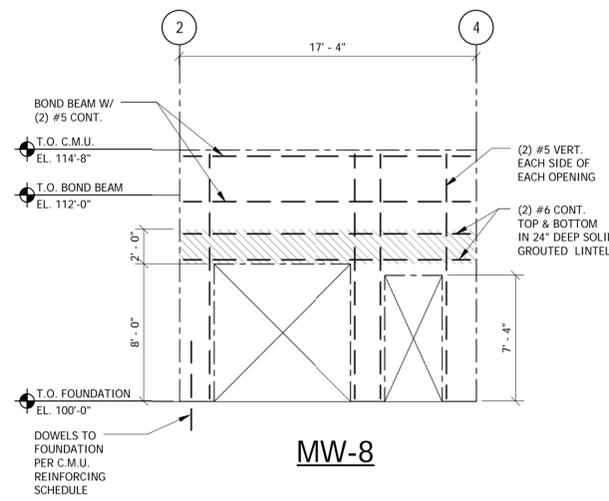
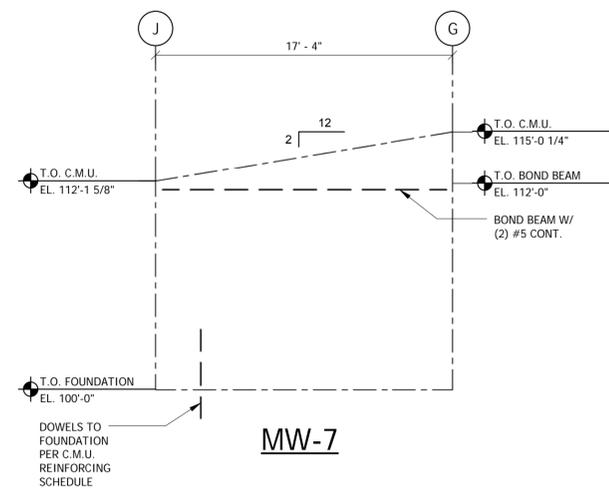
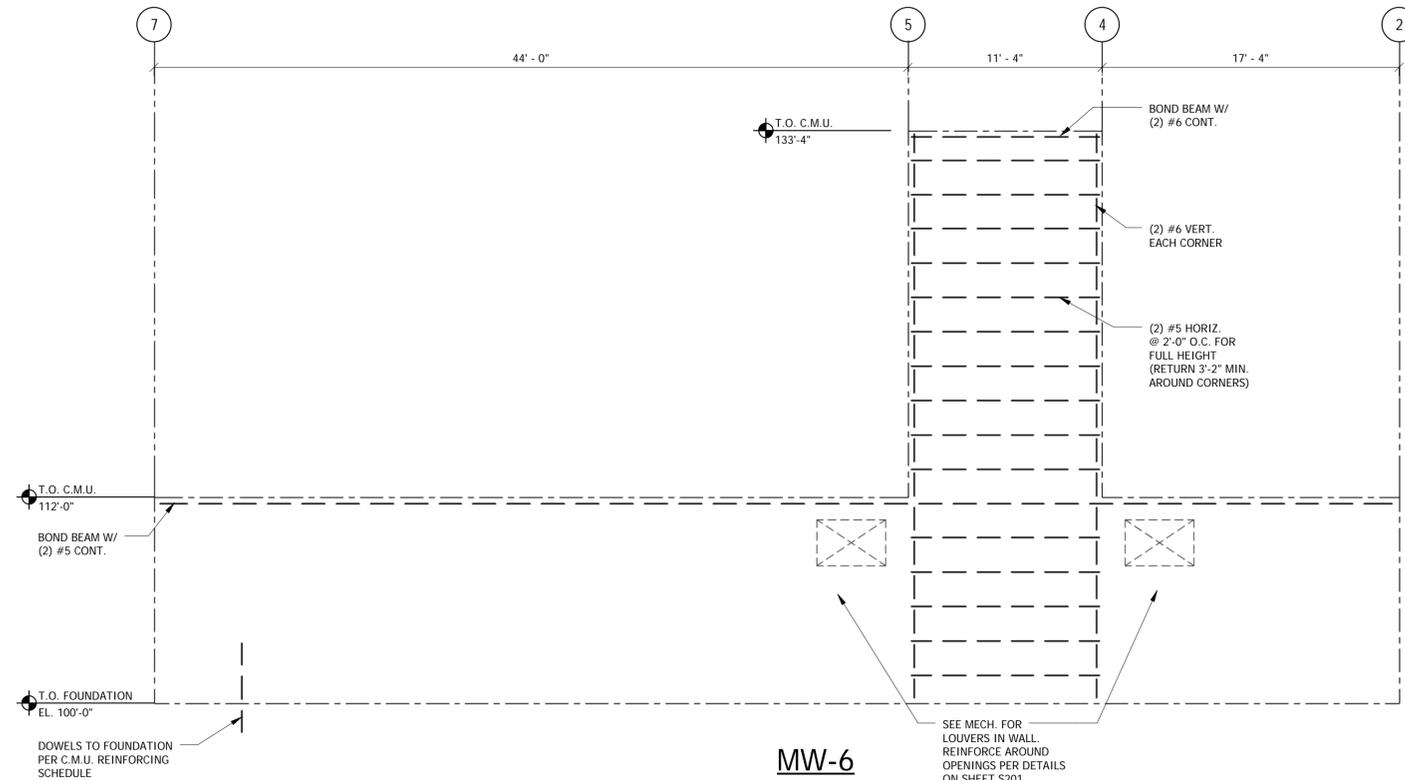
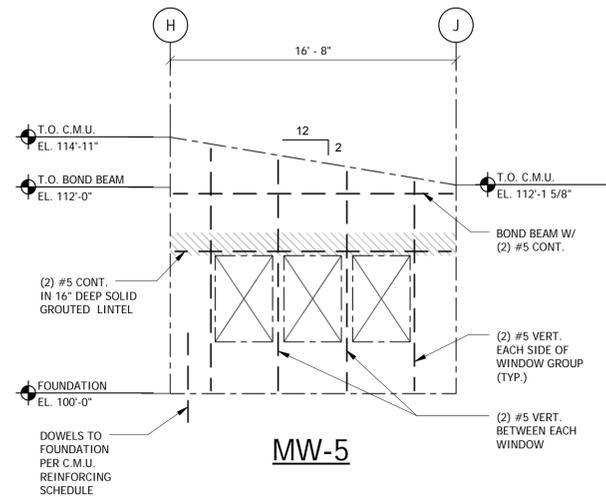


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DRAWN BY: JDG CHECKED BY: JAD

DATE:  
**04/10/15** SHEET NO:

PROJECT NO:  
**14.108 S203**



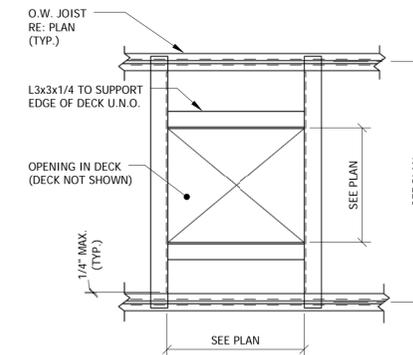
**MASONRY WALL ELEVATIONS**

3/16" = 1'-0"

## STEEL DECK SCHEDULE

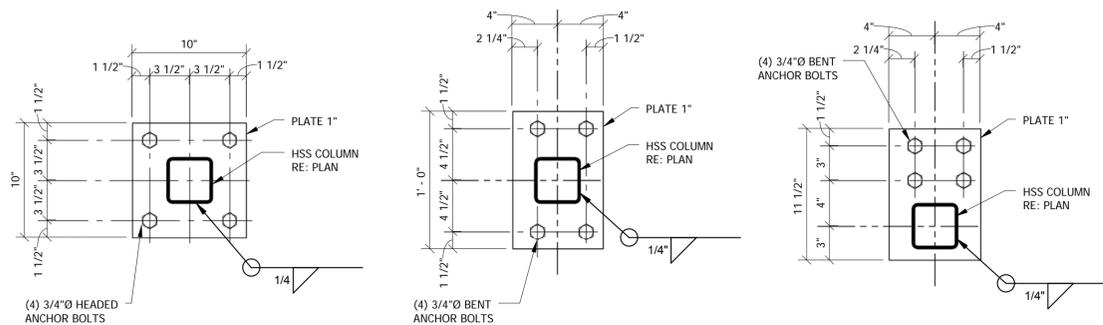
DECK				CONCRETE SLAB				DECK PROPERTIES (MINIMUMS)						FASTENERS		COMMENTS	
DECK MARK	DECK TYPE	DECK DEPTH (in.)	DECK FINISH	CONC. ABOVE DECK (in.)	TOTAL THICKNESS (in.)	CONC. TYPE	SLAB REINF.	SPAN CONDITION	DECK GAUGE	MAX. CLEAR CONST. SPAN	INT. DECK BRG. (in.)	EXT. DECK BRG. (in.)	DECK DIAPHRAGM SHEAR (PLF)	SUPERIMPOSED LOAD CAPACITY (UNIFORM OR CONCENTRATED)	SUPPORTS		SIDE LAPS
RD1	1.5B	1 1/2	SHOP PAINTED	--	--	--	--	1-2 SPAN	18	7'-8"	3	1 1/2	364	120 PSF	5/8" PUDDLE WELDS 36/4 PATTERN	(4) #10 TEK SCREWS EA. SPAN	ROOF DECK
								3 SPAN	18	8'-6"	3	1 1/2	364	120 PSF			
FD1	2C	2	GALVANIZED	4	6	NW	6x6-W2.9xW2.9	1-2 SPAN	18	10'-11"	3	1 1/2	--	300 PSF	5/8" PUDDLE WELDS EACH RIB	(4) #10 TEK SCREWS EA. SPAN	NON-COMPOSITE FORM DECK

- NOTES:**
- SEE GENERAL NOTES FOR REQUIRED DECK MATERIALS.
  - DECK WITH HIGHER YIELD STRESS MAY BE USED WITH SP & SN REQUIRED VALUES ADJUSTED BY THE RATIO OF Fy(40)/Fy(PROVIDED).
  - ROOF DECK CAPACITIES ARE TOTAL LOADS AND ARE BASED UPON SUPPORT CENTER TO CENTER DIMENSION.
  - LAP EDGES AND ENDS OF ADJOINING W.W.F. SHEETS AT LEAST TWO MESH SPACINGS.
  - NO PERMANENT SUSPENDED LOADS ARE TO BE SUPPORTED BY THE STEEL DECK.



**TYP. EDGE SUPPORT @ METAL ROOF DECK PEN.**

N.T.S.



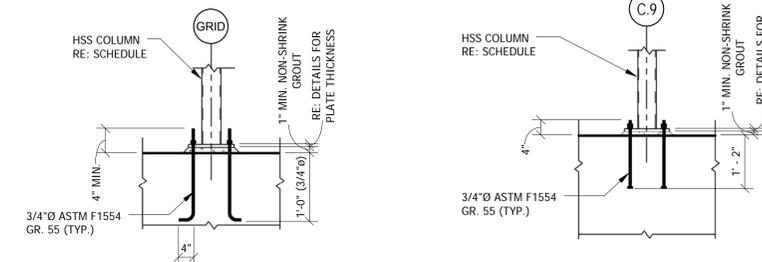
**TYPE A**

**TYPE B**

**TYPE C**

**TYPICAL BASE PLATE DETAILS**

1 1/2" = 1'-0"

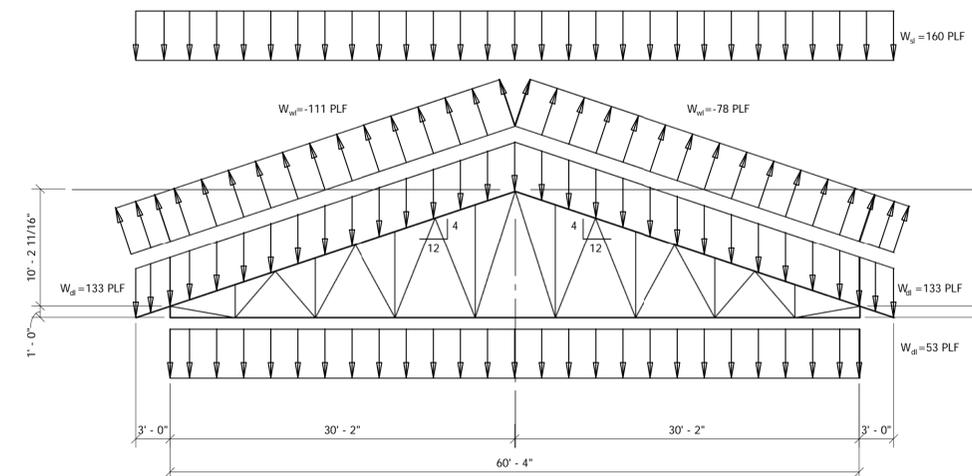


**TYPICAL COLUMN ANCHOR BOLTS**

**EXTERIOR COLUMN ANCHOR BOLTS**

**TYPICAL ANCHOR BOLT DETAILS**

1/2" = 1'-0"



**RJ1**

**LH GABLE ROOF JOISTS**

1/8" = 1'-0"

- LOADS SHOWN ARE UNFACTORED LOADS.
- LOAD DESIGNATIONS ARE THUS: W<sub>d</sub> = SNOW LOAD  
W<sub>d</sub> = DEAD LOAD  
W<sub>m</sub> = WIND LOAD (POSITIVE OR NEGATIVE INDICATES LOAD ACTING TOWARDS OR AWAY FROM THE ROOF, RESPECTIVELY)
- WHERE WIND LOAD PRESSURE AWAY FROM THE ROOF EXCEEDS THE TOTAL DEAD LOAD, DESIGN JOISTS FOR NET UPLIFT.
- DESIGN FOR WIND LOAD AS SHOWN AND WITH WIND LOADS REVERSED.
- WEB CONFIGURATION IS APPROXIMATE. DESIGN AND LAYOUT OF WEB MEMBERS SHALL BE BY JOIST MANUFACTURER.

## ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

## TYPICAL STEEL FRAMING DETAILS

NO:      ISSUED FOR:      DATE:



PROJECT STATUS: 100% CD

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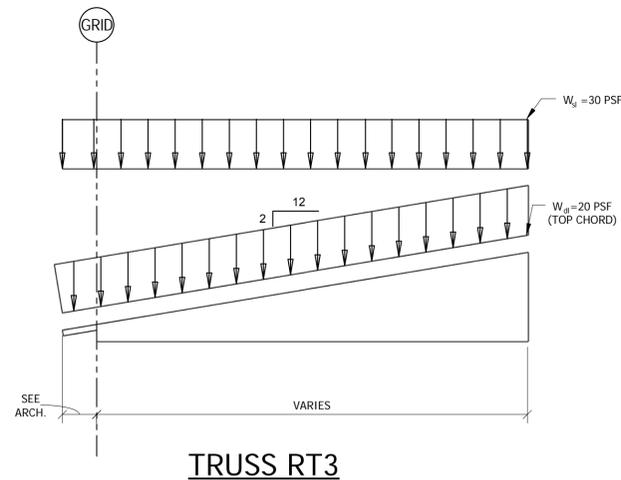
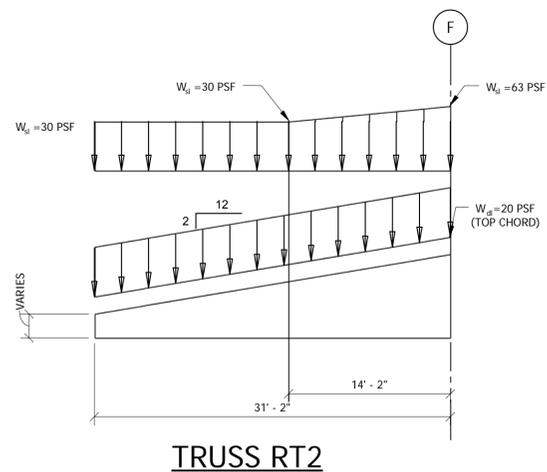
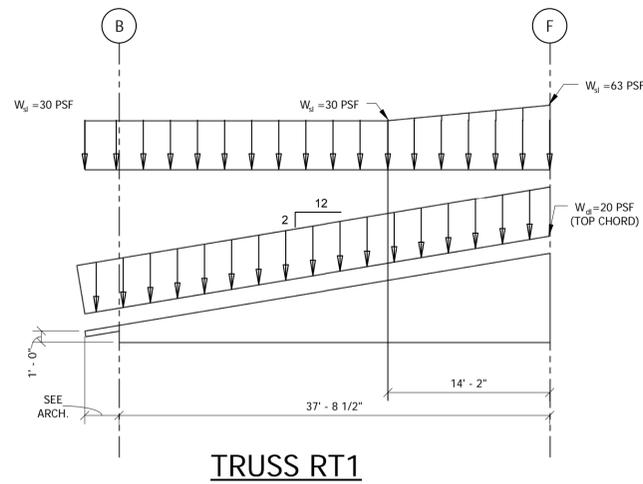
DATE:

**04/10/15**

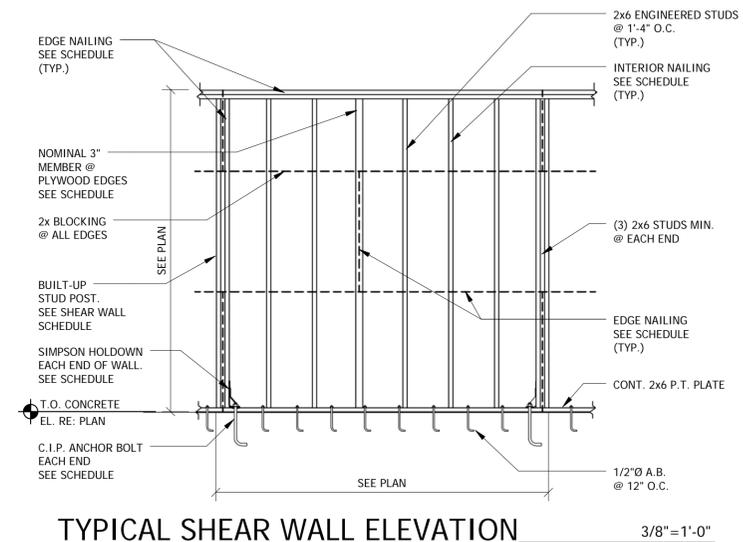
SHEET NO:

PROJECT NO:  
**14.108**

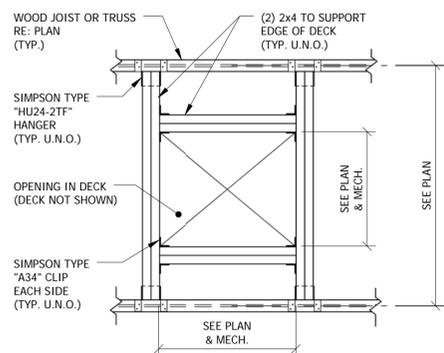
**S204**



**WOOD ROOF TRUSS PROFILES & LOAD DIAGRAMS**



1. NO OPENINGS ALLOWED IN SHEAR PANELS UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
2. ANCHOR BOLTS AT HOLD-DOWNS SHALL CONFORM TO ASTM F1554 GRADE 55.



**TYP. EDGE SUPPORT @ PLYWOOD ROOF DECK PEN.**

PROVIDE OPENING SUPPORTS FOR ALL ROOF PENETRATIONS 6"Ø AND LARGER.

N.T.S.

PLYWOOD/SHEAR WALL NAILING SCHEDULE						
USE	PLYWOOD THICKNESS	SPAN/INDEX RATIO	EDGE NAILING	INTERIOR NAILING	HOLD DOWN	HEADED ANCHOR BOLT
ROOF	19/32"	32/16	10d @ 4" O.C. (BOUNDARIES) 10d @ 6" O.C. (ALL OTHER EDGES)	10d @ 12" O.C.	--	--
WALL	15/32"	24/0	8d @ 6" O.C.	8d @ 12" O.C.	--	--
SHEAR WALL:		15/32"	10d @ 2" O.C.	10d @ 12" O.C.	"HD12"	1"Ø
		15/32"	10d @ 4" O.C.	10d @ 12" O.C.	"HD9B"	7/8"Ø

1. PLYWOOD FOR ROOFS, FLOORS, AND SHEAR WALL SHEATHING SHALL BE APA GRADE TRADEMARKED CDX W/ EXTERIOR GLUE. LAY UP PLYWOOD W/ FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. ALL NAILS SHALL BE COMMON NAILS; RING SHANKED FOR ROOF AND FLOOR SHEATHING. REFER TO TABLE ABOVE FOR USE REQUIREMENTS.
2. OSB SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD W/ PRIOR APPROVAL OF OWNER AND CONTRACTOR. OSB SHEATHING SHALL COMPLY WITH THE APA PLYWOOD DESIGN SPECIFICATION AND SHALL HAVE A SPAN RATING EQUIVALENT TO, OR BETTER, THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES.
3. ALL EDGES OF ROOF SHEATHING SHALL BE BLOCKED WITH A 2" NOMINAL WOOD FRAMING MEMBER.
4. AT ABUTTING SHEAR WALL PANEL EDGES, STUDS SHALL BE NO LESS THAN A SINGLE 3" NOMINAL MEMBER AND NAILS SHALL BE STAGGERED.
5. PROVIDE (3) 2" NOMINAL STUDS AND HOLD-DOWNS AT EACH END OF SHEAR WALL.
6. HOLD-DOWNS LISTED ARE BY SIMPSON STRONG-TIE. ALTERNATES MUST BE EQUIVALENT AND MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
7. HEADED ANCHOR BOLTS AT HOLD-DOWNS SHALL CONFORM TO ASTM F1554 GRADE 55. ANCHORS SHALL HAVE A MINIMUM EMBEDMENT OF 2'-0" AND SHALL HAVE A MINIMUM PROJECTION OF 6".

**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**TYPICAL WOOD  
FRAMING DETAILS**

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CD

DRAWN BY: KDN CHECKED BY: JAD

DATE:

04/10/15

SHEET NO:

PROJECT NO:

14.108

**S205**

ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

FOUNDATION  
SECTIONS

NO: ISSUED FOR: DATE:

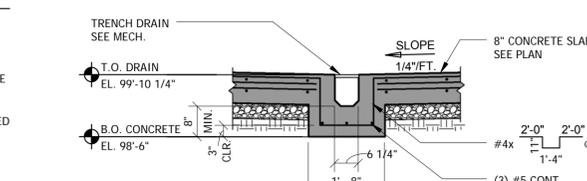
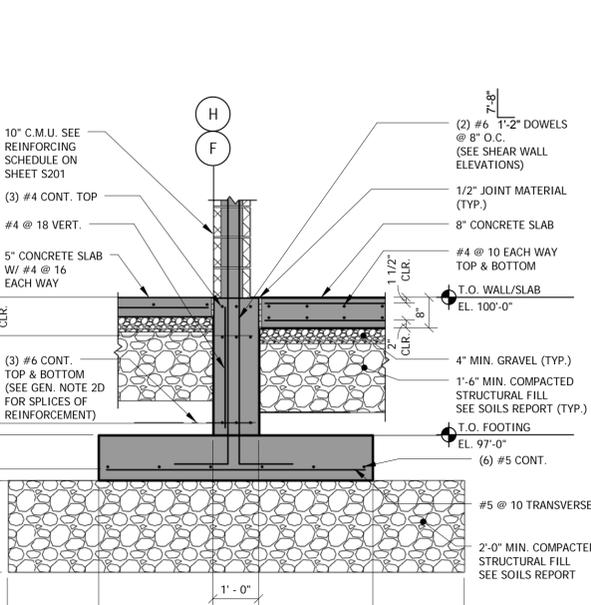
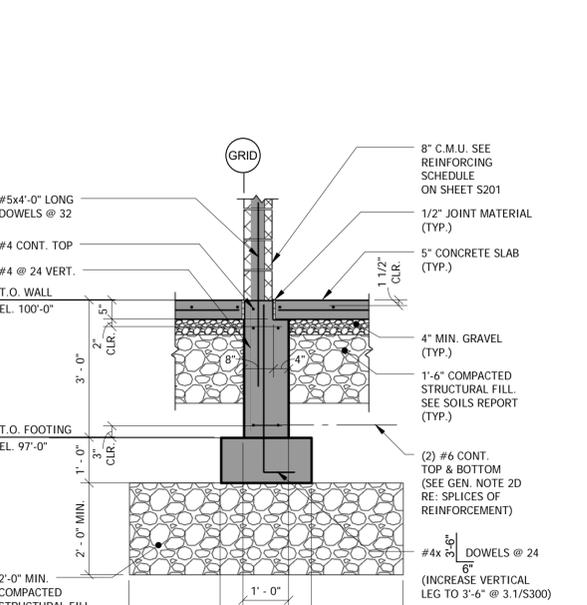
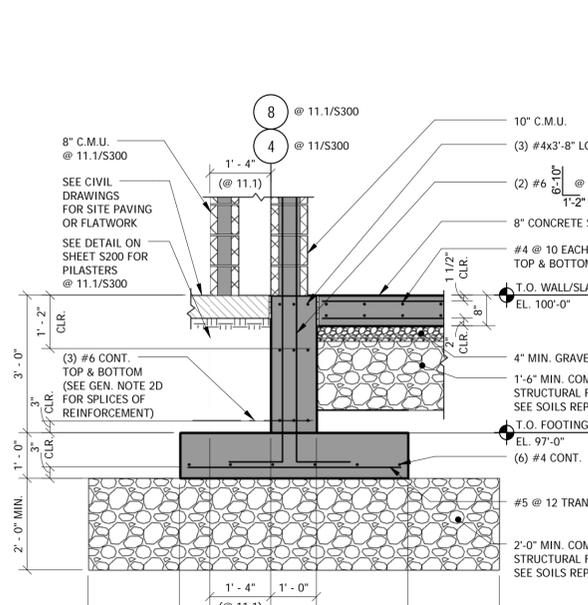
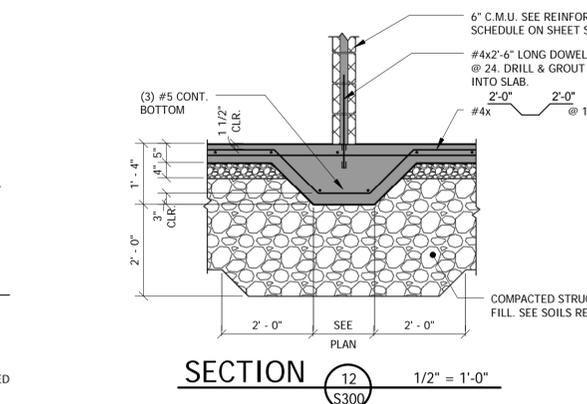
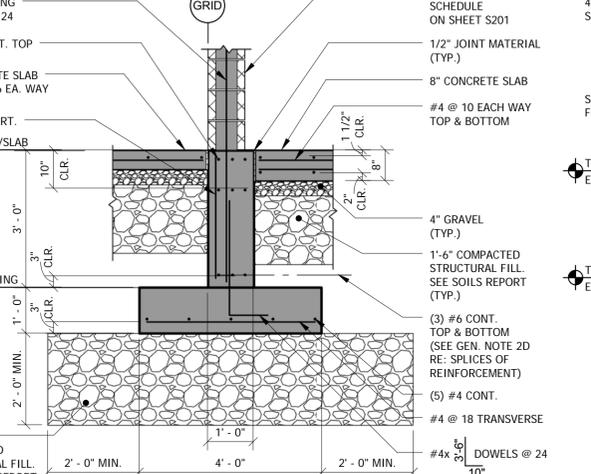
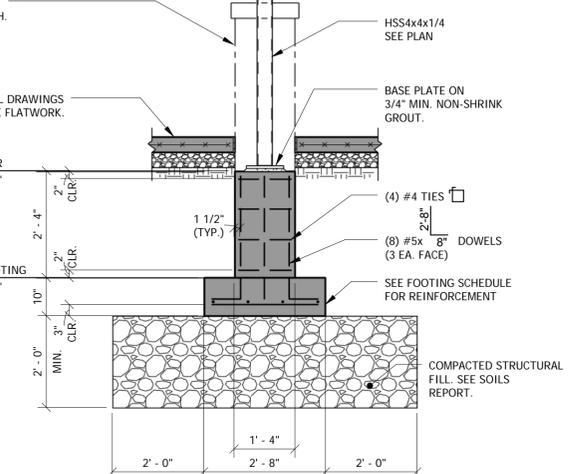
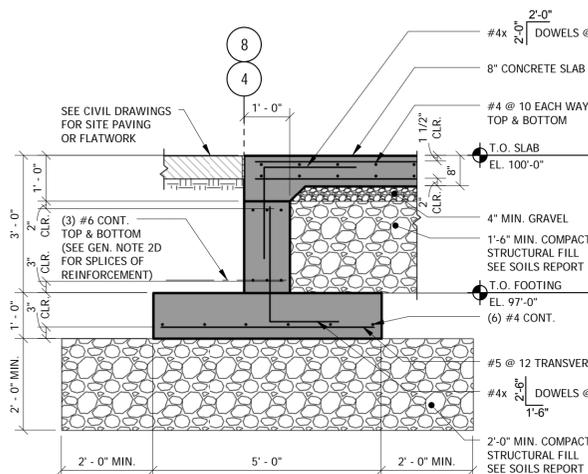
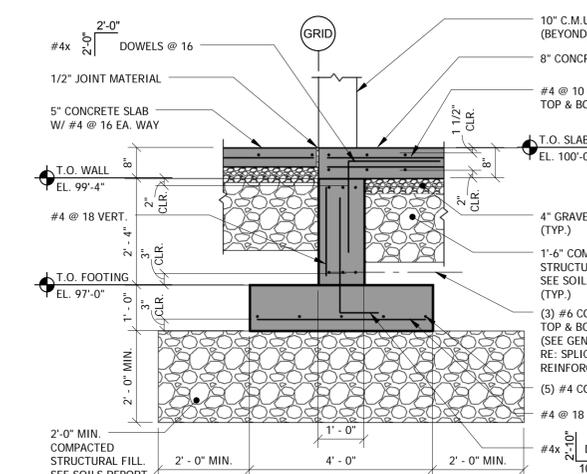
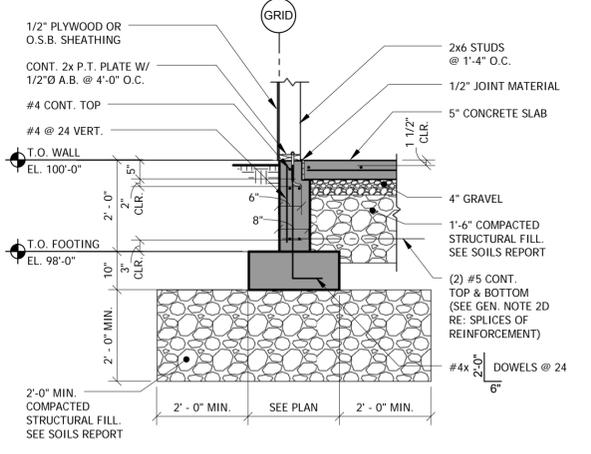
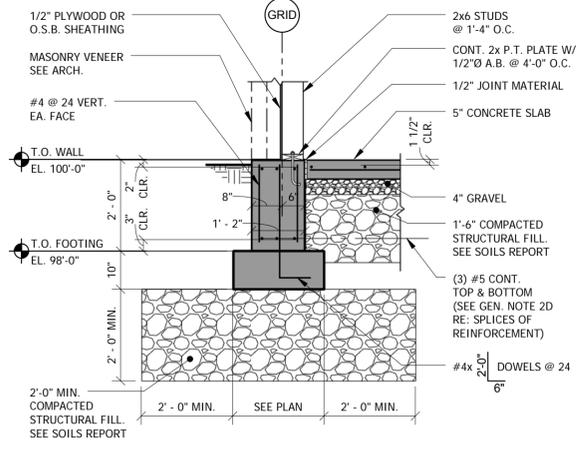
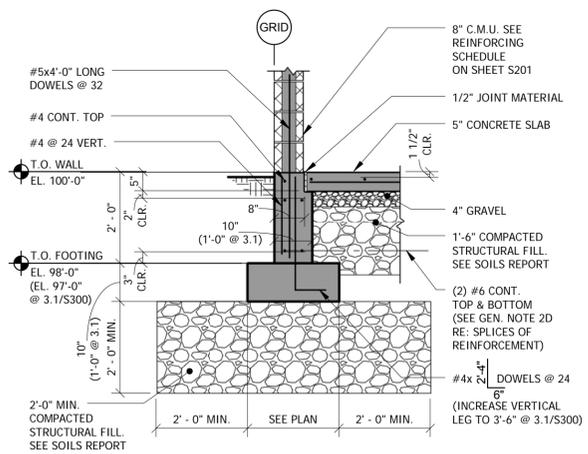
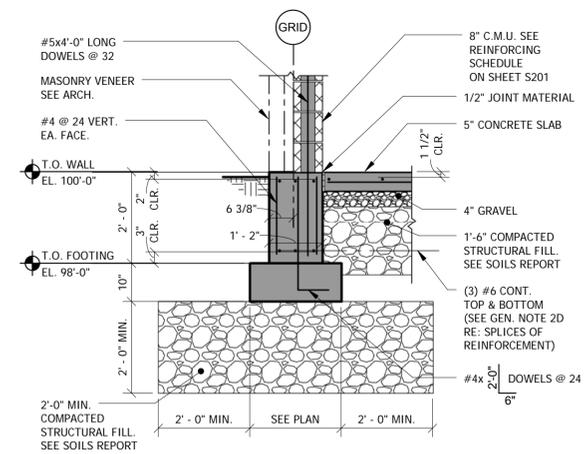
PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: 14.108 **S300**

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ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

FRAMING  
SECTIONS

NO: ISSUED FOR: DATE:

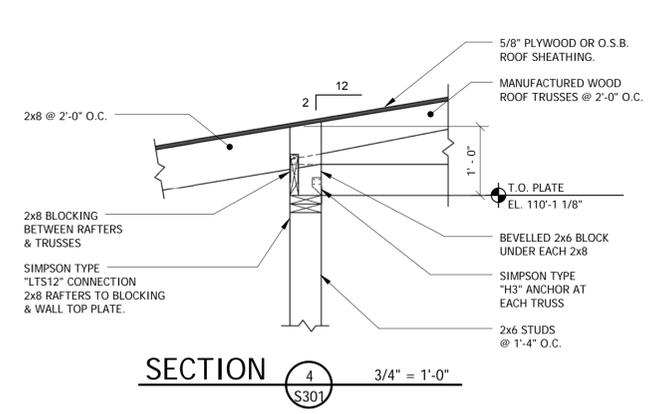
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PROJECT STATUS: 100% CD

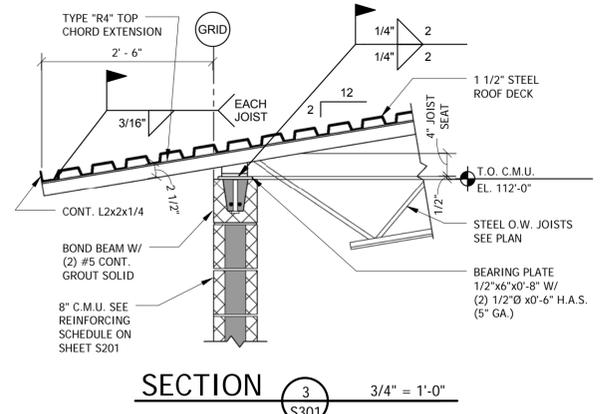
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DATE: 04/10/15 SHEET NO:

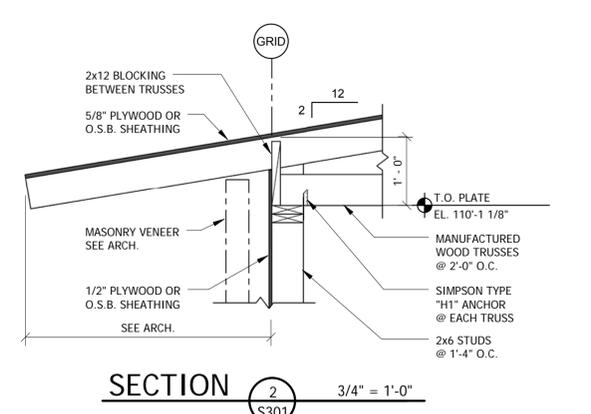
PROJECT NO: 14.108 **S301**



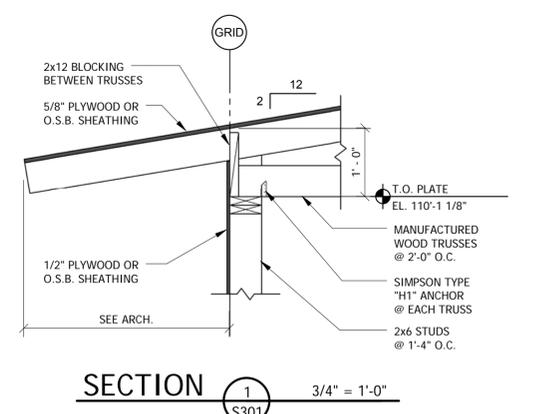
SECTION 4 3/4" = 1'-0"  
S301



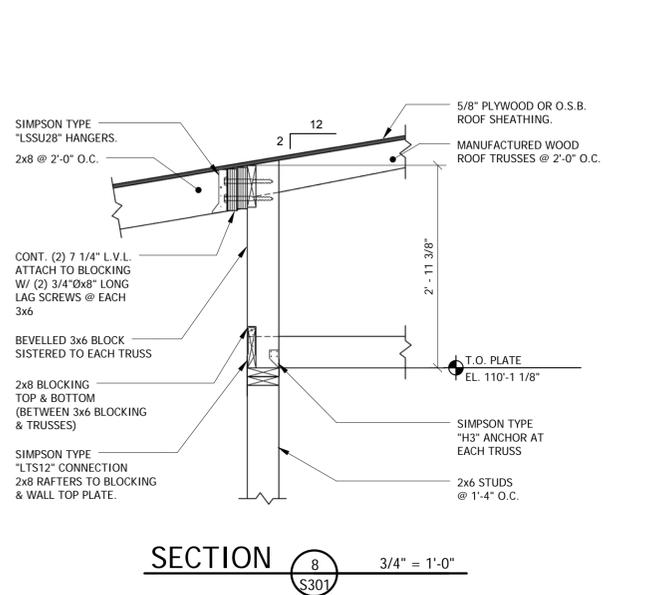
SECTION 3 3/4" = 1'-0"  
S301



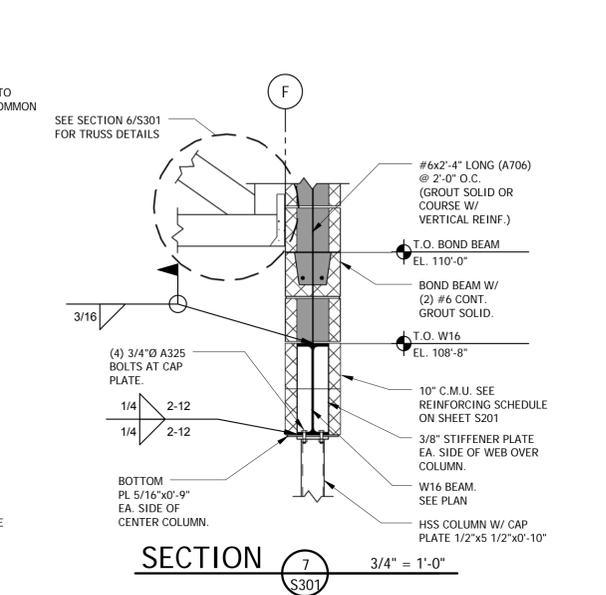
SECTION 2 3/4" = 1'-0"  
S301



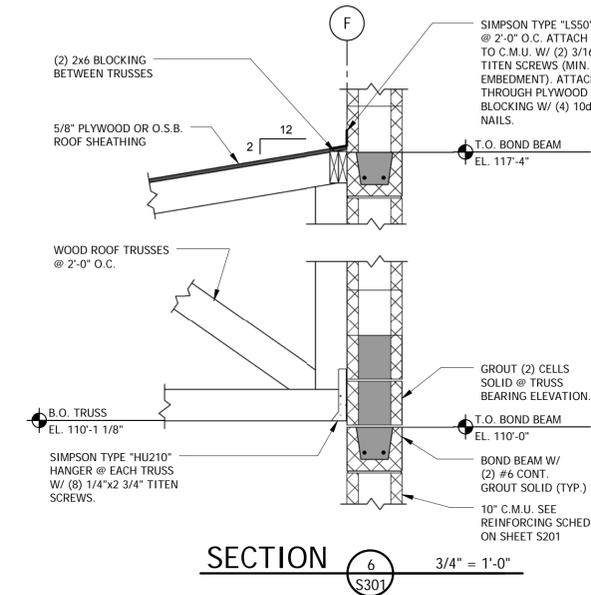
SECTION 1 3/4" = 1'-0"  
S301



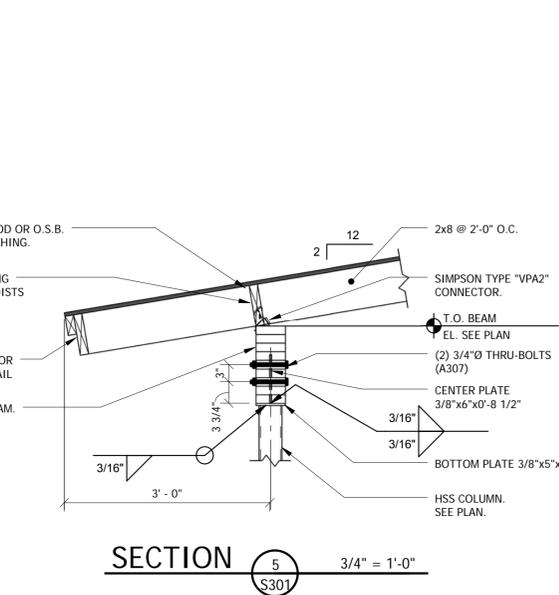
SECTION 8 3/4" = 1'-0"  
S301



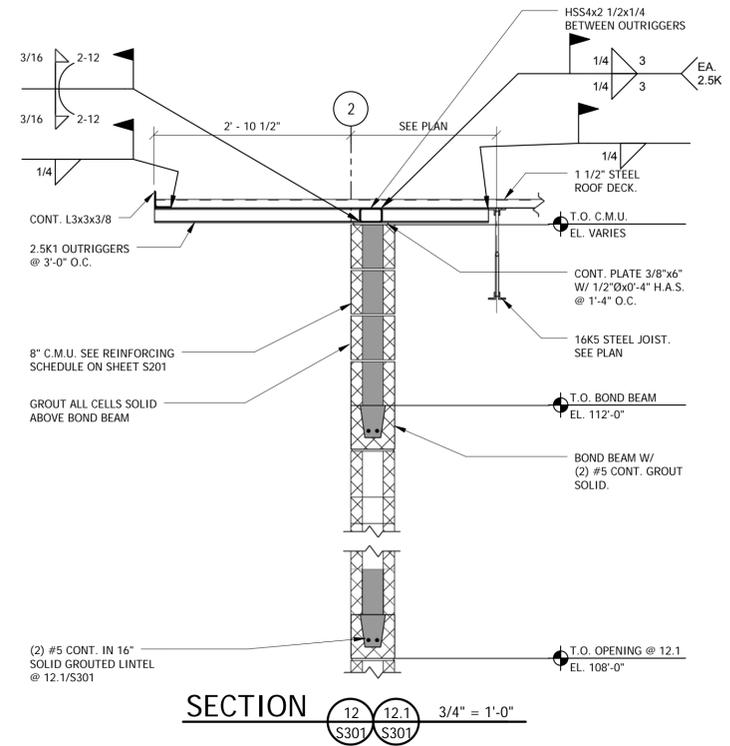
SECTION 7 3/4" = 1'-0"  
S301



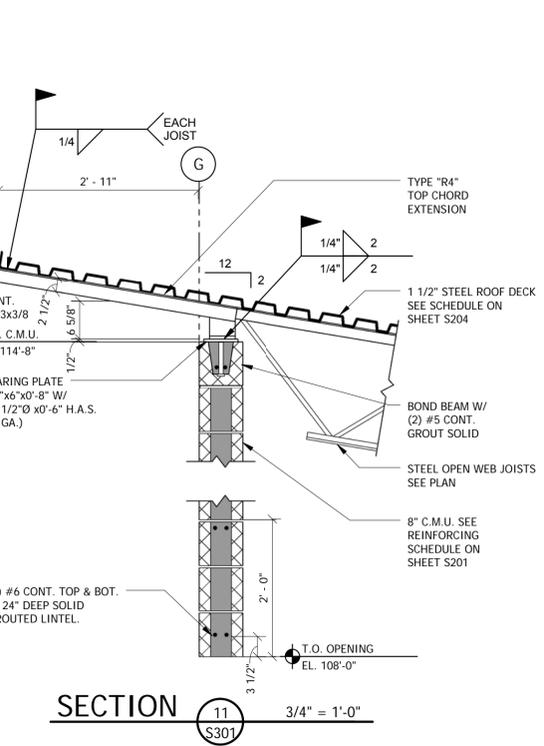
SECTION 6 3/4" = 1'-0"  
S301



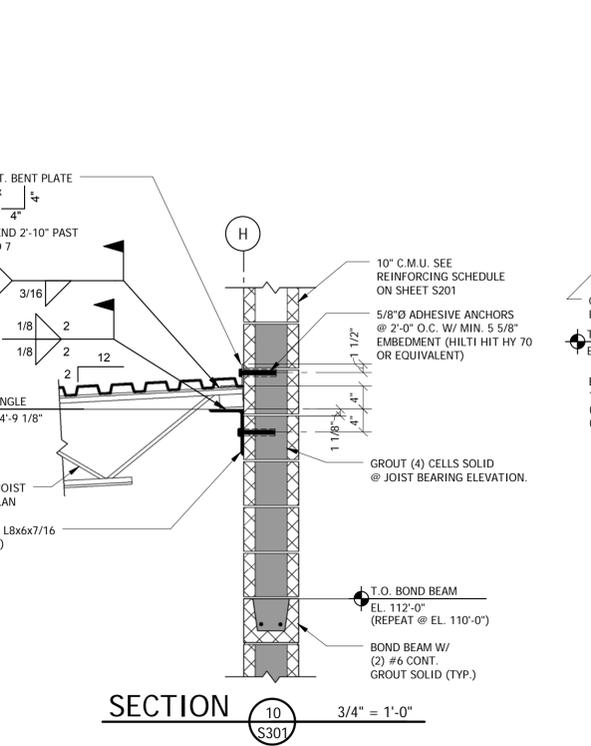
SECTION 5 3/4" = 1'-0"  
S301



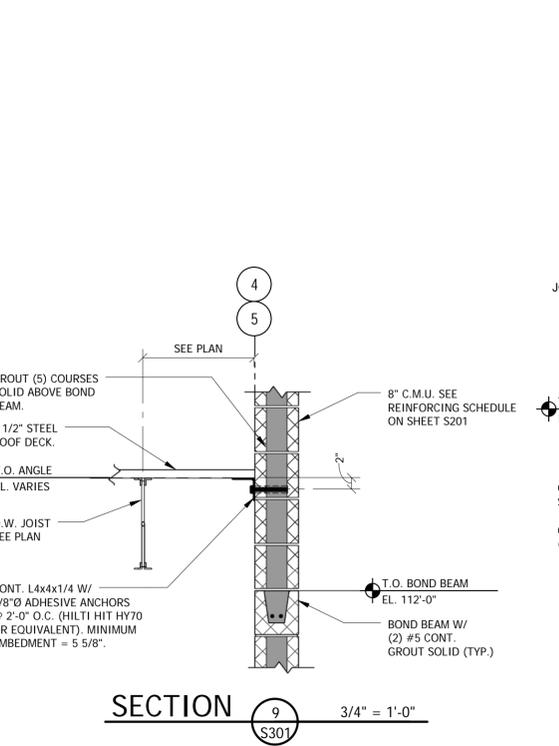
SECTION 12 3/4" = 1'-0"  
S301



SECTION 11 3/4" = 1'-0"  
S301

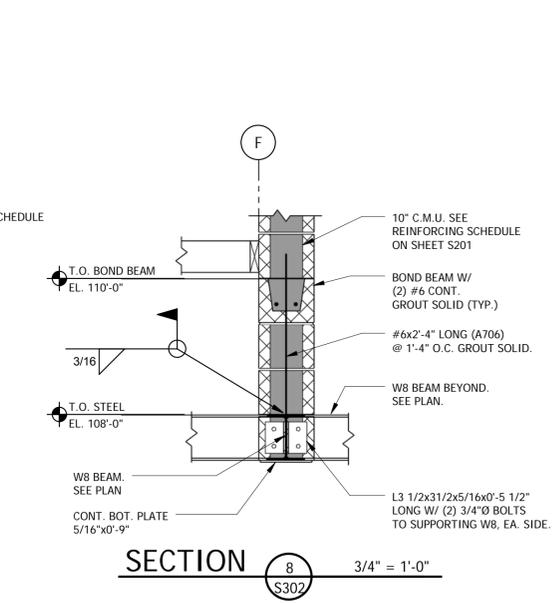
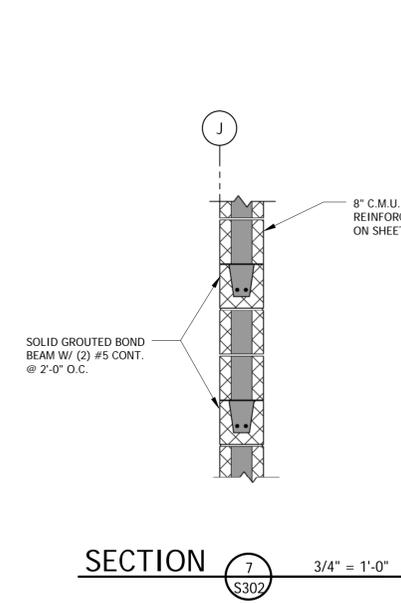
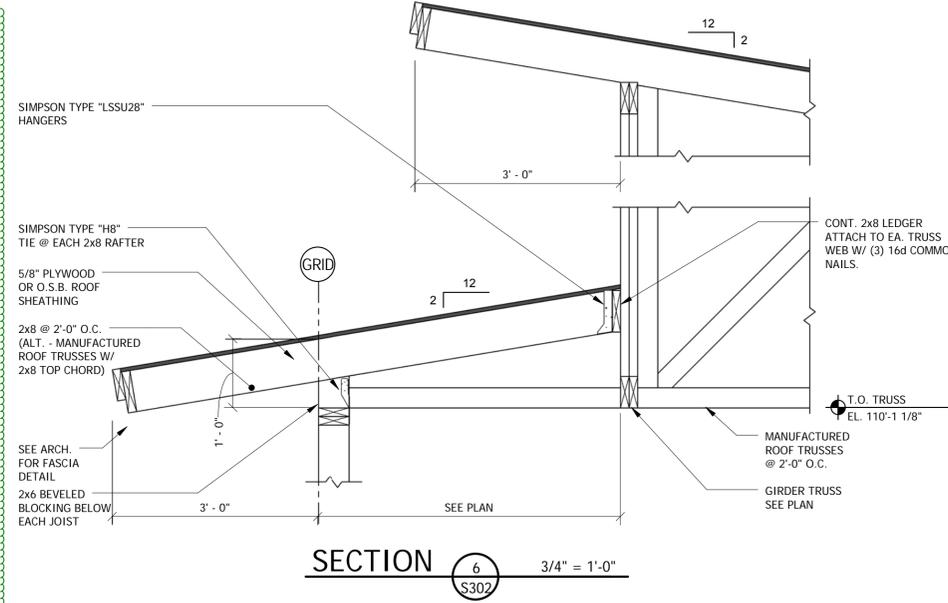
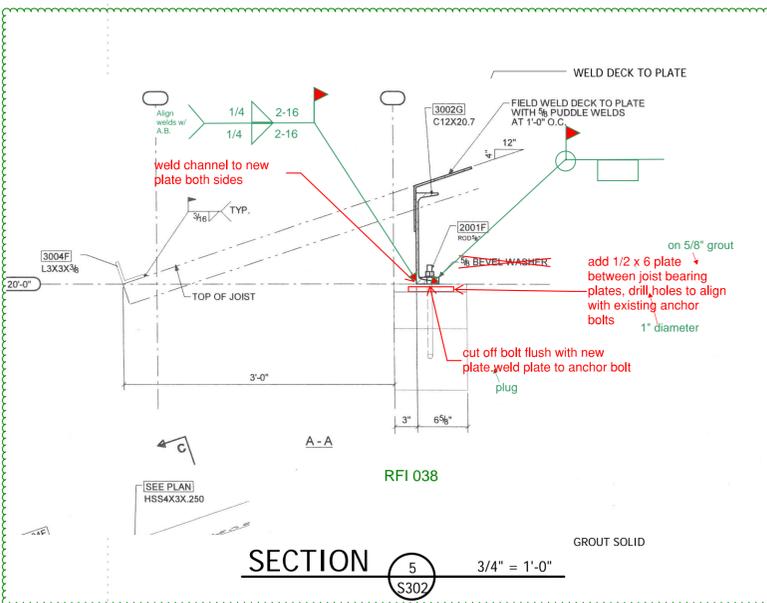
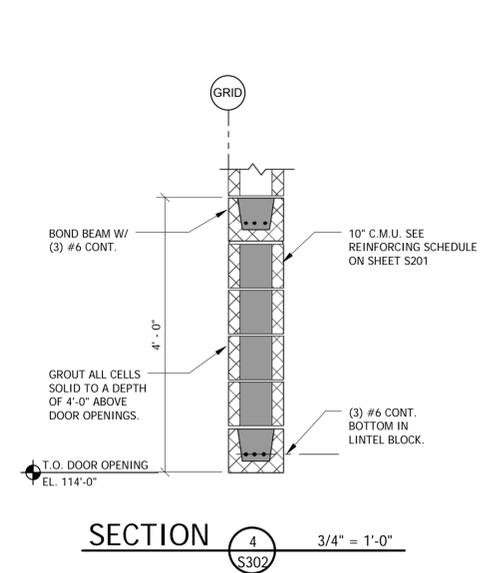
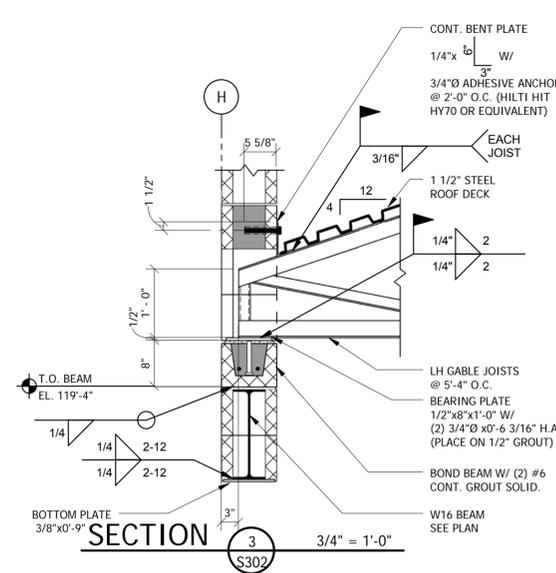
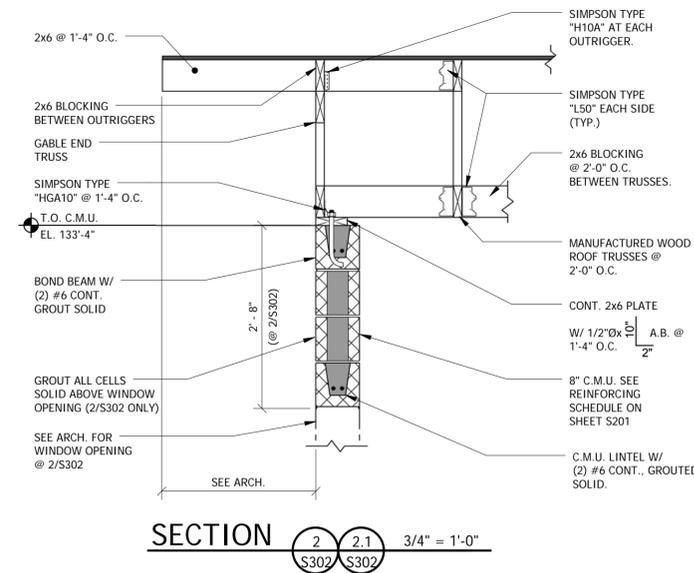
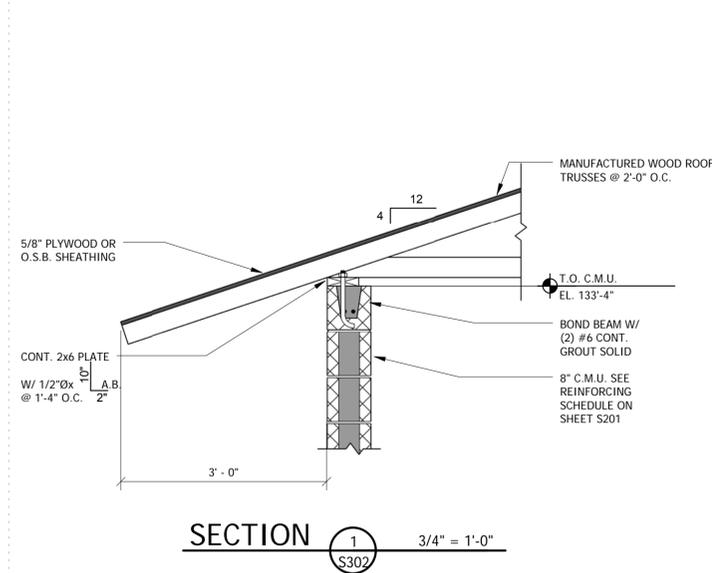


SECTION 10 3/4" = 1'-0"  
S301



SECTION 9 3/4" = 1'-0"  
S301

TS3 1/2"x2 1/2"x 1/4" ok RFI 017



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

FRAMING  
SECTIONS

NO: ISSUED FOR: DATE:



PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE:

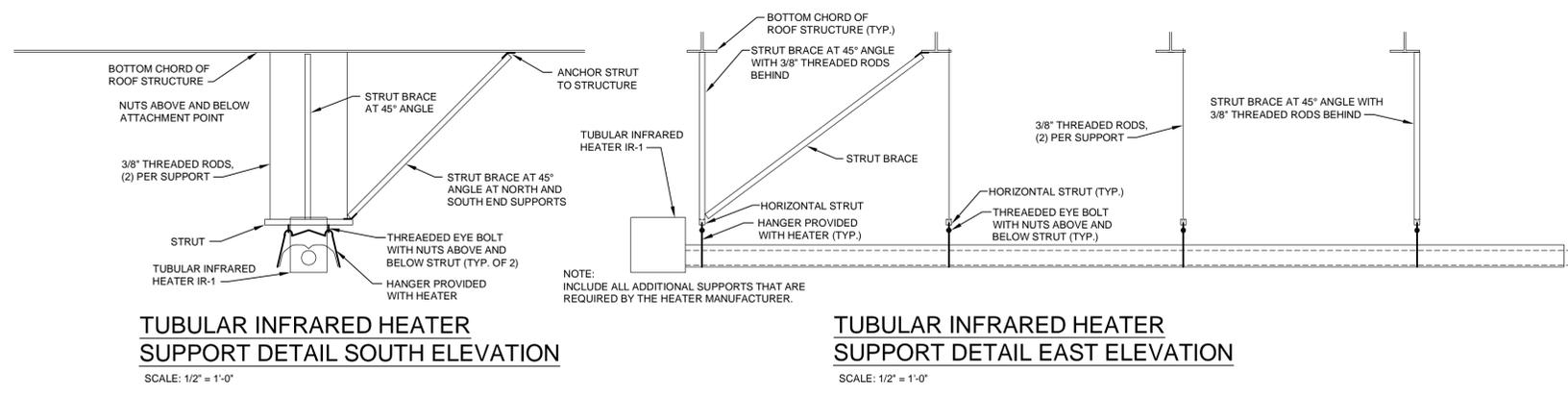
04/10/15

SHEET NO:

PROJECT NO:

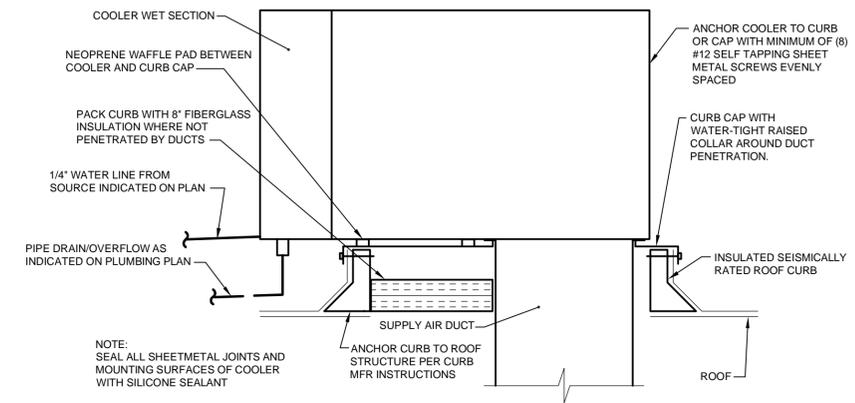
14.108

**S302**

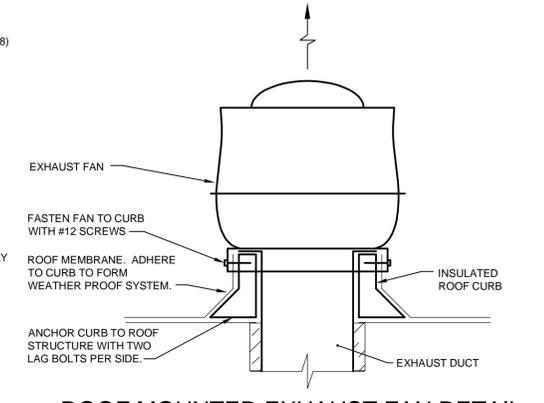


**TUBULAR INFRARED HEATER  
SUPPORT DETAIL SOUTH ELEVATION**  
SCALE: 1/2" = 1'-0"

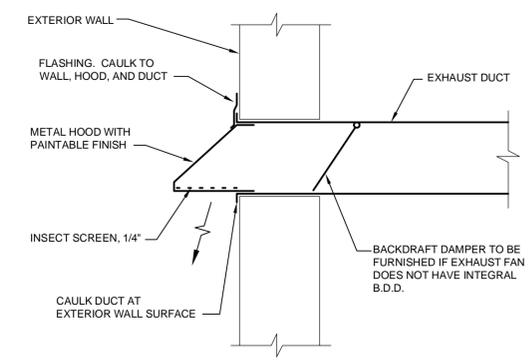
**TUBULAR INFRARED HEATER  
SUPPORT DETAIL EAST ELEVATION**  
SCALE: 1/2" = 1'-0"



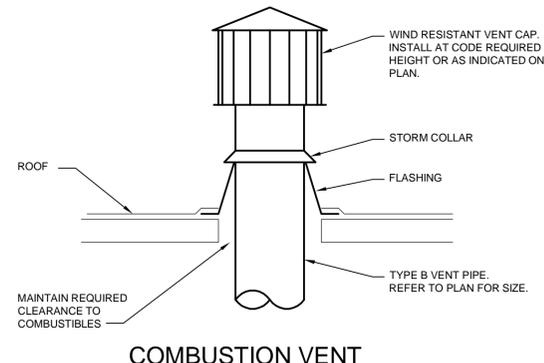
**EVAPORATIVE COOLER MOUNTING DETAIL (BASE BID)**  
NO SCALE



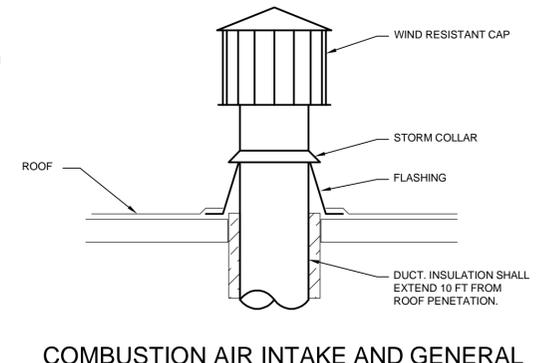
**ROOF MOUNTED EXHAUST FAN DETAIL**  
NO SCALE



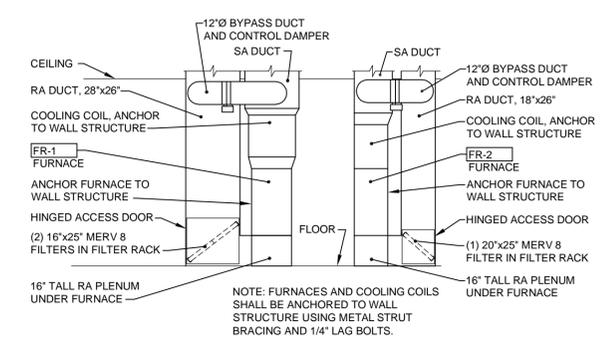
**EXHAUST WALL JACK DETAIL**  
NO SCALE



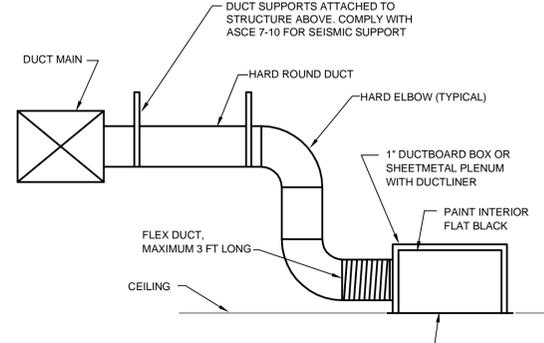
**COMBUSTION VENT  
THROUGH ROOF DETAIL**  
NO SCALE



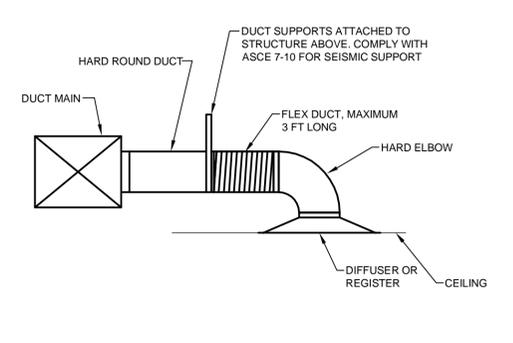
**COMBUSTION AIR INTAKE AND GENERAL  
EXHAUST THROUGH ROOF DETAIL**  
NO SCALE



**FURNACE DUCT AND FILTER  
INSTALLATION DETAIL**  
SCALE: 1/4" = 1'-0"



**BRANCH RETURN DUCT AND  
CEILING GRILLE INSTALLATION DETAIL**  
NO SCALE



**BRANCH SUPPLY DUCT  
INSTALLATION DETAIL**  
NO SCALE

**ORCHARD MESA  
FIRE STATION #4**

GRAND JUNCTION, COLORADO

**MECHNICAL DETAILS**

NO: ISSUED FOR: DATE:



PROJECT STATUS:  
CONSTRUCTION DOCUMENTS

DRAWN BY: DCR CHECKED BY:

DATE:  
**04/10/2015** SHEET NO.:

PROJECT NO:  
**1443** **M301**

4/10/2015 2:18:05 PM

C:\RALSTON\MECHANICAL\JOB FILES\14-015-CM\FR\_SIBROV\_614\015P101.dwg



GENERAL NOTES

THE MECHANICAL CONTENT OF THIS DRAWING IS DIAGRAMMATIC AND NOT NECESSARILY TO SCALE.

THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LOCATIONS OF DUCTWORK, EQUIPMENT, PIPING, AND SUPPORTS IN ORDER TO COORDINATE WITH BUILDING CONSTRUCTION AND WORK OF OTHER TRADES.

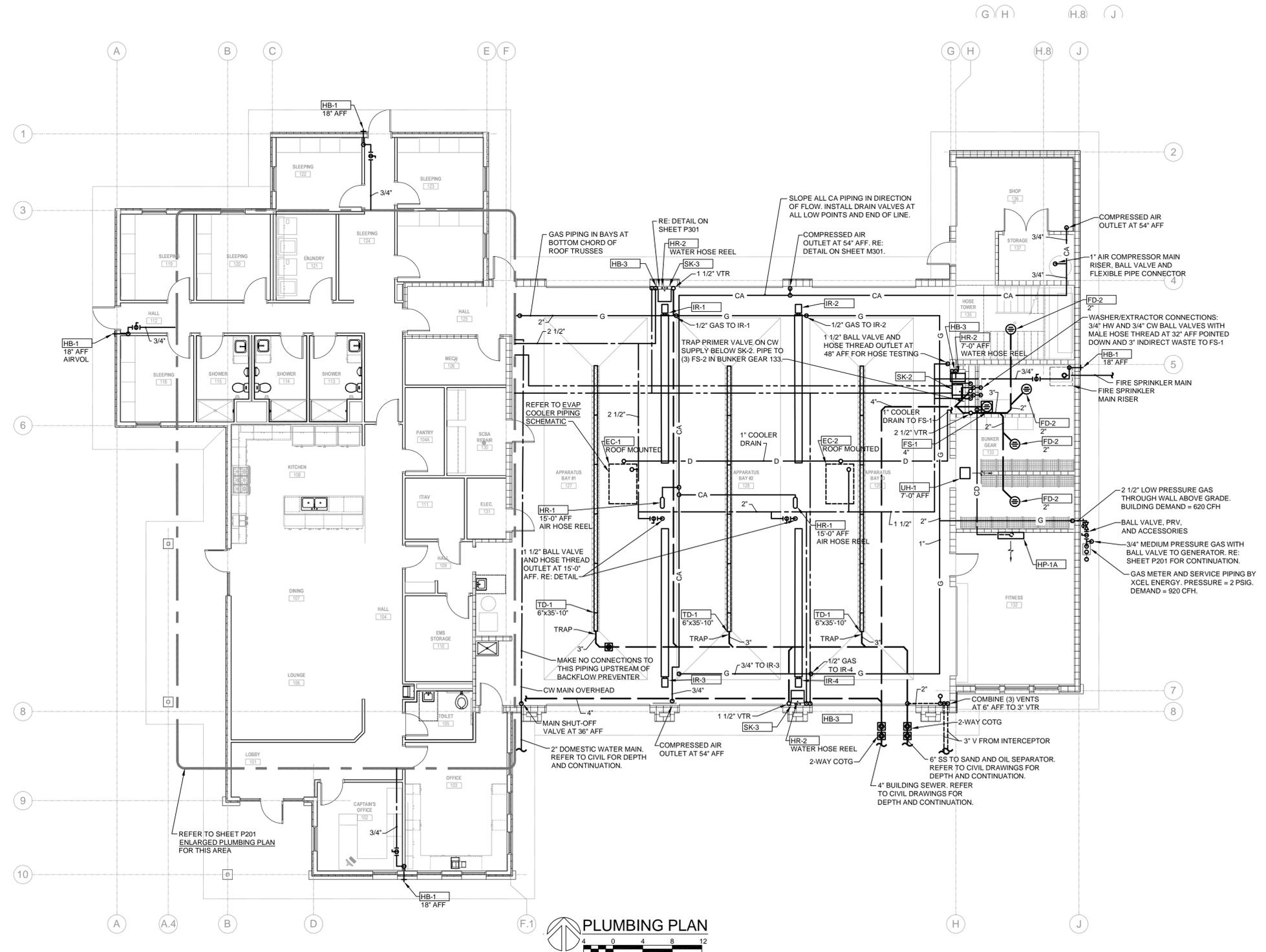
REFER TO SCHEDULES AND SPECIFICATIONS FOR EQUIPMENT AND MATERIALS OF CONSTRUCTION.

INSTALL WASTE PIPING CLEANOUTS WHERE INDICATED AND AS REQUIRED BY 2012 INTERNATIONAL PLUMBING CODE.

WATER PIPING SHALL BE INSTALLED TIGHT TO BOTTOM CHORD OF ROOF TRUSSES AND MUST BE COORDINATED WITH DUCTWORK INSTALLATION DUE TO SEVERELY LIMITED SPACE ABOVE CEILINGS.

EQUIPMENT AND PIPING SHALL BE SUPPORTED AND BRACED IN COMPLIANCE WITH ASCE STANDARD 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.

ALL HORIZONTAL PIPING IN APPARATUS BAYS SHALL BE SUPPORTED AT UNDERSIDE OF ROOF STRUCTURE USING METAL STRUT AND PIPING CLAMPS. PROVIDE SHIMS TO ACHIEVE PROPER SLOPE.



ORCHARD MESA  
FIRE STATION #4

GRAND JUNCTION, COLORADO

PLUMBING PLAN

NO: ISSUED FOR: DATE:



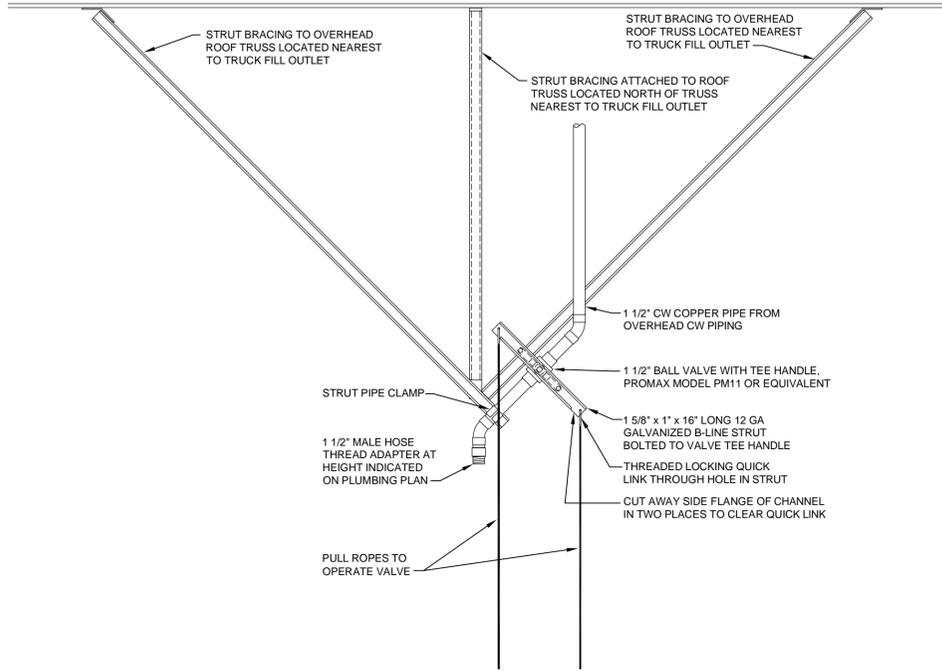
PROJECT STATUS:  
CONSTRUCTION DOCUMENTS

DRAWN BY: DCR CHECKED BY:

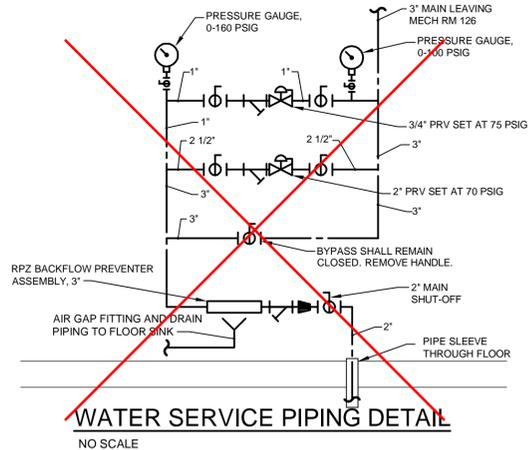
DATE:  
04/10/2015 SHEET NO:

PROJECT NO:  
1443 P101

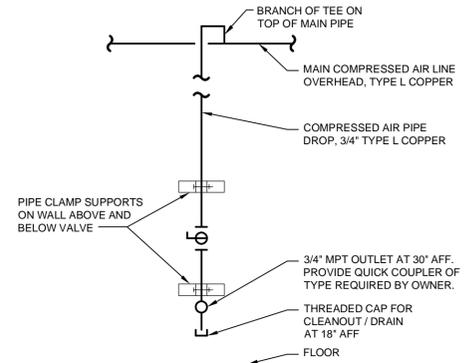




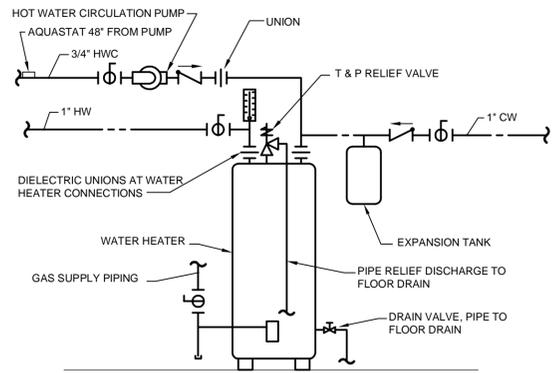
**TRUCK FILL WATER VALVE DETAIL**  
SCALE: 1" = 1'-0"



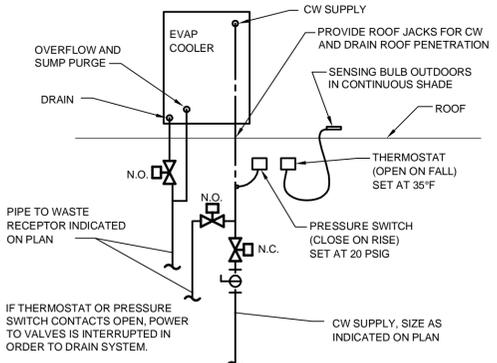
**WATER SERVICE PIPING DETAIL**  
NO SCALE



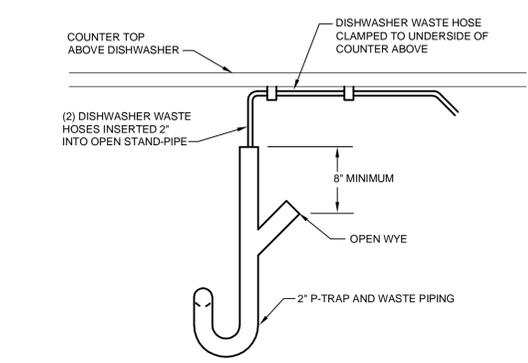
**COMPRESSED AIR DROP DETAIL**  
NO SCALE



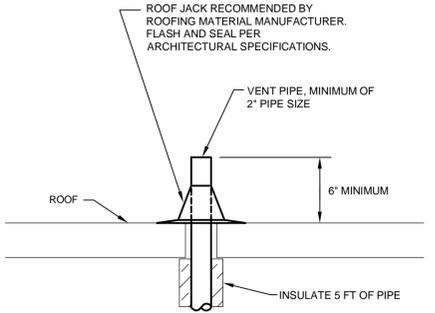
**GAS WATER HEATER PIPING DETAIL**  
NO SCALE



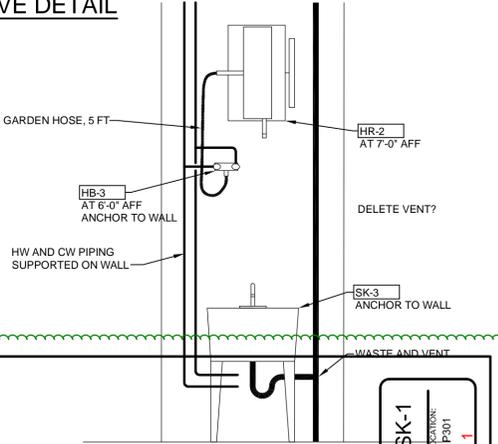
**EVAPORATIVE COOLER PIPING SCHEMATIC**  
NO SCALE



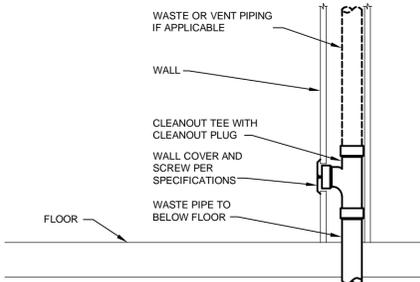
**DISHWASHER WASTE CONNECTION DETAIL**  
NO SCALE



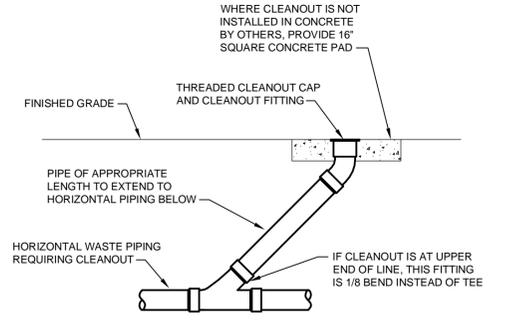
**VENT THROUGH ROOF DETAIL**  
NO SCALE



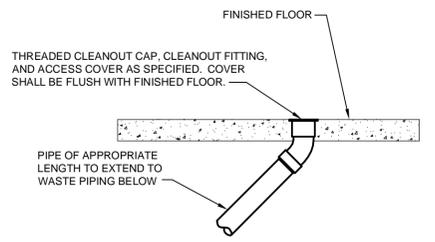
**SK-3 AND HR-2 PIPING DETAIL**  
SCALE: 1/2" = 1'-0"



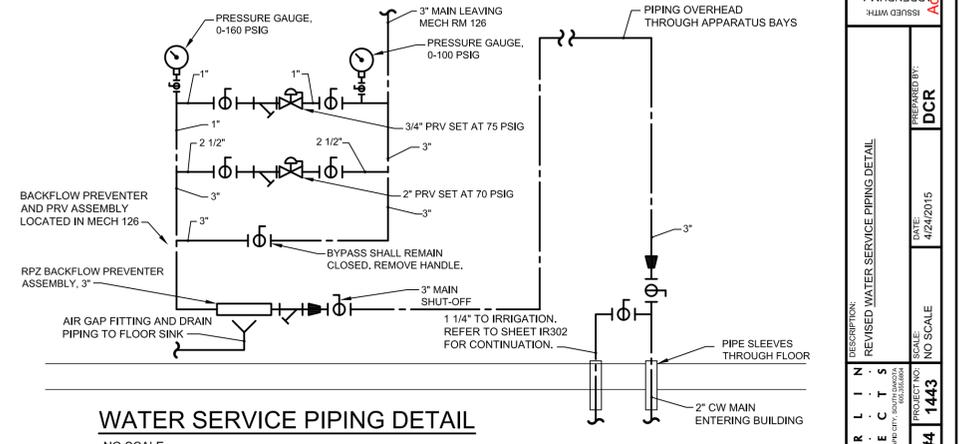
**WALL CLEANOUT (W.C.O.) DETAIL**



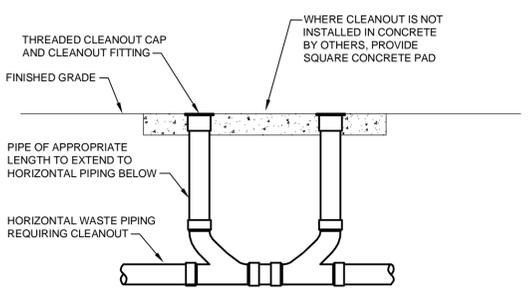
**CLEANOUT TO GRADE (C.O.T.G.) DETAIL**



**FLOOR CLEANOUT (F.C.O.) DETAIL**  
NO SCALE



**WATER SERVICE PIPING DETAIL**  
NO SCALE



**TWO-WAY CLEANOUT TO GRADE DETAIL**  
NO SCALE

**PSK-1**  
 REVISION: P301  
 ACTION: Addendum 1  
 PREPARED BY: DCR  
 DATE: 4/24/2015  
 SCALE: NO SCALE  
 PROJECT NO: 1443  
**STATION #4**  
 CHAMBERLIN ARCHITECTS  
 356 ECHO CANYON COURT, GRAND JUNCTION, CO 81507-9594  
 PHONE 970-434-8819 / FAX 970-434-8815 / CELL 970-280-1781 / cinfo@chamberlin.net



**ORCHARD MESA FIRE STATION #4**

GRAND JUNCTION, COLORADO

**PLUMBING DETAILS**

NO: ISSUED FOR: DATE:



PROJECT STATUS:  
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**04/10/2015** SHEET NO:

PROJECT NO:  
**1443** **P301**

