Request for Proposal
RFP-4703-19-DH

City of Grand Junction Fire Station #6
CM/GC

RESPONSES DUE:
October 17, 2019 prior to 3:30 PM MST
Accepting Electronic Responses Only
Responses Only Submitted Through the Rocky Mountain E-Purchasing System (RMEPS)
https://www.rockymountainbidsystem.com/default.asp
(Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor MUST contact RMEPS to resolve issue prior to the response deadline. 800-835-4603)

PURCHASING REPRESENTATIVE:
Duane Hoff Jr., Senior Buyer
duaneh@gjcity.org
(970) 244-1545

This solicitation has been developed specifically for a Request for Proposal intended to solicit competitive responses for this solicitation, and may not be the same as previous City of Grand Junction solicitations. All offerors are urged to thoroughly review this solicitation prior to submitting. Submittal by **FAX, EMAIL or HARD COPY IS NOT ACCEPTABLE** for this solicitation.

REQUEST FOR PROPOSAL

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REQUEST FOR PROPOSAL

SECTION 1.0: ADMINISTRATIVE INFORMATION & CONDITIONS FOR SUBMITTAL

1.1 Issuing Office: This Request for Proposal (RFP) is issued by the City of Grand Junction, on behalf of the Fire Department. All contact regarding this RFP is directed to:

RFP QUESTIONS:
Duane Hoff Jr., Senior Buyer
duaneh@gjcity.orgl

1.2 Purpose: The purpose of this RFP is to obtain proposals from qualified professional Firms, interested in providing CONSTRUCTION MANAGEMENT/GENERAL CONTRACTOR (CM/GC) services for the proposed Fire Station #6 which shall be new construction. The project will be located at 731 27 Road, Grand Junction, CO. The City has selected Chamberlin Architects as the design firm. This proposal includes pre-construction services for work with the City and the Architect during design.

1.3 The Owner: The Owner is the City of Grand Junction, Colorado and is referred to throughout this Solicitation. The term Owner means the Owner or his authorized representative.

1.4 Mandatory Pre-Proposal Briefing: A **mandatory** pre-proposal briefing is required by all contractors intending to submit a response to this RFP. Any contractor that does not attend the **mandatory** pre-proposal briefing shall not be eligible to submit a response to this RFP. **The pre-proposal briefing shall be held at City Hall Auditorium, 250 N. 5th Street, Grand Junction, CO on October 2, 2019 at 2:30pm.**

1.5 Compliance: All participating Offerors, by their signature hereunder, shall agree to comply with all conditions, requirements, and instructions of this RFP as stated or implied herein. Should the Owner omit anything from this packet which is necessary to the clear understanding of the requirements, or should it appear that various instructions are in conflict, the Offeror(s) shall secure instructions from the Purchasing Division prior to the date and time of the submittal deadline shown in this RFP.

1.6 Submission: Please refer to section 5.0 for what is to be included. ***Each proposal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (https://www.rockymountainbidsystem.com/default.asp).*** *This site offers both "free" and "paying" registration options that allow for full access of the Owner's documents and for electronic submission of proposals. (Note: "free" registration may take up to 24 hours to process. Please Plan accordingly.)* Please view our "**Electronic Vendor Registration Guide"** at http://www.gjcity.org/business-and-economic-development/bids/ for details. For proper comparison and evaluation, the City requests that proposals be formatted as directed in Section 5.0 "Preparation and Submittal of Proposals." Submittals received that fail to follow this format may be ruled non-responsive. (Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline. **800-835-4603**).

1.7 Altering Proposals: Any alterations made prior to opening date and time must be initialed by the signer of the proposal, guaranteeing authenticity. Proposals cannot be altered or amended after submission deadline.

1.8 Withdrawal of Proposal: A proposal must be firm and valid for award and may not be withdrawn or canceled by the Offeror for sixty (60) days following the submittal deadline date, and only prior to award. The Offeror so agrees upon submittal of their proposal. After award this statement is not applicable.

1.9 Acceptance of Proposal Content: The contents of the proposal of the successful Offeror shall become contractual obligations if acquisition action ensues. Failure of the successful Offeror to accept these obligations in a contract shall result in cancellation of the award and such vendor shall be removed from future solicitations.

1.10 Addenda: All questions shall be submitted in writing to the appropriate person as shown in Section 1.1. Any interpretations, corrections and changes to this RFP or extensions to the opening/receipt date shall be made by a written Addendum to the RFP by the City Purchasing Division. Sole authority to authorize addenda shall be vested in the City of Grand Junction Purchasing Representative. Addenda will be issued electronically through the Rocky Mountain E-Purchasing website at www.rockymountainbidsystem.com. Offerors shall acknowledge receipt of all addenda in their proposal.

1.11 Exceptions and Substitutions: All proposals meeting the intent of this RFP shall be considered for award. Offerors taking exception to the specifications shall do so at their own risk. The Owner reserves the right to accept or reject any or all substitutions or alternatives. When offering substitutions and/or alternatives, Offeror must state these exceptions in the section pertaining to that area. Exception/substitution, if accepted, must meet or exceed the stated intent and/or specifications. The absence of such a list shall indicate that the Offeror has not taken exceptions, and if awarded a contract, shall hold the Offeror responsible to perform in strict accordance with the specifications or scope of work contained herein.

1.12 Confidential Material: All materials submitted in response to this RFP shall ultimately become public record and shall be subject to inspection after contract award. "**Proprietary or Confidential Information"** is defined as any information that is not generally known to competitors and which provides a competitive advantage. Unrestricted disclosure of proprietary information places it in the public domain. Only submittal information clearly identified with the words "***Confidential Disclosure***" and uploaded as a separate document shall establish a confidential, proprietary relationship. Any material to be treated as confidential or proprietary in nature must include a justification for the request. The request shall be reviewed and either approved or denied by the Owner. If denied, the proposer shall have the opportunity to withdraw its entire proposal, or to remove the confidential or proprietary restrictions. Neither cost nor pricing information nor the total proposal shall be considered confidential or proprietary.

1.13 Response Material Ownership: All proposals become the property of the Owner upon receipt and shall only be returned to the proposer at the Owner's option. Selection or rejection of the proposal shall not affect this right. The Owner shall have the right to use

all ideas or adaptations of the ideas contained in any proposal received in response to this RFP, subject to limitations outlined in the entitled "Confidential Material". Disqualification of a proposal does not eliminate this right.

1.14 Minimal Standards for Responsible Prospective Offerors: A prospective Offeror must affirmably demonstrate their responsibility. A prospective Offeror must meet the following requirements.

- Have adequate financial resources, or the ability to obtain such resources as required.
- Be able to comply with the required or proposed completion schedule.
- Have a satisfactory record of performance.
- Have a satisfactory record of integrity and ethics.
- Be otherwise qualified and eligible to receive an award and enter into a contract with the Owner.

1.15 Open Records: Proposals shall be received and publicly acknowledged at the location, date, and time stated herein. Offerors, their representatives and interested persons may be present. Proposals shall be received and acknowledged only so as to avoid disclosure of process. However, all proposals shall be open for public inspection after the contract is awarded. Trade secrets and confidential information contained in the proposal so identified by offer as such shall be treated as confidential by the Owner to the extent allowable in the Open Records Act.

1.16 Sales Tax: The Owner is, by statute, exempt from the State Sales Tax and Federal Excise Tax; therefore, all fees shall not include taxes.

1.17 Public Opening: Proposals shall be opened in the City Hall Auditorium, 250 North 5th Street, Grand Junction, CO, 81501, immediately following the proposal deadline. Offerors, their representatives and interested persons may be present. Only the names and locations on the proposing firms will be disclosed.

SECTION 2.0: GENERAL CONTRACT TERMS AND CONDITIONS

2.1. Acceptance of RFP Terms: A proposal submitted in response to this RFP shall constitute a binding offer. Acknowledgment of this condition shall be indicated on the Letter of Interest or Cover Letter by the autographic signature of the Offeror or an officer of the Offeror legally authorized to execute contractual obligations. A submission in response to the RFP acknowledges acceptance by the Offeror of all terms and conditions including compensation, as set forth herein. An Offeror shall identify clearly and thoroughly any variations between its proposal and the Owner's RFP requirements. Failure to do so shall be deemed a waiver of any rights to subsequently modify the terms of performance, except as outlined or specified in the RFP.

2.2. Execution, Correlation, Intent, and Interpretations: The Contract Documents shall be signed by the Owner and Contractor. By executing the contract, the Contractor represents that they have familiarized themselves with the local conditions under which the Work is to be performed, and correlated their observations with the requirements of the Contract Documents. The Contract Documents are complementary, and what is

required by any one, shall be as binding as if required by all. The intention of the documents is to include all labor, materials, equipment, services and other items necessary for the proper execution and completion of the scope of work as defined in the technical specifications and drawings contained herein. All drawings, specifications and copies furnished by the Owner are, and shall remain, Owner property. They are not to be used on any other project.

2.3. Permits, Fees, & Notices: The Contractor shall secure and pay for all permits, governmental fees and licenses necessary for the proper execution and completion of the work. The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations and orders of any public authority bearing on the performance of the work. If the Contractor observes that any of the Contract Documents are at variance in any respect, he shall promptly notify the Owner in writing, and any necessary changes shall be adjusted by approximate modification. If the Contractor performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Owner, he shall assume full responsibility and shall bear all costs attributable.

2.4. The Owner: The Owner is the City of Grand Junction and/or Mesa County, Colorado and is referred to throughout the Contract Documents. The term Owner means the Owner or his authorized representative. The Owner shall, at all times, have access to the work wherever it is in preparation and progress. The Contractor shall provide facilities for such access. The Owner will make periodic visits to the site to familiarize himself generally with the progress and quality of work and to determine, in general, if the work is proceeding in accordance with the contract documents. Based on such observations and the Contractor's Application for Payment, the Owner will determine the amounts owing to the Contractor and will issue Certificates for Payment in such amounts, as provided in the contract. The Owner will have authority to reject work which does not conform to the Contract documents. Whenever, in his reasonable opinion, he considers it necessary or advisable to insure the proper implementation of the intent of the Contract Documents, he will have authority to require the Contractor to stop the work or any portion, or to require special inspection or testing of the work, whether or not such work can be then be fabricated, installed, or completed. The Owner will not be responsible for the acts or omissions of the Contractor, and sub-Contractor, or any of their agents or employees, or any other persons performing any of the work.

2.5. Contractor: The Contractor is the person or organization identified as such in the Agreement and is referred to throughout the Contract Documents. The term Contractor means the Contractor or his authorized representative. The Contractor shall carefully study and compare the General Contract Conditions of the Contract, Specification and Drawings, Scope of Work, Addenda and Modifications and shall at once report to the Owner any error, inconsistency or omission he may discover. Contractor shall not be liable to the Owner for any damage resulting from such errors, inconsistencies or omissions. The Contractor shall not commence work without clarifying Drawings, Specifications, or Interpretations.

2.6. Sub-Contractors: A sub-contractor is a person or organization who has a direct contract with the Contractor to perform any of the work at the site. The term sub-contractor is referred to throughout the contract documents and means a sub-contractor or his authorized representative.

2.7. Award of Sub-Contractors & Other Contracts for Portions of the Work: As soon as practicable after bids are received and prior to the award of the contract, the successful Contractor shall furnish to the Owner, in writing for acceptance, a list of the names of the sub-contractors or other persons or organizations proposed for such portions of the work as may be designated in the proposal requirements, or, if none is so designated, the names of the sub-contractors proposed for the principal portions of the work. Prior to the award of the contract, the Owner shall notify the successful Contractor in writing if, after due investigation, has reasonable objection to any person or organization on such list. If, prior to the award of the contract, the Owner has a reasonable and substantial objection to any person or organization on such list, and refuses in writing to accept such person or organization, the successful Contractor may, prior to the award, withdraw their proposal without forfeiture of proposal security. If the successful Contractor submits an acceptable substitute with an increase in the proposed price to cover the difference in cost occasioned by the substitution, the Owner may, at their discretion, accept the increased proposal or may disqualify the Contractor. If, after the award, the Owner refuses to accept any person or organization on such list, the Contractor shall submit an acceptable substitute and the contract sum shall be increased or decreased by the difference in cost occasioned by such substitution and an appropriate Change Order shall be issued. However, no increase in the contract sum shall be allowed for any such substitution unless the Contractor has acted promptly and responsively in submitting a name with respect thereto prior to the award.

2.8. Supervision and Construction Procedures: The Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.

2.9. Warranty: The Contractor warrants to the Owner that all materials and equipment furnished under this contract will be new unless otherwise specified, and that all work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All work not so conforming to these standards may be considered defective. If required by Owner, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment. If within ten (10) days after written notice to the Contractor requesting such repairs or replacement, the Contractor should neglect to make or undertake with due diligence to the same, the City may make such repairs or replacements. All indirect and direct costs of such correction or removal or replacement shall be at the Contractor's expense. The Contractor will also bear the expenses of making good all work of others destroyed or damaged by the correction, removal or replacement of his defective work.

2.10. Responsibility for those Performing the Work: The Contractor shall be responsible to the Owner for the acts and omissions of all his employees and all other persons performing any of the work under a contract with the Contractor.

2.11. Use of the Site: The Contractor shall confine operations at the site to areas permitted by law, ordinances, permits and the Contract Documents, and shall not unreasonably encumber the site with any materials or equipment.

2.12. Cleanup: The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of work he shall remove all his waste materials and rubbish from and about the project, as well as all his equipment and surplus materials.

2.13. Miscellaneous Conditions: Material Availability: Contractors must accept responsibility for verification of material availability, production schedules, and other pertinent data prior to submission of bid. It is the responsibility of the bidder to notify the Owner immediately if materials specified are discontinued, replaced, or not available for an extended period of time. OSHA Standards: All bidders agree and warrant that services performed in response to this invitation shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970 (OSHA). In the event the services do not conform to OSHA standards, the Owner may require the services to be redone at no additional expense to the Owner.

2.14. Time: Time is of the essence with respect to the time of completion of the Project and any other milestones or deadline which are part of the Contract. It will be necessary for each Bidder to satisfy the City of its ability to complete the Work within the Contract Time set forth in the Contract Documents. The Contract Time is the period of time allotted in the Contract Documents for completion of the work. The date of commencement of the work is the date established in a Notice to Proceed. If there is no Notice to Proceed, it shall be the date of the Contract or such other date as may be established therein, or as established as entered on the Bid Form. The Date of Substantial Completion of the work or designated portions thereof is the date certified by the Owner when construction is sufficiently complete, in accordance with the Contract Documents.

2.15. Performance & Payment Bonds: After design & construction documents completion, but prior to construction commencement, Contractor shall furnish a Performance and a Payment Bond, each in an amount at least equal to that specified for the contract amount as security for the faithful performance and payment of all Contractor's obligations under the Contract Documents. These bonds shall remain in effect for the duration of the Warranty Period (as specified in the Special Conditions). Contractor shall also furnish other bonds that may be required by the Special Conditions. All bonds shall be in the forms prescribed by the Contract Documents and be executed by such sureties as (1) are licensed to conduct business in the State of Colorado and (2) are named in the current list of "Companies Holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies" as published in Circular 570 (amended) by the Audit Staff, Bureau of Accounts, U.S. Treasury Department. All bonds singed by an agent must be accompanied by a certified copy of the Authority Act. If the surety on any bond furnished by the Contractor is declared bankrupt, or becomes insolvent, or its rights to do business in Colorado are terminated, or it ceases to meet the requirements of clauses (1) and (2) of this section, Contractor shall within five (5) days thereafter substitute another bond and surety, both of which shall be acceptable to the City.

2.16. Retention: The Owner will deduct money from the partial payments in amounts considered necessary to protect the interest of the Owner and will retain this money until after completion of the entire contract. The amount to be retained from partial payments will be five (5) percent of the value of the completed work, and not greater than

five (5) percent of the amount of the Contract. When the retainage has reached five (5) percent of the amount of the Contract no further retainage will be made and this amount will be retained until such time as final payment is made.

2.17. Liquidated Damages for Failure to Enter Into Contract: Should the Successful Bidder fail or refuse to enter into the Contract within ten Calendar Days from the issuance of the Notice of Award, the City shall be entitled to collect the amount of such Bidder's Bid Guaranty as Liquidated Damages, not as a penalty but in consideration of the mutual release by the City and the Successful Bidder of all claims arising from the City's issuance of the Notice of Award and the Successful Bidder's failure to enter into the Contract and the costs to award the Contract to any other Bidder, to readvertise, or otherwise dispose of the Work as the City may determine best serves its interest.

2.18. Liquidated Damages for Failure to Meet Project Completion Schedule: Once a construction schedule is set and agreed upon by both Owner and Contractor, if the Contractor does not achieve Final Completion by the required date, whether by neglect, refusal or any other reason, the parties agree and stipulate that the Contractor shall pay liquidated damages to the City for each such day that final completion is late. As provided elsewhere, this provision does not apply for delays caused by the City. The date for Final Completion may be extended in writing by the Owner.

The Contractor agrees that as a part of the consideration for the City's awarding of this Contract liquidated damages in the daily amount of **$1,000.00** is reasonable and necessary to pay for the actual damages resulting from such delay. The parties agree that the real costs and injury to the City for such delay include hard to quantify items such as: additional engineering, inspection and oversight by the City and its agents; additional contract administration; inability to apply the efforts of those employees to the other work of the City; perceived inefficiency of the City; citizens having to deal with the construction and the Work, rather than having the benefit of a completed Work, on time; inconvenience to the public; loss of reputation and community standing for the City during times when such things are very important and very difficult to maintain.

The Contractor must complete the Work and achieve final completion included under the Bid Schedule in the number of consecutive calendar days after the City gives is written Notice to Proceed. When the Contractor considers the entire Work ready for its intended use, Contractor shall certify in writing that the Work is substantially complete. In addition to the Work being substantially complete, Final Completion date is the date by which the Contractor shall have fully completed all clean-up, and all items that were identified by the City in the inspection for final completion. Unless otherwise stated in the Special Conditions, for purposes of this liquidated damages clause, the Work shall not be finished and the Contract time shall continue to accrue until the City gives its written Final Acceptance.

If the Contractor shall fail to pay said liquidated damages promptly upon demand thereof after having failed to achieve Final Completion on time, the City shall first look to any retainage or other funds from which to pay said liquidated damages; if retainage or other liquid funds are not available to pay said liquidated damages amounts, the Surety on the Contractor's Performance Bond and Payment Bond shall pay such liquidated damages.

In addition, the City may withhold all, or any part of, such liquidated damages from any payment otherwise due the Contractor.
Liquidated damages as provided do not include any sums to reimburse the City for extra costs which the City may become obligated to pay on other contracts which were delayed or extended because of the Contractor's failure to complete the Work within the Contract Time. Should the City incur additional costs because of delays or extensions to other contracts resulting from the Contractor's failure of timely performance, the Contractor agrees to pay these costs that the City incurs because of the Contractor's delay, and these payments are separate from and in addition to any liquidated damages.

The Contractor agrees that the City may use its own forces or hire other parties to obtain Substantial or Final Completion of the work if the time of completion has elapsed and the Contractor is not diligently pursuing completion. In addition to the Liquidated Damages provided for, the Contractor agrees to reimburse the City for all expenses thus incurred.

2.19. Contingency/Force Account: Contingency/Force Account work will be authorized by the Owner's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. The expenses are not included in the Drawings, Specifications, or Scope of Work and are necessary to accomplish the scope of this contract. Contingency/Force Account Authorization will be directed by the Owner through an approved form. Contingency/Force Account funds are the property of the Owner and any Contingency/Force Account funds, not required for project completion, shall remain the property of the Owner. Contractor is not entitled to any Contingency/Force Account funds, that are not authorized by Owner or Owner's Project Manager.

2.20. Claims for Additional Cost or Time: If the Contractor wishes to make a claim for an increase in the contract sum or an extension in the contract time, he shall give the Owner written notice thereof within a reasonable time after the occurrence of the event giving rise to such claim. This notice shall be given by the Contractor before proceeding to execute the work, except in an emergency endangering life or property in which case the Contractor shall precede in accordance with the regulations on safety. No such claim shall be valid unless so made. Any change in the contract sum or contract time resulting from such claim shall be authorized by Change Order.

2.21. Field Orders: The Owner may issue written Field Orders which interpret the Contract Documents in accordance with the specifications, or which order minor changes in the work in accordance with the agreement, without change in the contract sum or time. The Contractor shall carry out such Field Orders promptly.

2.22. Progress & Completion: The Contractor shall begin work on the date of commencement as defined in the Contract, and shall carry the work forward expeditiously with adequate forces and shall complete it within the contract time.

2.23. Payment & Completion: The Contract Sum is stated in the Contract and is the total amount payable by the Owner to the Contractor for the performance of the work under the Contract Documents. Upon receipt of written notice that the work is ready for final inspection and acceptance and upon receipt of application for payment, the Owner's Project Manager will promptly make such inspection and, when they find the work

acceptable under the Contract Documents and the Contract fully performed, the Owner shall make payment in the manner provided in the Contract Documents. Partial payments will be based upon estimates, prepared by the Contractor, of the value of Work performed and materials placed in accordance with the Contract Documents. The work performed by Contractor shall be in accordance with generally accepted professional practices and the level of competency presently maintained by other practicing professional firms in the same or similar type of work in the applicable community. The work and services to be performed by Contractor hereunder shall be done in compliance with applicable laws, ordinances, rules and regulations.

2.24. Protection of Persons & Property: The Contractor shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. Contractor shall erect and maintain, as required by existing safeguards for safety and protection, and all reasonable precautions, including posting danger signs or other warnings against hazards promulgating safety regulations and notifying owners and users of adjacent utilities. When or where any direct or indirect damage or injury is done to public or private property by or on account of any act, omission, neglect, or misconduct by the Contractor in the execution of the work, or in consequence of the non-execution thereof by the Contractor, they shall restore, at their own expense, such property to a condition similar or equal to that existing before such damage or injury was done, by repairing, rebuilding, or otherwise restoring as may be directed, or it shall make good such damage or injury in an acceptable manner.

2.25. Changes in the Work: The Owner, without invalidating the contract, may order changes in the work within the general scope of the contract consisting of additions, deletions or other revisions, the contract sum and the contract time being adjusted accordingly. All such changes in the work shall be authorized by Change Order and shall be executed under the applicable conditions of the contract documents. A Change Order is a written order to the Contractor signed by the Owner issued after the execution of the contract, authorizing a change in the work or an adjustment in the contract sum or the contract time. The contract sum and the contract time may be changed only by Change Order.

2.26. Claims for Additional Cost or Time: If the Contractor wishes to make a claim for an increase in the contract sum or an extension in the contract time, he shall give the Owner written notice thereof within a reasonable time after the occurrence of the event giving rise to such claim. This notice shall be given by the Contractor before proceeding to execute the work, except in an emergency endangering life or property in which case the Contractor shall precede in accordance with the regulations on safety. No such claim shall be valid unless so made. Any change in the contract sum or contract time resulting from such claim shall be authorized by Change Order.

2.27. Minor Changes in the Work: The Owner shall have authority to order minor changes in the work not involving an adjustment in the contract sum or an extension of the contract time and not inconsistent with the intent of the contract documents.

2.28. Uncovering & Correction of Work: The Contractor shall promptly correct all work rejected by the Owner as defective or as failing to conform to the contract documents whether observed before or after substantial completion and whether or not fabricated

installed or competed. The Contractor shall bear all costs of correcting such rejected work, including the cost of the Owner's additional services thereby made necessary. If within one (1) year after the date of completion or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the contract documents, any of the work found to be defective or not in accordance with the contract documents, the Contractor shall correct it promptly after receipt of a written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition. The Owner shall give such notice promptly after discovery of condition. All such defective or non-conforming work under the above paragraphs shall be removed from the site where necessary and the work shall be corrected to comply with the contract documents without cost to the Owner. The Contractor shall bear the cost of making good all work of separate Contractors destroyed or damaged by such removal or correction. If the Owner prefers to accept defective or non-conforming work, he may do so instead of requiring its removal and correction, in which case a Change Order will be issued to reflect an appropriate reduction in the payment or contract sum, or, if the amount is determined after final payment, it shall be paid by the Contractor.

2.29. Acceptance Not Waiver: The Owner's acceptance or approval of any work furnished hereunder shall not in any way relieve the proposer of their present responsibility to maintain the high quality, integrity and timeliness of his work. The Owner's approval or acceptance of, or payment for, any services shall not be construed as a future waiver of any rights under this Contract, or of any cause of action arising out of performance under this Contract.

2.30. Change Order/Amendment: No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All amendments to the contract shall be made in writing by the Owner.

2.31. Amendment: No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All amendments to the contract shall be made in writing by the Owner Purchasing Division.

2.32. Assignment: The Offeror shall not sell, assign, transfer or convey any contract resulting from this RFP, in whole or in part, without the prior written approval from the Owner.

2.33. Compliance with Laws: Proposals must comply with all Federal, State, County and local laws governing or covering this type of service and the fulfillment of all ADA (Americans with Disabilities Act) requirements. Contractor hereby warrants that it is qualified to assume the responsibilities and render the services described herein and has all requisite corporate authority and professional licenses in good standing, required by law.

2.34. Debarment/Suspension: The Contractor herby certifies that the Contractor is not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Governmental department or agency.

2.35. Confidentiality: All information disclosed by the Owner to the Offeror for the purpose of the work to be done or information that comes to the attention of the Offeror during the course of performing such work is to be kept strictly confidential.

2.36. Conflict of Interest: No public official and/or Owner employee shall have interest in any contract resulting from this RFP.

2.37. Contract: This Request for Proposal, submitted documents, and any negotiations, when properly accepted by the Owner, shall constitute a contract equally binding between the Owner and Offeror. The contract represents the entire and integrated agreement between the parties hereto and supersedes all prior negotiations, representations, or agreements, either written or oral, including the Proposal documents. The contract may be amended or modified with Change Orders, Field Orders, or Amendment.

2.38. Project Manager/Administrator: The Project Manager, on behalf of the Owner, shall render decisions in a timely manner pertaining to the work proposed or performed by the Offeror. The Project Manager shall be responsible for approval and/or acceptance of any related performance of the Scope of Services.

2.39. Contract Termination: This contract shall remain in effect until any of the following occurs: (1) contract expires; (2) completion of services; (3) acceptance of services or, (4) for convenience terminated by either party with a written *Notice of Cancellation* stating therein the reasons for such cancellation and the effective date of cancellation at least thirty days past notification.

2.40. Employment Discrimination: During the performance of any services per agreement with the Owner, the Offeror, by submitting a Proposal, agrees to the following conditions:

2.40.1. The Offeror shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, age, disability, citizenship status, marital status, veteran status, sexual orientation, national origin, or any legally protected status except when such condition is a legitimate occupational qualification reasonably necessary for the normal operations of the Offeror. The Offeror agrees to post in conspicuous places, visible to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.

2.40.2. The Offeror, in all solicitations or advertisements for employees placed by or on behalf of the Offeror, shall state that such Offeror is an Equal Opportunity Employer.

2.40.3. Notices, advertisements, and solicitations placed in accordance with federal law, rule, or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.

2.41. Affirmative Action: In executing a Contract with the City, the Contractor agrees to comply with Affirmative Action and Equal Employment Opportunity regulations presented in the General Contract Conditions.

2.42. Immigration Reform and Control Act of 1986 and Immigration Compliance: The Offeror certifies that it does not and will not during the performance of the contract employ illegal alien workers or otherwise violate the provisions of the Federal Immigration

Reform and Control Act of 1986 and/or the immigration compliance requirements of State of Colorado C.R.S. § 8-17.5-101, *et.seq.* (House Bill 06-1343).

2.43. Ethics: The Offeror shall not accept or offer gifts or anything of value nor enter into any business arrangement with any employee, official, or agent of the Owner.

2.44. Failure to Deliver: In the event of failure of the Offeror to deliver services in accordance with the contract terms and conditions, the Owner, after due oral or written notice, may procure the services from other sources and hold the Offeror responsible for any costs resulting in additional purchase and administrative services. This remedy shall be in addition to any other remedies that the Owner may have.

2.45. Failure to Enforce: Failure by the Owner at any time to enforce the provisions of the contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the contract or any part thereof or the right of the Owner to enforce any provision at any time in accordance with its terms.

2.46. Force Majeure: The Offeror shall not be held responsible for failure to perform the duties and responsibilities imposed by the contract due to legal strikes, fires, riots, rebellions, and acts of God beyond the control of the Offeror, unless otherwise specified in the contract.

2.47. Indemnification: Offeror shall defend, indemnify and save harmless the Owner and all its officers, employees, insurers, and self-insurance pool, from and against all liability, suits, actions, or other claims of any character, name and description brought for or on account of any injuries or damages received or sustained by any person, persons, or property on account of any negligent act or fault of the Offeror, or of any Offeror's agent, employee, subcontractor or supplier in the execution of, or performance under, any contract which may result from proposal award. Offeror shall pay any judgment with cost which may be obtained against the Owner growing out of such injury or damages.

2.48. Independent Firm: The Offeror shall be legally considered an Independent Firm and neither the Firm nor its employees shall, under any circumstances, be considered servants or agents of the Owner. The Owner shall be at no time legally responsible for any negligence or other wrongdoing by the Firm, its servants, or agents. The Owner shall not withhold from the contract payments to the Firm any federal or state unemployment taxes, federal or state income taxes, Social Security Tax or any other amounts for benefits to the Firm. Further, the Owner shall not provide to the Firm any insurance coverage or other benefits, including Workers' Compensation, normally provided by the Owner for its employees.

2.49. Nonconforming Terms and Conditions: A proposal that includes terms and conditions that do not conform to the terms and conditions of this Request for Proposal is subject to rejection as non-responsive. The Owner reserves the right to permit the Offeror to withdraw nonconforming terms and conditions from its proposal prior to a determination by the Owner of non-responsiveness based on the submission of nonconforming terms and conditions.

2.50. Ownership: All plans, prints, designs, concepts, etc., shall become the property of the Owner.

2.51. Oral Statements: No oral statement of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this document and/or resulting agreement. All modifications to this request and any agreement must be made in writing by the Owner.

2.52. Patents/Copyrights: The Offeror agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to the Offeror for any/all suits arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this RFP.

2.53. Remedies: The Offeror and Owner agree that both parties have all rights, duties, and remedies available as stated in the Uniform Commercial Code.

2.54. Venue: Any agreement as a result of responding to this RFP shall be deemed to have been made in, and shall be construed and interpreted in accordance with, the laws of the City of Grand Junction, Mesa County, Colorado.

2.55. Expenses: Expenses incurred in preparation, submission and presentation of this RFP are the responsibility of the company and can not be charged to the Owner.

2.56. Sovereign Immunity: The Owner specifically reserves its right to sovereign immunity pursuant to Colorado State Law as a defense to any action arising in conjunction to this agreement.

2.57. Public Funds/Non-Appropriation of Funds: Funds for payment have been provided through the Owner's budget approved by the City Council/Board of County Commissioners for the stated fiscal year only. State of Colorado statutes prohibit the obligation and expenditure of public funds beyond the fiscal year for which a budget has been approved. Therefore, anticipated orders or other obligations that may arise past the end of the stated Owner's fiscal year shall be subject to budget approval. Any contract will be subject to and must contain a governmental non-appropriation of funds clause.

2.58. Collusion Clause: Each Offeror by submitting a proposal certifies that it is not party to any collusive action or any action that may be in violation of the Sherman Antitrust Act. Any and all proposals shall be rejected if there is evidence or reason for believing that collusion exists among the proposers. The Owner may or may not, at the discretion of the Owner Purchasing Representative, accept future proposals for the same service or commodities for participants in such collusion.

2.59. Gratuities: The Contractor certifies and agrees that no gratuities or kickbacks were paid in connection with this contract, nor were any fees, commissions, gifts or other considerations made contingent upon the award of this contract. If the Contractor breaches or violates this warranty, the Owner may, at their discretion, terminate this contract without liability to the Owner.

2.60. Safety Warranty: Offeror also warrants that the services performed shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970.

2.61. OSHA Standards: All Offerors agree and warrant that services performed in response to this invitation shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970 (OSHA). In the event the services do not conform to OSHA Standards, the Owner may require the services to be redone at no additional expense to the Owner.

2.62. Performance of the Contract: The Owner reserves the right to enforce the performance of the contract in any manner prescribed by law or deemed to be in the best interest of the Owner in the event of breach or default of resulting contract award.

2.63. Benefit Claims: The Owner shall not provide to the Offeror any insurance coverage or other benefits, including Worker's Compensation, normally provided by the Owner for its employees.

2.64. Default: The Owner reserves the right to terminate the contract in the event the Contractor fails to meet delivery or completion schedules, or otherwise perform in accordance with the accepted proposal. Breach of contract or default authorizes the Owner to purchase like services elsewhere and charge the full increase in cost to the defaulting Offeror.

2.65. Multiple Offers: If said proposer chooses to submit more than one offer, THE ALTERNATE OFFER must be clearly marked "Alternate Proposal". The Owner reserves the right to make award in the best interest of the Owner.

2.66. Cooperative Purchasing: Purchases as a result of this solicitation are primarily for the Owner. Other governmental entities may be extended the opportunity to utilize the resultant contract award with the agreement of the successful provider and the participating agencies. All participating entities will be required to abide by the specifications, terms, conditions and pricings established in this Proposal. The quantities furnished in this proposal document are for only the Owner. It does not include quantities for any other jurisdiction. The Owner will be responsible only for the award for our jurisdiction. Other participating entities will place their own awards on their respective Purchase Orders through their purchasing office or use their purchasing card for purchase/payment as authorized or agreed upon between the provider and the individual entity. The Owner accepts no liability for payment of orders placed by other participating jurisdictions that choose to piggy-back on our solicitation. Orders placed by participating jurisdictions under the terms of this solicitation will indicate their specific delivery and invoicing instructions.

2.67. Definitions:

2.67.1. "Consultant" refers to the person, partnership, firm or corporation entering into an Agreement with the Owner for the services required and the legal representatives of said party or the agent appointed to act for said party in the performance of the service(s) contracted for.

2.67.2. “Offeror” refers to the person or persons legally authorized by the Consultant to make an offer and/or submit a bid (fee) proposal in response to the Owner’s RFP.

2.67.3. The term “Work” includes all labor necessary to produce the requirements by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction.

2.67.4. “Sub-Contractor is a person or organization who has a direct contract with the Contractor to perform any of the work at the site. The term sub-contractor is referred to throughout the contract documents and means a sub-contractor or his authorized representative.

2.67.5. “Owner” is the City of Grand Junction/Mesa County, Colorado and is referred to throughout the Contract Documents. The term Owner means the Owner or his authorized representative. The Owner shall, at all times, have access to the work wherever it is in preparation and progress. The Contractor shall provide facilities for such access. The Owner will make periodic visits to the site to familiarize himself generally with the progress and quality of work and to determine, in general, if the work is proceeding in accordance with the contract documents. Based on such observations and the Contractor’s Application for Payment, the Owner will determine the amounts owing to the Contractor and will issue Certificates for Payment in such amounts, as provided in the contract. The Owner will have authority to reject work which does not conform to the Contract documents. Whenever, in his reasonable opinion, he considers it necessary or advisable to insure the proper implementation of the intent of the Contract Documents, he will have authority to require the Contractor to stop the work or any portion, or to require special inspection or testing of the work, whether or not such work can be then be fabricated, installed, or completed. The Owner will not be responsible for the acts or omissions of the Contractor, and sub-Contractor, or any of their agents or employees, or any other persons performing any of the work.

2.67.6. “Contractor is the person or organization identified as such in the Agreement and is referred to throughout the Contract Documents. The term Contractor means the Contractor or his authorized representative. The Contractor shall carefully study and compare the General Contract Conditions of the Contract, Specification and Drawings, Scope of Work, Addenda and Modifications and shall at once report to the Owner any error, inconsistency or omission he may discover. Contractor shall not be liable to the Owner for any damage resulting from such errors, inconsistencies or omissions. The Contractor shall not commence work without clarifying Drawings, Specifications, or Interpretations.

2.67.7. “Sub-Contractor is a person or organization who has a direct contract with the Contractor to perform any of the work at the site. The term sub-contractor is referred to throughout the contract documents and means a sub-contractor or his authorized representative.

2.68. Public Disclosure Record: If the Proposer has knowledge of their employee(s) or sub-proposers having an immediate family relationship with an Owner employee or elected official, the proposer must provide the Purchasing Representative with the name(s) of these individuals. These individuals are required to file an acceptable “Public Disclosure Record”, a statement of financial interest, before conducting business with the Owner.

2.69. **Keep Jobs in Colorado Act:** Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, Colorado Revised Statutes requiring 80% Colorado labor to be employed on public works. Contractor shall, upon reasonable notice provided by the Owner,permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17-101(2)(a). If Contractor claims it is entitled to a waiver pursuant to C.R.S. §8-17-101(1), Contractor shall state that there is insufficient Colorado labor to perform the work such that compliance with Article 17 would create an undue burden that would substantially prevent a project from proceeding to completion, and shall include evidence demonstrating the insufficiency and undue burden in its response.

Unless expressly granted a waiver by the Owner pursuant to C.R.S. §8-17-101(1), Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, Colorado Revised Statutes requiring 80% Colorado labor to be employed on public works. Contractor shall, upon reasonable notice provided by the Owner, permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17- 101(2)(a).

"Public project" is defined as:

(a) any construction, alteration, repair, demolition, or improvement of any land, building, structure, facility, road, highway, bridge, or other public improvement suitable for and intended for use in the promotion of the public health, welfare, or safety and any maintenance programs for the upkeep of such projects

(b) for which appropriate or expenditure of moneys may be reasonably expected to be $500,000.00 or more in the aggregate for any fiscal year

(c) except any project that receives federal moneys.

SECTION 3.0: INSURANCE REQUIREMENTS

3.1 Insurance Requirements: The selected Firm agrees to procure and maintain, at its own cost, policy(s) of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Firm shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to this Section by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

Firm shall procure and maintain and, if applicable, shall cause any Subcontractor of the Firm to procure and maintain insurance coverage listed below. Such coverage shall be procured and maintained with forms and insurers acceptable to The Owner. All coverage shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage. Minimum coverage limits shall be as indicated below unless specified otherwise in the Special Conditions:

(a) Worker Compensation: Contractor shall comply with all State of Colorado Regulations concerning Workers' Compensation insurance coverage.

(b) General Liability insurance with minimum combined single limits of:

ONE MILLION DOLLARS ($1,000,000) each occurrence and
ONE MILLION DOLLARS ($1,000,000) per job aggregate.

The policy shall be applicable to all premises, products and completed operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground (XCU) hazards. The policy shall contain a severability of interests provision.

(c) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than:

ONE MILLION DOLLARS ($1,000,000) each occurrence and
ONE MILLION DOLLARS ($1,000,000) aggregate

(d) Professional Liability & Errors and Omissions Insurance policy with a minimum of:
ONE MILLION DOLLARS ($1,000,000) per claim

This policy shall provide coverage to protect the contractor against liability incurred as a result of the professional services performed as a result of responding to this Solicitation.

With respect to each of Consultant's owned, hired, or non-owned vehicles assigned to be used in performance of the Work. The policy shall contain a severability of interests provision.

3.2 Additional Insured Endorsement: The policies required by paragraphs (b) above shall be endorsed to include the Owner and the Owner's officers and employees as additional insureds. Every policy required above shall be primary insurance, and any insurance carried by the Owner, its officers, or its employees, or carried by or provided through any insurance pool of the Owner, shall be excess and not contributory insurance to that provided by Contractor. The Contractor shall be solely responsible for any deductible losses under any policy required above.

SECTION 4.0: SPECIFICATIONS/SCOPE OF SERVICES

4.1. General: The general scope of services to be obtained as a result of this RFP includes preconstruction services, value engineering, construction management ("CM") and general contractor ("GC") services relative to the construction of the new Fire Station #6 **(NOTE: <u>This new station shall be based off of existing Fire Station #4 plans, that shall be modified for the new Fire Station #6</u>**). The selected CM/GC will work collaboratively with Owner's architect and City project staff. The selection of the CM/GC is expected to be concluded and approved by the City Council in November of 2019.

The time line for this project is ambitious. All planning, design and construction efforts will be expedited to the extent possible. The Owner intends to establish a <u>Not to Exceed Price</u> for all Pre-Construction Services, and a <u>Guaranteed Maximum Price</u> for the Construction portion of this project.

4.2. The total project budget (including design and construction) is estimated at approximately $3,200,000.

4.3. Designer: The Owner has selected Chamberlin Architects as the design firm for this project. The Owner shall require maximum collaboration by the Architect, the Construction Manager/General Contractor and the Owner's project staff to insure value engineering through constructability assessments, during the preconstruction phase, as well as the construction phase of the project.

4.4. Special Conditions/Provisions:

4.4.1 Term of Contract: By submitting a response to this RFP, the proposer agrees and understands that payments pursuant to this Contract are subject to and contingent upon the continuing availability of funds for the purposes herein. If such funds become unavailable, the Council may terminate all or part of this Contract immediately without further liability.

4.4.2 Pricing/Fees: Pricing shall be all inclusive to include but not be limited to: all labor, equipment, supplies, materials, freight (F.O.B. Destination – Freight Pre-paid and Allowed to each site), all design related services, travel, mobilization costs, fuel, set-up and take down costs, and full-time inspection costs, and all other costs related to the successful completion of the project.

The Owner shall not pay nor be liable for any other additional costs including but not limited to: taxes, shipping charges, insurance, interest, penalties, termination payments, attorney fees, liquidated damages, etc.

Contractor shall submit pricing as follows: Not to Exceed Price for all Pre-Construction Services for this project; and % of OH&P for Construction Services for this project. The Owner intends to establish a Guaranteed Maximum Price for the construction portion of this project.

Also see Section 5.0, paragraph I.

4.5. Scope of Services: The general scope of services to be obtained as a result of this RFP includes preconstruction and Construction Services. These services shall consist of the following: (also see attached complete "as-built' drawings for Fire Station #4, which Fire Station #6 shall be based on).

Pre-Construction Services

a. Design Consultation During Project Development – Attend regularly scheduled meetings (as needed) with the Architect and the City during design development, and development of construction documents, to advise on site use and improvements, selection of materials, building systems and equipment. Provide recommendations on construction feasibility, availability of materials and labor, time requirements for installation and construction and factors related to cost including alternative designs or materials, preliminary budgets and possible economies. Consult with the City and the Architect to finalize construction-phasing plans based upon the preliminary project plan included with the Construction Manager's original proposal. Present schedule and cost associated with each plan. The Construction Phasing Plan must consider construction feasibility, availability of materials and labor, coordination with the City's on-going activities on the

Project sites, and other factors related to time, cost and safety.

b. Scheduling – Develop a Project Time Schedule that coordinates and integrates the Architect's design efforts with construction schedules. Update the Project Time Schedule incorporating details for the construction operations of the project, including realistic activity sequences and durations, allocation of labor and materials, processing of shop drawings, and samples and delivery of products requiring long lead-time procurement. The schedule shall include the City's other construction activities (i.e. Abatement, FF&E, Data/Telecommunications and Temperature Controls) necessary for coordination and occupancy requirements showing portions of the Project having occupancy priority.

c. Site Investigation – After receiving Construction Documents, Construction Manager shall conduct a walkthrough of the project to familiarize itself with the proposed Scope of Work and document the existing conditions of the facilities and/or site. The Construction Manager shall provide a written report to the City of any discrepancies or issues and their affects to the project identified during the site investigation walk through.

d. Construction Estimate – Prepare a construction estimate for the work based on a quantity survey of drawings and available specifications. Update and refine the construction estimate for the City's approval and acceptance as the development of the drawings and specifications proceeds. Provide detailed construction costs estimates at the completion of 100% Schematic Design (SD) and 100% Design Development (DD) documents produced by the Architect. Estimate shall include the bid amounts and construction contingencies.

e. Guaranteed Maximum Price shall be submitted for approval upon completion of the Construction Documents.

f. Value Engineering (VE) – At the end of both Schematic Design (SD) and Design Development (DD), Construction Manager shall complete a technical review and analysis of systems and materials being considered in the design to produce the greatest value for the least cost, including life cycle analysis.

(1) Design Review/Coordination of Contract Documents – Conduct a formal review of 100% Design Development documents produced by the Architect. These reviews shall address estimated cost, completeness of design, coordination of documents, and construction feasibility and work phasing and shall include detailed reviews of the structural, mechanical, plumbing and electrical work described. A written report of findings, including recommended revisions and/or value engineering proposals, shall be submitted to the City and the Architect within one week of receipt of said documents. Verify that all identified deficiencies and/or revisions authorized by the City are acknowledged by the Architect and incorporated in all subsequent documents presented and in the final Construction Documents.

g. Construction Logistic Plan – Throughout the course of design & bidding, develop (with the input from the Architect and City) options regarding the execution of the work that will be performed within the existing occupied facility. Upon the completion of design, and as part of the amendments to the contract sum, document and/or identify in the

appropriate detail as required and/or approved by the City, construction sequencing and actions required to mitigate adverse effects to ongoing daily operations of areas affected by construction activities.

h. Subcontractor Pre-Qualification – Develop and implement a subcontractor pre-qualification process, with the cooperation and approval of the City and the Architect. Recommend early pre-qualification of critical subcontractors as deemed advisable, especially for mechanical and electrical work.

i. Labor – Analyze the types, quantity and availability of appropriate categories of labor required for various phases of the Project.

j. Bidding – The Construction Manager shall establish bidding schedules and conduct pre-bid conferences to familiarize bidders with bidding documents, management techniques and any special systems, materials or methods. Solicit and receive competitive and responsible bids on the Work from qualified subcontractors and materials suppliers, pursuant to bidding procedures acceptable to the City.

k. Conferences – In concert with the City and the Architect, conduct pre-construction conferences with successful subcontractors.

Construction Services

a. Pre-Construction Conference – Prior to the commencement of work, the Construction Manager shall submit to the Architect and the City in reasonable detail and format acceptable to the Architect and the City, copies of the following documents:

1. Submittal log and schedule.
2. Request for Information (RFI) form and log format.
3. Request for Change Order form and log format.
4. List of inspections required by the Contract Documents.
5. Quality Control (QC) plan.
6. Safety plan.
7. Copies of required permits.

Upon review of the above documents by the Architect and the City, the Construction Manager shall facilitate a Pre-Construction Conference and establish project procedures and construction schedules.

b Project Control – Supervise the Work of the subcontractors and coordinate the Work with the activities and responsibilities of the City and Architect in order to complete the Project in accordance with the City's objectives of cost, time and quality.

c. Staffing – Maintain, at the Project site, a competent staff as approved by the City, to coordinate, provide overall direction of the Work, and monitor progress of the subcontractors on the Project. Assign to the Project, for the duration of the Work through correction of punch-list, a full-time competent Superintendent and any necessary assistants, as satisfactory to the City, in accordance with executed Amendments and/or Construction Managers General Conditions. The Superintendent

shall not be changed except with the consent of the City. The Superintendent shall see that the Work is carried out in accordance with the Contract Documents and shall be full time and/or shall be present on the project site during the execution of all work associated with this Agreement unless authorized by the City.

d. Organization – Establish, document and communicate an on-site organization and lines of authority in order to carry out the overall plans of the Project team.

e. Coordination – Establish and implement procedures for coordination among the City, Architect, subcontractors and the Construction Manager with respect to all aspects of the Project. Schedule and conduct weekly progress meetings with the Architect and the City. Construction Manager shall be responsible for recording and distribution of meeting minutes

f. Schedule Monitoring and Updating– Provide regular monitoring and monthly updating of the schedule as construction progresses. Identify potential variances between scheduled and projected completion dates. Review schedule for work not started or incomplete, and recommend to the City and Architect, subcontractors adjustments in the schedule to meet the scheduled completion date.

g. Change Orders – Develop and implement a system for the expeditious review and processing of Change Orders. Propose necessary or desirable changes in the Scope of Work to the City and the Architect, review requests for changes, submit recommendations to the City and the Architect and negotiate Change Orders with subcontractors.

h. Permits – Secure all necessary permits, licenses and inspections for the proposed completion and execution of the Work. Coordinate and schedule all inspections. Create and maintain a log of all inspection including copies of all “sign-offs.”

i. City’s Consultants/Contractors – If required, assist the City in the coordination of a surveyor, testing laboratories other special consultants, telecom/data, temperature controls and other contractors contracted directly to the City involved with work associated with contract documents.

j. Safety Measures – Establish procedures and measures for the safety of persons and property at and around the site of the Work. Assure compliance with all federal, state and local statutes, rules, regulations and orders applicable to the conduct of the Work.

k. Quality Control Program – The Construction Manager shall establish and maintain a Quality Control (QC) Program specific to the Project. The QC program shall consist of the Construction Manager’s QC organization, the project specific QC plan, QC meetings, the phases of control, submittal review and approval, testing and inspections, and documentation necessary to provide materials, equipment, workmanship, fabrication, construction and operations compliance with the requirements of the Contract Documents.

Quality Control is the responsibility of the Construction Manager. This Quality Control is not to be mistaken for the Quality Assurance Program provided by the City (construction materials testing & Inspection services, Architect/Engineer observations,

City roofing consultant, City test & balance services, etc.. These City-provided inspection and/or observation services are for the purpose of verifying the Construction Manager's Quality Control.

l. Contract Interpretations – Refer all questions, in writing, relative to interpretations of design intent to the Architect. Construction Manager shall implement an effective system for recording and tracking questions (RFI) and responses through final resolution and distribution to all parties concerned. At the weekly progress meeting, Construction Manager is to identify any critical questions (RFI) that may impact either schedule, cost or quality of the Project.

m. Material Submittals, Shop Drawings and Samples – In collaboration with the Architect, establish and implement procedures for expediting the processing and approval of material submittals, shop drawings and samples.

n. Reports and Project Site Documents – Record the daily progress of the Project in a daily log available to the City and the Architect. Submit, on a weekly basis, written progress reports and summaries of meetings to the City and the Architect, including information of the subcontractors' work, labor resource levels by trade, safety violations, inspections or tests and the percentage of completion of item relative to the Project Schedule.

o. Record Documents – Maintain at the Project site, on a current basis, records of all contracts, shop drawings, samples, purchases, materials, equipment, maintenance and operating manuals and instructions and any other documents and revisions thereto which arise out of the Project or the Work.

p. Start-Up and Training - With the City's maintenance personnel, schedule and direct the checkout of utilities, operating systems and equipment for readiness and assist in their initial start-up and testing by the appropriate subcontractor, representative or authority.

q Attic Stock - Turn over to the City all keys and maintenance/attic stocks required by the Contract Documents.

r Warranty – During the one-year warranty period, which starts at the date of Substantial Completion, perform two (2) warranty inspections, 1 each at 6 months and 11 months, and ensure that Work which proves defective or deficient during such time is corrected either by the subcontractors of such other means as shall be required. Administer the one-year warranty period by the City's Warranty Work Request process.

4.6. Mandatory Pre-Proposal Briefing: A **mandatory** pre-proposal briefing is required by all contractors intending to submit a response to this RFP. Any contractor that does not attend the **mandatory** pre-proposal briefing shall not be eligible to submit a response to this RFP. **The pre-proposal briefing shall be held at City Hall Auditorium, 250 N. 5th Street, Grand Junction, CO on October 2, 2019 at 2:30pm.**

4.7. RFP Tentative Time Schedule:

• Request for Proposal available	September 23, 2019
• Mandatory Pre-Proposal Meeting	October 2, 2019
• Inquiry deadline, no questions after this date	October 9, 2019
• Addendum Posted	October 10, 2019
• Submittal deadline for proposals	October 17, 2019
• Owner evaluation of proposals	October 18-23, 2019
• Interviews (if required)	October 30, 2019
• Final selection	November 1, 2019
• City Council Approval	November 20, 2019
• Contract execution	November 21, 2019

4.8. Questions Regarding Scope of Services:

Duane Hoff Jr., Senior Buyer
duaneh@gjcity.org

SECTION 5.0: PREPARATION AND SUBMITTAL OF PROPOSALS

Submission: ***Each proposal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (https://www.rockymountainbidsystem.com/default.asp).*** *This site offers both "free" and "paying" registration options that allow for full access of the Owner's documents and for electronic submission of proposals. (Note: "free" registration may take up to 24 hours to process. Please Plan accordingly.)* Please view our "**Electronic Vendor Registration Guide"** at http://www.gjcity.org/BidOpenings.aspx for details. (Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline **800-835-4603**). For proper comparison and evaluation, the City requests that proposals be formatted as directed in Section 5.0 "Preparation and Submittal of Proposals." Offerors are required to indicate their interest in this Project, show their specific experience and address their capability to perform the Scope of Services in the Time Schedule as set forth herein. For proper comparison and evaluation, the Owner requires that proposals be formatted **A** to **I**:

A. **Cover Letter:** Cover letter shall be provided which explains the Firm's interest in the project. The letter shall contain the name/address/phone number/email of the person who will serve as the firm's principal contact person with Owner's Contract Administrator and shall identify individual(s) who will be authorized to make presentations on behalf of the firm. The statement shall bear the signature of the person having proper authority to make formal commitments on behalf of the firm. By submitting a response to this solicitation the Contractor agrees to all requirements herein.

B. **Qualifications/Experience/Credentials:** Proposers shall provide their qualifications (to include specifics to Fire Stations) for consideration as a contract provider to the City of Grand Junction and include prior experience in similar projects. Information provided shall include but is not limited to:

- Organizational chart of company and/or project team
- Identification of key personnel
- Professional qualifications, resumes and functions of personnel who will be assigned to the project
- Specific related project experience of personnel
- Personnel availability and time commitment proposed to meet the project schedule

C. **Strategy and Implementation Plan:** Describe your (the firm's) interpretation of the Owner's objectives with regard to this RFP. Describe your proposed CM/GC management strategy and/or plan for achieving the objectives of this RFP. Provide examples of control systems you propose to use in the execution of this project:

- Cost control
- Schedule control
- Quality control (value engineering, methodology)
- Value Engineering

The Firm may utilize a written narrative or any other printed technique to demonstrate their ability to satisfy the Scope of Services. The narrative should describe a logical progression of tasks and efforts starting with the initial steps or tasks to be accomplished and

continuing until all proposed tasks are fully described and the RFP objectives are accomplished. Include a **time schedule** for completion of your firm's implementation plan and an estimate of time commitments from Owner staff.

D. **Current and Anticipated Workload:** Describe your current workload and expectations in coordinating your current projects, anticipated projects and this project.

E. **Capability/Performance:** Provide brief project descriptions and histories that delineate your ability for at least four (4) projects completed in the past five years with a similar size and scope to this project. Provide as a minimum:

- Project description
- Project budget at SD and DD
- Guaranteed Maximum Price
- Total dollar amount of change orders (exclusive of change of scope change orders)
- Completed project cost inclusive of all change orders, final contractor fees, and general conditions.
- Gross square footage, number of stories, and number of parking spaces
- Major structural system(s)
- Special or unique conditions, systems, characteristics, etc.
- Original and actual construction schedule comparisons
- Owner's representative name and contact information

F. **Bonding Capacity:** Provide proof of bonding capacity for this project including CM/GC fees along with current and anticipated project workloads.

G. **References:** A minimum of three (4) **references** with name, address, telephone number, and email address that can attest to your experience CM/GC projects of similar scope and size.

H. **Fee Proposal:** The construction duration for this project will be determined during the course of design and the development of the "Construction Logistics Plan". Contractor shall submit pricing as follows: Not to Exceed Price for all Pre-Construction Services for this project; and % of OH&P for Construction Services for this project. The Owner intends to establish a Guaranteed Maximum Price for the construction portion of this project. Include the following:

1. Fee & Pre-Construction Services

The Construction Manager fee shall be all inclusive, and include all job indirect costs, home office overhead and profit, including, but not limited, to the following:

a Salaries benefits and taxes or other compensation of the Construction Manager's employees at the principal office and branch offices;

b General operating expenses of the Construction Manager's principal and branch offices other than the field office;

c Any part of the Construction Manager's capital expenses, including interest on the Construction Manager's capital employed for the Project;

d Overhead or general expenses of any kind;
e Salaries of the Construction Manager's principal(s) or branch office employees when at the field office in whatever capacity employed and such employees when engaged on the road in expediting the production or transportation of materials and equipment;
f Cost of data processing services required in the performance of the Work;
g Cost of the premium for all insurance which the Construction Manager is required to procure by this Agreement or is deemed necessary by the Construction Manager;
h Minor expenses such as facsimile messages, telegrams, long distance telephone calls, express mailing and similar petty cash items in connection with Pre-construction and/or the Construction Services;

2. General Conditions

The Construction Manager General Conditions shall include all job direct onsite management costs including, but not limited, to the following:

a Onsite Staff – Project Manager, Project Superintendent, Assistant Superintendent(s), Office/Field Engineers, Field Inspectors, and Secretary. All onsite employees of the Construction Manager with the exception of self-performed work authorized by the City and bid in accordance with this agreement, shall be considered staff and shall be identified within the General Conditions and not part of the "Direct Cost of the Work".
b Onsite Equipment and office expenses – personal computers, copy machine, fax machine, first aid supplies, office or trailer rental, storage trailer, telephones, generators (for construction manager's office), radios and office furniture, facsimile messages, telegrams, long distance telephone calls and mailings;
c Onsite Services – temporary toilets, project sign, bulletin boards, street / walk / parking lot cleaning / snow removal and trash removal;
d Onsite Utilities – temporary enclosures / weather protection, temporary building heat, temporary electrical service, temporary gas and power charges and temporary water;
e Safety – safety programs, handrails and toe boards, fire extinguishers, temporary stairs, construction fencing and covered walkways;
f Insurance and Bonds – errors and omissions, general liability, workers' compensation, FICA, federal and state unemployment and performance and payment bonds and builders risk;
g Miscellaneous – project photographs, warranty inspection and coordination.

I. Additional Data (optional): Provide any additional information that will aid in evaluation of your qualifications with respect to this project.

SECTION 6.0: EVALUATION CRITERIA AND FACTORS

6.1 Evaluation: An evaluation team shall review all responses and select the proposal or proposals that best demonstrate the capability in all aspects to perform the scope of services and possess the integrity and reliability that will ensure good faith performance.

6.2 Intent: Only respondents who meet the qualification criteria will be considered. Therefore, it is imperative that the submitted proposal clearly indicate the firm's ability to provide the services described herein.

Submittal evaluations will be done in accordance with the criteria and procedure defined herein. The Owner reserves the right to reject any and all portions of proposals and take into consideration past performance. The following parameters will be used to evaluate the submittals (in no particular order of priority):

- Responsiveness of submittal to the RFP
- Understanding of the project and the objectives
- Experience/Performance CM/GC (to include specifics to Fire Stations)
- Necessary resources/Capacity & Availability
- Strategy & Implementation Plan
- References
- Fees

Owner also reserves the right to take into consideration past performance of previous awards/contracts with the Owner of any vendor, contractor, supplier, or service provider in determining final award(s).

The Owner will undertake negotiations with the top rated firm and will not negotiate with lower rated firms unless negotiations with higher rated firms have been unsuccessful and terminated.

6.3 Oral Interviews: The Owner may invite the most qualified rated proposers to participate in oral interviews.

6.4 Award: Firms shall be ranked or disqualified based on the criteria listed in Section 6.2. The Owner reserves the right to consider all of the information submitted and/or oral presentations, if required, in selecting the project Contractor.

SECTION 7.0: SOLICITATION RESPONSE FORM

Bid Date: _____

Project: RFP-4703-19-DH "City of Grand Junction Fire Station #6 CM/GC"

Bidding Company: _____

Name of Authorized Agent: _____

Email _____

Telephone_____ Address_____

City_____State_____Zip_____

The undersigned Bidder, in compliance with the Request for Proposals, having examined the Instruction to Bidders, General Contract Conditions, Statement of Work, Specifications, and any and all Addenda thereto, having investigated the location of, and conditions affecting the proposed work, hereby proposes to furnish all labor, materials and supplies, and to perform all work for the Project in accordance with Contract Documents, within the time set forth and at the prices stated below. These prices are to cover all expenses incurred in performing the work required under the Contract Documents, of which this Solicitation Response Form is a part.

The undersigned Contractor does hereby declare and stipulate that this offer is made in good faith without collusion or connection to any person(s) providing an offer for the same work, and that it is made in pursuance of, and subject to, all terms and conditions of Solicitation Documents, all of which have been examined by the undersigned.

The Contractor also agrees that if awarded the Contract, to provide insurance certificates within ten (10) working days of the date of Notification of Award. Submittal of this offer will be taken by the Owner as a binding covenant that the Contractor will be prepared to complete the project in its entirety.

The Owner reserves the right to make the award on the basis of the offer deemed most favorable, to waive any formalities or technicalities and to reject any or all offers. It is further agreed that this offer may not be withdrawn for a period of sixty (60) calendar days after closing time. Submission of clarifications and revised offers automatically establish a new thirty day (30) period.

Prices in the proposal have not knowingly been disclosed with another provider and will not be prior to award.

- Prices in this proposal have been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.
- No attempt has been made nor will be to induce any other person or firm to submit a proposal for the purpose of restricting competition.
- The individual signing this proposal certifies they are a legal agent of the offeror, authorized to represent the offeror and is legally responsible for the offer with regard to supporting documentation and prices provided.
- Direct purchases by the City of Grand Junction are tax exempt from Colorado Sales or Use Tax. Tax exempt No. 98-903544. The undersigned certifies that no Federal, State, County or Municipal tax will be added to the quoted prices.
- City of Grand Junction payment terms shall be Net 30 days.
- Prompt payment discount of _____ percent of the net dollar will be offered to the Owner if the invoice is paid within _____ days after the receipt of the invoice.

RECEIPT OF ADDENDA: the undersigned Contractor acknowledges receipt of Addenda to the Solicitation, Scope of Services, and other Contract Documents.

State number of Addenda received: _____.

It is the responsibility of the Offeror to ensure all Addenda have been received and acknowledged.

By signing below, the Undersigned agree to comply with all terms and conditions contained herein.

Company: _____

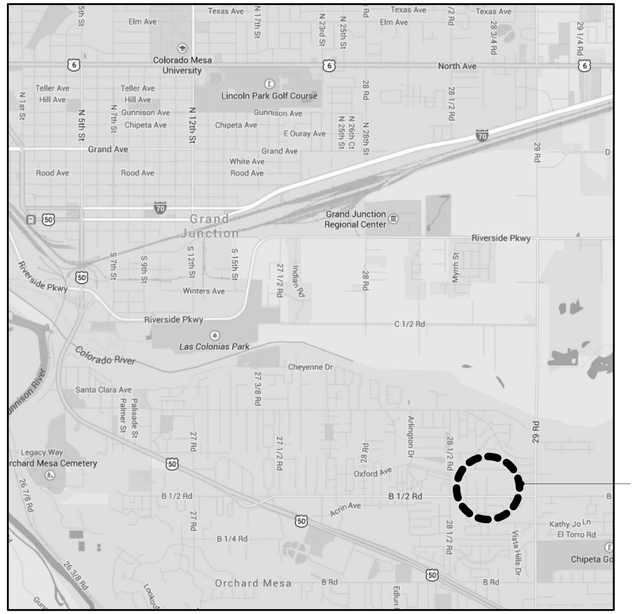
Authorized Signature: _____

Title: _____

ORCHARD MESA FIRE STATION #4

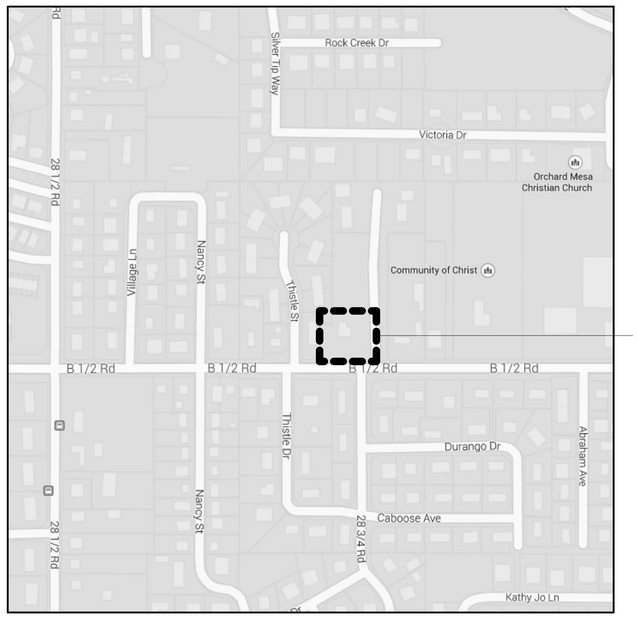
GRAND JUNCTION, COLORADO

LOCALITY MAP



BUILDING SITE

VICINITY MAP



BUILDING SITE

OWNER

CITY OF GRAND JUNCTION
250 N. 5th Street
Grand Junction, CO 81501

DESIGN TEAM

ARCHITECT:
CHAMBERLIN ARCHITECTS
437 Main Street
Grand Junction, CO 81501
(970) 242-6804

CIVIL:
AUSTIN CIVIL GROUP
123 North 7th Street, Suite 300
GRAND JUNCTION, CO 81501
PHONE: (970) 242 -7540

LANDSCAPE:
JULEE WOLVERTON
61945 Nighthawk Road
Montrose, CO 81403
(970) 249-9392

STRUCTURAL:
LINDAUER DUNN, INC
802 Rood Avenue
Grand Junction, CO 81501
(970) 241-0900

MECHANICAL:
RALSTON MECHANICAL CONSULTING, LLC
356 Echo Canyon Court
Grand Junction , CO 81507
(970) 434-9819

ELECTRICAL:
GRAND VALLEY ENGINEERING SOLUTIONS
2961 Circling Hawk Court
Grand Junction, CO 81503
(970) 256-0353

DRAWING LIST

DRAWING LIST

100% CONSTRUCTION DOCUMENTS

CHAMBERLIN ARCHITECTS

437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

ORCHARD MESA
FIRE STATION #4

GRAND JUNCTION, COLORADO

COVER SHEET

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO: G001

PROJECT NO: 1443

12/1/2014 3:30:03 PM

GENERAL CONSTRUCTION NOTES

1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.

2. The Contractor shall notify the engineer if unanticipated conditions area encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970–242–7540.

3. Contractor shall give 48–hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.

4. Contractor shall confine his construction operations to the right–of–way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.

5. All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.

6. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.

7. All earthwork operations shall be completed in accordance with the recommendations and requirements of the Geotechnical and Geologic Hazards Investigation Report by Huddleston–Berry, Project #00390–0003, dated November 20, 2014.

8. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.

9. All utility installations within the City of Grand Junction jurisdiction are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.

10. All sewer lines must be tested and approved per Orchard Mesa Sanitation District requirements PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.

11. In the event of a descrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All work within the City of Grand Junction Right–of–Way shall required a "Work in the Right–of–Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

13. All concrete shall have a minimum of 6: Class VI ABC, unless otherwise noted.

PAVING CONSTRUCTION NOTES

1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. The subgrade soils shall be scarified to a depth of 12–inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T–99.

3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.

4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack–coated before proposed surface is placed.

5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..

6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less then 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: Automobile Parking – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 6" CDOT Class 3 over 12–inch scarified & recompacted subgrade. Truck Traffic – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 16" CDOT Class 3 over 12–inch scarified & recompacted subgrade. "Rigid Pavement" 6–inch or 8–inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6–inch CDOT Class 6 over 12–inch scarified & recompacted subgrade.

Summary of Pavement Recommendations

Automobile Parking Areas
EDLA = 5, Structural Number = 2.75

ALTERNATIVE	PAVEMENT SECTION (Inches)				
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	TOTAL
Full Depth HMA	7.0				7.0
A	3.0	10.0			13.0
B	4.0	7.0			11.0
C	3.0	6.0	6.0		15.0
Rigid Pavement		6.0		6.0	12.0

Truck Traffic Areas
EDLA = 30, Structural Number = 3.70

ALTERNATIVE	PAVEMENT SECTION (Inches)				
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	TOTAL
Full Depth HMA	9.0				9.0
A	3.0	17.0			20.0
B	4.0	14.0			18.0
C	3.0	6.0	16.0		25.0
Rigid Pavement		6.0		8.0	14.0

WATER LINE CONSTRUCTION

1. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BACKFLOW PREVENTION EQUIPMENT AND ABOVE GROUND ENCLOSURES. Double Check Detector Assembly devise shall be "Watts" Series L709DCDA assemblies or FEBCO Masterseries 876VST (N–Pattern), or Ute Water Approved equal.

2. Above Ground Enclosures shall be as manufactured by Aqua Shield or WATTS or approved equal and be aluminum, insulated with freeze protection, heated, with service access and mounted on a 4" minimum thick concrete slab. Aqua Shield #NBFP8 or Watts Model # WB–N6 or Ute Water approved Equal.

3. All water line and water service construction shall be constructed in accordance with the Ute Water District Standards and Specifications.

4. Contractor shall notify the Ute Water Conservancy 48 hours prior to the beginning of construction of any water line related work.

5. All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T–99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.

6. Minimum cover required over top of new waterlines is 4'–6".

7. All water mains to be DR–18 PVC, conforming to AWWA C–900.

8. Ductile Iron fittings to conform to AWWA C–110.

9. Fire Hydrants shall conform to AWWA C–502, Mueller Super Centurian or Kennedy Gaurdian.

10. All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C–651–86 or latest revision thereof. No separate pay.

11. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.

12. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.

13. All Ute Water Mains are to be bedded per City of Grand Junction Standards.

14. All water service lines 2" and smaller from the meter to the building structure shall be "Pure Core" blue, 200 psi rated HDPE pipe, or approved equal.

STORM SEWER CONSTRUCTION NOTES

1. All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.

2. All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C–76, Class III unless otherwise noted.

3. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR–35 unless otherwise noted.

4. All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
12 inch to 36 inch shall meet ASSHTO M294
42 inch to 48 inch shall meet ASSHTO MP6
All HDPE pipe up to 30" shall be backfilled to springline with Class–6.

FUGITIVE DUST CONTROL PLAN

1. Before stripping of the site preparation for overlot grading, the surface is to be pre–wet to control dust.

2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.

3. Haul road both into and around the site are to be sprayed as needed to suppress dust.

4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.

5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

UTILITIES AND AGENCIES

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241–7076
UTE WATER	JIM DAUGHETY	242–7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242–2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256–4106
XCEL ENERGY	JOHN PRICE	244–2693
CENTURY LINK	CHRIS JOHNSON	244–4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245–8750

SANITARY SEWER CONSTRUCTION NOTES

1. The Orchard Mesa Sanitation District plan review is only for general conformance with the Orchard Mesa Sanitation District Design Criteria. The District is not responsible for the accuracy and adequacy of the design, of dimensions, and elevations which shall be confirmed and correlated at the job site. The Orchard Mesa Sanitation District, through the approval of this document, assumes no responsibility other than as stated above for the completeness and/or accuracy of this document.

2. All sewer line construction shall conform to the Orchard Mesa Sanitation District's Standards and Specifications.

3. All materials and workmanship shall be subject to inspection by the District. The District reserves the right to accept or reject any materials and workmanship that does not conform to its Standards and Specifications.

4. The Contractor shall have one (1) signed set of the Plans (approved by the Orchard Mesa Sanitation District), and one (1) copy of the appropriate Orchard Mesa Sanitation District STANDARDS AND SPECIFICATIONS at the job site at all times. The Contractor shall also have a copy of any permits necessary to complete the Work.

5. The Contractor shall notify the District at least 48 hours prior to commencement of construction.

6. All sanitary sewer pipe shall be PVC SDR35 unless otherwise specified. All pipe joints shall be 13 foot joints unless otherwise approved by the District Engineer.

7. All sewer mains shall be laid to grade utilizing a pipe laser.

8. All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.

9. All trenches shall be complacted to 95% as determined by AASHTO T–99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab to a level required by City of Grand Junction Standard's and Specifications. A copy of the compaction test results shall be provided to the District during the course of the project.

10. A minimum 10–foot separation shall be maintained at all times between waterlines and sewer line (except at specified crossings).

11. All sanitary sewer services to be 4" PVC SDR35 unless otherwise specified.

12. Sewer service stub–outs shall extend 14 feet beyond the property line and shall be glue–capped and marked with a 2x4 post painted green.

13. Manholes shall be constructed as shown on the Orchard Mesa Sanitation District Standard Sanitary Sewer Detail Sheet. At the District's direction, the Contractor shall field vacuum test manholes to ensure that they are of watertight construction and that manholes have not been damaged during installation.

14. No service lines shall be connected directly into manholes.

15. All work to install the new sewer service to the District's 10–inch sewer main is to be completed by the District's Contractor, unless otherwise approved by the District. The District's Contractor will also extend the sewer service line from the new tap connection to the property line. All the District's expenses related to installing the new tap and extending the new sewer service line to the property line are to be paid by the Petitioner.

16. Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20 degrees to 30 degrees from the upstream main sewer line into the manhole. Manhole steps shall be installed in vertical alignment with the ring and cover.

17. Steel paving rings are not allowed for grade adjustment unless otherwise approved by the District.

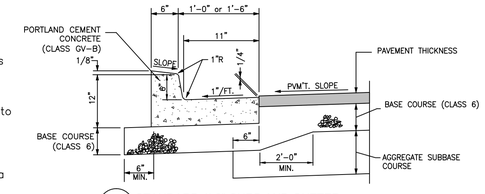
18. The Contractor is responsible for all required sewer line testing to be completed in the presence of the District Engineer or their representative. Final testing is to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing Initial Acceptance of the sewer line extension.

19. Sanitary sewer cleanouts located within traveled surface areas shall be provided with a cast–iron traffic rated lamp hole cover.

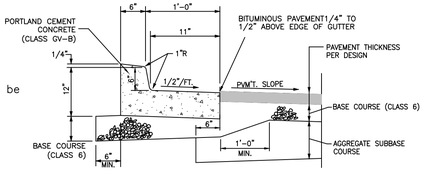
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1–FT CONTOUR
- EXISTING 5–FT CONTOUR
- PROPOSED 1–FT CONTOUR
- PROPOSED 5–FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

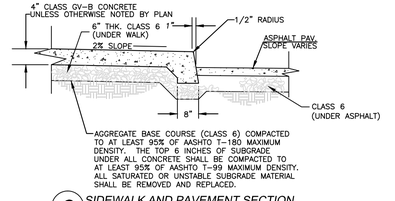
TYPICAL CONCRETE SECTIONS



A *STANDARD 1'–6" CURB AND GUTTER*
NOT TO SCALE



B *1'–6" SPILL CURB AND GUTTER*
NOT TO SCALE



C *SIDEWALK AND PAVEMENT SECTION*
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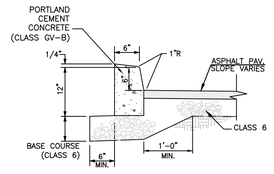
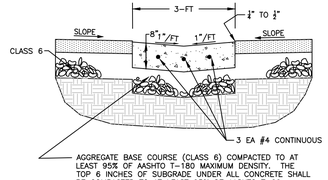
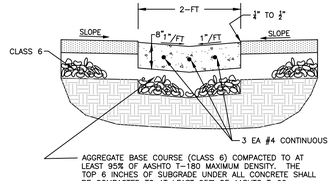


D *BARRIER CURB*
NOT TO SCALE



E *3' WIDE VALLEY PAN DETAIL*
NOT TO SCALE



F *2' WIDE VALLEY PAN DETAIL*
NOT TO SCALE

CHAMBERLIN ARCHITECTS
ENHANCING EVERYDAY LIVING THROUGH DESIGN

CHAMBERLIN ARCHITECTS
437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

AUSTIN CIVIL GROUP, INC.
Land Planning • Civil Engineering • Development Services
123 N. 7th Street, Suite 300 • Grand Junction, Colorado 81501
(970) 242-7540

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GENERAL NOTES AND DETAILS

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	REVIEW COMMENTS RND#2	6-3-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-2

PROJECT NO: 1443

PR 03

M:\PROJECTS\2013\1383\03 Orchard Mesa Fire Station\Engr\Construction Docs\PROD SHT - FIRE STATION #4.dwg, 6/11/2015 1:59:48 PM, DWG To PDF.pc3
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12/1/2014 3:30:03 PM

GENERAL CONSTRUCTION NOTES

1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.

2. The Contractor shall notify the engineer if unanticipated conditions area encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970–242–7540.

3. Contractor shall give 48–hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.

4. Contractor shall confine his construction operations to the right–of–way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.

5. All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.

6. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.

7. All earthwork operations shall be completed in accordance with the recommendations and requirements of the Geotechnical and Geologic Hazards Investigation Report by Huddleston–Berry, Project #00390–0003, dated November 20, 2014.

8. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.

9. All utility installations within the City of Grand Junction jurisdiction are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.

10. All sewer lines must be tested and approved per Orchard Mesa Sanitation District requirements PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.

11. In the event of a descrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All work within the City of Grand Junction Right–of–Way shall required a "Work in the Right–of–Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

13. All concrete shall have a minimum of 6: Class VI ABC, unless otherwise noted.

PAVING CONSTRUCTION NOTES

1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. The subgrade soils shall be scarified to a depth of 12–inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T–99.

3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.

4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack–coated before proposed surface is placed.

5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..

6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less then 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: Automobile Parking – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 6" CDOT Class 3 over 12–inch scarified & recompacted subgrade. Truck Traffic – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 16" CDOT Class 3 over 12–inch scarified & recompacted subgrade. "Rigid Pavement" 6–inch or 8–inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6–inch CDOT Class 6 over 12–inch scarified & recompacted subgrade.

Summary of Pavement Recommendations

Automobile Parking Areas
EDLA = 5, Structural Number = 2.75

ALTERNATIVE	PAVEMENT SECTION (Inches)				
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	TOTAL
Full Depth HMA	7.0				7.0
A	3.0	10.0			13.0
B	4.0	7.0			11.0
C	3.0	6.0	6.0		15.0
Rigid Pavement		6.0		6.0	12.0

Truck Traffic Areas
EDLA = 30, Structural Number = 3.70

ALTERNATIVE	PAVEMENT SECTION (Inches)				
	Hot-Mix Asphalt Pavement	CDOT Class 6 Base Course	CDOT Class 3 Subbase Course	Rigid Pavement	TOTAL
Full Depth HMA	9.0				9.0
A	3.0	17.0			20.0
B	4.0	14.0			18.0
C	3.0	6.0	16.0		25.0
Rigid Pavement		6.0		8.0	14.0

WATER LINE CONSTRUCTION

1. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BACKFLOW PREVENTION EQUIPMENT AND ABOVE GROUND ENCLOSURES. Double Check Detector Assembly devise shall be "Watts" Series L709DCDA assemblies or FEBCO Masterseries 876VS (N–Pattern), or Ute Water Approved equal.

2. Above Ground Enclosures shall be as manufactured by Aqua Shield or WATTS or approved equal and be aluminum, insulated with freeze protection, heated, with service access and mounted on a 4" minimum thick concrete slab. Aqua Shield #NBFP8 or Watts Model # WB–N6 or Ute Water approved Equal.

3. All water line and water service construction shall be constructed in accordance with the Ute Water District Standards and Specifications.

4. The Contractor is responsible to install meter pits and yokes which will be SUPPLIED BY UTE WATER

5. Contractor shall notify the Ute Water Conservancy 24 hours prior to the beginning of construction of any water line related work.

6. All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T–99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.

7. Minimum cover required over top of new waterlines is 4'–6".

8. All water mains to be DR–18 PVC, conforming to AWWA C–900.

9. Ductile Iron fittings to conform to AWWA C–110.

10. Fire Hydrants shall conform to AWWA C–502, Mueller Super Centurian or Kennedy Gaurdian.

11. All materials labor and equipment required for testing and disinfection of water lines shall be furnished by Contractor. Disinfection of water lines shall conform to AWWA C–651–86 or latest revision thereof. No separate pay.

12. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.

13. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.

14. All Ute Water Mains are to be bedded per City of Grand Junction Standards.

15. All water service lines 2" and smaller from the meter to the building structure shall be "Pure Core" blue, 200 psi rated HDPE pipe, or approved equal.

STORM SEWER CONSTRUCTION NOTES

1. All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.

2. All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C–76, Class III unless otherwise noted.

3. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR–35 unless otherwise noted.

4. All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
12 inch to 36 inch shall meet ASSHTO M294
42 inch to 48 inch shall meet ASSHTO MP6
All HDPE pipe up to 30" shall be backfilled to springline with Class–6.

FUGITIVE DUST CONTROL PLAN

1. Before stripping of the site preparation for overlot grading, the surface is to be pre–wet to control dust.

2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.

3. Haul road both into and around the site are to be sprayed as needed to suppress dust.

4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.

5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

UTILITIES AND AGENCIES

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241–7076
UTE WATER	JIM DAUGHETY	242–7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242–2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256–4106
XCEL ENERGY	JOHN PRICE	244–2693
CENTURY LINK	CHRIS JOHNSON	244–4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245–8750

ORCHARD MESA SANITATION DISTRICT NOTES

1. All sewer line construction shall conform to Orchard Mesa Sanitation District's standard and specifications.

2. Material and workmanship shall be subject to inspection by the District. The District reserves the right to accept or reject any materials and workmanship that does not conform to its Standards and Specifications.

3. The Contractor shall have one signed copy of the Plans and a copy of the District's Standards and Specifications at the job site at all times.

4. All sanitary sewer pipe shall be PVC SDR–35 unless otherwise specified. All pipe joints shall be 13 foot joints unless otherwise approved by the District Engineer.

5. All sewer mains shall be laid to grade utilizing a pipe laser.

6. All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.

7. All trenches shall be compacted to 90% within 2% of optimum moisture content, as determined AASHTO T–180. Contractor shall be required to perform all necessary compaction tests through a certified soils lab. A copy of the compaction test results shall be provided to the District during the course of the project.

8. A minimum 10–foot separation shall be maintained at all times between waterlines and sewer lines (except at specified crossings).

9. All sanitary sewer services to be 4" PVC SDR 35 unless otherwise specified.

10. Sewer service stub–outs shall extend 14 feet beyond the property line and shall be glue–capped and marked with a 2x4 post painted green.

11. The Contractor shall notify the District at least 48 hours prior to commencement of construction.

12. Manholes shall be constructed as shown on the Orchard Mesa Sanitation District Standard Sanitary Sewer Detail sheet. At the District's direction, the Contractor shall field vacuum test manholes to ensure that they are of watertight construction and that manholes have not been damaged during installation.

13. No service lines shall be connected directly into manholes.

14. Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20 degrees to 30 degrees from the upstream main sewer line into the manhole. Manhole steps shall be installed in vertical alignment with the ring and cover.

15. Steel paving rings are not allowed for grade adjustment unless otherwise approved by the District.

16. The Contractor is responsible for all required sewer line testing to be completed in the presence of the District Engineer or their representative. Final testing is to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing Initial Acceptance of the sewer line extension.

17. Where sanitary sewers cross under a water line with less than 18 inches of vertical separation, and in all cases where the sanitary sewer crosses over the waterline at any depth, provide total concrete encasement of pipe for a length of 10 feet to either side of the waterline.

18. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for sewer line trench backfill unless otherwise approved by the Engineer.

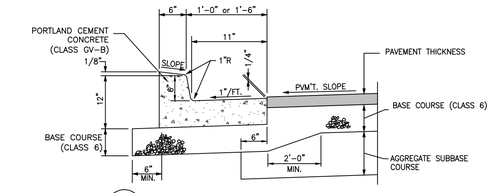
19. To inhibit the movement of ground water through sewer bedding and haunching material, clay cutoff wall of native material are to be constructed approximately 10 feet upstream from each manhole and shown on sanitary sewer plan and profiles.

20. The contractor shall obtain a City of Grand Junction Street Cut Permit for all work within existing City right–of–way prior to construction.

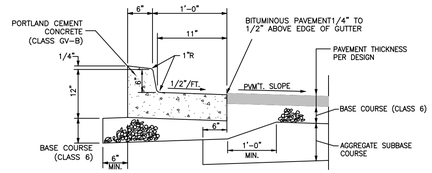
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1–FT CONTOUR
- EXISTING 5–FT CONTOUR
- PROPOSED 1–FT CONTOUR
- PROPOSED 5–FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

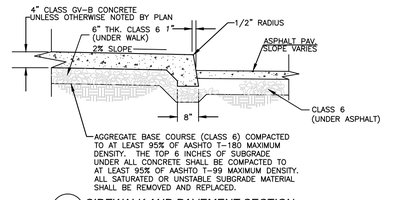
TYPICAL CONCRETE SECTIONS



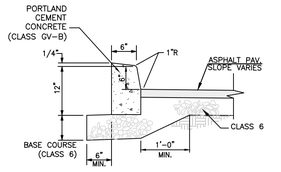
A *STANDARD 1'–6" CURB AND GUTTER*
NOT TO SCALE



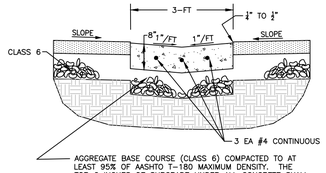
B *1'–6" SPILL CURB AND GUTTER*
NOT TO SCALE



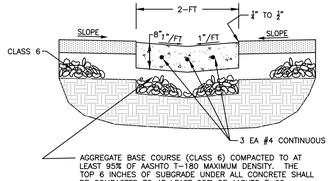
C *SIDEWALK AND PAVEMENT SECTION*
NOT TO SCALE



D *BARRIER CURB*
NOT TO SCALE



E *3' WIDE VALLEY PAN DETAIL*
NOT TO SCALE



F *2' WIDE VALLEY PAN DETAIL*
NOT TO SCALE

CHAMBERLIN ARCHITECTS
ENHANCING EVERYDAY LIVING THROUGH DESIGN

CHAMBERLIN ARCHITECTS
437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

AUSTIN CIVIL GROUP, INC.
Land Planning • Civil Engineering • Development Services
123 N. 7th Street, Suite 300 • Grand Junction, Colorado 81501
(970) 242-7540

COLORADO LICENSED SCOTT THOMAS AUSTIN 42780 4/29/15 PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GENERAL NOTES AND DETAILS

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-2**

PROJECT NO: **1443**

Addendum 2

GENERAL CONSTRUCTION NOTES

1. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.

2. The Contractor shall notify the engineer if unanticipated conditions area encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970–242–7540.

3. Contractor shall give 48–hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.

4. Contractor shall confine his construction operations to the right–of–way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.

5. All road construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.

6. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.

7. All earthwork operations shall be completed in accordance with the recommendations and requirements of the Geotechnical and Geologic Hazards Investigation Report by Huddleston–Berry, Project #00390–0003, dated November 20, 2014.

8. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.

9. All utility installations within the City of Grand Junction jurisdiction are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.

10. All sewer lines must be tested and approved per Orchard Mesa Sanitation District requirements PRIOR to street construction. Contractor is required to notify the Owner's representative PRIOR to testing. The Owner's representative must be present to witness testing of water and sewer lines or the City will not approve the installation.

11. In the event of a descrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

12. All work within the City of Grand Junction Right–of–Way shall required a "Work in the Right–of–Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

13. All concrete shall have a minimum of 6: Class VI ABC, unless otherwise noted.

PAVING CONSTRUCTION NOTES

1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. The subgrade soils shall be scarified to a depth of 12–inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T–99.

3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.

4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack–coated before proposed surface is placed.

5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..

6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less then 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: Automobile Parking – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 6" CDOT Class 3 over 12–inch scarified & recompacted subgrade. Truck Traffic – "Hot–Mix Asphalt" 3–inch HMA over 6–inch CDOT Class 6 over 16" CDOT Class 3 over 12–inch scarified & recompacted subgrade. "Rigid Pavement" 6–inch or 8–inch Portland Cement Concrete w/ #4 bars @ 16" cntrs., E.W. over 6–inch CDOT Class 6 over 12–inch scarified & recompacted subgrade.

Summary of Pavement Recommendations

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Truck Traffic Areas
EDLA = 30, Structural Number = 3.70

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Rigid Pavement		6.0		8.0	14.0

WATER LINE CONSTRUCTION

1. All water line construction within public right–of–way or to be dedicated to the district shall be constructed in accordance with the Ute Water District Standards and Specifications.

2. Contractor shall notify the Ute Water Conservancy 24 hours prior to beginning of construction.

3. All trenches shall be compacted to 95% within 2% of optimum moisture content, as determined by AASHTO T–99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.

4. Minimum cover required over top of new waterlines is 4'–9".

5. All water mains to be DR–18 PVC, Class 150 conforming to AWWA C–900 of 909.

8. Cast Iron fittings to conform to AWWA C–110.

9. Fire Hydrants shall conform to AWWA C–502, Mueller Centurian.

10. All materials labor and equipment required for testing and disaffection of water lines shall be furnished by Contractor. Dissinfection of water lines shall conform to AWWA C–651–86 or latest revision thereof. No separate pay.

11. All pipe bends/angle points, both horizontal and vertical, as called for on the plans are to be thrust blocked per Ute Water Conservancy District details and Technical Specifications.

12. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for water line trench backfill unless otherwise approved by the Engineer.

13. All Ute Water Mains are to be bedded per City of Grand Junction Standards.

14. All water service lines shall be 200 psi rated "Pure Core" Blue HDPE, or approved equal.

STORM SEWER CONSTRUCTION NOTES

1. All storm sewer line construction shall be in accordance with the City of Grand Junction Standards and Specifications.

2. All Reinforced Concrete storm sewer pipe shall conform to ASTM Standard Specifications, C–76, Class III unless otherwise noted.

3. All polyvinyl chloride (PVC) pipe and fittings shall conform to ASTM Standard Specifications, D3034 and F679, SDR–35 unless otherwise noted.

4. All High Density Polyethylene (HDPE) pipe and fittings shall be smooth bore and shall conform to the following:
12 inch to 36 inch shall meet ASSHTO M294
42 inch to 48 inch shall meet ASSHTO MP6
All HDPE pipe up to 30" shall be backfilled to springline with Class–6.

FUGITIVE DUST CONTROL PLAN

1. Before stripping of the site preparation for overlot grading, the surface is to be pre–wet to control dust.

2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.

3. Haul road both into and around the site are to be sprayed as needed to suppress dust.

4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.

5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

ORCHARD MESA SANITATION DISTRICT NOTES

1. All sewer line construction shall conform to Orchard Mesa Sanitation District's Standards and Specifications.

2. All materials and workmanship shall be subject to inspection by the District. The District reserves the right to reject any materials and workmanship that does not conform to its Standards and Specifications.

3. The Contractor shall have one signed copy of the Plans and a copy of the District's Standards and Specifications at the job site at all times.

4. All sanitary sewer pipe shall be PVC SDR–35 unless otherwise specified. All pipe joints shall be 13 foot joints unless otherwise approved by the District Engineer.

5. All sewer mains shall be laid to grade utilizing a pipe laser.

6. All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.

7. All trenches shall be compacted to 90% within 2% of optimum moisture content, as determined AASHTO T–180. Contractor shall be required to perform all necessary compaction tests through a certified soils lab. A copy of the compaction test results shall be provided to the District during the course of the project.

8. A minimum 10–foot separation shall be maintained at all times between waterlines and sewer lines (except at specified crossings).

9. All sanitary sewer services to be 4" PVC SDR 35 unless otherwise specified.

10. Sewer service stub–outs shall extend 14 feet beyond the property line and shall be glue–capped and marked with a 2x4 post painted green.

11. The Contractor shall notify the District at least 48 hours prior to commencement of construction.

12. Manholes shall be constructed as shown on the Orchard Mesa Sanitation District Standard Sanitary Sewer Detail sheet. At the District's direction, the Contractor shall field vacuum test manholes to ensure that they are of watertight construction and that manholes have not been damaged during installation.

13. No service lines shall be connected directly into manholes.

14. Manhole cone and flat top sections shall be positioned such that the manhole ring and cover are offset 20 degrees to 30 degrees from the upstream main sewer line into the manhole. Manhole steps shall be installed in vertical alignment with the ring and cover.

15. Steel paving rings are not allowed for grade adjustment unless otherwise approved by the District.

16. The Contractor is responsible for all required sewer line testing to be completed in the presence of the District Engineer or their representative. Final testing is to be accomplished only after all other infrastructure has been installed. This includes waterlines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lamping will also be accomplished after paving is completed to insure that the line is clean. These tests will be the basis for issuing Initial Acceptance of the sewer line extension.

17. Where sanitary sewers cross under a water line with less than 18 inches of vertical separation, and in all cases where the sanitary sewer crosses over the waterline at any depth, provide total concrete encasement of pipe for a length of 10 feet to either side of the waterline.

18. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for sewer line trench backfill unless otherwise approved by the Engineer.

19. To inhibit the movement of ground water through sewer bedding and haunching material, clay cutoff wall of native material are to be constructed approximately 10 feet upstream from each manhole and shown on sanitary sewer plan and profiles.

20. The contractor shall obtain a City of Grand Junction Street Cut Permit for all work within existing City right–of–way prior to construction.

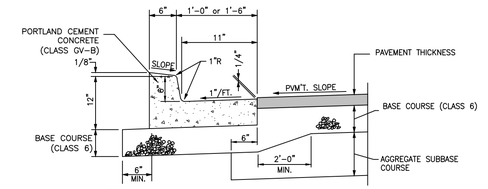
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1–FT CONTOUR
- EXISTING 5–FT CONTOUR
- PROPOSED 1–FT CONTOUR
- PROPOSED 5–FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

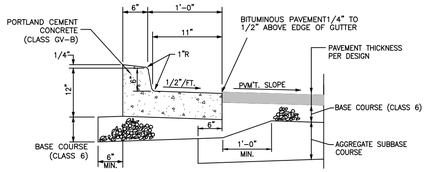
UTILITIES AND AGENCIES

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241–7076
UTE WATER	JIM DAUGHETY	242–7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242–2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256–4106
XCEL ENERGY	JOHN PRICE	244–2693
CENTURY LINK	CHRIS JOHNSON	244–4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245–8750

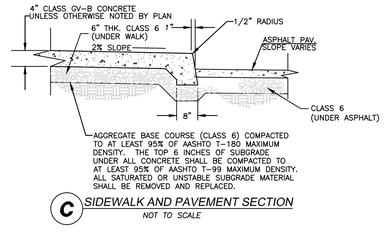
TYPICAL CONCRETE SECTIONS



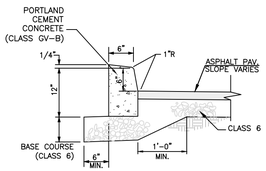
A *STANDARD 1'–6" CURB AND GUTTER*
NOT TO SCALE



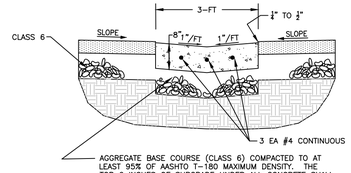
B *1'–6" SPILL CURB AND GUTTER*
NOT TO SCALE



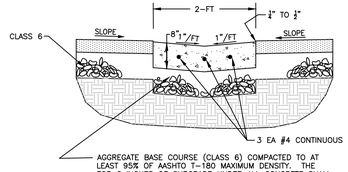
C *SIDEWALK AND PAVEMENT SECTION*
NOT TO SCALE



D *BARRIER CURB*
NOT TO SCALE



E *3' WIDE VALLEY PAN DETAIL*
NOT TO SCALE



F *2' WIDE VALLEY PAN DETAIL*
NOT TO SCALE

CHAMBERLIN ARCHITECTS
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(970) 242-7540

COLORADO LICENSED PROFESSIONAL ENGINEER 32780 4/10/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GENERAL NOTES AND DETAILS

NO:	ISSUED FOR:	DATE:
△		
△		
△		
△		
△		
△		
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△		
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△		

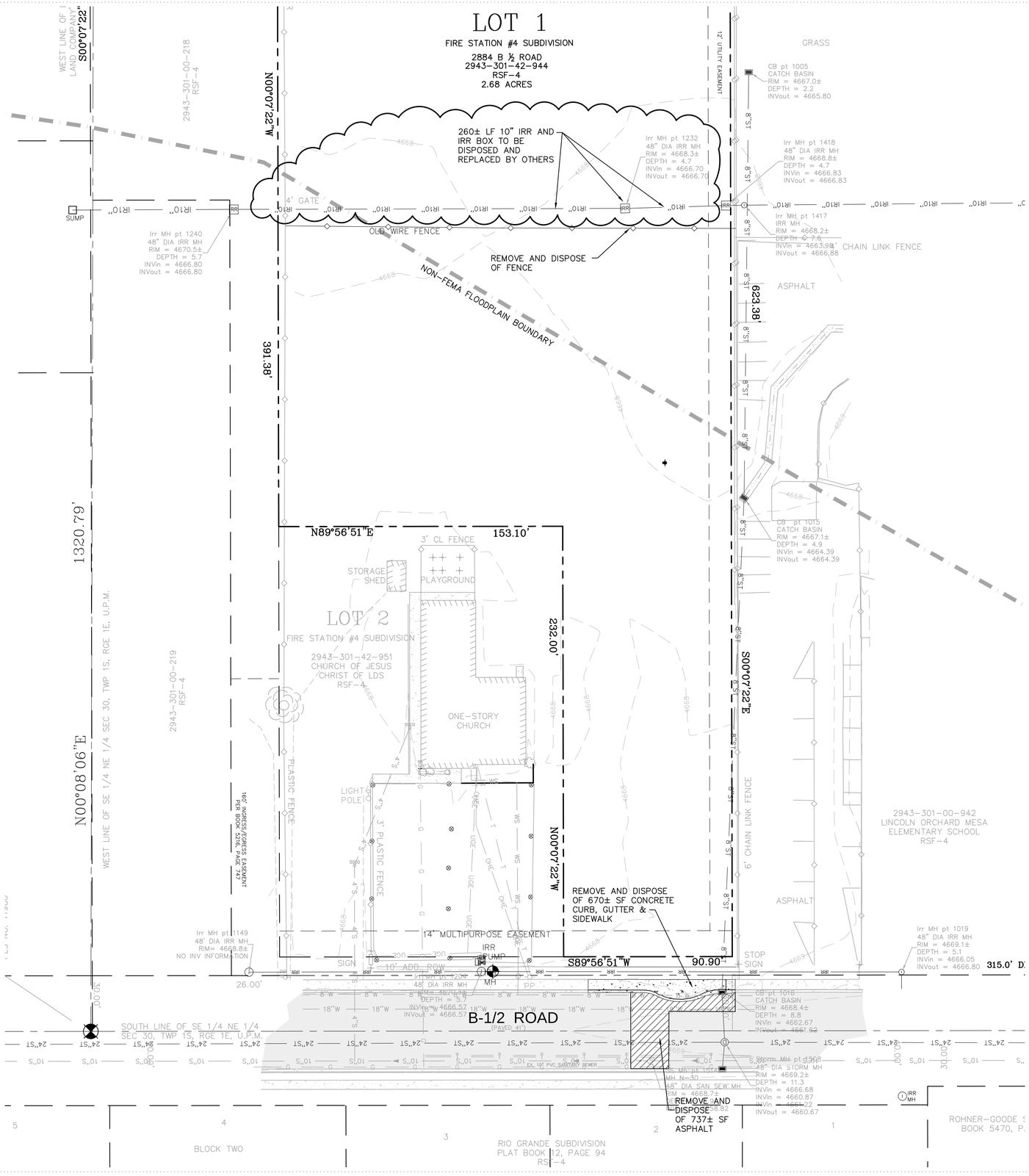
PROJECT STATUS: 100% CD

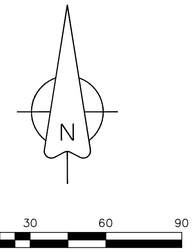
DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-2

PROJECT NO: 1443





NOTE:

1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.

BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ *DATE:* _____

ACCEPTED AS CONSTRUCTED

BY: _____ *DATE:* _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

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(970) 242-7540

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

DEMOLITION PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	IRR, DRAINAGE & FIRE LINE	6-11-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO:

PROJECT NO: 1443

C-3

LOT 1

FIRE STATION #4 SUBDIVISION

2884 B ½ ROAD
2943-301-42-944
RSF-4
2.68 ACRES

WEST LINE OF LAND COMPANY
S00°07'22"E
2943-301-00-218
RSF-4
N00°07'22"W
391.38'
1320.67'
WEST LINE OF SE 1/4 NE 1/4 SEC 30, TWP 1S, RGE 1E, U.P.M.
N00°08'06"E
2943-301-00-219
RSF-4
SOUTH LINE OF SE 1/4 NE 1/4 SEC 30, TWP 1S, RGE 1E, U.P.M.
30.00'
26.00'
12' UTILITY EASEMENT
GRASS
CB pt 1005
CATCH BASIN
RIM = 4667.0±
DEPTH = 2.2
INVout = 4665.80
Irr MH pt 1232
48" DIA IRR MH
RIM = 4668.3±
DEPTH = 4.7
INVin = 4666.70
INVout = 4666.70
Irr MH pt 1417
IRR MH
RIM = 4668.2±
DEPTH = 7.6
INVin = 4663.94
INVout = 4666.88
6' CHAIN LINK FENCE
ASPHALT
623.38'
S00°07'22"E
CB pt 1015
CATCH BASIN
RIM = 4667.1±
DEPTH = 4.9
INVin = 4664.39
INVout = 4664.39
4' GATE
SUMP
Irr MH pt 1240
48" DIA IRR MH
RIM = 4670.5±
DEPTH = 5.7
INVin = 4666.80
INVout = 4666.80
OLD WIRE FENCE
REMOVE AND DISPOSE OF FENCE
NON-FEMA FLOODPLAIN BOUNDARY
N89°56'51"E
153.10'
3' CL FENCE
STORAGE SHED
PLAYGROUND
LOT 2
FIRE STATION #4 SUBDIVISION
2943-301-42-951
CHURCH OF JESUS CHRIST OF LDS
RSF-4
ONE-STORY CHURCH
232.00'
N00°07'22"W
LIGHT POLE
3' PLASTIC FENCE
PLASTIC FENCE
160' INGRESS/EGRESS EASEMENT PER BOOK 5216, PAGE 747
2943-301-00-942
LINCOLN ORCHARD MESA ELEMENTARY SCHOOL
RSF-4
ASPHALT
REMOVE AND DISPOSE OF 670± SF CONCRETE CURB, GUTTER & SIDEWALK
14' MULTIPURPOSE EASEMENT
Irr MH pt 1149
48" DIA IRR MH
RIM= 4668.8±
NO INV INFORMATION
SIGN
10' ADD. ROW
IRR PUMP
MH
S89°56'51"W
90.90'
STOP SIGN
Irr MH pt 1019
48" DIA IRR MH
RIM = 4669.1±
DEPTH = 5.1
INVin = 4666.05
INVout = 4666.80
315.0' D
CB pt 1018
CATCH BASIN
RIM = 4668.4±
DEPTH = 8.8
INVin = 4662.67
INVout = 4661.62
B-1/2 ROAD
(PAVED 41')
SS Mh pt 1514
48" DIA SAN SEW MH
RIM = 4668.7±
DEPTH = 11.9
INVout = 4658.82
Storm MH pt 1508
48" DIA STORM MH
RIM = 4669.2±
DEPTH = 11.3
INVin = 4666.68
INVin = 4660.87
INVin = 4661.22
INVout = 4660.67
REMOVE AND DISPOSE OF 737± SF ASPHALT
IRR MH
BLOCK TWO
RIO GRANDE SUBDIVISION
PLAT BOOK 12, PAGE 94
RSF-4
ROHNER-GOODE S
BOOK 5470, P.

N

0 30 60 90

NOTE:

1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.

BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
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CITY OF GRAND JUNCTION ENGINEERING
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(970) 242-7540

COLORADO LICENSED
CHRISTOPHER M. BOSLEY
42780
PROFESSIONAL ENGINEER
4/29/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

DEMOLITION PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-3

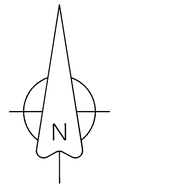
PROJECT NO: 1443

Addendum 2

Revised

LOT 1
FIRE STATION #4 SUBDIVISION
2884 B ½ ROAD
2943-301-42-944
RSF-4
2.68 ACRES

WEST LINE OF I LAND COMPANY'
S00°07'22"E
2943-301-00-218
RSF-4
N00°07'22"W
391.38'
1320.79'
SUMP
Irr MH pt 1240
48" DIA IRR MH
RIM= 4670.5±
DEPTH = 5.7
INVin = 4666.80
INVout = 4666.80
4' GATE
OLD WIRE FENCE
REMOVE AND DISPOSE OF FENCE
NON-FEMA FLOODPLAIN BOUNDARY
Irr MH pt 1232
48" DIA IRR MH
RIM = 4668.3±
DEPTH = 4.7
INVin = 4666.70
INVout = 4666.70
Irr MH pt 1418
48" DIA IRR MH
RIM = 4668.8±
DEPTH = 4.7
INVin = 4666.83
INVout = 4666.83
Irr MH pt 1417
IRR MH
RIM = 4668.2±
DEPTH = 7.6
INVin = 4663.98
INVout = 4666.88
6' CHAIN LINK FENCE
ASPHALT
623.38'
CB pt 1015
CATCH BASIN
RIM = 4667.1±
DEPTH = 4.9
INVin = 4664.39
INVout = 4664.39
N89°56'51"E
153.10'
3' CL FENCE
STORAGE SHED
PLAYGROUND
LOT 2
FIRE STATION #4 SUBDIVISION
2943-301-42-951
CHURCH OF JESUS CHRIST OF LDS
RSF-4
ONE-STORY CHURCH
2943-301-00-219
RSF-4
N00°08'06"E
WEST LINE OF SE 1/4 NE 1/4 SEC 30, TWP 1S, RGE 1E, U.P.M.
232.00'
S00°07'22"E
PLASTIC FENCE
LIGHT POLE
3' PLASTIC FENCE
160' INGRESS/EGRESS EASEMENT PER BOOK 2516, PAGE 747
N00°07'22"W
2943-301-00-942
LINCOLN ORCHARD MESA ELEMENTARY SCHOOL
RSF-4
6' CHAIN LINK FENCE
ASPHALT
REMOVE AND DISPOSE OF 652± SF CONCRETE CURB, GUTTER & SIDEWALK
14' MULTIPURPOSE EASEMENT
Irr MH pt 1149
48" DIA IRR MH
RIM= 4668.8±
NO INV INFORMATION
IRR PUMP
SIGN
10' ADD'L ROW
S89°56'51"W
90.90'
STOP SIGN
Irr MH pt 1019
48" DIA IRR MH
RIM = 4669.1±
DEPTH = 5.1
INVin = 4666.05
INVout = 4666.80
315.0' D
26.00'
30.00'
48" DIA IRR MH
DEPTH = 5.7
INVin = 4666.57
INVout = 4666.57
B-1/2 ROAD
(PAVED 41')
SOUTH LINE OF SE 1/4 NE 1/4 SEC 30, TWP 1S, RGE 1E, U.P.M.
CB pt 1018
CATCH BASIN
RIM = 4668.4±
DEPTH = 8.8
INVin = 4662.67
INVout = 4661.82
Storm MH pt 1503
48" DIA STORM MH
RIM = 4669.2±
DEPTH = 11.3
INVin = 4666.68
INVin = 4660.87
INVin = 4661.22
INVout = 4660.67
SS MH pt 1514
48" DIA SAN SEW MH
RIM = 4668.7±
DEPTH = 11.9
INVout = 4656.82
REMOVE AND DISPOSE OF 588± SF ASPHALT
IRR MH
BLOCK TWO
RIO GRANDE SUBDIVISION
PLAT BOOK 12, PAGE 94
RSF-4
ROHNER-GOODE S
BOOK 5470, P.



NOTE:

1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
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COLORADO LICENSED
THOMAS M. LOGUE
42780
4/10/15
PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

DEMOLITION PLAN

NO:	ISSUED FOR:	DATE:

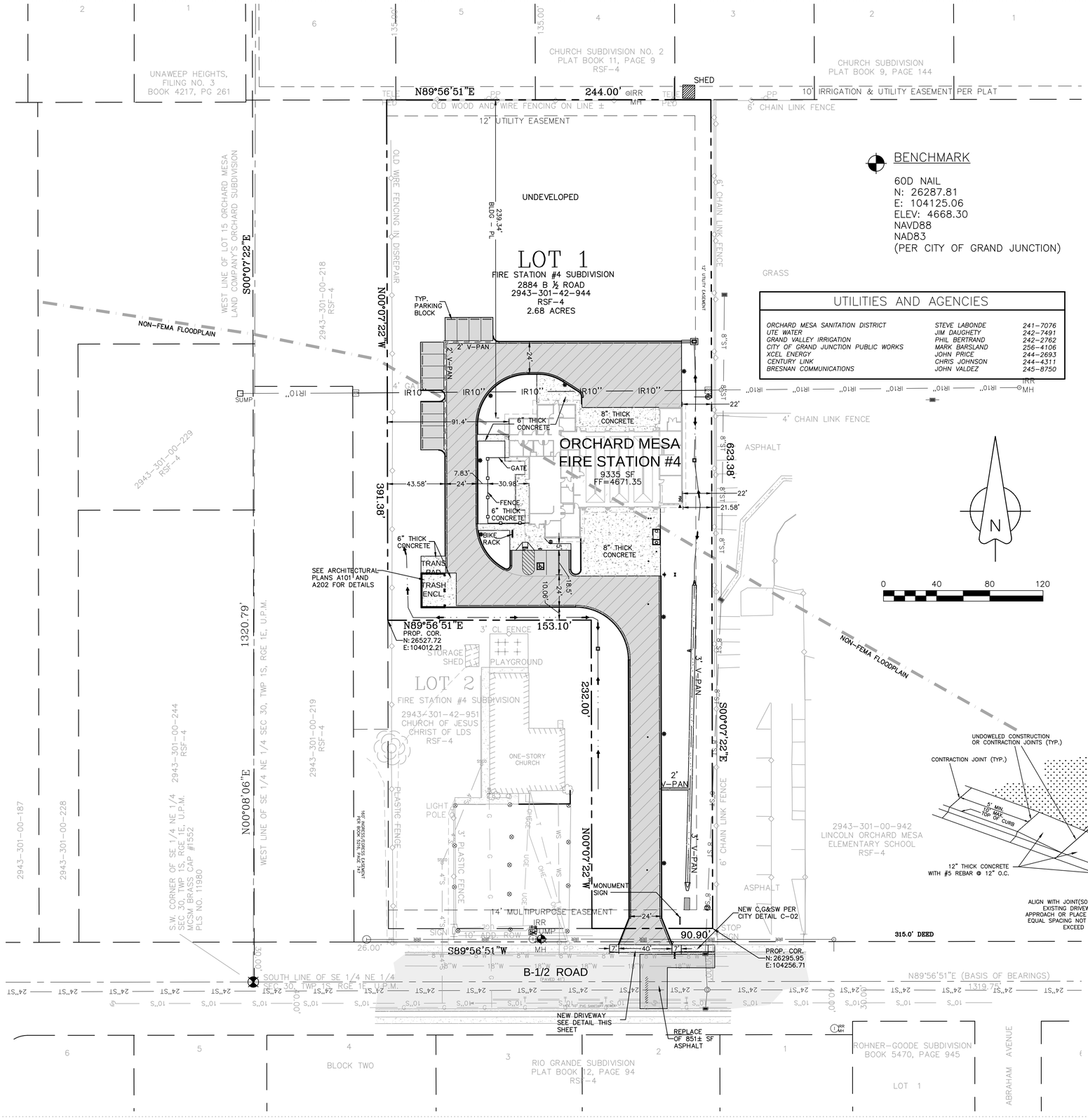
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-3



BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

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UTE WATER	JIM DAUGHETY	242-7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106
XCEL ENERGY	JOHN PRICE	244-2693
CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750

GENERAL NOTES:

1. ALL PARKING SPACES ARE 9-FT WIDE X 18.5-FT LONG UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
3. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.
4. AS SHOWN BY PLAN VIEW, THE PROJECT SITE IS LOCATED WITHIN A NON-FEMA 100-YEAR FLOODPLAIN BOUNDARY ACCORDING TO THE "ORCHARD MESA FLOOD HAZARD MITIGATION REPORT", DATED JULY 2009, AND PREPARED BY AYRES ASSOCIATES. THE REPORT IDENTIFIES A 100-YEAR WATER SURFACE ELEVATION OF APPROXIMATELY 4669.35 (NAVD88) NEAR THE CENTER OF THE SITE, WHICH SHALL BE USED AS THE FLOODPLAIN ELEVATION.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
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- EXISTING RETAINING WALL
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- EXISTING 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
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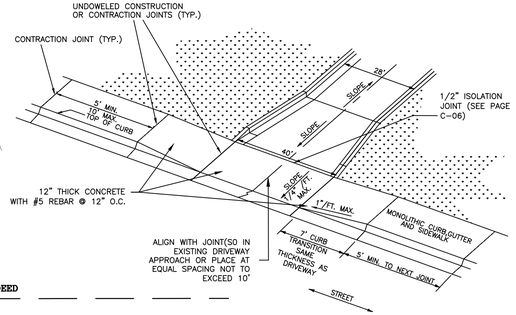
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

LAND USE SUMMARY

USE	SQUARE FT	PERCENT
BUILDINGS	9,335	8.0%
LANDSCAPE/OPEN	72,001	61.8%
ASPHALT/PKG/CONC	32,809	28.1%
ROW DEDICATION	2,440	2.1%
TOTAL	116,585	100.0%

PARKING SUMMARY
Fire Station: 1/Employee (6/Shift) + 1/300SF @ 1722sf Office Space=12 spaces
Total Parking Required = 12 Spaces
Total Parking Provided On Site = 14 Spaces



NEW DRIVEWAY
NTS

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT
BY: _____ DATE: _____

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____
ACCEPTED AS CONSTRUCTED
BY: _____ DATE: _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

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(970) 242-7540

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

SITE PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	BUILDING FOOTPRINT	5-29-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

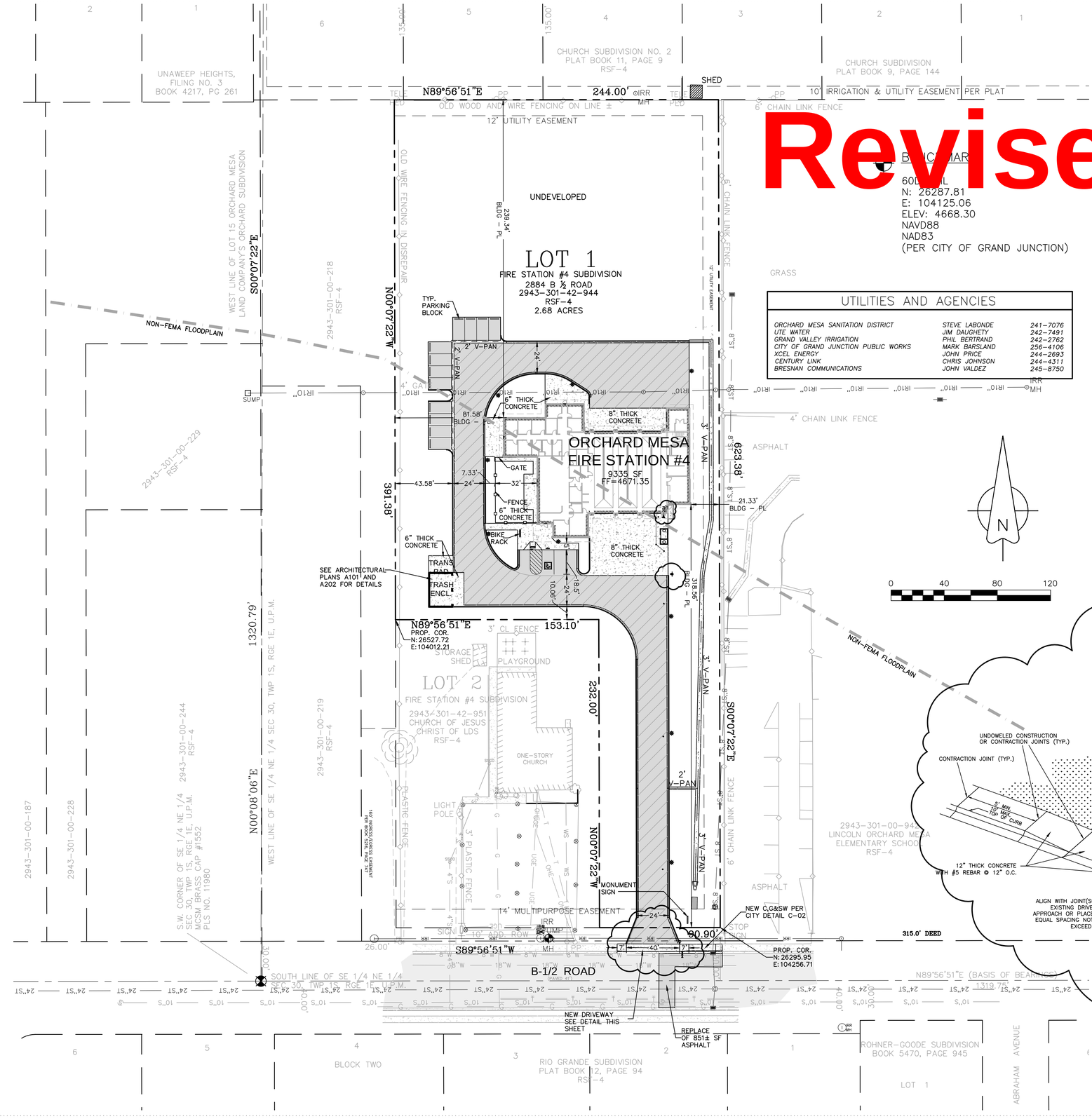
PROJECT NO: 1443

SHEET NO: C-4

PR 03

GENERAL NOTES:

1. ALL PARKING SPACES ARE 9–FT WIDE X 18.5–FT LONG UNLESS OTHERWISE NOTED.
2. ALL SIDEWALKS ARE 4' WIDE UNLESS OTHERWISE NOTED.
3. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.
4. AS SHOWN BY PLAN VIEW, THE PROJECT SITE IS LOCATED WITHIN A NON-FEMA 100–YEAR FLOODPLAIN BOUNDARY ACCORDING TO THE "ORCHARD MESA FLOOD HAZARD MITIGATION REPORT", DATED JULY 2009, AND PREPARED BY [illegible] ASSOCIATES. THE REPORT IDENTIFIES A 100–YEAR WATER SURFACE ELEVATION OF APPROXIMATELY 4669.35 (NAVD88) NEAR THE CENTER OF THE SITE, WHICH SHALL BE USED AS THE FLOODPLAIN ELEVATION.



UTILITIES AND AGENCIES

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241–7076
UTE WATER	JIM DAUGHETY	242–7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242–2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256–4106
XCEL ENERGY	JOHN PRICE	244–2693
CENTURY LINK	CHRIS JOHNSON	244–4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245–8750

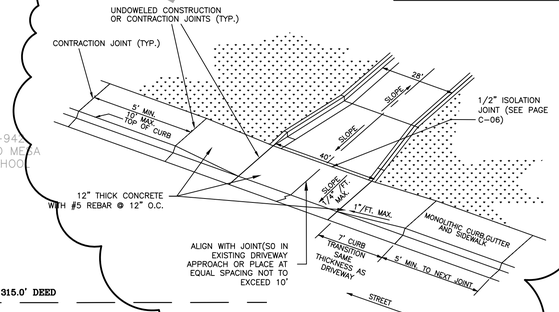
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1–FT CONTOUR
- EXISTING 5–FT CONTOUR
- PROPOSED 1–FT CONTOUR
- PROPOSED 5–FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

LAND USE SUMMARY

USE	SQUARE FT	PERCENT
BUILDINGS	9,335	8.0%
LANDSCAPE/OPEN	72,001	61.8%
ASPHALT/PKG/CONC	32,809	28.1%
ROW DEDICATION	2,440	2.1%
TOTAL	116,585	100.0%

PARKING SUMMARY
Fire Station: 1/Employee (6/Shift) + 1/300SF @ 1722sf Office Space=12 spaces
Total Parking Required = 12 Spaces
Total Parking Provided On Site = 14 Spaces



NEW DRIVEWAY
NTS

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

BY: _____ DATE: _____

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APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ DATE: _____

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COLORADO LICENSED THOMAS R. AUSTIN 42780 4/29/15 PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

SITE PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

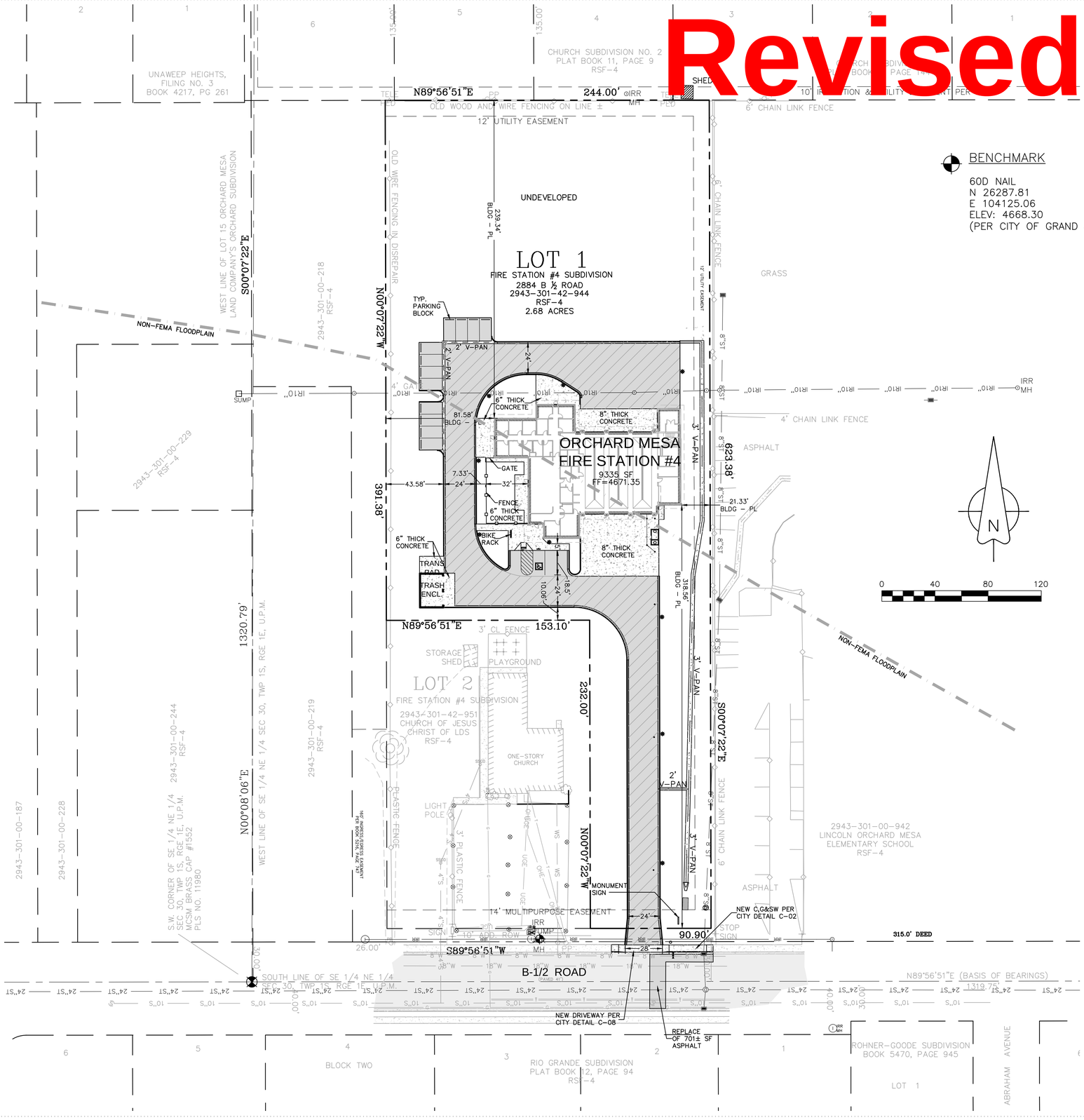
DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-4

PROJECT NO: 1443

Addendum 2



GENERAL NOTES:

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BENCHMARK

60D NAIL
N 26287.81
E 104125.06
ELEV: 4668.30
(PER CITY OF GRAND JUNCTION)

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
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- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
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- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

LAND USE SUMMARY		
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ASPHALT/PKG/CONC	32,809	28.1%
ROW DEDICATION	2,440	2.1%
TOTAL	116,585	100.0%

PARKING SUMMARY

Fire Station @ 10 Employee + 4 Visitor = 14

Total Parking Required = 14 Spaces

Total Parking Provided On Site = 14 Spaces

UTILITIES AND AGENCIES

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UTE WATER	JIM DAUGHETY	242-7491
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CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT

BY:_____ DATE:_____

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY:_____ DATE:_____

ACCEPTED AS CONSTRUCTED

BY:_____ DATE:_____

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COLORADO LICENSED
Matthew R. Austin
#42780
4/1/15
PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

SITE PLAN

NO:	ISSUED FOR:	DATE:

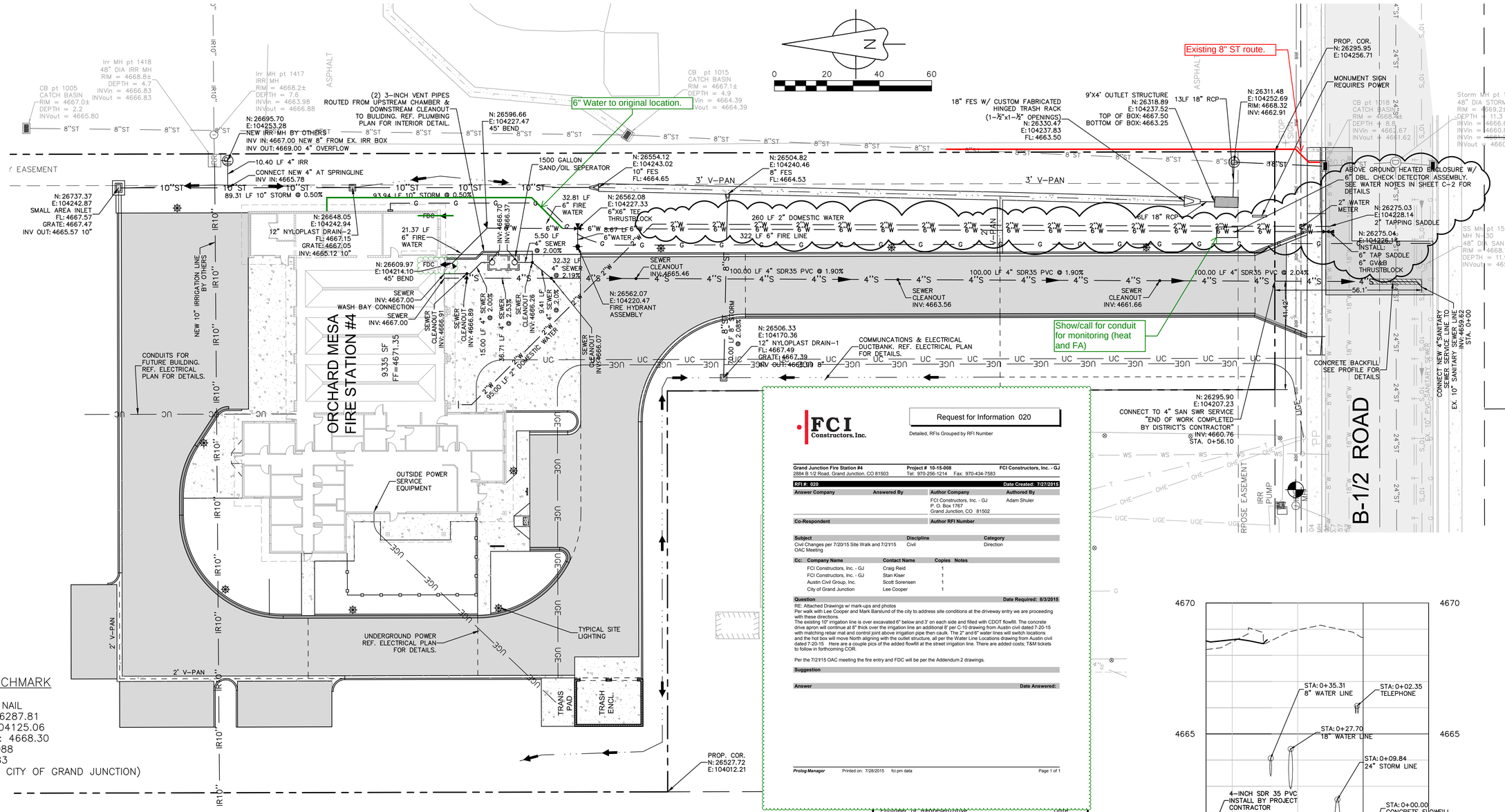
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-4



BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

NOTE:

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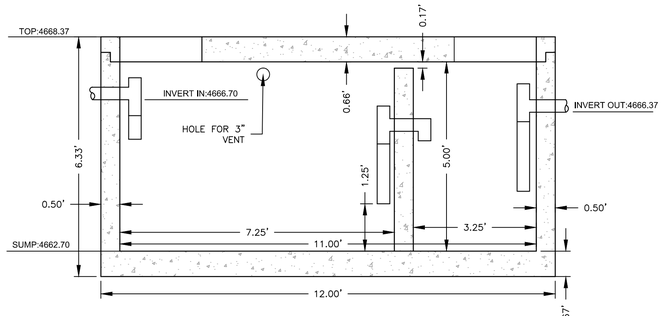

1,500 GAL. SAND/OIL SEPERATOR

NTS

FCI Constructors, Inc.

Request for Information 020

Detailed, RFIs Grouped by RFI Number

Grand Junction Fire Station #4	**Project # 10-15-008**	**FCI Constructors, Inc. - GJ**
2884 B 1/2 Road, Grand Junction, CO 81503	Tel: 970-256-1214 Fax: 970-434-7583	

RFI #: 020 — **Date Created: 7/27/2015**

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

Co-Respondent — **Author RFI Number**

Subject	Discipline	Category
Civil Changes per 7/20/15 Site Walk and 7/2/15 OAC Meeting	Civil	Direction

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Craig Reid	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Austin Civil Group, Inc.	Scott Sorensen	1	
	City of Grand Junction	Lee Cooper	1	

Question — **Date Required: 8/3/2015**

RE: Attached Drawings w/ mark-ups and photos
Per walk with Lee Cooper and Mark Barslund of the city to address site conditions at the driveway entry we are proceeding with these directions.
The existing 10" irrigation line is over excavated 6" below and 3' on each side and filled with CDOT flowfill. The concrete drive apron will continue all 8" thick over the irrigation line an additional 8' per C-10 drawing from Austin civil dated 7-20-15 with matching rebar mat and control joint above irrigation pipe then caulk. The 2" and 6" water lines will switch locations and the hot box will move North aligning with the outlet structure, all per the Water Line Locations drawing from Austin civil dated 7-20-15 Here are a couple pics of the added flowfill at the street irrigation line. There are added costs; T&M tickets to follow in forthcoming COR.

Per the 7/2/15 OAC meeting the fire entry and FDC will be per the Addendum 2 drawings.

Suggestion

Answer — **Date Answered:**

Prolog Manager Printed on: 7/28/2015 fci pm data Page 1 of 1

Engineer or Representative — Date

UTE WATER DISTRICT
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____
ACCEPTED AS CONSTRUCTED
BY: _____ DATE: _____

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____
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4-INCH SEWER SERVICE
HORIZONTAL: 1"=20', VERTICAL: 1"=2'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	REVISED SANITARY SEWER SERVICE	5-7-15
3	REVIEW COMMENTS RD#2	6-3-15
4	IRR, DRAINAGE & FIRE LINE	6-11-15
5	WATER LINE & ENCLOSURE	7-20-15

PROJECT STATUS: 100% CD

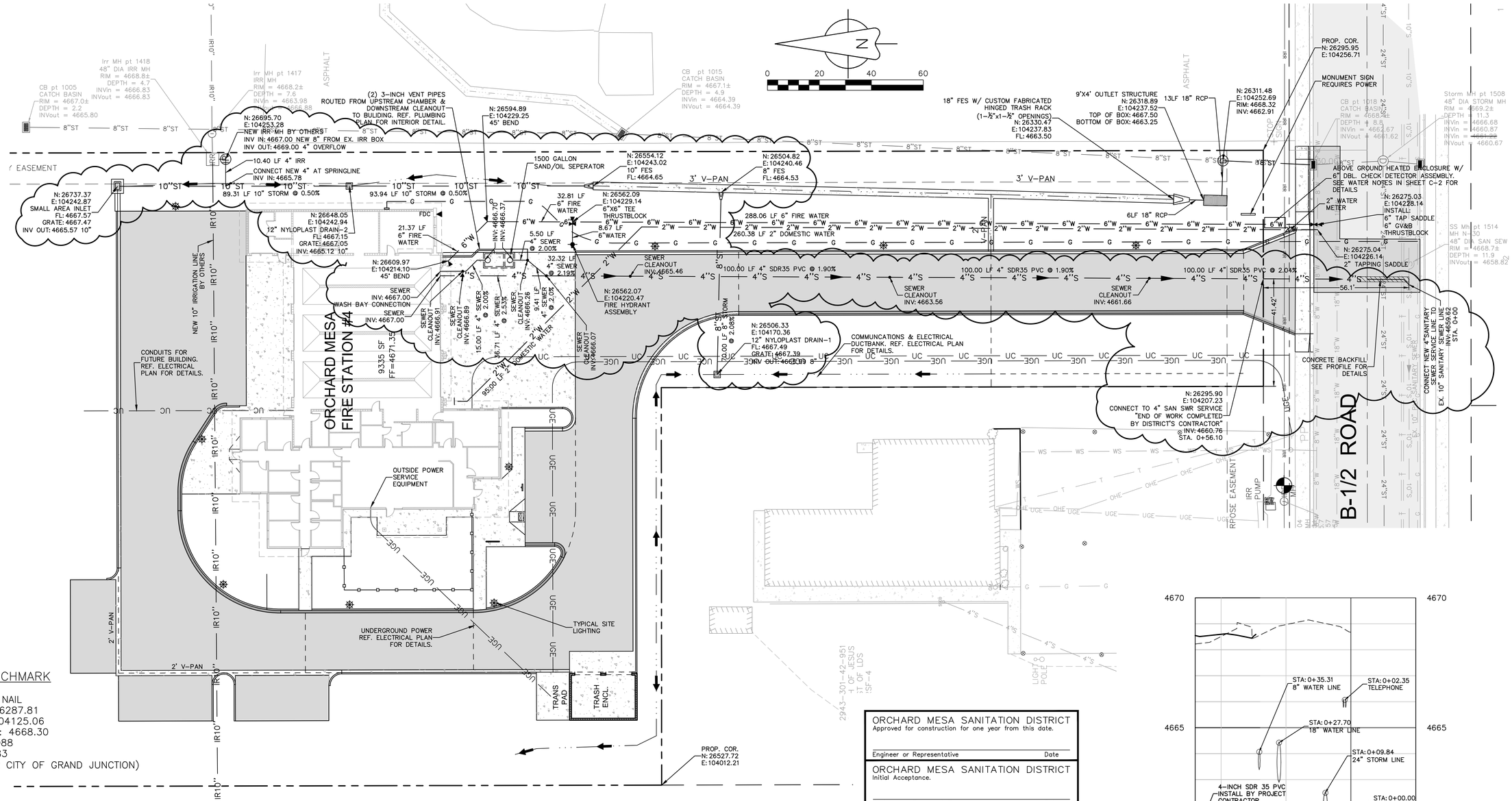
DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

PROJECT NO: **1443**

SHEET NO: **C-5**

RFI 020



BENCHMARK

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NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

NOTE:

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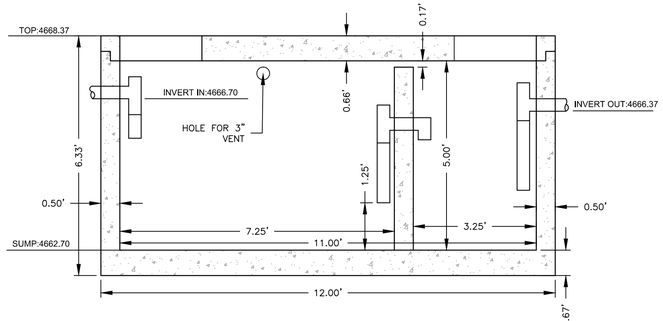

1,500 GAL. SAND/OIL SEPERATOR

NTS

ORCHARD MESA SANITATION DISTRICT
Approved for construction for one year from this date.

Engineer or Representative Date

ORCHARD MESA SANITATION DISTRICT
Initial Acceptance.

Engineer or Representative Date

UTE WATER DISTRICT

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ *DATE:* _____

ACCEPTED AS CONSTRUCTED

BY: _____ *DATE:* _____

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ *DATE:* _____

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4-INCH SEWER SERVICE
HORIZONTAL: 1"=20', VERTICAL: 1"=2'

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UTILITY PLAN

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DRAWN BY: LMS CHECKED BY: MRA

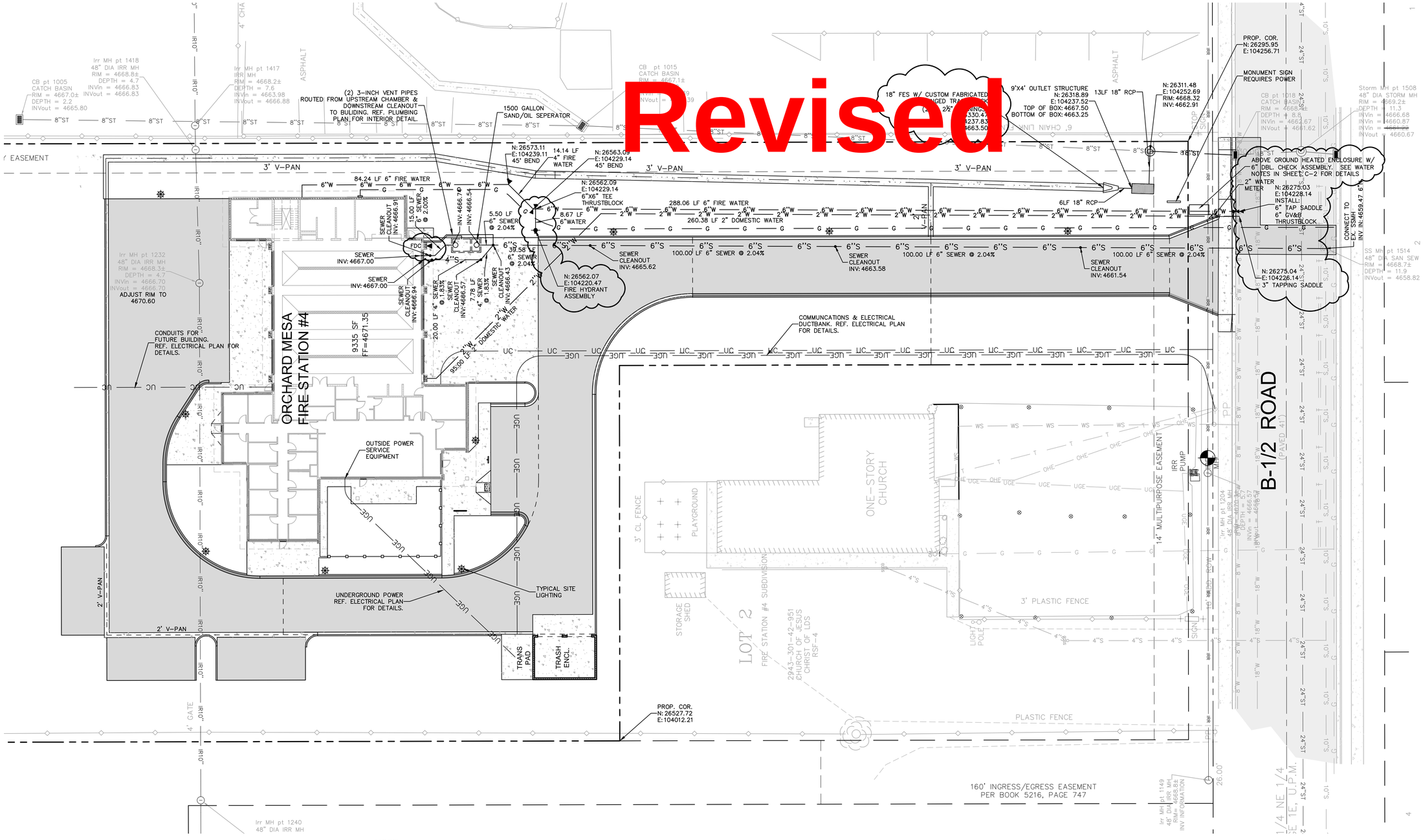
DATE: **4-10-15**

PROJECT NO: **1443**

SHEET NO: **C-5**

PR 03

Revised



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BENCHMARK

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(PER CITY OF GRAND JUNCTION)

0 20 40 60

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UTE WATER DISTRICT	CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
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COLORADO LICENSED TIMOTHY M. ACKERMAN 42780 PROFESSIONAL ENGINEER 4/29/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY PLAN

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PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

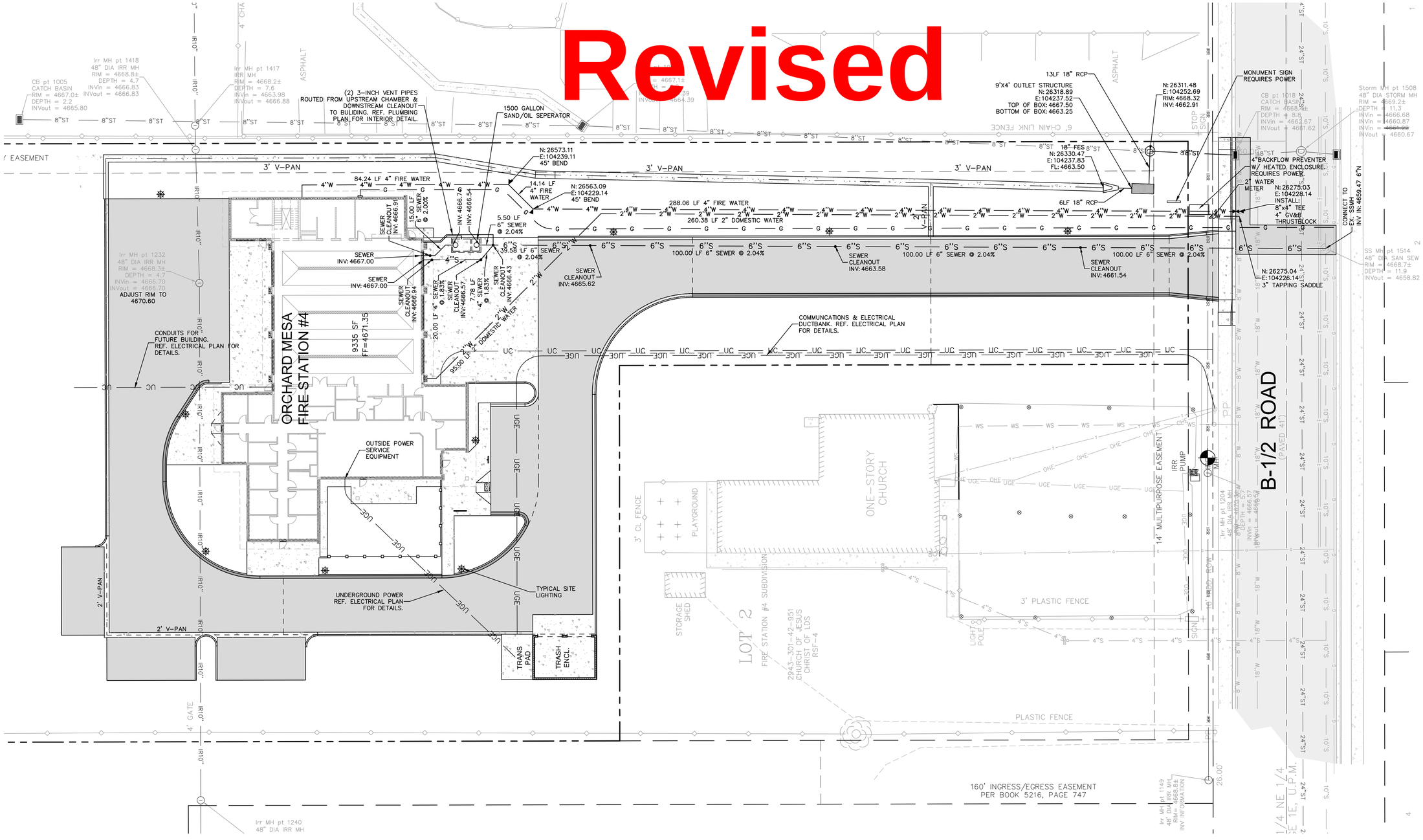
DATE: **4-10-15**

PROJECT NO: **1443**

SHEET NO: **C-5**

Addendum 2

Revised



UTILITIES AND AGENCIES

ORCHARD MESA SANITATION DISTRICT	STEVE LABONDE	241-7076
UTE WATER	JIM DAUGHETY	242-7491
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	256-4106
XCEL ENERGY	JOHN PRICE	244-2693
CENTURY LINK	CHRIS JOHNSON	244-4311
BRESNAN COMMUNICATIONS	JOHN VALDEZ	245-8750

NOTE:

1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG B 1/2 ROAD.

0 20 40 60

UTE WATER DISTRICT	CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY:_____ DATE:_____	BY:_____ DATE:_____
ACCEPTED AS CONSTRUCTED	ACCEPTED AS CONSTRUCTED
BY:_____ DATE:_____	BY:_____ DATE:_____

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(970) 242-7540

COLORADO LICENSED PROFESSIONAL ENGINEER 42780 4/10/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY PLAN

NO:	ISSUED FOR:	DATE:

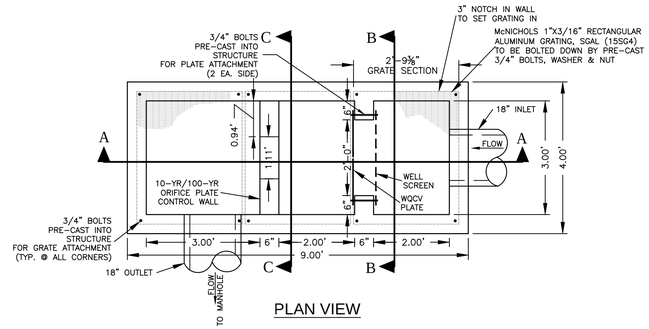
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

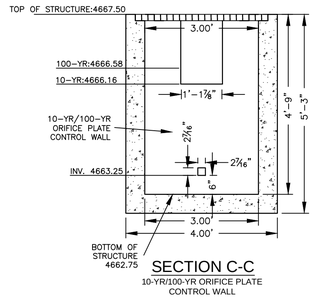
DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-5

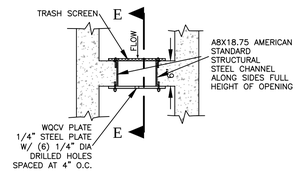


PLAN VIEW



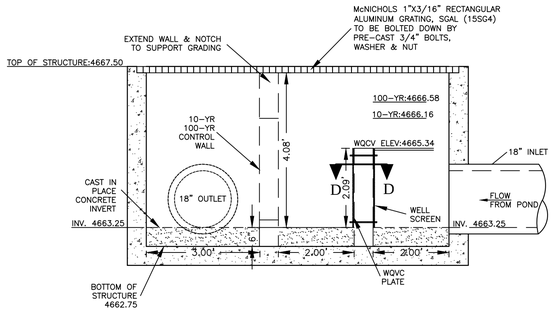
SECTION C-C

10-YR/100-YR ORIFICE PLATE CONTROL WALL

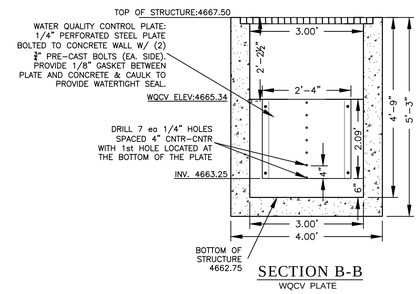


SECTION D-D

WQCV PLATE DETAIL

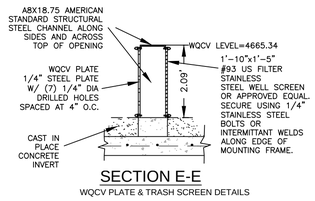


SECTION A-A



SECTION B-B

WQCV PLATE



SECTION E-E

WQCV PLATE & TRASH SCREEN DETAILS

OUTLET STRUCTURE

NTS

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ *DATE:* _____

ACCEPTED AS CONSTRUCTED

BY: _____ *DATE:* _____

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY DETAILS

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

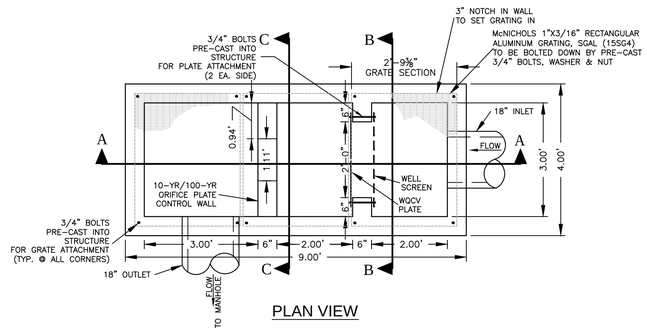
DATE: **4-10-15**

SHEET NO: **C-6**

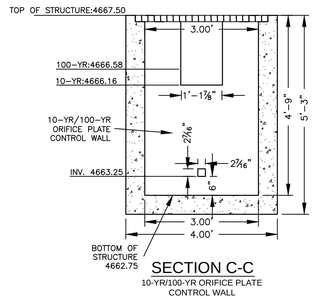
PROJECT NO: **1443**

PR 03

Revised

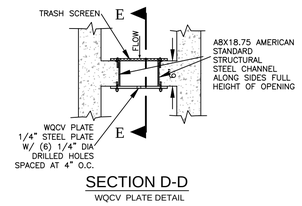


PLAN VIEW



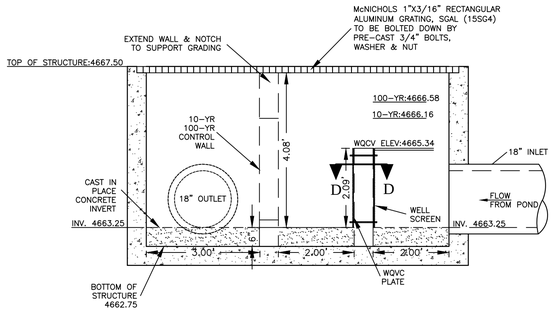
SECTION C-C

10-YR/100-YR ORIFICE PLATE CONTROL WALL

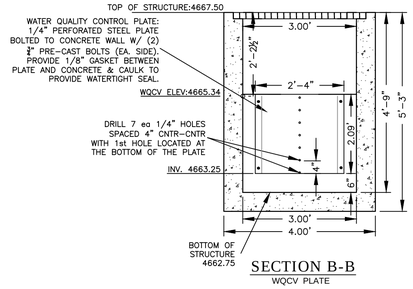


SECTION D-D

WQCV PLATE DETAIL

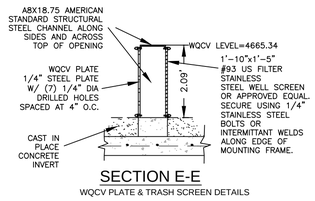


SECTION A-A



SECTION B-B

WQCV PLATE



SECTION E-E

WQCV PLATE & TRASH SCREEN DETAILS

OUTLET STRUCTURE

NTS

CITY OF GRAND JUNCTION ENGINEERING

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COLORADO LICENSED SCOTT M. AUSTIN 42780 PROFESSIONAL ENGINEER 4/9/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY DETAILS

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

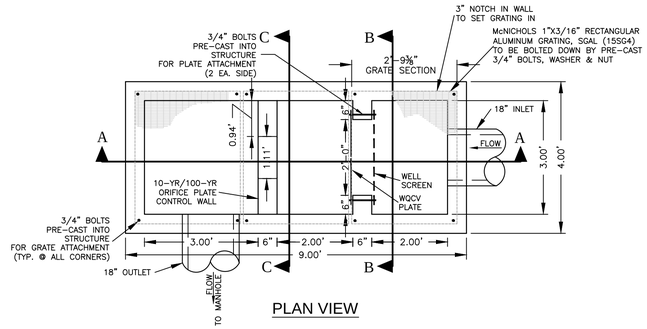
DATE: **4-10-15**

PROJECT NO: **1443**

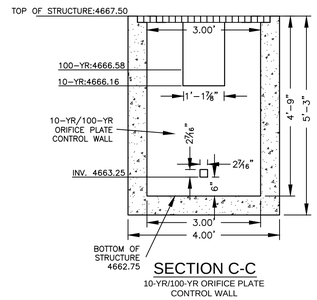
SHEET NO: **C-6**

Addendum 2

Revised

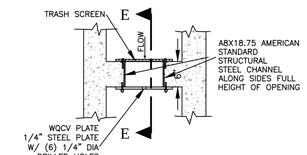


PLAN VIEW



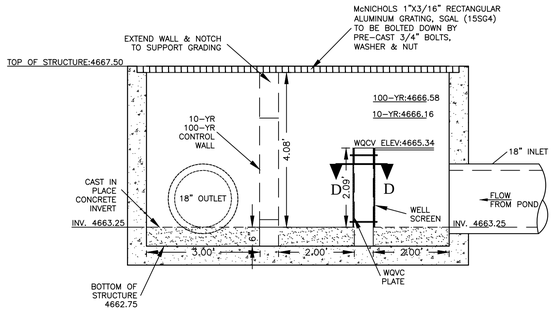
SECTION C-C

10-YR/100-YR ORIFICE PLATE CONTROL WALL

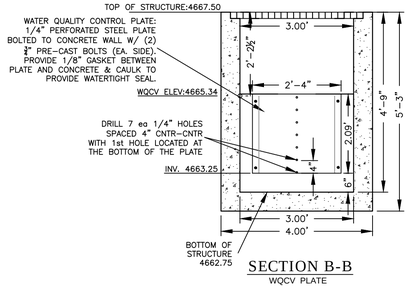


SECTION D-D

WQCV PLATE DETAIL

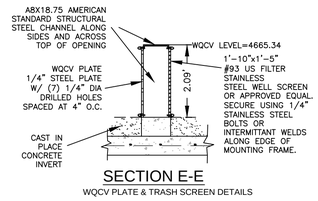


SECTION A-A



SECTION B-B

WQCV PLATE



SECTION E-E

WQCV PLATE & TRASH SCREEN DETAILS

OUTLET STRUCTURE

NTS

CITY OF GRAND JUNCTION ENGINEERING

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COLORADO LICENSED PROFESSIONAL ENGINEER 42780 4/10/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UTILITY DETAILS

NO:	ISSUED FOR:	DATE:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

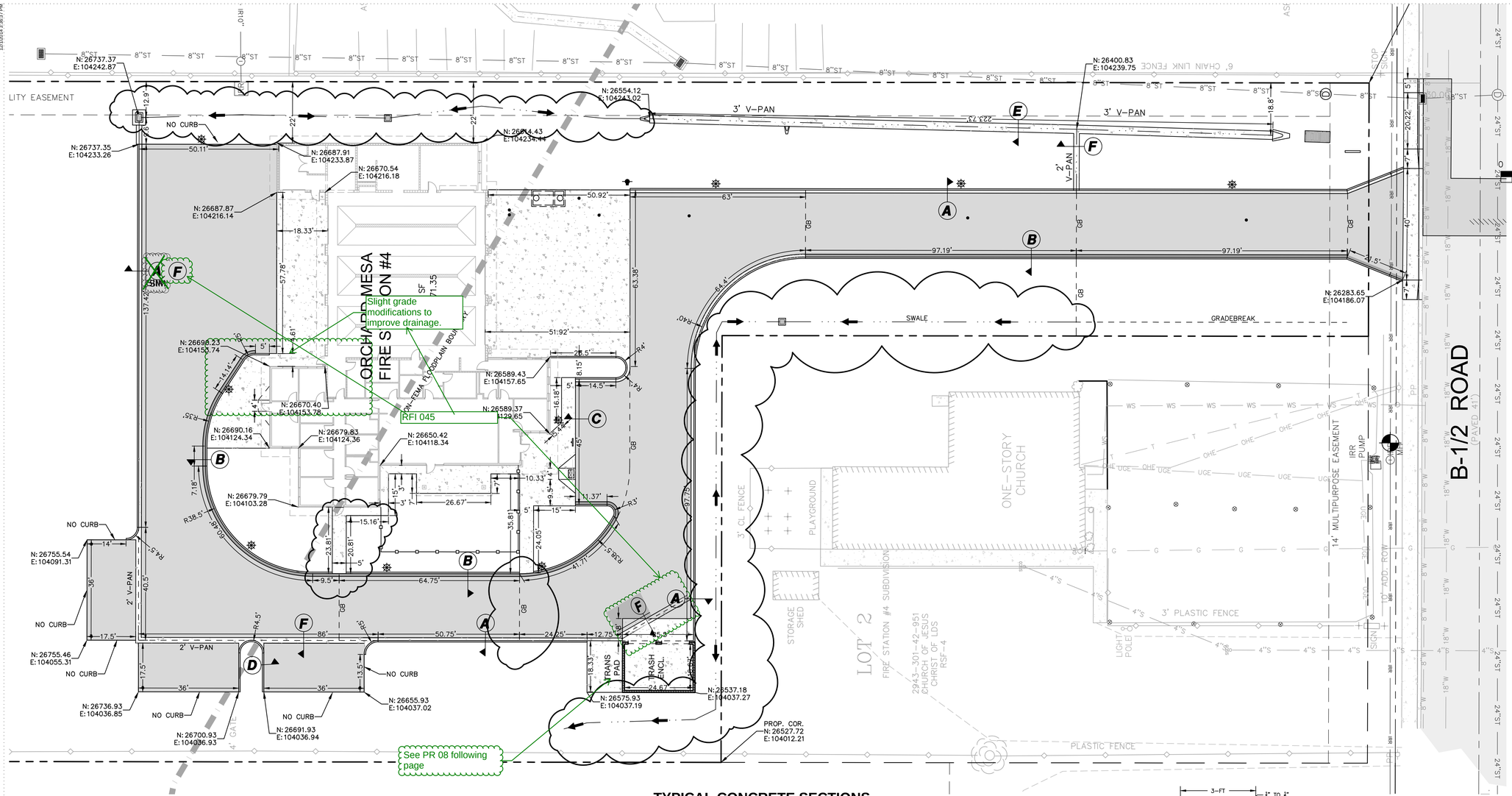
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

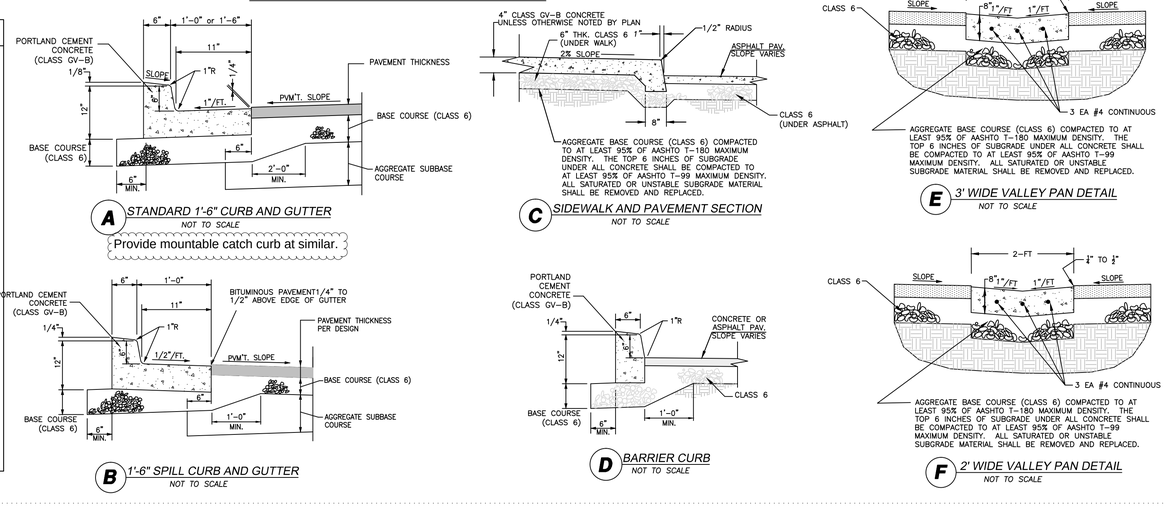
DATE: **4-10-15**

SHEET NO: **C-6**

PROJECT NO: **1443**



TYPICAL CONCRETE SECTIONS



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1-FT CONTOUR
- EXISTING 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS

BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

HORIZONTAL CONTROL PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	BUILDING FOOTPRINT	5-29-15
3	IRR, DRAINAGE & FIRE LINE	6-11-15
4	CONCRETE WALK	6-19-15

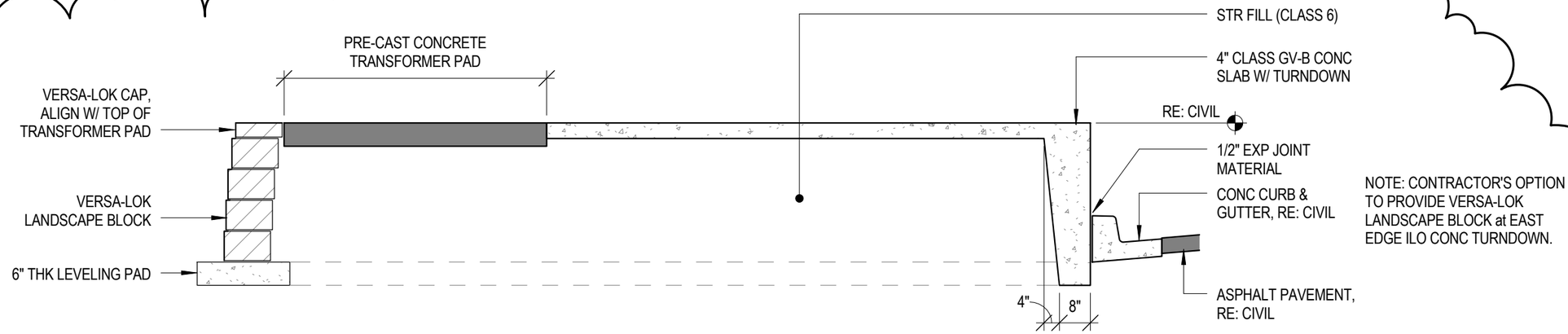
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-7**

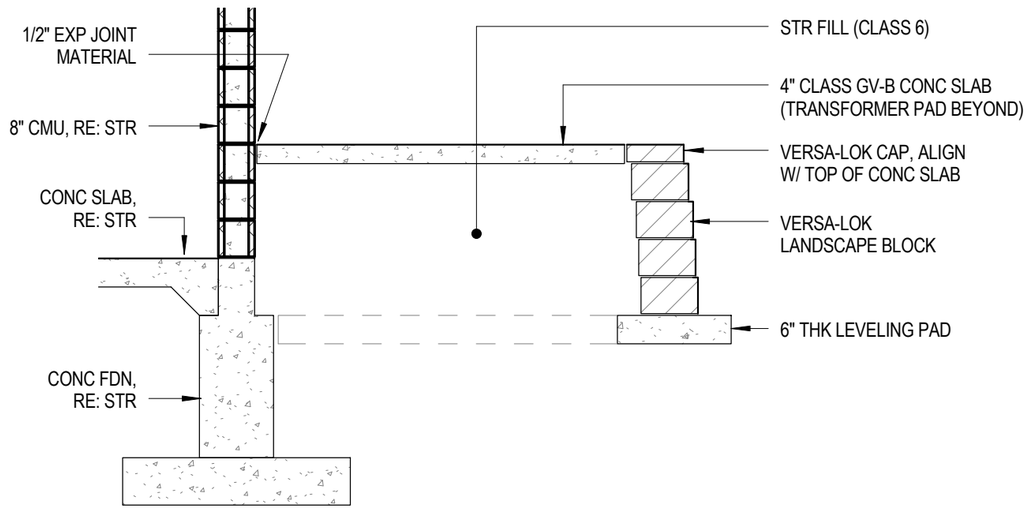
PROJECT NO: **1443**



NOTE: CONTRACTOR'S OPTION TO PROVIDE VERSA-LOK LANDSCAPE BLOCK at EAST EDGE ILO CONC TURNDOWN.

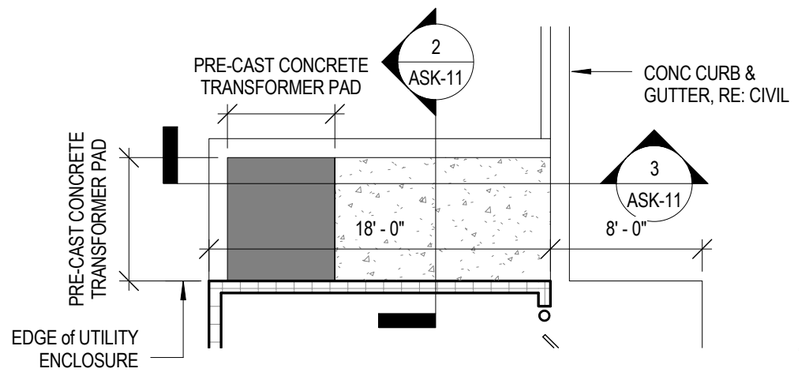
3 TRANSFORMER PAD SECTION A

SCALE: 3/8" = 1'-0"



2 TRANSFORMER PAD SECTION B

SCALE: 3/8" = 1'-0"



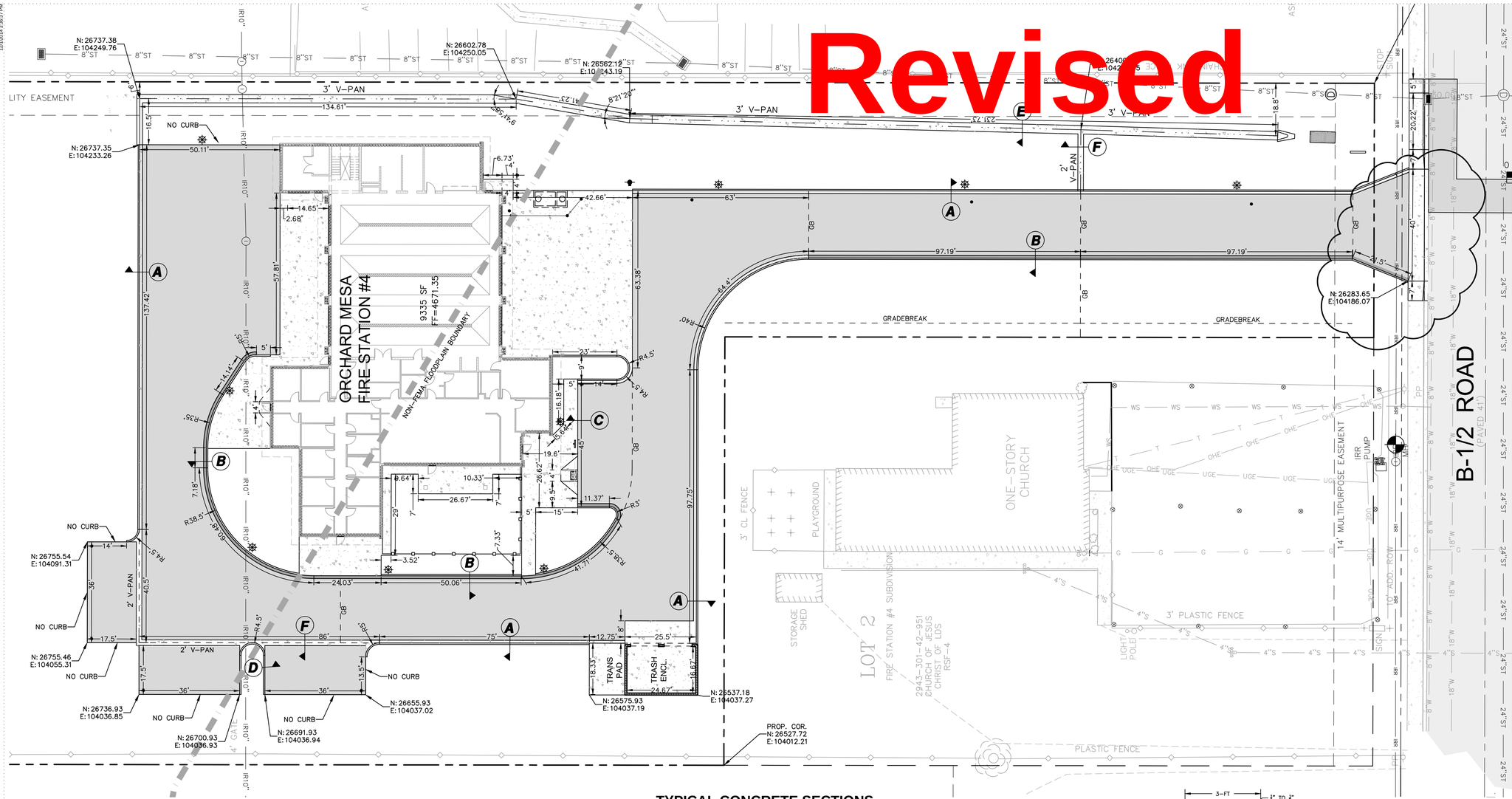
1 FLOOR PLAN - TRANSFORMER PAD

SCALE: 1/8" = 1'-0"

Grades around pad will remain per Civil

CHAMBERLIN ARCHITECTS GRAND JUNCTION, COLORADO 970.242.6804 RAPID CITY, SOUTH DAKOTA 605.355.6804		DESCRIPTION: **TRANSFORMER PAD DETAILS**			ISSUED WITH: PR#008
PROJECT: **OMFS#4**	PROJECT NO: **1443**	SCALE: **As indicated**	DATE: **7/23/15**	PREPARED BY: **JW**	**ASK-11** LOCATION:

Revised



TYPICAL CONCRETE SECTIONS

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1-FT CONTOUR
- EXISTING 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
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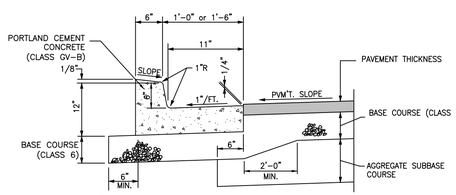
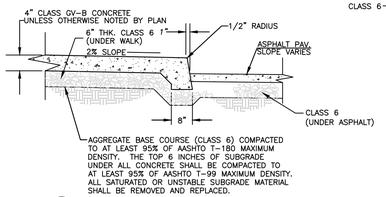
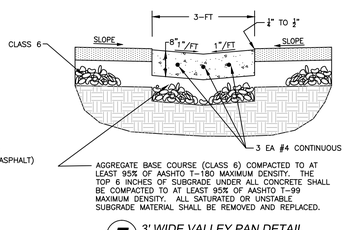
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS



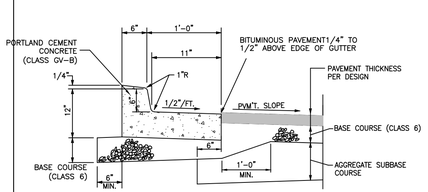
A *STANDARD 1'-6" CURB AND GUTTER*
NOT TO SCALE



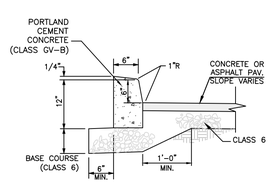
C *SIDEWALK AND PAVEMENT SECTION*
NOT TO SCALE



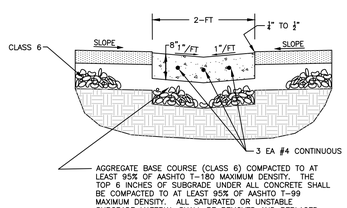
E *3' WIDE VALLEY PAN DETAIL*
NOT TO SCALE



B *1'-6" SPILL CURB AND GUTTER*
NOT TO SCALE



D *BARRIER CURB*
NOT TO SCALE



F *2' WIDE VALLEY PAN DETAIL*
NOT TO SCALE

BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ *DATE:* _____

ACCEPTED AS CONSTRUCTED

BY: _____ *DATE:* _____

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(970) 242-7540

COLORADO LICENSED SCOTT THOMAS AUSTIN 42780 PROFESSIONAL ENGINEER 4/29/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

HORIZONTAL CONTROL PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-7**

PROJECT NO: **1443**

Addendum 2

12/1/2014 3:36:07 PM
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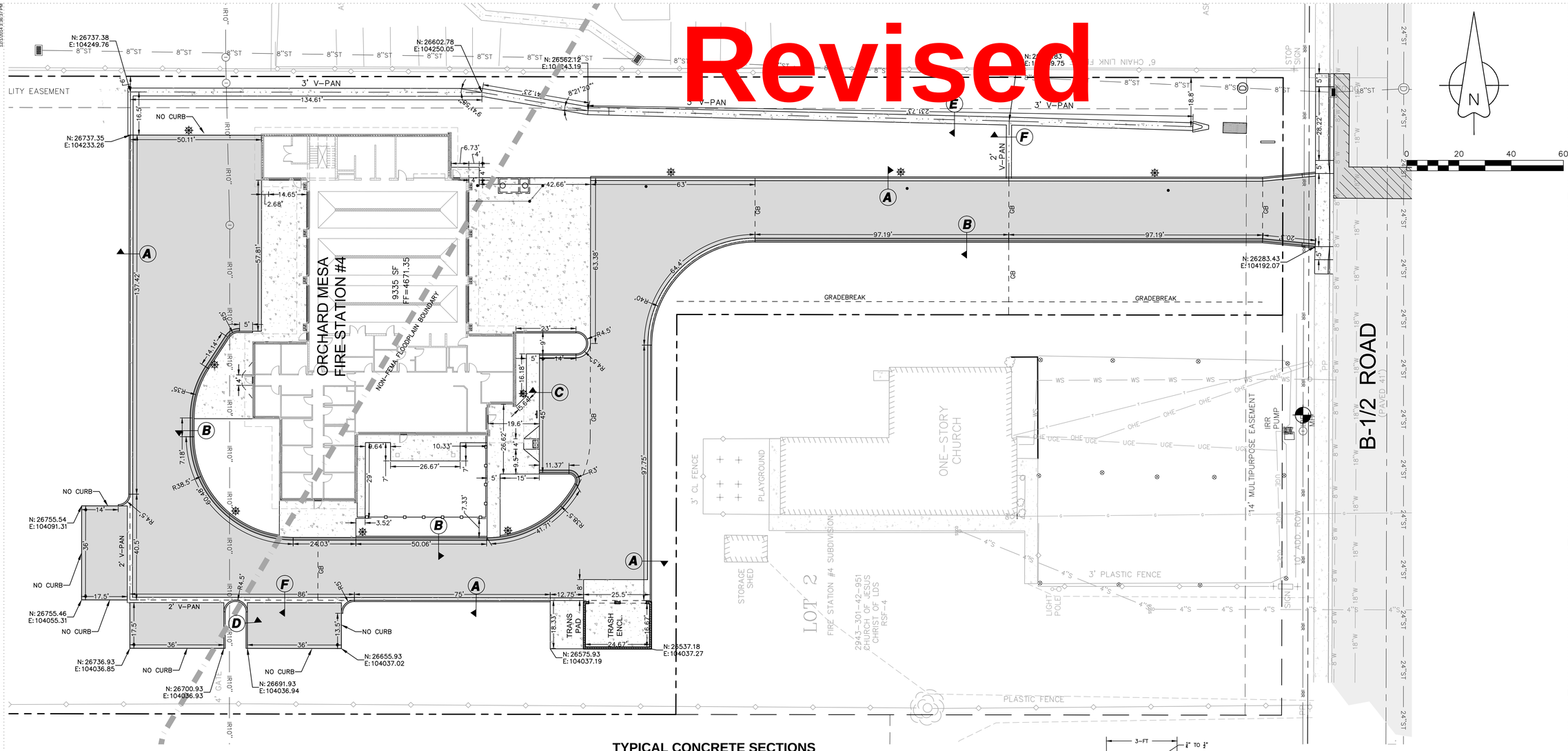
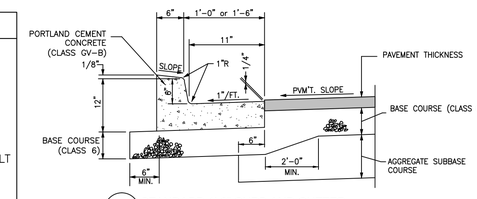


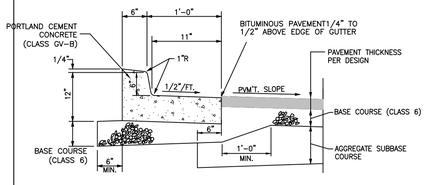
TYPICAL CONCRETE SECTIONS

LEGEND

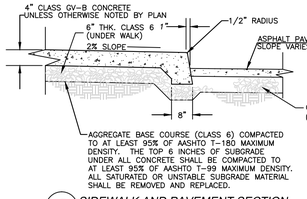
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB/GUTTER
- PROPOSED CURB/GUTTER
- PROPOSED SPILL CURB/GUTTER
- PROPOSED TRANSITION CURB/GUTTER
- EXISTING RETAINING WALL
- EXISTING 1-FT CONTOUR
- EXISTING 5-FT CONTOUR
- PROPOSED 1-FT CONTOUR
- PROPOSED 5-FT CONTOUR
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER INLET
- PROPOSED STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED INLINE DRAIN
- EXISTING 8" WATER MAIN
- PROPOSED 2" DOMESTIC SERVICE
- PROPOSED 4" FIRE LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED METER/BACKFLOW VAULT
- PROPOSED IRRIGATION MANHOLE
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED TRAFFIC FLOW
- GRADE BREAK
- ROOF DRAIN (RD)
- STREET LIGHT POLE
- FIRE DEPARTMENT CONNETION
- PARKING LOT LIGHT
- PROPOSED BUILDING LIGHT
- POWER POLE
- FL FLOWLINE
- EOP EDGE OF PAVEMENT
- TOC TOP OF CONCRETE
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- TBW TOP BACK OF WALK
- TC TOP OF CURB
- BOC BACK OF CURB
- LS LANDSCAPE AREA
- UTILITY PEDESTALS



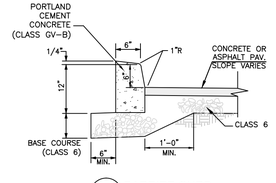
A *STANDARD 1'-6" CURB AND GUTTER*
NOT TO SCALE



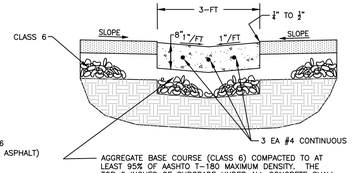
B *1'-6" SPILL CURB AND GUTTER*
NOT TO SCALE



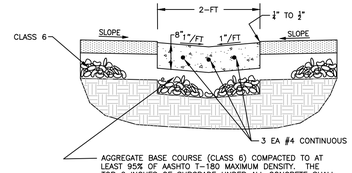
C *SIDEWALK AND PAVEMENT SECTION*
NOT TO SCALE



D *BARRIER CURB*
NOT TO SCALE



E *3' WIDE VALLEY PAN DETAIL*
NOT TO SCALE



F *2' WIDE VALLEY PAN DETAIL*
NOT TO SCALE

CITY OF GRAND JUNCTION ENGINEERING

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BY: _____ *DATE:* _____

ACCEPTED AS CONSTRUCTED

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(970) 242-7540

COLORADO LICENSED SCOTT THOMAS AUSTIN #27780 4/9/15 PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

HORIZONTAL CONTROL PLAN

NO:	ISSUED FOR:	DATE:
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

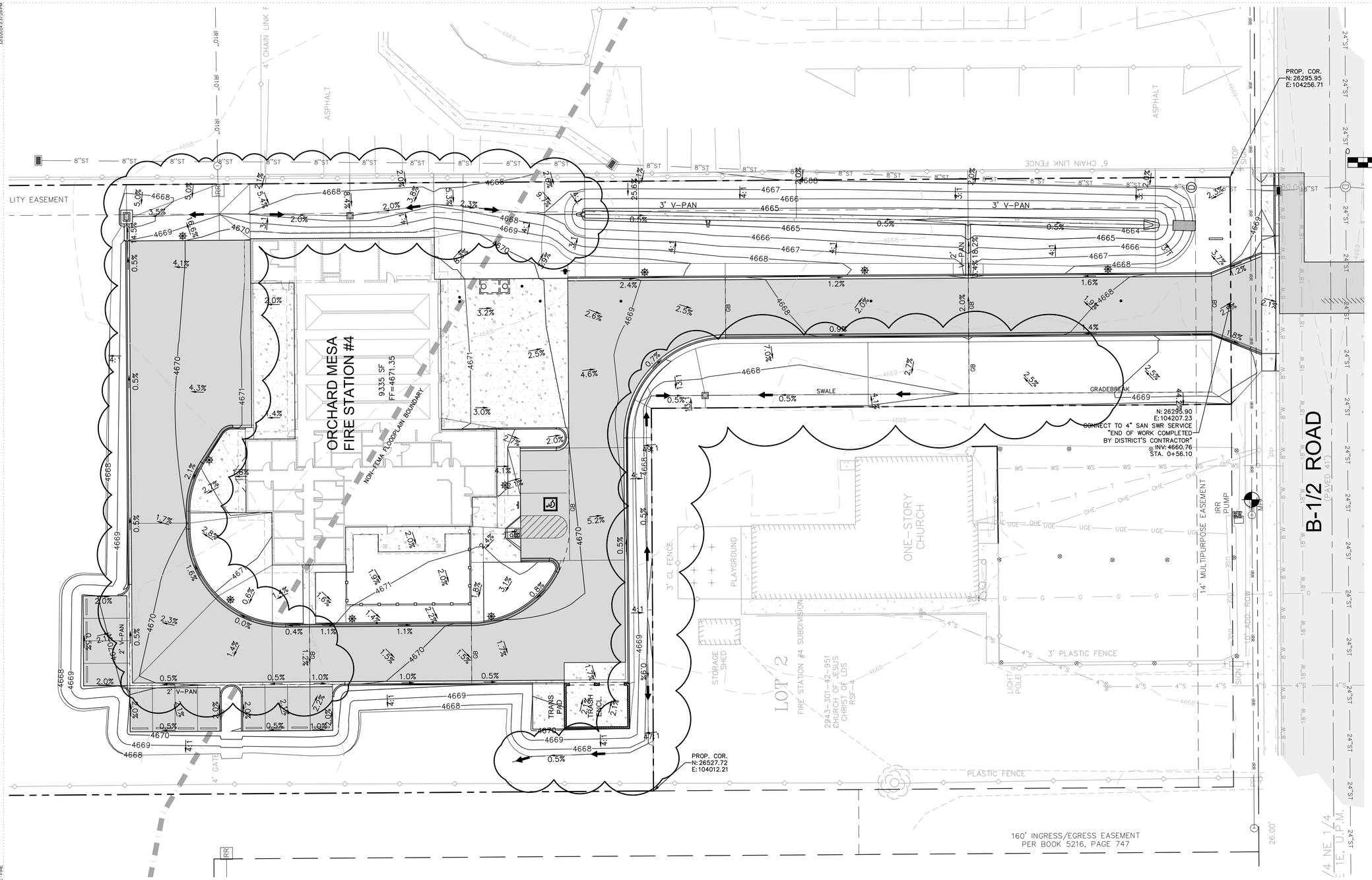
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-7

PROJECT NO: 1443



FLOODPLAIN INFORMATION

As shown by plan view, the project site is located within a NON–FEMA 100–year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100–year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used as the floodplain elevation.

BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____
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BY: _____ DATE: _____

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(970) 242-7540

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

OVERALL GRADING PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	IRR, DRAINAGE & FIRE LINE	6-11-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-8**

PROJECT NO: **1443**

PR 03

Revised

ORCHARD MESA FIRE STATION #4

9335 SF
FF=4671.35

NON-FEMA FLOODPLAIN BOUNDARY

ONE-STORY CHURCH

PLAYGROUND

STORAGE SHED

LOT 2
FIRE STATION #4 SUBDIVISION
2943-301-42-951
CHURCH OF JESUS CHRIST OF LDS
RSF-4

B-1/2 ROAD

PROP. COR.
N: 26295.95
E: 104256.71

PROP. COR.
N: 26527.72
E: 104012.21

GRADEBREAK

14' MULTIPURPOSE EASEMENT

160' INGRESS/EGRESS EASEMENT
PER BOOK 5216, PAGE 747

3' PLASTIC FENCE

PLASTIC FENCE

4' CHAIN LINK FENCE

6' CHAIN LINK FENCE

ASPHALT

TRANS PAD

TRASH ENCL.

SIGN

LIGHT POLE

IRR PUMP

4' GATE

FLOODPLAIN INFORMATION

As shown by plan view, the project site is located within a NON-FEMA 100-year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100-year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used as the floodplain elevation.

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NAVD88
NAD83
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COLORADO LICENSED
GEOFFREY THOMAS BOSWELL
42780
4/29/15
PROFESSIONAL ENGINEER

ORCHARD MESA
FIRE STATION #4

GRAND JUNCTION, COLORADO

OVERALL
GRADING PLAN

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

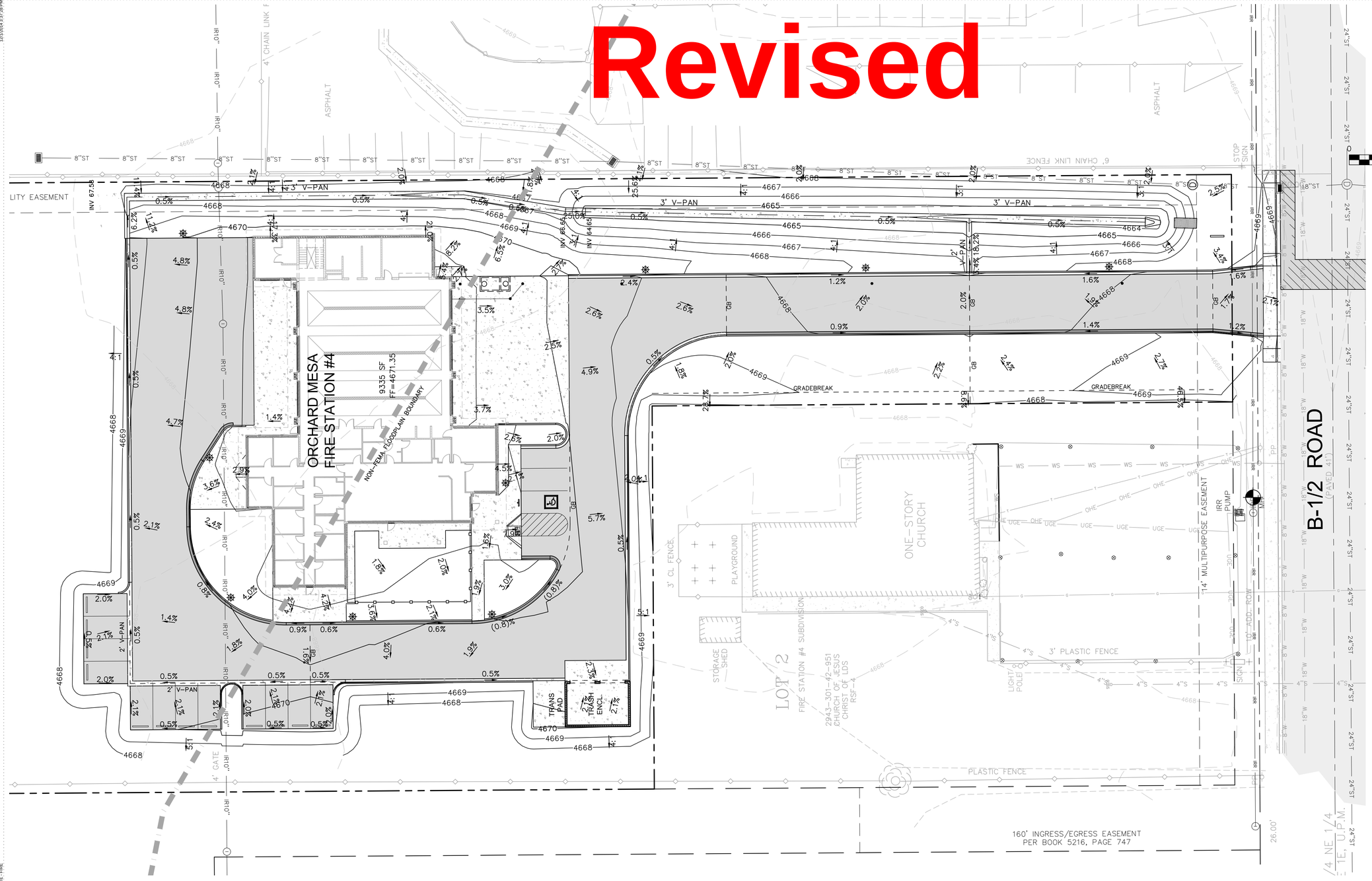
PROJECT NO: **1443**

SHEET NO: **C-8**

Addendum 2

12/1/2014 3:37:28 PM

Revised



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(970) 242-7540

COLORADO LICENSED
THOMAS R. AUSTIN
42780
4/10/15
PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

OVERALL GRADING PLAN

NO:	ISSUED FOR:	DATE:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

SHEET NO: C-8

PROJECT NO: 1443

FLOODPLAIN INFORMATION

As shown by plan view, the project site is located within a NON-FEMA 100-year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100-year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used as the floodplain elevation.

CITY OF GRAND JUNCTION ENGINEERING

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M:\PROJECTS\1091\0035 Orchard Mesa Fire Station\Dwg\C-Sit\Production Dwg\PROD SITE - FIRE STATION #4.dwg, 4/7/2015 1:58:18 PM, DWG To PDF.pc3

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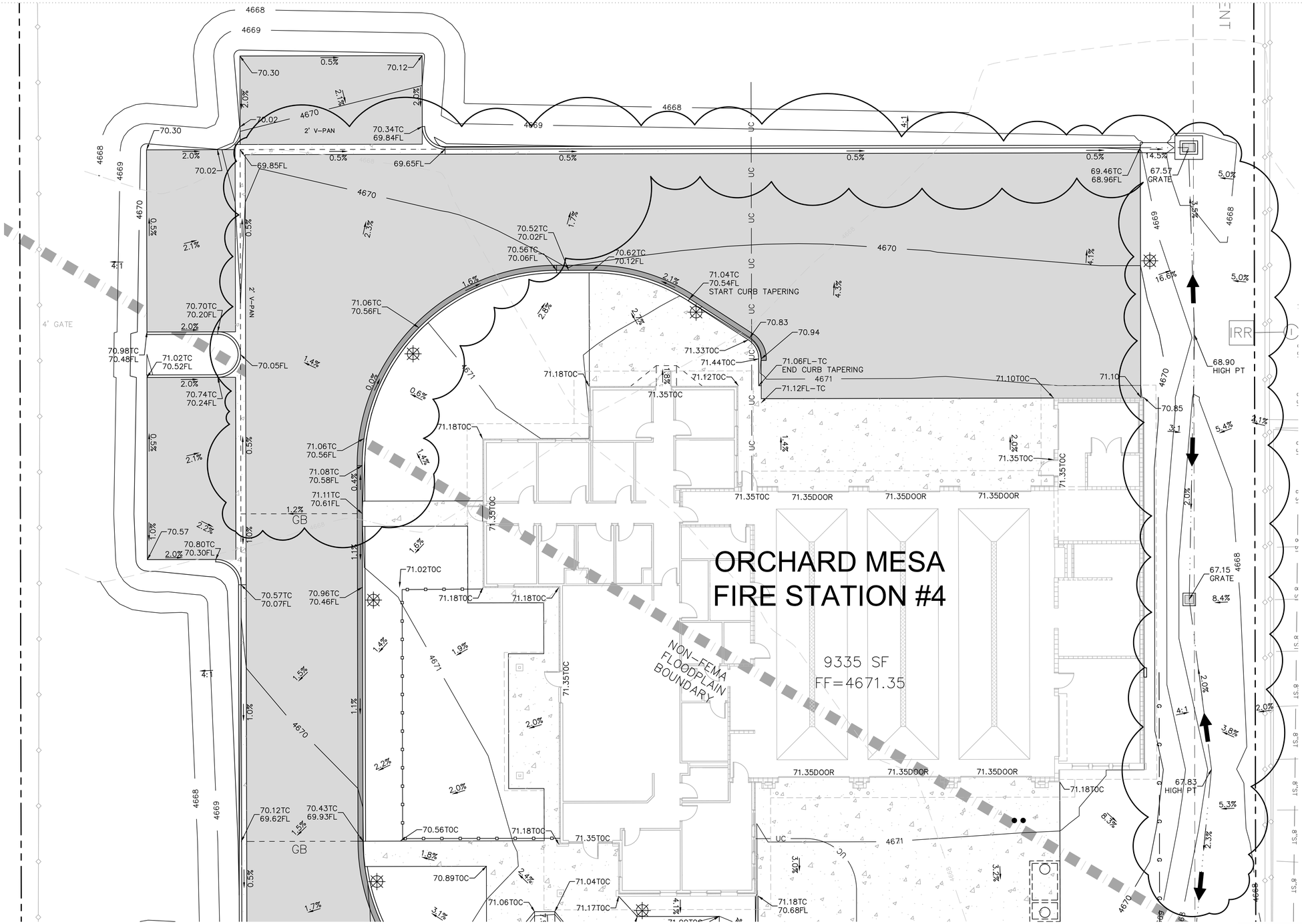

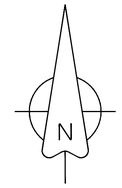

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(970) 242-7540

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 1

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	BUILDING FOOTPRINT	5-29-15
3	IRR, DRAINAGE & FIRE LINE	6-11-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-9**

PROJECT NO: **1443**

PR 03

FLOODPLAIN INFORMATION

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ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

CITY OF GRAND JUNCTION ENGINEERING

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Revised

ORCHARD MESA FIRE STATION #4

9335 SF
FF=4671.35

NON-FEMA FLOODPLAIN BOUNDARY

4' GATE

2' V-PAN

3' V-PAN

GB

INV 67.58

FLOODPLAIN INFORMATION

As shown by plan view, the project site is located within a NON-FEMA 100-year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100-year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used at the floodplain elevation.

BENCHMARK

60D NAIL
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ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

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COLORADO LICENSED
SCOTT THOMAS ANSBACH
42780
4/29/15
PROFESSIONAL ENGINEER

ORCHARD MESA
FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN
SHEET 1

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

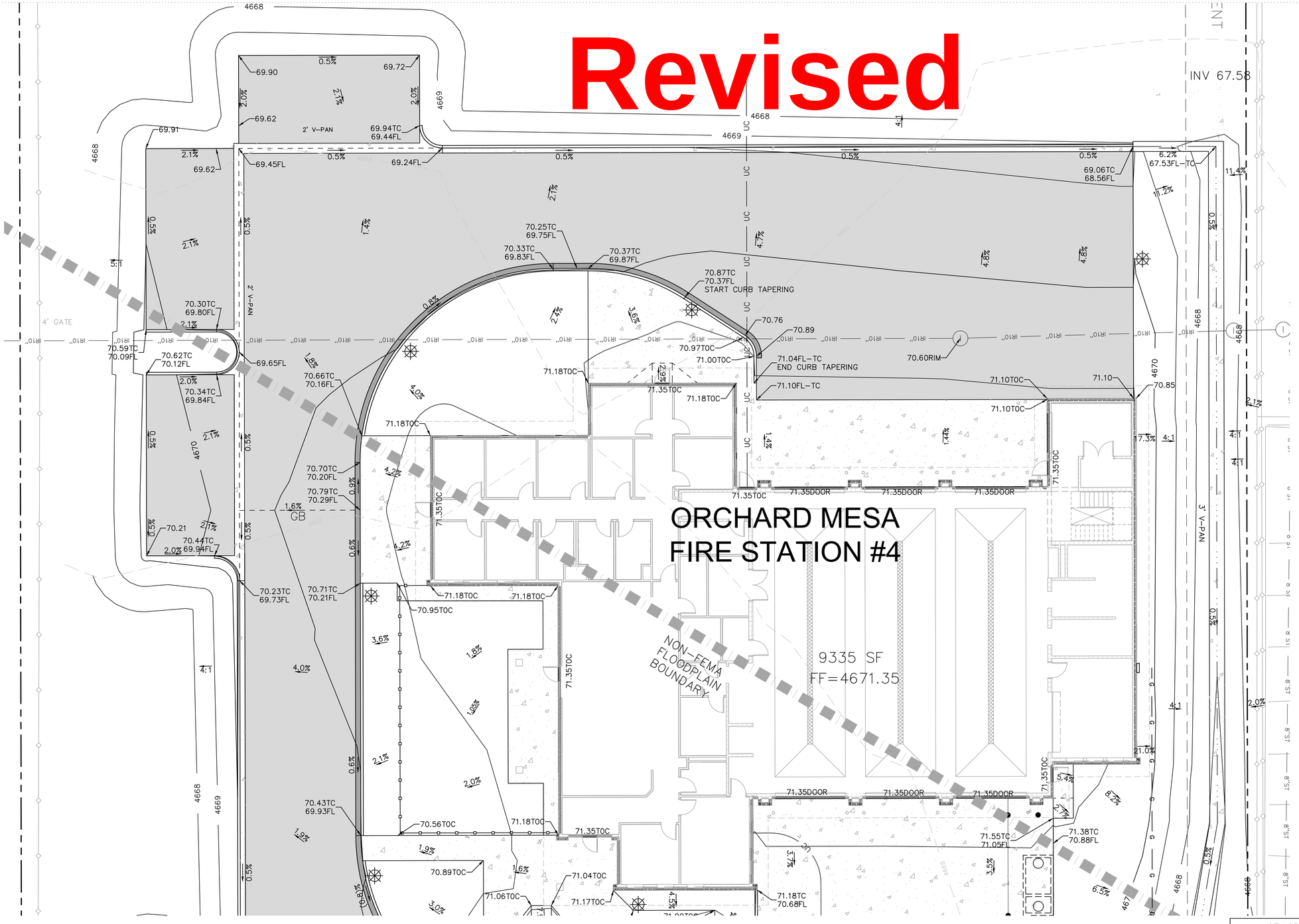
DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-9

Addendum 2



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(970) 242-7540

COLORADO LICENSED
STEVEN R. MOSER
42780
4/19/15
PROFESSIONAL ENGINEER

FLOODPLAIN INFORMATION

As shown by plan view, the project site is located within a NON-FEMA 100-year floodplain boundary according to the "Orchard Mesa Flood Hazard Mitigation Report", dated July 2009, and prepared by Ayres Associates. The report identifies a 100-year water surface elevation of approximately 4669.35 (NAVD88) near the center of the site, which shall be used at the floodplain elevation.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 1

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-9

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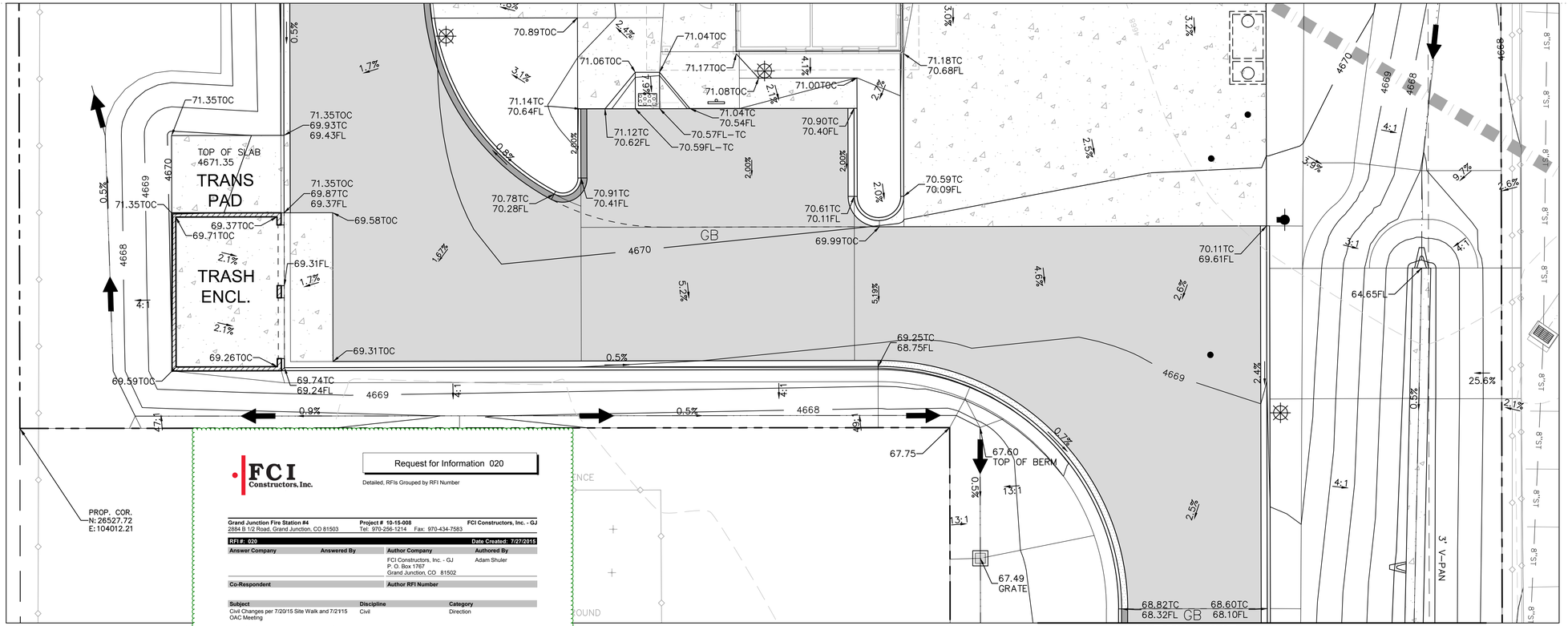

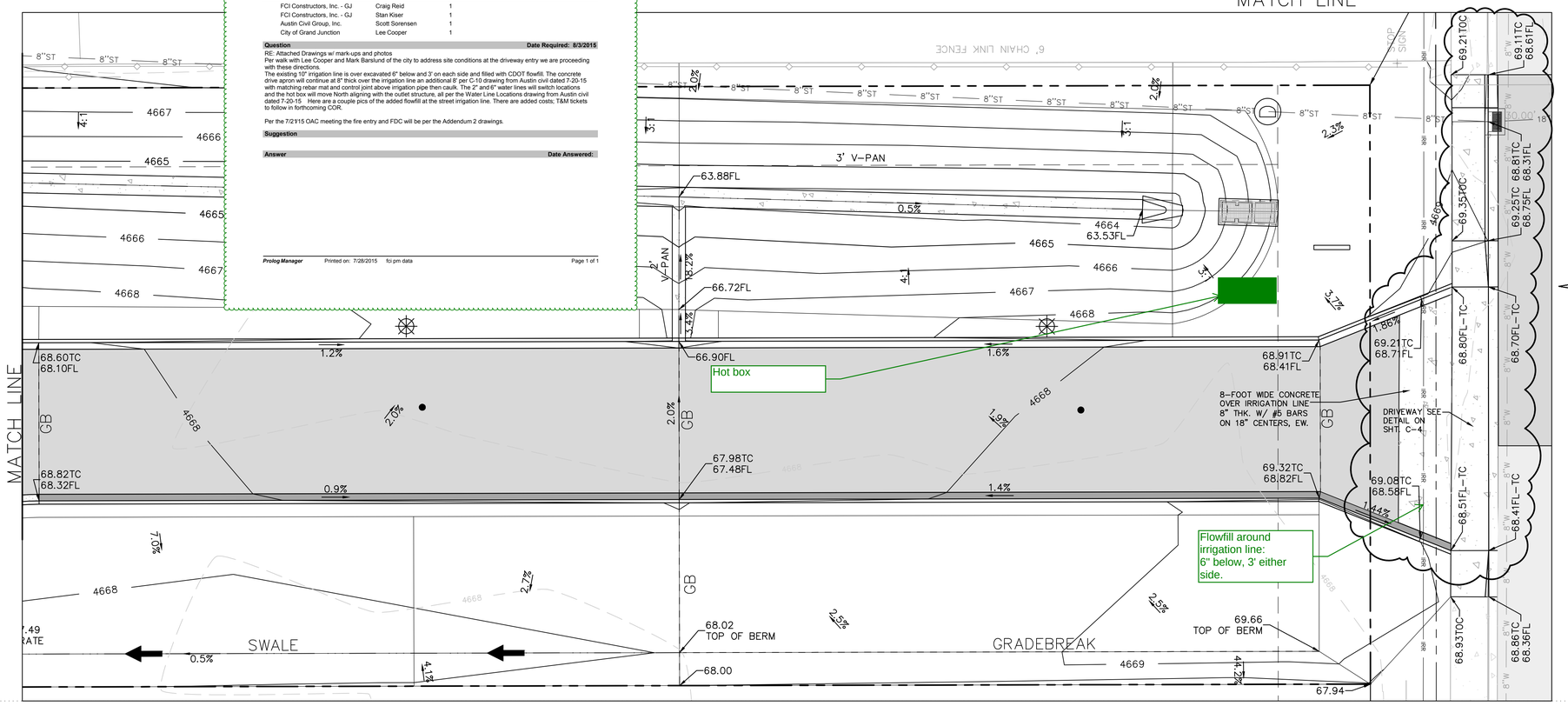

FCI Constructors, Inc.

Request for Information 020

Detailed, RFIs Grouped by RFI Number

Grand Junction Fire Station #4 2884 B 1/2 Road, Grand Junction, CO 81503	**Project # 10-15-008** Tel: 970-256-1214 Fax: 970-434-7583	**FCI Constructors, Inc. - GJ**

RFI #: 020 — **Date Created: 7/27/2015**

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

Co-Respondent — **Author RFI Number**

Subject	Discipline	Category
Civil Changes per 7/20/15 Site Walk and 7/21'15 OAC Meeting	Civil	Direction

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Craig Reid	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Austin Civil Group, Inc.	Scott Sorensen	1	
	City of Grand Junction	Lee Cooper	1	

Question — **Date Required: 8/3/2015**

RE: Attached Drawings w/ mark-ups and photos
Per walk with Lee Cooper and Mark Barslund of the city to address site conditions at the driveway entry we are proceeding with these directions.
The existing 10" irrigation line is over excavated 6" below and 3' on each side and filled with CDOT flowfill. The concrete drive apron will continue at 8" thick over the irrigation line an additional 8' per C-10 drawing from Austin civil dated 7-20-15 with matching rebar mat and control joint above irrigation pipe then caulk. The 2" and 6" water lines will switch locations and the hot box will move North aligning with the outlet structure, all per the Water Line Locations drawing from Austin civil dated 7-20-15 Here are a couple pics of the added flowfill at the street irrigation line. There are added costs; T&M tickets to follow in forthcoming COR.

Per the 7/21'15 OAC meeting the fire entry and FDC will be per the Addendum 2 drawings.

Suggestion

Answer — **Date Answered:**

Prolog Manager Printed on: 7/28/2015 fci pm data Page 1 of 1

FLOODPLAIN INFORMATION

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BENCHMARK

60D NAIL
N: 26287.81
E: 104125.06
ELEV: 4668.30
NAVD88
NAD83
(PER CITY OF GRAND JUNCTION)

0 10 20 30

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY: _____ DATE: _____
ACCEPTED AS CONSTRUCTED
BY: _____ DATE: _____

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 2

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	IRR, DRAINAGE & FIRE LINE	6-11-15
3	DRIVEWAY GRADES	7-20-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

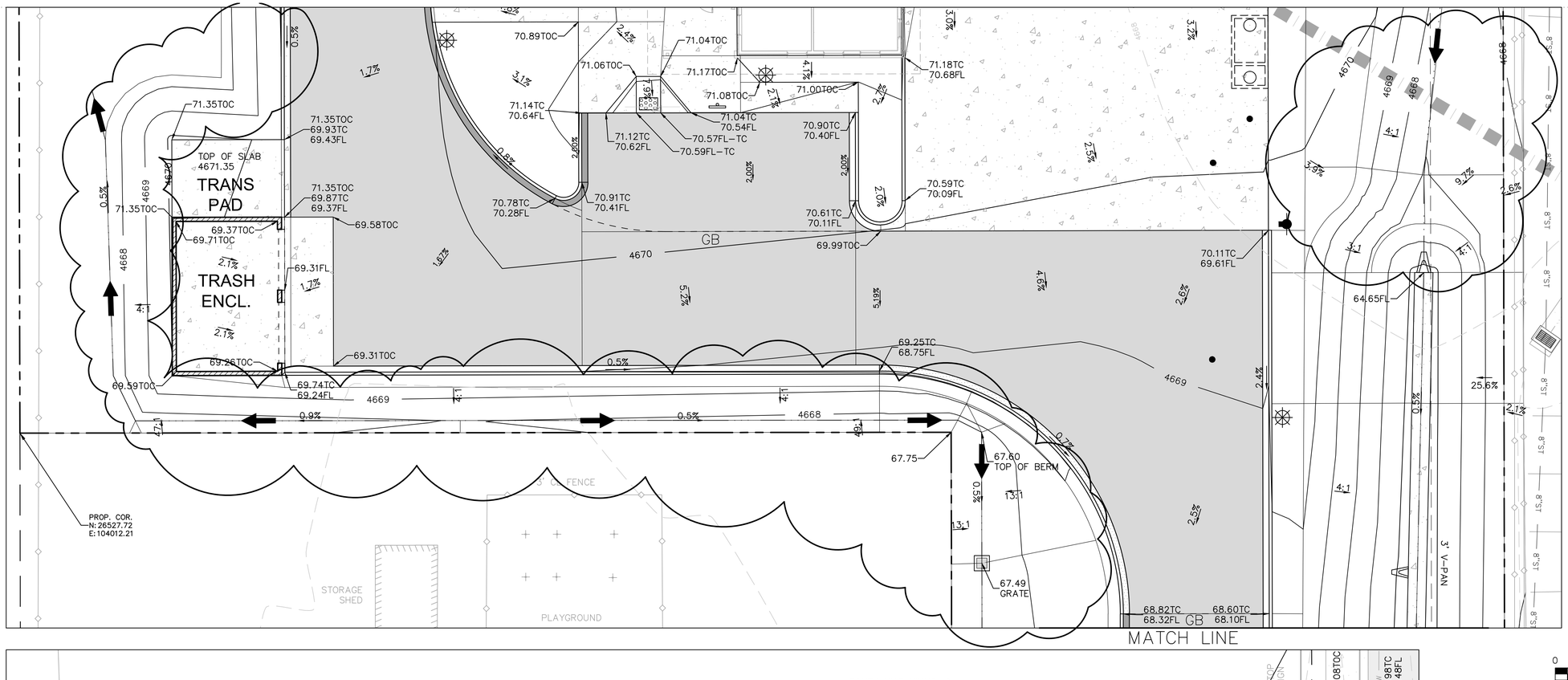
DATE: **4-10-15**

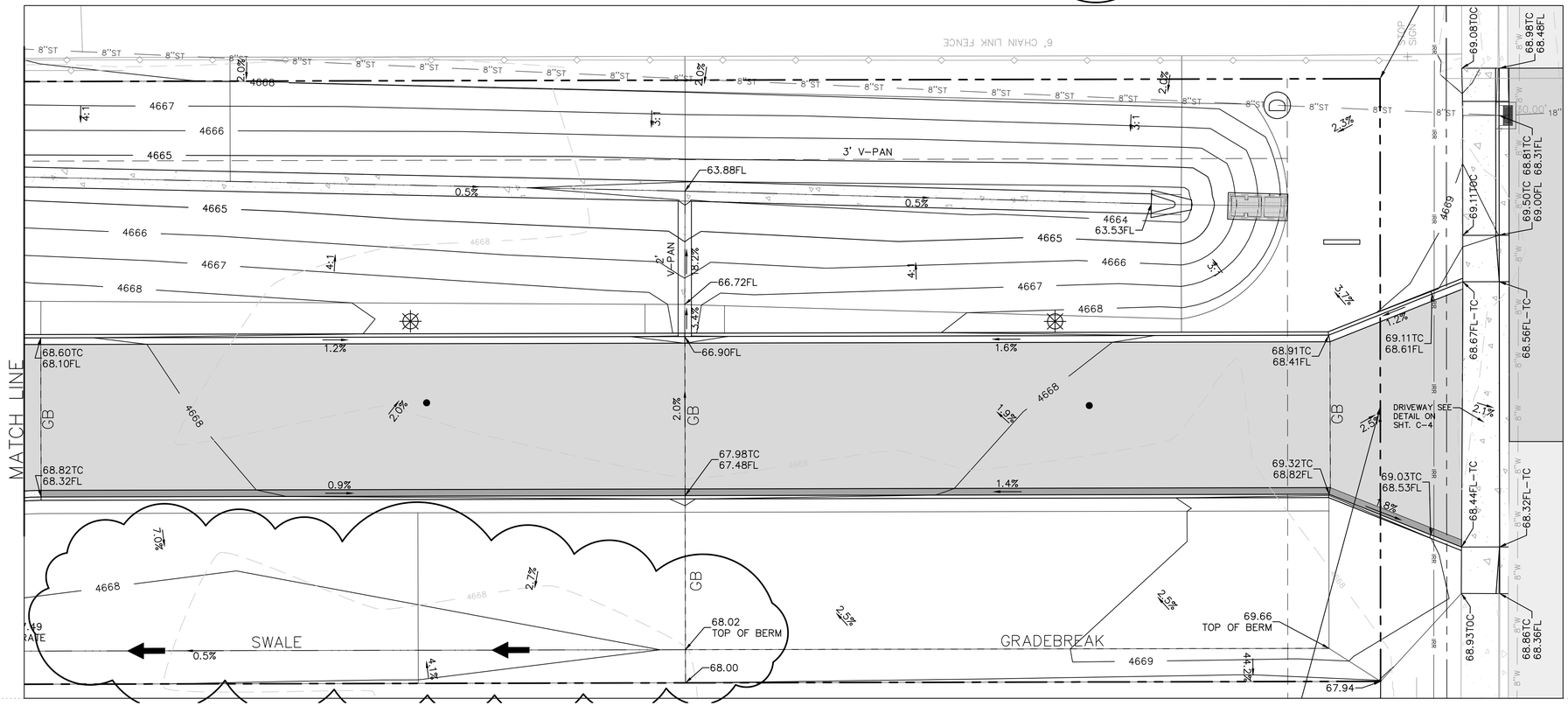
PROJECT NO: **1443**

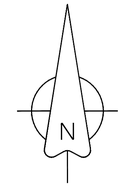
SHEET NO: **C-10**

RFI 020

M:\PROJECTS\2015\015-0008\Orchard Mesa Fire Station\Civil\CAD\Production Dwg\PROD SITE - PRE STATION #4.dwg 7/20/2015 4:40:13 PM, DWG To PDF.pc3
M:\PROJECTS\2015\015-0008\Orchard Mesa Fire Station\Civil\CAD\Production Dwg\PROD SITE - PRE STATION #4.dwg







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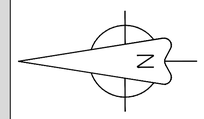

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 2

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15
2	IRR, DRAINAGE & FIRE LINE	6-11-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15** SHEET NO: **C-10**

PROJECT NO: **1443**

TOP OF SLAB 4671.35
TRANS PAD
TRASH ENCL.
PROP. COR. N: 26527.72 E: 104012.21
3' CL FENCE
STORAGE SHED
PLAYGROUND
MATCH LINE
GRADEBREAK
6' CHAIN LINK FENCE
3' V-PAN
2' V-PAN
INV 66.65
INV 64.65
DRIVEWAY SEE DETAIL ON SHT. C-4
SIGN
GB

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COLORADO LICENSED SCOTT THOMAS ANDERSEN 42780 PROFESSIONAL ENGINEER 4/29/15

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 2

NO:	ISSUED FOR:	DATE:
1	REVIEW COMMENTS RND#1	4-28-15

PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

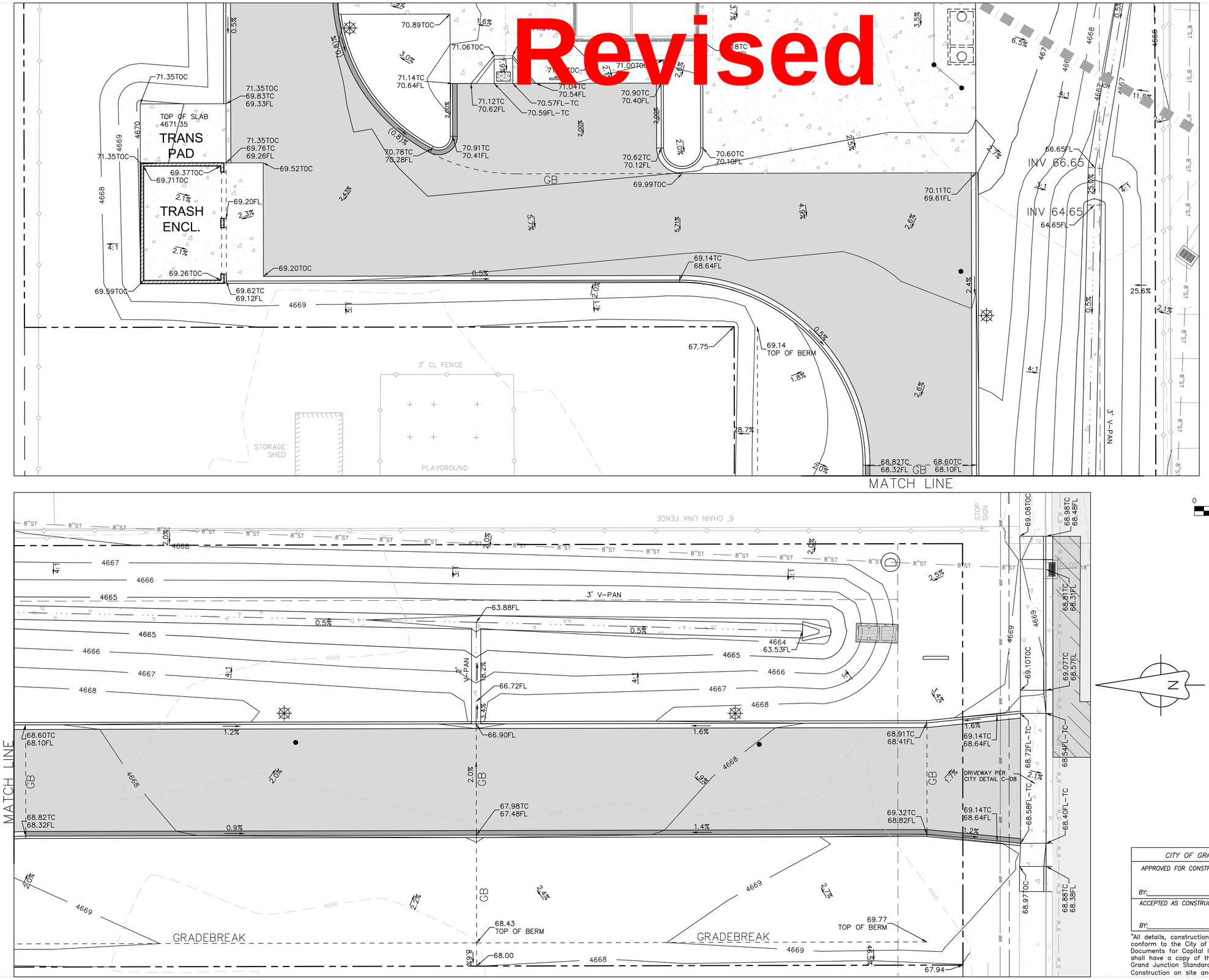
DATE: 4-10-15

PROJECT NO: 1443

SHEET NO: C-10

Addendum 2

Revised



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COLORADO LICENSED
THOMAS R. ACRET
42780
4/19/15
PROFESSIONAL ENGINEER

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GRADING PLAN SHEET 2

NO:	ISSUED FOR:	DATE:

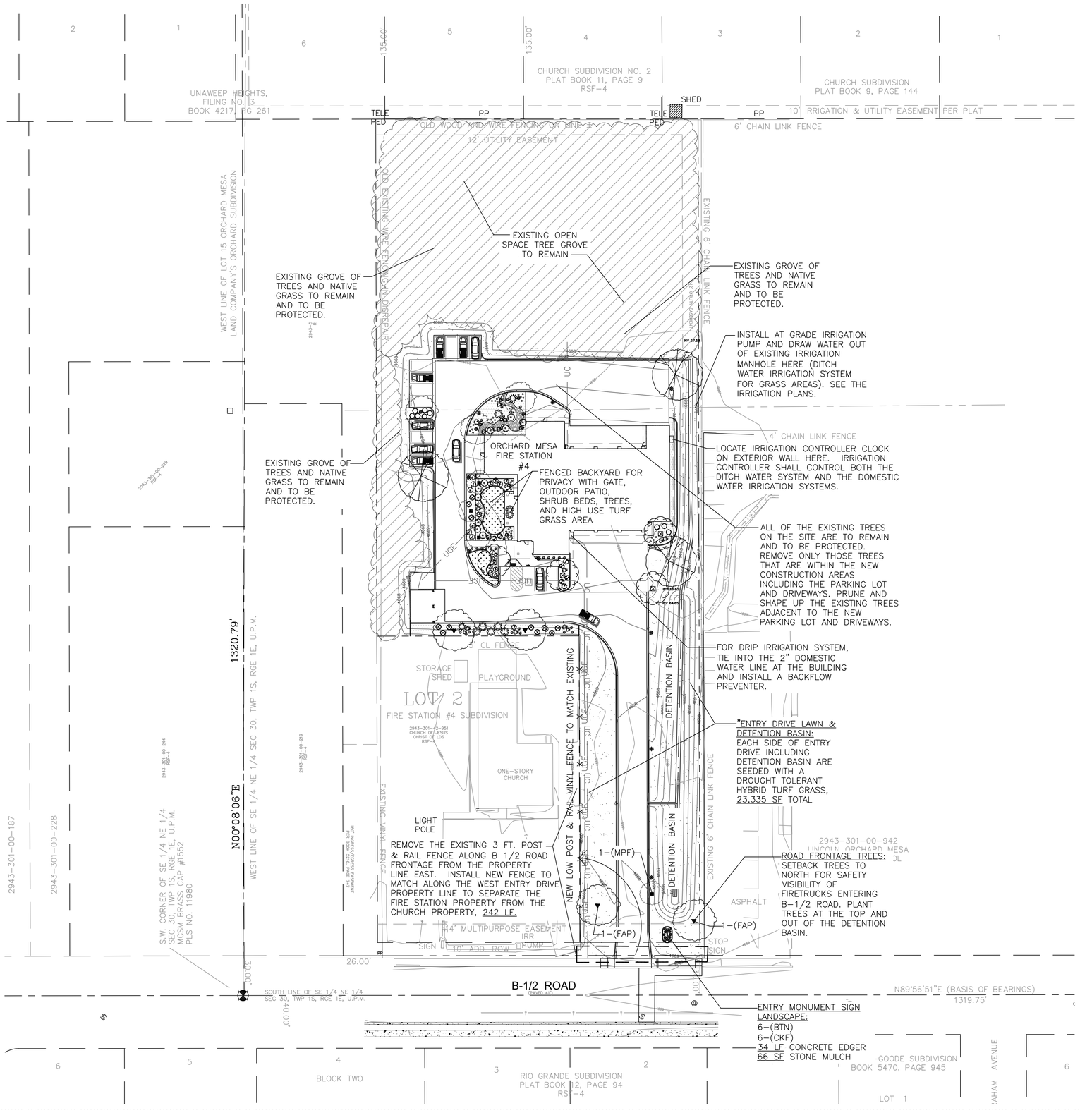
PROJECT STATUS: 100% CD

DRAWN BY: LMS CHECKED BY: MRA

DATE: **4-10-15**

SHEET NO: **C-10**

PROJECT NO: **1443**



IRRIGATION NOTES:

1. CONTRACTOR SHALL INSTALL TWO UNDERGROUND PRESSURIZED AUTOMATIC IRRIGATION SYSTEMS FOR THE SITE. SEE THE IRRIGATION PLANS FOR THE DESIGN & PROPOSED LOCATIONS OF THE DITCH WATER IRRIGATION PUMP, IRRIGATION CONTROLLER, AND THE DOMESTIC WATER BACKFLOW PREVENTER.

2. THE LAWN AND DROUGHT TOLERANT GRASS AREAS ARE TO BE IRRIGATED WITH NON-POTABLE DITCH IRRIGATION WATER. A PUMP AND FILTER SHALL BE INSTALLED ACCORDING TO INDUSTRY GUIDELINES. SEE THE IRRIGATION PLANS.

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CITY OF GRAND JUNCTION LANDSCAPE REQUIREMENTS:
154,544 SF (3.55 ACRES) SITE OF WHICH
74,350 SF AREA IS DEVELOPED, 80,194 SF LEFT NATIVE

74,350 / 2500 = 30 REQUIRED TREES
74,350 / 300 = 248 REQUIRED SHRUBS

EXISTING TREES ALONG WEST PROPERTY LINE =
22 EXISTING TREES WITH CALIPERS RANGING FROM 4" – 12":

4" CALIPER X 12 = 48" CALIPER
5" CALIPER X 4 = 20" CALILPER
6" CALIPER X 2 = 12" CALIPER
7" CALIPER X 2 = 14" CALIPER
8" CALIPER X 1 = 8" CALIPER
12" CALIPER X 1 = 12" CALIPER
22 TREES = 114" CALIPER

30 TREES REQUIRED X 2" CALIPER = 60" CALIPER REQUIRED
114" EXISTING CALIPER – 60" REQUIRED = 54" CALIPER ADDITIONAL = NO TREES REQUIRED EXCEPT PER CODE AREAS INCLUDING: PARKING LOTS PERIMETER, PARKING LOT ISLANDS, ROAD FRONTAGES, BUFFERS, AND BUILDING PERIMETER.

SHRUB REDUCTION =
54" CALIPER ADDITIONAL X -3 SHRUBS/1"CALIPER ADDITIONAL=
54" ADDITIONAL X -3 = 162 SHRUBS
248 SHRUBS REQUIRED – 162 SHRUBS = 86 SHRUBS REQ.

CONVERT 21 SHRUBS TO PERENNIALS AT THE 3:1 PERENNIAL TO SHRUB RATIO = 63 PERENNIALS
86 – 21 SHRUBS = 65 SHRUBS REQUIRED

TREES REQUIRED = 18 TREES (2" CALIPER)
TREES PROVIDED = 18 TREES (2" CALIPER)

5-GALLON SHRUBS REQUIRED = 65 SHRUBS (5-GALLON)
5-GALLON SHRUBS PROVIDED = 72 SHRUBS (5-GALLON)

1-GALLON PERENNIALS REQUIRED = 63 PERENNIALS
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LANDSCAPE MASTER PLAN
Scale: 1" = 40'-0"
0 40 80 120
NORTH

Julee Wolverton, Landscape Architect
61945 Nighthawk Road
Montrose, CO 81403
p: 970.249.9392
c: 970.417.1779
wolverton@montrose.net

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT
BY:_____ DATE:_____
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JULEE WOLVERTON LA - 505 04/17/2008 Julee Wolverton Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE PLAN

NO:	ISSUED FOR:	DATE:
1	ADDENDUM #1	4/28/2015

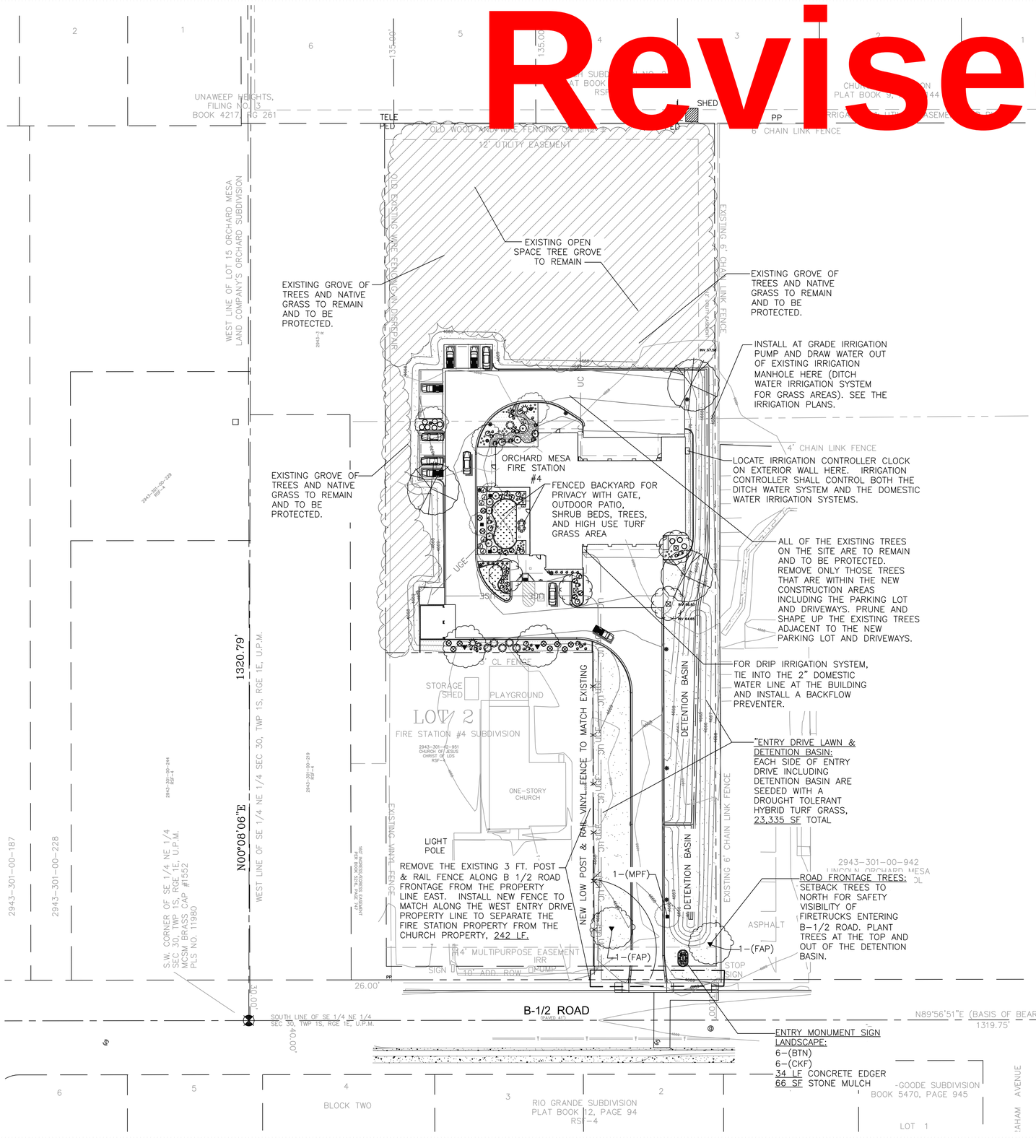
PROJECT STATUS:
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15
SHEET NO: L101
PROJECT NO: 1443

Addendum 1

Revised



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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15
SHEET NO: L101
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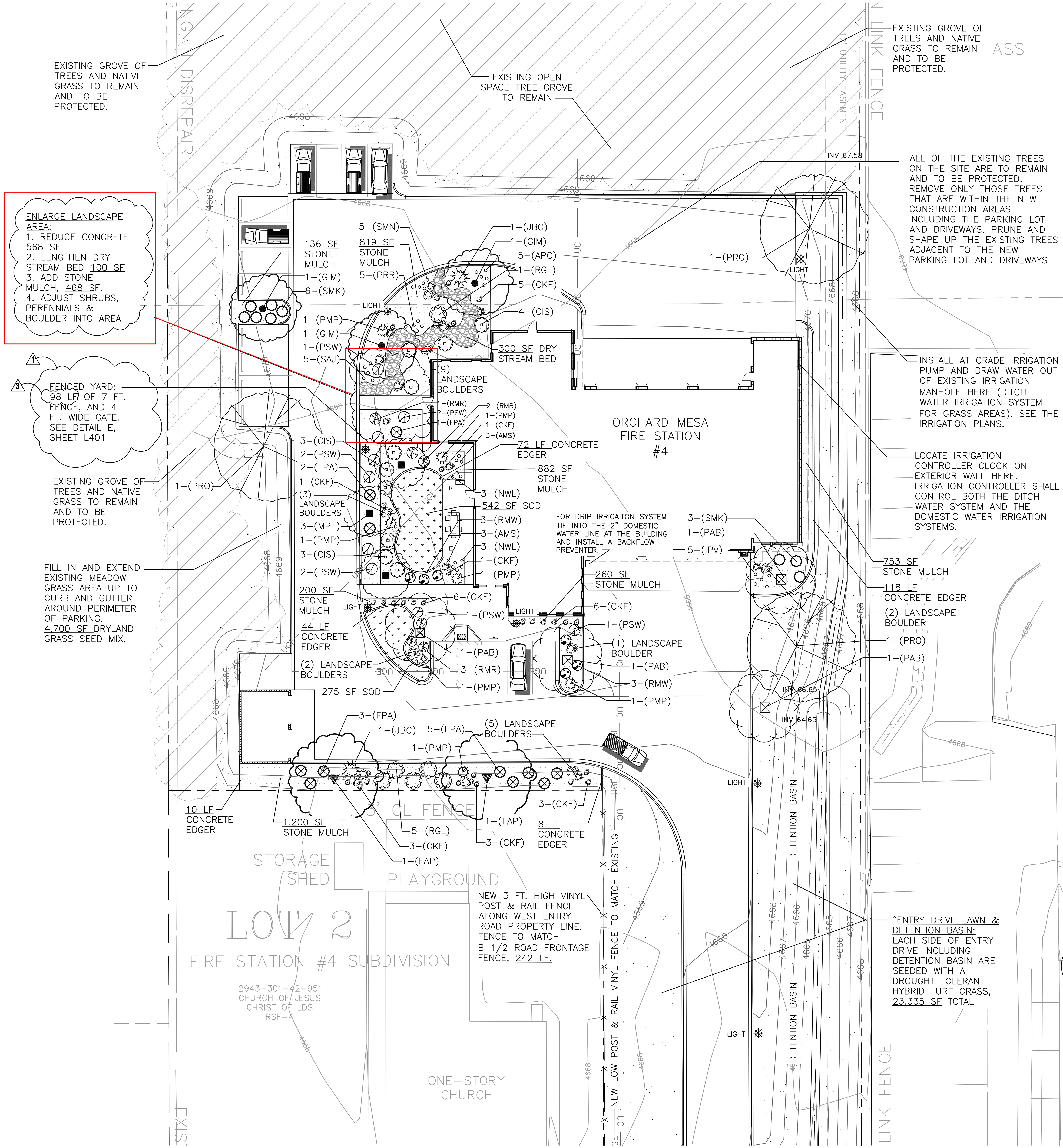

LANDSCAPE NOTES:

1. SOIL AMENDMENT – INCORPORATE 5 CUBIC YARS/1,000 SF AREA OF PREMIUM 3 ORGANIC COMPOST (TYPE 2) INTO TURF AREAS. AMEND SOIL PER THE GUIDELINES LISTED BELOW TO ADDRESS DEFICIENCIES NOTED IN THE SOIL ANALYSIS:
   - A. SALT LEVEL EQUAL TO OR LESS THAN 6 MMHOS/EM
   - B. pH LEVEL EQUAL TO OR LESS THAN 7
   - C. ORGANIC MATTER CONTENT EQUAL TO OR GREATER THAN 85%
   - D. NITROGEN: CARBON: BETWEEN 20:1 AND 30:1
   - E. PARTICLE SIZE: THE COURSER THE BETTER, NOT SILT OR CLAY SIZE PARTICLES

2. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.

3. FOR GRADING PLAN, REFER TO CIVIL ENGINEER DRAWINGS. ALL TURF GRASS AREAS, BERMS, & SHRUB BEDS DO NOT EXCEED 3:1 SLOPE.

4. ALL TREES AND SHRUBS TO RECEIVE A BACK FILL MIXTURE OF 1/3 SOIL CONDITIONER TO 2/3 TOPSOIL.

5. ALL TREES TO BE STAKED WITH STAKES PER THE DETAIL. FOR 3" CALIPER DECIDUOUS TREES AND EVERGREEN TREES OVER 8 FT., USE 3 STAKES (STAKE TO GROUND LEVEL).

6. ALL PLANTS TO RECEIVE 3" DEPTH OF SHREDDED CEDAR BARK MULCH AROUND THE BASE OF EACH PLANT UNLESS OTHERWISE SPECIFIED. MULCH AROUND BASE OF TREES 2 FT. DIAMETER MINIMUM, AND SHRUBS 1 FT. DIAMETER MINIMUM.

7. INSTALL 3" OF SPECIFIED STONE MULCH (NO LANDSCAPE FABRIC) THROUGHOUT ALL NON-TURF GRASS AREAS. SEE THE PLAN FOR LOCATIONS.

8. ALL SHRUB BED AREAS AND GRASS AREAS TO BE SEPARATED BY AN EXTRUDED CONCRETE EDGER. SEE THE PLAN FOR LOCATIONS.

9. NO PLANT MATERIAL SHALL BE LOCATED WITHIN 3 FT. OF A FIRE HYDRANT.

10. PLANT MATERIAL WAS CHOSEN FOR ITS SPECIFIC VARIETY, HEIGHT, AND COLOR. ANY PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

11. LOCATE AND MARK LOCATIONS OF ALL UTILITIES PRIOR TO INSTALLING PLANT MATERIAL. DO NOT PLANT ANY TREES OR SHRUBS DIRECTLY OVER BURIED UTILITY LINES, OR ANY TREES UNDER OVERHEAD UTILITY LINES.

12. WHEN PLANTING TREES OR SHRUBS, THOROUGHLY SOAK PLANTING HOLE WHILE BACKFILLING. PRUNE DEAD OR DAMAGED BRANCHES IMMEDIATELY AFTER PLANTING. FERTILIZE WITH AGRIFORM 21 GRAM PLANT TABLETS, 20-10-5. 6 TABLETS PER TREE, AND 3 PER SHRUB.

13. FOR GRASS AREAS, ROTOTILL 5 CY PER 1,000 SF OF SOIL AMENDMENT INTO THE TOP 6" OF TOPSOIL. FINE GRADE AND RAKE SMOOTH. NO CLODS GREATER THAN 2" ALLOWED. INSTALL SOD OR DRILL SEED PER THE SUPPLIER RECOMMENDATIONS.

1

14. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION. PLANTING SHALL BE DONE IN CONFORMANCE WITH THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO (A.L.C.C.) SPECIFICATIONS AND SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE. THE CONTRACTOR SHALL GUARANTEE IRRIGATION SYSTEM AND ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE. ANY DEAD OR DYING PLANT SHALL BE REPLACED WITH SAME. THE CONTRACTOR SHALL WINTERIZE IRRIGATION SYSTEM IN FALL AND PROVIDE SPRING START-UP DURING ONE-YEAR WARRANTY PERIOD.

1

LANDSCAPE ENLARGEMENT PLAN

Scale: 1" = 20'-0"

0 20 40 60

NORTH

Julee Wolverton,
Landscape Architect

61945 Nighthawk Road
Montrose, CO 81403
p: 970.249.9392
c: 970.417.1779
wolverton@montrose.net

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT
BY:______ DATE:______
CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
BY:______ DATE:______
ACCEPTED AS CONSTRUCTED
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C H A M B E R L I N
A R C H I T E C T S
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CHAMBERLIN ARCHITECTS

437 Main St.
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T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
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www.chamberlinarchitects.com

JULEE WOLVERTON LA - 505
04/17/2008 Original Date of Licensure
STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE ENLARGEMENT PLAN

NO:	ISSUED FOR:	DATE:
1	ADDENDUM #1	4/28/2015
3	ADDENDUM #3	6/02/2015
	PROPOSAL #3	6/16/2015

PROJECT STATUS:
100% CD's

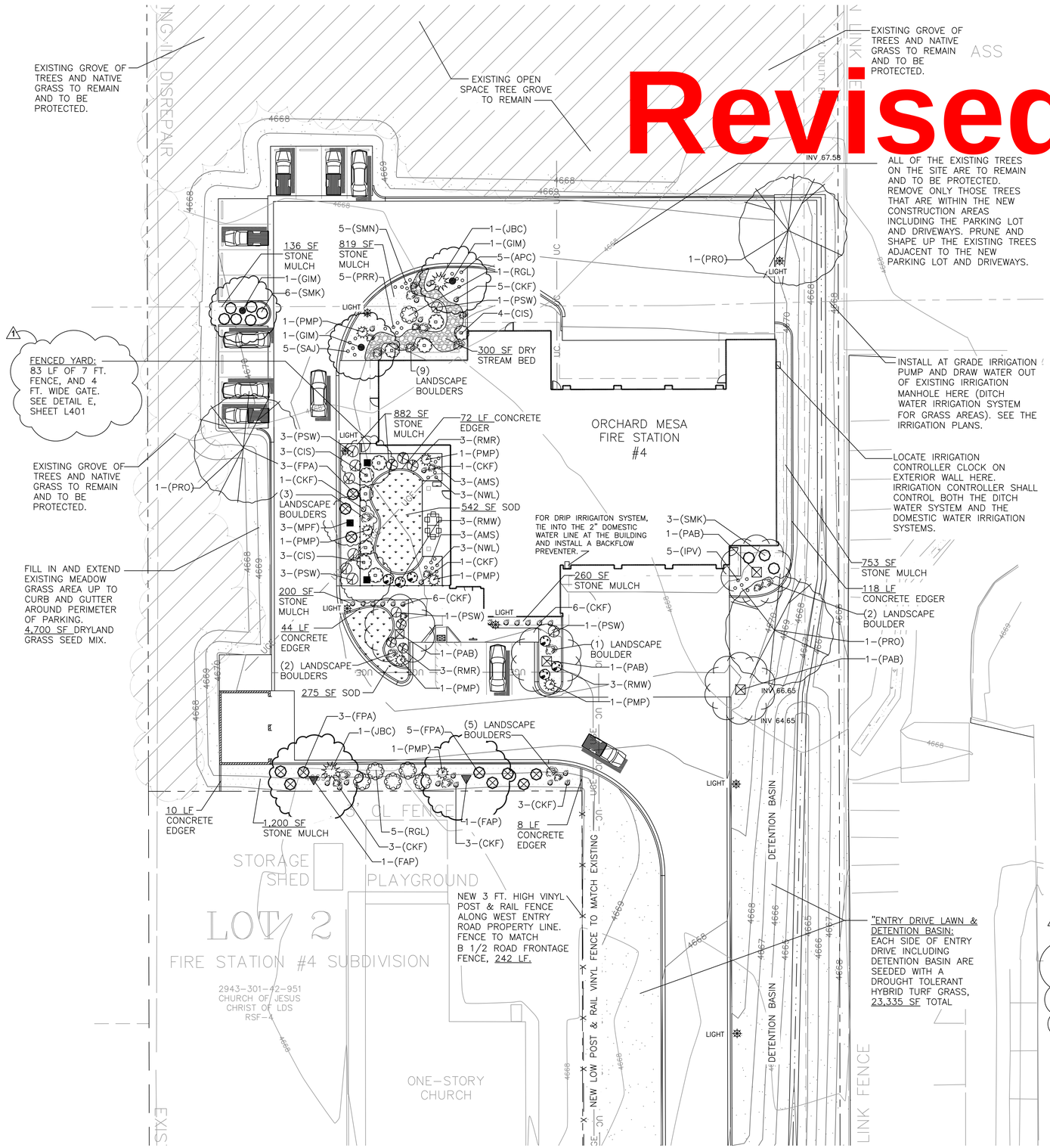
DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15

SHEET NO: L201

PROJECT NO: 1443

PR 03



LANDSCAPE NOTES:

1. SOIL AMENDMENT – INCORPORATE 5 CUBIC YARS/1,000 SF AREA OF PREMIUM 3 ORGANIC COMPOST (TYPE 2) INTO TURF AREAS. AMEND SOIL PER THE GUIDELINES LISTED BELOW TO ADDRESS DEFICIENCIES NOTED IN THE SOIL ANALYSIS:
   A. SALT LEVEL EQUAL TO OR LESS THAN 6 MMHOS/EM
   B. pH LEVEL EQUAL TO OR LESS THAN 7
   C. ORGANIC MATTER CONTENT EQUAL TO OR GREATER THAN 85%
   D. NITROGEN: CARBON: BETWEEN 20:1 AND 30:1
   E. PARTICLE SIZE: THE COURSER THE BETTER, NOT SILT OR CLAY SIZE PARTICLES

2. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.

3. FOR GRADING PLAN, REFER TO CIVIL ENGINEER DRAWINGS. ALL TURF GRASS AREAS, BERMS, & SHRUB BEDS DO NOT EXCEED 3:1 SLOPE.

4. ALL TREES AND SHRUBS TO RECEIVE A BACK FILL MIXTURE OF 1/3 SOIL CONDITIONER TO 2/3 TOPSOIL.

5. ALL TREES TO BE STAKED WITH STAKES PER THE DETAIL. FOR 3" CALIPER DECIDUOUS TREES AND EVERGREEN TREES OVER 8 FT., USE 3 STAKES (STAKE TO GROUND LEVEL).

6. ALL PLANTS TO RECEIVE 3" DEPTH OF SHREDDED CEDAR BARK MULCH AROUND THE BASE OF EACH PLANT UNLESS OTHERWISE SPECIFIED. MULCH AROUND BASE OF TREES 2 FT. DIAMETER MINIMUM, AND SHRUBS 1 FT. DIAMETER MINIMUM.

7. INSTALL 3" OF SPECIFIED STONE MULCH (NO LANDSCAPE FABRIC) THROUGHOUT ALL NON-TURF GRASS AREAS. SEE THE PLAN FOR LOCATIONS.

8. ALL SHRUB BED AREAS AND GRASS AREAS TO BE SEPARATED BY AN EXTRUDED CONCRETE EDGER. SEE THE PLAN FOR LOCATIONS.

9. NO PLANT MATERIAL SHALL BE LOCATED WITHIN 3 FT. OF A FIRE HYDRANT.

10. PLANT MATERIAL WAS CHOSEN FOR ITS SPECIFIC VARIETY, HEIGHT, AND COLOR. ANY PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

11. LOCATE AND MARK LOCATIONS OF ALL UTILITIES PRIOR TO INSTALLING PLANT MATERIAL. DO NOT PLANT ANY TREES OR SHRUBS DIRECTLY OVER BURIED UTILITY LINES, OR ANY TREES UNDER OVERHEAD UTILITY LINES.

12. WHEN PLANTING TREES OR SHRUBS, THOROUGHLY SOAK PLANTING HOLE WHILE BACKFILLING. PRUNE DEAD OR DAMAGED BRANCHES IMMEDIATELY AFTER PLANTING. FERTILIZE WITH AGRIFORM 21 GRAM PLANT TABLETS, 20-10-5. 6 TABLETS PER TREE, AND 3 PER SHRUB.

13. FOR GRASS AREAS, ROTOTILL 5 CY PER 1,000 SF OF SOIL AMENDMENT INTO THE TOP 6" OF TOPSOIL. FINE GRADE AND RAKE SMOOTH. NO CLODS GREATER THAN 2" ALLOWED. INSTALL SOD OR DRILL SEED PER THE SUPPLIER RECOMMENDATIONS.

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1 LANDSCAPE ENLARGEMENT PLAN
Scale: 1" = 20'-0"
0 20 40 60

NORTH

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Landscape Architect
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE ENLARGEMENT PLAN

NO:	ISSUED FOR:	DATE:
1	ADDENDUM #1	4/28/2015

PROJECT STATUS: 100% CD's

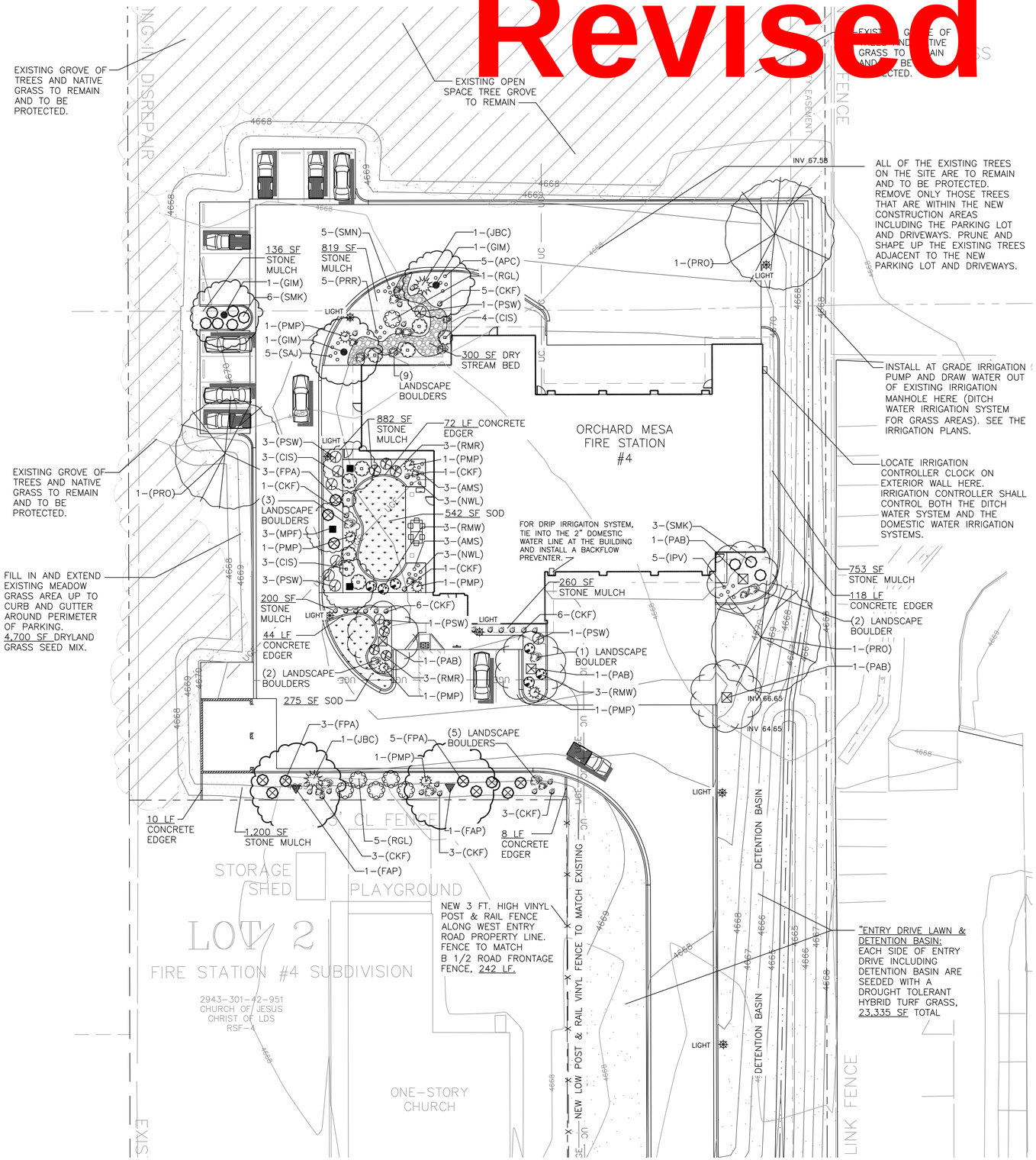
DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15 SHEET NO: L201

PROJECT NO: 1443

Addendum 1

Revised



LANDSCAPE NOTES:

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8. ALL SHRUB BED AREAS AND GRASS AREAS TO BE SEPARATED BY AN EXTRUDED CONCRETE EDGER. SEE THE PLAN FOR LOCATIONS.

9. LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.

10. NO PLANT MATERIAL SHALL BE LOCATED WITHIN 3 FT. OF A FIRE HYDRANT.

11. PLANT MATERIAL WAS CHOSEN FOR ITS SPECIFIC VARIETY, HEIGHT, AND COLOR. ANY PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

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14. FOR GRASS AREAS, ROTOTILL 5 CY PER 1,000 SF OF SOIL AMENDMENT INTO THE TOP 6" OF TOPSOIL. FINE GRADE AND RAKE SMOOTH. NO CLODS GREATER THAN 2" ALLOWED. INSTALL SOD OR DRILL SEED PER THE SUPPLIER RECOMMENDATIONS.

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LANDSCAPE ENLARGEMENT PLAN

Scale: 1" = 40'-0"

0 40 80 120

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE ENLARGEMENT PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15 SHEET NO: L201

PROJECT NO: 1443

PLANT LEGEND: TREES

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(FAP)	FRAXINUS 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CALIPER	4 TOTAL	45' TALL, 30' SPREAD, PURPLE FALL COLOR
	(GIM)	GLEDITSIA TRICANTHOS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2" CALIPER	3 TOTAL	30' TALL, 25' SPREAD, YELLOW FALL COLOR
	(MPF)	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	2" CALIPER	4 TOTAL	20' TALL, 18' SPREAD, RED PINK SPRING FLOWRS
	(PRO)	POPULUS X ROBUSTA	ROBUSTA COTTONLESS COTTONWOOD	2" CALIPER	3 TOTAL	50' TALL, 30' SPREAD, YELLOW FALL COLOR
	(PAB)	PYRUS 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR (NON-FRUITING VARIETY)	2" CALIPER	4 TOTAL	40' TALL, 25' SPREAD, WHITE FLOWERS, RED FALL

PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
○	(AMS)	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
○	(APC)	ARTEMESIA 'POWIS CASTLE'	POWIS CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
○	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
○	(NWL)	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GALLON	6 TOTAL	12" TALL, 18" SPREAD, PURPLE SUMMER
○	(PRR)	PENSTEMON 'RED ROCKS'	RED ROCKS PENSTEMON	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, PINK SUMMER
○	(SMN)	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, BLUE SPRING
○	(SAJ)	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GALLON	5 TOTAL	18" TALL, 12" SPREAD, RED FALL FLOWERS

PLANT LEGEND: SHRUBS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(BTN)	BERBERIS THUNBERGII AUTROPURPUREA 'NANA'	CRIMSON PIGMY BARBERRY	5 GALLON	6 TOTAL	2' TALL, 2' SPREAD, RED FOLIAGE
	(CIS)	CORNUS ISANTI	ISANTI DOGWOOD	5 GALLON	10 TOTAL	4' TALL, 4' SPREAD, RED STEMS
	(FPA)	FALLUGIA PARADOXA	APACHE PLUME	5 GALLON	11 TOTAL	4' TALL, 4' SPREAD, WHITE SUMMER FLOWERS
	(JBC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GALLON	2 TOTAL	2' TALL, 6' SPREAD, BLUE EVERGREEN
	(PSW)	PHYSOCARPUS 'SUMMERWINE'	SUMMERWINE NINEBARK	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE FOLIAGE
	(PMP)	PINUS MUGO PUMILIO	DWARF MUGO PINE	5 GALLON	7 TOTAL	3' TALL, 4' SPREAD, EVERGREEN SHRUB
	(RGL)	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GALLON	6 TOTAL	3' TALL, 6' SPREAD, GLOSSY FOLIAGE
	(RMR)	ROSA 'MEIDILAND RED'	RED GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, RED FLOWERS
	(RMW)	ROSA 'MEIDILAND WHITE'	WHITE GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, WHITE FLOWERS
	(SMK)	SYRINGA 'MISS KIM'	MISS KIM LILAC	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE SPRING FLOWERS

PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
	TURF GRASS SOD	817 SF	LOCALLY AVAILABLE TURF GRASS SOD. INSTALL PER THE SUPPLIER RECOMMENDATIONS. PREPARE SOIL WITH 5 CY SOIL CONDITONER/1,000 SF. ROTOTILL AND FINE GRADE. INSTALL SOD JOINTS TIGHT, ROLL SOD TO ASSURE CONTACT WITH SOIL.
	TURF GRASS SEED (DROUGHT TOLERANT TURF)	28,035 SF	"HERCULES TURF BLEND" TURF GRASS MIXTURE AS AVAILABLE THRU SPENCERSGARDENS.COM. SEED AT THE RATE RECOMMENDED BY THE SUPPLIER FOR 100% COVERAGE. (DENSE, SHORT, DROUGHT TOLERANT, LOW MAINTENANCE, & LOOKS LIKE TURF)
	3/4" SCREENED TAN GRANITE (DESERT SWIRL)	4,316 SF + 468 SF	PLACE 3" DEEP (NO LANDSCAPE FABRIC)
	4"-10" COBBLE DRY STREAM BED	300 SF + 100 SF	MEANDER IN WIDTH AND DIRECTION. INSTALL PER THE DETAIL SHOWN ON SHEET L401.
	4"X6" EXTRUDED CONCRETE LANDSCAPE EDGER	286 LF	EXTRUDED 4"X6" CONCRETE LANDSCAPE EDGER. SEE THE DETAIL ON SHEET L401.
	LANDSCAPE BOULDER	11 MEDIUM 11 LARGE	BURY 2" DEPTH, SEE THE DETAIL ON SHEET L401 FOR TYPE, SIZES, AND INSTALLATION.
	3 FT. HIGH POST AND RAIL WHITE VINYL FENCE TO MATCH EXISTING	242 LF	INSTALL BY FENCE CONTRACTOR PER INDUSTRY STANDARDS.
	7 FT. HIGH COMMERCIAL GRADE DECORATIVE FENCE AND 4 FT. WIDE PEDESTRIAN GATE., BLACK COLOR	98 LF	AMERISTAR MFG. 7 FT. MONTAGE COMMERICAL CLASSIC 3/4 RAIL, BLACK COLOR. INSTALL BY FENCE CONTRACTOR PER THE MFG. SPECS AND THE DETAIL ON SHEET L401.

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Landscape Architect

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DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15

SHEET NO: L301

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Revised

PLANT LEGEND: TREES

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PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(…MS)	…EA 'M…	…OONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
	(…C)	…LESIA 'PO… …ASTLE'	…OWIS CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
○	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
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	(PSW)	PHYSOCARPUS 'SUMMERWINE'	SUMMERWINE NINEBARK	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE FOLIAGE
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	(SMK)	SYRINGA 'MISS KIM'	MISS KIM LILAC	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE SPRING FLOWERS

PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GROSS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
	TURF GRASS SOD	817 SF	LOCALLY AVAILABLE TURF GRASS SOD. INSTALL PER THE SUPPLIER RECOMMENDATIONS. PREPARE SOIL WITH 5 CY SOIL CONDITONER/1,000 SF. ROTOTILL AND FINE GRADE. INSTALL SOD JOINTS TIGHT, ROLL SOD TO ASSURE CONTACT WITH SOIL.
	TURF GRASS SEED (DROUGHT TOLERANT TURF)	28,035 SF	"HERCULES TURF BLEND" TURF GRASS MIXTURE AS AVAILABLE THRU SPENCERSGARDENS.COM. SEED AT THE RATE RECOMMENDED BY THE SUPPLIER FOR 100% COVERAGE. (DENSE, SHORT, DROUGHT TOLERANT, LOW MAINTENANCE, & LOOKS LIKE TURF)
	3/4" SCREENED TAN GRANITE (DESERT SWIRL)	4,316 SF	PLACE 3" DEEP (NO LANDSCAPE FABRIC)
	4"-10" COBBLE DRY STREAM BED	300 SF	MEANDER IN WIDTH AND DIRECTION. INSTALL PER THE DETAIL SHOWN ON SHEET L401.
	4"X6" EXTRUDED CONCRETE LANDSCAPE EDGER	286 LF	EXTRUDED 4"X6" CONCRETE LANDSCAPE EDGER. SEE THE DETAIL ON SHEET L401.
	LANDSCAPE BOULDER	11 MEDIUM 11 LARGE	BURY 2" DEPTH, SEE THE DETAIL ON SHEET L401 FOR TYPE, SIZES, AND INSTALLATION.
×——×	3 FT. HIGH POST AND RAIL WHITE VINYL FENCE TO MATCH EXISTING	242 LF	INSTALL BY FENCE CONTRACTOR PER INDUSTRY STANDARDS.
	7 FT. HIGH COMMERCIAL GRADE DECORATIVE FENCE AND 4 FT. WIDE PEDESTRIAN GATE., BLACK COLOR	LF	AMERISTAR MFG. 7 FT. MONTAGE COMMERICAL CLASSIC 3/4 RAIL, BLACK COLOR. INSTALL BY FENCE CONTRACTOR PER THE MFG. SPECS AND THE DETAIL ON SHEET L401.

Julee Wolverton,
Landscape Architect

61945 Nighthawk Road
Montrose, CO 81403
p: 970.249.9392
c: 970.417.1779
wolverton@montrose.net

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BY:_____ DATE:_____

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JULEE WOLVERTON LA - 505 04/27/2008 Julee Wolverton Original Date of Licensure STATE OF COLORADO LICENSED LANDSCAPE ARCHITECT

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LANDSCAPE LEGENDS

NO:	ISSUED FOR:	DATE:
1	ADDENDUM #1	4/28/2015

PROJECT STATUS:
100% CD's

DRAWN BY: JW CHECKED BY: JW

DATE: 04-10-15

SHEET NO: L301

PROJECT NO: 1443

Addendum 1

Revised

PLANT LEGEND: TREES

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(FAP)	FRAXINUS 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CALIPER	4 TOTAL	45' TALL, 30' SPREAD, PURPLE FALL COLOR
	(GIM)	GLEDITSIA TRICANTHOS 'IMPCOLE'	IMPERIAL HONEYLOCUST	2" CALIPER	3 TOTAL	30' TALL, 25' SPREAD, YELLOW FALL COLOR
	(MPF)	MALUS 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	2" CALIPER	4 TOTAL	20' TALL, 18' SPREAD, RED PINK SPRING FLOWRS
	(PRO)	POPULUS X ROBUSTA	ROBUSTA COTTONLESS COTTONWOOD	2" CALIPER	3 TOTAL	50' TALL, 30' SPREAD, YELLOW FALL COLOR
	(PAB)	PYRUS 'AUTUMN BLAZE'	AUTUMN BLAZE PEAR (NON-FRUITING VARIETY)	2" CALIPER	4 TOTAL	40' TALL, 25' SPREAD, WHITE FLOWERS, RED FALL

PLANT LEGEND: PERENNIALS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(AMS)	ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	1 GALLON	6 TOTAL	2' TALL, 2' SPREAD, YELLOW SUMMER FLOWERS
	(APC)	ARTEMESIA 'POWIS CASTLE'	POWIS CASTLE SAGE	1 GALLON	5 TOTAL	18" TALL, 18" SPREAD, SILVER FOLIAGE
	(IPV)	IRIS PALLIDA 'VARIEGATED'	VARIEGATED IRIS	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, VARIEGATED FOLIAGE (PURPLE FLOWER SPIKES TO 2 FT)
	(NWL)	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GALLON	6 TOTAL	12" TALL, 18" SPREAD, PURPLE SUMMER
	(PRR)	PENSTEMON 'RED ROCKS'	RED ROCKS PENSTEMON	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, PINK SUMMER
	(SMN)	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	1 GALLON	5 TOTAL	12" TALL, 12" SPREAD, BLUE SPRING
	(SAJ)	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	1 GALLON	5 TOTAL	18" TALL, 12" SPREAD, RED FALL FLOWERS

PLANT LEGEND: SHRUBS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(BTN)	BERBERIS THUNBERGII AUTROPURPUREA 'NANA'	CRIMSON PIGMY BARBERRY	5 GALLON	6 TOTAL	2' TALL, 2' SPREAD, RED FOLIAGE
	(CIS)	CORNUS ISANTI	ISANTI DOGWOOD	5 GALLON	10 TOTAL	4' TALL, 4' SPREAD, RED STEMS
	(FPA)	FALLUGIA PARADOXA	APACHE PLUME	5 GALLON	11 TOTAL	4' TALL, 4' SPREAD, WHITE SUMMER FLOWERS
	(JBC)	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	5 GALLON	2 TOTAL	2' TALL, 6' SPREAD, BLUE EVERGREEN
	(PSW)	PHYSOCARPUS 'SUMMERWINE'	SUMMERWINE NINEBARK	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE FOLIAGE
	(PMP)	PINUS MUGO PUMILIO	DWARF MUGO PINE	5 GALLON	7 TOTAL	3' TALL, 4' SPREAD, EVERGREEN SHRUB
	(RGL)	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GALLON	6 TOTAL	3' TALL, 6' SPREAD, GLOSSY FOLIAGE
	(RMR)	ROSA 'MEIDILAND RED'	RED GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, RED FLOWERS
	(RMW)	ROSA 'MEIDILAND WHITE'	WHITE GROUNDCOVER ROSE	5 GALLON	6 TOTAL	2' TALL, 4' SPREAD, WHITE FLOWERS
	(SMK)	SYRINGA 'MISS KIM'	MISS KIM LILAC	5 GALLON	9 TOTAL	4' TALL, 4' SPREAD, PURPLE SPRING FLOWERS

PLANT LEGEND: ORNAMENTAL GRASS

SYM.	SYM.	BOTANICAL NAME:	COMMON NAME:	SIZE:	QUANTITY:	REMARKS:
	(CKF)	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GALLON	35 TOTAL	4' TALL, 2' SPREAD, ORNAMENTAL GRASS

SITE LEGEND: STONE MULCH, EDGER, GRASS, LANDSCAPE BOULDER

SYM.	DESCRIPTION:	QUANTITY:	REMARKS:
	SHREDDED CEDAR BARK MULCH	300 SF	PLACE 3" DEPTH UNDER DRIPLINE OF EACH PLANT. 2 FT DIAMETER AROUND BASE OF TREES, 1 FT. DIAMETER AROUND BASE OF SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. BARK MULCH SHALL BE OFFSET FROM PLANT TRUNK A MINIMUM OF 2" NO TOUCH.
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SHEET NO: L301

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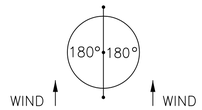
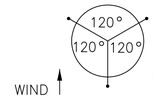
Revised



GUYING PATTERN
FOR DECIDUOUS TREE
PLANTING



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GUYING PATTERN
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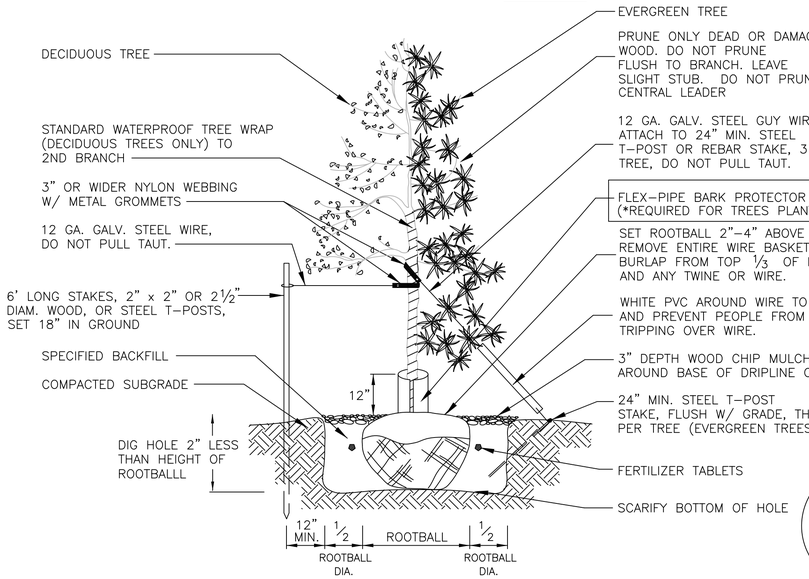
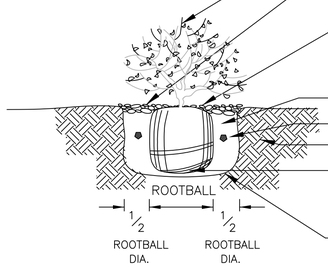
ALL TREES REQUIRE (3) BUBBLERS PER TREE



A L401 TREE PLANTING SECTION

NOT TO SCALE



PRUNE ONLY DEAD OR DAMAGED BRANCHES

3" DEEP BARK MULCH AROUND BASE TO DRIPLINE OF EACH SHRUB (TYPICAL)

PLANT ROOTBALL 1" ABOVE FINAL GRADE, REMOVE PLASTIC OR METAL CONTAINER – FOR B&B MATERIAL, REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL & ANY TWINE OR WIRE.

SPECIFIED BACKFILL

FERTILIZER TABLETS

COMPACTED SUBGRADE

FOR ROOTBOUND CONTAINER STOCK, MAKE SHALLOW SCORES (¼" – ½) ALONG SIDES OF ROOTBALL.

SCARIFY BOTTOM OF HOLE

B L401 SHRUB & PERENNIAL PLANTING SECTION

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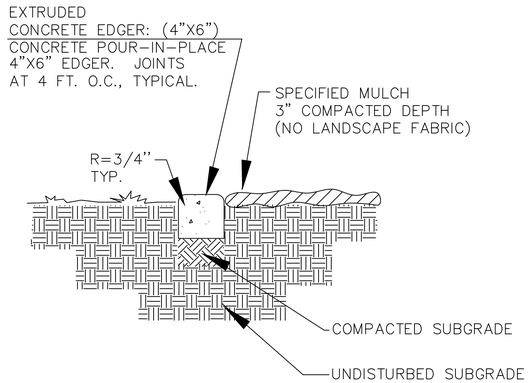

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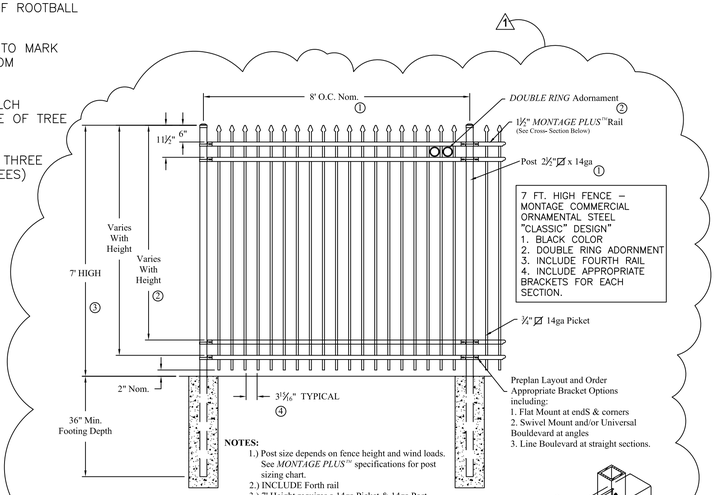
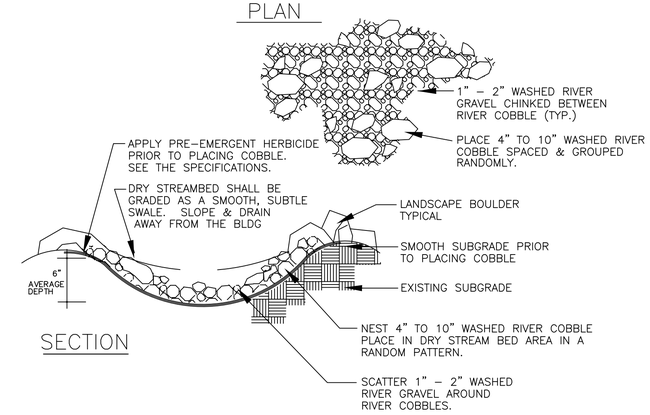


E L401 7 FT. COMMERCIAL GRADE DECORATIVE FENCE

NOT TO SCALE

PLAN



SECTION

NOTE:
1. WIDTH OF DRY STREAM BED SHALL VARY IN WIDTH FROM APPROX. 3 FT. WIDE MIN. TO 6 FT. WIDE MAX.

2. LANDSCAPE BOULDERS SHALL BE NESTED IN GROUPS IN A RANDOM FASHION ALONG THE EDGES AND THROUGHOUT THE DRY STREAM BED AS SHOWN ON THE DWGS.

3. APPLY A PRE-EMERGENT HERBICIDE THROUGHOUT STREAM BED AREA BEFORE PLACEMENT OF COBBLE (TYP.)

4. INSTALL DRY STREAM BED TO LOOK AS NATURAL AS POSSIBLE WITH VARYING ROCK SIZES, GROUPINGS OF BOULDERS, AND VARYING WIDTH. LANDSCAPE ARCHITECT MUST APPROVE LAYOUT.

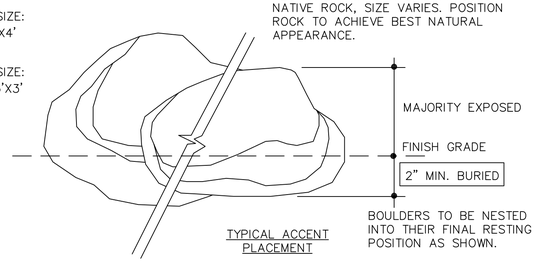
F L401 DRY STREAM BED DETAIL

NOT TO SCALE

APPROXIMATE SIZE:
LARGE = 3'X3'X4'

APPROXIMATE SIZE:
MEDIUM = 2'X3'X3'

NEW = SANDSTONE BOULDERS:
RECTILINEAR IN SHAPE, BUFF COLOR. NATIVE ROCK, SIZE VARIES. POSITION ROCK TO ACHIEVE BEST NATURAL APPEARANCE.



1. PLACEMENT OF LANDSCAPE BOULDERS REFERS TO BOULDERS PLACED IN THE GROUND 2" MIN BURIED BELOW GRADE AND REMAINDER EXPOSED ABOVE FINISH GRADE, TYPICAL.

2. CARE SHALL BE TAKEN DURING PLACEMENT AND HANDLING TO AVOID UNNATURAL SCARRING OF THE EXPOSED SURFACE.

D L401 LANDSCAPE BOULDERS

NOT TO SCALE

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LA - 505
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

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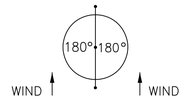

GUYING PATTERN
FOR DECIDUOUS TREE
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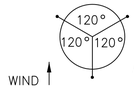

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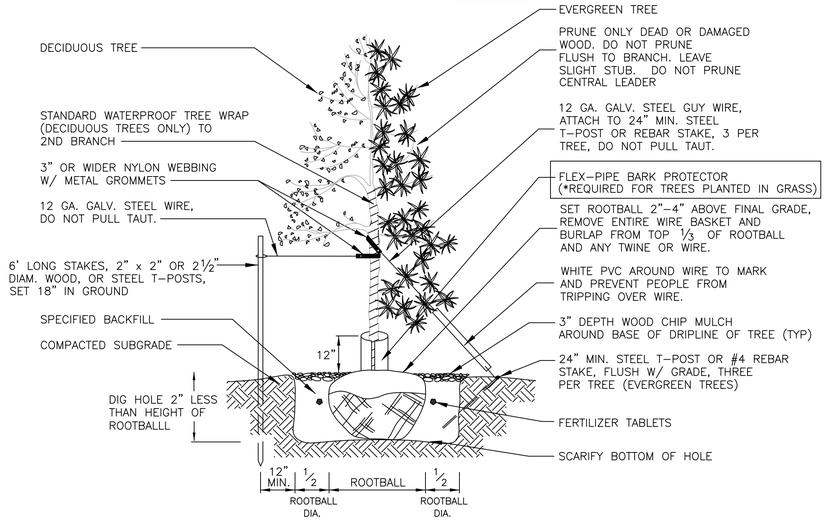

A L401 TREE PLANTING SECTION

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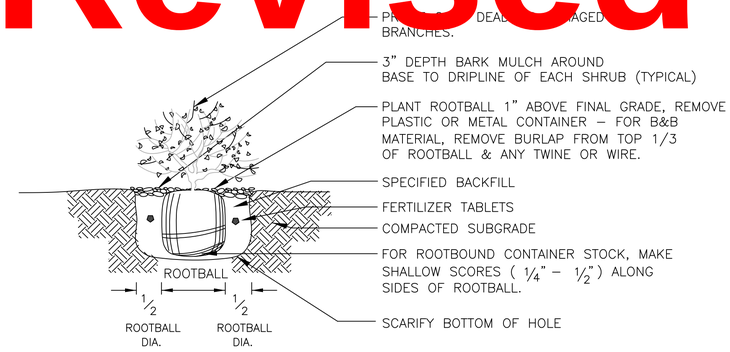

B L401 SHRUB & PERENNIAL PLANTING SECTION

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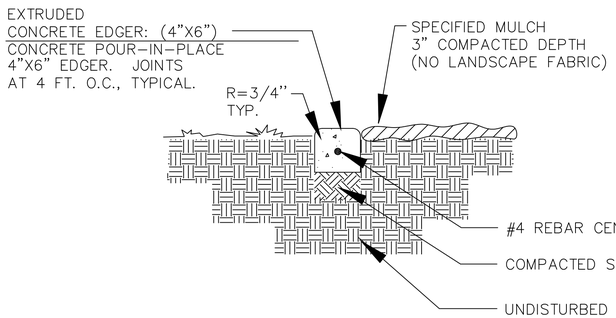

C L401 CONCRETE EDGER / STONE MULCH

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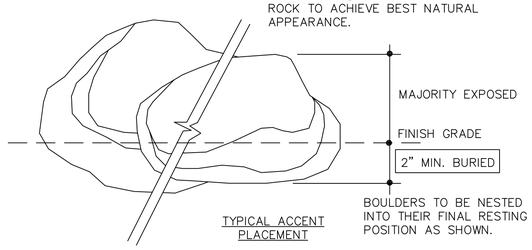

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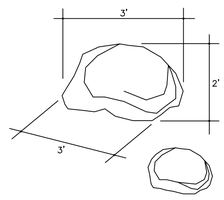

APPROXIMATE SIZE:
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D L401 LANDSCAPE BOULDERS

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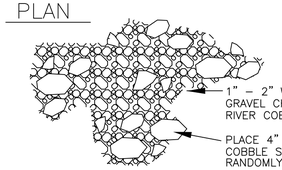
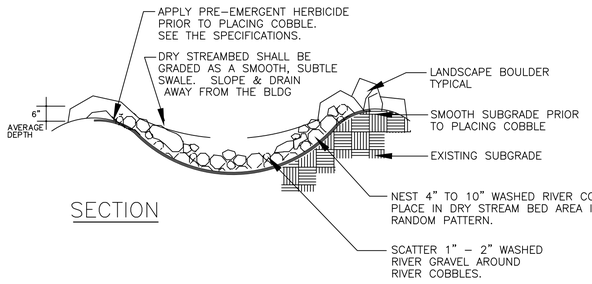
PLAN





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1443 **L401**

C H A M B E R L I N
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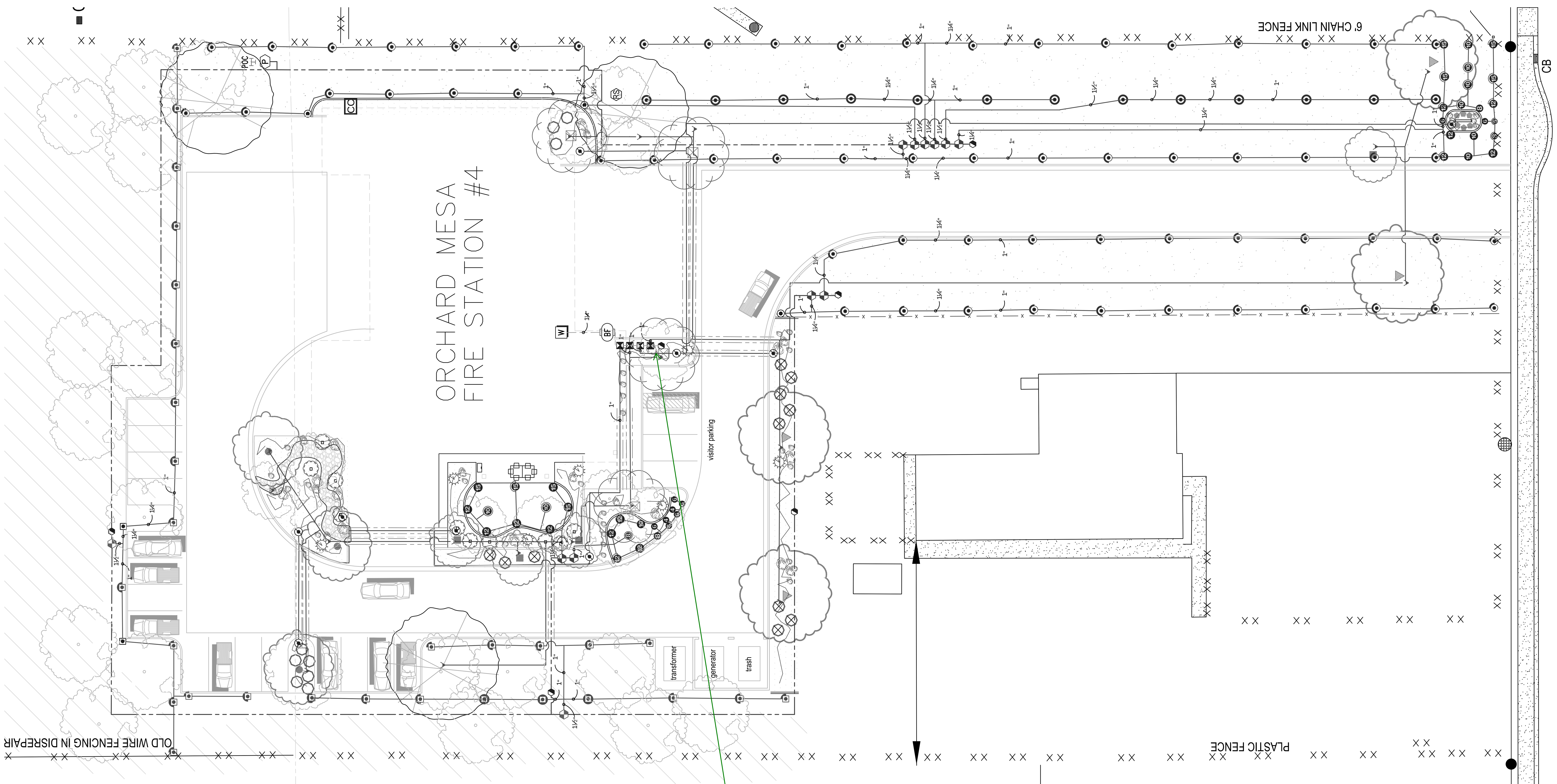
437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com



ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION PLAN

NORTH

Scale: 1" = 20'–0"

0 20 40 60

FCI Constructors, Inc.

Request for Information 008R1

Detailed, RFIs Grouped by RFI Number

Grand Junction Fire Station #4 2884 B 1/2 Road, Grand Junction, CO 81503	Project # 10-15-008 Tel: 970-256-1214 Fax: 970-434-7583	FCI Constructors, Inc. - GJ

RFI #: 008R1 — **Date Created: 6/30/2015**

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Location of Irrigation Backflow Preventer	Landscaping	Clarification and Approval

Cc: Company Name	Contact Name	Copies	Notes
FCI Constructors, Inc. - GJ	Craig Reid	1	
FCI Constructors, Inc. - GJ	Stan Kiser	1	
City of Grand Junction	Lee Cooper	1	

Question — **Date Required: 7/7/2015**

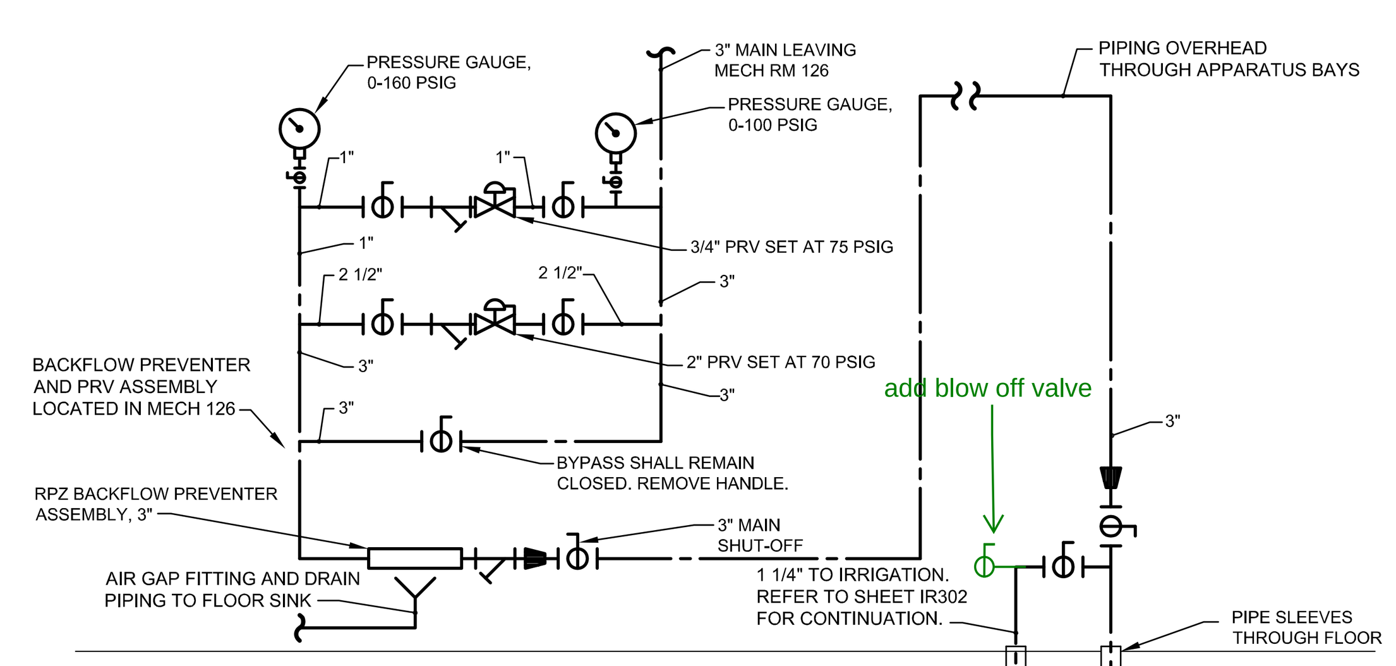
RE: IR101, C5
Attached is a revised sketch to show the proposed installation of the irrigation line with a blow out at the interior of the building. This configuration will need no valve box in the drive outside.

Suggestion

Answer — **Date Answered:**

For documentation only.

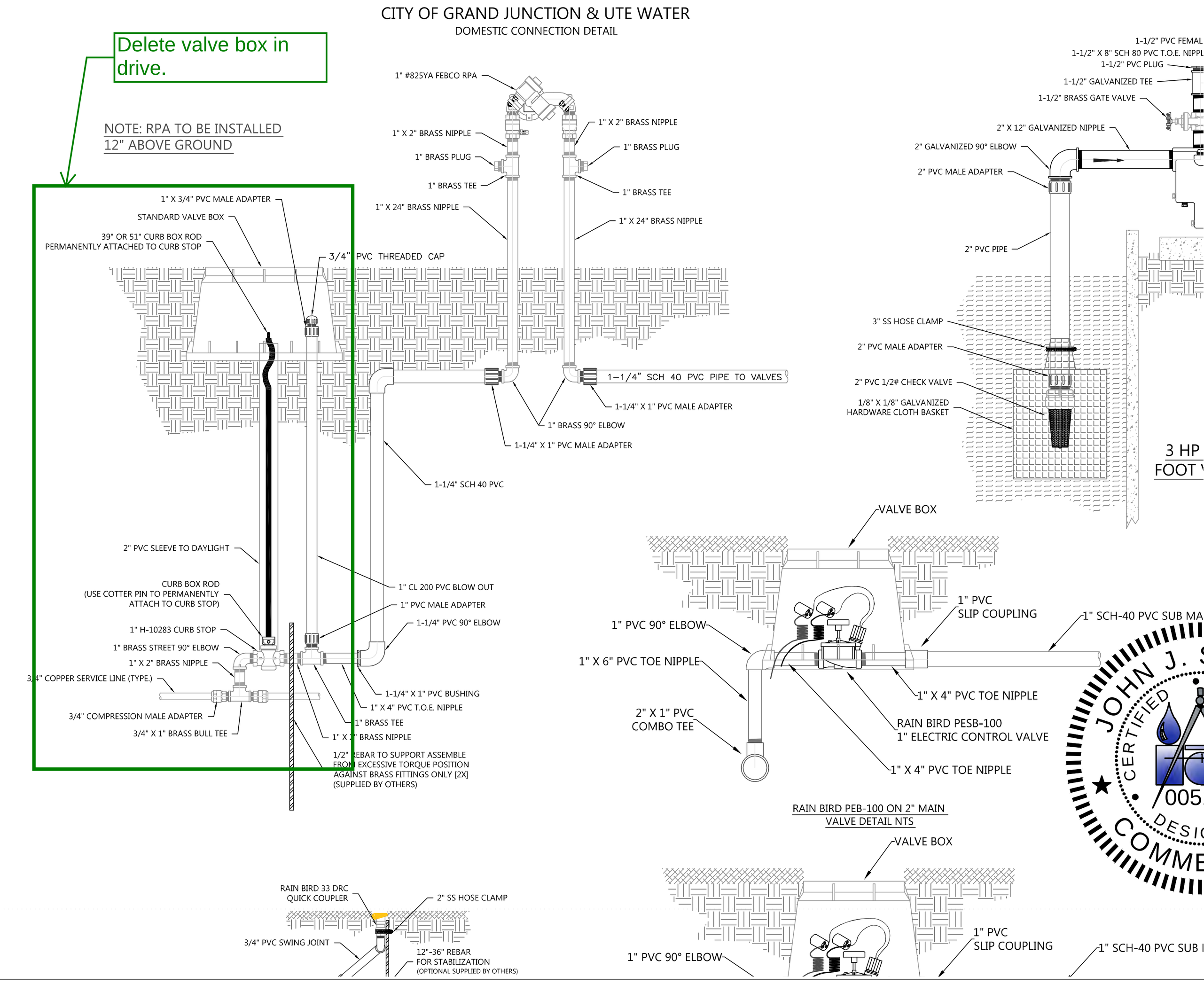
Prolog Manager Printed on: 6/30/2015 fci pm data Page 1 of 1



WATER SERVICE PIPING DETAIL
NO SCALE

PSK-1 LOCATION: P301
ADDENDUM 1 ISSUED WITH:
PREPARED BY: DCR
DATE: 4/24/2015
DESCRIPTION: REVISED WATER SERVICE PIPING DETAIL
SCALE: NO SCALE
PROJECT NO: 1443
PROJECT: FIRE STATION #4
C H A M B E R L I N · A R C H I T E C T S
GRAND JUNCTION, COLORADO 970.242.6804 RAPID CITY, SOUTH DAKOTA 605.355.6804

CITY OF GRAND JUNCTION & UTE WATER
DOMESTIC CONNECTION DETAIL



JOHN J. STEUBLE CERTIFIED IRRIGATION DESIGNER COMMERCIAL 005105

Grand Junction Pipe & Supply
Irrigation Design Department
2868 I-70 Bus. Loop
Grand Jct, CO 81501
(970) 243-4604

Design Date: 04-29-2015	Designed By: B.G.V.
Drawing Number: 2015-0002	Checked By: J.J.S.

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

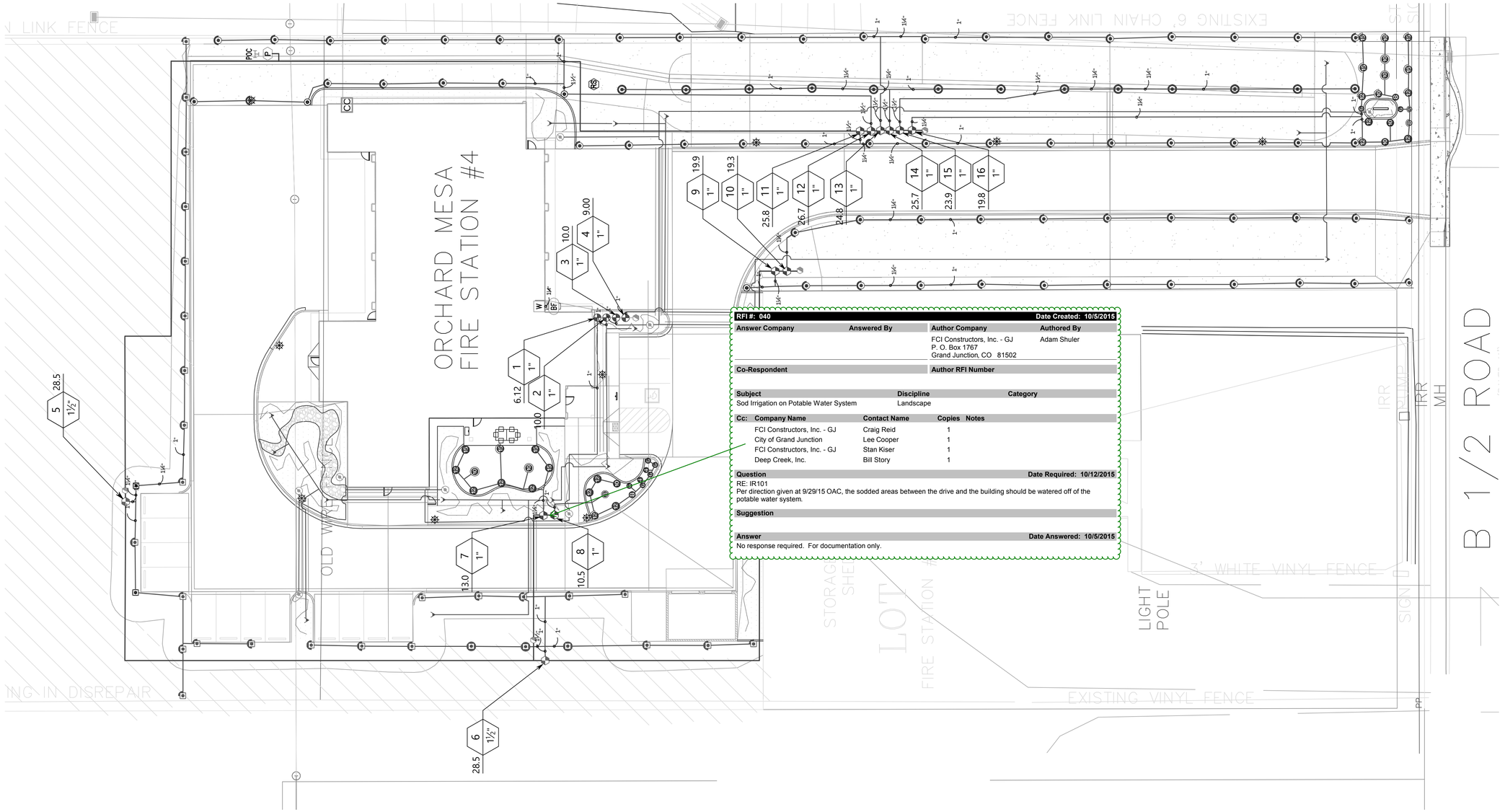
DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: **04-29-2015** SHEET NO:

PROJECT NO: **1443**
2015-0002

IR101

Addendum 2



RFI #: 040 — **Date Created: 10/5/2015**

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Sod Irrigation on Potable Water System	Landscape	

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Craig Reid	1	
	City of Grand Junction	Lee Cooper	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Deep Creek, Inc.	Bill Story	1	

Question — **Date Required: 10/12/2015**

RE: IR101
Per direction given at 9/29/15 OAC, the sodded areas between the drive and the building should be watered off of the potable water system.

Suggestion

Answer — **Date Answered: 10/5/2015**

No response required. For documentation only.

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK		GAL./WEEK	GAL./DAY			
	SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY							0.30 in/h	1.40	280	1,713	856.5
1	Rain Bird PGA-PRS-D- Globe		Bubbler	30.64 in/h	1.40	3	30	15				
	SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY							0.30 in/h	1.40	280	1,925	962.4
2	Rain Bird PGA-PRS-D- Globe		Bubbler	30.64 in/h	1.40	3	27	13.5				
3	Rain Bird PGA-PRS-D- Globe		0.41 in/h	1.40	207	5,897	2,948					
4	Rain Bird PGA-PRS-D- Globe		0.51 in/h	1.40	167	4,758	2,379					
5	Rain Bird PESB (2)	Turf Rotary	1.85 in/h	1.40	46	548.6	182.9					
6	Rain Bird PESB (2)	Turf Rotary	2.71 in/h	1.40	31	333.9	111.3					
7	Rain Bird PESB (2)	Turf Spray	0.36 in/h	1.40	235	4,686	2,343					
8	Rain Bird PESB (2)	Turf Spray	0.34 in/h	1.40	245	4,733	2,367					
9	Rain Bird PESB (2)	Turf Rotary	0.36 in/h	1.40	235	6,054	3,027					
10	Rain Bird PESB (2)	Turf Rotary	0.56 in/h	1.40	150	4,001	2,000					
11	Rain Bird PESB (2)	Turf Rotary	0.35 in/h	1.40	243	6,036	3,018					
12	Rain Bird PESB (2)	Turf Rotary	0.32 in/h	1.40	264	6,782	3,391					
13	Rain Bird PESB (2)	Turf Rotary	0.35 in/h	1.40	238	5,679	2,839					
14	Rain Bird PESB (2)	Turf Rotary										
15	Rain Bird PESB (2)	Turf Rotary										
TOTALS:			2,627	53,203	26,455							

NORTH

Scale: 1" = 20'–0"

0 20 40 60

Grand Junction Pipe & Supply
Irrigation Design Department
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Grand Jct, CO 81501
(970) 243-4604

Design Date:	Designed By:
04-10-2015	B.G.V.
Drawing Number:	Checked By:
2015-0002	J.J.S.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: **04-10-2015** SHEET NO:

PROJECT NO: **1443** 2015-0002

IR101

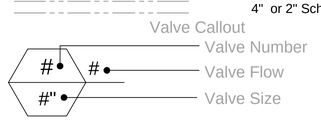
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC
5	Rain Bird 1804-SAM-PRS 5 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
8	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	360
8	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
10	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	360
10	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	180
12	Rain Bird 1804-SAM-PRS 12 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	90
15	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	180
15	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	90
4	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
6	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	7	Adj
8	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
8	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
10	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
12	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	9	Adj
15	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
	Rain Bird R-VAN-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 4.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	3	CST
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	13	360
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	58	180
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4	90
	Rain Bird R-VAN-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 6.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	2	CST
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3	360

	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	18	180
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	8	90
	Rain Bird 1804-SAM-PRS With Hunter PCN-25 Bubbler Nozzles 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	18	360

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	1" PVC Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	9
	3/4" Drip Tube	678.9 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-100-PRB-LC 1" Medium Plus Flow Drip Control Kit, for Light Commercial Uses. 1" PGA Valve, with 1" Pressure Regulating 40psi Basket Filter. 5gpm to 20gpm.	4
	Rain Bird PESB (2) 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	10
	Rain Bird PESB (2) 1-1/2" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2
	Rain Bird 33-DLRC 3/4" 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	6
BF	Febco 825YA 1" Reduced Pressure Backflow Preventer	1
CC	Rain Bird ESP4-SMTE with (2) ESP-SM6 Moudules Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.	1
RS	Rain Bird Rain Sensor With Rainfall and Temperature Data	1
P	MUNRO LP200B 2-HP Irrigation Pump	1
POC	Irrigation Water Point Of Connection (Existing Irrigation Manhole)	1
W	2" Domestic Water Supply Line (Tap Location For Domestic System)	1
	Irrigation Lateral Line: PVC Class 200 SDR 21 1" PVC Class 200 irrigation pipe.	2,240 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4" PVC Class 200 irrigation pipe.	460 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2" PVC Class 200 irrigation pipe.	300 l.f.
	Irrigation Lateral Line: PVC Schedule 40 PVC Class 200 irrigation pipe.	1500 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21 2" PVC Class 200 irrigation pipe.	1100 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/4"	100 l.f.
	Pipe Sleeve: PVC Schedule 80 4" or 2" Sch-40 Sleeving	440 l.f.



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ORCHARD MESA
FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION
LEGEND

NO:	ISSUED FOR:	DATE:

JOHN J. STEUBLE
CERTIFIED IRRIGATION DESIGNER
005105
COMMERCIAL

Grand Junction Pipe & Supply
Irrigation Design Department
2868 I-70 Bus. Loop
Grand Jct, CO 81501
(970) 243-4604

Design Date:	Designed By:
04-29-2015	B.G.V.
Drawing Number:	Checked By:
2015-0002	J.J.S.

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: 04-29-2015
SHEET NO:
IR201

PROJECT NO: 1443
2015-0002

Addendum 2

IRRIGATION SCHEDULE

Revised

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC
5	Rain Bird 1804-SAM-PRS 5 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
8	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	360
8	Rain Bird 1804-SAM-PRS 8 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	1	180
10	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	360
10	Rain Bird 1804-SAM-PRS 10 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	180
12	Rain Bird 1804-SAM-PRS 12 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	4	90
15	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	180
15	Rain Bird 1804-SAM-PRS 15 Series MPR Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	90
4	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
6	Rain Bird 1804-SAM-PRS VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	7	Adj
8	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	2	Adj
8	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
12	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	9	Adj
15	Rain Bird 1804-SAM-PRS HE-VAN Series Turf Spray 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	3	Adj
	Rain Bird R-VAN-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 4.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	3	CST
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	13	360
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	58	180
	Rain Bird R-1724 RD-1804-SAM-P45 Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 4.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4	90
	Rain Bird R-VAN-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Hand Adjustable Rotary Stream, w/RD-1800 turf spray body, 6.0" Pop-Up. With Seal-A-Matic Check Valve and 45 psi in-stem pressure regulation.	2	CST
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	3	360
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	18	180
	Rain Bird R-1724 RD-1806-SAM-P45 (2) Turf Rotator, 17`-24` Rotary Stream, w/RD-1800 turf spray body on 6.0" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	8	90
	Rain Bird 1804-SAM-PRS With Hunter PCN-25 Bubbler Nozzles 4.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2" NPT Female Threaded Inlet. With Seal-A-Matic Check Valve. Pressure Regulating.	18	360

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	1" PVC Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	9
	3/4" Drip Tube	678.9 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PGA-PRS-D- Globe 1" 1", 1-1/2", 2" Electric Remote Control Valve, Globe. With Pressure Regulator Module.	4
	Rain Bird PESB (2) 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	10
	Rain Bird PESB (2) 1-1/2" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2
	Rain Bird 33-DLRC 3/4" 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, Double Track Key Lug, and 2-Piece Body.	6
BF	Febco 825YA 1" Reduced Pressure Backflow Preventer	1
CC	Rain Bird ESP4-SMTE with (2) ESP-SM6 Moudules Outdoor Smart Modular Control System for Residential and Light Commercial Use. Wall Mount, Tipping Bucket Rain Sensor that Measures Rainfall.	1
RS	Rain Bird Rain Sensor With Rainfall and Temperature Data	1
P	MUNRO LP200B 2-HP Irrigation Pump	1
POC	Irrigation Water Point Of Connection (Existing Irrigation Manhole)	1
W	2" Domestic Water Supply Line (Tap Location For Domestic System)	1
	Irrigation Lateral Line: PVC Class 200 SDR 21 1" PVC Class 200 irrigation pipe.	2,240 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4" PVC Class 200 irrigation pipe.	460 l.f.
	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/2" PVC Class 200 irrigation pipe.	300 l.f.
	Irrigation Lateral Line: PVC Schedule 40 PVC Class 200 irrigation pipe.	1500 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21 2" PVC Class 200 irrigation pipe.	1100 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/4"	100 l.f.
	Pipe Sleeve: PVC Schedule 80 4" or 2" Sch-40 Sleeving	440 l.f.

Valve Callout
Valve Number
Valve Flow
Valve Size

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Rapid City, South Dakota 57701
T 605.355.6804

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION LEGEND

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: **04-10-2015**

SHEET NO: **IR201**

PROJECT NO: **1443**
2015-0002

Grand Junction Pipe & Supply
Irrigation Design Department
2868 I-70 Bus. Loop
Grand Jct, CO 81501
(970) 243-4604

Design Date:	Designed By:
04-10-2015	B.G.V.
Drawing Number: 2015-0002	Checked By: J.J.S.

IRRIGATION NOTES:

1. All work shall be per existing county or state code and is subject to inspection and approval by appropriate inspectors and/or owner representative. Installer to be responsible for all installation standards, practices and all permit requirements.

2. Julee Wolverton Landscapes have provided all base and planting information. Any discrepancies between said information and these irrigation plans shall be their responsibility. The installer will assume all costs and liabilities associated with any and all field changes to the system design.

3. The system is designed to operate from the source with a flow of 28-30 gallons per minute (GPM) at 55 pounds per square inch (PSI) at the pump. (Irrigation Water Supply

4. This is designed to opperate from a domestic water connection with the source providing a flow of 10-12 gallons per minute (GPM) at 75 pounds per square inch (PSI) with a 1" 825 RPYA Backflow Device.Unless otherwise noted on the plans, source flow and pressure are the responsibility of others.

5. All pipe to be sleeved wherever concrete, asphalt, or any hard surfaces are to be overlaid. All sleeves to be 2 times the diameter of the pipe to be sleeved. Main line sleeves to have an additional 4" inch sleeve in parallel for control wires.

6. Irrigation plan is a diagrammatic single line drawing. Any components shown on plan outside of landscape are shown for clarity only. Multiple pipes may be installed in the same trench when proper pipe spacing can be maintained.

7. Main line to be buried 24" (inch) to top of pipe.

8. Control wires to be routed with main line and attached at 24" increments with plastic wire ties or duct tape. Wire should be a looped common and one hot wire to each valve with extra wires in valve box. Wire splices to be located in a 10" (inch) round or larger valve box at least.

9. Swing pipe to be used on all sprinkler heads under 6 GPM and swing joints on all heads over 6 GPM. Maximum length of swing pipe to be 5' (foot).

10. Isolation valves to be located in 10" (inch) round valve box or larger.

11. For obstructions (Electrical Transformers, Trees, Fire Hydrants, etc...), that will interfere with proper coverage of sprinkler heads, will require the addition of properly patterned heads around obstruction as to provide head to head coverage to all irrigated areas.

12. Sprinkler heads to be set perpendicular to finished grade and adjusted to prevent over spray onto non irrigated areas.

13. Laterals are sized at transitions only, segments that are not noted will be the same size as adjacent segments. Up stream segments will never be smaller than any down stream segments on the same lateral.

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	PSI	PSI @ POC	GPM	PRECIP
	Domestic Water System						
1	Rain Bird XCZ-100-PRB-LC Control Zone Kit	1"	SHRUB AREA FOR DRIP EMITTERS		39.80	6.12	0.30 in/h
2	Rain Bird XCZ-100-PRB-LCControl Zone Kit	1"	TREE ZONE WITH PCN BUBBLERS		45.99	10.0	30.64 in/h
3	Rain Bird XCZ-100-PRB-LCControl Zone Kit	1"	SHRUB AREA FOR DRIP EMITTERS		38.94	10.0	0.30 in/h
4	Rain Bird XCZ-100-PRB-LCControl Zone Kit	1"	TREE ZONE WITH PCN BUBBLERS		44.81	9.00	30.64 in/h
	Irrigation Water System						
5	Rain Bird PESB (2)	1-1/2"	Turf Rotary	50.63	51.42	28.49	0.41 in/h
6	Rain Bird PESB (2)	1-1/2"	Turf Rotary	49.28	50.16	28.49	0.51 in/h
7	Rain Bird PESB (2)	1"	Turf Spray	32.59	50.81	12.97	1.85 in/h
8	Rain Bird PESB (2)	1"	Turf Spray	32.28	50.81	10.50	3.22 in/h
9	Rain Bird PESB (2)	1"	Turf Rotary	50.53	50.81	19.94	0.36 in/h
10	Rain Bird PESB (2)	1"	Turf Rotary	50.50	50.77	19.32	0.34 in/h
11	Rain Bird PESB (2)	1"	Turf Rotary	51.64	51.92	25.76	0.36 in/h
12	Rain Bird PESB (2)	1"	Turf Rotary	52.99	53.29	26.67	0.56 in/h
13	Rain Bird PESB (2)	1"	Turf Rotary	51.67	51.94	24.84	0.35 in/h
14	Rain Bird PESB (2)	1"	Turf Rotary	50.57	50.86	25.69	0.32 in/h
15	Rain Bird PESB (2)	1"	Turf Rotary	51.28	51.54	23.86	0.35 in/h
16	Rain Bird PESB (2)	1"	Turf Spray	35.95	51.54	19.77	2.29 in/h

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
	Domestic Water System						
1	Rain Bird XCZ-100-PRB-LC Control Zone Kit	SHRUB AREA FOR DRIP EMITTERS	0.30 in/h	1.40	280		
2	Rain Bird XCZ-100-PRB-LC Control Zone Kit	TREE ZONE WITH PCN BUBBLERS	30.64 in/h	1.40	3		
3	Rain Bird XCZ-100-PRB-LC Control Zone Kit	SHRUB AREA FOR DRIP EMITTERS	0.30 in/h	1.40	280		
4	Rain Bird XCZ-100-PRB-LC Control Zone Kit	TREE ZONE WITH PCN BUBBLERS	30.64 in/h	1.40	3		
	Irrigation Water System						
5	Rain Bird PESB	Turf Rotary	0.41 in/h	1.40	207	5,897	2,948
6	Rain Bird PESB	Turf Rotary	0.51 in/h	1.40	167	4,758	2,379
7	Rain Bird PESB	Turf Spray	1.85 in/h	1.40	46	596.7	198.9
8	Rain Bird PESB	Turf Spray	3.22 in/h	1.40	27	283.6	94.5
9	Rain Bird PESB	Turf Rotary	0.36 in/h	1.40	235	4,686	2,343
10	Rain Bird PESB	Turf Rotary	0.34 in/h	1.40	245	4,733	2,367
11	Rain Bird PESB	Turf Rotary	0.36 in/h	1.40	235	6,054	3,027
12	Rain Bird PESB	Turf Rotary	0.56 in/h	1.40	150	4,001	2,000
13	Rain Bird PESB	Turf Rotary	0.35 in/h	1.40	243	6,036	3,018
14	Rain Bird PESB	Turf Rotary	0.32 in/h	1.40	264	6,782	3,391
15	Rain Bird PESB	Turf Rotary	0.35 in/h	1.40	238	5,679	2,839
16	Rain Bird PESB	Turf Spray	2.29 in/h	1.40	37	731.6	243.9
TOTALS:			2,660	50,238	24,850		

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JOHN J. STEUBLE CERTIFIED IRRIGATION DESIGNER COMMERCIAL 005105

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Irrigation Design Department
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Grand Jct, CO 81501
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Design Date:	Designed By:
04-29-2015	B.G.V.
Drawing Number: 2015-0002	Checked By: J.J.S.

ORCHARD MESA
FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION NOTES & DETAILS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: 04-29-2015 SHEET NO:

PROJECT NO: 1443
2015-0002

IR301

Addendum 2

Revised

IRRIGATION NOTES:

1. All work shall be per existing county or state code and is subject to inspection and approval by appropriate inspectors and/or owner representative. Installer to be responsible for all installation standards, practices and all permit requirements.

2. **Julee Wolverton** has provided all base and planting information. Any discrepancies between said information and these irrigation plans shall be their responsibility. The installer will assume all costs and liabilities associated with any and all field changes to the system design.

3. The system is designed to operate from the irrigation water source with a flow of **28-30** gallons per minute (GPM) at **55** pounds per square inch (PSI) at the pump. (Irrigation Water Supply)

4. This is designed to opperate from a domestic water connection with the source providing a flow of **10-12** gallons per minute (GPM) at **75** pounds per square inch (PSI) with a 1" 825 RPYA Backflow Device.Unless otherwise noted on the plans, source flow and pressure are the responsibility of others.

5. All pipe to be sleeved wherever concrete, asphalt, or any hard surfaces are to be overlaid. All sleeves to be 2 times the diameter of the pipe to be sleeved. Main line sleeves to have an additional 4" inch sleeve in parallel for control wires.

6. Irrigation plan is a diagrammatic single line drawing. Any components shown on plan outside of landscape are shown for clarity only. Multiple pipes may be installed in the same trench when proper pipe spacing can be maintained.

7. Main line to be buried 24" (inch) to top of pipe.

8. Control wires to be 2-Wire Control Path In A 1" PVC "Electrical" Conduit With A Tracer Wire. 2 Wire Control Path To Be Hunter Or Rain Bird

9. Swing pipe to be used on all sprinkler heads under 6 GPM and swing joints on all heads over 6 GPM. Maximum length of swing pipe to be 5' (foot).

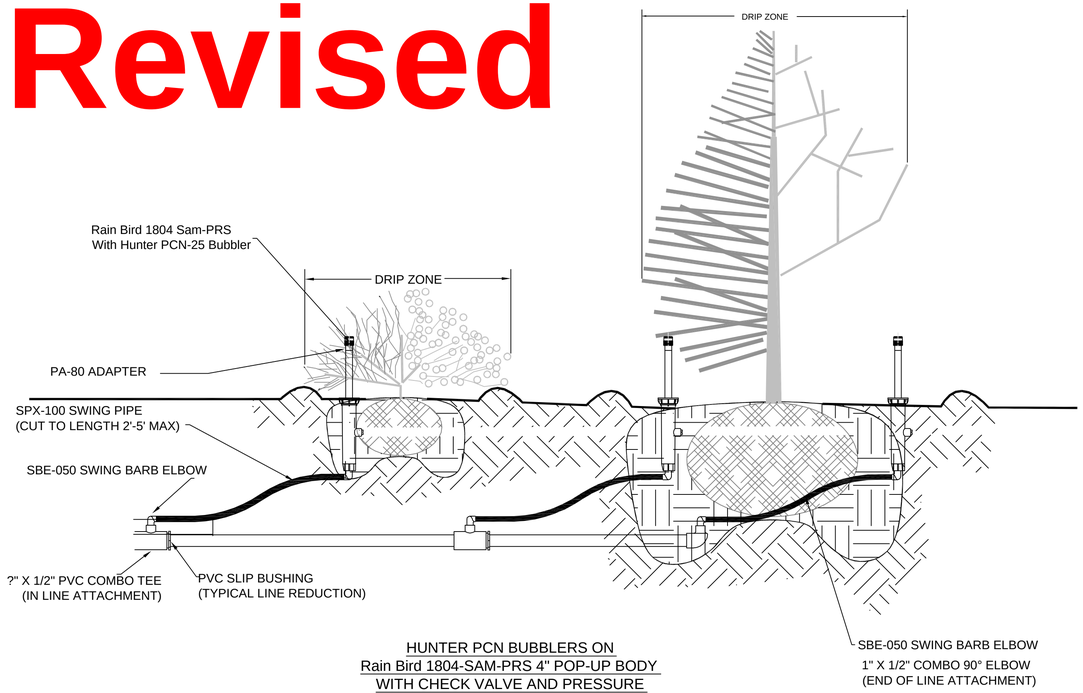
10. Isolation valves to be located in 10" (inch) round valve box or larger.

11. For obstructions (Electrical Transformers, Trees, Fire Hydrants, etc...), that will interfere with proper coverage of sprinkler heads, will require the addition of properly patterned heads around obstruction as to provide head to head coverage to all irrigated areas.

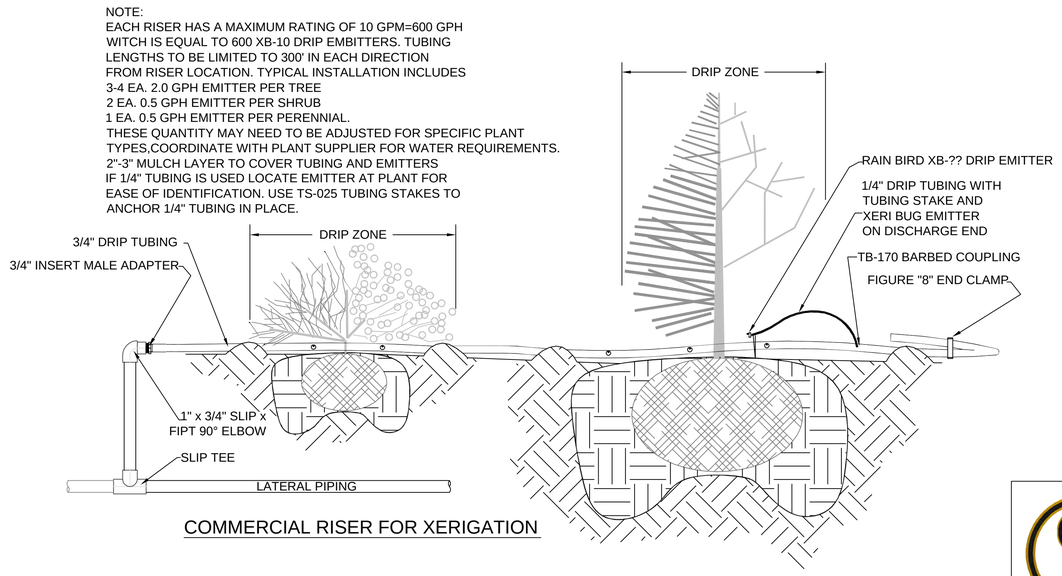
12. Sprinkler heads to be set perpendicular to finished grade and adjusted to prevent over spray onto non irrigated areas.

13. Laterals are sized at transitions only, segments that are not noted will be the same size as adjacent segments. Up stream segments will never be smaller than any down stream segments on the same lateral.

14. Valve boxes located in beds shall be tan /brown in color. Valve boxes in turf areas shall be green in color



HUNTER PCN BUBBLERS ON
Rain Bird 1804-SAM-PRS 4" POP-UP BODY
WITH CHECK VALVE AND PRESSURE
REGULATING STEM
NTS



COMMERCIAL RISER FOR XERIGATION

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

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IR301

Grand Junction Pipe & Supply
Irrigation Design Department
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Grand Jct, CO 81501
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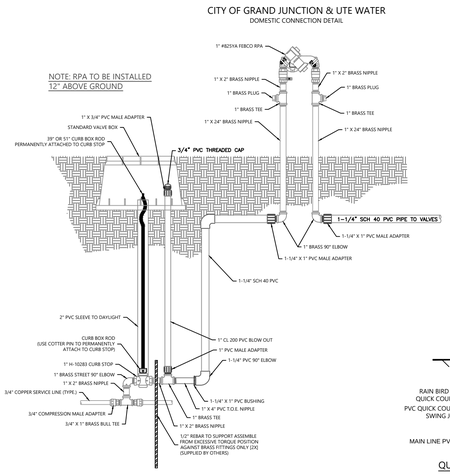
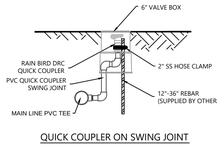
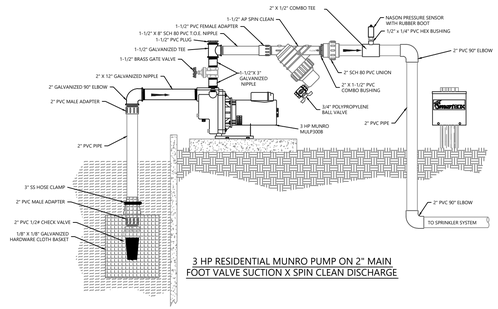
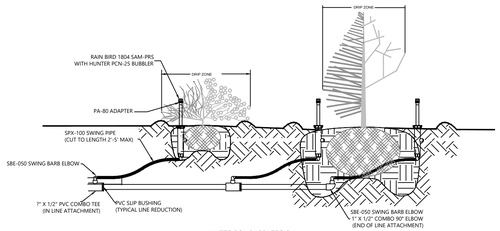




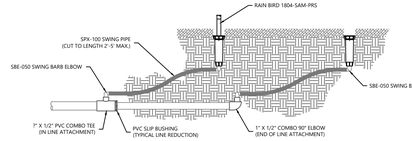
QUICK COUPLER ON SWING JOINT



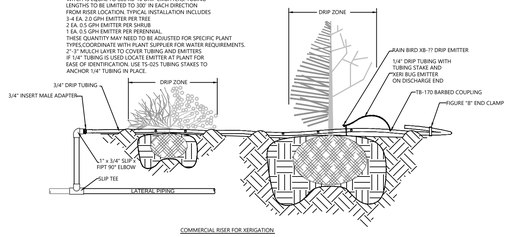
3 HP RESIDENTIAL MUNRO PUMP ON 2" MAIN
FOOT VALVE SUCTION X SPIN CLEAN DISCHARGE



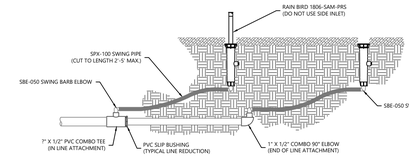
HUNTER PCN BUBBLERS ON
Rain Bird 1804-SAM-PRS 4" POP-UP BODY
WITH CHECK VALVE AND PRESSURE
REGULATING STEM
NTS



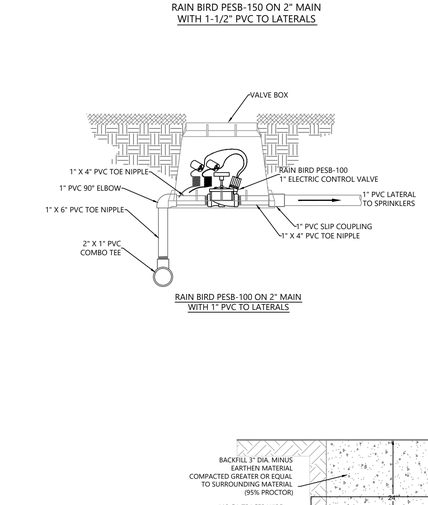
RAIN BIRD 1804-SAM-PRS ON SWING PIPE



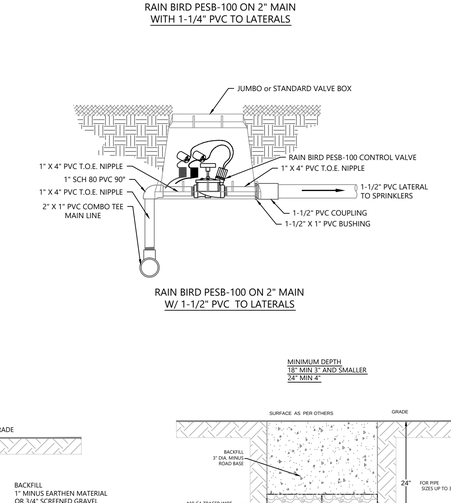
COMMERCIAL RISER FOR XERIGATION



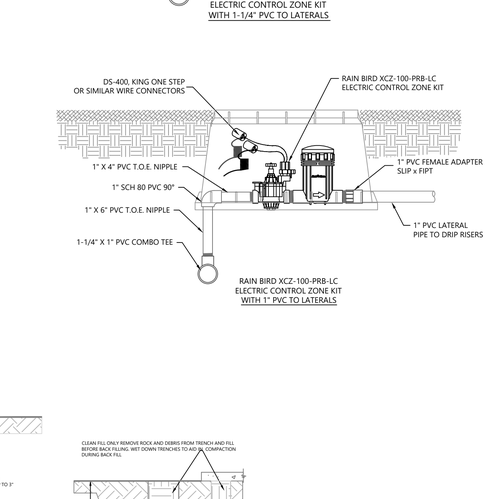
RAIN BIRD 1806-SAM-PRS ON SWING PIPE

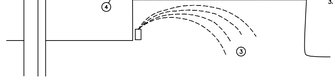


RAIN BIRD PESB-150 ON 2" MAIN
WITH 1-1/2" PVC TO LATERALS



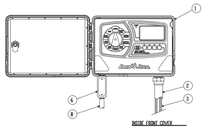
RAIN BIRD PESB-100 ON 2" MAIN
WITH 1-1/4" PVC TO LATERALS

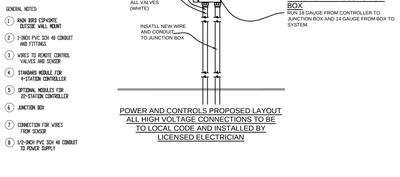




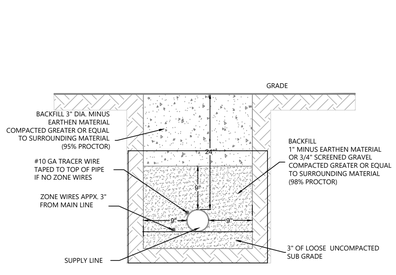
RAIN BIRD PESB-100 ON 2" MAIN
WITH 1" PVC TO LATERALS

RAIN BIRD PESB-100 ON 2" MAIN
W/ 1-1/2" PVC TO LATERALS

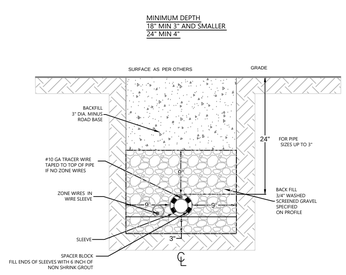




POWER AND CONTROLS PROPOSED LAYOUT
ALL HIGH VOLTAGE CONNECTIONS TO BE TO LOCAL CODE AND INSTALLED BY LICENSED ELECTRICIAN



TURF / SHRUB / PLANTER AREA
TYPICAL MAINLINE TRENCH SECTION
NTS



ROAD/DRIVE PIPE SLEEVE
FOR ASPHALT, CONCRETE AND OTHER HARD SCAPE SURFACES INSTALL MAIN LINE & SLEEVES
NTS

LATERAL TRENCH RECOMMENDATION
BACK FILL/COMPACTION & TRENCH DEPTH
PER ENGINEER,AUTHORITY OR OWNER.
NTS

JOHN J. STEUBLE CERTIFIED IRRIGATION DESIGNER 005105 COMMERCIAL

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Design Date:	Designed By:
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION DETAILS

NO: ISSUED FOR: DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE: **04-29-2015** SHEET NO:

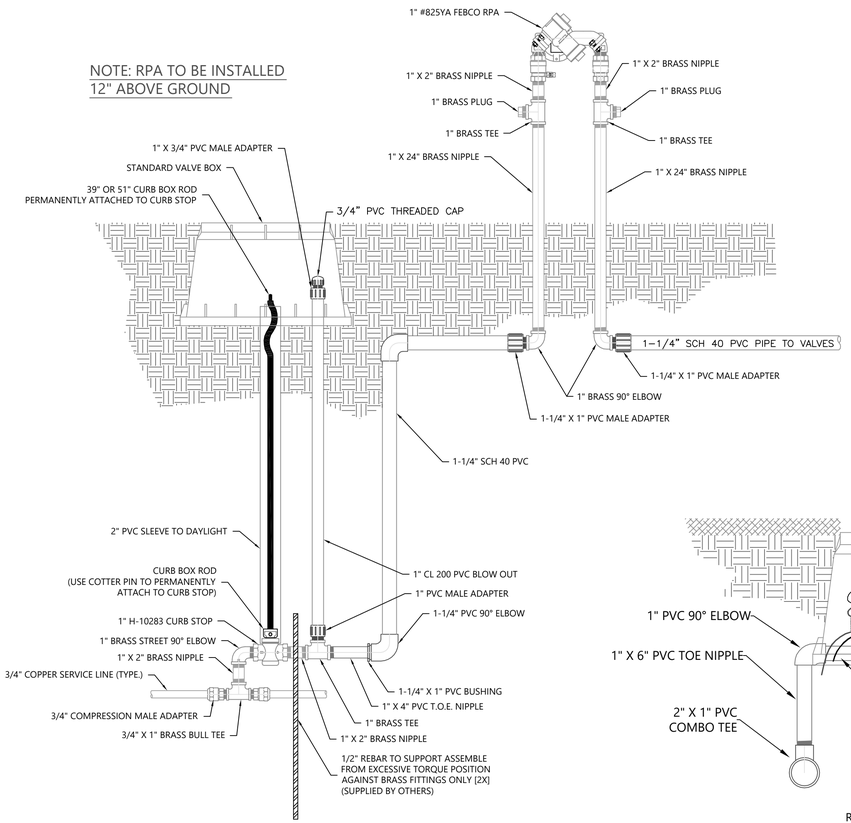
PROJECT NO: **1443** 2015-0002

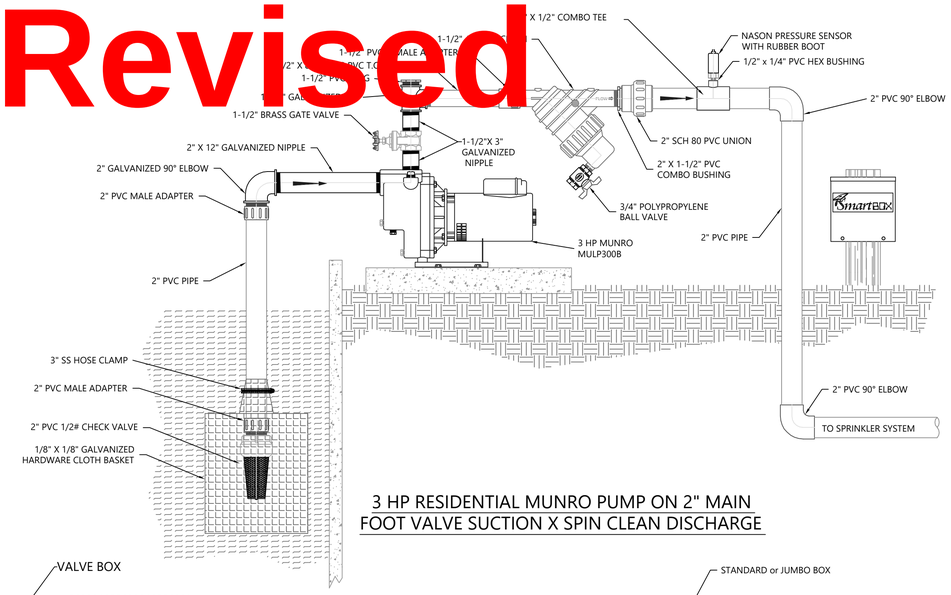
IR302

Addendum 2

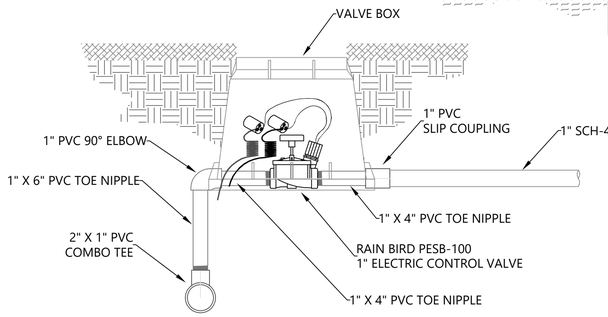
CITY OF GRAND JUNCTION & UTE WATER
DOMESTIC CONNECTION DETAIL

Revised

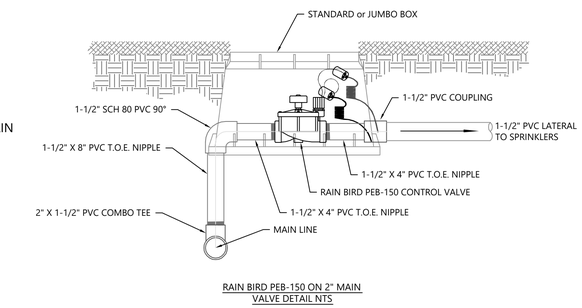




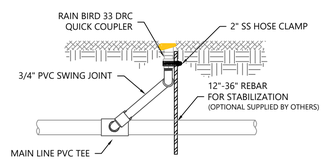
3 HP RESIDENTIAL MUNRO PUMP ON 2" MAIN
FOOT VALVE SUCTION X SPIN CLEAN DISCHARGE



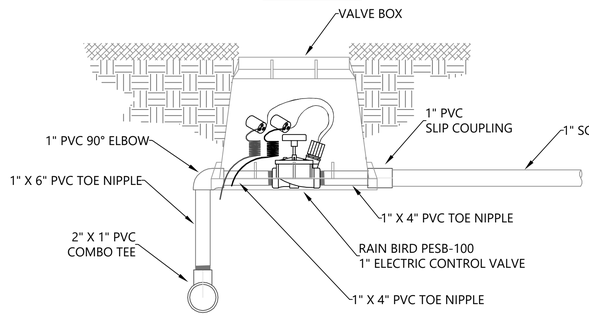
RAIN BIRD PEB-100 ON 2" MAIN
VALVE DETAIL NTS



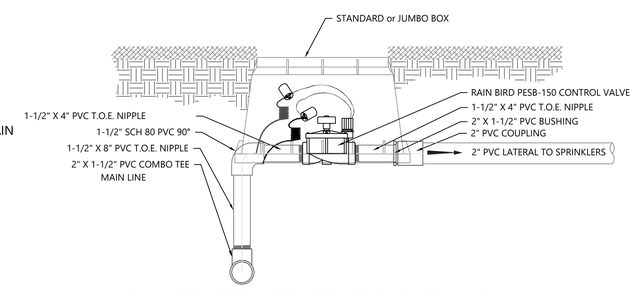
RAIN BIRD PEB-150 ON 2" MAIN
VALVE DETAIL NTS



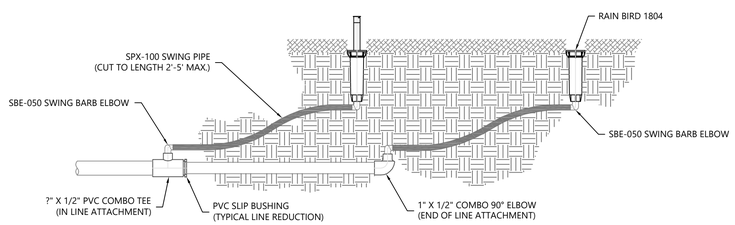
33 DRC QUICK COUPLER ON SWING JOINT



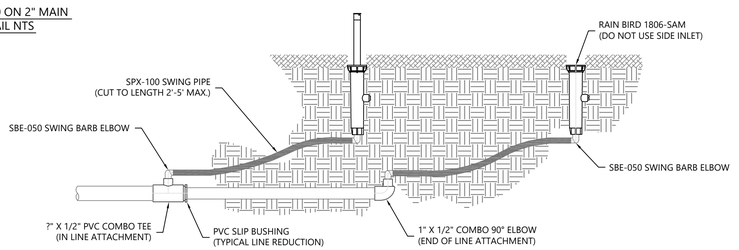
RAIN BIRD PEB-100 ON 2" MAIN
VALVE DETAIL NTS



RAIN BIRD PESB-150 SCRUBBER ON 2" MAIN



RAIN BIRD 1804 ON SWING PIPE



RAIN BIRD 1806-SAM ON SWING PIPE

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437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

IRRIGATION DETAILS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
100% CD's

DRAWN BY: B.G.V. CHECKED BY: J.J.S.

DATE:
04-10-2015 SHEET NO:

PROJECT NO:
1443
2015-0002

IR302

Grand Junction Pipe & Supply
Irrigation Design Department
2868 I-70 Bus. Loop
Grand Jct, CO 81501
(970) 243-4604

Design Date:	Designed By:
04-10-2015	B.G.V.
Drawing Number:	Checked By:
2015-0002	J.J.S.

4/10/2015 11:58:15 AM

ARCHITECTURAL ABBREVIATIONS

ABV	above
ACC	accessories
AFF	above finished floor
ALT	alternate
AL	aluminum
APC	acoustical panel ceiling
ARCH	architect (ural)
ASPH	asphalt
A/C	air conditioning
BCS	baby changing station
BD	board
BLDG	building
BLKG	blocking
BO	bottom of
BRG	bearing
CBU	cemetitious backer unit
CG	corner guard
CJ	control joint
CLG	ceiling
CLR	clear (ance)
CMU	concrete masonry unit
CNRG	corner guard
COL	column
CONC	concrete
CONT	continuous or continue
CORR	corridor
CPT	carpet (ed)
CSMT	casement
CT	ceramic tile
CTR	center
CU	condensing unit
CWOG	center wall on grid
DBL	double
DEMO	demolish / demolition
DF	drinking fountain
DIM	dimension (s)
DIR	direction
DISP	dispenser
DN	down
DR	door
DS	downspout
DTL	detail
DWG	drawing
DWR	drawer
E	east
EA	each
EC	evaporative cooler
EF	exhuast fan
EG	etched glass/glazing
EIFS	exterior insul finish sys
EJ	expansion joint
EL	elevation
ELEC	electric (al)
EM	emergency
EWC	electric water cooler
EWG	end wall corner guard
EQ	equal
EXG	existing
EXH	exhaust
EXP	exposed
EXT	exterior
FBO	furnished by owner
FD	floor drain
FDN	foundation
FE	fire extinguisher
FEC	fire extinguisher cabinet
FEP	finished end panel
FFE	finished floor elevation
FIN	finish
FLG	flashing
FLR	floor (ing)
FLUR	fluorescent
FO	face of
FRMG	framing
FRP	fiber reinforced plastic
FT	foot (feet)
FTG	footing
FV	field verify
GA	gage, gauge
GAL	gallon
GALV	galvanized
GB	grab bar
GC	general contractor
GL	glass, glazing
GWB	gypsum wallboard
GYP	gypsum
HAS	headed anchor stud
HB	hose bibb
HCP	handicap (ed)
HDR	header
HDW	hardware
HM	hollow metal
HOR	horizontal
HP	heat pump
HR	hose reel
HSS	hollow structural steel
HT	height
HVAC	heating /vent /air cond
HWD	hardwood
INCL	include (d) (ing)
INSUL	insulate (d) (ing)
INT	interior
INV	invert
JST	joist
JT	joint
L	length, angle
LAM	laminate (d)
LAV	lavatory
LB	pound
LF	lineal foot
LG	laminated glass, glazing
LIN	linoleum
LR	louver
LT	light
MA	match
MAS	masonry
MATL	material
MAX	maximum
MB	marker board
MECH	mechanic (al)
MFR	manufacture (r) (d)
MH	manhole
MIN	minimum
MISC	miscellaneous
MLD	molding, moulding
MMB	membrane
MO	masonry opening
MT	mount (ed) (ing)
MTL	metal
N	north
N/A	not applicable
NIC	not in contract
NOM	nominal
NTS	not to scale
NECY	necessary
OC	on center (s)
OD	outside diameter
OFD	overflow drain
OH	overhead
OPG	opening
OPH	opposite hand
OPP	opposite
OSB	oriented strand board
OTS	open to structure
PB	particle board
PERF	perforate
PERIM	perimeter
PLAM	plastic laminate
PLT	plate
PNL	panel
PNT	paint (ed)
PR	pair
PROJ	projector, projection
PSF	pounds per square foot
PSI	pounds per square inch
PT	pressure treated
PTD	paper towel dispenser
PTN	partition
PVC	polyvinyl cholride
PVMT	pavement
PWD	plywood
QT	quarry tile
R	riser, radius
RB	rubber base
REC	recycling
RCMD	recommend (ed) (ations)
RE	reference
REF	refrigerator
REIN	reinforce (d) (ing)
REQ	required
REV	revision (s), revised
RD	roof drain
RFG	roofing
RH	robe hook
RM	room
RO	rough opening
ROW	right of way
RR	restroom
RTU	roof top unit
RUB	rubber
S	south
SAG	susp acoustic grid
SC	shower curtain rod & hooks
SCH	schedule
SD	soap dispenser
SHT	sheet
SHTG	sheathing
SIM	similar
SND	sanitary napkin dispenser
SNV	sanitary napkin vendor
SPEC	specification
SPKR	speaker
SQ	square
SS	solid surface
SST	stainless steel
STD	standard
STL	steel
STOR	storage
STR	structural
SUSP	suspended
T	tread
TB	towel bar
TEL	telephone
T.O.	top of
TOC	top of concrete
TOS	top of steel
TOW	top of wall
TPD	toilet paper dispenser
TS	tube steel
TYP	typical
T&G	tongue and groove
UNO	unless noted otherwise
VB	vapor barrier
VCT	vinyl composition tile
VERT	vertical
VIF	verify in field
VM	vending machine
VNL	vinyl sheet
VTR	vent through roof
W	west, wide, width
W/	with
WB	wood base
WC	watercloset
WD	wood
WDW	window
WF	wide flange
WG	wire glass
W/O	without
WP	waterproof (ing)
WR	waste receptacle
WRB	weather resistive barrier
WWM	welded wire mesh

SYMBOLS

- REVISION
- ELEVATION (TOP OF WALL 100' 0")
- COLUMN GRID LOCATION
- DOOR NUMBER
- WINDOW TYPE
- CENTER LINE
- LINE OF WALL ABOVE OR HIDDEN LINE
- BREAK LINE
- MATCH LINE
- ROOM NAME / ROOM NUMBER
- INTERIOR WALL ELEVATION REFERENCE DRAWING
- REFERENCED SECTION NUMBER / SHEET NUMBER
- BASIC WALL TYPE
- WALL TYPE AND PROPERTIES, SEE "WALL DESIGNATION KEY" BELOW
- REFERENCED DETAIL NUMBER / SHEET NUMBER
- ANGLE
- DIAMETER
- PERPENDICULAR
- PLATE
- PLUS OR MINUS
- FLOOR DRAIN
- FIRE EXTINGUISHER

GENERAL NOTES

1. COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN.
2. ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.
3. ALL ALIGNMENTS ARE FACE OF FINISH UNO.
4. FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR INSTALLATION.
5. PROVIDE 1/2-HR RATED WALLS SEPARATING SLEEPING UNITS (PER GA FILE NO. WP 3514).

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Four (4)

ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501

ARCHITECT'S PROJECT NO: 1443

DATE OF ISSUANCE: July 29, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

1. Sheet A001, Wall Types, Wall Types 1, 1A & 10, Change text to read: "30-MIN FIRE RATING – UL U407, APPLIES TO WALLS WITH HEAVY DASHED LINE AS INDICATED ON SHEET A002, LIFE SAFETY PLAN".
2. Sheet A001, Wall Types, Wall Types 5 & 5A, Delete "2-HR FIRE RATING – UL U906".

Attachments: None

ARCHITECT: Chamberlin Architects, P.C.

BY: Jonathan West

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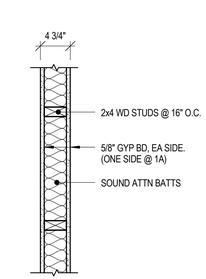
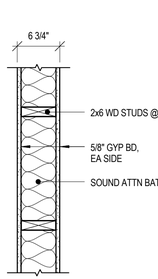
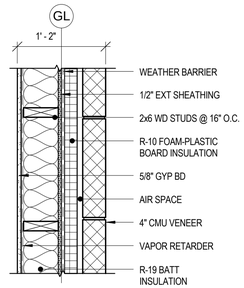


WALL TYPE 1 & 1A

30MIN FIRE RATING-UL U407



WALL TYPE 2



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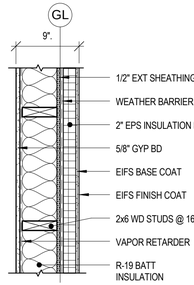
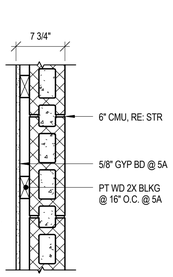
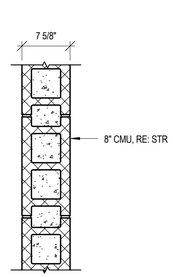


WALL TYPE 4

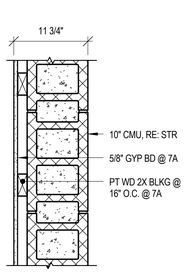


WALL TYPE 5 & 5A

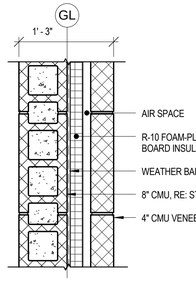
2HR FIRE RATING - UL U906



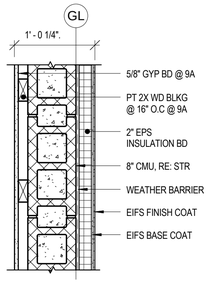
WALL TYPE 6



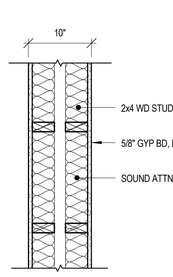
WALL TYPE 7 & 7A



WALL TYPE 8

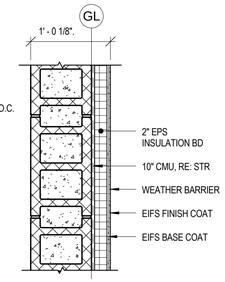


WALL TYPE 9 & 9A



WALL TYPE 10

30MIN FIRE RATING-UL U407



WALL TYPE 11

NOTES:
1. ALL EXTERIOR WALL TYPES ARE SHOWN WITH THE EXTERIOR WALL FACING RIGHT UNLESS OTHERWISE NOTED.
2. PROVIDE GLASS MAT WATER-RESISTANT BACKER BOARD IN LIEU OF GYPSUM WALL BOARD BEHIND ALL WALL TILE.
3. GYPSUM BOARD SHALL BE MOISTURE-RESISTANT AT THE FOLLOWING LOCATIONS: WALLS AND CEILINGS OF ALL RESTROOMS AND SHOWERS
4. WALL TYPE CHANGES OCCUR AT CORNERS OR INTERSECTIONS OF WALLS UNLESS NOTED OTHERWISE.
5. ALL INTERIOR WALLS TO BE TYPE 1 UNLESS NOTED OTHERWISE.

1 A001 WALL TYPES

0" 6" 1'

CHAMBERLIN ARCHITECTS
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CHAMBERLIN ARCHITECTS

437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A001**

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PROPOSAL REQUEST

FIELD
OWNER
ARCHITECT
CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4

PROPOSAL REQUEST NO: Sixteen (16)

OWNER: City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

DATE: September 28, 2015

ARCHITECT'S PROJECT NO: 1443

CONTRACT DATED: December 18, 2014

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description:

1. Drawing A002; Life Safety Plan: At Sleeping 116, 119, 120, 122, 123 & 124 stop 5/8" drywall (on walls) at bottom chord of wood trusses. Provide (2) layers of 5/8" drywall on the bottom chord of wood trusses, match GA FILE NO. RC 2602 (see attached).
2. Drawing A101 Floor Plan: Between Sleeping 120 and Laundry 121 (on Sleeping 120's side), provide rated wall assembly matching GA FILE NO. WP 3640 (see attached).
3. Drawing E201 Lighting Plan: At Sleeping 120, move LW1 from east wall to north wall.

Attachments: GA FILE NO. RC 2602; GA FILE NO. WP 3640

ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West, AIA

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GA-600-2006 FIRE RESISTANCE DESIGN MANUAL 133

ROOF-CEILING SYSTEMS

GA FILE NO. RC 2501 | **PROPRIETARY*** | **1 HOUR FIRE**

STEEL ROOF TRUSSES, RESILIENT OR RSIC CHANNELS, THERMAL INSULATION, GYPSUM WALLBOARD

One layer 54" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient or rigid furring channels with 1¼" Type S drywall screws 12" o.c. Channels spaced 12" o.c. when insulation is used or 16" o.c. when no insulation is used. Channels placed at right angles to steel roof deck ribs and secured to each rib with 1½" long loaded 2" back on either side of end joint. Resilient channels applied at right angles to bottom chord of pitched or parallel chord steel trusses 48" o.c. with ¼" Type S-12 screws or rigid furring channels secured to the bottom chord of steel trusses with double-strand wire saddle ties **(refer to furring channel manufacturer for maximum spacing)**. Thermal insulation board, 1" thick, applied over steel roof deck ribs and secured directly over gypsum board. Trusses supporting metal roof deck panels covered by ½" regular gypsum sheathing either loose laid or adhesively or mechanically attached to roof deck. Any thickness polyisocyanurate foamed plastic polystyrene foamed plastic or mineral fiber or glass fiber insulation boards laid over gypsum sheathing and covered by a Class A, B, or C roof covering.

PROPRIETARY GYPSUM BOARD
National Gypsum Company — ½" Gold Bond® Brand FIRE-SHIELD C™ Gypsum Wallboard

Approx. Ceiling Weight: 3 psf
Fire Test: UL R2501, 0196/4066-9-9-02, UL Design P540

GA FILE NO. RC 2601 | **GENERIC** | **1 HOUR FIRE**

GYPSUM WALLBOARD, WOOD JOISTS, ROOF COVERING

Base layer ½" type X gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1¼" Type W or S drywall screws 24" o.c. **Face** layer ½" type X gypsum wallboard or gypsum veneer base applied at right angles to joists with 1¼" Type S drywall screws 12" o.c. at joints and intermediate joists and 1¾" Type S drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood joists supporting ½" plywood with exterior glue applied at right angles to joists with 6d nails. Appropriate roof covering. **Ceiling provides one hour fire resistance protection for framing, including trusses.**

Approx. Ceiling Weight: 5 psf
Fire Test: FM FC 172, 2-25-72; ITS, 8-6-68

GA FILE NO. RC 2602 | **GENERIC** | **1 HOUR FIRE**

WOOD TRUSSES, GYPSUM WALLBOARD

Base layer ½" type X gypsum wallboard applied at right angles to wood roof trusses 24" o.c. with 1¼" Type W or S drywall screws 24" o.c. **Face** layer ½" type X gypsum wallboard or gypsum veneer base applied at right angles to trusses with 1¾" Type S drywall screws 12" o.c. at joints and intermediate trusses and 1¾" Type S drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. Wood trusses supporting ½" wood structural panels applied at right angles to trusses with 6d nails. Appropriate roof covering. **Ceiling provides one hour fire resistance protection for trusses.**

Approx. Ceiling Weight: 5 psf
Fire Test: FM FC 172, 2-25-72; ITS, 8-6-68

Content has been redacted for more detailed information see complete package

GA-600-2006 FIRE RESISTANCE DESIGN MANUAL 90

WALLS AND INTERIOR PARTITIONS, WOOD FRAMED

GA FILE NO. WP 3640 | **GENERIC** | **1 HOUR FIRE**

GYPSUM WALLBOARD, WOOD STUDS

One layer ⅝" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of either 2 x 3 or 2 x 4 wood studs, turned flatwise, 24" o.c. with 6d cement-coated nails, 1¾" long, 0.0915" shank, ⅝" heads, 7" o.c. **(NLB)**

Thickness: 2¾"
Approx. Weight: 7 psf
Fire Test: UL, 9-12-96; UL Design U338

GA FILE NO. WP 3641 | **GENERIC** | **1 HOUR FIRE**

GYPSUM WALLBOARD, WOOD STUDS

Base layer ⅝" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of either 2 x 3 or 2 x 4 wood studs, turned flatwise, 24" o.c. with 6d cement-coated nails, 1¾" long, 0.0915" shank, ⅝" heads, 7" o.c. **Face** layer ⅝" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side with 8d cement-coated nails, 2¼" long, 0.113" shank, ⅝a" heads, 9" o.c. **(LOAD-BEARING)**

Thickness: 4¾"
Approx. Weight: 12 psf
Fire Test: UL, 9-12-96; UL Design U338

GA FILE NO. WP 3642 | **GENERIC** | **1 HOUR FIRE**

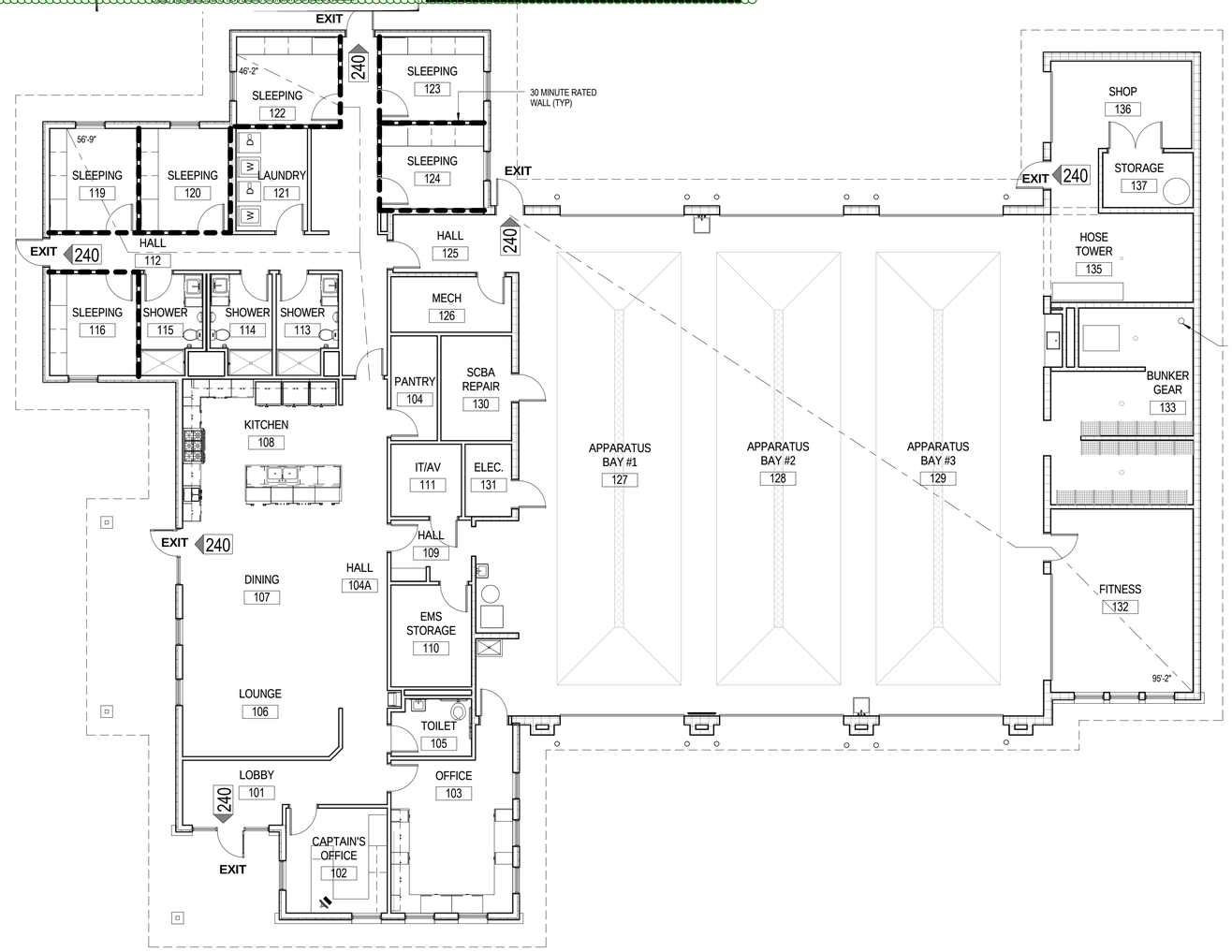
GYPSUM WALLBOARD, WOOD STUDS

One layer ⅝" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to ONE SIDE of either 2 x 3 or 2 x 4 wood studs, turned flatwise, 24" o.c. with 6d cement-coated nails, 1¾" long, 0.0915" shank, ⅝a" heads, 7" o.c.

Inner layer plywood applied with nails.

Second wall duplicate of first wall and separated by 1" **air** space. **(NLB)**

Thickness: 5¾"
Approx. Weight: 10 psf
Fire Test: UL, 9-12-96; UL Design U339



1 A002 LIFE SAFETY PLAN
0' 4' 8'

XXX INDICATES MAXIMUM EGRESS CAPACITY

CODE CHECKLIST

CODE IN USE:

2012 INTERNATIONAL BUILDING CODE (IBC)
2012 INTERNATIONAL MECHANICAL CODE (IMC)
2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2012 INTERNATIONAL PLUMBING CODE (IPC)
2012 INTERNATIONAL FUEL GAS CODE (IFGC)
2014 NATIONAL ELECTRICAL CODE (NEC)

TYPE OF OCCUPANCY:	GROUP B, R-2 & S-1 SECTION 420, R-2; 420.2 SEPARATION WALLS. IN ACCORDANCE W/ SECTION 708.3 FIRE PARTITIONS. EXCEPTION 2: 1/2 HR. PER 508.3: NON-SEPARATED OCCUPANIES: OCCUPANCIES B, R-2 & S-1 WILL NOT BE REQUIRED TO BE SEPARATED AS THE MOST RESTRICTIVE ALLOWABLE BUILDING AREA IS BEING USED. EXCEPTION 2: DWELLING UNITS SHALL BE SEPARATED.
TYPE OF CONSTRUCTION:	TYPE V-B
TOTAL NUMBER OF STORIES:	1
EXTERIOR FIRE WALL RATING:	0-HR (per TABLE 601)
SITE SET BACKS:	
FRONT YARD:	30'+ TO ASSUMED PROPERTY LINE
SIDE YARD:	30'+ TO ASSUMED PROPERTY LINE
REAR YARD:	30'+ TO ASSUMED PROPERTY LINE
BASIC ALLOWABLE FLOOR AREA:	7,000 SQ FT FOR TYPE V-B GROUP R-2
FRONTAGE INCREASE:	5,250 SQ FT ([XX/XX - 0.25] 30/30)
SPRINKLER INCREASE:	21,000 SQ FT (7,000 * 3 = 21,000)
TOTAL ALLOWABLE FLOOR AREA:	33,250 SQ FT (7,000 + 5,250 + 21,000 = 33,250)
ACTUAL BUILDING AREA:	8,900 SQ FT
BASIC ALLOWABLE BUILDING HEIGHT:	40 FEET
SPRINKLER INCREASE:	20 FEET (per SECTION 504.2)
TOTAL ALLOWABLE BUILDING HEIGHT:	60 FEET (40 + 20 = 60)
ACTUAL BUIDING HEIGHT:	44 FEET
COMMON PATH OF TRAVEL:	
B & S-1 OCCUPANCY:	100 FEET ALLOWED W/ SPRINKLER SYSTEM (per TABLE 1014.3)
R-2 OCCUPANCY:	125 FEET ALLOWED W/ SPRINKLER SYSTEM (per TABLE 1014.3)
EXIT ACCESS TRAVEL DISTANCE:	
B OCCUPANCY:	300 FEET ALLOWED W/ SPRINKLER SYSTEM (per TABLE 1016.2)
R-2 & S-1 OCCUPANCY:	250 FEET ALLOWED W/ SPRINKLER SYSTEM (per TABLE 1016.2)
MINIMUM CORRIDOR WIDTH:	44 INCHES (per TABLE 1018.2)
DEAD END CORRIDOR DISTANCE:	50 FEET ALLOWED W/ SPRINKLER SYSTEM (per SECTION 1018.4, EXCEPTION 2)
OCCUPANT LOAD:	94 (per TABLE 1004.1.2 - 9,400 / 100 = 94)
MINIMUM NO. of REQUIRED EXITS:	2
EXITS PROVIDED:	6
EGRESS WIDTH:	
MINIMUM REQUIRED:	94 * 0.2 = 18.8 inches
PROVIDED:	252 inches (36 * 7 = 252)
CORRIDOR WALL RATING:	0 (per TABLE 1018.1)

MIN. NO. of REQ'D PLUMBING FIXTURES:

		MIN REQ'D	PROVIDED
MALE WC	47 OCCUPANTS @ 1 PER 25 =	2	2
FEMALE WC	47 OCCUPANTS @ 1 PER 25 =	2	2
MALE LAV	47 OCCUPANTS @ 1 PER 40 =	2	2
FEMALE LAV	47 OCCUPANTS @ 1 PER 40 =	2	2
DRINKING FOUNTAIN	94 OCCUPANTS @ 1 PER 100 =	1	1
SERVICE SINK		1	5

CHAMBERLIN ARCHITECTS
ENHANCING EVERYDAY LIVING THROUGH DESIGN

CHAMBERLIN ARCHITECTS
437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

CODE CHECKLIST & LIFE SAFETY PLAN

NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A002**

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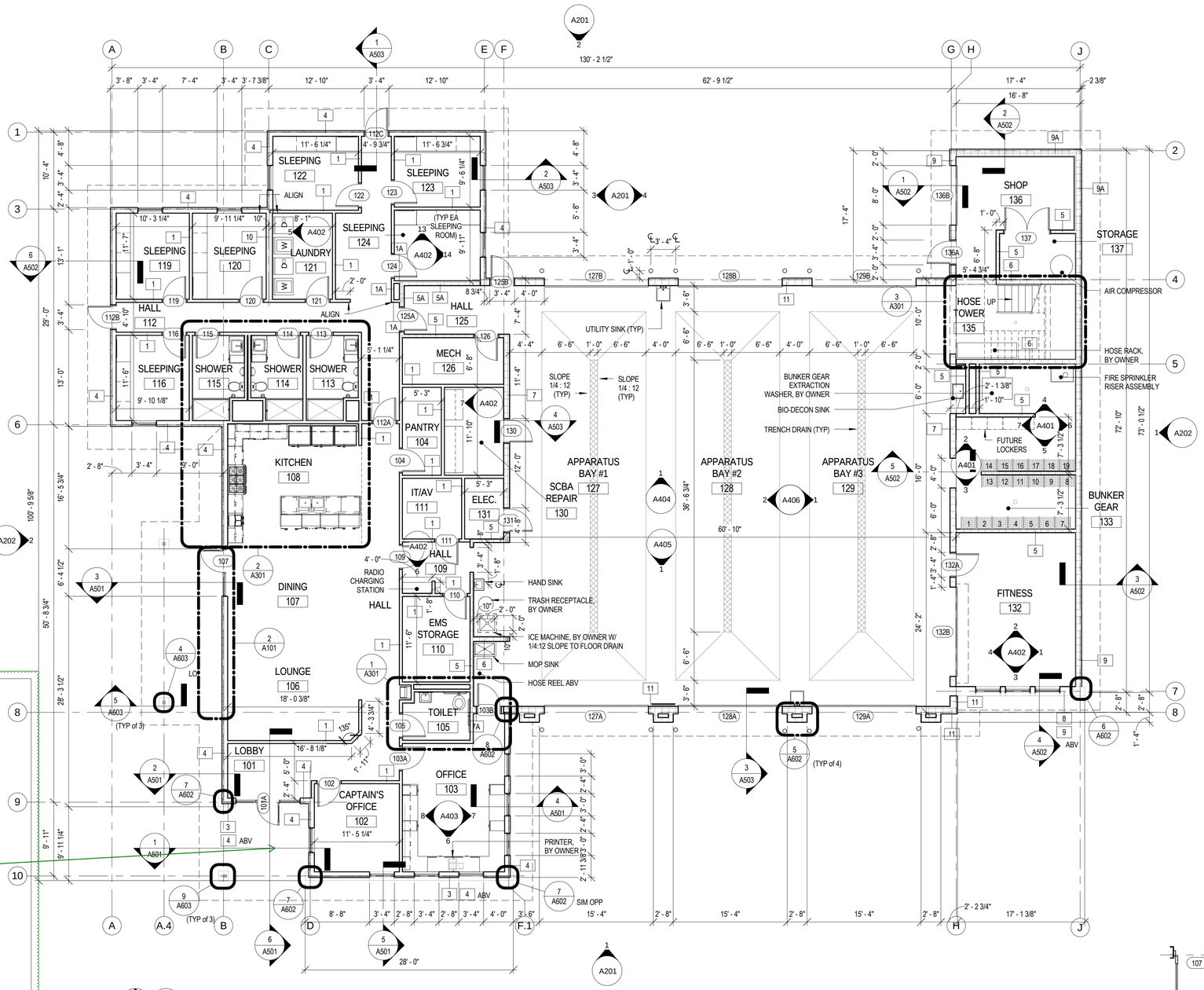
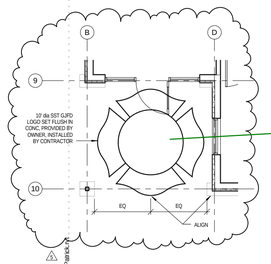
4/10/2015 11:58:07 AM

GENERAL NEW CONSTRUCTION NOTES

1. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
2. ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
3. PROVIDE TREATED SOLID WOOD BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS.
4. CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
5. PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
6. PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS MINIMUM OF1/8" : 12" . SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS, DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
7. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
8. DOOR JAMB LOCATION OFF FACE OF WALL IS 4", TYPICAL, UNLESS NOTED OTHERWISE.



1 A101 FLOOR PLAN



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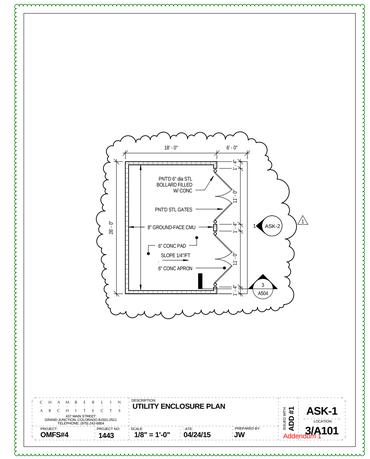
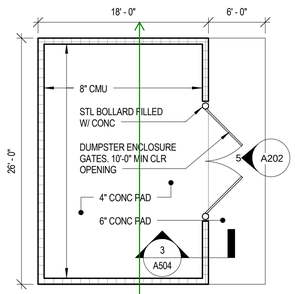
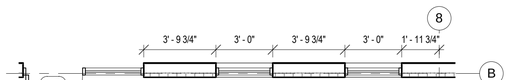
CHAMBERLIN ARCHITECTS	DESCRIPTION: ENLARGED PLAN - GJFD LOGO				ASK-6
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 1/4" = 1'-0"	DATE: 7/20/15	PREPARED BY: JW	LOCATION: A101



CHAMBERLIN ARCHITECTS	DESCRIPTION: UTILITY ENCLOSURE PLAN				ASK-1
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 1/8" = 1'-0"	DATE: 04/24/15	PREPARED BY: JW	3/A101



3 A101 DUMPSTER ENCLOSURE FLOOR PLAN



2 A101 HIGH WINDOWS PLAN DETAIL

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FLOOR PLAN

NO:	ISSUED FOR:	DATE:
1	ADD #1	3/A101

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A101**

4/10/2015 11:58:42 AM

LEGEND

GYP BD, PAINT	6" X 4' RECESSED LINEAR FLUORESCENT WALL WASH, RE: ELEC	PENDANT, RE: ELEC	SUPPLY AIR GRILLE, RE: MECH	NOTE: CENTER LIGHT FIXTURES IN SPACE AS SHOWN ON REFLECTED CEILING PLANS WHEN LIGHT FIXTURES ARE NOT DIMENSIONED. (TYP)			
2X4 ACOUSTICAL PANEL CEILING. BALANCE TILE AND GRID AT EDGES IN ROOMS, UNO.	SUSPENDED LINEAR STRIP LIGHT, RE: ELEC	DOWNLIGHT, RE: ELEC	EXHAUST FAN, RE: MECH				
2X2 ACOUSTICAL PANEL CEILING. BALANCE TILE AND GRID AT EDGES IN ROOMS, UNO.	UNDERCABINET LIGHT RE: ELEC	WALL SCONCE, RE: ELEC	RETURN AIR GRILLE, RE: MECH		P	CEILING MOUNTED PROJECTOR	
	2'X4' RECESSED LIGHT, RE: ELEC	2'X2' RECESSED LIGHT, RE: ELEC	EXIT SIGN, RE: ELEC		S	CEILING MOUNTED SPEAKER	

RFI #: 041 — **Date Created: 10/13/2015**

Answer Company	Answered By	Author Company	Authored By
City of Grand Junction 250 North 5th Street Grand Junction, CO 81501	Lee Cooper	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Adam Shuler

Co-Respondent	Author RFI Number

Subject	Discipline	Category
10-7-15 IT Walk	Special Systems/Electrical	Information

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Craig Reid	1	
	Canyon Electric	Steve Bergman	1	
	Hunter Drywall	Kevin Hunter	1	
	Grand Mesa Mechanical, Inc.	Greg Martin	1	

Question — **Date Required: 10/20/2015**

Just to confirm from our IT walk yesterday and call this morning. We need to proceed with
1) make the IT room ceiling a hard lid vs. a grid ceiling
2) confirm we can still use the AC unit with some possible modifications for mounting in the IT room
3) mount the light fixture in the IT room on the East wall vs. ceiling
4) move the domestic water lines to the south side of the IT room with the isolation valves by the door
5) proceed with the added electrical work for the lounge TV
6) add a 4" and 1" conduit for IT to cross the entry hall hard lid where the cable tray won't work.

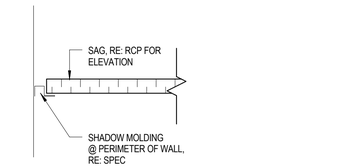
Suggestion

Answer — **Date Answered: 10/13/2015**

Items 1 - 6 sound correct to me.

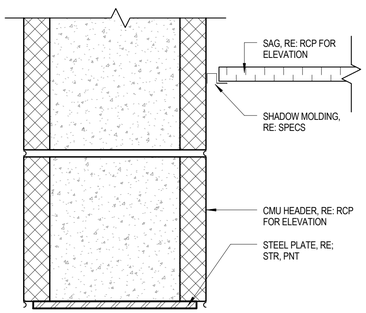
Thanks,
Lee

Lee Cooper, P.E.

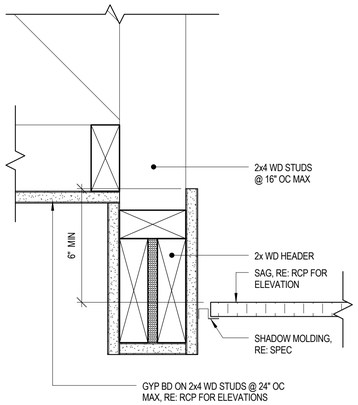


4 A121 SAG CLG EDGE DETAIL — 0' 3" 6"

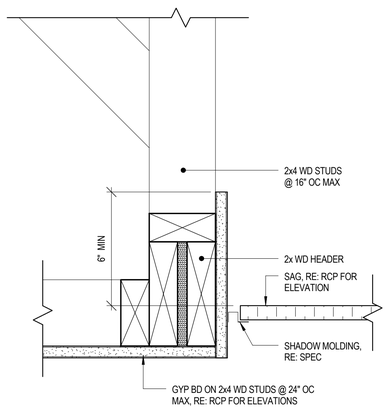
NOTE: TYPICAL DETAIL WHERE SAG CEILING MEETS A VERTICAL SURFACE.



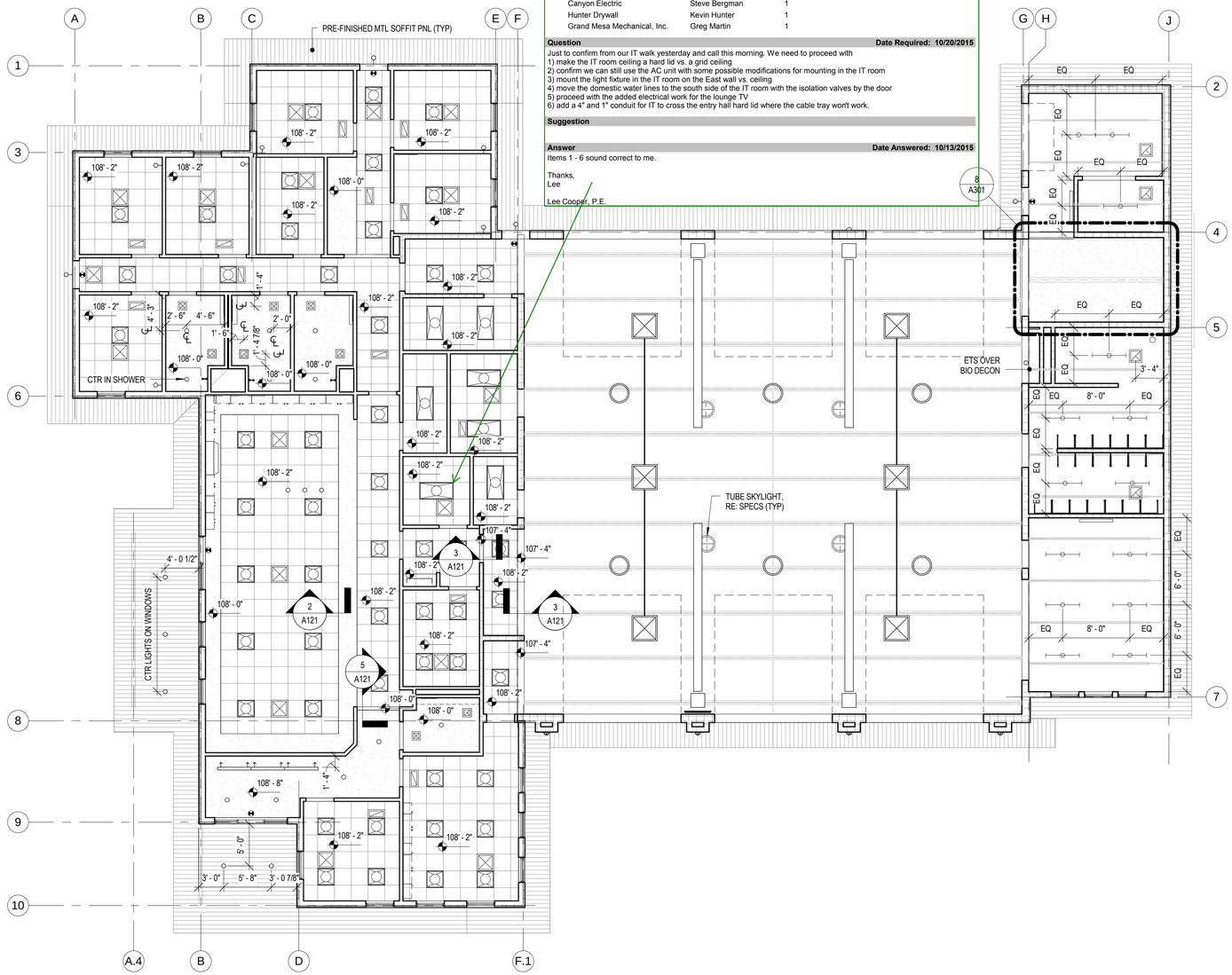
3 A121 SAG CLG @ CMU SOFFIT — 0' 3" 6"



5 A121 GYP BOARD DROP SOFFIT AT SAG CLG — 0' 3" 6"



2 A121 GYP BOARD SOFFIT AT SAG CLG — 0' 3" 6"



1 A121 REFLECTED CEILING PLAN — 0' 4' 8"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

REFLECTED CEILING PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW — CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A121**

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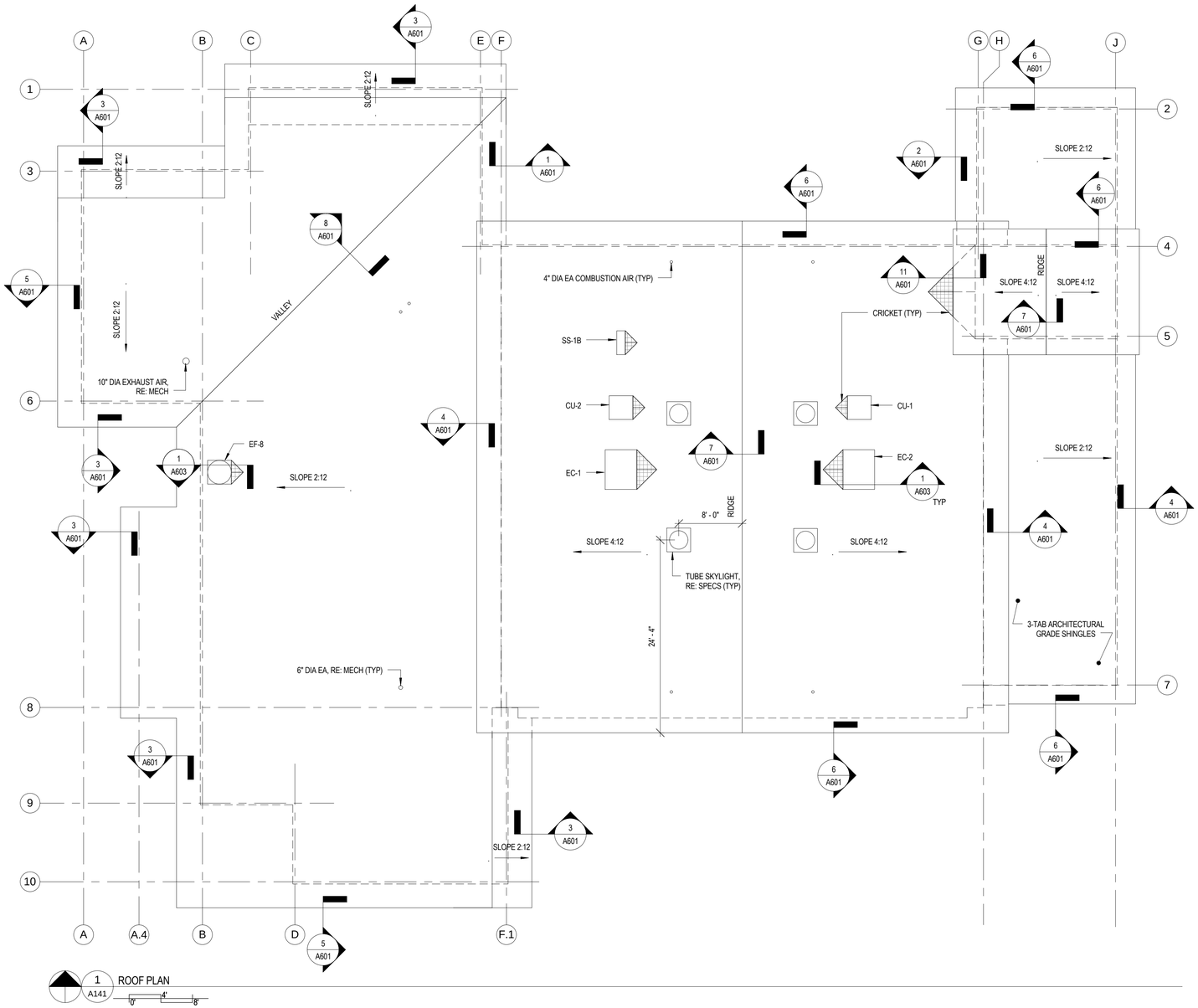
4/10/2015 11:50:43 AM



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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

ROOF PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO: **A141**

PROJECT NO: **1443**

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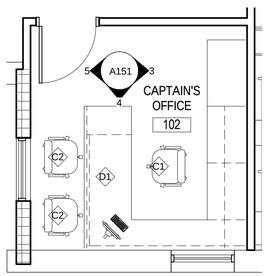
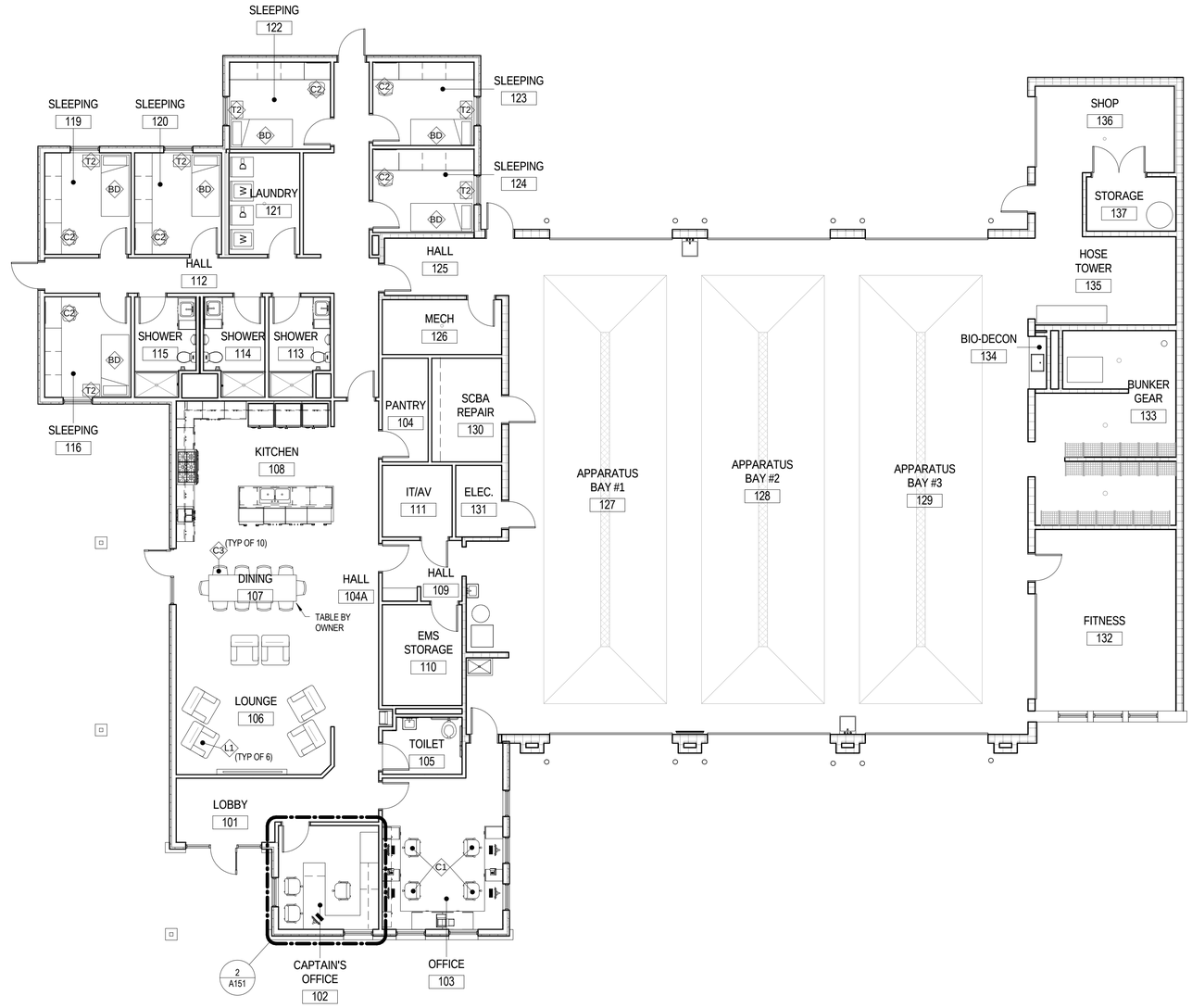
FURNITURE SCHEDULE					
ITEM	TAG	MANUFACTURER	MODEL NUMBER	DESCRIPTION	COLORS
1	BD			BED	
3	C1			OFFICE TASK CHAIR	
4	C2			OFFICE DESK CHAIR	
5	C3			DINING CHAIR	
6	D1			DESK SYSTEM	
7	L1			RECLINER	
9	T2			NIGHT STAND	

NOTE: FFE SHOWN FOR COORDINATION ONLY. ALL FFE BY OTHERS.

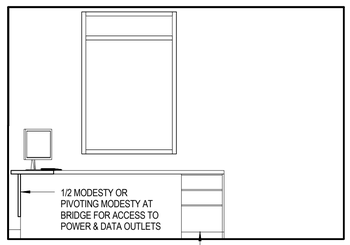


NOTE: LOCATE 2 GROMMETS IN THE FIELD WITH THE OWNER FOR WIRE MANAGEMENT. PROVIDE WIRE MANAGEMENT TRAYS UNDER THE WORKSURFACE FROM THE GROMMET TO THE ELECTRIC AND DATA WALL OUTLETS FOR WIRE MANAGEMENT.

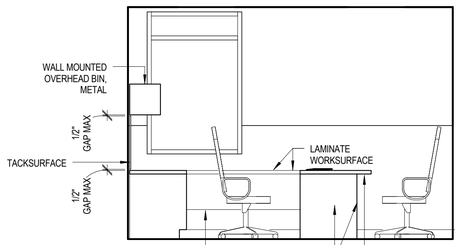
2 A151 ENLARGED DESK D1



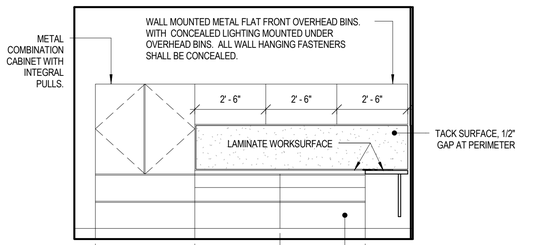
1 A151 FURNITURE PLAN



5 A151 DESK D1 WEST ELEVATION



4 A151 DESK D1 SOUTH ELEVATION



3 A151 DESK D1 EAST ELEVATION

FFE LEGEND

- NEW FURNITURE
- XX — NEW FURNITURE TAG, RE: FURNITURE PRODUCT BINDER OR FURNITURE SCHEDULE FOR SPECIFICATIONS
- Room 101 — ROOM NAME, ROOM NUMBER
- 1 / 4 A101 2 / 3 — INTERIOR WALL ELEVATION REFERENCE DRAWING

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FURNITURE, FIXTURES, AND EQUIPMENT

FOR REFERENCE ONLY

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PROJECT STATUS: 100% CDs

DRAWN BY: css CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO: A151

PROJECT NO: 1443

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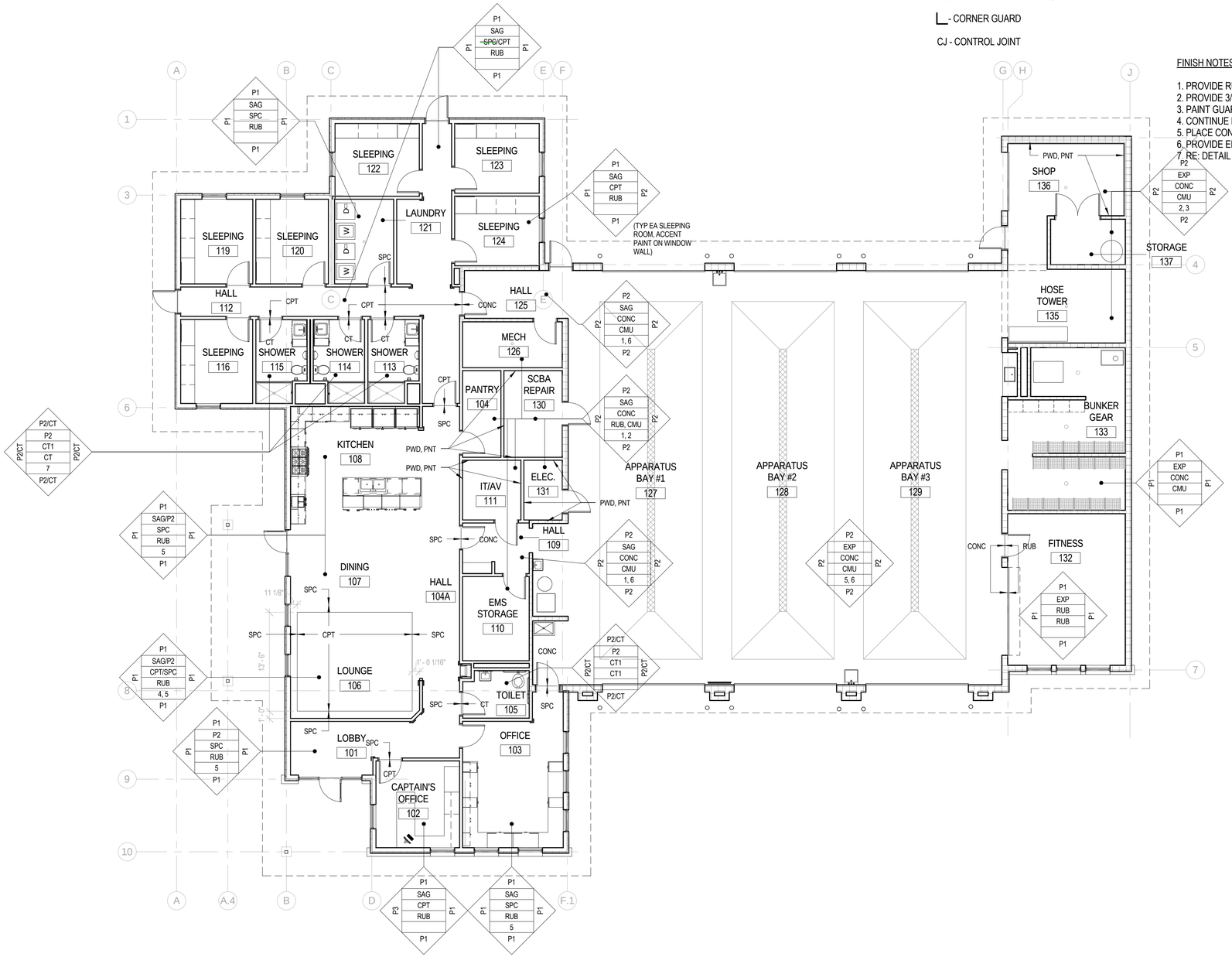
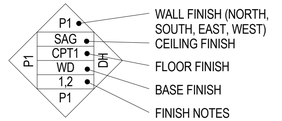


1 A161 FINISH PLAN

0' 4' 8'



NOTES:

COLORS, RE: INTERIOR COLOR SCHEDULE A741

PATTERN AT WALLS, RE: INTERIOR ELEVATIONS A401-A406

PATTERN AT CEILINGS, RE: REFLECTED CEILING PLAN A121

FLOOR FINISH TRANSITIONS, RE: A701

└ - CORNER GUARD

CJ - CONTROL JOINT

WALL FINISHES

P# - CMU OR GYPSUM WALLBOARD W/ PAINT

CMU - SEALED CONCRETE MASONRY UNIT

CT# - CERAMIC TILE

CEILNG FINISH

SAG - SUSPENDED ACOUSTICAL PANEL CEILING.

P# - GYPSUM WALLBOARD WITH PAINT.

EXP - EXPOSED TO STRUCTURE.

FLOOR FINISHES

SPC - STAINED & POLISHED CONCRETE

CONC - SEALED CONCRETE

CT# - CERAMIC TILE.

CPT - CARPET TILE.

RUB - RUBBER, RESILIENT ATHLETIC FLOORING. FURNISHED AND INSTALLED BY OWNER.

BASE FINISHES

CT# - CERAMIC TILE.

RUB - RUBBER BASE.

CMU - CONCRETE MASONRY UNIT.

FINISH NOTES

1. PROVIDE RUB BASE AT GWB.
2. PROVIDE 3/4" PLYWOOD ON INDICATED WALLS FOR MOUNTING EQUIPMENT, PNT P2.
3. PAINT GUARDRAIL AND HANDRAIL P4.
4. CONTINUE POLISHED CONCRETE UNDER CPT IN LIVING AREA (TYP).
5. PLACE CONTROL JOINTS IN CONC ALONG GRIDLINES, UNO.
6. PROVIDE EPOXY PAINT TO 8' - 0" AFF.
7. RE: DETAIL 8/A402 FOR TYPICAL TILE WAINSCOT PATTERN.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR FINISH PLAN

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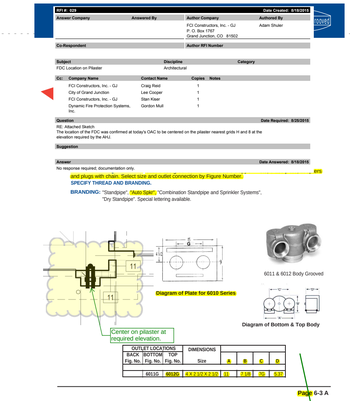
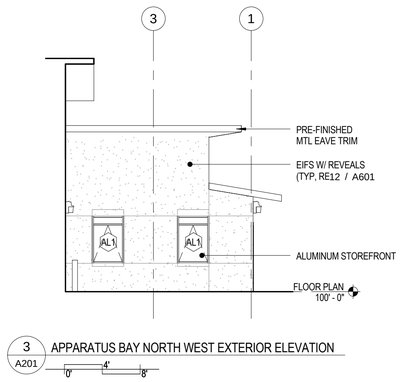
PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO: A161

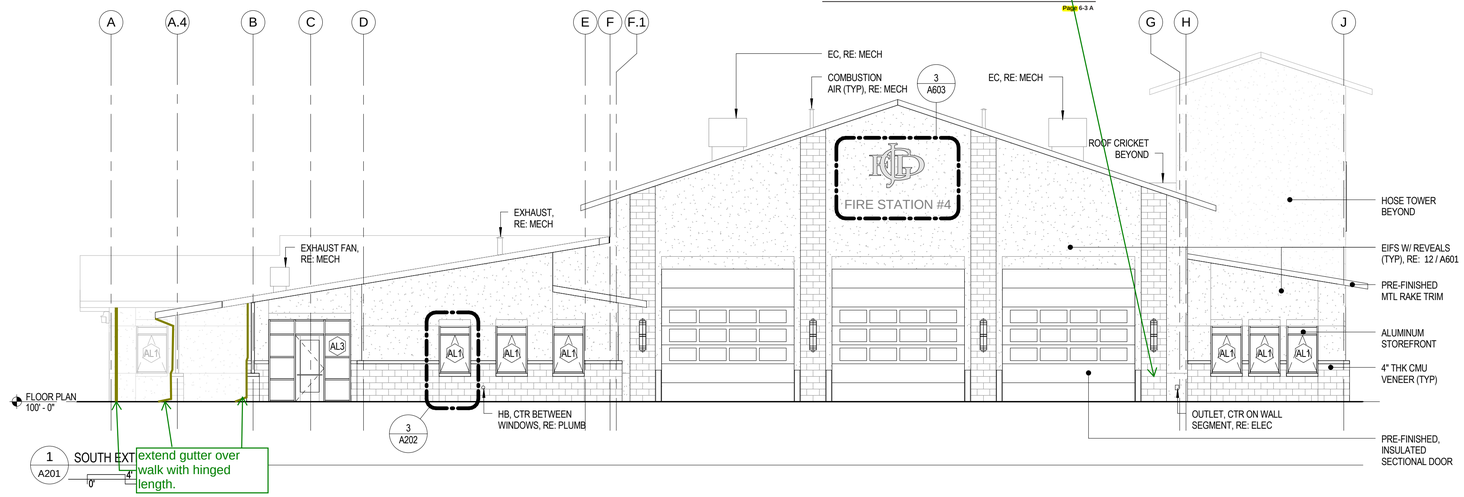
PROJECT NO: 1443





3 A201 APPARATUS BAY NORTH WEST EXTERIOR ELEVATION

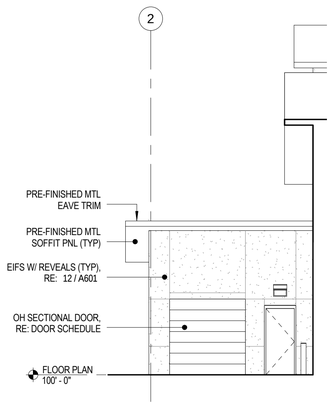
0' 4' 8'



1 A201 SOUTH EXT

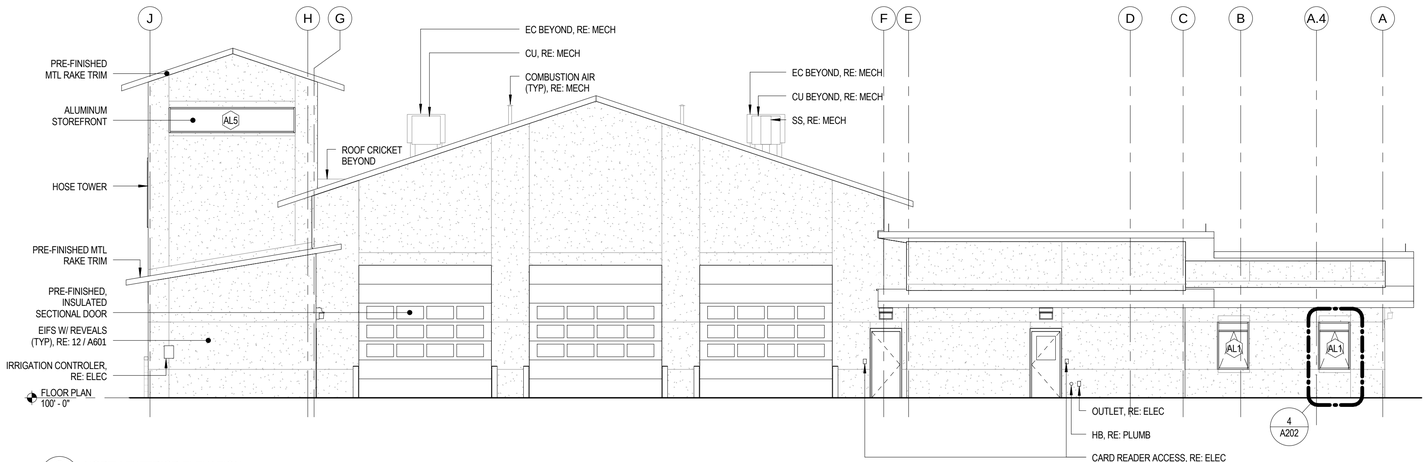
0' 4' 8'

extend gutter over walk with hinged length.



4 A201 APPARATUS BAY NORTH EAST EXTERIOR ELEVATION

0' 4' 8'



2 A201 NORTH EXTERIOR ELEVATION

0' 4' 8'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

EXTERIOR ELEVATIONS

NO:	ISSUED FOR:	DATE:

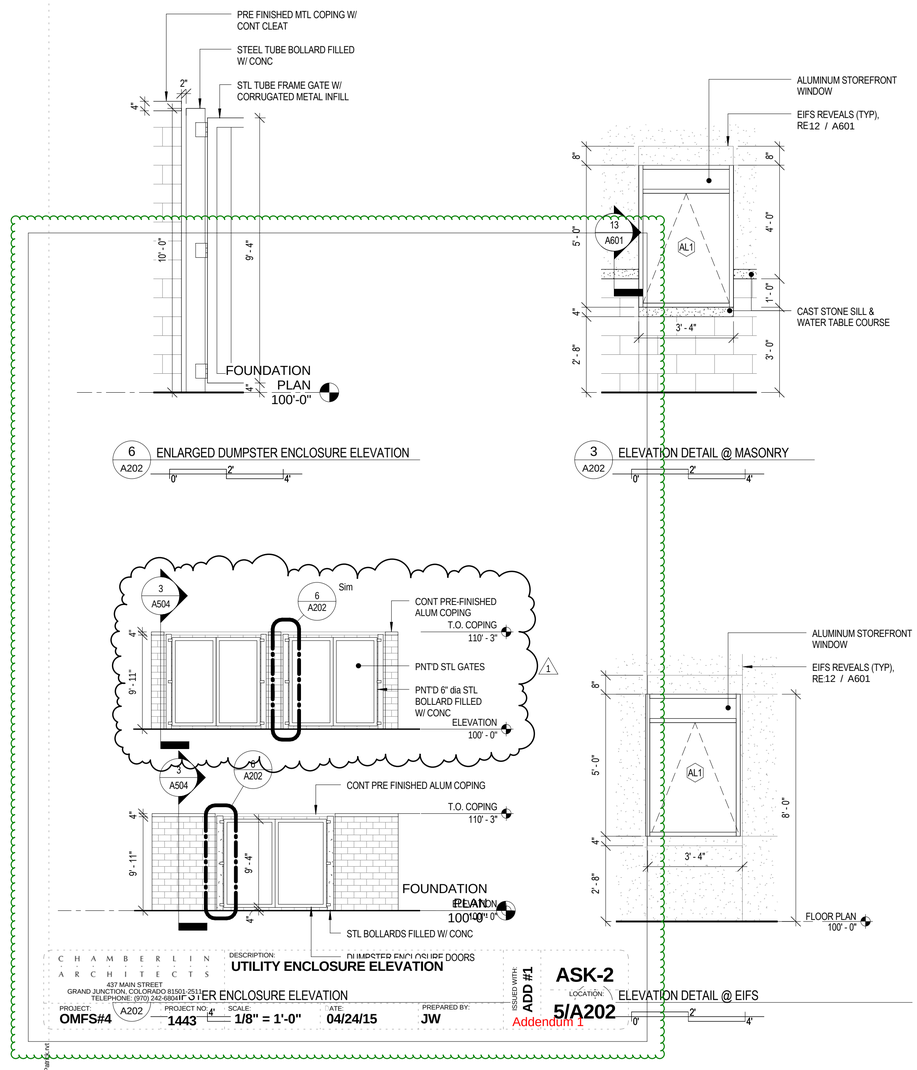
PROJECT STATUS: 100% CDs

DRAWN BY: Aaron CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **A201**

4/10/2015 11:58:59 AM



6 A202 ENLARGED DUMPSTER ENCLOSURE ELEVATION

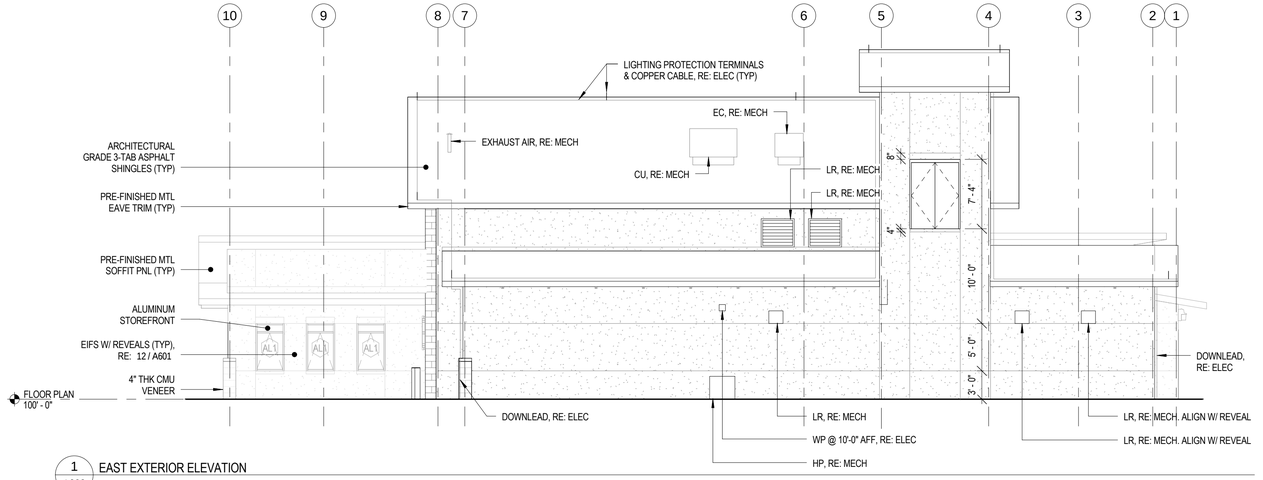
0' 2' 4'

3 A202 ELEVATION DETAIL @ MASONRY

0' 2' 4'

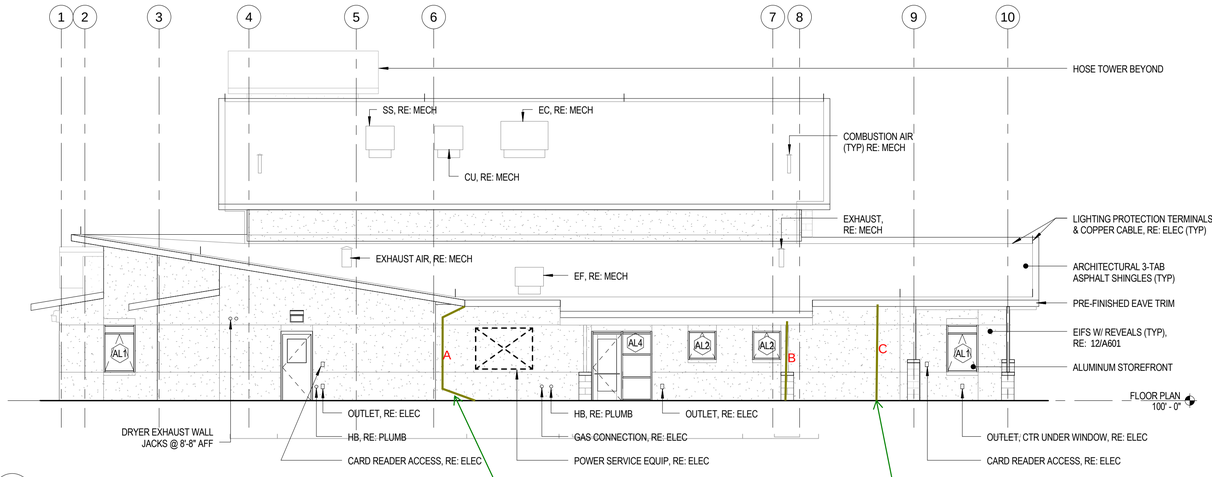
3 A202 ELEVATION DETAIL @ EIFS

0' 2' 4'



1 A202 EAST EXTERIOR ELEVATION

0' 4' 8'



2 A202 WEST EXTERIOR ELEVATION

0' 4' 8'

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GRAND JUNCTION, COLORADO 81501-2517
TELEPHONE: (970) 242-6804

DESCRIPTION: **UTILITY ENCLOSURE ELEVATION**

PROJECT: **OMFS#4** | PROJECT NO: **1443** | SCALE: **1/8" = 1'-0"** | DATE: **04/24/15** | PREPARED BY: **JW**

ISSUED WITH: **ADD #1** Addendum 1

LOCATION: **ASK-2 5/A202**

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

EXTERIOR ELEVATIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A202**

4/10/2015 11:50:04 AM

Subject	Discipline	Category
Door 135 Installation	Architectural	Owner Request and/or Owner Furnishing

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Craig Reid	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	City of Grand Junction	Lee Cooper	1	

Question — **Date Required: 9/1/2015**

Per OAC discussions Door 135 is to be installed to swing into the stairwell. It is to be centered on the wall it is installed in and the frame should be installed so the doors can swing 180 degrees. Are any hardware changes required at this opening?

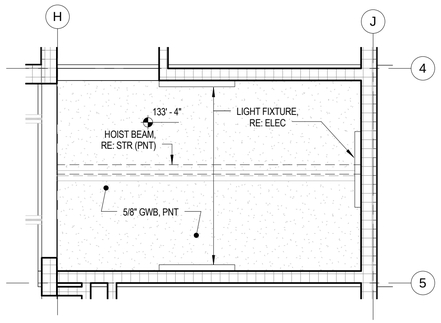
Suggestion

RFI 034

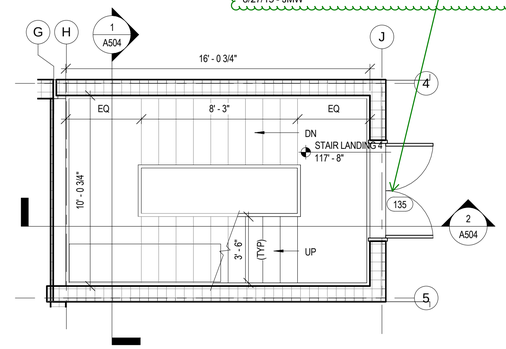
Answer — **Date Answered: 8/27/2015**

No hardware changes necessary.

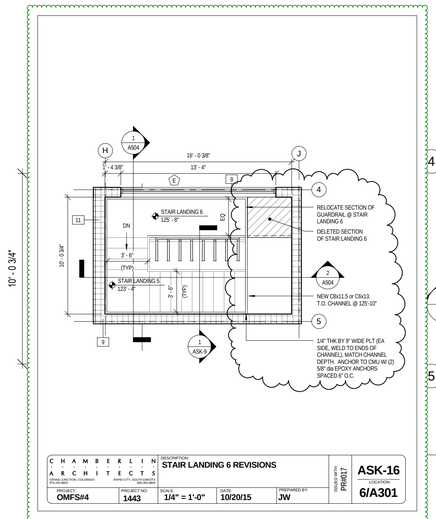
8/27/15 - JMW



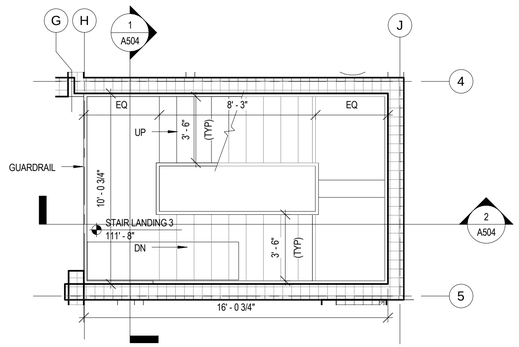
8 A301 ENLARGED HOSE TOWER RCP



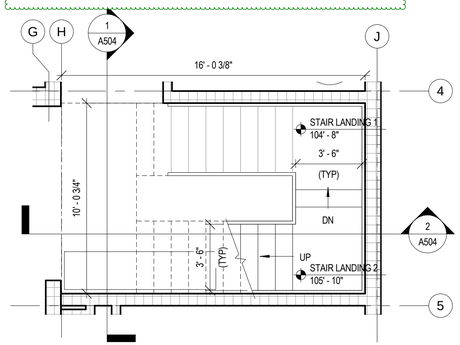
7 A301 ENLARGED 4TH STAIR LANDING



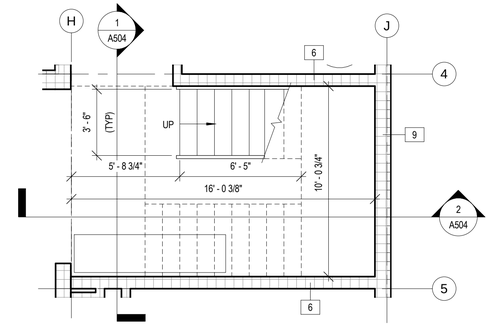
CHAMBERLIN ARCHITECTS	DESCRIPTION: STAIR LANDING 6 REVISIONS			ISSUED WITH: PR#017	ASK-16
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 1/4" = 1'-0"	DATE: 10/20/15	PREPARED BY: JW	LOCATION: 6/A301



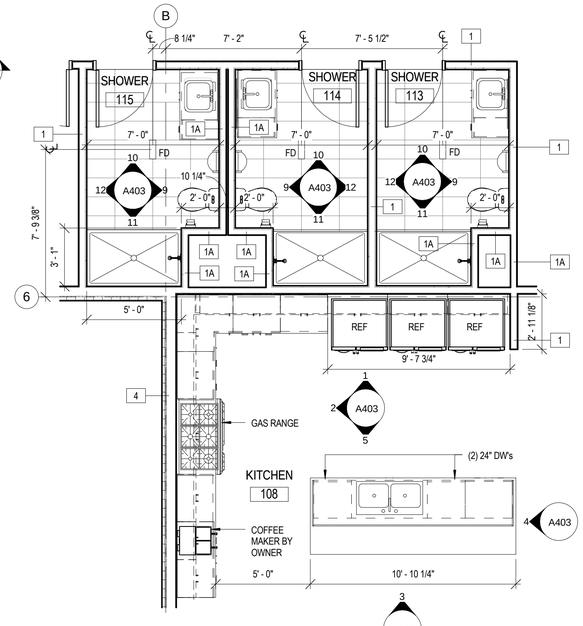
5 A301 ENLARGED 3RD STAIR LANDING



4 A301 ENLARGED 2ND STAIR LANDING

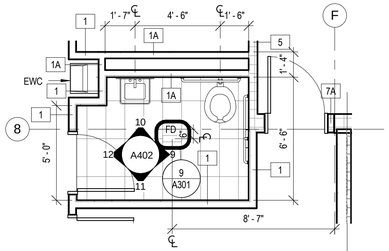


3 A301 ENLARGED 1ST FLOOR STAIR PLAN

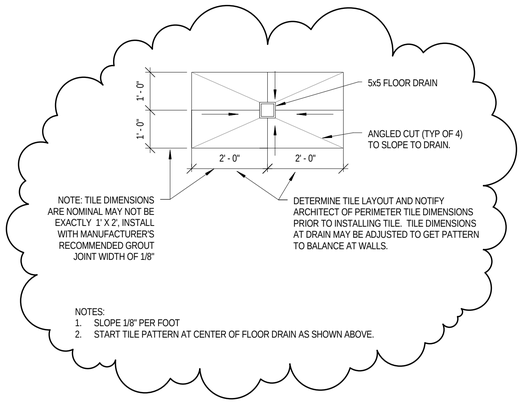


2 A301 ENLARGED FLOOR PLAN - KITCHEN 108

NOTE: RE 9/A301 FOR DETAIL at FLOOR DRAINS.



1 A301 ENLARGED FLOOR PLAN - TOILET 105



CHAMBERLIN ARCHITECTS	DESCRIPTION: REVISED FLOOR DRAIN SKETCH				ISSUED WITH: ASI#005	9
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 1/2" = 1'-0"	DATE: 8/4/15	PREPARED BY: CSS		LOCATION: A301

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

ENLARGED FLOOR PLANS

NO:	ISSUED FOR:	DATE:

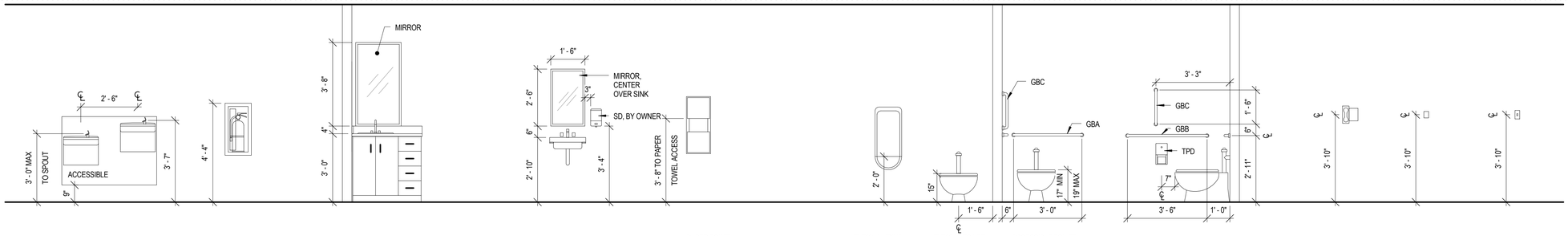
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

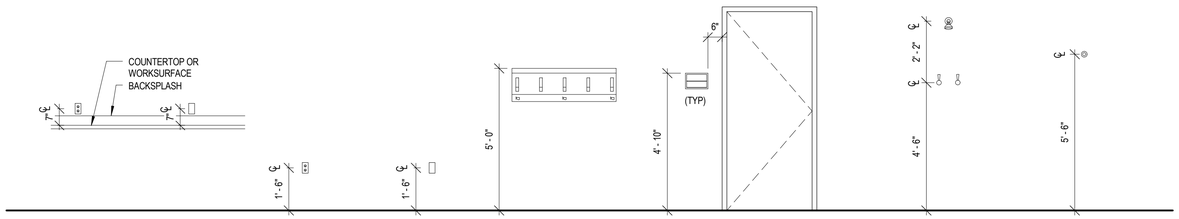
DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A301**

C:\REVIT PROJECTS\1443-CENTRAL-Patrick.rvt



ELECTRIC WATER COOLERS (EWC) | FIRE EXTINQUISHER CABINET (FEC) | LAVATORY COUNTER TOP | WALL MOUNTED LAVATORY | PAPER TOWEL DISPENSER/ WASTE RECEPTACLE (PTD/WR) BY OWNER | TYPICAL URINAL | TYPICAL TOILET | ACCESSIBLE TOILET | WALL MOUNTED TELEPHONE (T) | THERMOSTAT (TSTAT) | LIGHT SWICH

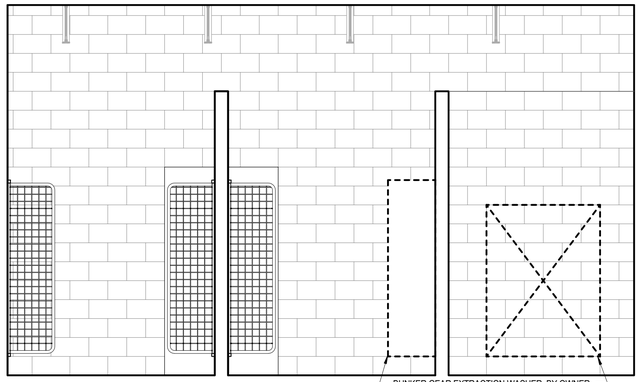


DUPLEX OUTLET AC | VOICE/ DATA OUTLET AC | DUPLEX OUTLET | VOICE/ DATA OUTLET | MOP SHELF | SIGNAGE | TYPICAL SHOWER CONTROLS | ROBE HOOK (RH)

1 A401 TYPICAL ELEVATION HEIGHTS

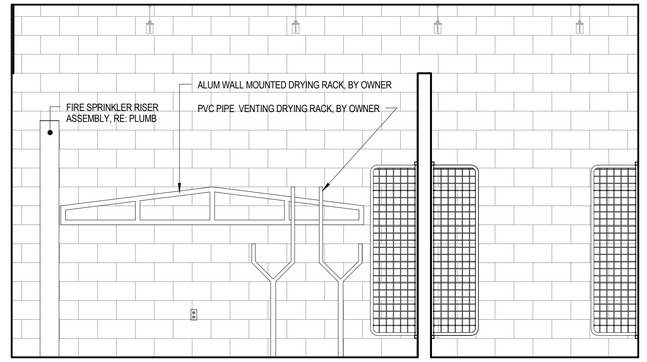
0' 2' 4'

NOTE: PROVIDE TREATED WD BLOCKING AT ALL WALL MOUNTED ACCESSORIES



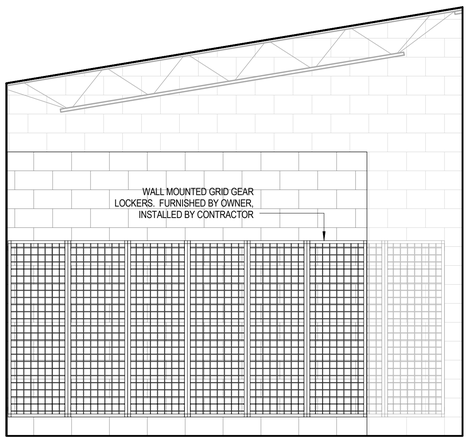
7 A401 BUNKER GEAR 133 WEST

0' 2' 4'



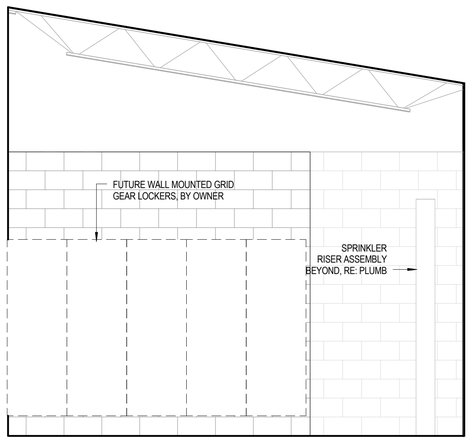
6 A401 BUNKER GEAR 133 EAST

0' 2' 4'



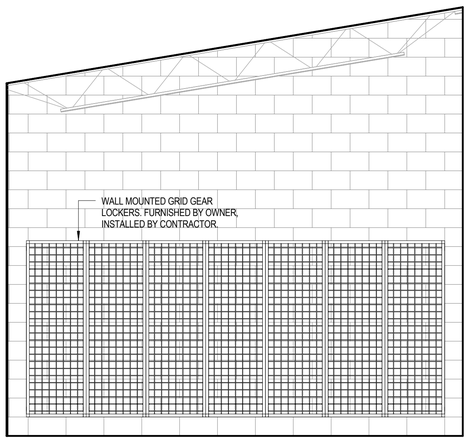
5 A401 BUNKER GEAR 133 CENTER LOCKERS SOUTH

0' 2' 4'



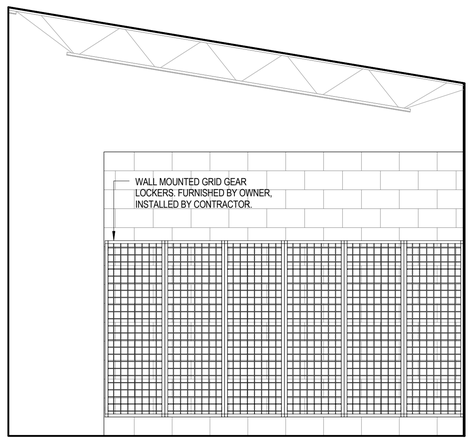
4 A401 BUNKER GEAR 133 NORTH

0' 2' 4'



3 A401 BUNKER GEAR 133 SOUTH

0' 2' 4'



2 A401 BUNKER GEAR 133 CENTER LOCKERS NORTH

0' 2' 4'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

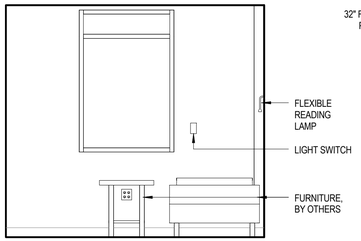
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

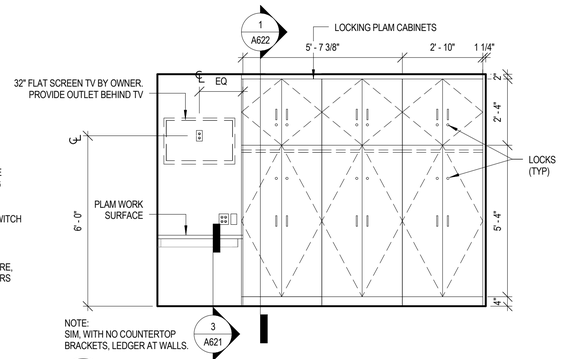
DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO: **A401**

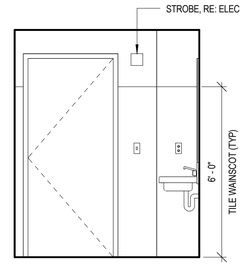
PROJECT NO: **1443**



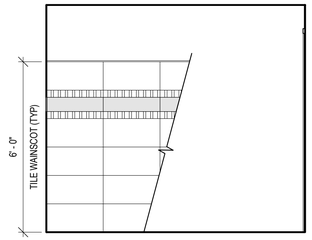
14 A402 TYPICAL SLEEPING UNIT WINDOW ELEVATION



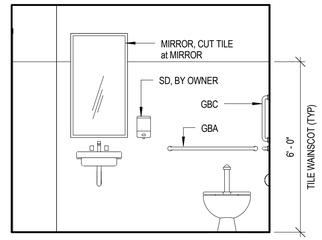
13 A402 TYPICAL SLEEPING CASEWORK



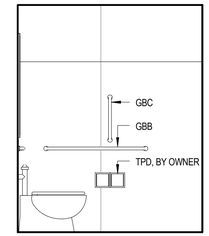
12 A402 TOILET 105 WEST



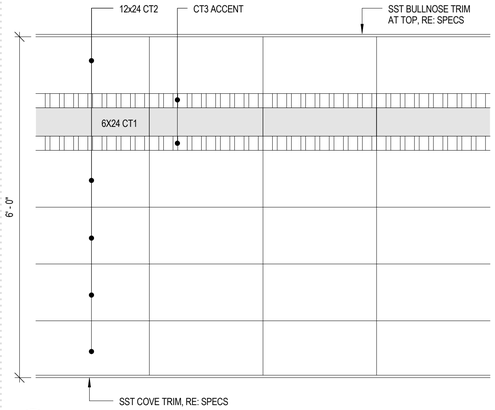
11 A402 TOILET 105 SOUTH



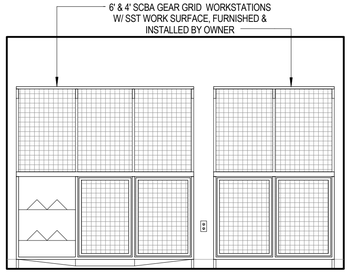
10 A402 TOILET 105 NORTH



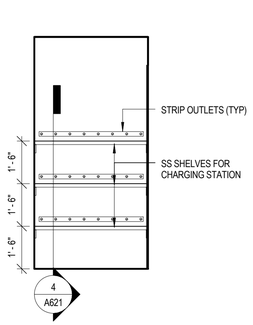
9 A402 TOILET 105 EAST



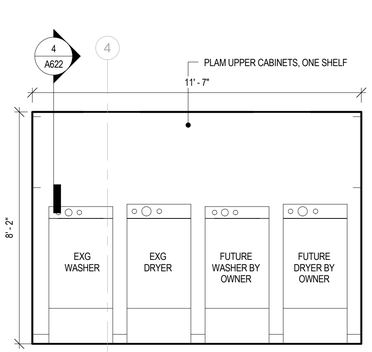
8 A402 TYPICAL TILE WAINSCOT PATTERN



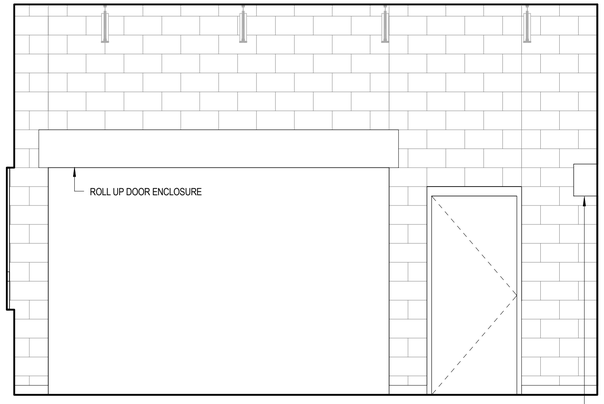
7 A402 SCBA REPAIR 130 WEST



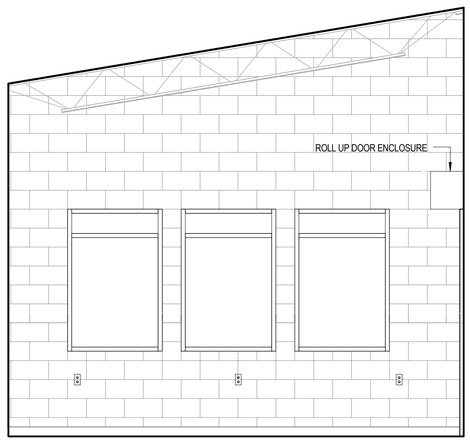
6 A402 HALL 109 SOUTH



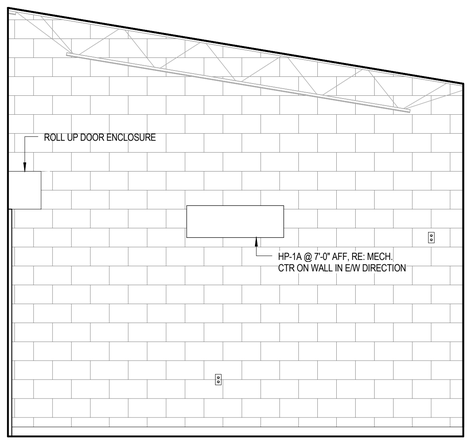
5 A402 LAUNDRY 121 WEST



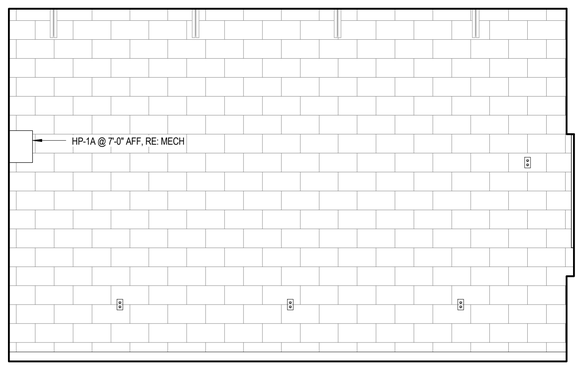
4 A402 FITNESS 132 WEST



3 A402 FITNESS 132 SOUTH



2 A402 FITNESS 132 NORTH



1 A402 FITNESS 132 EAST

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

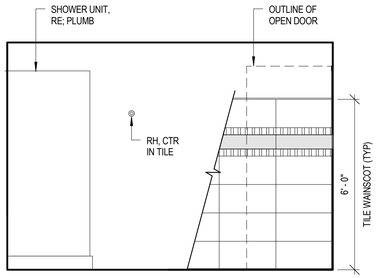
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

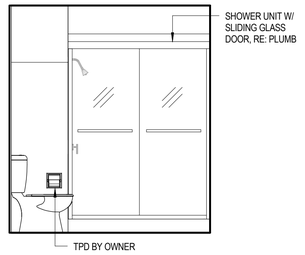
DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO: **A402**

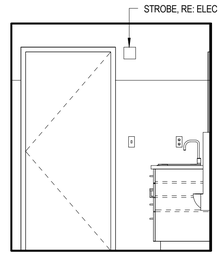
PROJECT NO: **1443**



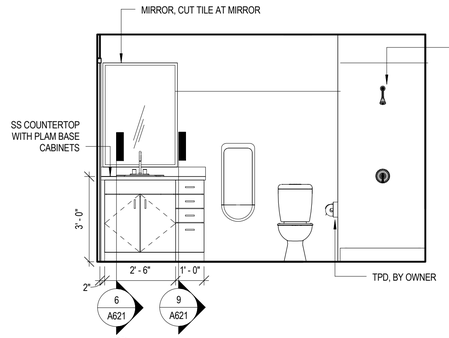
12 A403 SHOWER 113 & 115 WEST, 114 EAST OPH



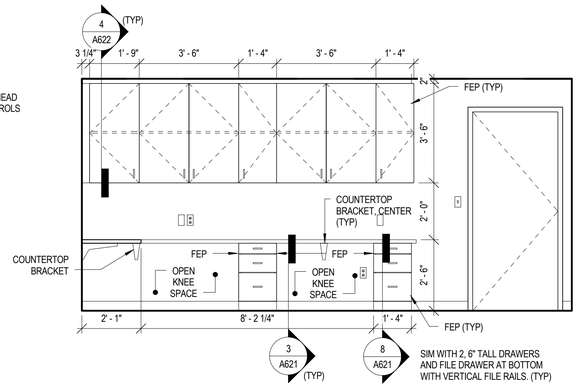
11 A403 SHOWER 113 & 115 SOUTH, 114 SOUTH OPH



10 A403 SHOWER 113 & 115 NORTH, 114 NORTH OPH



9 A403 SHOWER 113 & 115 EAST, 114 WEST OPH



8 A403 OFFICE 103 WEST

7 A403 OFFICE 103 EAST

6 A403 OFFFICE 103 SOUTH

5 A403 KITCHEN ISLAND SOUTH

4 A403 KITCHEN ISLAND WEST, EAST SIM OPH

3 A403 KITCHEN ISLAND NORTH

2 A403 KITCHEN 108 WEST

See PR 13, following page

1 A403 KITCHEN 108 NORTH

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

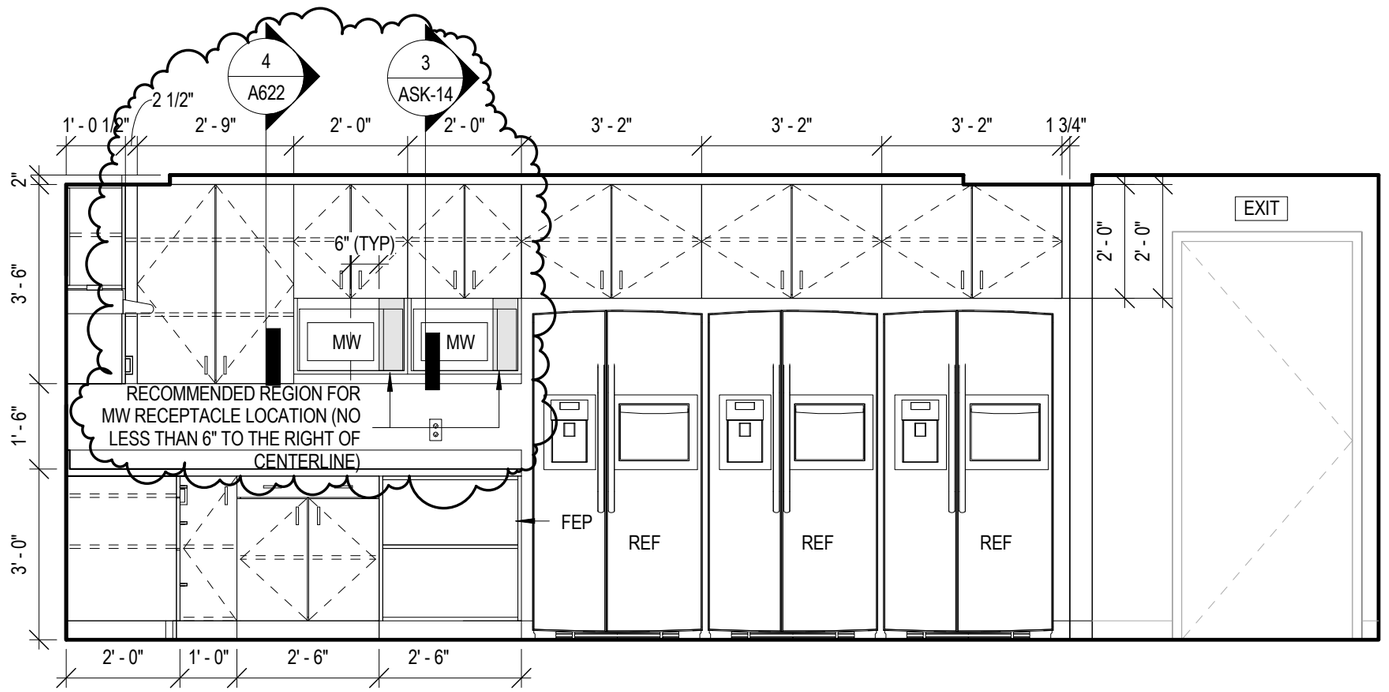
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

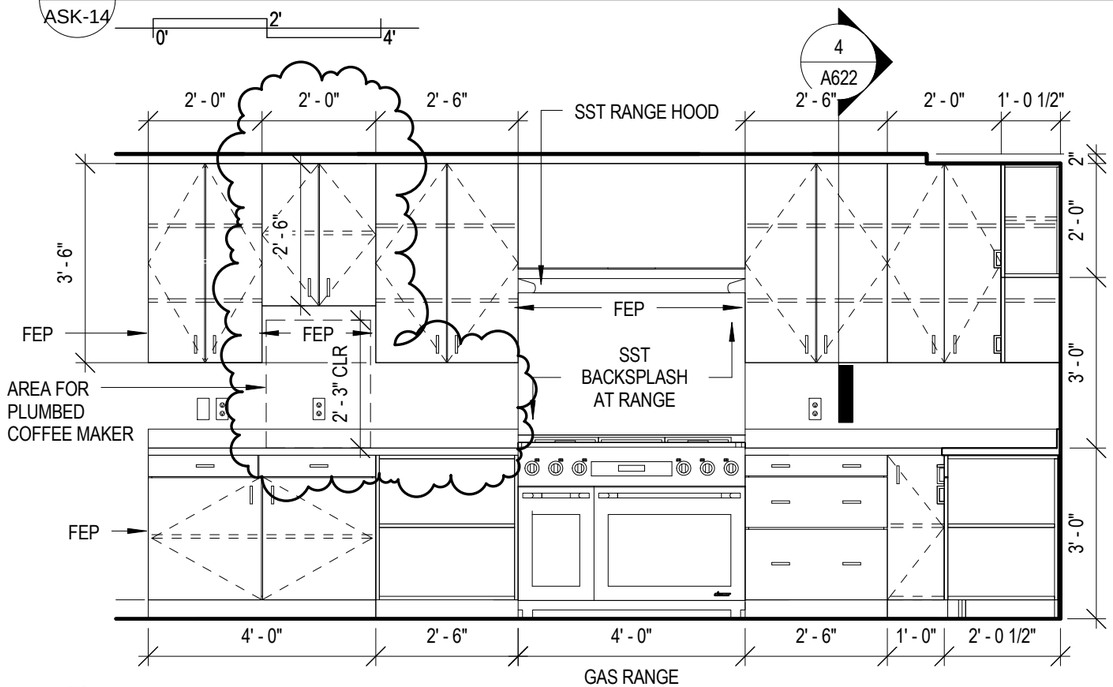
DATE: 04/10/2015 SHEET NO: A403

PROJECT NO: 1443



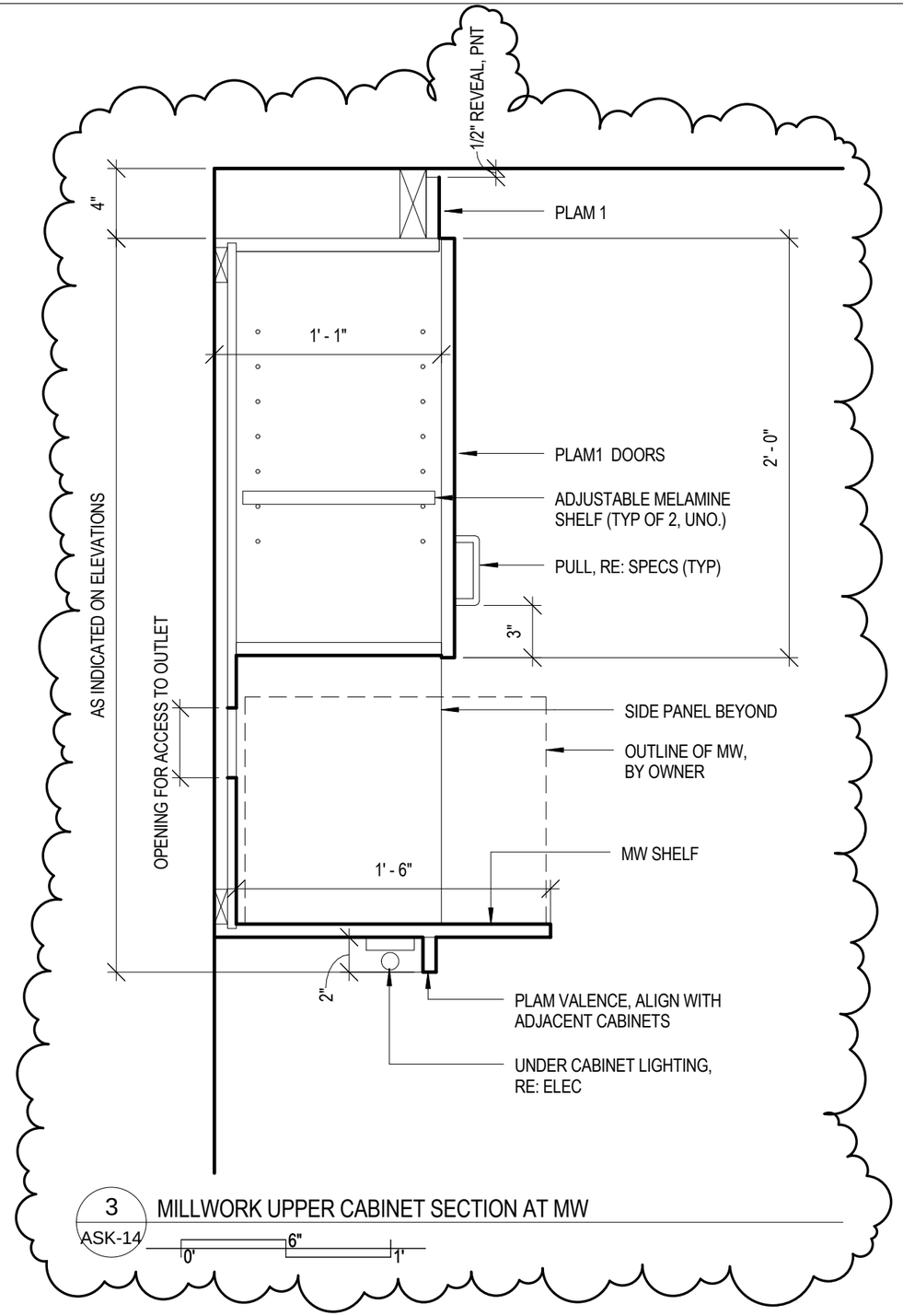
1 ASK-14 — ASK 14 KITCHEN 108 NORTH

0' 2' 4'



2 ASK-14 — ASK 14 KITCHEN 108 WEST

0' 2' 4'



3 ASK-14 — MILLWORK UPPER CABINET SECTION AT MW

0' 6" 1'

CHAMBERLIN ARCHITECTS

GRAND JUNCTION, COLORADO 970.242.6804

RAPID CITY, SOUTH DAKOTA 605.355.6804

DESCRIPTION: **PR #13 TO RELOCATE MICROWAVES AND ADJUST UPPER CABINET AT COFFEE MAKER**

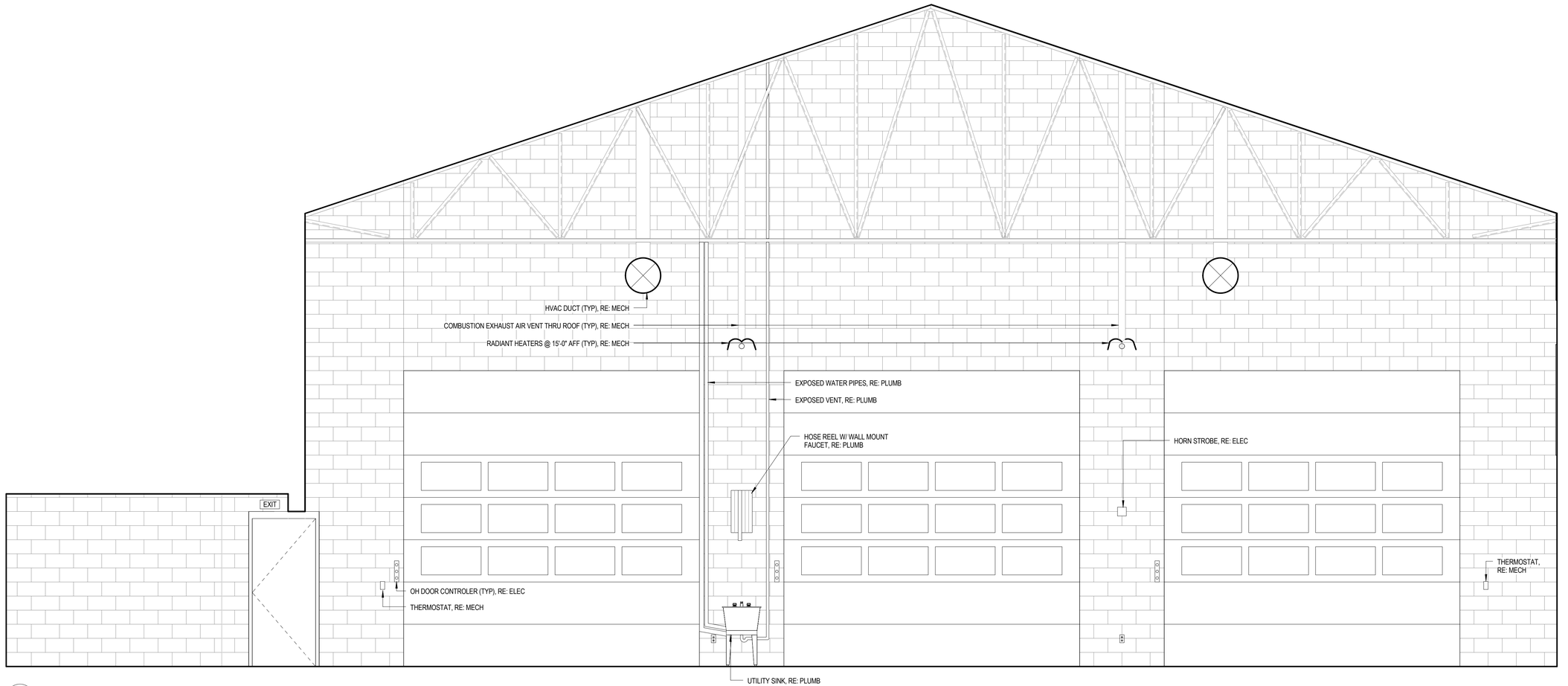
PROJECT:	PROJECT NO:	SCALE:	DATE:	PREPARED BY:
OMFS#4	1443	As indicated	9/15/15	CSS

ISSUED WITH: PR#0013

1&2

LOCATION: A403

4/10/2015 11:50:37 AM



1 / A404 APPARATUS BAY NORTH

0' 2' 4'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO: A404

PROJECT NO: 1443

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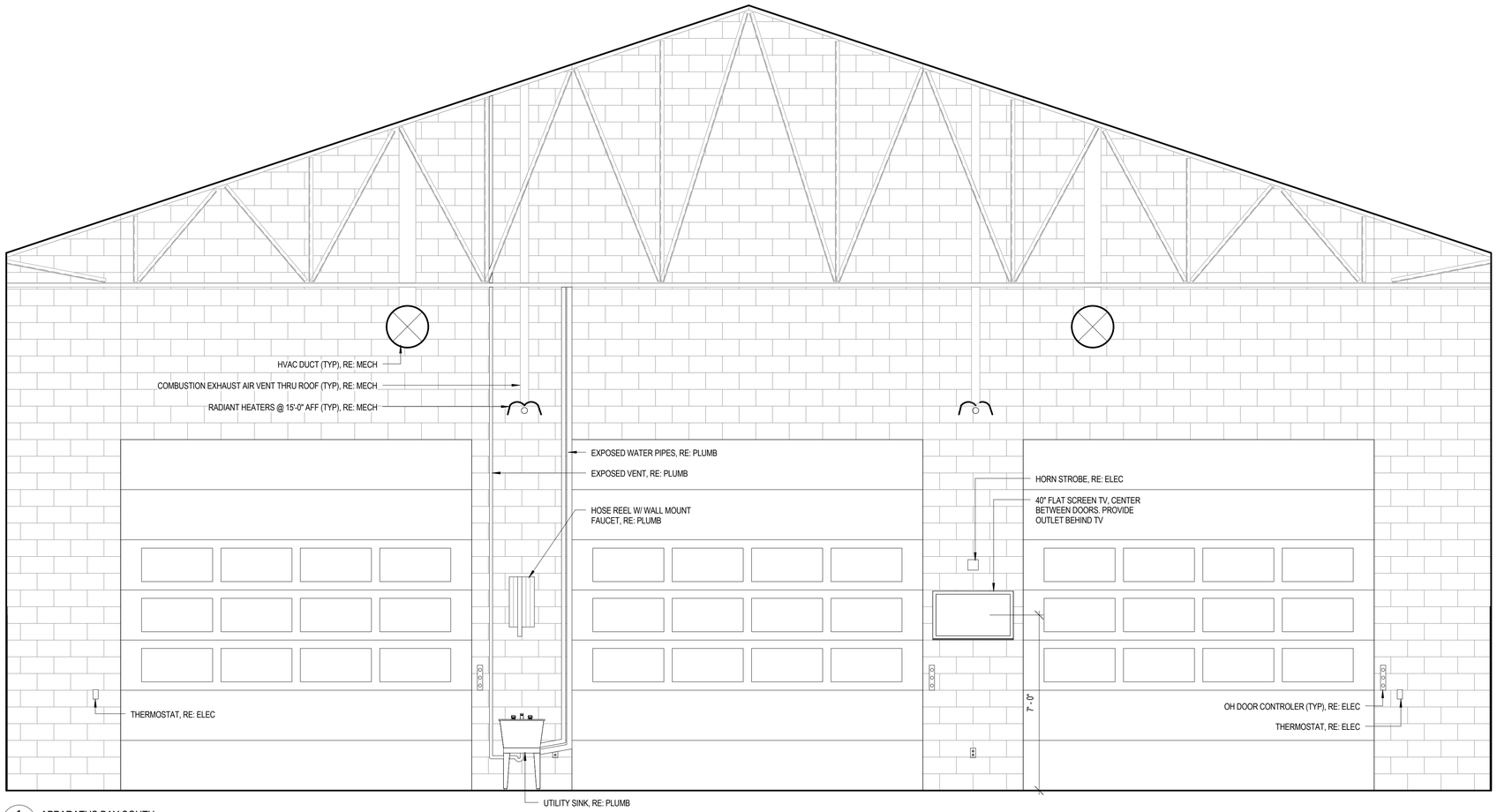
4/10/2015 11:50:46 AM



1 A405 APPARATUS BAY SOUTH

0' 2' 4'

C:\REVIT PROJECTS\1443-CENTRAL_Patrick.rvt

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T 970.242.6804

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO: **A405**

PROJECT NO: **1443**

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Seven (7)

ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501

ARCHITECT'S PROJECT NO: 1443

DATE OF ISSUANCE: August 28, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

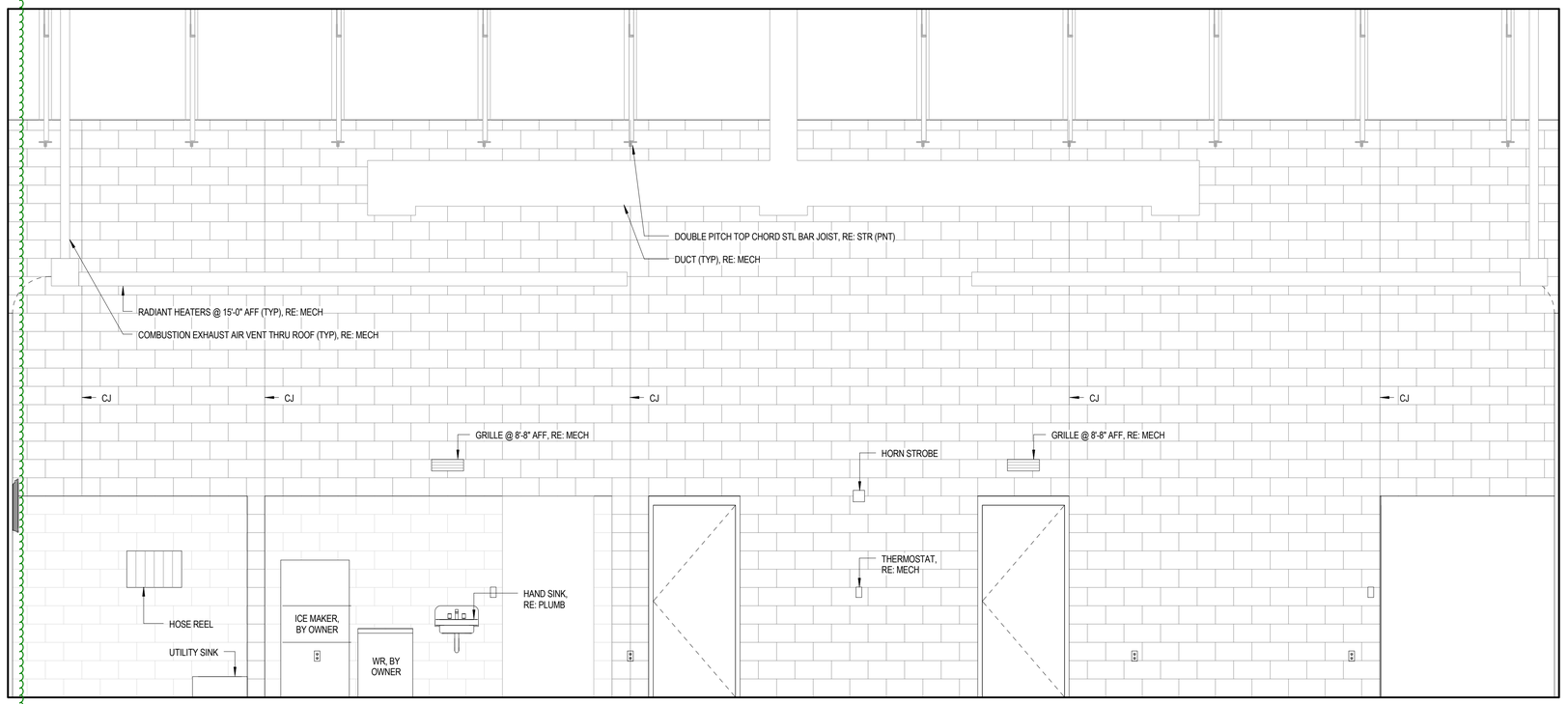
1. Per on-site meeting with architect, structural engineer, electrician & superintendent all electrical conduit runs (and associated boxes) at masonry shear wall locations to be surface mounted. Existing conduit (and box) on Grid Line F near corner of Mech 126 to be abandoned in place and filled with concrete. Existing conduit (and box) on Grid Line 8 (east of Door 103B) to remain. Alerting system boxes to be field modified for surface mounting. All exposed electrical conduits and boxes to be painted to match adjacent wall color.

Attachments: none

ARCHITECT: Chamberlin Architects, P.C.

BY: Jonathan West

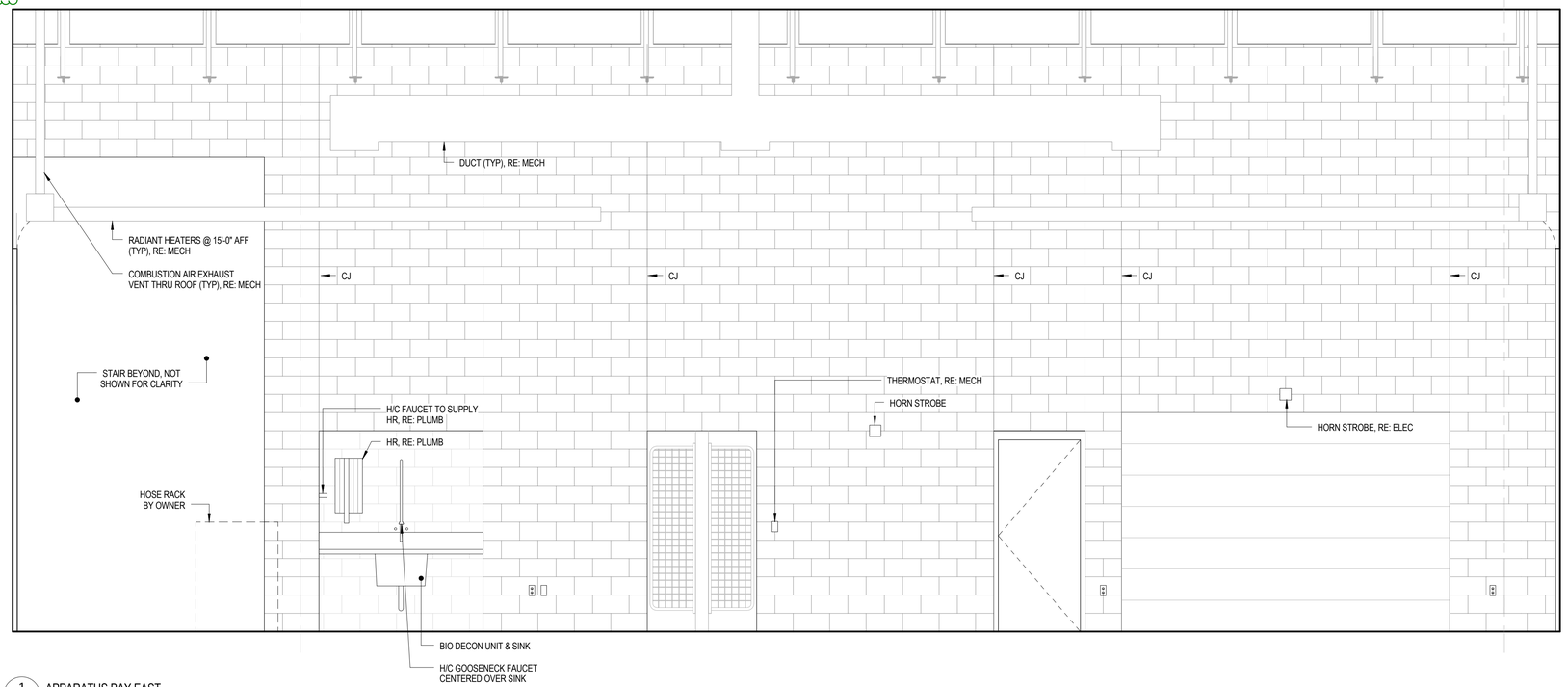
S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI#007.1443.doc



2 A406 APPARATUS BAY WEST

0' 2' 4'

5 7



1 A406 APPARATUS BAY EAST

0' 2' 4'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

INTERIOR ELEVATIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 A406

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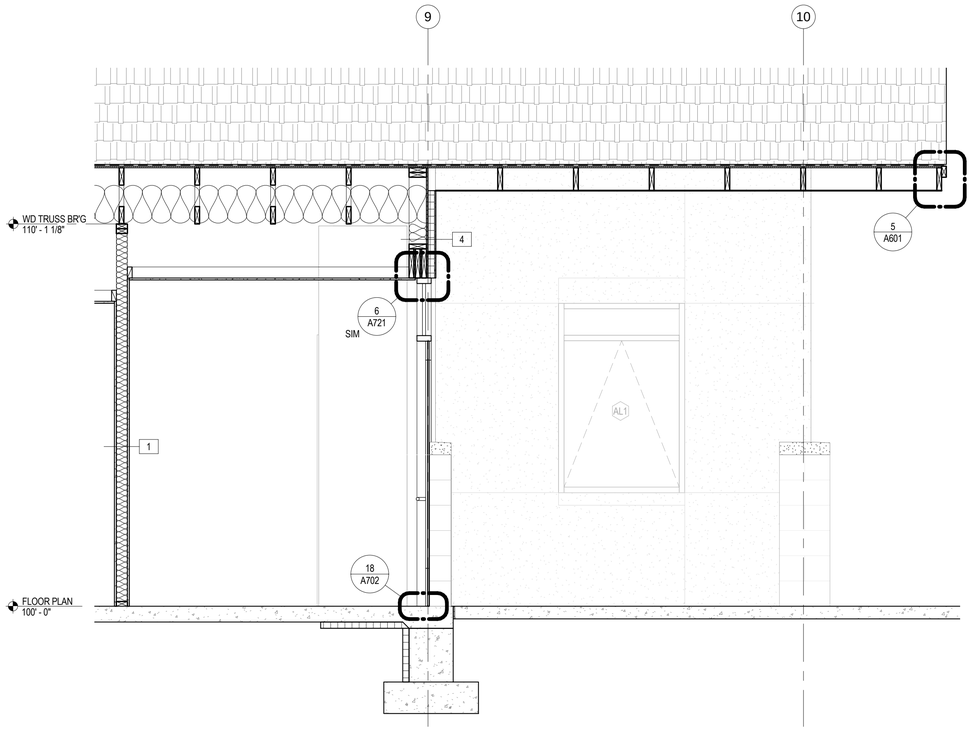
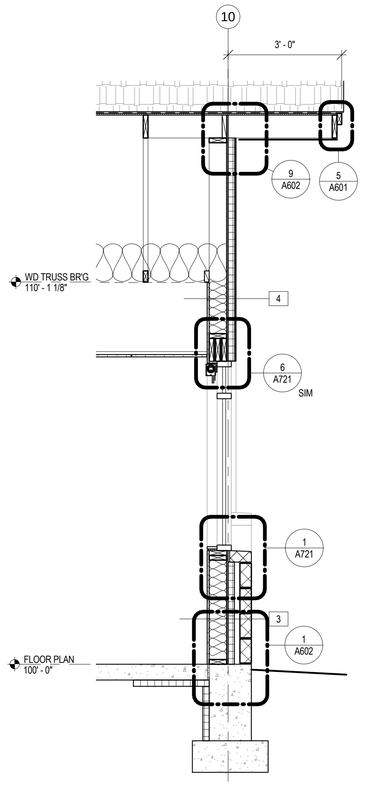


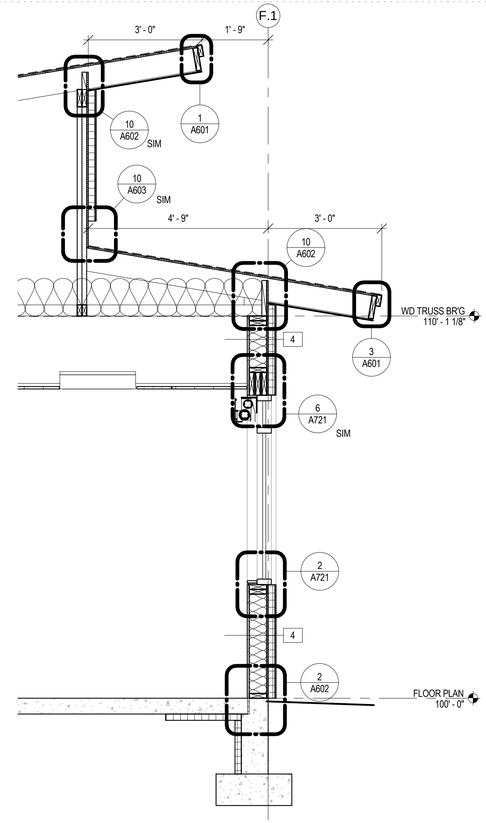
6 A501 WALL SECTION 3

0' 1' 2'



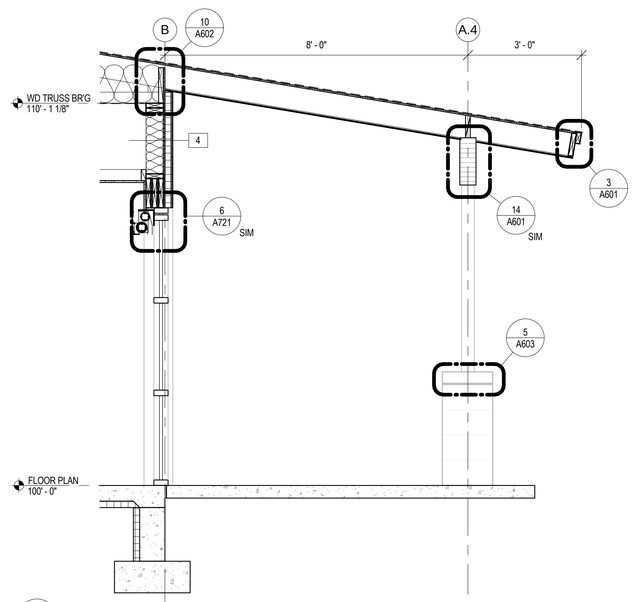
5 A501 WALL SECTION 2

0' 1' 2'



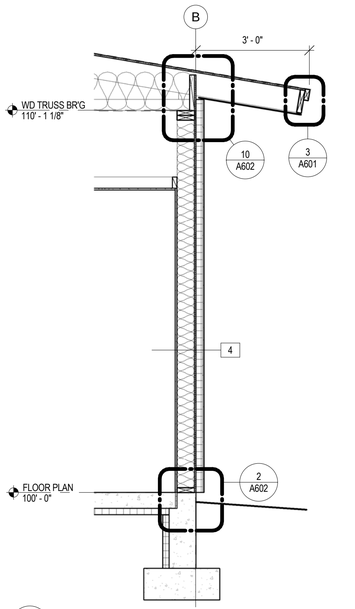
4 A501 WALL SECTION 1

0' 1' 2'



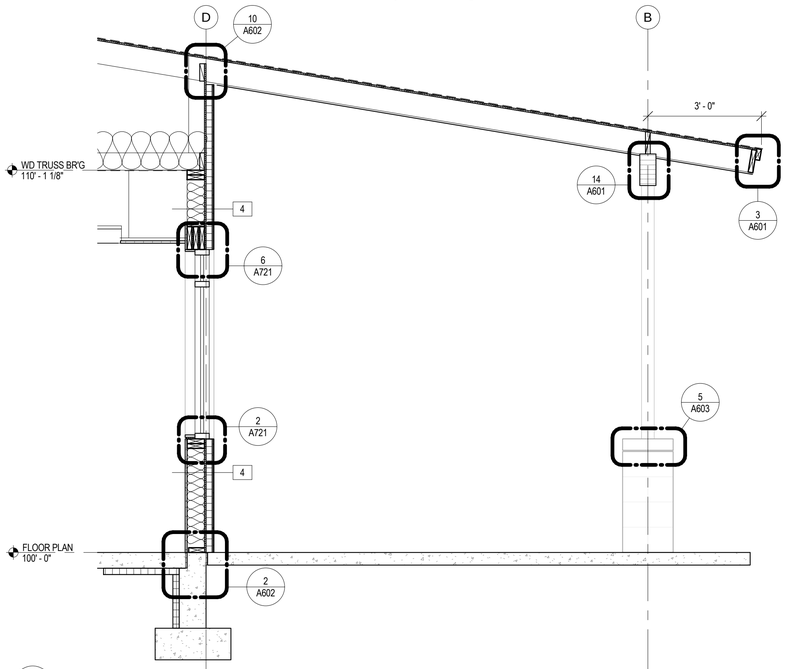
3 A501 WALL SECTION 6

0' 1' 2'



2 A501 WALL SECTION 5

0' 1' 2'



1 A501 WALL SECTION 4

0' 1' 2'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A501**

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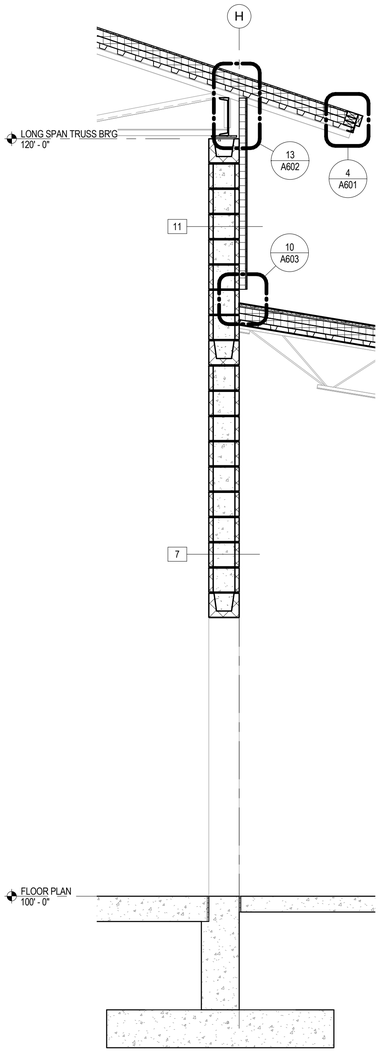
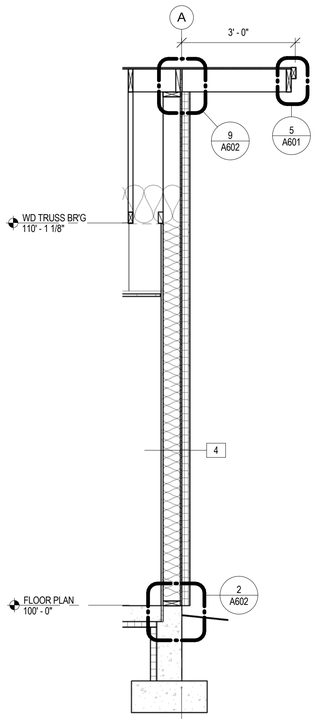
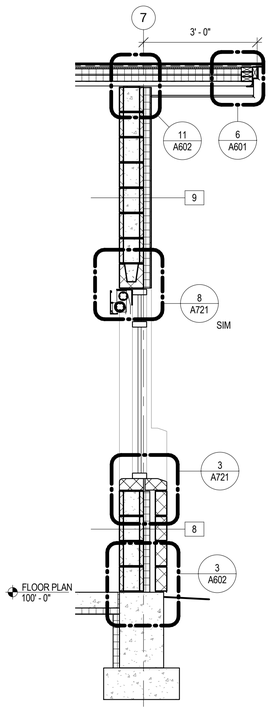


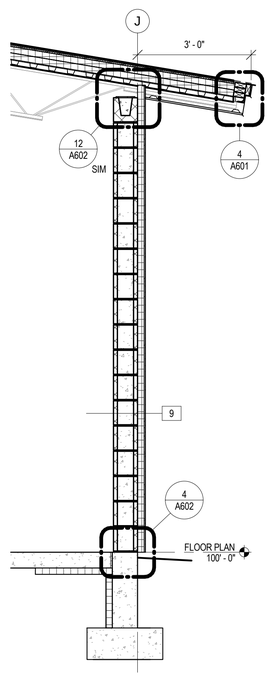
6 A502 WALL SECTION 7



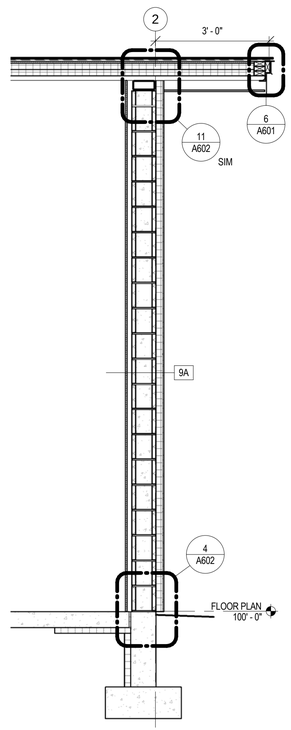
5 A502 WALL SECTION 14



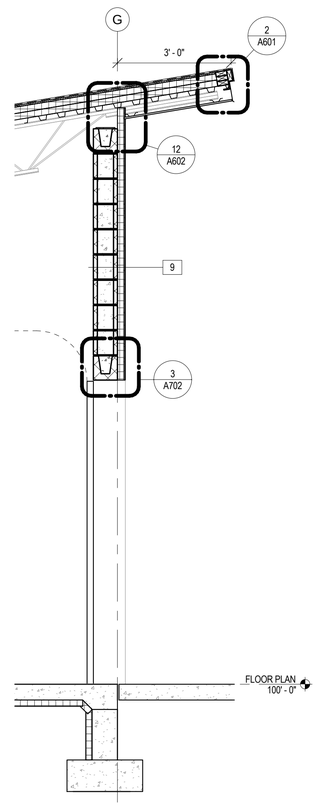
4 A502 WALL SECTION 13



3 A502 WALL SECTION 12



2 A502 WALL SECTION 11



1 A502 WALL SECTION 10

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO:	ISSUED FOR:	DATE:

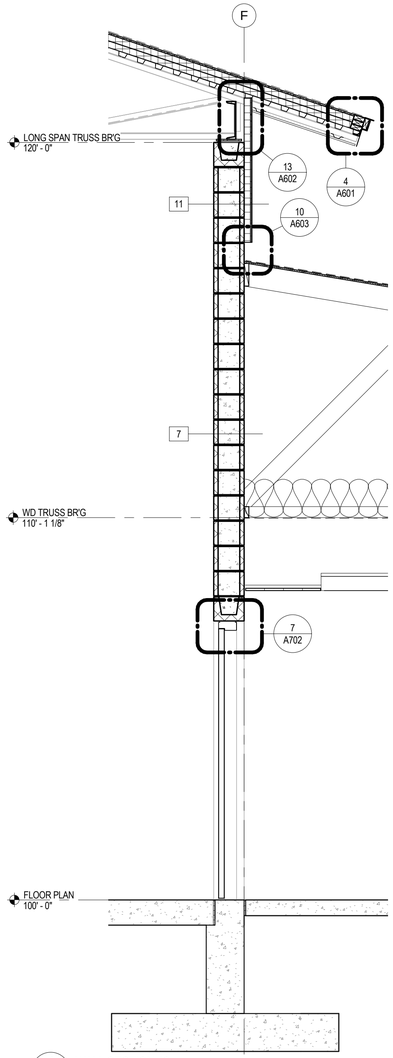
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

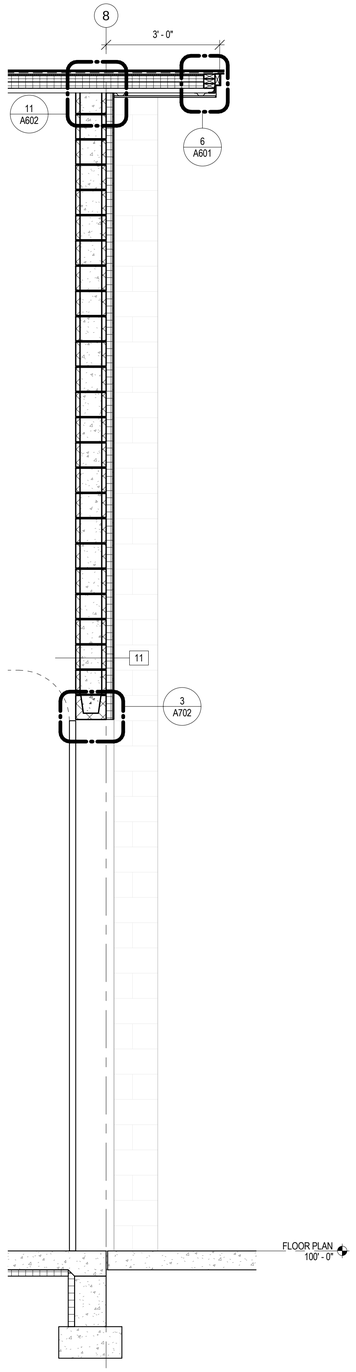
DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A502**

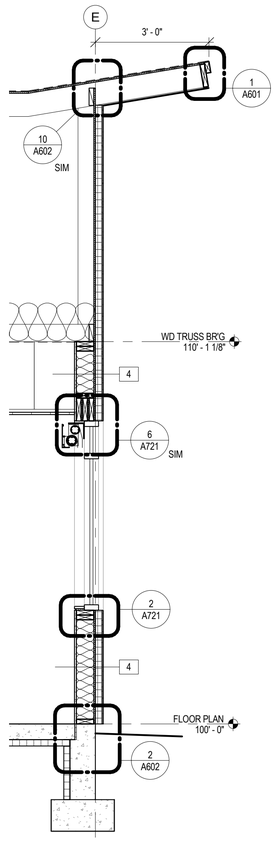
4/10/2015 12:00:03 PM



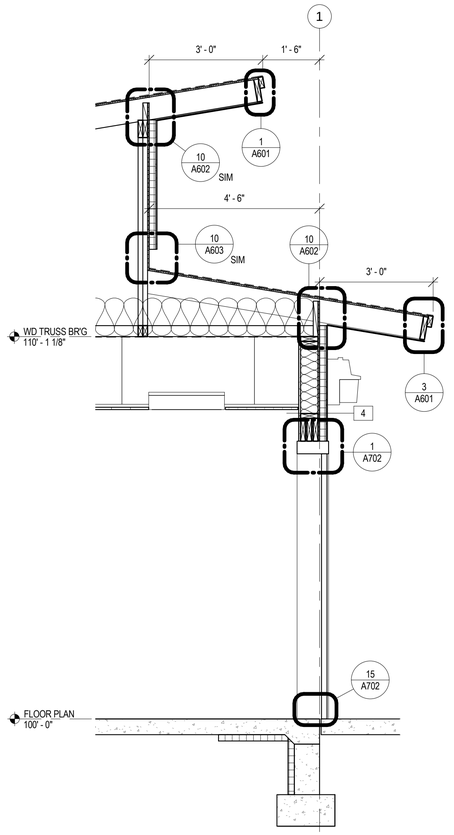
4 WALL SECTION 16
A503
0' 1" 2"



3 WALL SECTION 15
A503
0' 1" 2"



2 WALL SECTION 9
A503
0' 1" 2"



1 WALL SECTION 8
A503
0' 1" 2"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO:	ISSUED FOR:	DATE:

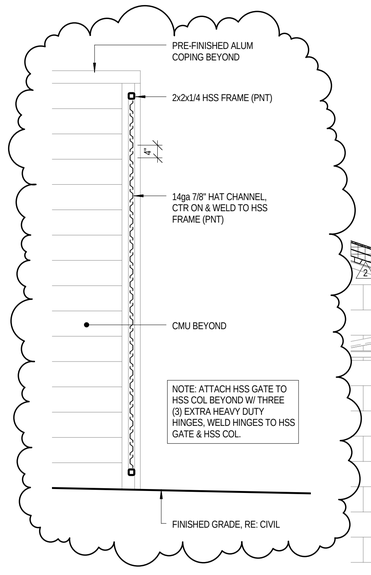
PROJECT STATUS: 100% CDs

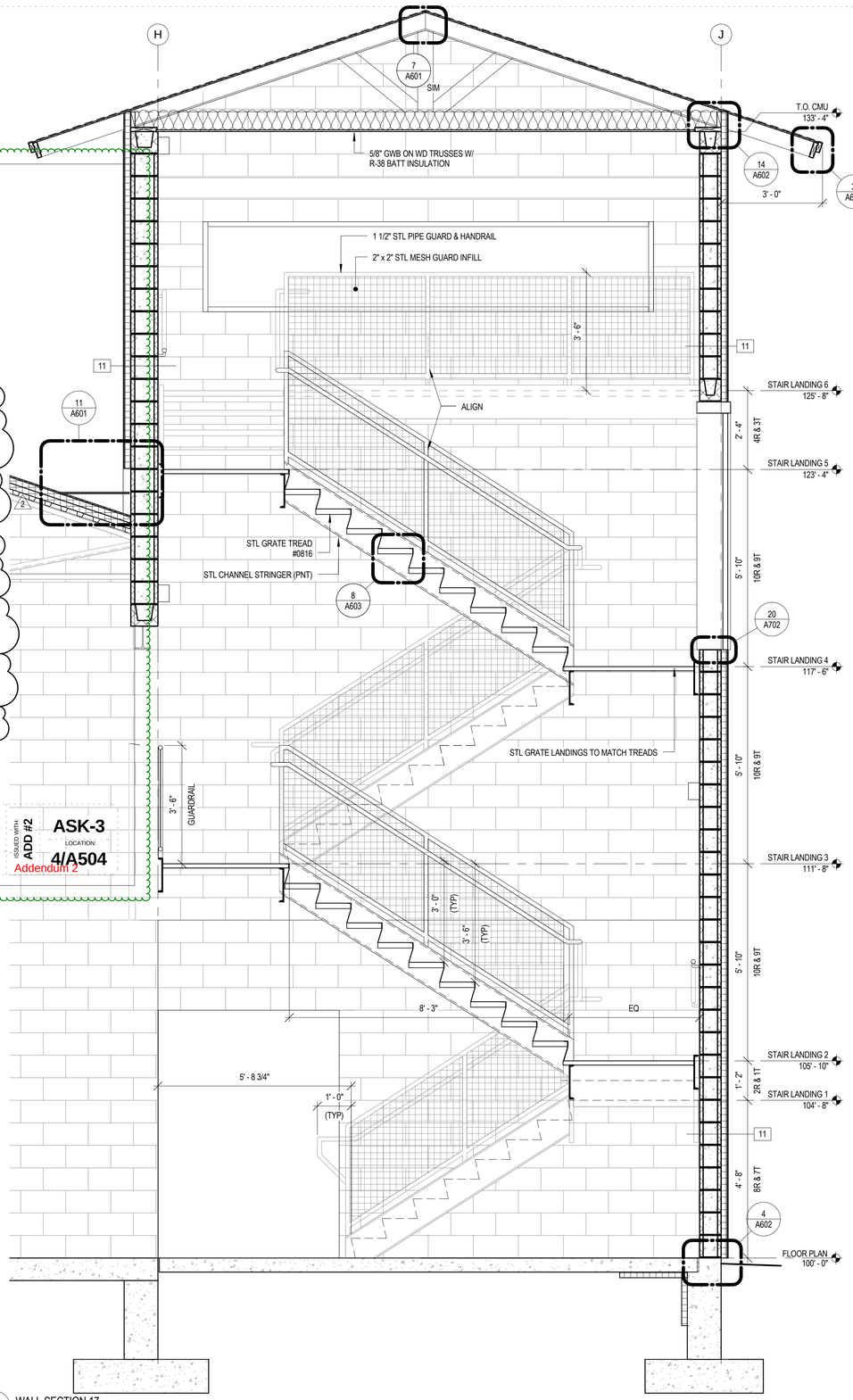
DRAWN BY: JW CHECKED BY: Checker

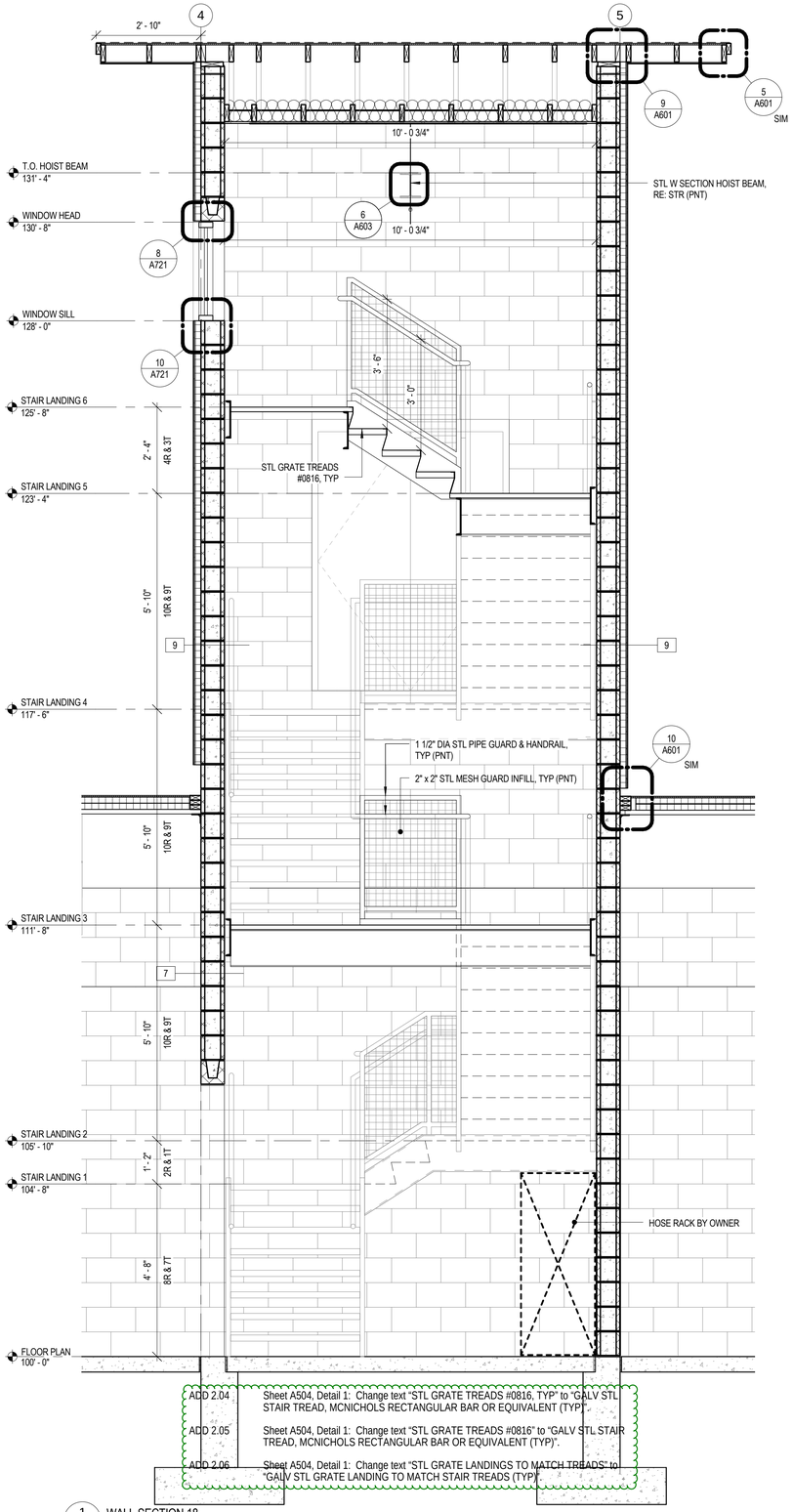
DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A503**

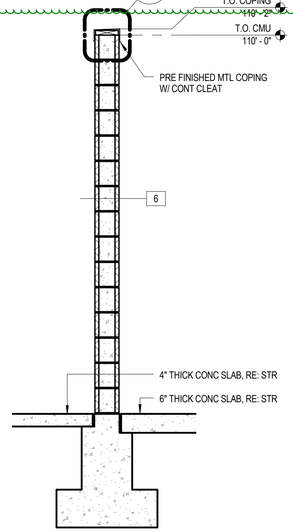
4/10/2015 12:00:05 PM







ADD 2.04	Sheet A504, Detail 1: Change text "STL GRATE TREADS #0816, TYP" to "GALV STL STAIR TREAD, MCNICHOLS RECTANGULAR BAR OR EQUIVALENT (TYP)".	
ADD 2.05	Sheet A504, Detail 1: Change text "STL GRATE TREADS #0816" to "GALV STL STAIR TREAD, MCNICHOLS RECTANGULAR BAR OR EQUIVALENT (TYP)".	
ADD 2.06	Sheet A504, Detail 1: Change text "STL GRATE LANDINGS TO MATCH TREADS" to "GALV STL GRATE LANDING TO MATCH STAIR TREADS (TYP)".	



3 A504 WALL SECTION 19 — 0' 1' 2'

2 A504 WALL SECTION 17 — 0' 1' 2'

1 A504 WALL SECTION 18 — 0' 1' 2'

DESCRIPTION: UTILITY ENCLOSURE - GATE SECTION

ISSUED WITH: ADD #2 Addendum 2

ASK-3

LOCATION: 4/A504

CHAMBERLIN ARCHITECTS
437 MAIN STREET
GRAND JUNCTION, COLORADO 81501-2511
TELEPHONE: (970) 242-6804

PROJECT: OMFS#4 | PROJECT NO: 1443 | SCALE: 1/2" = 1'-0" | DATE: 04/28/15 | PREPARED BY: JW

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

WALL SECTIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW | CHECKED BY: Checker

DATE: 04/10/2015 | SHEET NO: A504

PROJECT NO: 1443

PROPOSAL REQUEST

FIELD
OWNER
ARCHITECT
CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

PROPOSAL REQUEST NO: Ten (10)

DATE: July 30, 2016

ARCHITECT'S PROJECT NO: 1443

CONTRACT DATED: December 18, 2014

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

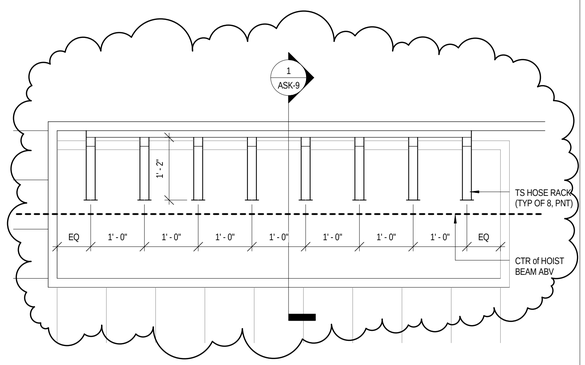
THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description:

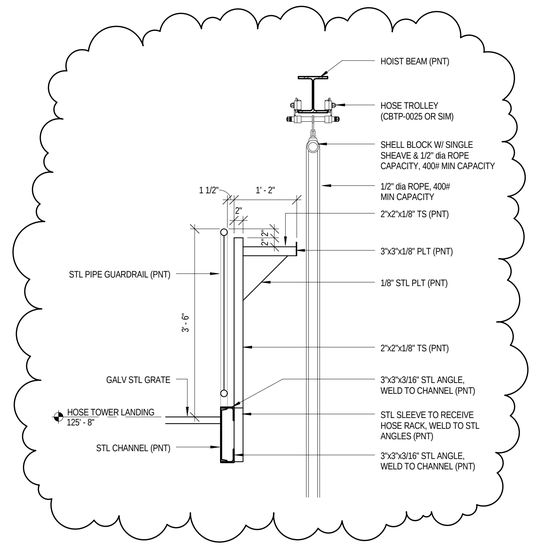
1. Add TS hose rack assembly as illustrated in the attached Sketches ASK-8 & ASK-9.
2. Add belay tie off assembly as illustrated in the attached Sketches ASK-10 & SSK-5.

Attachments: ASK-8; ASK-9; ASK-10; SSK-5

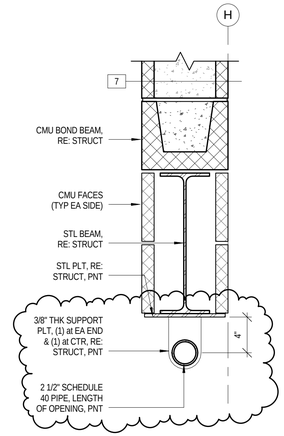
ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West



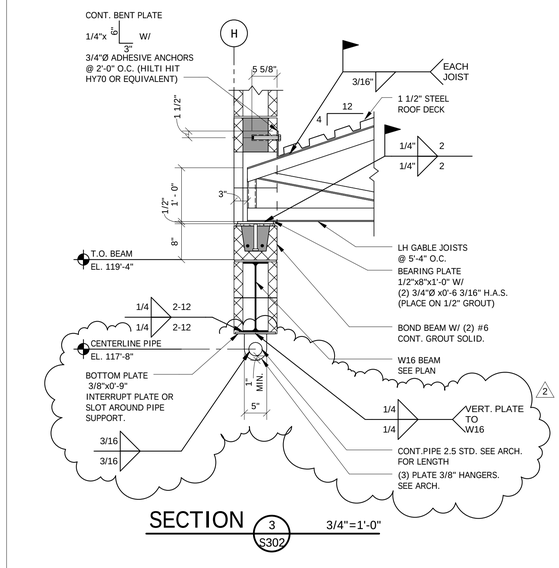
CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: HOSE TOWER - HOSE RACK PLAN				ISSUED WITH: PR#010	ASK-8
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 3/4" = 1'-0"	DATE: 7/30/15	PREPARED BY: JW		LOCATION:



CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: HOSE TOWER - HOSE RACK SECTION				ISSUED WITH: PR#010	ASK-9
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 3/4" = 1'-0"	DATE: 7/30/15	PREPARED BY: JW		LOCATION:



CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: BELAY TIE OFF DTL				ISSUED WITH: PR#010	ASK-10
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 1 1/2" = 1'-0"	DATE: 7/30/15	PREPARED BY: JW		LOCATION:



CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: DETAIL REVISION				ISSUED WITH: PR #10	SSK-5
PROJECT: O.M.F.S. #4	PROJECT NO: 14.108	SCALE: AS NOTED	DATE: 07/30/15	PREPARED BY: KDN		LOCATION: S302

PROPOSAL REQUEST

FIELD
OWNER
ARCHITECT
CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

PROPOSAL REQUEST NO: Eleven (11)

DATE: July 31, 2016

ARCHITECT'S PROJECT NO: 1443

CONTRACT DATED: December 18, 2014

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

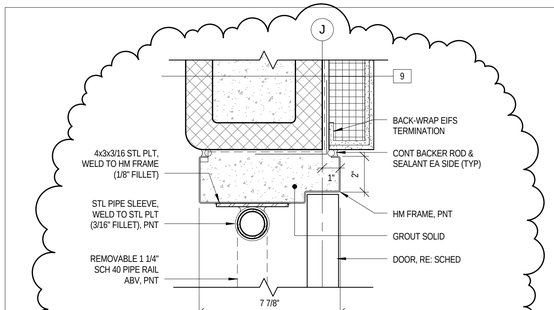
THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description:

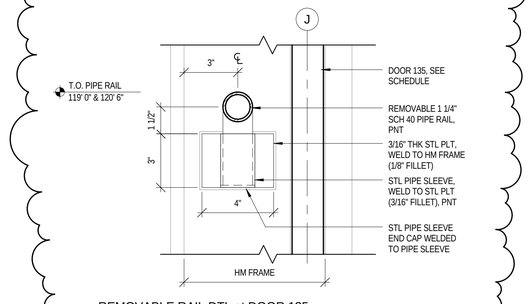
1. Add removable rails (one at 119'-0" AFF and one at 120'-6" AFF) at Door 135 as illustrated in the attached Sketch ASK-12.

Attachments: ASK-12

ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West

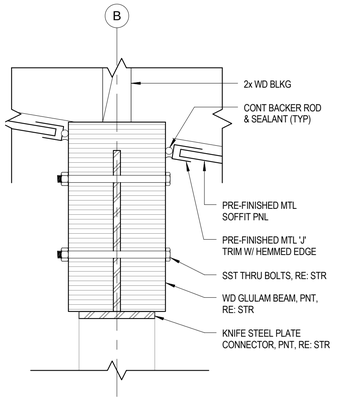


2 DOOR JAMB 135



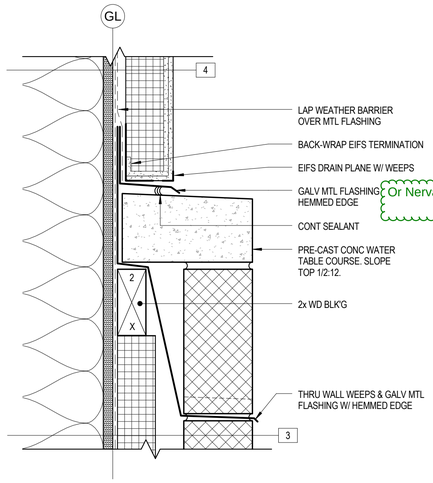
1 REMOVABLE RAIL DTL at DOOR 135

CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: REMOVABLE RAIL at DOOR 135 DTLS				ISSUED WITH: PR#011	ASK-12
PROJECT: OMFS#4	PROJECT NO: 1443	SCALE: 3" = 1'-0"	DATE: 7/31/15	PREPARED BY: JW		LOCATION:



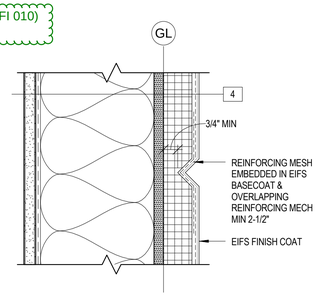
14 A601 GLULAM/STEEL COLUMN CONNECTION DETAIL

0" 3" 6"



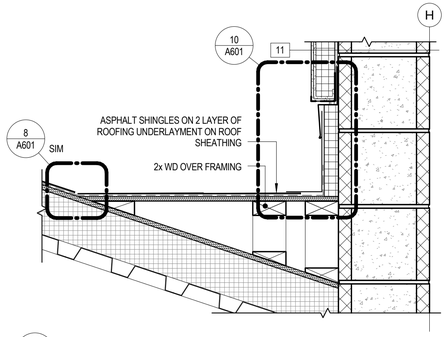
13 A601 PRE-CAST WATER TABLE DETAIL

0" 3" 6"



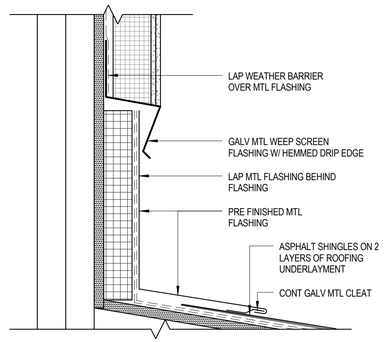
12 A601 TYP EIFS REVEAL DETAIL

0" 3" 6"



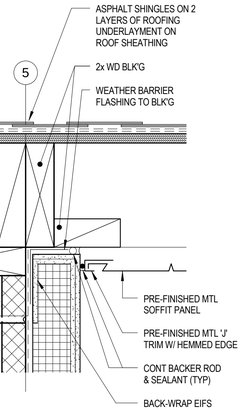
11 CRICKET ROOF DETAIL

0" 6" 1'



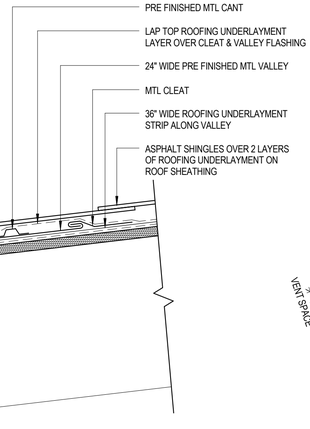
10 A601 EIFS COUNTERFLASHING DETAIL

0" 3" 6"



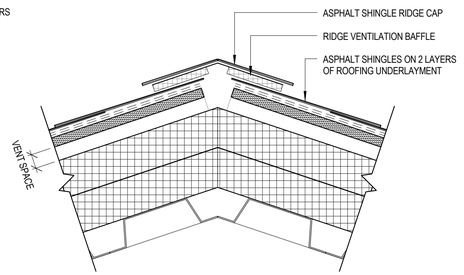
9 A601 EIFS @ MTL PNL SOFFIT DETAIL 7

0" 3" 6"



8 A601 ROOF VALLEY DETAIL

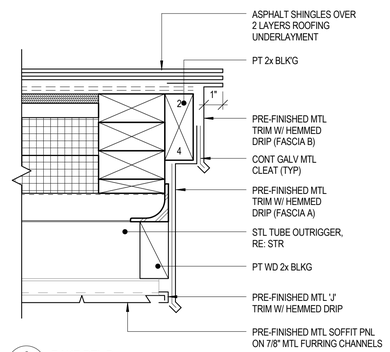
0" 3" 6"



NOTE: OMIT RIGID INSULATION & VENTING, PROVIDE PWD DECK IN LIEU OF MTL DECK @ SIM

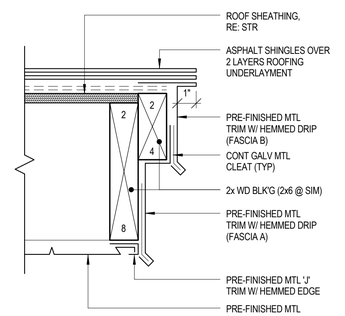
7 A601 ROOF RIDGE DETAIL

0" 3" 6"



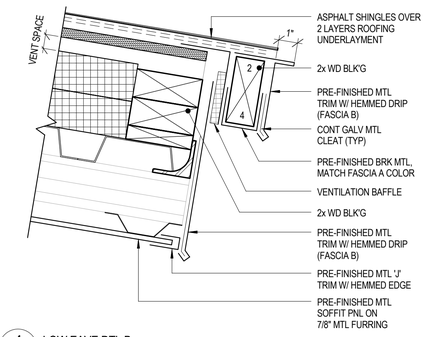
6 A601 RAKE DTL B

0" 3" 6"



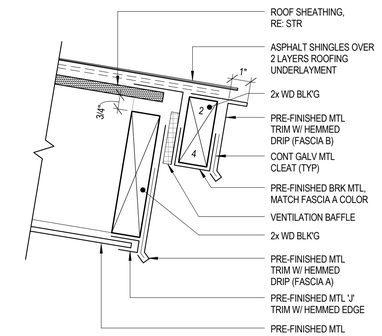
5 A601 RAKE DTL A

0" 3" 6"



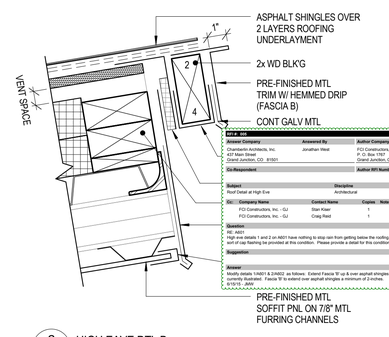
4 A601 LOW EAVE DTL B

0" 3" 6"



3 A601 LOW EAVE DTL A

0" 3" 6"



BID # - 008 — Date Created: 6/15/2015

Answered Company	Answered By	Author Company	Authored By
Chamberlin Architects, Inc. 437 Main Street Grand Junction, CO. 81501	Jonathan Ward	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO. 81502	Adam Shuler

Co-Respondent — Author RFI Number

Subject	Discipline	Category
Roof Detail at High Eve	Architectural	Direction

Cc	Company Name	Contact Name	Copies	Notes
-	FCI Constructors, Inc. - GJ	Dale Kiser	1	
-	FCI Constructors, Inc. - GJ	Craig Reid	1	

Question — Date Required: 6/22/2015

High eve details 1 and 2 on A601 have nothing to stop rain from getting below the roofing. FCI recommends that some sort of cap flashing be provided at this condition. Please provide a detail for this condition.

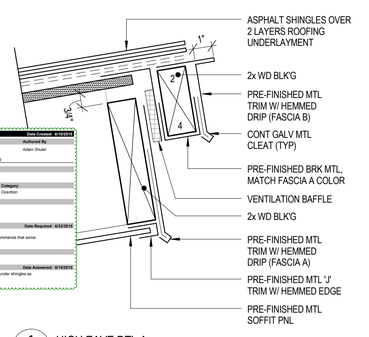
Suggestion

Answer — Date Answered: 6/15/2015

Roof eve details 1/A601 & 2/A602 as follows: Extend Fascia 'B' up & over asphalt shingles in lieu of under shingles as currently illustrated. Fascia 'B' to extend over asphalt shingles a minimum of 2-inches.
6/15/15 - JWW

1 A601 HIGH EAVE DTL B

0" 3" 6"



1 A601 HIGH EAVE DTL A

0" 3" 6"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

ARCHITECTURAL DETAILS

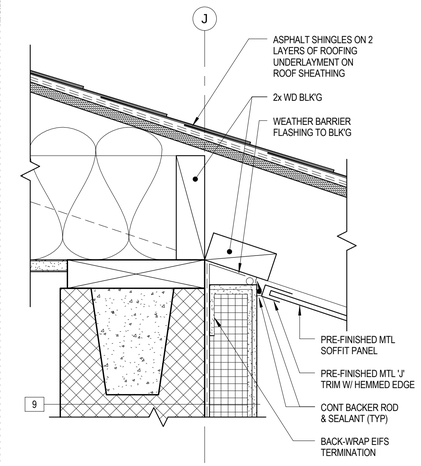
NO:	ISSUED FOR:	DATE:

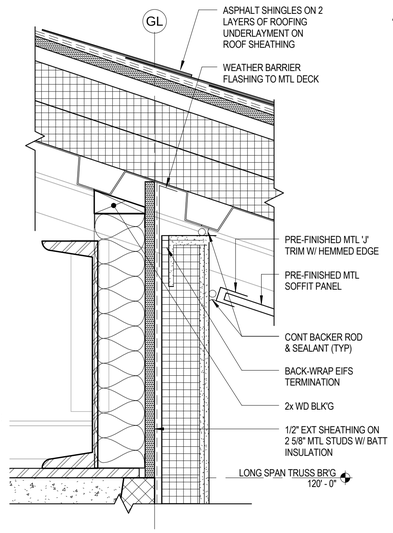
PROJECT STATUS: 100% CDs

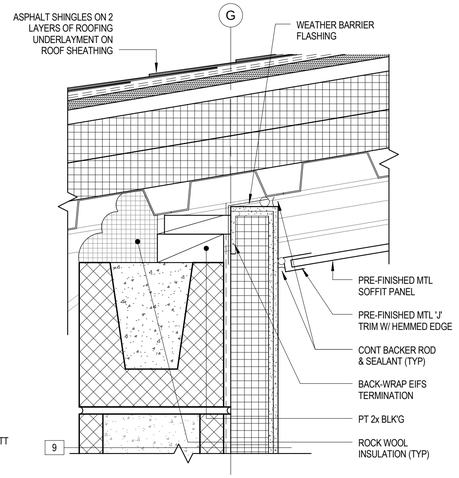
DRAWN BY: JW CHECKED BY: Checker

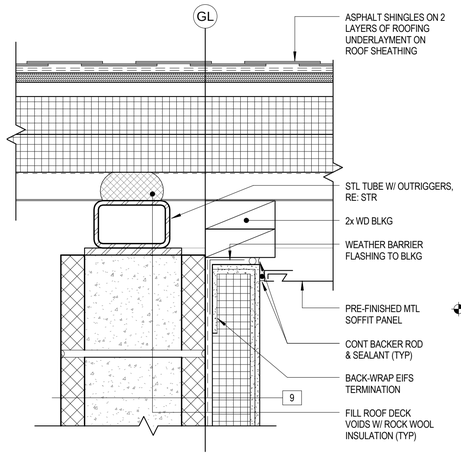
DATE: 04/10/2015 SHEET NO: A601

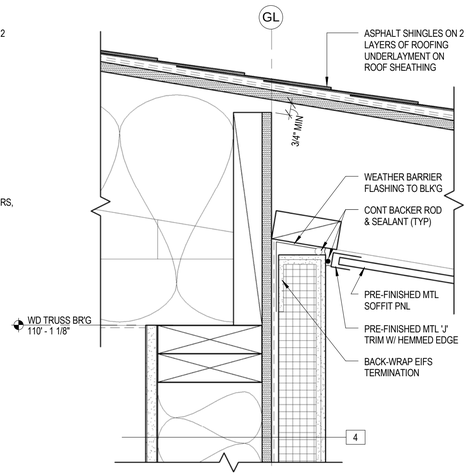
PROJECT NO: 1443











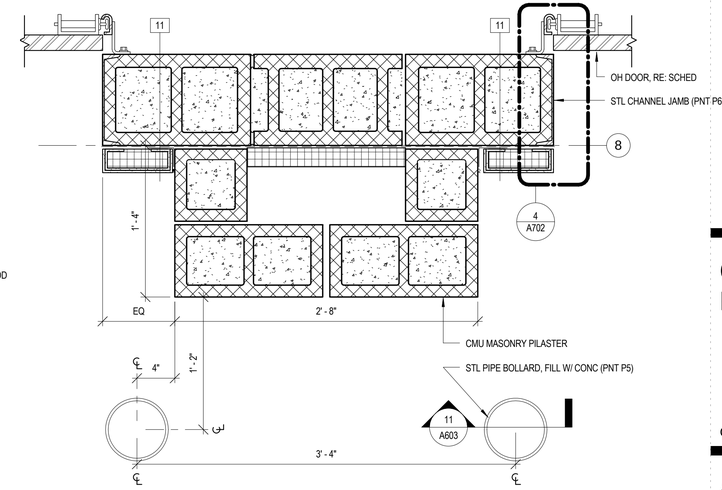
12 A602 EIFS @ MTL PNL SOFFIT DETAIL 4 — 0' 3" 6"

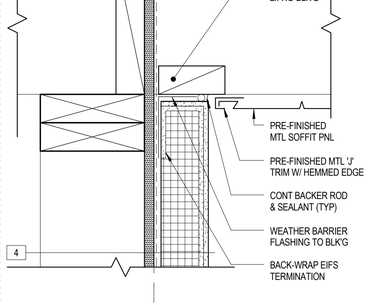
11 A602 EIFS @ MTL PNL SOFFIT DETAIL 3 — 0' 6" 1'

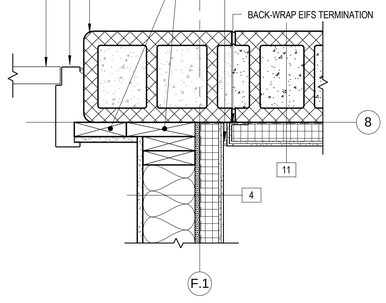
10 A602 EIFS @ MTL PNL SOFFIT DETAIL 2 — 0' 6" 1'

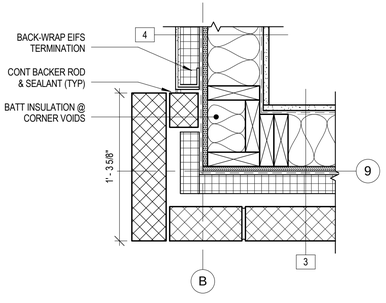
14 A602 EIFS @ MTL PNL SOFFIT DETAIL 6 — 0' 3" 6"

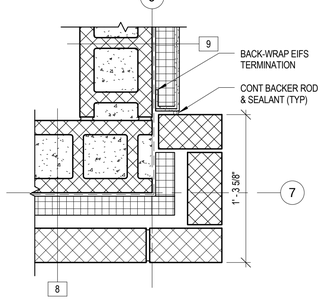
13 A602 EIFS @ MTL PNL SOFFIT DETAIL 5 — 0' 3" 6"











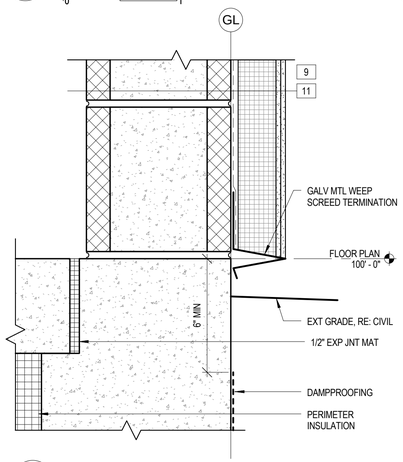
9 A602 EIFS @ MTL PNL SOFFIT DETAIL — 0' 6" 1'

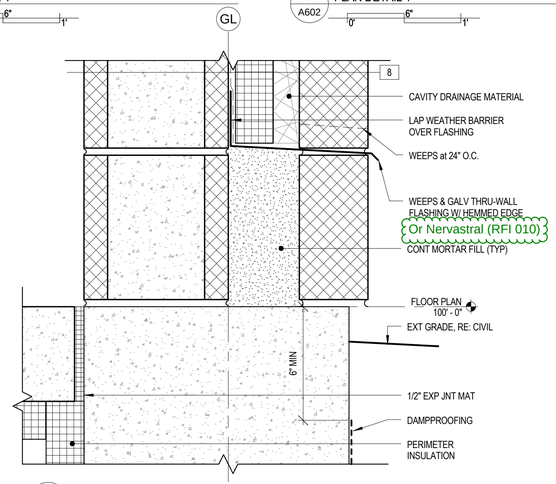
8 A602 PLAN DETAIL 4 — 0' 6" 1'

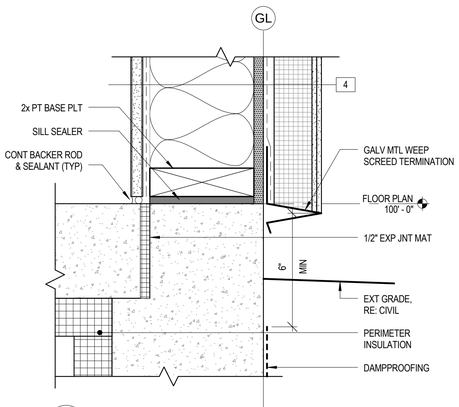
7 A602 PLAN DETAIL 1 — 0' 6" 1'

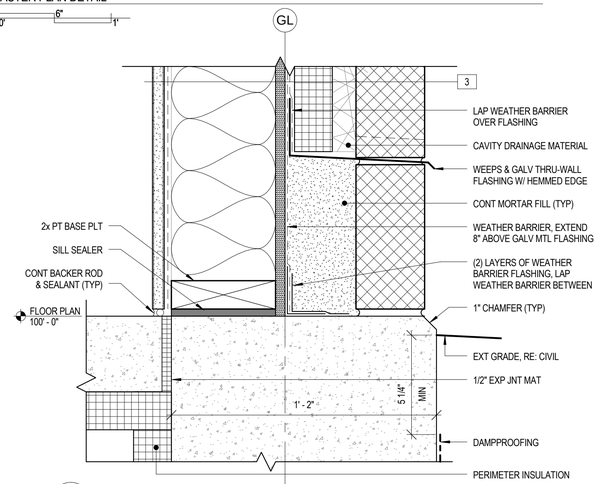
6 A602 PLAN DETAIL 2 — 0' 6" 1'

5 A602 PILASTER PLAN DETAIL — 0' 6" 1'









4 A602 BASE DTL @ WALL TYPE 9 & 11 — 0' 3" 6"

3 A602 BASE DTL @ WALL TYP 8 & 10 — 0' 3" 6"

2 A602 BASE DTL @ WALL TYPE 4 — 0' 3" 6"

1 A602 BASE DTL @ WALL TYPE 3 — 0' 3" 6"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

ARCHITECTURAL DETAILS

NO:	ISSUED FOR:	DATE:

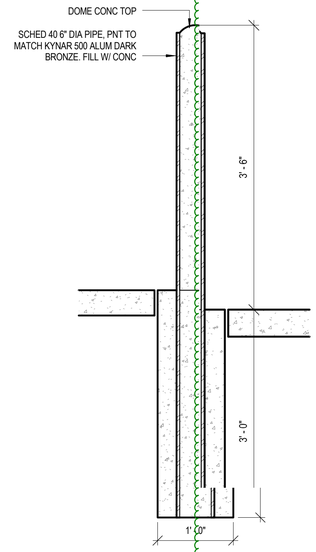
PROJECT STATUS: 100% CDs

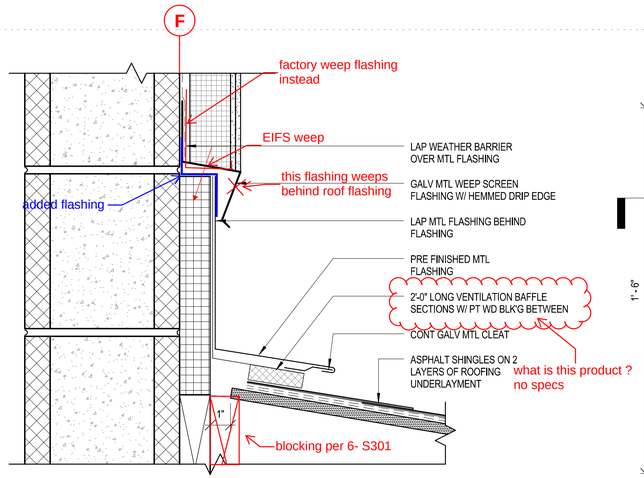
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443

A602

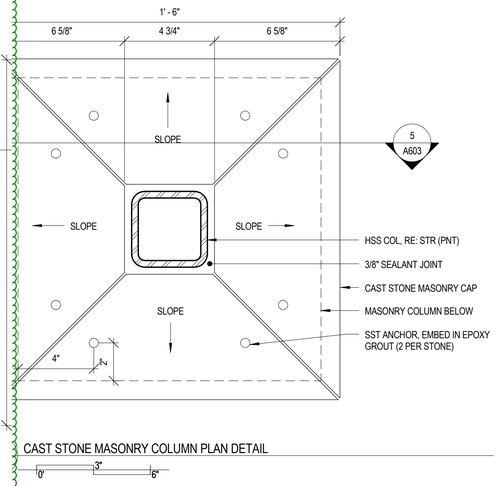




10 A603 EIFS COUNTERFLASHING DETAIL @ VENT

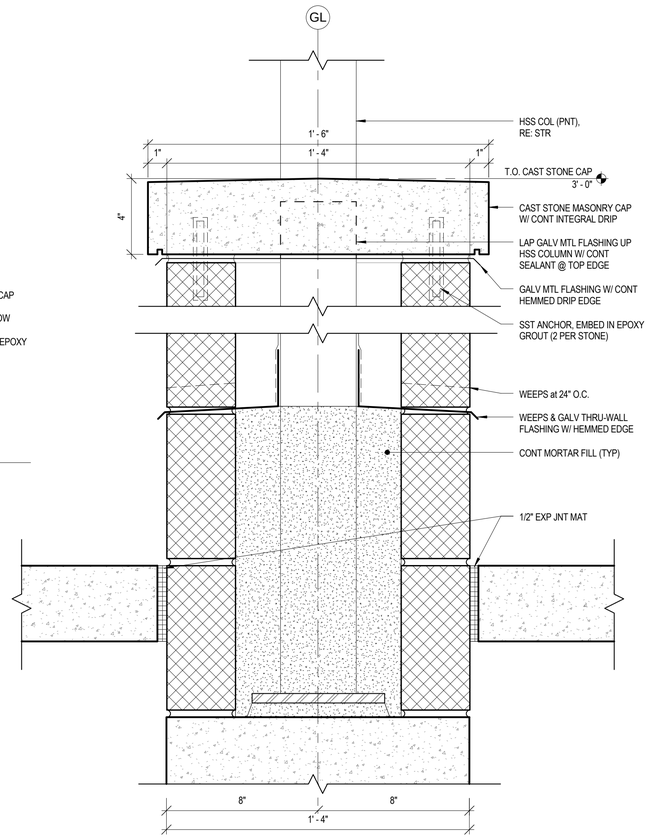
0' 3" 6"

RFI 036



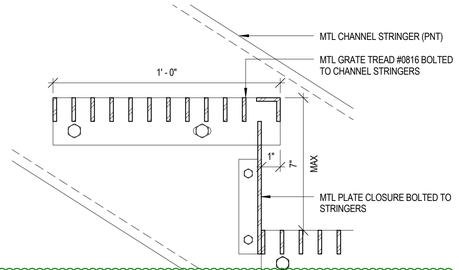
CAST STONE MASONRY COLUMN PLAN DETAIL

0' 3" 6"



5 A603 CAST STONE MASONRY COLUMN DETAIL

0' 3" 6"

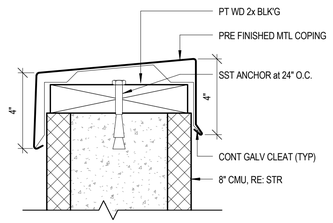


ADD 2.08 Sheet A603, Detail 8: Change text "MTL GRATE TREAD #0816 BOLTED TO CHANNEL STRINGERS" to "GALV STL STAIR TREAD, MCNICHOLS RECTANGULAR BAR OR EQUIVALENT, BOLT TO STRINGER".

ADD 2.09 Sheet A603, Detail 8: Delete metal plate closure bolted to stringers.

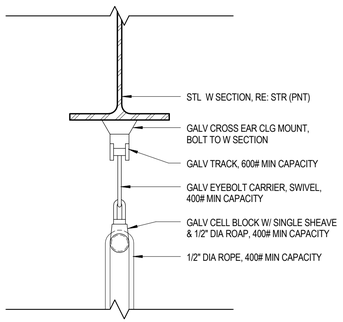
8 A603 STAIR TREAD DETAIL

0' 3" 6"



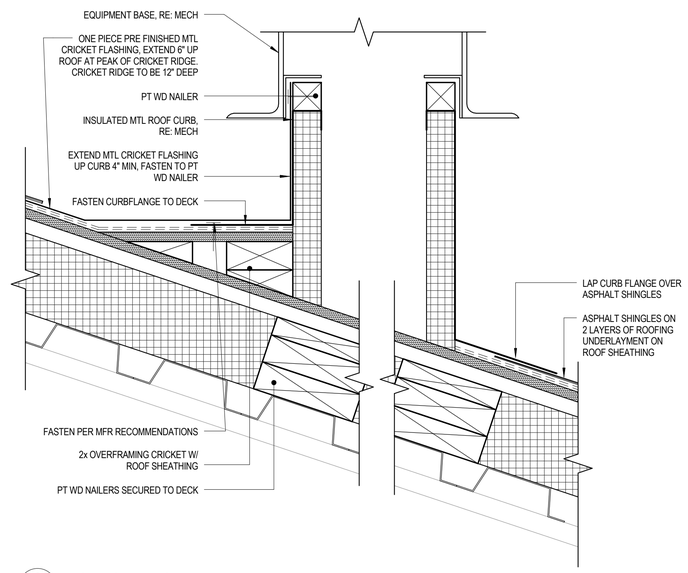
7 A603 COPING DETAIL

0' 3" 6"



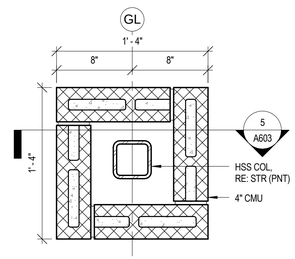
6 A603 HOIST DETAIL

0' 3" 6"



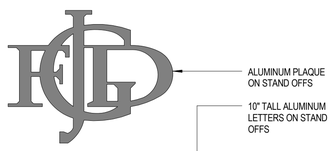
1 A603 MECHANICAL UNIT CURB DETAIL

0' 3" 6"



4 A603 MASONRY COLUMN PLAN DETAIL

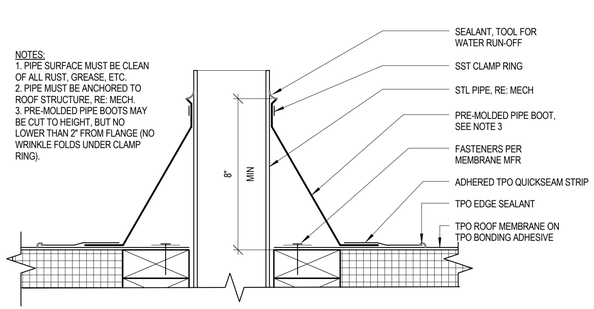
0' 6" 1'



FIRE STATION #4

3 A603 GJFD LOGO

0' 2' 4'



2 A603 TYP ROOF PENETRATION DETAIL

0' 3" 6"

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GRAND JUNCTION, COLORADO

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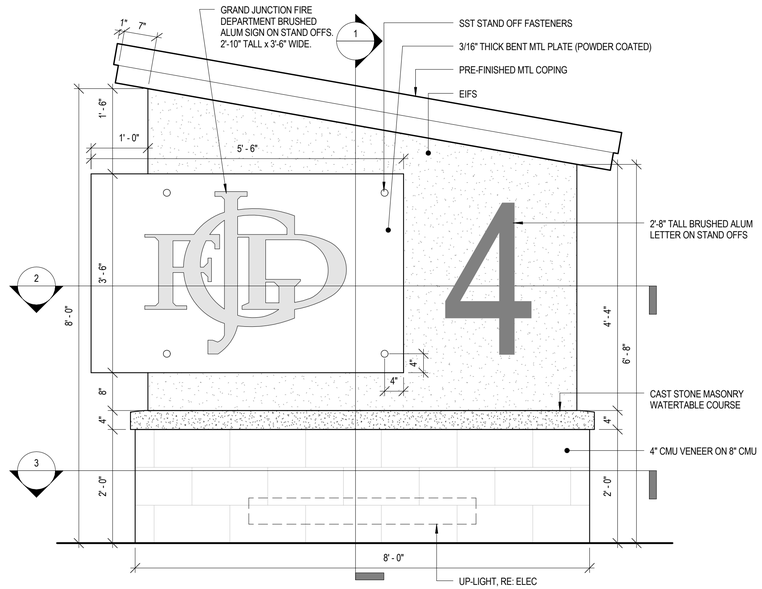
PROJECT STATUS: 100% CDs

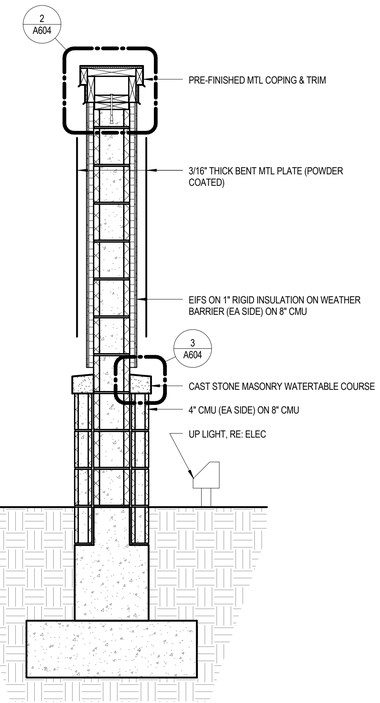
DRAWN BY: PH CHECKED BY: JW

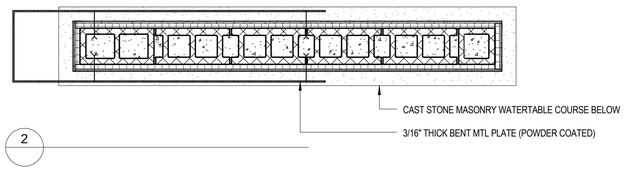
DATE: **04/10/2015** SHEET NO: **A603**

PROJECT NO: **1443**

DELETED







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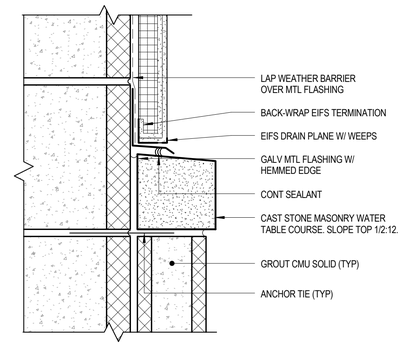
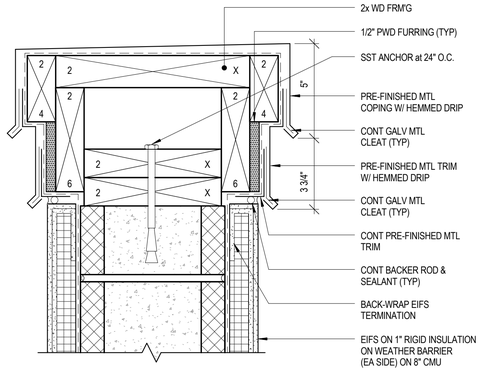


3 MONUMENT SIGN WATER TABLE DETAIL
A604
0" 3" 6"



2 MONUMENT SIGN COPING DETAIL
A604
0" 3" 6"

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ORCHARD MESA FIRE STATION #4

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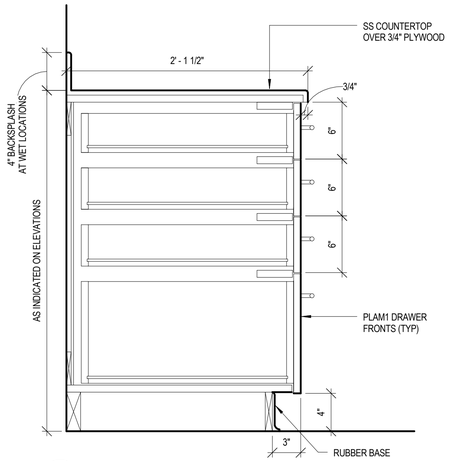
PROJECT STATUS: 100% CDs

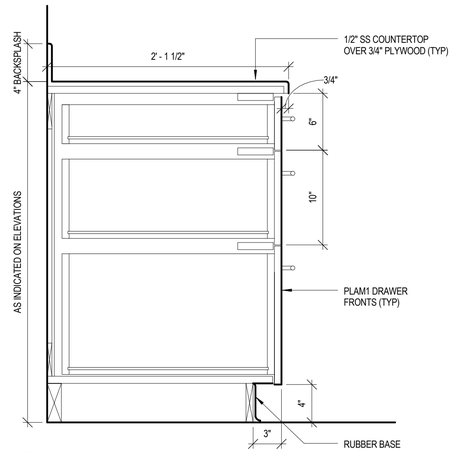
DRAWN BY: Author CHECKED BY: Checker

DATE: 04/10/2015 SHEET NO: A604

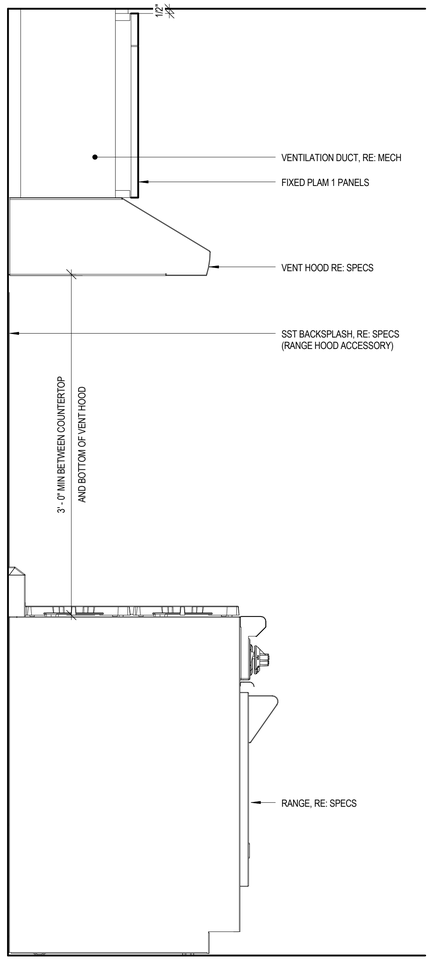
PROJECT NO: 1443



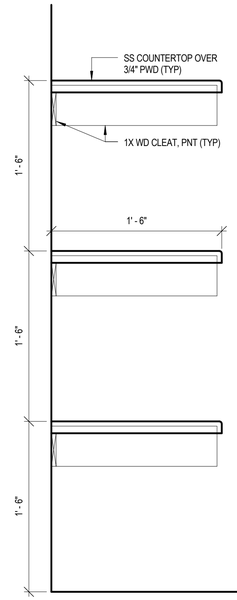
9 A621 MILLWORK STORAGE BASE WITH 4 DRAWERS



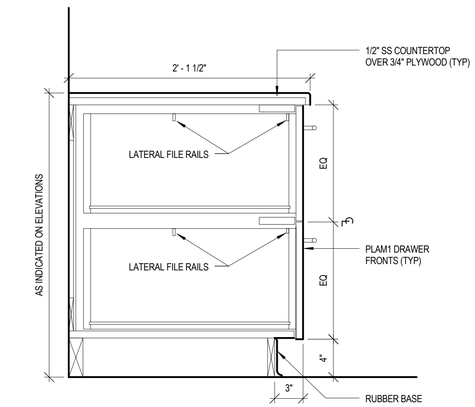
8 A621 MILLWORK STORAGE BASE WITH 3 DRAWERS



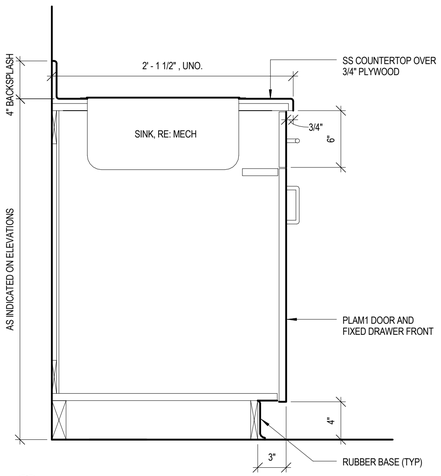
5 A621 MILLWORK SECTION AT RANGE



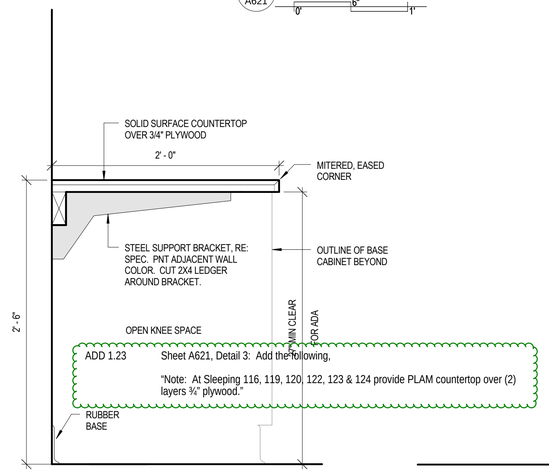
4 A621 MILLWORK COUNTER TOP SECTIONS



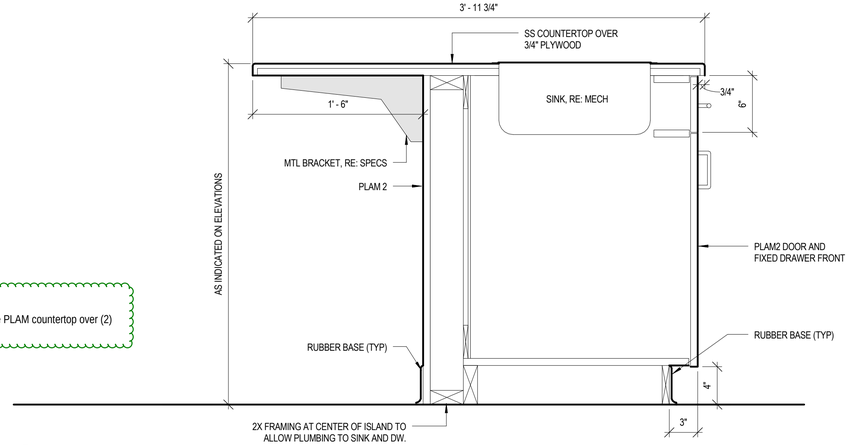
7 A621 MILLWORK STORAGE BASE WITH 2 DRAWERS



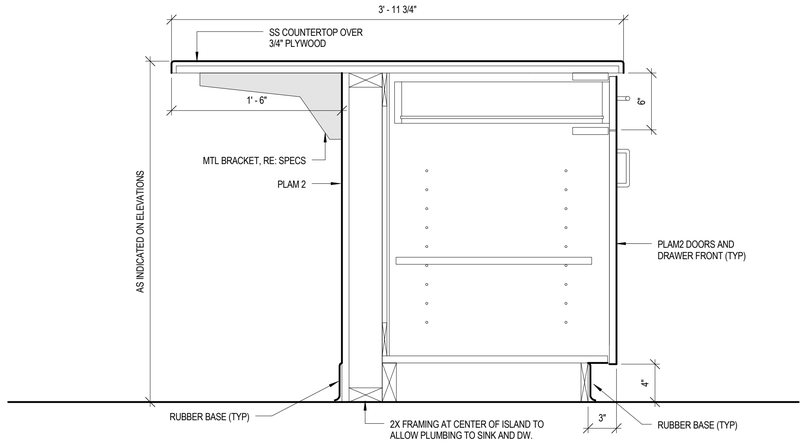
6 A621 MILLWORK SECTION AT SINK



3 A621 MILLWORK COUNTERTOP AT WORKSURFACE



2 A621 ISLAND MILLWORK SECTION AT SINK



1 A621 ISLAND MILLWORK SECITON AT RECYCLE CENTER

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

CASEWORK DETAILS

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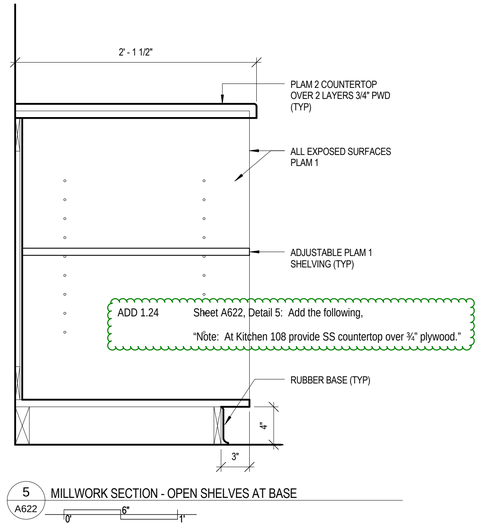
PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

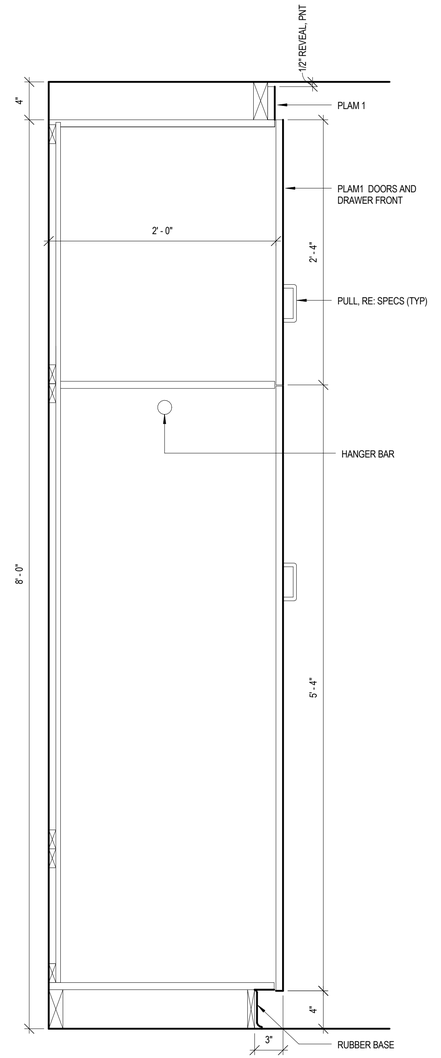
PROJECT NO: **1443** **A621**

4/10/2015 12:00:54 PM



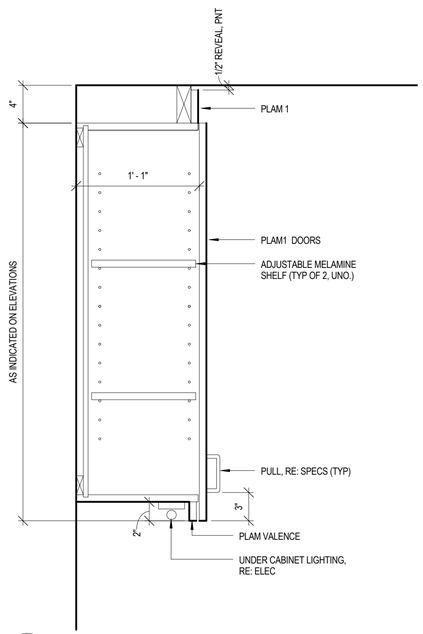
5 A622 MILLWORK SECTION - OPEN SHELVES AT BASE

0" 6" 1'



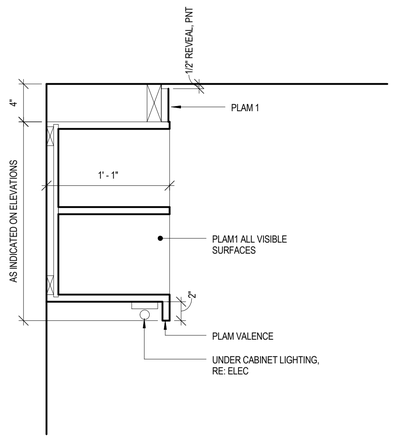
1 A622 MILLWORK STORAGE IN SLEEP ROOMS

0" 6" 1'



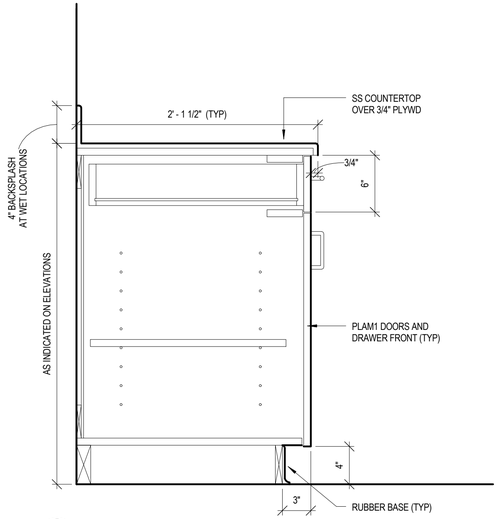
4 A622 MILLWORK UPPER CABINET SECTION

0" 6" 1'



3 A622 MILLWORK UPPER CABINET OPEN SECTION

0" 6" 1'



2 A622 MILLWORK STORAGE WITH 1 DRAWER

0" 6" 1'

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Rapid City, South Dakota 57701
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

CASEWORK SECTIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A622**

PROPOSAL REQUEST

4/13/2015 2:34:24 PM

FIELD
OWNER
ARCHITECT
CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

PROPOSAL REQUEST NO: Two (2)

DATE: June 5, 2015

ARCHITECT'S PROJECT NO: 1443

CONTRACT DATED:

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description:

1. Specification Section 087100, Door Hardware, Hardware Group No. 01 (Door 101A), delete the following hardware:

1 EA	Surface Auto Operator	4642 WMS
1 EA	Weather Ring	8310-800
2 EA	Actuator, Wall Mount	8310-856T
2 EA	Flush Mount Box	8310-868F
1 EA	Escutcheon	8310-874

2. Specification Section 087100, Door Hardware, Hardware Group No. 01, add the following hardware:

1 EA	OH Stop	1005 ADJ	US28	IV
1 EA	Surface Closure	4040XP EDA	689	LCN
1 EA	PA Mounting Plate	4040XP-18PA AS REQ'D	689	LCN

3. Specification Section 087100, Door Hardware: Add the following:
Hardware Group No. 18
For use on mark/door #(s):
135
EACH TO HAVE:

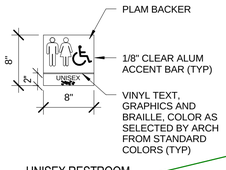
QTY	Description	Catalog Number	FIN	Mfr
6 EA	Hinges	3CB1 4.5 X 4.5 NRP	630	IV
2 EA	Manual Flush Bolt	FB458	626	IV
1 EA	Dust Proof Strike	DP2	626	IV
1 EA	Deadbolt	82T-7-STK	626	BE
1 EA	Construction Core	GREEN CONSTRUCTION CORE		BE
1 EA	Astragal	178SA	AL	NGP
1 SET	Smoke Seal	S88 D 19'		PE
1 EA	Door Bottom Sweep	315 CN 60"		PE
1 EA	Threshold	270 A 60"		PE

4. Sheet A701, Door Schedule, Door No. 135: Add "18" in the HW SET column.

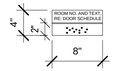
Attachments: none

ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West

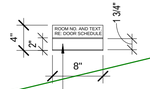
S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\PROPOSAL REQUESTS\PR#002.1443.doc



UNISEX RESTROOM
TYPE A



GENERAL
TYPE B



GENERAL WITH INSERT
TYPE C

4 A701 SIGN TYPES

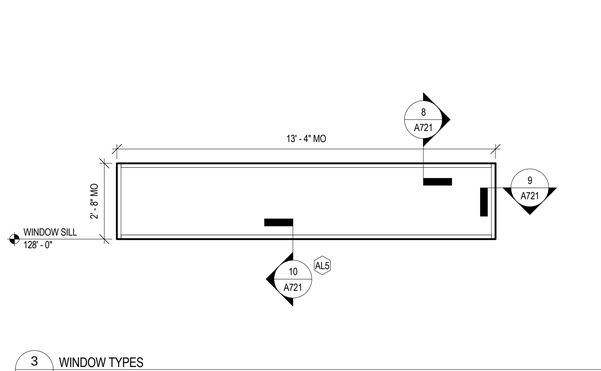
0" 6" 1'

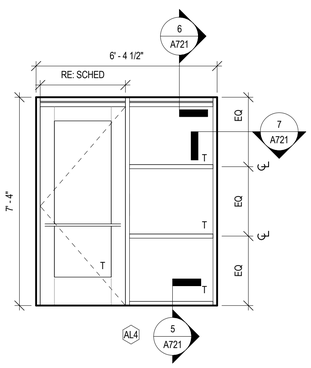
ADD 1.25 Sheet A701, Door Types: Add the following,

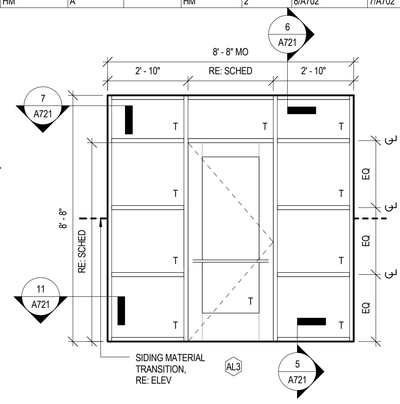
"General Note: Exterior door types C & F to receive 1-inch insulated glazing."

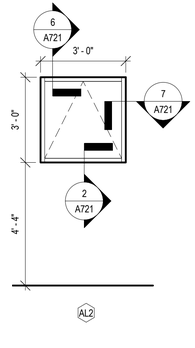
DOOR SCHEDULE

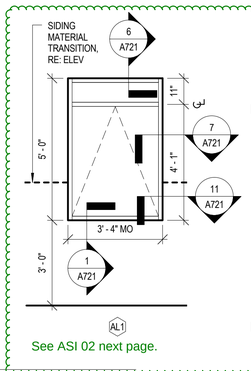
DOOR NO.	DOOR W	DOOR H	DOOR T	DOOR MATERIAL	DOOR TYPE	FIRE RATING	FRAME MATERIAL	FRAME TYPE	DETAIL JAMB	DETAIL HEAD	DETAIL SILL	HDWR SET	NOTES	SIGNAGE SIGN TYPE	SIGNAGE TEXT
101A	3' - 0"	7' - 0"	1 3/4"	AL	C		AL	AL3	RE: 3/A701	RE: 3/A701	18/A702	01			
102	3' - 0"	7' - 0"	1 3/4"	WD	C		HM	1	6/A702	5/A702	16/A702	08		C	CAPTAIN'S OFFICE 102
103A	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	-	08		C	OFFICE 103
103B	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	10/A702	9/A702	-	09		C	OFFICE 103
104	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	-	16		B	PANTRY 104
105	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	17/A702	13		A	
107	3' - 0"	7' - 0"	1 3/4"	AL	C		AL	AL4	RE: 3/A701	RE: 3/A701	19/A702	01.01			
109	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	-	03			
110	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	1	6/A702	5/A702	-	04			
111	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	1	6/A702	5/A702	-	10			
112A	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	16/A702	05			
112B	3' - 0"	7' - 0"	1 3/4"	HM	F		HM	1	2/A702	1/A702	15/A702	02			
112C	3' - 0"	7' - 0"	1 3/4"	HM	F		HM	1	2/A702	1/A702	15/A702	02			
113	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 113
114	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 114
115	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	14/A702	14		B	SHOWER & TOILET 115
116	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
119	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
120	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
121	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	1	6/A702	5/A702	16/A702	16		B	LAUNDRY 121
122	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
123	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
124	3' - 0"	7' - 0"	1 3/4"	WD	A	20-MIN	HM	1	6/A702	5/A702	-	15			
125A	3' - 0"	7' - 0"	1 3/4"	WD	A		HM	2	10/A702	9/A702	16/A702	03			
125B	3' - 0"	7' - 0"	1 3/4"	HM	F		HM	2	12/A702	11/A702	15/A702	02			
126	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	8/A702	7/A702	-	12		B	MECHANICAL ROOM 126
127A	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
127B	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
128A	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
128B	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
129A	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
129B	14' - 0"	14' - 0"	2"	STL	D		STL	-	4/A702	3/A702	-	17			
130	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	8/A702	7/A702	-	03		B	SCBA REPAIR 130
131	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	8/A702	7/A702	-	11		B	ELECTRICAL ROOM
132A	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	8/A702	7/A702	13/A702	06		B	FITNESS 132
132B	12' - 0"	8' - 0"	2"	STL	E		STL	-	4/A702 SIM	3/A702 SIM		17			
135	5' - 0"	7' - 0"	1 3/4"	HM	B		HM	2	12/A702	11/A702	20/A702				
136A	3' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	12/A702	11/A702	15/A702	02.01			
136B	8' - 0"	8' - 0"	2"	STL	E		STL	-	4/A702	3/A702	-	17			
137	6' - 0"	7' - 0"	1 3/4"	HM	A		HM	2	8/A702	7/A702	-	07		B	STORAGE 137











See ASI 02 next page.

3 A701 WINDOW TYPES

0' 2' 4'

NOTE: T INDICATES TEMPERED GLASS

PROPOSAL REQUEST

FIELD
OWNER
ARCHITECT
CONTRACTOR

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

PROPOSAL REQUEST NO: Six (6)

DATE: July 16, 2016

ARCHITECT'S PROJECT NO: 1443

CONTRACT DATED: December 18, 2014

Please submit an itemized quotation for changes in the Contract Sum and/or Time incident to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description:

1. Change Door 132B from "Electric Door Operator" to "Manual Chain Operation".
2. Change Door 136B from "Electric Door Operator" to "Manual Chain Operation".
3. ~~Provide two applied (sprayed)~~ urethane finish at doors 127A, 127B, 128A, 128B, 129A and 129B (exterior face only). Color to match Sherwin Williams ~~SW 7593 Rustic Red~~. Contractor's option to provide either single stage (color & clearcoat mixed together) or 2-stage (color & clearcoat Separate) finish.

Manufacturer's Tan

Attachments: none

ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West

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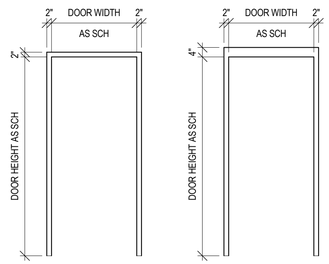
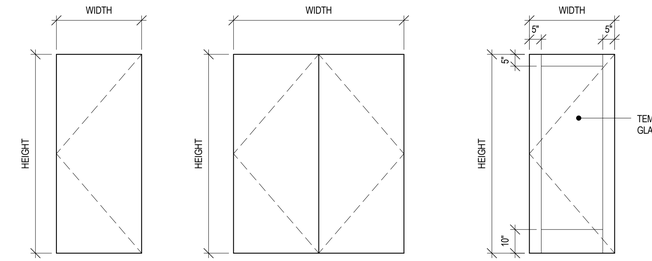


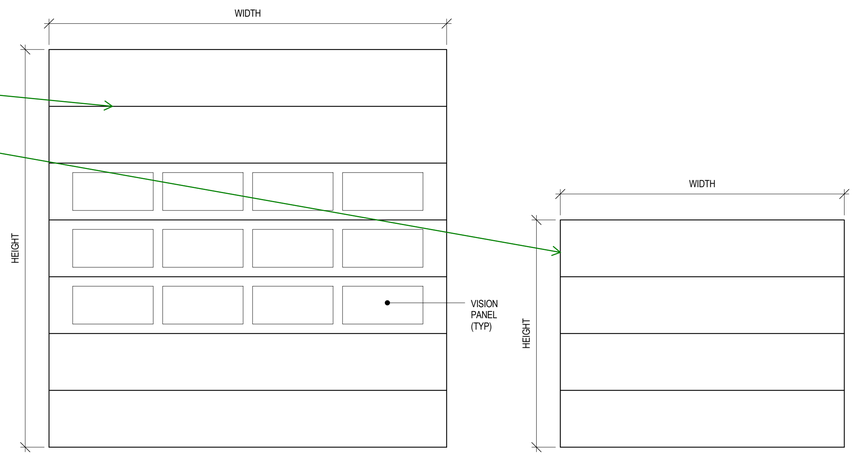
1 A701 FRAME TYPES

0' 2' 4'



2 A701 DOOR TYPES

0' 2' 4'



NOTE: T INDICATES TEMPERED GLASS

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Rapid City, South Dakota 57701
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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

DOOR SCHEDULE, FRAME, DOOR, WINDOW & SIGN TYPES

NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A701**

C:\REVIT PROJECTS\1443-CENTRAL.PARK.rvt

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

7/13/2015

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Two (2)

ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501

ARCHITECT'S PROJECT NO: 1443

DATE OF ISSUANCE: July 13, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

Add FLOOR PLAN – CASEMENT SWING as illustrated in the attached Sketch ASK-5 dated 7/13/15. This sketch is issued as a supplement to our response to RFI#011.

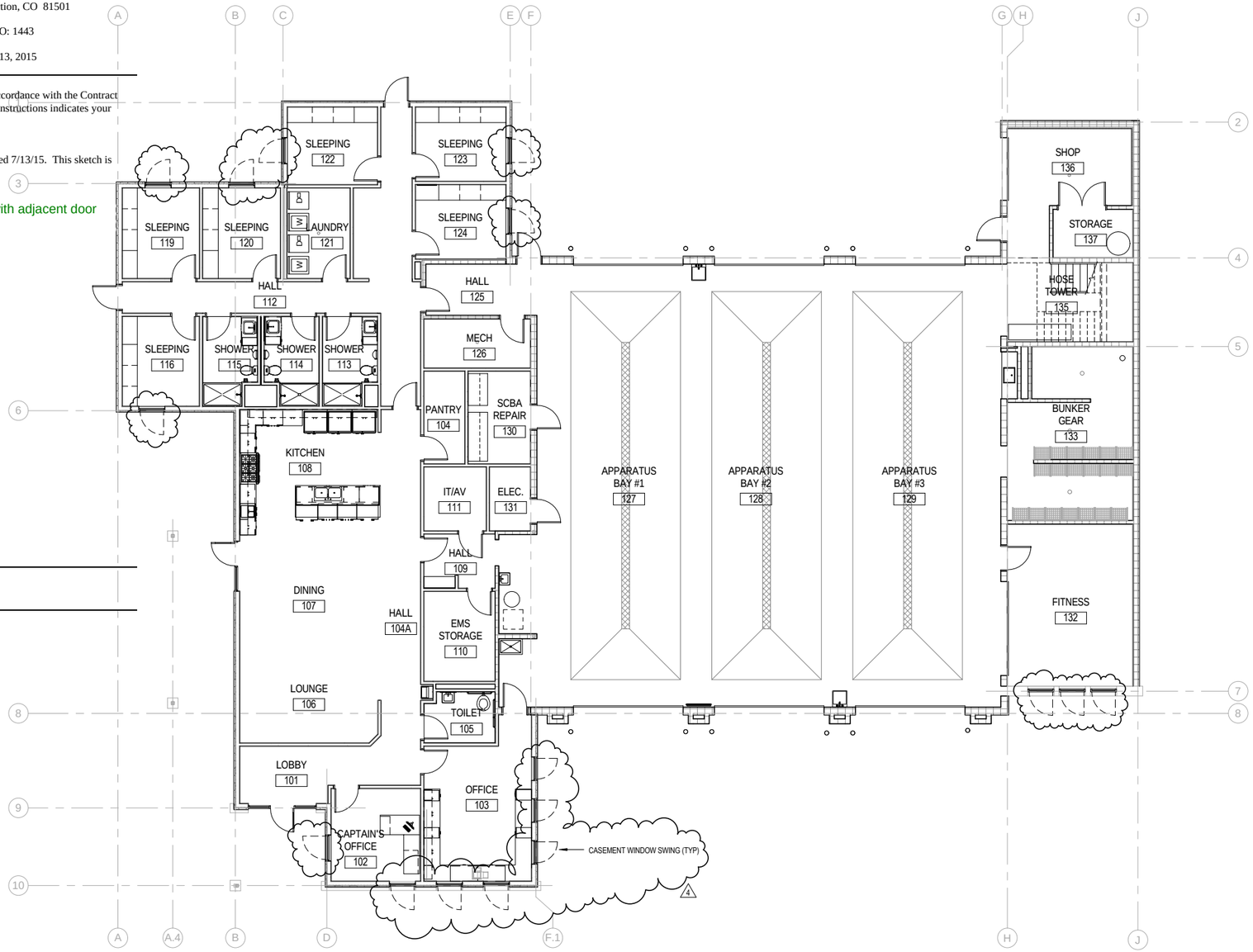
Add "limiting block" to keep window at Sleeping 124 from interfering with adjacent door swing and egress route.

Attachments: ASK-5

ARCHITECT: Chamberlin Architects, P.C.

BY: Jonathan West

S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI#002.1443.doc



1 ASK-5 FLOOR PLAN - CASEMENT SWING

C:\BIDIT Projects\1443 Jonathan\W.vir...

CHAMBERLIN ARCHITECTS

CHAMBERLIN ARCHITECTS

437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FLOOR PLAN - CASEMENT SWING

NO:	ISSUED FOR:	DATE:
1	ASI#002	7/13/15

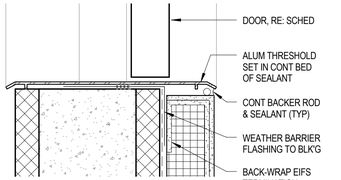
PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

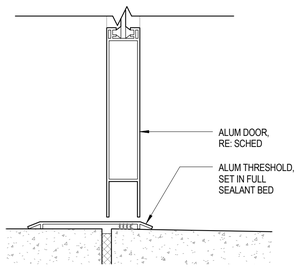
DATE: 05/27/2015 SHEET NO:

PROJECT NO: 1443

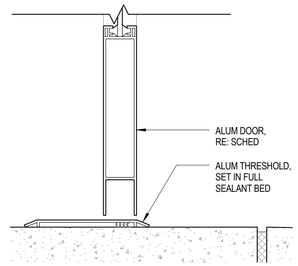
ASK-5



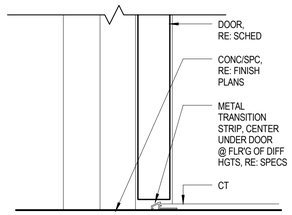
20 A702 DOOR THRESHOLD @ STAIR TOWER



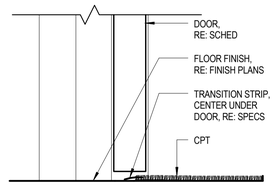
19 A702 THRESHOLD @ STOREFRONT B



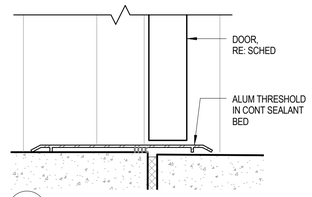
18 A702 THRESHOLD @ STOREFRONT A



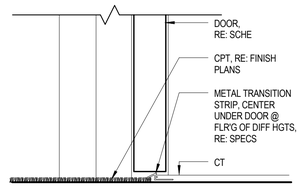
17 A702 THRESHOLD @ CT TO CONC/SPC



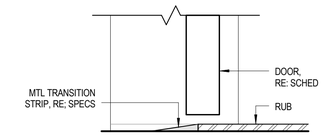
16 A702 THRESHOLD AT CPT TO CONC/SPC



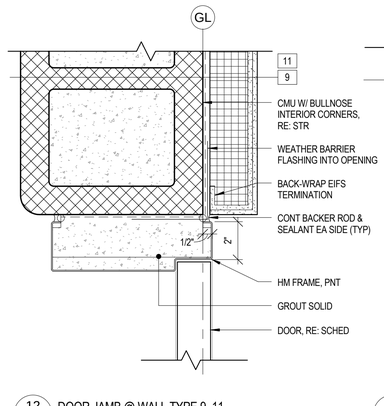
15 A702 DOOR THRESHOLD @ GRADE



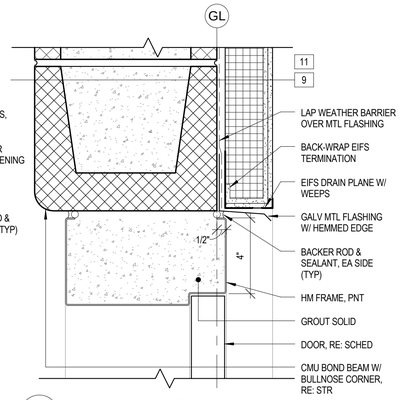
14 A702 THRESHOLD @ CT TO CPT



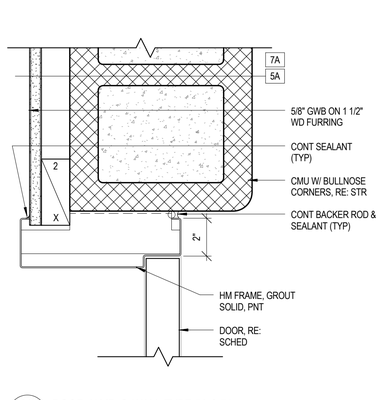
13 A702 THRESHOLD @ CONC TO RUB



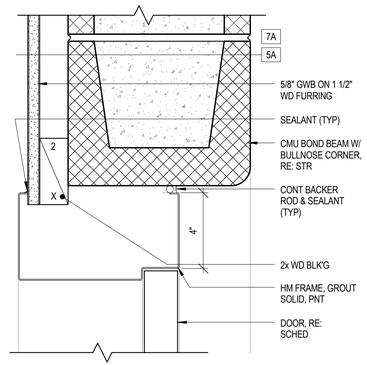
12 A702 DOOR JAMB @ WALL TYPE 9, 11



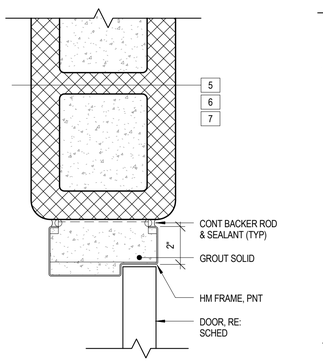
11 A702 DOOR HEAD @ WALL TYPE 9, 11



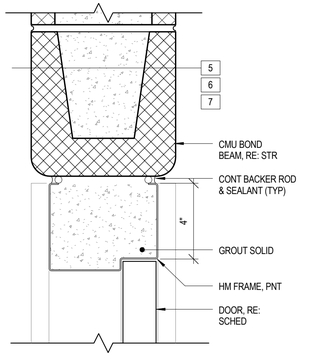
10 A702 DOOR JAMB @ WALL TYPE 5A & 7A



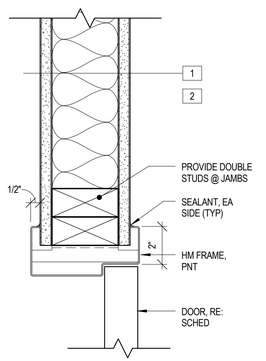
9 A702 DOOR HEAD @ WALL TYPE 5A & 7A



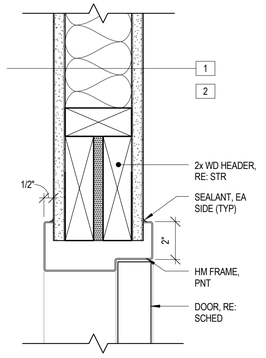
8 A702 INT DOOR JAMB @ CMU



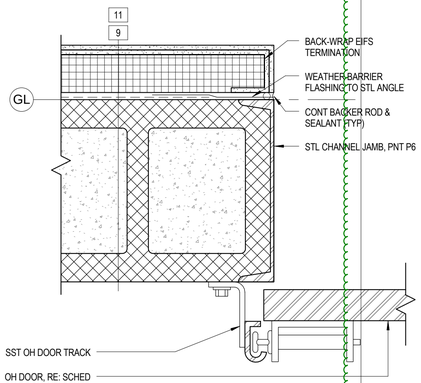
7 A702 INT DOOR HEAD @ CMU



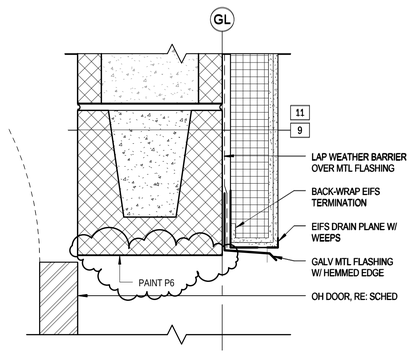
6 A702 INT DOOR JAMB @ WD STUDS



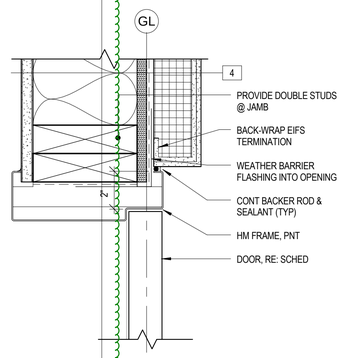
5 A702 INT DOOR HEAD @ WD STUDS



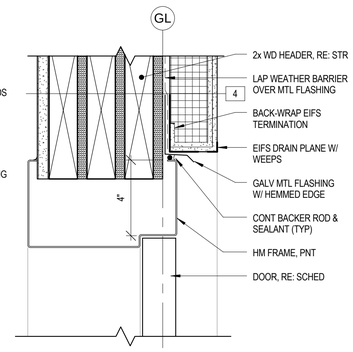
4 A702 OH DOOR JAMB DETAIL



3 A702 OH DOOR HEAD @ EIFS



2 A702 HM DOOR JAMB @ WALL TYPE 4



1 A702 HM DOOR HEAD @ WALL TYPE 4

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

DOOR DETAILS

NO:	ISSUED FOR:	DATE:

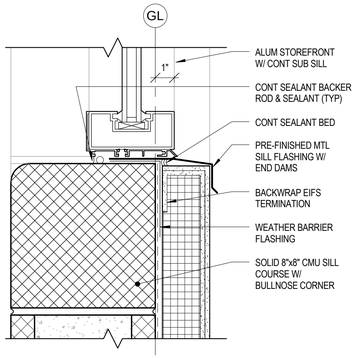
PROJECT STATUS: 100% CDs

DRAWN BY: Author CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

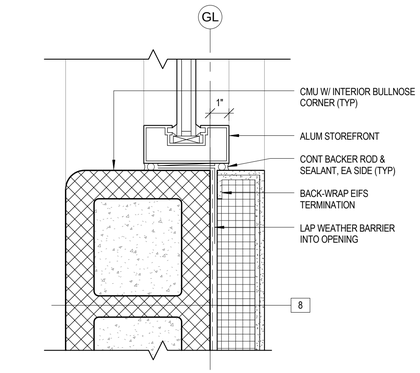
PROJECT NO: **1443** **A702**

4/10/2015 12:01:04 PM



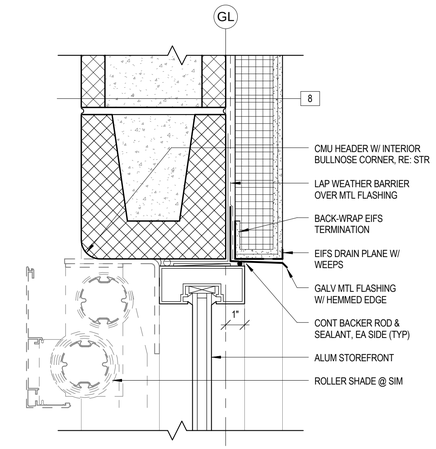
10 A721 WINDOW SILL DTL @ WALL TYPE 9

0' 3" 6"



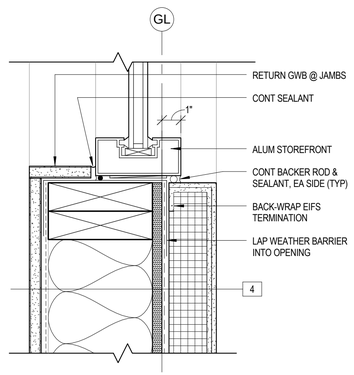
9 A721 WINDOW JAMB DTL @ WALL TYPE 9

0' 3" 6"



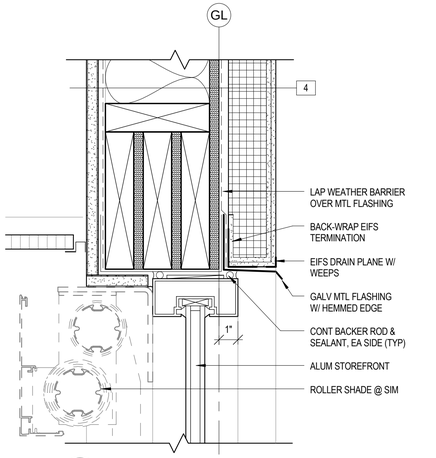
8 A721 WINDOW HEAD DTL @ WALL TYPE 9

0' 3" 6"



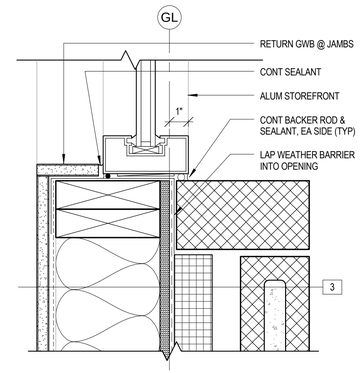
7 A721 WINDOW JAMB DTL @ WALL TYPE 4

0' 3" 6"



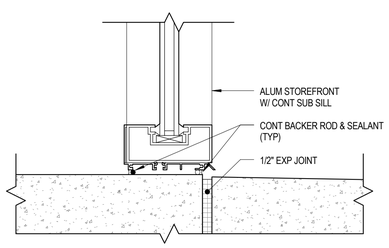
6 A721 WINDOW HEAD DTL @ WALL TYPE 4

0' 3" 6"



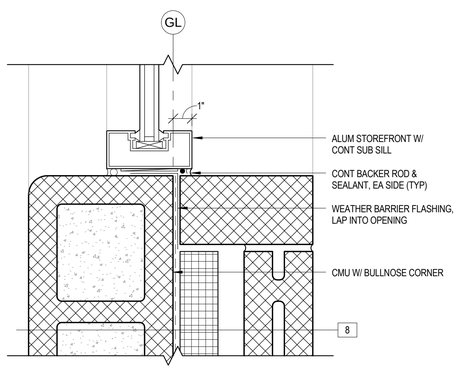
11 A721 WINDOW JAMB DETAIL @ WALL TYPE 3

0' 3" 6"



5 A721 STOREFRONT SILL DETAIL @ GRADE

0' 3" 6"



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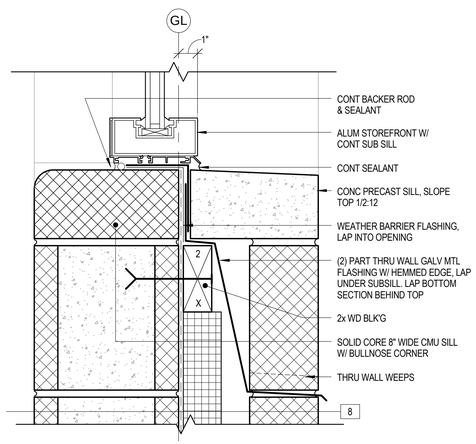

3 A721 WINDOW SILL DTL @ WALL TYPE 8

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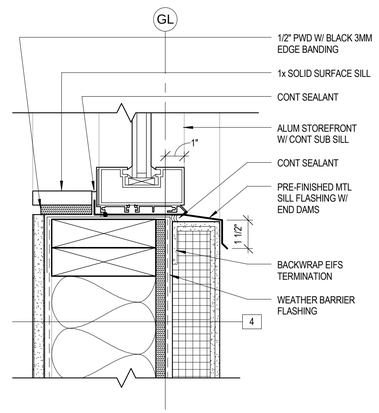
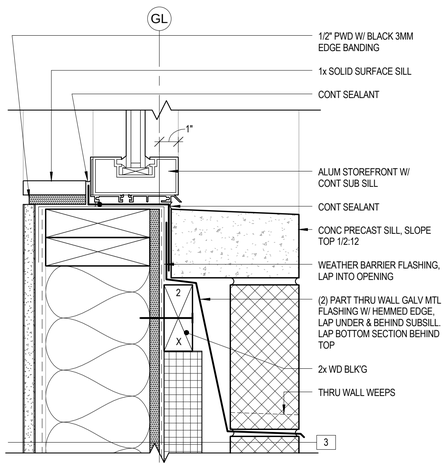


2 A721 WINDOW SILL DTL @ WALL TYPE 4

0' 3" 6"



1 A721 WINDOW SILL DTL @ WALL TYPE 3

0' 3" 6"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

WINDOW DETAILS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015** SHEET NO:

PROJECT NO: **1443** **A721**

4/10/2015 12:01:56 PM

COLOR REVIEW AND APPROVAL: THE COLOR SCHEDULES IN THE DRAWINGS INDICATE THE INITIAL COLOR SELECTIONS FOR THE PROJECT. BECAUSE OF THE POTENTIAL FOR PRODUCT SUBSTITUTIONS AND DISCONTINUATION OF COLORS, FINAL COLOR SELECTIONS WILL BE MADE BY THE ARCHITECT ONLY AFTER ALL COLOR SUBMITTALS HAVE BEEN RECEIVED FROM THE CONTRACTOR. SEE DIVISION 01 SPECIFICATIONS SECTION "SUBMITTAL PROCEDURES".

INTERIOR COLOR SCHEDULE

SPECIFICATION SECTION		ITEM	COLOR
NUMBER	TITLE		
03 3543	POLISHED CONCRETE FINISHING	SPC	RETROPLATE, AMERIPOLISH COLOR WALNUT
06 4023	INTERIOR ARCHITECTURAL MILLOWRK	PLAM 1	WILSON ART, HARVEST MAPLE 7953-38
06 4023	INTERIOR ARCHITECTURAL MILLOWRK	PLAM 2	WILSON ART, WAREHOUSE OAK 7969-12
08 1113	HOLLOW METAL DOORS AND FRAMES	P4	SW7026 GRIFFIN
08 1416	FLUSH WOOD DOORS		PLAIN SLICED CHERRY, MATCH ARCH SAMPLE
09 3000	TILING	CT1 - FLOOR TILE	DALTILE PLAZA NOVA BROWN VISION PN96
09 3000	TILING	CT2 - WALL TILE	DALTILE PLAZA NOVA WHITE IMAGE PN94
09 3000	TILING	CT3 - ACCENT TILE	DALTILE COLOR WAVE BLOCK, AUTUMN TRAIL
09 3000	TILING	WALL GROUT	MAPEI 14 BISCUIT
09 3000	TILING	FLOOR GROUT	MAPEI 09 GRAY
09 5113	ACOUSTICAL PANEL CEILINGS	GRID & TILE	WHITE
09 6513	RESILIENT BASE AND ACCESSORIES	RUBBER BASE	ROPPE 194 BURNT UMBER
09 6816	SHEET CARPETING	CPT	MANNINGTON SOCIAL, COLOR LINKED
09 9000	PAINTING	P-1 - WALL COLOR	SW7045 WORDLY GRAY
09 9000	PAINTING	P-2 - CEILING COLOR	SW7042 SHOJI WHITE
09 9000	PAINTING	P-3 - ACCENT COLOR	SW0014 SHERATON SAGE
09 9000	PAINTING	P-4 - DOOR FRAMES	SW7026 GRIFFIN
09 9000	PAINTING	P-5 - STEEL BOLLARDS	SW6991 BLACK MAGIC
09 9000	PAINTING	P-6 - STEEL CHANNEL JAMBS	SW6106 KILIM BEIGE
10 1400	SIGNAGE	TEXT	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS
10 1400	SIGNAGE	BACKGROUND	WILSON ART HARVEST MAPLE 7953-58
10 1400	SIGNAGE	ACCENT BAR	ANNODIZED ALUMINUM
10 2600	WALL & DOOR PROTECTION	CORNER GUARDS	SST
12 2413	ROLLER WINDOW SHADES	LIGHT FILTERING	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS
12 2413	ROLLER WINDOW SHADES	BLACKOUT	TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS
12 3661	STONE COUNTERTOPS	SOLID SURFACE - SS	CORAIN COTTAGE LANE

EXTERIOR COLOR SCHEDULE

SPECIFICATION SECTION		ITEM	COLOR
NUMBER	TITLE		
03 3000	CAST IN PLACE CONCRETE	SITE CONCRETE	GRAY
04 2200	CONCRETE UNIT MASONRY	CMU-A	B
04 2200	CONCRETE UNIT MASONRY	MORTAR	INTEGRAL COLOR, TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS
04 7200	CAST STONE MASONRY	SILLS & CAPS	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS
05 5000	METAL FABRICATIONS	STEEL HANDRAILS	TBD
07 2413	EXTERIOR INSULATION AND FINISH SYSTEMS	EIFS, COLOR-1	DRYVIT #103 NATURAL WHITE
07 3113	ASPHALT SHINGLES	SHINGLES	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS
07 4213.53	METAL SOFFIT PANELS	METAL SOFFIT PANEL	ALUMINUM DARK BRONZE
07 6200	SHEET METAL FLASHING AND TRIM	FASCIA A	ALUMINUM DARK BRONZE
07 6200	SHEET METAL FLASHING AND TRIM	FASCIA B	COLONIAL RED
07 9200	JOINT SEALERS	CMU CONTROL JOINT	MATCH MORTAR
07 9200	JOINT SEALERS	STOREFRONT TO EIFS JOINTS	MATCH STORERONT
07 9200	JOINT SEALERS	METAL PANEL TO EIFS JOINTS	MATCH METAL PANELS
07 9200	JOINT SEALERS	CMU TO METAL PANEL JOINTS	MATCH MORTAR
08 1113	HOLLOW METAL DOORS AND FRAMES	DOORS	MATCH ALUMINUM STOREFRONT FRAMING
08 1113	HOLLOW METAL DOORS AND FRAMES	FRAMES	MATCH ALUMINUM STOREFRONT FRAMING
08 3613	SECTIONAL DOORS	DOORS	RAL 3001
08 4113	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS	STOREFRONT FRAMING	DARK BRONZE ANNODIZED
08 7100	DOOR HARDWARE	DOOR HARDWARE	SEE SPECIFICATION SECTION 08 7100
08 8000	GLAZING	GLASS TYPE 1	SEE SPECIFICATION SECTION 08 8000
09 9600	HIGH PERFORMANCE COATINGS	EXTERIOR STEEL	MATCH ALUMINUM STOREFRONT FRAMING
10 1400	SIGNAGE	EXTERIOR CAST ALUMINUM LETTERS	DARK BRONZE ANNODIZED
10 7500	FLAGPOLES	FLAGPOLE	DARK BRONZE ANNODIZED

ADD 1.26 — Sheet A741, Exterior Color Schedule, 04 2200 Concrete Unit Masonry, CMU-A: Change color to read, "Buehner Block, Color Parchment (Ground-Face) or approved equal by Brickyard".

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4
OWNER: City of Grand Junction
TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: One (1)
ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501
ARCHITECT'S PROJECT NO: 1443
DATE OF ISSUANCE: June 5, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

Sheet A161, Interior Finish Plan: where "sealed concrete" is called out, provide Ashford Formula by Curecrete Distribution, Inc. or approved equal. Comply with manufacturer's installation procedures.

Attachments: none

ARCHITECT: Chamberlin Architects, P.C.
BY: Jonathan West

S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI0001-1443.doc

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4
OWNER: City of Grand Junction
TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Eight (8)
ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501
ARCHITECT'S PROJECT NO: 1443
DATE OF ISSUANCE: October 12, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

1. Sheet A161, Finish Plan: Change accent color designation in Sleeping room finish tag from 'P2' to 'P3'.
2. Detail 3/A702, change per attached sketch ASK15.
3. Sheet A741, Interior color schedule:
   a. Change P5 Steel Bollards to ~~Rustic Red SW7593~~ SW6991 Black Magic
   b. Change P6 Steel Channel Jambs to ~~Rustic Red SW7593~~

Attachments: ASK 15

ARCHITECT: Chamberlin Architects, P.C.
BY: Casey Sirvila

S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI0008.1443.doc

CHAMBERLIN ARCHITECTS

437 Main St.
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725 Saint Joseph St., Suite B1
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T 605.355.6804

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

COLOR SCHEDULE

NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CDs

DRAWN BY: JW CHECKED BY: Checker

DATE: **04/10/2015**

SHEET NO: **A741**

PROJECT NO: **1443**

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ABBREVIATIONS

A.B.	-ANCHOR BOLT	F.O.B.	-FACE OF BRICK	P.T.	-PRESSURE TREATED
ADD'L	-ADDITIONAL	F.O. CONC.	-FACE OF CONCRETE	R.	-RADIUS
ADJ.	-ADJACENT	F.O.W.	-FACE OF WALL	REINF.	-REINFORCEMENT
A.I.S.C.	-AMERICAN INSTITUTE OF STEEL CONSTRUCTION	FS.	-FLAT SLAB	REQ'D	-REQUIRED
		FT.	-FOOT	RM.	-ROOM
ALT.	-ALTERNATE	FTG.	-FOOTING	SCHED.	-SCHEDULE
ARCH.	-ARCHITECTURAL	F.W.	-FILLET WELD	SECT.	-SECTION
A.S.T.M.	-AMERICAN SOCIETY FOR TESTING & MATERIALS	GA.	-GAUGE	SHT.	-SHEET
		GAL.	-GALVANIZED	s.d.l.	-SUPERIMPOSED DEAD LOAD
BLDG.	-BUILDING	G.L.	-BLU-LAM BEAM	SIM.	-SIMILAR
BM.	-BEAM	GR.	-GRADE	s.l.	-SNOW LOAD
B.O.	-BOTTOM OF	GR. BM.	-GRADE BEAM	S.L.V.	-SHORT LEG VERTICAL
BOT.	-BOTTOM	H.A.S.	-HEADED ANCHOR STUD	SPC.	-SPACE
BSMT.	-BASEMENT	H.D.G.	-HOT DIPPED GALVANIZED	SPEC.	-SPECIFICATION
BTWN.	-BETWEEN	HORIZ.	-HORIZONTAL	SQ.	-SQUARE
CANT.	-CANTILEVER	H.S.B.	-HIGH STRENGTH BOLT	STD.	-STANDARD
CB.	-CARDBOARD	HSS	-HOLLOW STRUCTURAL SECTION	STIFF.	-STIFFENER
CH.	-CHAMFER	I.D.	-INSIDE DIAMETER	STL.	-STEEL
C.J.	-CONTROL/CONSTRUCTION JOINT	I.F.	-INSIDE FACE	STOR.	-STORAGE
CJP	-COMPLETE JOINT PENETRATION	IN.	-INCH	SYM.	-SYMMETRICAL
CLR.	-CLEAR, CLEARANCE	INT.	-INTERIOR	T.&B.	-TOP & BOTTOM
C.M.U.	-CONCRETE MASONRY UNIT	JNT.	-JOINT	THK.	-THICKNESS
COL.	-COLUMN	K	-KIP (1,000 lbs.)	T.O.	-TOP OF
CONC.	-CONCRETE	K.C.I.	-KIP PER CUBIC INCH	TYP.	-TYPICAL
CONN.	-CONNECTION	LB.	-POUND	U.N.O.	-UNLESS NOTED OTHERWISE
CONST.	-CONSTRUCTION	LIN. FT.	-LINEAL FEET	VAR.	-VARIES
CONT.	-CONTINUOUS	l.l.	-LIVE LOAD	VERT.	-VERTICAL
CONTR.	-CONTRACTOR	L.L.V.	-LONG LEG VERTICAL	V.I.F.	-VERIFY IN FIELD
CTRD.	-CENTERED	L.S.L.	-LAMINATED STRAND LUMBER	WT.	-WEIGHT
C.W.	-CURTAIN WALL	L.V.L.	-LAMINATED VENEER LUMBER		
DET.	-DETAIL	MAT'L.	-MATERIAL		
DIAG.	-DIAGONAL	MAX.	-MAXIMUM		
DIAM.	-DIAMETER	MECH.	-MECHANICAL		
DIM.	-DIMENSION	MID.	-MIDDLE		
DISCONT.	-DISCONTINUOUS	MIN.	-MINIMUM		
d.l.	-DEAD LOAD	MISC.	-MISCELLANEOUS		
DWG.	-DRAWING	MTL.	-METAL		
EA.	-EACH	N.I.C.	-NOT IN CONTRACT		
E.F.	-EACH FACE	NO.	-NUMBER		
EL.	-ELEVATION	NOM.	-NOMINAL		
ELECT.	-ELECTRICAL	N.T.S.	-NOT TO SCALE		
ELEV.	-ELEVATOR	O.C.	-ON CENTER		
EQ.	-EQUAL	O.F.	-OUTSIDE FACE		
E.W.B.	-END WALL BARS	O.D.	-OUTSIDE DIAMETER		
E.W.	-EACH WAY	O.H.	-OPPOSITE HAND		
EXIST.	-EXISTING	OPNG.	-OPENING		
EXP. JNT.	-EXPANSION JOINT	P.A.F.	-POWDER ACTUATED FASTENERS		
EXT.	-EXTERIOR	PL	-PLATE		
FDN.	-FOUNDATION	P.S.F.	-POUND PER SQUARE FOOT		
FIN.	-FINISH	P.S.I.	-POUND PER SQUARE INCH		
FLR.	-FLOOR	P.S.L.	-PARALLEL STRAND LUMBER		

SYMBOLS

Ç	CENTER LINE
ø	DIAMETER
	ELEVATION
&	AND
W/	WITH
PL	PLATE
X	BY
#	NUMBER
@	AT
□	SQUARE
L	ANGLE

X — FOOTING TYPE

P-X — PILASTER TYPE

GENERAL NOTES CONT.

3. STEEL:
   A. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 (Fy = 50 ksi).
   B. ALL STRUCTURAL STEEL ANGLES, CHANNELS, S SHAPES, AND PLATES SHALL CONFORM TO ASTM 36 (FY = 36 ksi)
   C. ALL RECTANGULAR OR SQUARE HSS (HOLLOW STRUCTURAL SECTIONS) MEMBERS SHALL CONFORM TO ASTM A500 (GRADE B). ALL ROUND HSS MEMBERS SHALL CONFORM TO ASTM A53 (GRADE B) OR A500 (GRADE B), LATEST EDITIONS.
   D. STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISION OF THE A.I.S.C. STEEL CONSTRUCTION MANUAL.
   E. USE FRAMED BEAM CONNECTIONS WITH 3/4" DIAMETER ASTM A325 BOLTS, OR WELDED EQUIVALENT, UNLESS OTHERWISE SHOWN OR NOTED, (2) BOLT MIN. STEEL FABRICATOR SHALL PROVIDE SHOP DRAWINGS WITH DETAILED CONNECTIONS THAT HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 10 OF THE AISC MANUAL OF STEEL CONSTRUCTION, LATEST EDITION. FOR BEAMS WITHOUT DESIGNATED LOADS ON DRAWINGS, USE 8k MINIMUM EACH END. IF TWO SYMBOLS ARE SHOWN, THEY DENOTE CONNECTION REQUIRED AT CORRESPONDING END. IF ONLY ONE SYMBOL IS SHOWN, IT DENOTES CONNECTION REQUIRED AT EACH END OF BEAM.
   F. STEEL ROOF DECK:
      (1) STEEL DECK SHALL BE ERECTED IN ACCORDANCE WITH MANUFACTURER'S SUGGESTED SPECIFICATIONS.
      (2) STEEL ROOF DECK SHALL CONFORM TO ASTM A1008 AND SHALL HAVE A MINIMUM YIELD STRENGTH Fy = 33 KSI. SEE THE DECK SCHEDULE ON SHEET S204.
      (3) DECK TO BE CONTINUOUS OVER A MINIMUM OF 3 SUPPORTS. UNLESS OTHERWISE SHOWN.
      (4) WELD DECK TO ALL SUPPORTS WITH PUDDLE WELDS. DECK MUST BE CAPABLE OF WITHSTANDING A DIAPHRAGM SHEAR NOTED IN THE DECK SCHEDULE. CONNECT PANEL SEAMS WITH SELF-TAPPING SCREWS, PUDDLE WELDS, OR BUTTON PUNCHES AS INDICATED IN THE DECK SCHEDULE. SUBMIT TEST DATA FROM DECK MANUFACTURER FOR DECK SELECTED TO SUBSTANTIATE THAT DECK WILL MEET OR EXCEED REQUIRED DIAPHRAGM SHEAR.
      (5) PROVIDE L3 x 3 x 1/4 FRAMING AROUND ALL OPENINGS LARGER THAN 6".
   G. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE A.W.S. STANDARD QUALIFICATION TESTS
   H. SEE ARCHITECTURAL DRAWINGS FOR NAILER HOLES OR OTHER HOLES REQUIRED IN STEEL MEMBERS.

4. MASONRY:
   A. ALL REINFORCING IN MASONRY WALLS SHALL CONFORM TO ASTM A615, GRADE 60 AND SHALL BE FULLY ENCLOSED WITH GROUT. USE PEA GRAVEL WITH fc = 3,000 PSI.
   B. CONCRETE MASONRY SHALL CONSIST OF LIGHTWEIGHT CONCRETE BLOCK WITH A COMPRESSIVE STRENGTH OF 1,900 PSI.
   C. FILL ALL VOIDS AND BLOCK CELLS SOLID WITH MORTAR FOR A DISTANCE OF 24" BENEATH AND 12" EACH SIDE OF ALL BEAM REACTIONS OR OTHER CONCENTRATED LOADS, UNLESS OTHERWISE SHOWN OR NOTED.
   D. MASONRY IS TO BE LAID IN TYPE "M" OR "S" MORTAR IN ACCORDANCE WITH SECTION 2103 OF THE INTERNATIONAL BUILDING CODE. TYPE "N" MASONRY CEMENT MORTAR IS NOT ACCEPTABLE.
   E. MASONRY WALLS MUST BE ADEQUATELY BRACED DURING CONSTRUCTION TO WITHSTAND WIND AND SEISMIC LOADS. BRACING MUST REMAIN IN PLACE UNTIL ROOF (AND FLOOR) DIAPHRAGMS ARE FULLY CAPABLE OF PROVIDING LATERAL SUPPORT.

5. WOOD:
   A. ALL BEAMS AND HEADERS 2 TO 4 INCHES THICK SHALL BE HEM-FIR NO. 2 AND BETTER WITH Fb = 850 PSI AND E = 1,300,000 PSI.
   B. ALL BEAMS 5" AND THICKER SHALL BE HEM-FIR NO. 2 WITH Fb = 850 PSI AND E = 1,300,000 PSI.
   C. ALL POSTS AND COLUMNS 5" AND THICKER SHALL BE HEM-FIR NO. 2 WITH Fb = 850 PSI AND E = 1,300,000 PSI.
   D. STUDS AND PLATES SHALL BE HEM-FIR IN STUD GRADE WITH Fb = 800 PSI AND E = 1,200,000 PSI.
   E. LAMINATED VENEER LUMBER (L.V.L.) SHALL BE "MICRO-LAM" OR AN APPROVED EQUAL WITH Fb = 2,600 PSI AND E = 1,900,000 PSI.
   F. GLUE LAMINATED BEAMS:
      (1) ALL LAMINATED MEMBERS SHALL BE FABRICATED WITH ONE OF THE FOLLOWING SPECIES: DOUGLAS FIR, HEMLOCK, LARCH, OR SOUTHERN PINE.
      (2) LAMINATED MEMBERS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE DESIGN AND FABRICATION OF STRUCTURAL GLUED LAMINATED LUMBER. PUBLISHED BY THE A.I.T.C. AND THE APPROPRIATE LUMBER PRODUCER'S ASSOCIATION.
      (3) LAMINATED MEMBERS SHALL BE FABRICATED AS FOLLOWS:
         a. BEAMS:
            SIMPLE SPAN ----------24F-V4
            CONTINUOUS AND CANTILEVERS ----------24F-V8
         b. COLUMNS:
            COMBINATION SYMBOL ----------4
      (4) LAMINATED MEMBERS SHALL BE BUILT UP USING 2" NOMINAL MATERIAL. LAMINATED MEMBER SIZES NOTED ARE NET.
      (5) MEMBERS EXPOSED TO VIEW SHALL BE FURNISHED IN "ARCHITECTURAL" APPEARANCE GRADE. MEMBERS TO BE CONCEALED BY FINISH MATERIALS OR CEILINGS MAY BE "INDUSTRIAL" GRADE.
      (6) ADHESIVES USED SHALL COMPLY WITH THE SPECIFICATIONS AS CONTAINED IN VOLUNTARY PRODUCT STANDARD PS56-73, STRUCTURAL GLUED LAMINATED TIMBER. WET-USE ADHESIVES ARE TO BE USED FOR ALL MEMBERS EXPOSED TO THE WEATHER.
   G. BUILT UP BEAMS OF DIMENSIONAL LUMBER OR LAMINATED VENEER LUMBER SHALL BE ATTACHED TOGETHER WITH 16d COMMON NAILS @ 32" O.C. TOP AND BOTTOM, STAGGERED. PROVIDE 2-16d COMMON NAILS AT BEAM ENDS AND INTERMEDIATE SUPPORTS.
   H. LAMINATED STRAND LUMBER (L.S.L.) RIM BOARDS SHALL BE "TIMBERSTRAND" BY TRUS-JOIST OR AN APPROVED EQUAL WITH Fb = 1,700 PSI AND E = 1,300,000 PSI.

6. FOUNDATIONS:
   FOUNDATION DESIGN IS BASED ON RECOMMENDATIONS BY HUDDLESTON BERRY ENGINEERING AND TESTING, L.L.C., JOB #00390-0003. RECOMMENDATIONS IN THIS REPORT SHOULD BE FOLLOWED.
      A. ALLOWABLE SOIL BEARING PRESSURE----------1,500 PSF
   SOILS ENGINEER OF RECORD SHALL EXAMINE THE EXCAVATION TO VERIFY SOIL CONDITIONS AND BEARING CAPCITIES PRIOR TO CONSTRUCTION.

7. SPECIAL INSPECTIONS:
   A. SPECIAL INSPECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SCHEDULE ON SHEET S101.

8. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

9. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF, AND WALLS WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.

GENERAL NOTES

1. LIVE LOADS USED IN DESIGN:
   A. ROOF:
      FLAT ROOF SNOW LOAD Pf----------30 PSF
      GROUND SNOW LOAD Pg----------36 PSF
      SNOW EXPOSURE FACTOR Ce----------1.0
      SNOW LOAD IMPORTANCE FACTOR Is----------1.2
      THERMAL FACTOR Ct----------1.0
   C. STORAGE ROOMS ----------125 PSF
   D. STAIRS----------100 PSF
   E. WIND:
      EXPOSURE ----------C
      RISK CATEGORY ----------IV
      V ULT. ----------120 MPH
      V ASD ---------- 93 MPH
      COMPONENTS AND CLADDING (BASED ON EFFECTIVE AREA = 18 SQ. FT.)
      TYPICAL WALL AREA (INWARD PRESSURE) ----------16 PSF
      TYPICAL WALL AREA (OUTWARD PRESSURE) ----------16 PSF
      WALL CORNERS (OUTWARD PRESSURE) ----------20 PSF
      TYPICAL ROOF AREA (OUTWARD PRESSURE) ----------22 PSF
      ROOF EAVES, RAKES, RIDGES & CORNERS (OUTWARD PRESSURE) ----------31 PSF
      PARAPETS (INWARD OR OUTWARD PRESSURE) ----------29 PSF
   F. SEISMIC:
      RISK CATEGORY ----------IV
      IMPORTANCE FACTOR (Ie) ----------1.50
      R COEFFICIENT:
         APPARATUS BAY----------2.00
         LIVING QUARTERS AND OFFICES----------6.50
      SPECTRAL RESPONSE COEFFICIENTS:
      Ss ----------0.237
      S1 ----------0.070
      SDS ----------0.253
      SD1 ----------0.112
      SEISMIC RESPONSE COEFFICIENTS:
      Cs ----------0.19
      SITE CLASS ----------D
      SEISMIC DESIGN CATEGORY ----------C
      BASIC SEISMIC:
      FORCE RESISTING SYSTEM:
         APPARATUS BAY AND LOCKER ROOMS----------ORDINARY REINFORCED MASONRY SHEAR WALLS
         LIVING QUARTERS AND OFFICES----------WOOD STRUCTURAL PANEL SHEAR WALLS
      DESIGN BASE SHEAR----------140K
      ANALYSIS PROCEDURE ----------EQUIVALENT LATERAL FORCE PROCEDURE

2. CONCRETE:
   A. CONCRETE MIX TABLE (NORMAL WEIGHT CONCRETE):

INTENDED USE	28 DAY STRENGTH F'C (KSI)	MAX W.C. (INCLUDING FLY ASH)	MAX AGGR. (IN) (1)	SLUMP LIMITS (IN)	TOTAL AIR LIMITS (%) (2)	CEMENT TYPE	CONCRETE TYPE NORMAL WEIGHT-NW LIGHT WEIGHT-LW	REQ'D ADMIXTURES (3)	OTHER REQUIREMENTS (4)
STEMWALLS, PILASTERS & FOOTINGS	4	0.45	3/4	4	6	II	NW	AE	FAR
INTERIOR SLABS ON GRADE	3.5	0.45	1 1/2	4	N	II	NW	--	SOG

NOTES:
   (1) FOR THE MAXIMUM COARSE AGGREGATE SIZE INDICATED, USE THE FOLLOWING AGGREGATE SIZE NUMBERS PER ASTM C33:
      3/4" - #67 AGGREGATE
      1" - #57 AGGREGATE
   (2) TOTAL AIR CONTENT LIMITS INCLUDE BOTH ENTRAINED AND ENTRAPPED AIR +/- 1 1/2%. 'N' IN COLUMN INDICATES ADDITION OF ENTRAINED AIR IS NOT PERMITTED.
   (3) ABBREVIATIONS FOR REQUIRED ADMIXTURES AS FOLLOWS:
      AE = AIR-ENTRAINING ADMIXTURE. DO NOT USE ENTRAINED AIR FOR STEEL TROWELED FINISHED FLOORS.
      WRA = WATER REDUCING ADMIXTURE.
   (4) ABBREVIATIONS FOR OTHER REQUIREMENTS AS FOLLOWS:
      FAR = 20% CLASS F FLY ASH REQUIRED.
      SOG = CONTRACTOR TO VERIFY ALKALINITY OF CONCRETE SURFACE, SLAB VAPOR TRANSMISSION, AND SLAB FLATNESS/LEVELNESS ARE COMPATIBLE WITH FLOORING SYSTEM AND ADHESIVES PRIOR TO INSTALLING FLOORING. AMOUNT OF CEMENTITIOUS MATERIALS LISTED SHALL BE PROVIDED, DO NOT USE LESS AND DO NOT SUPPLY OVER 5% MORE.
   (5) FOR CONCRETE PLACED BY PUMPING, PROVIDE CONCRETE MIX FLOWABILITY TO FACILITY PUMPING.

B. ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, EXCEPT COLUMN TIES, BEAM STIRRUPS, AND DOWELS TO SLAB ON GRADE WHICH MAY BE GRADE 40.
C. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAIL OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 40 BAR DIAMETERS UNLESS OTHERWISE SHOWN OR NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
D. STAGGER SPLICES A MINIMUM OF 4'-0" FOR TOP AND BOTTOM CONTINUOUS BARS IN FOUNDATIONS, UNLESS OTHERWISE SHOWN OR NOTED.
E. DETAIL BARS IN ACCORDANCE WITH A.C.I. DETAILING MANUAL AND A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITIONS.
F. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING (INCLUDING W.W.F.) AT POSITIONS SHOWN ON THE DRAWINGS. DO NOT ATTEMPT TO POSITION ANY REINFORCEMENT BY LIFTING DURING CONCRETE PLACEMENT.
G. REINFORCEMENT PROTECTION SHALL BE AS FOLLOWS:
      (1) CONCRETE POURED AGAINST EARTH----------3"
      (2) FORMED CONCRETE EXPOSED TO EARTH OR WEATHER----------2"
      (3) FORMED STAIRS OR WALLS NOT EXPOSED TO WEATHER----------3/4"
H. PLACE 2-#5 (ONE EACH FACE) WITH 2'-0 PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS OTHERWISE SHOWN OR NOTED.
I. SLABS, BEAMS, AND GRADE BEAMS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT MIDDLE OF SPAN WITH VERTICAL BULKHEADS AND KEYS AS SHOWN PER THE TYPICAL CONCRETE WALL CONSTRUCTION JOINT DETAIL. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
J. WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH +2" AT SIDE AND END LAPS, AND SHALL BE TIED TOGETHER.

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CHAMBERLIN ARCHITECTS

437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

Lindauer•Dunn, Inc.
STRUCTURAL ENGINEERS

802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

GENERAL NOTES

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: KDN CHECKED BY: JAD

DATE: **04/10/15** SHEET NO: **S100**

PROJECT NO: **14.108**

SPECIAL INSPECTIONS:
A. SPECIAL INSPECTIONS SHALL COMPLY WITH CHAPTER 17 OF THE 2012 I.B.C.
B. STATEMENT OF REQUIRED SPECIAL INSPECTIONS:

SYSTEM OF COMPONENT	VERIFICATION OF INSPECTION TASK	FREQUENCY (DURING TASK LISTED)		APPLICABLE CODE & SECTION FOR INSPECTION CRITERIA
		CONTINUOUS	PERIODIC	
1) SOILS	a) VERIFY SOILS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	--	X	--
	b) VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH & HAVE REACHED PROPER MATERIAL	--	X	--
	c) PERFORM CLASSIFICATION & TESTING OF CONTROLLED FILL MATERIALS	--	X	--
	d) VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT & COMPLETION OF CONTROLLED FILL	X	--	--
	e) OBSERVE SUBGRADE FOR PROPER PREPARATION BEFORE PLACEMENT OF CONTROLLED FILL	--	X	--
2) CONCRETE	a) INSPECT REINFORCING STEEL	--	X	ACI 318: 3.5, 7.1-7.7
	b) VERIFY USE OF REQUIRED DESIGN MIX	--	X	ACI 318: CH. 4, 5.2-5.4 IBC 1904.2
	c) INSPECT REINFORCING STEEL WELDING	--	X	AWS D1.4 ACI 318: 3.5.2
	d) FABRICATE TEST SPECIMENS FROM FRESH CONCRETE FOR STRENGTH TESTS, SLUMP & AIR CONTENT TESTS AND TO DETERMINE CONCRETE TEMPERATURE	X	--	ASTM C172 ASTM C31 ACI 318: 5.6, 5.8
	e) INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	X	--	ACI 318: 5.9, 5.10
	f) INSPECT FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE & TECHNIQUES	--	X	ACI 318: 5.11- 5.13
	g) INSPECT FORMWORK FOR SHAPE, LOCATION & DIMENSIONS OF CONCRETE MEMBERS BEING FORMED	--	X	ACI 318: 6.1.1
	h) INSPECT ANCHORS CAST INTO CONCRETE.	--	X	ACI 318: 8.1.3, 21.2.8 IBC 1908.5, 1909.1
	i) INSPECT ANCHORS POST-INSTALLED INTO HARDENED CONCRETE MEMBERS.	--	X	ACI 318: 3.8.6, 8.1.3, 21.2.8 IBC 1909.1
3) WOOD	a) INSPECT FABRICATED WOOD STRUCTURAL MEMBERS ASSEMBLED AT FABRICATOR'S SHOP OR PLANT.	--	X	--
	b) VERIFY MATERIAL SPECIES AND GRADES OF DIMENSIONAL LUMBER AND PLYWOOD OR O.S.B.	--	X	--
	c) VERIFY BOTTOM CHORD AND OTHER BRACING OF STRUCTURAL MEMBERS.	--	X	--
	d) INSPECT FOR PROPER FASTENING OF WOOD COMPONENTS.	--	X	IBC TABLE 2304.9.1
4) LATERAL BRACING SYSTEM	a) PERIODICALLY INSPECT NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS WITHIN WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, AND HOLDOWNS.	--	X	--
5) MASONRY	a) VERIFY f'm OF CONCRETE MASONRY UNITS PRIOR TO CONSTRUCTION.	--	X	ACI 530: Art 2.6A
	b) AS MASONRY CONSTRUCTION BEGINS VERIFY THE FOLLOWING TO ENSURE COMPLIANCE:			
	- PROPORTIONS OF SITE – PREPARED MORTAR	--	X	ACI 530: Art 1.4B
	- CONSTRUCTION OF MORTAR JOINTS	--	X	ACI 530: Art 3.3B
	- LOCATION OF REINFORCEMENT CONNECTORS & ANCHORAGES	--	X	ACI 530: Art 3.4, 3.6A
	c) THE INSPECTION PROGRAM SHALL VERIFY:			
	- SIZE & LOCATION OF STRUCTURAL ELEMENTS	--	X	ACI 530: Art 3.36
	- TYPE, SIZE & LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS	--	X	ACI 530: SECTION 1.22(e), 7.1.4, 3.1.6
	- SPECIFIED SIZE, GRADE, AND TYPE OF REINFORCEMENT	--	X	ACI 530: SECTION 1.13, Art 2.4, 3.4
	- WELDING OF REINFORCING BARS	X	--	ACI 530: SECTION 2.1.10.7.2, 3.3.34(B)
	- PROTECTION OF MASONRY DURING COLD WEATHER (TEMP. BELOW 40°F) OR HOT WEATHER (TEMP ABOVE 90°F)	--	X	IBC 2104.3, 2104.4 ACI 530 Art 1.8C, 1.8D
	d) PRIOR TO GROUTING, VERIFY THE FOLLOWING TO ENSURE COMPLIANCE:			
	- GROUT SPACE IS CLEAR	--	X	ACI 530: Art 3.2D
	- PLACEMENT OF REINFORCEMENT, CONNECTORS & ANCHORAGES	--	X	ACI 530: SECTION 1.13, Art 3.4
	- PROPORTIONS OF SITE PREPARED GROUT	--	X	ACI 530: Art 2.6B
	- CONSTRUCTION OF MORTAR JOINTS	--	X	ACI 530: Art 3.3B
	e) VERIFY GROUT PLACEMENT TO ENSURE COMPLIANCE WITH CODE & CONSTRUCTION DOCUMENT PROVISIONS	X	--	ACI 530: Art 3.5
	f) OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS	X	--	IBC 2105.2.2, 2105.3 ACI 530: Art 1.4
	g) VERIFY COMPLIANCE WITH INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND COMPLIANCE WITH THE APPROVED SUBMITTALS	--	X	ACI 530: Art 1.5
6) STEEL	a) MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS & WASHERS			
	- IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	APPLICABLE ASTM MATERIAL SPEC, AISC 360, SECTION A3.3
	- MANUFACTURER's CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--
	b) INSPECTION OF HIGH-STRENGTH BOLTING OF BEARING TYPE CONNECTIONS	--	X	AISC 360, SECTION M2.5 IBC SECTION 1704.3.3
	c) MATERIAL VERIFICATION OF STRUCTURAL STEEL:			
	- IDENTIFICATION MARKINGS TO CORFM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	ASTM A6 OR A568 IBC SECTION 1708.4
	- MANUFACTURER'S CERTIFIED MILL TEST REPORTS	--	X	ASTM A6 OR A568 IBC SECTION 1708.4
	d) MATERIAL VERIFICATION OF WELD FILLER MATERIALS:			
	- IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	AISC 360, SECTION A3.5
	- MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--
	e) INSPECTION OF WELDING			
	1) COMPLETE & PARTIAL PENETRATION GROOVE WELDS	X	--	AWS D1.1 AISC 360 N5.4-N5.5
	2) MULTI-PASS FILLET WELDS	X	--	AWS D1.1 AISC 360 N5.4-N5.5
	3) SINGLE PASS FILLET WELDS > 5/16"	X	--	AWS D1.1 AISC 360 N5.4-N5.5
	4) SINGLE PASS FILLET WELDS < 5/16"	--	X	AWS D1.1 AISC 360 N5.4-N5.5
	5) FLOOR & ROOF DECK WELDS	--	X	AWS D1.3
	f) STUD SHEAR CONNECTOR SIZES, SPACING, MATERIALS & QUANTITY	X	--	AISC 360, SECTION N6
	g) WELDING OF STUD SHEAR CONNECTORS	--	X	AWS D1.1
	h) INSPECT STEEL FRAME JOINT DETAILS FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS	--	X	AISC 360 N5.7
7) COLD-FORMED STEEL FRAMING	a) MATERIAL CERTIFICATION OF COLD FORMED STEEL:			
	- IDENTIFICATION MARKINGS TO CONFORM TO ASTM SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	A.1.S.I NAS-01
	- MANUFACTURER's CERTIFICATE OF COMPLIANCE REQUIRED	--	X	--
	b) VERIFY SIZES AND SPACING OF MEMBERS FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--
	c) VERIFY WELDS AND CONNECTORS FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--
	d) VERIFY POWDER DRIVEN FASTENER SPACING, SIZES AND INSTALLATION FOR COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS	--	X	--
8) STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL	a) MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK:			
	1) IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	--	X	APPLICABLE ASTM MATERIAL SPEC.
	2) MANUFACTURER'S CERTIFIED TEST REPORTS	--	X	--
	b) INSPECTION OF WELDING:			
	1) COLD-FORMED STEEL DECK:			
	a) FLOOR AND ROOF DECK WELDS	--	X	AWS D1.3
	2) REINFORCING STEEL			
	a) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A706	--	X	AWS D1.4 ACI 318: SECTION 3.5.2
	b) SHEAR REINFORCEMENT	X	--	AWS D1.4 ACI 318: SECTION 3.5.2
	c) OTHER REINFORCING STEEL	--	X	AWS D1.4 ACI 318: SECTION 3.5.2
9) SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE	a) STRUCTURAL STEEL			
	- INSPECTION OF STRUCTURAL STEEL ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM	--	X	AISC 341
	b) TESTING AND QUALIFICATION FOR SEISMIC RESISTANCE			
	- TEST STRUCTURAL STEEL ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM IN ACCORDANCE WITH AISC QUALITY ASSURANCE REQUIREMENTS	--	X	AISC 341
	- VERIFY STEEL REINFORCEMENT USED IN CONCRETE ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM BY CERTIFIED MILL TEST REPORTS FOR EACH SHIPMENT OF REINFORCEMENT	--	X	ACI 318, SECTION 21.1.5.2
	- FOR WELDED REINFORCING STEEL OTHER THAN ASTM A706 IN CONCRETE ELEMENTS OF THE SEISMIC FORCE RESISTING SYSTEM, PERFORM CHEMICAL TESTS TO VERIFY WELDABILITY	--	X	ACI 318, SECTION 3.5.2
	c) INSPECTION AND SEISMIC CERTIFICATION OF NON-STRUCTURAL COMPONENTS			
	1) INSPECT INSTALLATION AND ANCHORAGE OF MECHANICAL AND ELECTRICAL COMPONENTS REQUIRING ANCHORAGE AGAINST SEISMIC FORCES	--	X	IBC SECTION 1705.11.6, ASCE 7, SECTION 13.6
	2) CERTIFY BY TESTING OR EXPERIENCE DATA THAT MECHANICAL AND ELECTRICAL EQUIPMENT WILL REMAIN OPERABLE FOLLOWING THE DESIGN SEISMIC GROUND MOTION	--	X	IBC SECTION 1705.11.4, IBC SECTION 1705.12.3
	a) FOR SYSTEMS REQUIRING SEISMIC CERTIFICATION, VERIFY THAT LABELS, ANCHORAGE, OR MOUNTING CONFORM TO THE CERTIFICATE OF COMPLIANCE	--	X	IBC SECTION 1705.12.3, ASCE 7, SECTION 13.2
	3) INSPECT FABRICATION AND INSTALLATION OF ISOLATOR UNITS AND ENERGY DISSIPATION DEVICES IN SEISMIC ISOLATION SYSTEMS	--	X	IBC SECTION 1705.11.8
	4) TEST SEISMIC ISOLATION SYSTEMS	--	X	ASCE 7, SECTION 17.8

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T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

Lindauer•Dunn, Inc.
STRUCTURAL ENGINEERS
802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

SCHEDULE OF SPECIAL INSPECTIONS

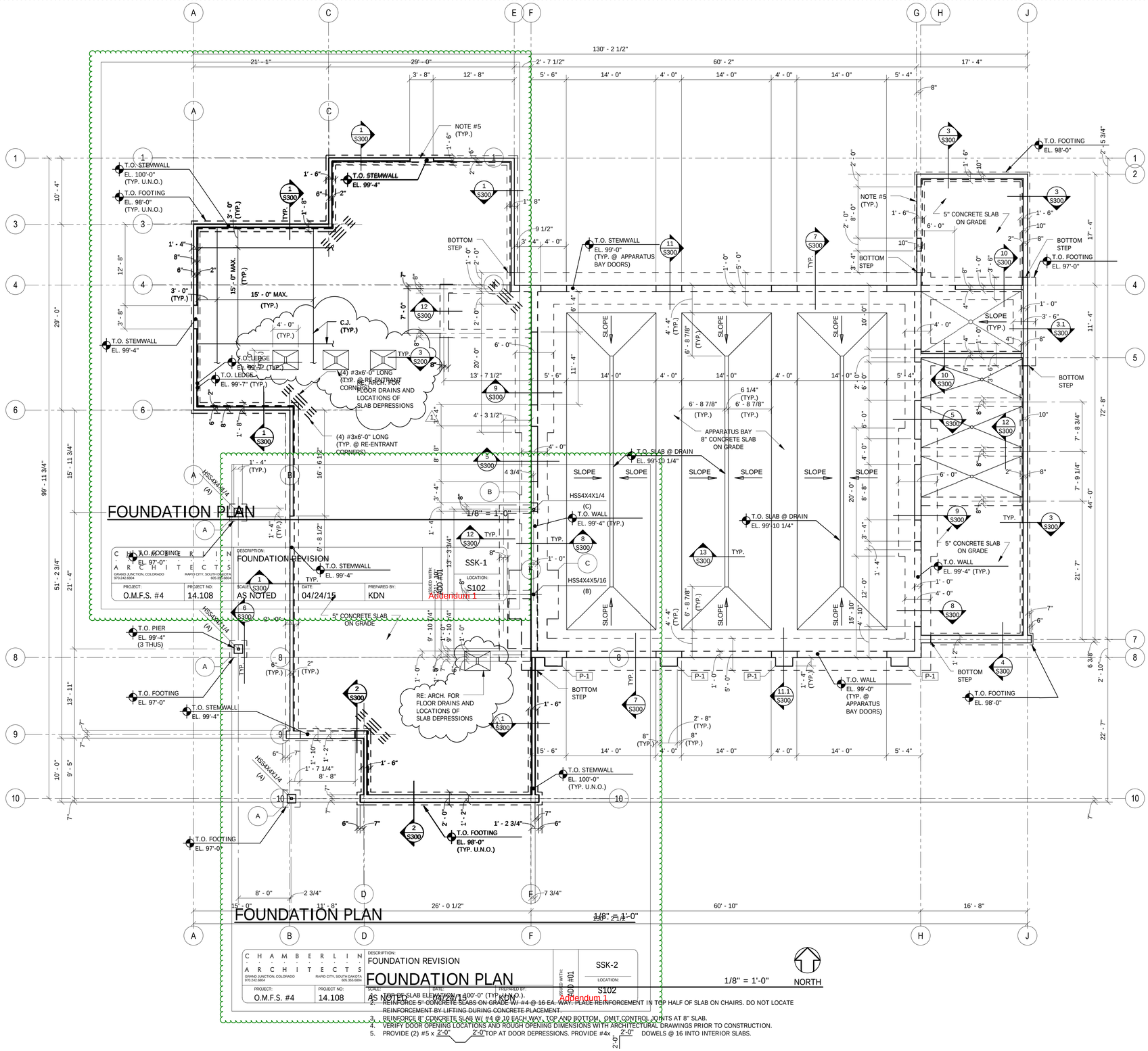
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: **04/10/15** SHEET NO: **S101**

PROJECT NO: **14.108**



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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FOUNDATION PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE: **04/10/15** SHEET NO:

PROJECT NO: **14.108** **S102**

ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS

OWNER
ARCHITECT
CONTRACTOR
FIELD
OTHER

PROJECT: Orchard Mesa Fire Station #4

OWNER: City of Grand Junction

TO: FCI Constructors, Inc.
3070 I-70 B, Bldg A
Grand Junction, CO 81504

ARCHITECT'S SUPPLEMENTAL INSTRUCTION NO: Three (3)

ARCHITECT: Chamberlin Architects
437 Main Street
Grand Junction, CO 81501

ARCHITECT'S PROJECT NO: 1443

DATE OF ISSUANCE: July 21, 2015

The Work shall be carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Proceeding in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

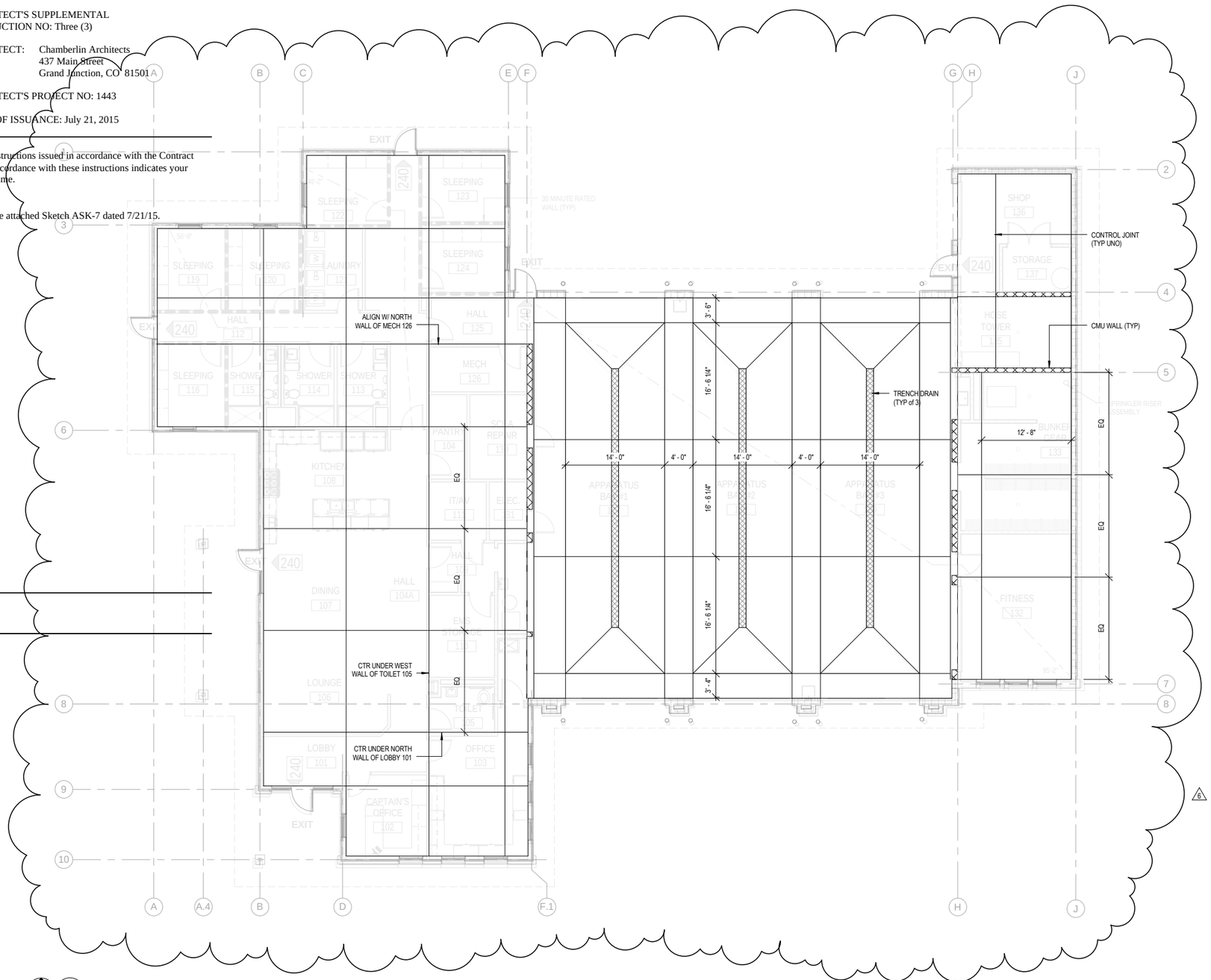
Add FLOOR PLAN – CONTROL JOINT LAYOUT as illustrated in the attached Sketch ASK-7 dated 7/21/15.

Attachments: ASK-7

ARCHITECT: Chamberlin Architects, P.C.

BY: Jonathan West

S:\1443 - Orchard Mesa Fire Station #4\6. CONSTRUCTION\ASI\ASI#003.1443.doc



1 ASK-7 FLOOR PLAN - CONTROL JOINT LAYOUT
0' 4' 8'

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FLOOR PLAN - CONTROL JOINT LAYOUT

NO:	ISSUED FOR:	DATE:
6	ASI#003	7/21/15

PROJECT STATUS: 100% CDs

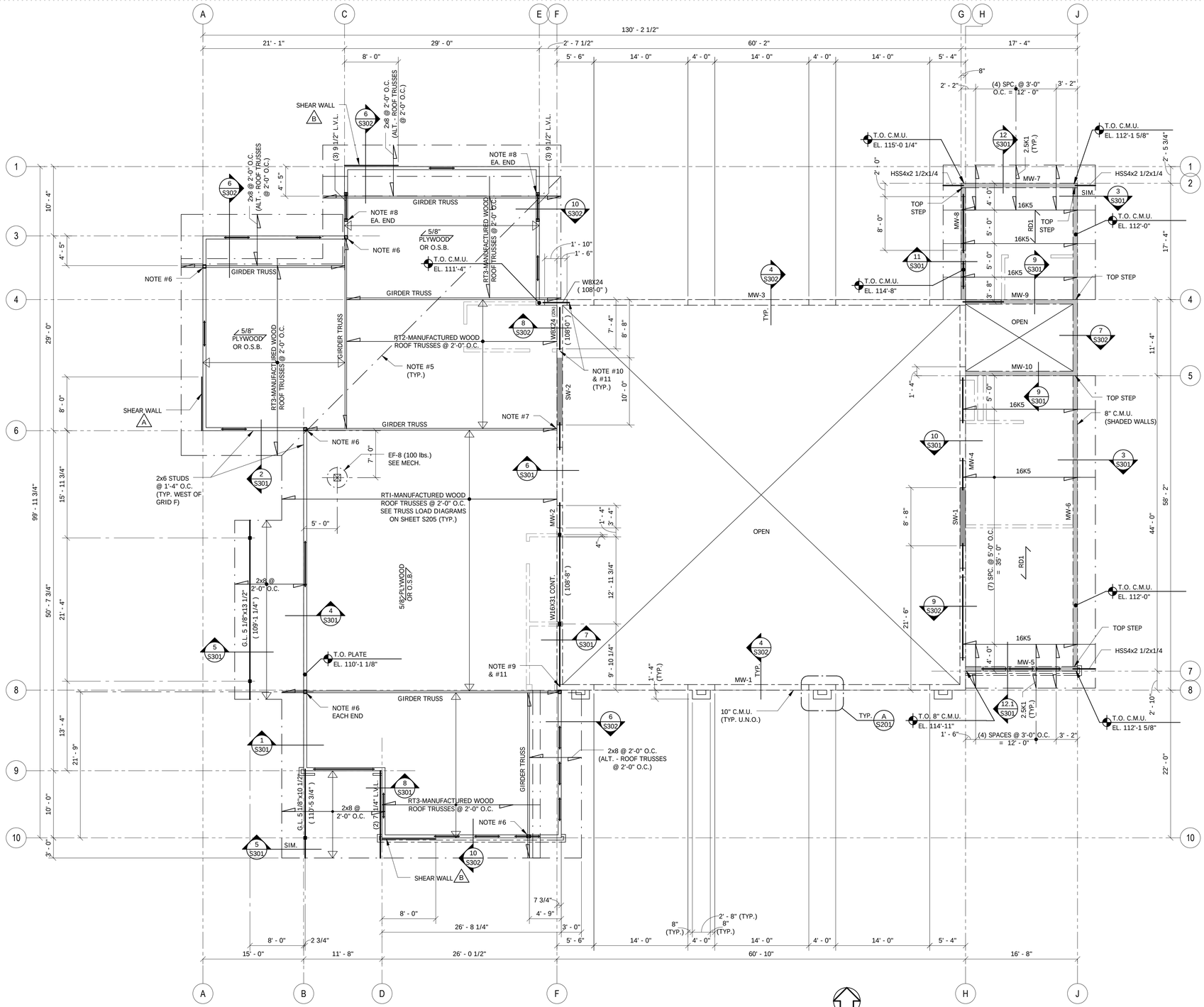
DRAWN BY: JW CHECKED BY: Checker

DATE: 05/27/2015 SHEET NO:

PROJECT NO: 1443

ASK-7

C:\REVIT Projects\1443-JonathanW.rvt...



LOW ROOF FRAMING PLAN

1/8" = 1'-0" NORTH

1. TOP OF BEAM ELEVATION NOTED THUS: (XXX'-XX").
2. PROVIDE JOIST BRIDGING IN ACCORDANCE WITH S.J.I. SPECIFICATIONS.
3. UNLESS NOTED OTHERWISE, ALL EXTERIOR HEADERS IN WOOD FRAMED WALLS SHALL BE 9 1/4" "TJ-INSULATED" HEADERS BY WEYERHAUSER, OR AN ENGINEER APPROVED EQUIVALENT. BEAR ON (2) 2x6 STUDS EACH END, U.N.O.
4. ALL HANGERS REQUIRED AT CONNECTIONS BETWEEN ROOF TRUSSES ARE TO BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED IN THE STRUCTURAL DETAILS.
5. PROVIDE (2) 2x6 BLOCKING BETWEEN TRUSSES ALONG VALLEY LINE FOR PLYWOOD ATTACHMENT. CONNECT TO TRUSSES WITH SIMPSON TYPE "SUL26-2" HANGER EACH END.
6. BEAR ON (4) 2x6 STUDS.
7. PROVIDE SIMPSON TYPE "LGUM210-3-SDS" HANGER WITH (8) 3/8"Ø x0'-4" TITEN HD ANCHORS TO GROUTED CELLS OF C.M.U. HANGER SIZE IS BASED UPON AN ASSUMPTION OF A (3) PLY GIRDER TRUSS. USE "LGUM210-2" FOR A (2) PLY TRUSS OR "LGUM210-4" FOR A (4) PLY TRUSS.
8. BEAR ON (3) 2x6 STUDS.
9. PROVIDE BEARING PLATE 1/2"x6 1/2"x0'-6 1/2". PLACE ON 3/8" MIN. NON-SHRINK GROUT.
10. PROVIDE BEARING PLATE 1/2"x7 1/2"x0'-8 1/2", W/ 8" LENGTH PARALLEL TO BEAM SPAN. PLACE ON 3/8" MIN. NON-SHRINK GROUT.
11. PROVIDE (2) 5/8"Øx1'-0" LONG HEADED ANCHOR BOLTS WITH MINIMUM 8" EMBEDMENT.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

LOW ROOF FRAMING PLAN

NO:	ISSUED FOR:	DATE:

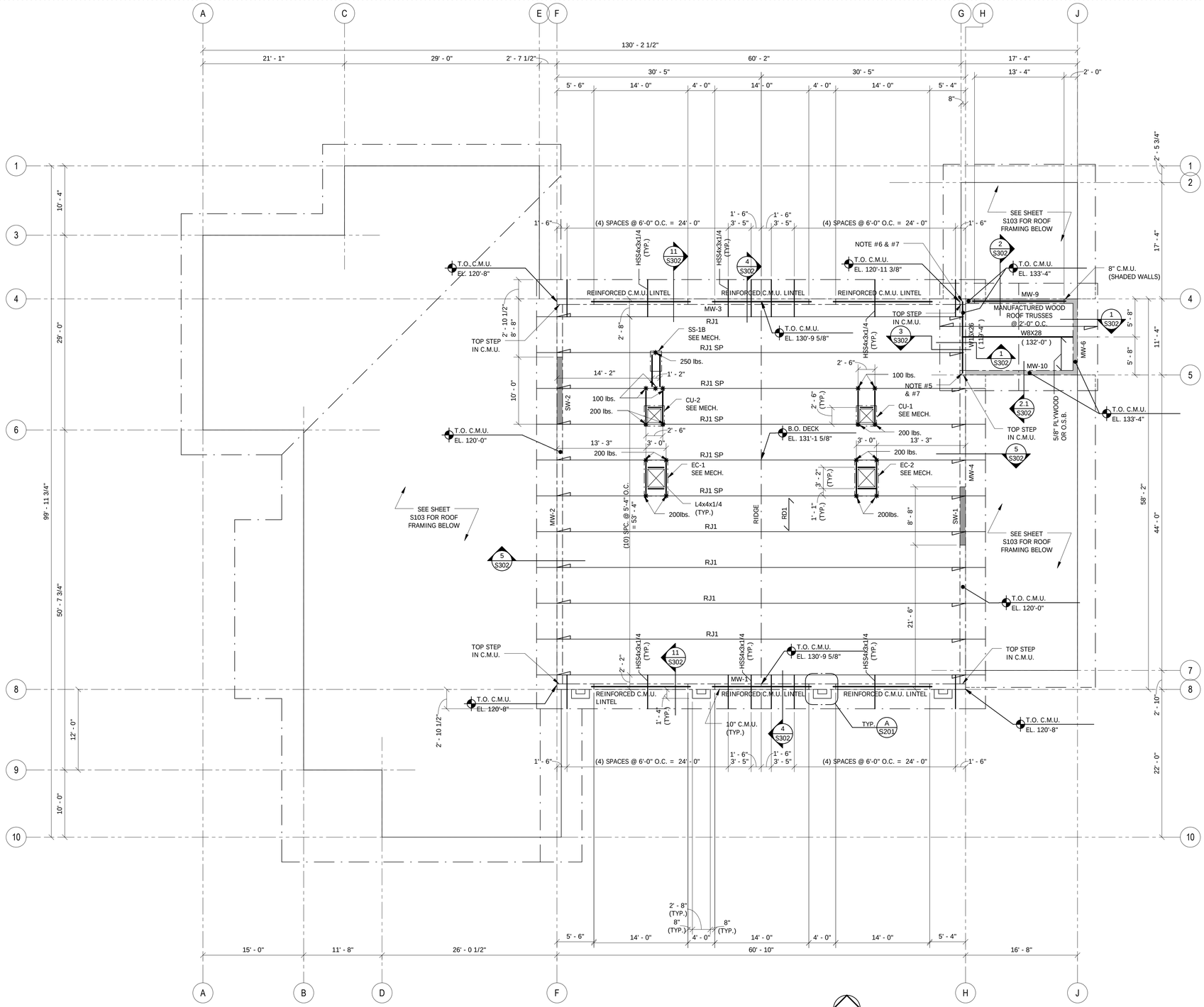
PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

DATE: **04/10/15**

SHEET NO: **S103**

PROJECT NO: **14.108**



UPPER ROOF FRAMING PLAN

1/8" = 1'-0"

NORTH

1. TOP OF STEEL ELEVATION NOTED THUS: (XXX'-XX").
2. STEEL ROOF JOISTS SHALL BE LH TYPE IN A GABLE CONFIGURATION WITH A TOP CHORD PITCH OF 4:12. SEE LOAD DIAGRAMS ON SHEET S203.
3. PROVIDE JOIST BRIDGING IN ACCORDANCE WITH S.J.I. SPECIFICATIONS. PROVIDEE BOLTED DIAGONAL BRIDGING AS REQUIRED AT LH JOISTS.
4. VERIFY LOCATIONS, DIMENSIONS, AND WEIGHTS OF MECHANICAL UNITS AND VERIFY DIMENSIONS OF DUCT OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
5. PROVIDE BEARING PLATE 5/8"x6 1/2"x0'-8 1/2" WITH LONG DIMENSION PARALLEL TO BEAM SPAN. PLACE ON 1/2" MIN. NON-SHRINK GROUT.
6. PROVIDE BEARING PLATE 5/8"x7"x0'-8" WITH LONG DIMENSION PERPENDICULAR TO BEAM. PLACE ON 1/2" MIN. NON-SHRINK GROUT.
7. PROVIDE (2) 5/8"Ø x1'-0" LONG HEADED ANCHOR BOLTS W/ MIN. 8" EMBEDMENT.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

UPPER ROOF FRAMING PLAN

NO:	ISSUED FOR:	DATE:

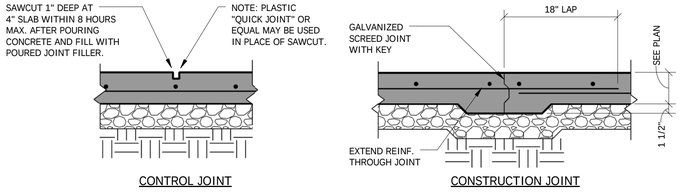
PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

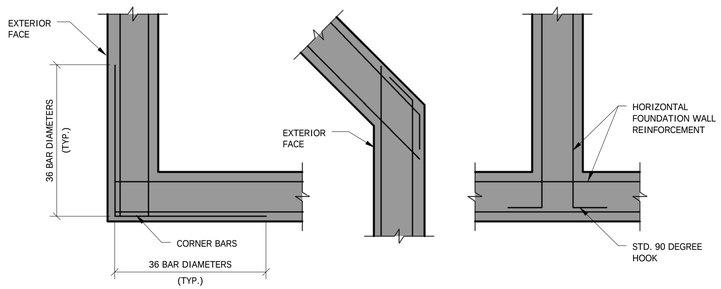
DATE: **04/10/15**

SHEET NO: **S104**

PROJECT NO: **14.108**

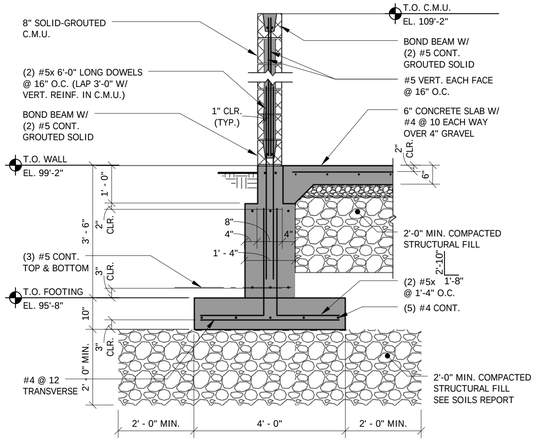


TYPICAL SLAB JOINT DETAILS 1" = 1'-0"

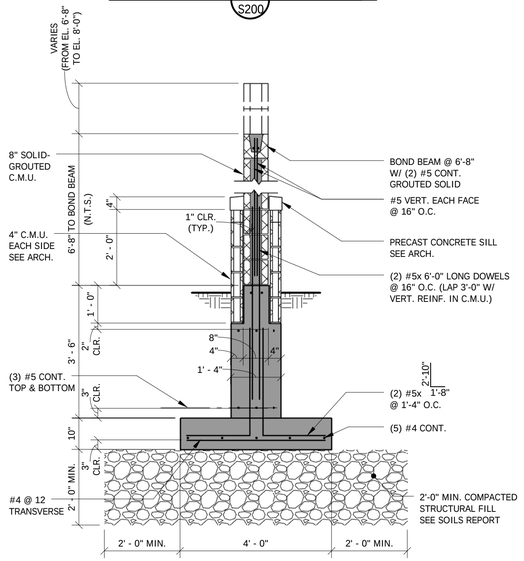


TYPICAL CORNER DETAILS 1" = 1'-0"

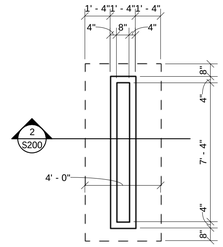
FOOTING SCHEDULE			
MARK	SIZE	REINFORCEMENT	REMARKS
A	2'-8 x 2'-8 x 0'-10	(4) #4 BOTTOM EACH WAY EQUAL SPACING	
B	4'-6 x 4'-6 x 1'-0	(5) #5 BOTTOM EACH WAY EQUAL SPACING	
C	7'-8 x 7'-8 x 1'-0	(8) #5 BOTTOM EACH WAY EQUAL SPACING	



SECTION 1/S200 1/2" = 1'-0"

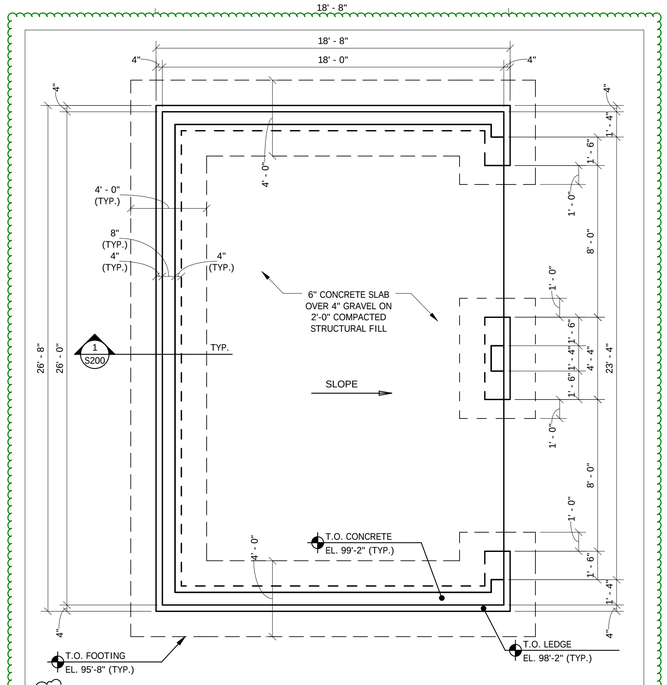


SECTION 2/S200 1/2" = 1'-0"



MONUMENT SIGN PLAN 1/4" = 1'-0" NORTH

1. SEE ARCH. & CIVIL DRAWINGS FOR LOCATION ON SITE.

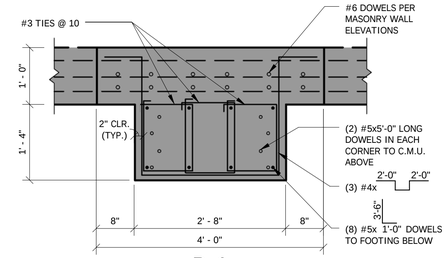


UTILITY ENCLOSURE PLAN 1/4" = 1'-0"

1

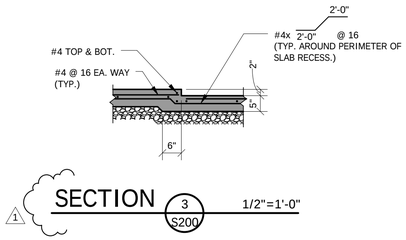
CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: UTILITY ENCLOSURE REVISION				ISSUED WITH: ADD #01	SSK-4
PROJECT: O.M.F.S. #4	PROJECT NO: 14.108	SCALE: AS NOTED	DATE: 04/24/15	PREPARED BY: KDN		LOCATION: S200

Addendum 1



P-1

PILASTER DETAILS 3/4" = 1'-0"



SECTION 3/S200 1/2"=1'-0"

CHAMBERLIN ARCHITECTS (GRAND JUNCTION, COLORADO 970.242.6804 / RAPID CITY, SOUTH DAKOTA 605.355.6804)	DESCRIPTION: FOUNDATION REVISION				ISSUED WITH: ADD #01	SSK-3
PROJECT: O.M.F.S. #4	PROJECT NO: 14.108	SCALE: AS NOTED	DATE: 04/24/15	PREPARED BY: KDN		LOCATION: S200

Addendum 1

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

TYPICAL FOUNDATION DETAILS

NO:	ISSUED FOR:	DATE:

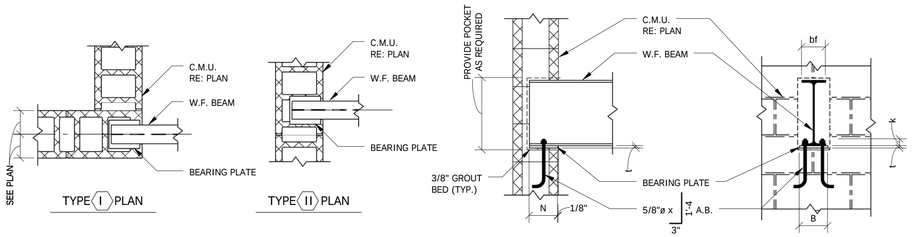
PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: 04/10/15 SHEET NO:

PROJECT NO: 14.108 **S200**

BEAM BEARING PLATES ON C.M.U.



3/4"=1'-0"

TYPE I

BEAM DEPTH	CAPACITY (SERVICE) KIPS	MIN. k	MIN. bf	N 8" / 12"	B	t	# BOLTS
W8, W10	10	5/8"	4"	4" / 8"	6"	1/2"	(1)
W10, W12	15	11/16"	4"	6" / 8"	7"	1/2"	(2)
W12, W14	19	7/8"	5"	6" / 8"	7"	1/2"	(2)

NOTES:
1. CAPACITIES ARE BASED UPON fm' = 1,500 psi. AND MINIMUM MASONRY BEARING (Fp) = .26F'm (SPECIAL INSPECTION REQUIRED).
2. Fy OF BEARING PLATES = 36 ksi.
3. SEE TYPICAL CORNER WITH BEAM BEARING FOR C.M.U. CORNER REINFORCING.

3/4"=1'-0"

TYPE II

BEAM DEPTH	CAPACITY (SERVICE) KIPS	MIN. k	MIN. bf	N 8" / 12"	B	t	# BOLTS
W8, W10	10	5/8"	4"	4" / 6"	6"	1/2"	(1)
W10, W12	15	11/16"	4"	6" / 8"	7"	1/2"	(2)
W12, W14	24	7/8"	5"	6" / 8"	9"	3/4"	(2)
W16, W18	30	1 1/16"	6"	6" / 8"	11"	7/8"	(2)
W18, W21	34	15/16"	6"	6" / 8"	12 1/2"	1"	(2)
W21, W24	38	1 3/8"	7"	6" / 8"	14"	1 1/4"	(2)

NOTES:
1. CAPACITIES ARE BASED UPON fm' = 1,500 psi. AND MINIMUM MASONRY BEARING (Fp) = .26F'm (SPECIAL INSPECTION REQUIRED).
2. Fy OF BEARING PLATES = 36 ksi.

STEEL LOOSE LINTEL SCHEDULE

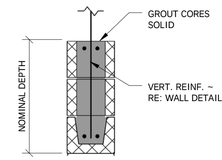
OPENING	LINTEL		BEARING EA. END	REMARKS
	4" VENEER	8" C.M.U.		
3'-6" OR LESS	L 3 1/2x3x1/4	(2) L 3 1/2x3x1/4	4"	S.L.V.
OVER 3'-6" THRU 5'-6"	L 4x3 1/2x1/4	(2) L 4x3 1/2x1/4	6"	L.L.V.
OVER 5'-6" THRU 7'-6"	L 6x3 1/2x5/16	(2) L 6x3 1/2x5/16	6"	L.L.V.
OVER 7'-6"	SEE PLAN			

1. FOR OPENINGS OVER 6'-0", PROVIDE SOLID MASONRY JAMB UNDER LINTEL EACH SIDE OF OPENING.

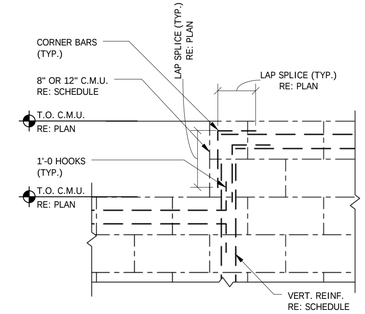
C.M.U. REINFORCING SCHEDULE

1. PROVIDE #5 @ 32 VERTICAL REINFORCING AT 8" C.M.U. AND #6 @ 24 VERTICAL REINFORCING AT 10" C.M.U. GROUT ALL VERTICAL REINFORCING SOLID. VERTICAL REINFORCEMENT SHALL EXTEND THROUGH BOND BEAMS TO 2" CLR. BELOW TOP OF C.M.U. USE STANDARD LADDER TYPE HORIZONTAL JOINT REINFORCEMENT AT 16" O.C. WITH MINIMUM (2) #9 SIDE RODS AT EACH LADDER.
2. PROVIDE #4 @ 24 VERTICAL REINFORCEMENT AT 6" C.M.U. WALLS. GROUT ALL REINFORCEMENT SOLID. PROVIDE BOND BEAM WITH (1) #6 CONT. AT TOP OF 6" C.M.U. WALLS, AND REINFORCE HORIZONTAL JOINTS WITH STANDARD LADDER TYPE REINFORCEMENT.
3. PROVIDE (2) #5 CONT. VERTICAL EACH SIDE OF ALL OPENINGS AND CONTROL JOINTS. EXTEND 2'-0" MINIMUM EACH SIDE OF OPENING. GROUT SOLID.
4. LAP ALL VERTICAL REINFORCING AS FOLLOWS:
   #4 - MINIMUM OF 2'-0"
   #5 - MINIMUM OF 2'-4"
   #6 - MINIMUM OF 3'-4"
5. PROVIDE #5 x 4'-0" DOWELS @ 24 FROM STEMWALLS TO 8" C.M.U. LAP 2'-4" WITH WALL VERTICAL REINFORCEMENT AND GROUT SOLID. PROVIDE #6 x 5'-2" DOWELS @ 24 FROM STEMWALLS TO 10" C.M.U. LAP 3'-6" WITH WALL VERTICAL REINFORCEMENT AND GROUT SOLID.

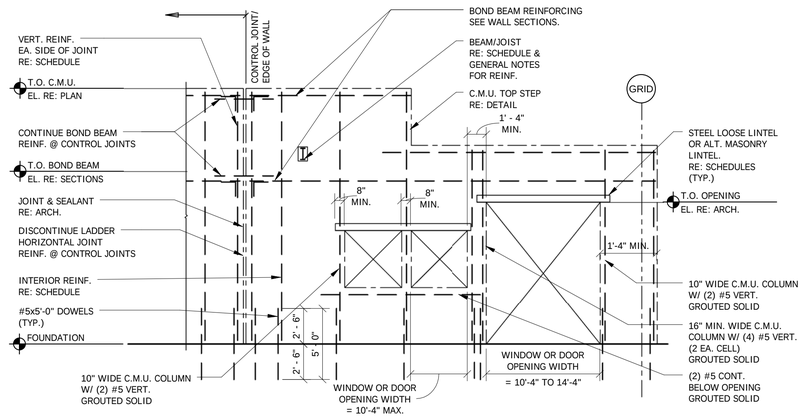
ALTERNATE REINFORCED MASONRY LINTEL SCHEDULE

TYPE	CLEAR SPAN	NOMINAL DEPTH	REINF.	TYPICAL DETAIL
A	2'-0" TO 4'-0"	16"	(2) #4 BOT.	
B	4'-4" TO 8'-0"	32"	(2) #5 T.&B.	

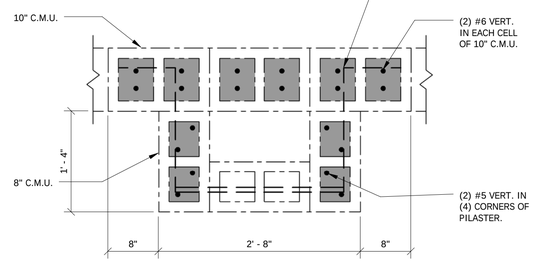
NOTES:
1. CLEAR SPAN INDICATES THE ROUGH MASONRY OPENING WIDTH.
2. PROVIDE 8" MIN. BEARING FOR CLEAR SPAN 8'-0" OR LESS AND 16" MIN. BEARING FOR CLEAR SPAN GREATER THAN 8'-0".
3. EXTEND TOP & BOTTOM REINFORCEMENT 2'-0 BEYOND EDGE OF OPENING EACH SIDE. TERMINATE TOP REINFORCEMENT W/ STD. HOOK AT CONTROL JOINTS OR FREE EDGES.
4. PROVIDE SOLID GROUTED OR SOLID MASONRY JAMB UNDER LINTEL EACH SIDE OF OPENING.



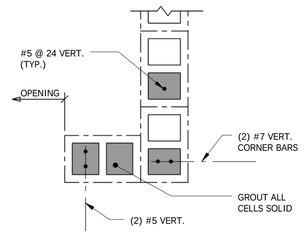
TYP. C.M.U. TOP STEP DETAIL 3/4" = 1'-0"



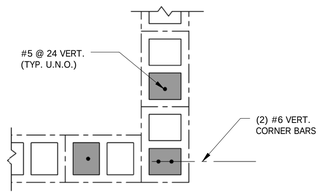
TYPICAL C.M.U. WALL ELEVATION N.T.S.



DETAIL A / S201 1" = 1'-0"



C.M.U. EDGE OPENING 3/4" = 1'-0"



C.M.U. CORNER REINF. 3/4" = 1'-0"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

MASONRY DETAILS

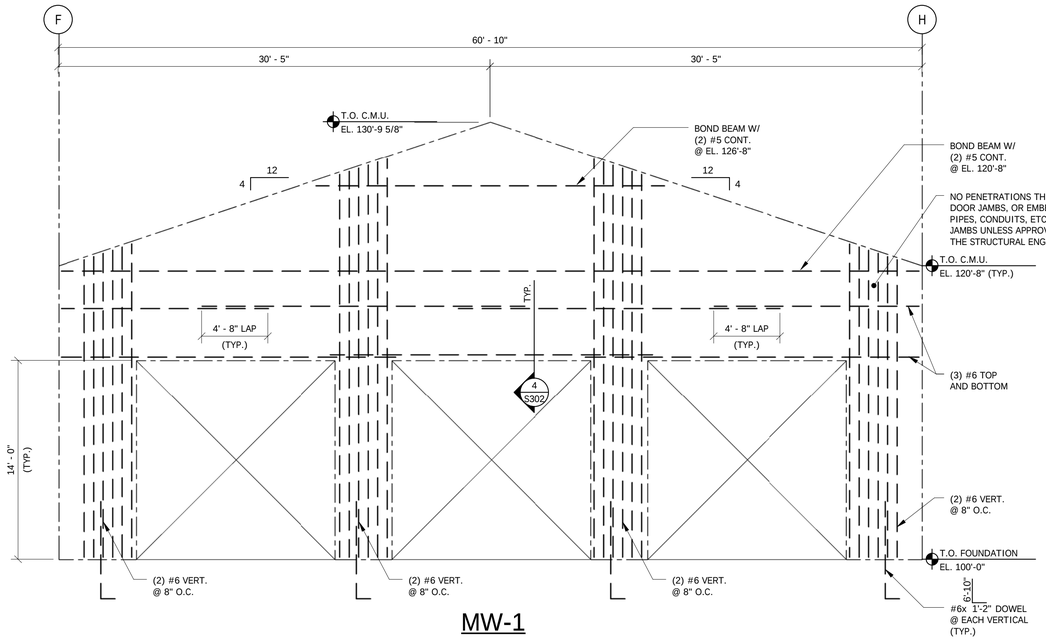
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

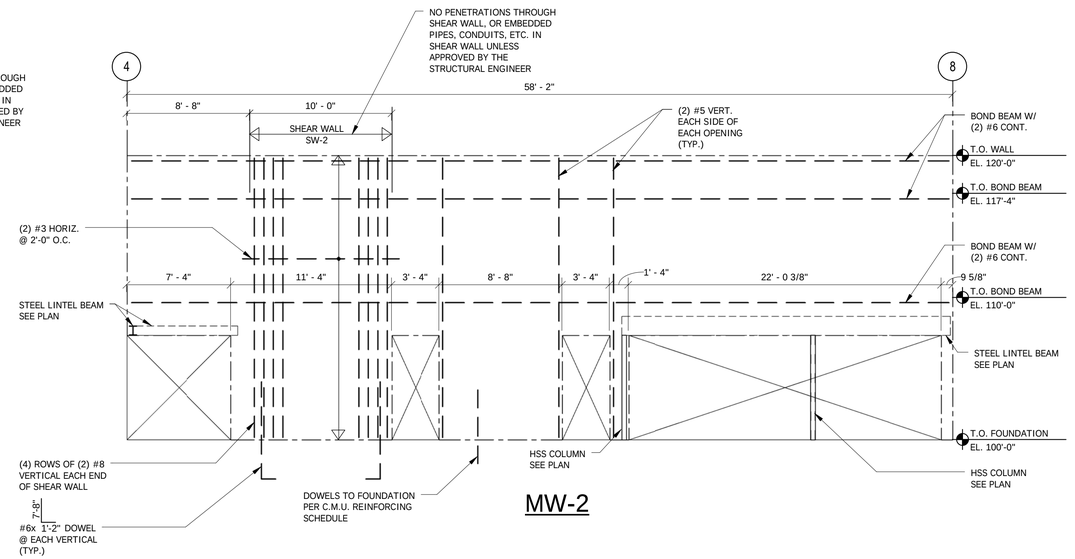
DRAWN BY: JDG CHECKED BY: JAD

DATE: 04/10/15 SHEET NO: S201

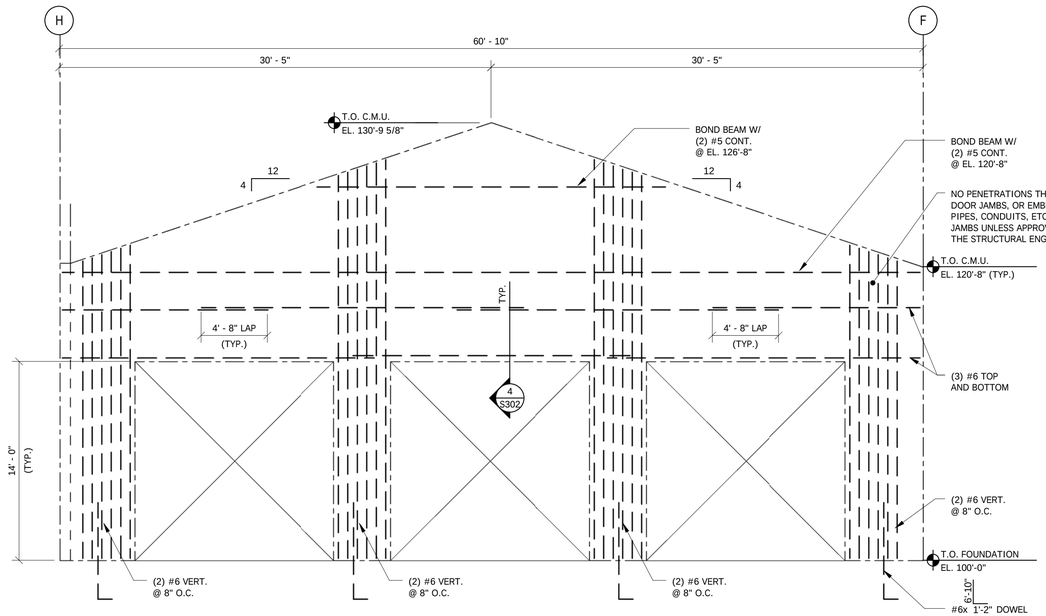
PROJECT NO: 14.108



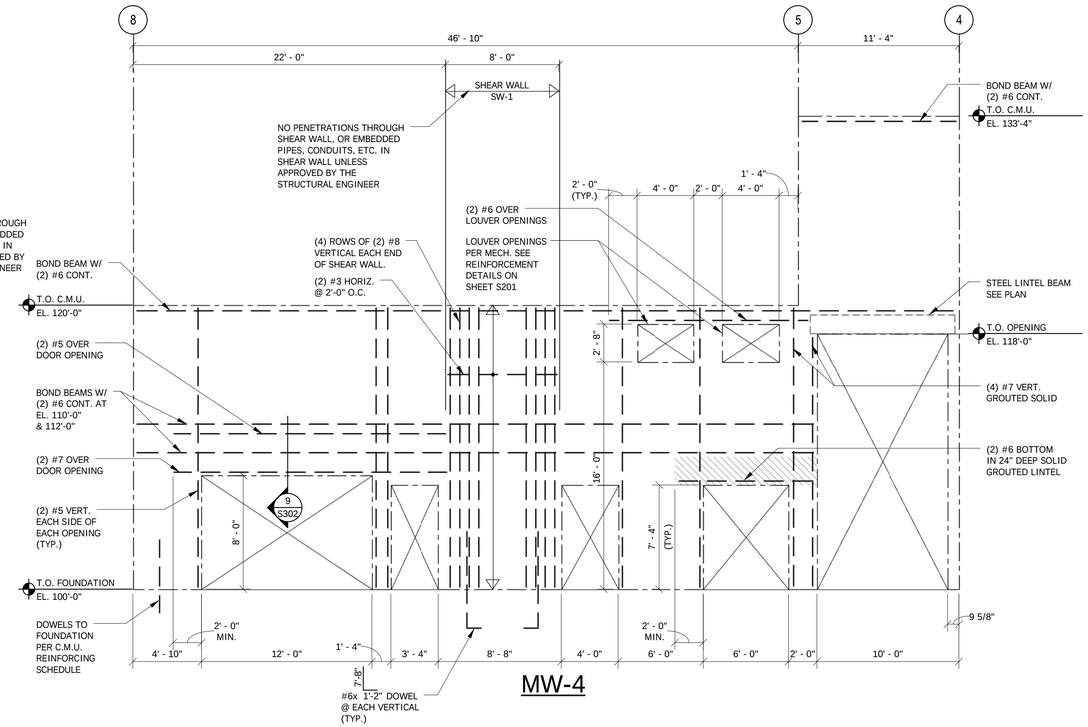
MW-1



MW-2



MW-3



MW-4

MASONRY WALL ELEVATIONS

3/16" = 1'-0"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

C.M.U. WALL ELEVATIONS

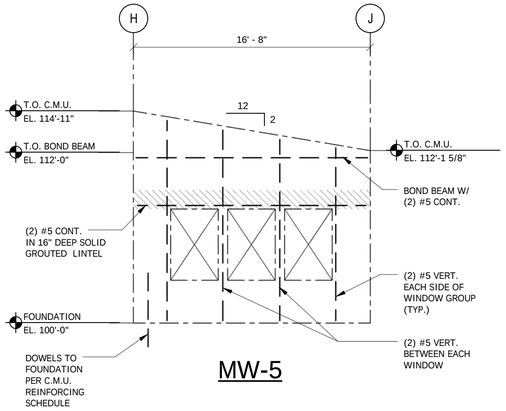
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

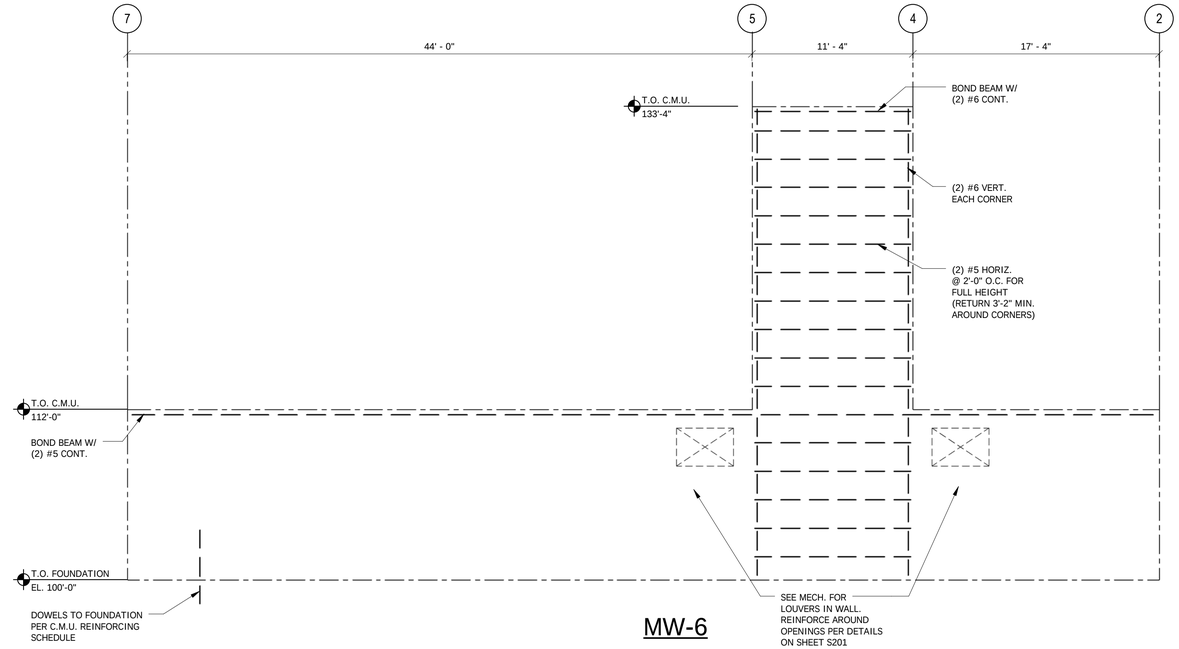
DRAWN BY: JDG CHECKED BY: JAD

DATE: **04/10/15** SHEET NO: **S202**

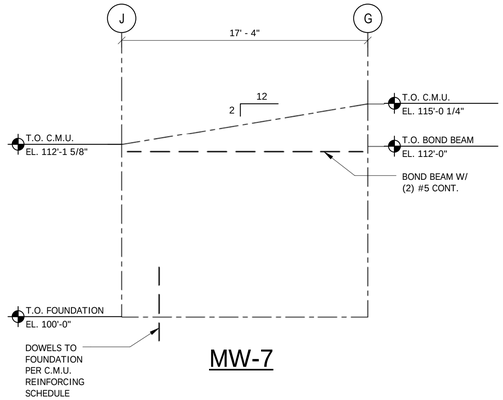
PROJECT NO: **14.108**



MW-5



MW-6



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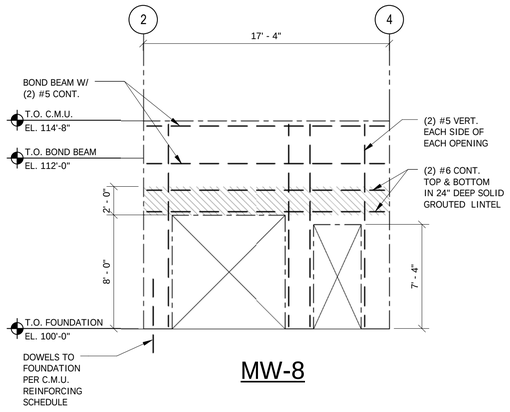

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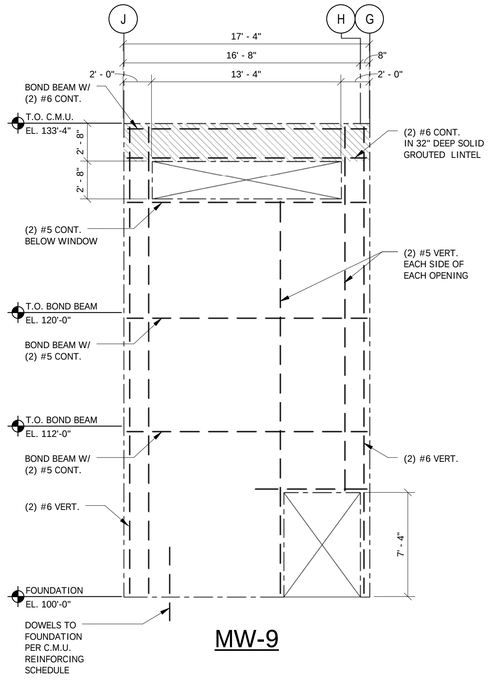

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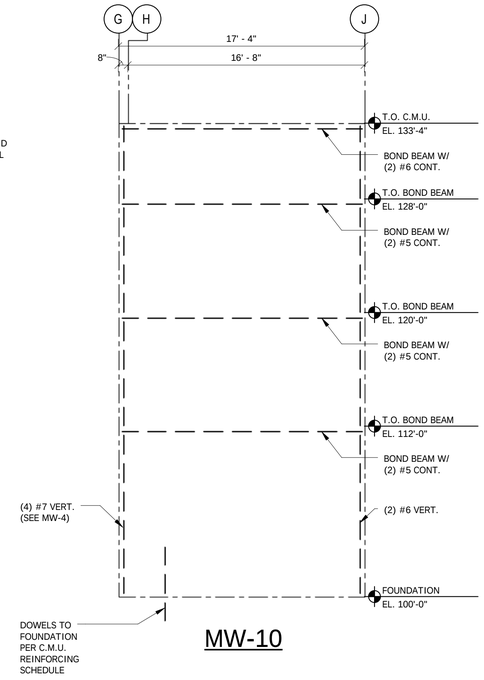

MW-10

MASONRY WALL ELEVATIONS

3/16" = 1'-0"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

C.M.U. WALL ELEVATIONS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: JDG CHECKED BY: JAD

DATE: **04/10/15**

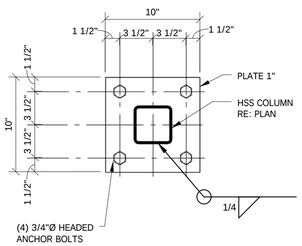
SHEET NO: **S203**

PROJECT NO: **14.108**

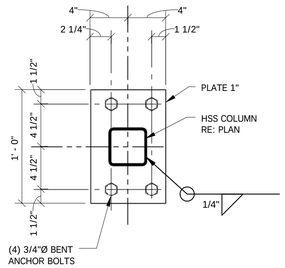
STEEL DECK SCHEDULE

DECK				CONCRETE SLAB				DECK PROPERTIES (MINIMUMS)							FASTENERS		COMMENTS
DECK MARK	DECK TYPE	DECK DEPTH (in.)	DECK FINISH	CONC. ABOVE DECK (in.)	TOTAL THICKNESS (in.)	CONC. TYPE	SLAB REINF.	SPAN CONDITION	DECK GAUGE	MAX. CLEAR CONST. SPAN	INT. DECK BRG. (in.)	EXT. DECK BRG. (in.)	DECK DIAPHRAGM SHEAR (PLF)	SUPERIMPOSED LOAD CAPACITY (UNIFORM OR CONCENTRATED)	SUPPORTS	SIDE LAPS	
RD1	1.5B	1 1/2	SHOP PAINTED	--	--	--	--	1-2 SPAN	18	7'-8"	3	1 1/2	364	120 PSF	5/8" PUDDLE WELDS 36/4 PATTERN	(4) #10 TEK SCREWS EA. SPAN	ROOF DECK
								3 SPAN	18	8'-6"	3	1 1/2	364	120 PSF			
FD1	2C	2	GALVANIZED	4	6	NW	6x6-W2.9xW2.9	1-2 SPAN	18	10'-11"	3	1 1/2	--	300 PSF	5/8" PUDDLE WELDS EACH RIB	(4) #10 TEK SCREWS EA. SPAN	NON-COMPOSITE FORM DECK

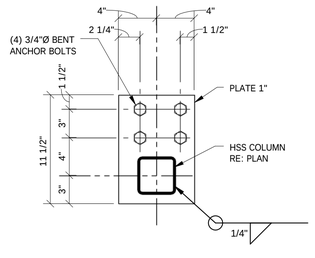
NOTES:
1. SEE GENERAL NOTES FOR REQUIRED DECK MATERIALS.
2. DECK WITH HIGHER YIELD STRESS MAY BE USED WITH SP & SN REQUIRED VALUES ADJUSTED BY THE RATIO OF Fy(40)/Fy(PROVIDED).
3. ROOF DECK CAPACITIES ARE TOTAL LOADS AND ARE BASED UPON SUPPORT CENTER TO CENTER DIMENSION.
4. LAP EDGES AND ENDS OF ADJOINING W.W.F. SHEETS AT LEAST TWO MESH SPACINGS.
5. NO PERMANENT SUSPENDED LOADS ARE TO BE SUPPORTED BY THE STEEL DECK.



TYPE A



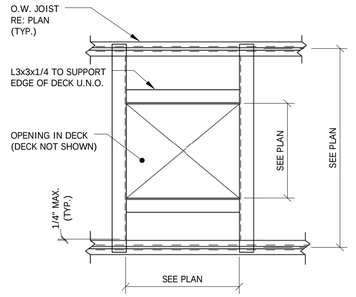
TYPE B



TYPE C

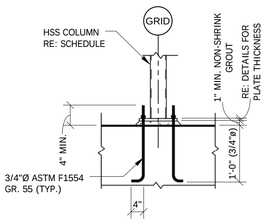
TYPICAL BASE PLATE DETAILS

1 1/2" = 1'-0"

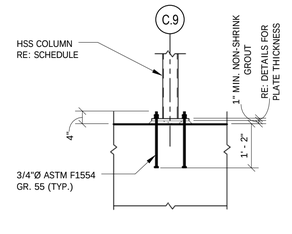


TYP. EDGE SUPPORT @ METAL ROOF DECK PEN.

N.T.S.



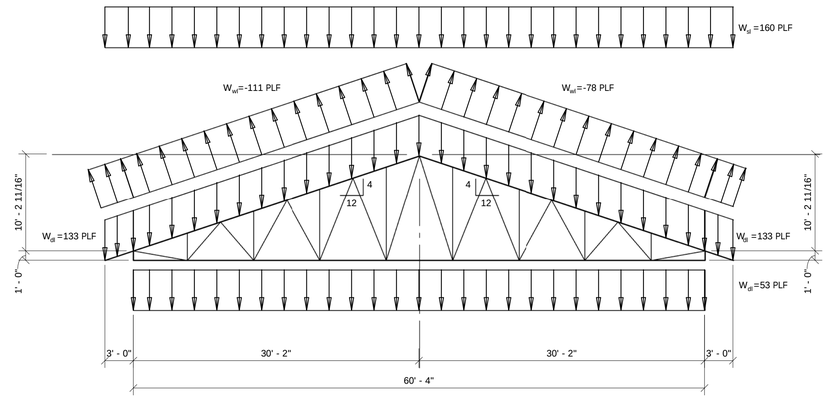
TYPICAL COLUMN ANCHOR BOLTS



EXTERIOR COLUMN ANCHOR BOLTS

TYPICAL ANCHOR BOLT DETAILS

1/2" = 1'-0"



RJ1

LH GABLE ROOF JOISTS

1/8" = 1'-0"

1. LOADS SHOWN ARE UNFACTORED LOADS.
2. LOAD DESIGNATIONS ARE THUS: W_{sl} =SNOW LOAD
   W_{dl} =DEAD LOAD
   W_{wl} =WIND LOAD (POSITIVE OR NAGATIVE INDICATES LOAD ACTING TOWARDS OR AWAY FROM THE ROOF, RESPECTIVELY)
3. WHERE WIND LOAD PRESSURE AWAY FROM THE ROOF EXCEEDS THE TOTAL DEAD LOAD, DESIGN JOISTS FOR NET UPLIFT.
4. DESIGN FOR WIND LOAD AS SHOWN AND WITH WIND LOADS REVERSED.
5. WEB CONFIGURATION IS APPROXIMATE. DESIGN AND LAYOUT OF WEB MEMEBERS SHALL BE BY JOIST MANUFACTURER.

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437 Main St.
Grand Junction, Colorado 81501
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T 605.355.6804

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

TYPICAL STEEL FRAMING DETAILS

NO: ISSUED FOR: DATE:

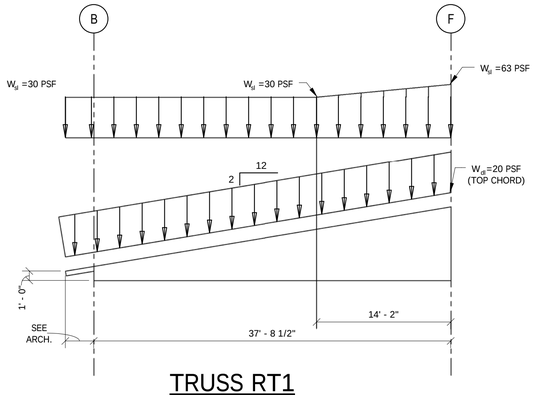
PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

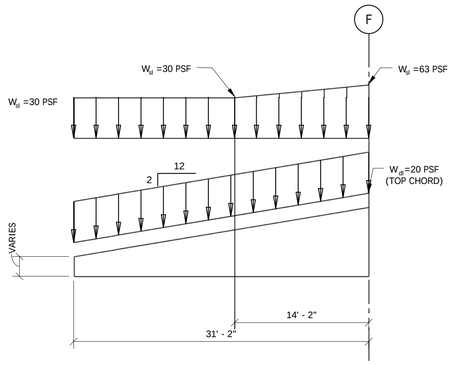
DATE: **04/10/15**

SHEET NO: **S204**

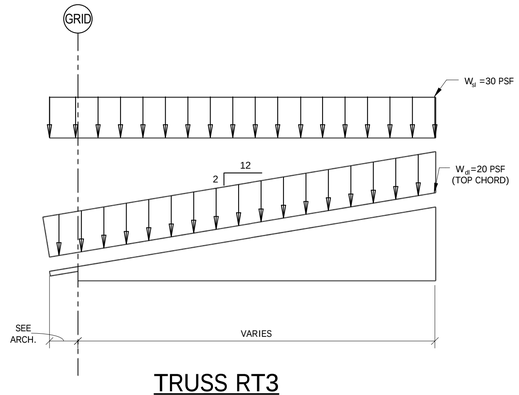
PROJECT NO: **14.108**



TRUSS RT1

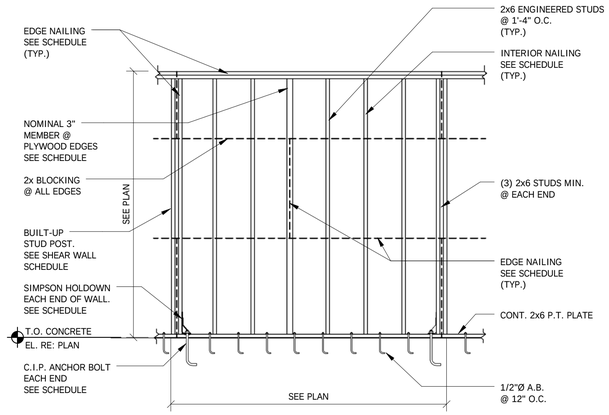


TRUSS RT2



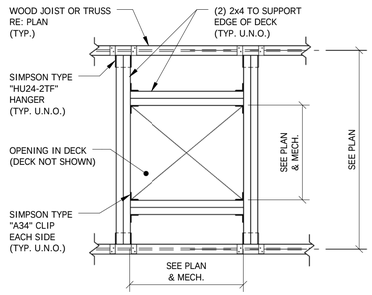
TRUSS RT3

WOOD ROOF TRUSS PROFILES & LOAD DIAGRAMS



TYPICAL SHEAR WALL ELEVATION 3/8"=1'-0"

1. NO OPENINGS ALLOWED IN SHEAR PANELS UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
2. ANCHOR BOLTS AT HOLDOWNS SHALL CONFORM TO ASTM F1554 GRADE 55.



TYP. EDGE SUPPORT @ PLYWOOD ROOF DECK PEN. N.T.S.

PROVIDE OPENING SUPPORTS FOR ALL ROOF PENETRATIONS 6"Ø AND LARGER.

PLYWOOD/SHEAR WALL NAILING SCHEDULE							
USE		PLYWOOD THICKNESS	SPAN/INDEX RATIO	EDGE NAILING	INTERIOR NAILING	HOLD DOWN	HEADED ANCHOR BOLT
ROOF		19/32"	32/16	10d @ 4" O.C. (BOUNDARIES) 10d @ 6" O.C. (ALL OTHER EDGES)	10d @ 12" O.C.	--	--
WALL		15/32"	24/0	8d @ 6" O.C.	8d @ 12" O.C.	--	--
SHEAR WALL:	A	15/32"	24/0	10d @ 2" O.C.	10d @ 12" O.C.	"HD12"	1"Ø
	B	15/32"	24/0	10d @ 4" O.C.	10d @ 12" O.C.	"HD9B"	7/8"Ø

1. PLYWOOD FOR ROOFS, FLOORS, AND SHEAR WALL SHEATHING SHALL BE APA GRADE TRADEMARKED CDX W/ EXTERIOR GLUE. LAY UP PLYWOOD W/ FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. ALL NAILS SHALL BE COMMON NAILS; RING SHANKED FOR ROOF AND FLOOR SHEATHING. REFER TO TABLE ABOVE FOR USE REQUIREMENTS.
2. OSB SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD W/ PRIOR APPROVAL OF OWNER AND CONTRACTOR. OSB SHEATHING SHALL COMPLY WITH THE APA PLYWOOD DESIGN SPECIFICATION AND SHALL HAVE A SPAN RATING EQUIVALENT TO, OR BETTER, THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES.
3. ALL EDGES OF ROOF SHEATHING SHALL BE BLOCKED WITH A 2" NOMINAL WOOD FRAMING MEMBER.
4. AT ABUTTING SHEAR WALL PANEL EDGES, STUDS SHALL BE NO LESS THAN A SINGLE 3" NOMINAL MEMBER AND NAILS SHALL BE STAGGERED.
5. PROVIDE (3) 2" NOMINAL STUDS AND HOLDOWNS AT EACH END OF SHEAR WALL.
6. HOLDOWNS LISTED ARE BY SIMPSON STRONG-TIE. ALTERNATES MUST BE EQUIVALENT AND MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
7. HEADED ANCHOR BOLTS AT HOLDOWNS SHALL CONFORM TO ASTM F1554 GRADE 55. ANCHORS SHALL HAVE A MINIMUM EMBEDMENT OF 2'-0" AND SHALL HAVE A MINIMUM PROJECTION OF 6".

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

TYPICAL WOOD FRAMING DETAILS

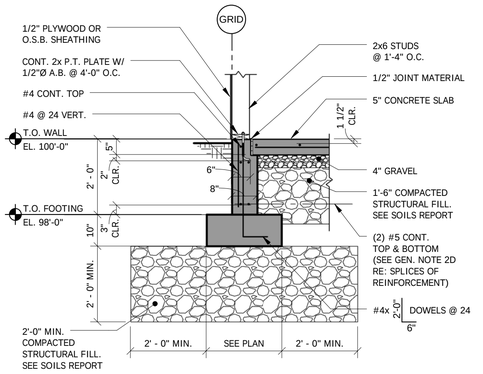
NO: ISSUED FOR: DATE:

PROJECT STATUS: 100% CD

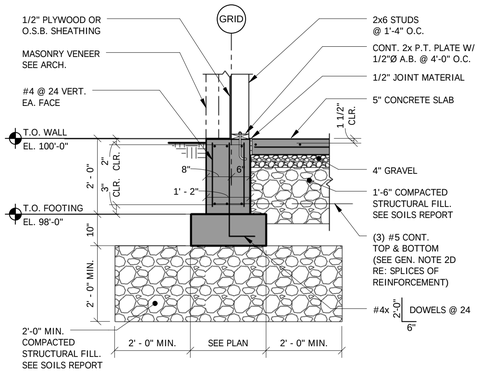
DRAWN BY: KDN CHECKED BY: JAD

DATE: **04/10/15** SHEET NO: **S205**

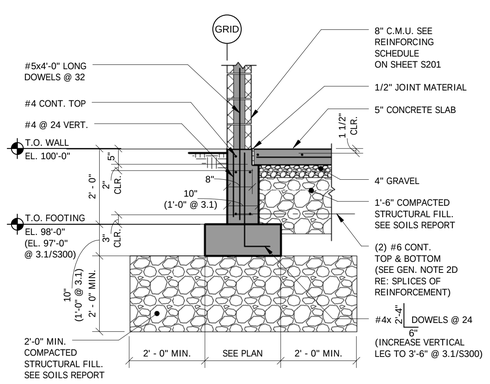
PROJECT NO: **14.108**



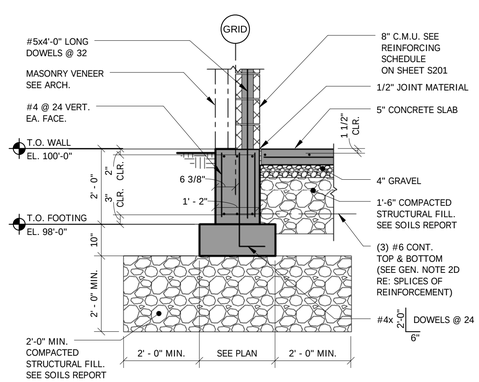
SECTION 1 S300 1/2" = 1'-0"



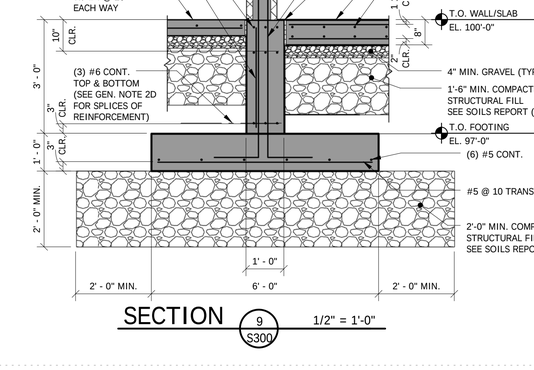
SECTION 2 S300 1/2" = 1'-0"



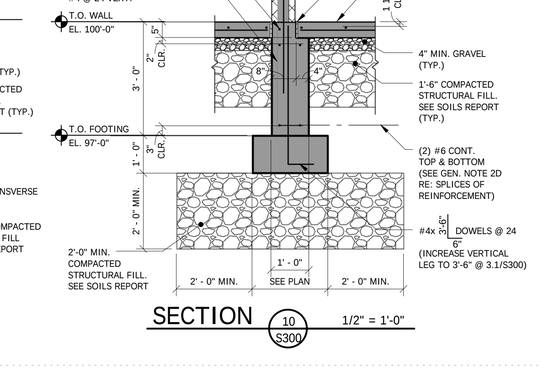
SECTION 3 S300 3.1 S300 1/2" = 1'-0"



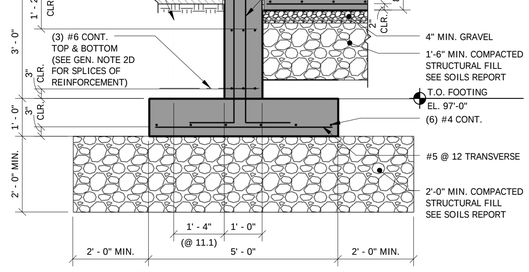
SECTION 4 S300 1/2" = 1'-0"



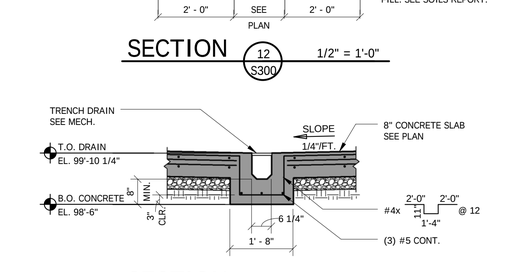
SECTION 5 S300 1/2" = 1'-0"



SECTION 6 S300 1/2" = 1'-0"



SECTION 7 S300 1/2" = 1'-0"



SECTION 8 S300 1/2" = 1'-0"

SECTION 9 S300 1/2" = 1'-0"

SECTION 10 S300 1/2" = 1'-0"

SECTION 11 S300 11.1 S300 1/2" = 1'-0"

SECTION 12 S300 1/2" = 1'-0"

SECTION 13 S300 1/2" = 1'-0"

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FOUNDATION SECTIONS

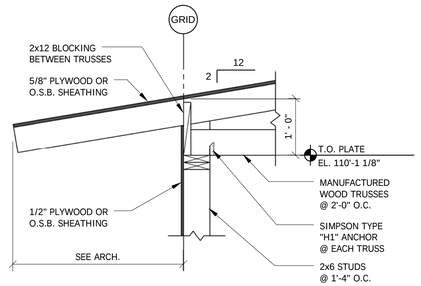
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

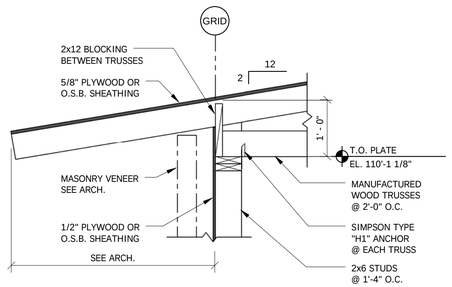
DRAWN BY: JDG CHECKED BY: JAD

DATE: **04/10/15** SHEET NO:

PROJECT NO: **14.108** **S300**



SECTION 1 S301 3/4" = 1'-0"



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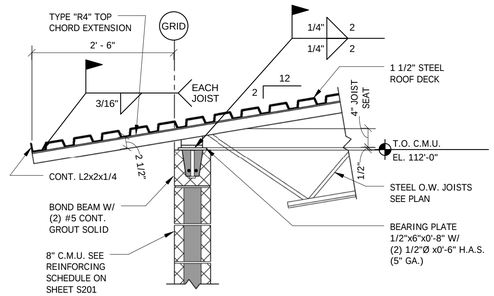
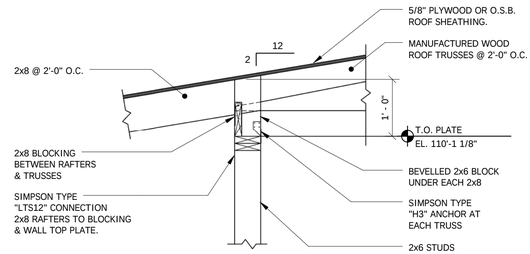
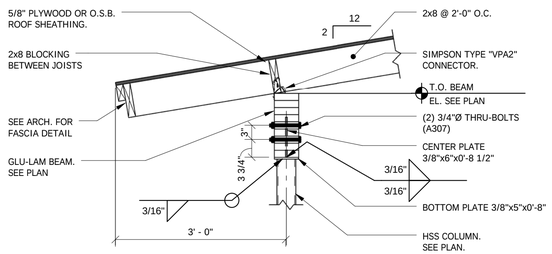


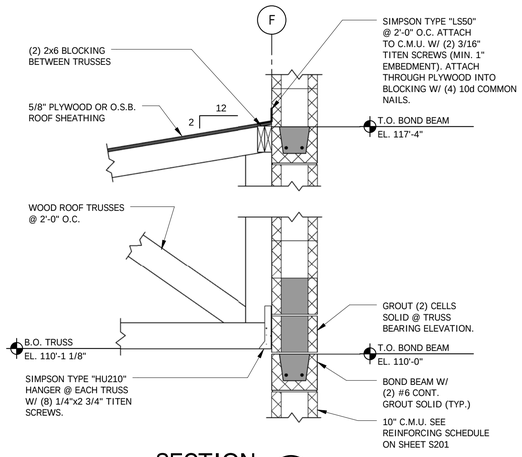
SECTION 3 S301 3/4" = 1'-0"



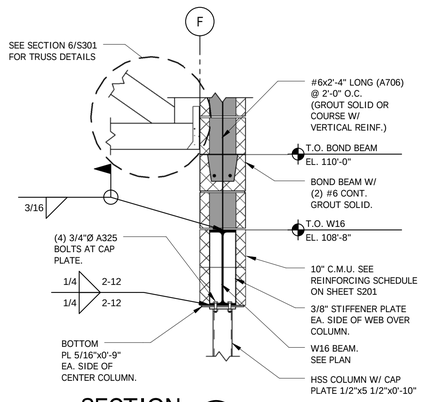
SECTION 4 S301 3/4" = 1'-0"



SECTION 5 S301 3/4" = 1'-0"



SECTION 6 S301 3/4" = 1'-0"



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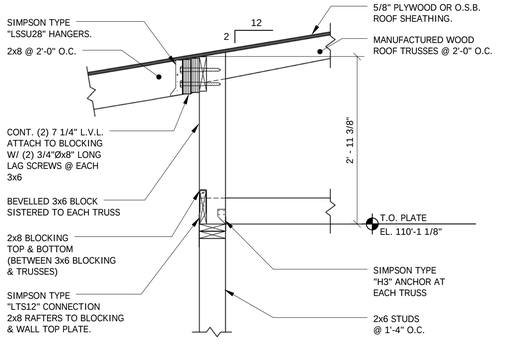
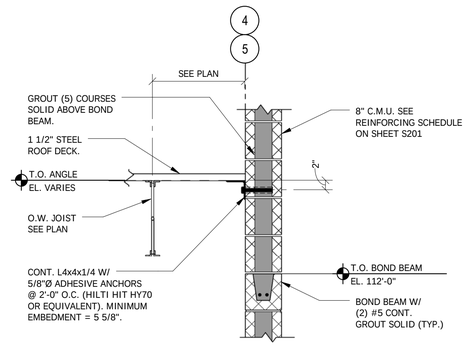
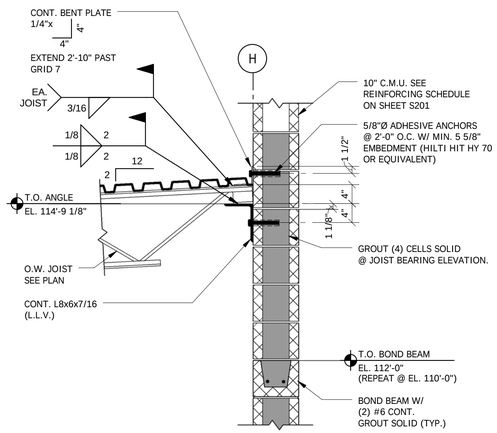


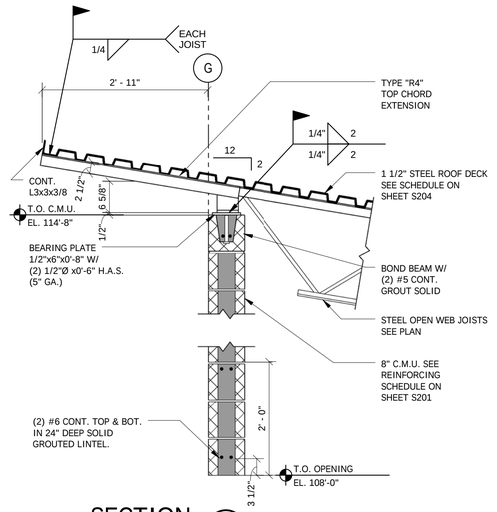
SECTION 8 S301 3/4" = 1'-0"



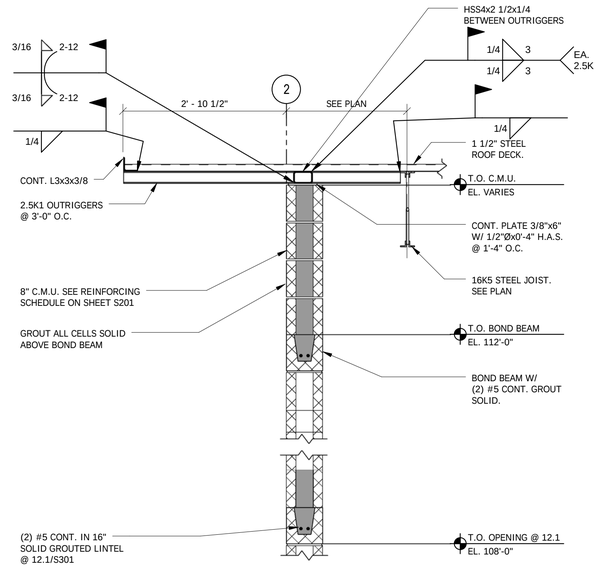
SECTION 9 S301 3/4" = 1'-0"



SECTION 10 S301 3/4" = 1'-0"



SECTION 11 S301 3/4" = 1'-0"



SECTION 12 S301 / 12.1 S301 3/4" = 1'-0"

TS3 1/2"x2 1/2"x 1/4" ok RFI 017

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FRAMING SECTIONS

NO:	ISSUED FOR:	DATE:

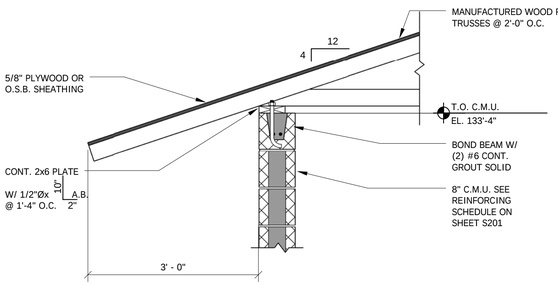
PROJECT STATUS: 100% CD

DRAWN BY: KDN CHECKED BY: JAD

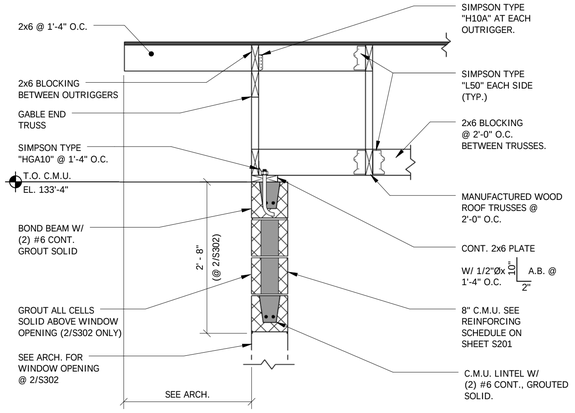
DATE: **04/10/15**

SHEET NO: **S301**

PROJECT NO: **14.108**



SECTION 1 S302 3/4" = 1'-0"



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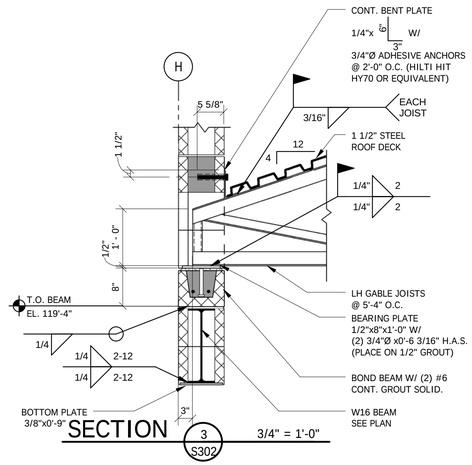

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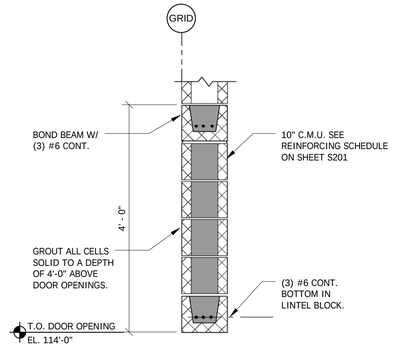

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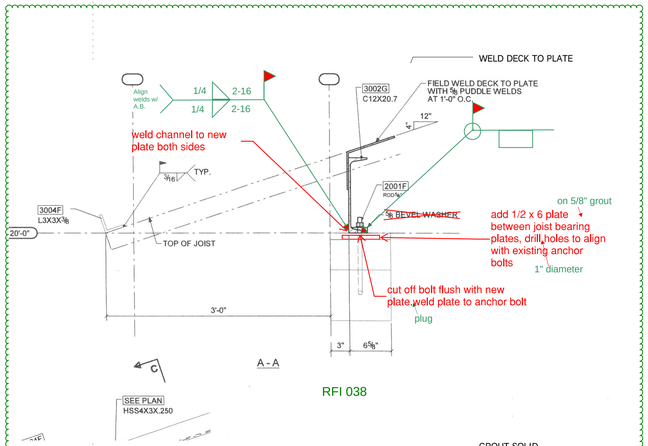
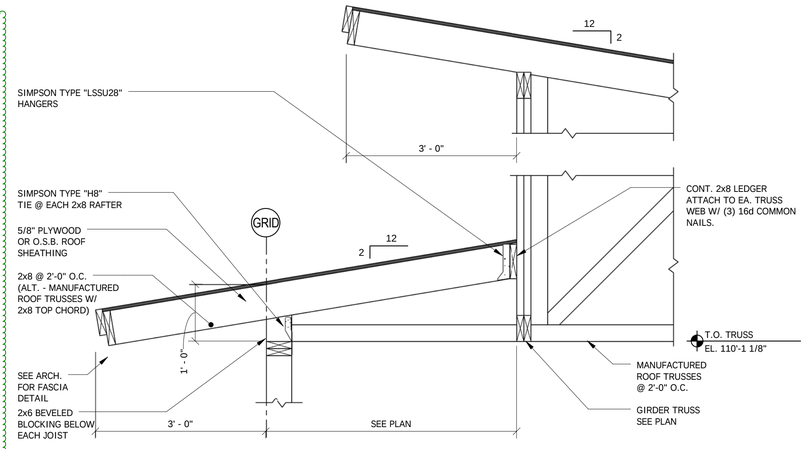
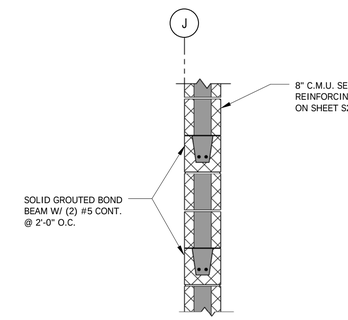


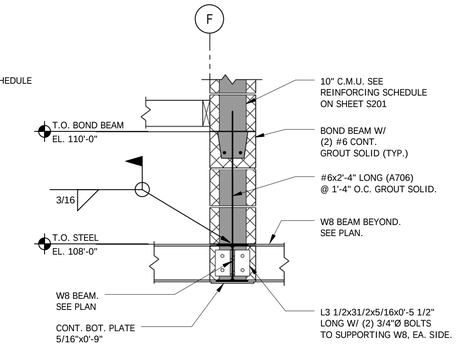
SECTION 5 S302 3/4" = 1'-0"



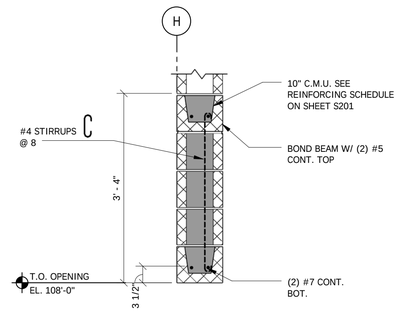
SECTION 6 S302 3/4" = 1'-0"



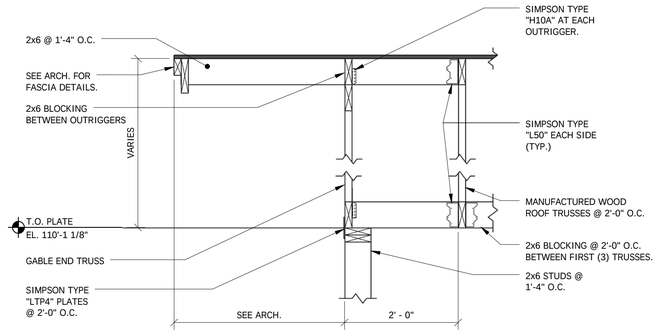
SECTION 7 S302 3/4" = 1'-0"



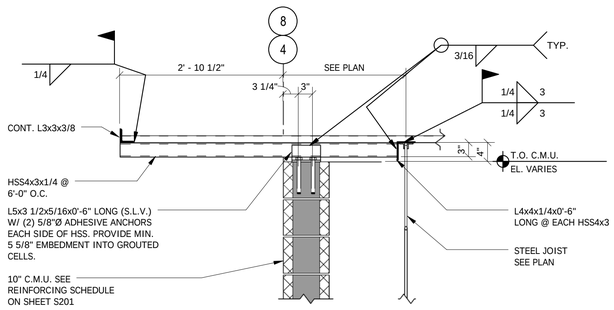
SECTION 8 S302 3/4" = 1'-0"



SECTION 9 S302 3/4" = 1'-0"



SECTION 10 S302 3/4" = 1'-0"



SECTION 11 S302 3/4" = 1'-0"

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437 Main St.
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T 970.242.6804

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

FRAMING SECTIONS

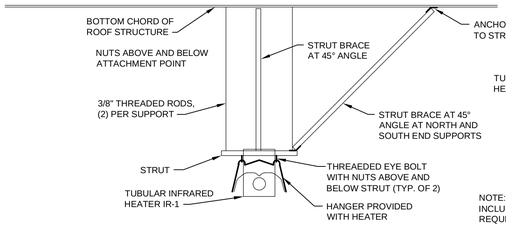
NO:	ISSUED FOR:	DATE:

PROJECT STATUS: 100% CD

DRAWN BY: JDG, KDN CHECKED BY: JAD

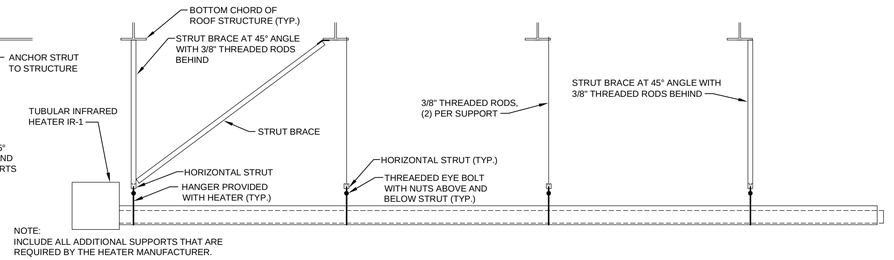
DATE: **04/10/15** SHEET NO: **S302**

PROJECT NO: **14.108**



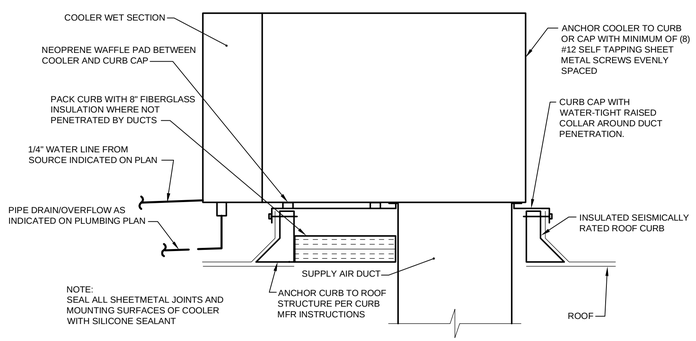
TUBULAR INFRARED HEATER SUPPORT DETAIL SOUTH ELEVATION

SCALE: 1/2" = 1'-0"



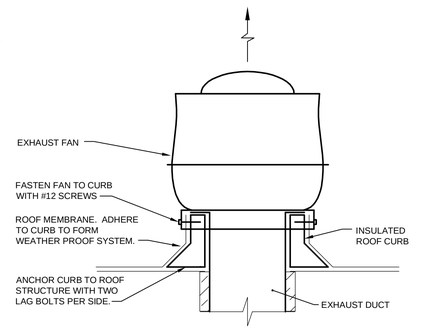
TUBULAR INFRARED HEATER SUPPORT DETAIL EAST ELEVATION

SCALE: 1/2" = 1'-0"



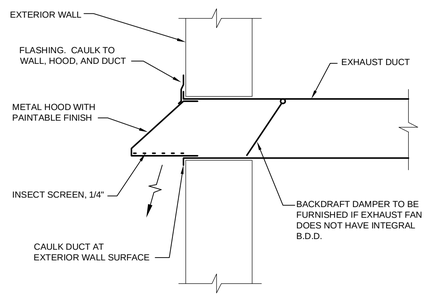
EVAPORATIVE COOLER MOUNTING DETAIL (BASE BID)

NO SCALE



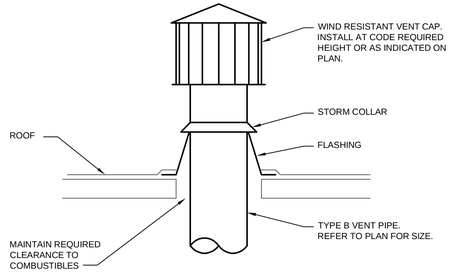
ROOF MOUNTED EXHAUST FAN DETAIL

NO SCALE



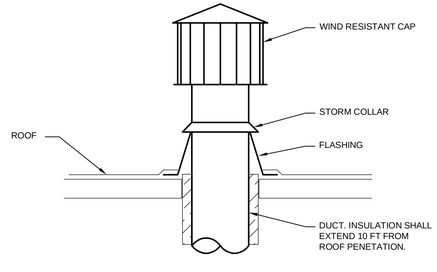
EXHAUST WALL JACK DETAIL

NO SCALE



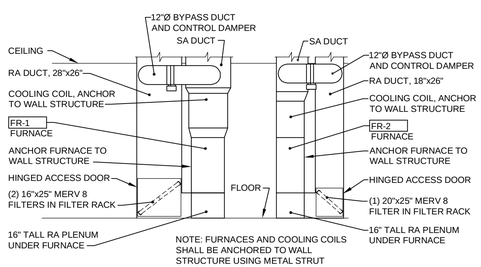
COMBUSTION VENT THROUGH ROOF DETAIL

NO SCALE



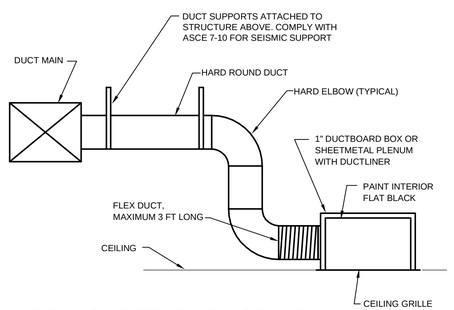
COMBUSTION AIR INTAKE AND GENERAL EXHAUST THROUGH ROOF DETAIL

NO SCALE



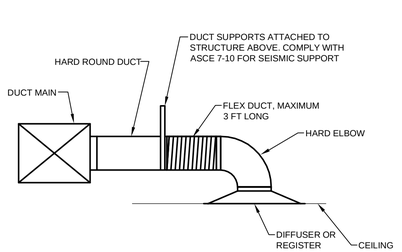
FURNACE DUCT AND FILTER INSTALLATION DETAIL

SCALE: 1/4" = 1'-0"



BRANCH RETURN DUCT AND CEILING GRILLE INSTALLATION DETAIL

NO SCALE



BRANCH SUPPLY DUCT INSTALLATION DETAIL

NO SCALE

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T 970.242.6804

725 Saint Joseph St., Suite B1
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T 605.355.6804

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PHONE 970-434-9819 / FAX 970-434-9815 / CELL 970-260-1781 / dlralst@bresnan.net

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

MECHNICAL DETAILS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
CONSTUCTION DOCUMENTS

DRAWN BY: DCR CHECKED BY:

DATE:
04/10/2015

SHEET NO:

PROJECT NO:
1443

M301

4/13/2015 2:05:05 PM

GENERAL NOTES

THE MECHANICAL CONTENT OF THIS DRAWING IS DIAGRAMMATIC AND NOT NECESSARILY TO SCALE.

THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LOCATIONS OF DUCTWORK, EQUIPMENT, PIPING, AND SUPPORTS IN ORDER TO COORDINATE WITH BUILDING CONSTRUCTION AND WORK OF OTHER TRADES.

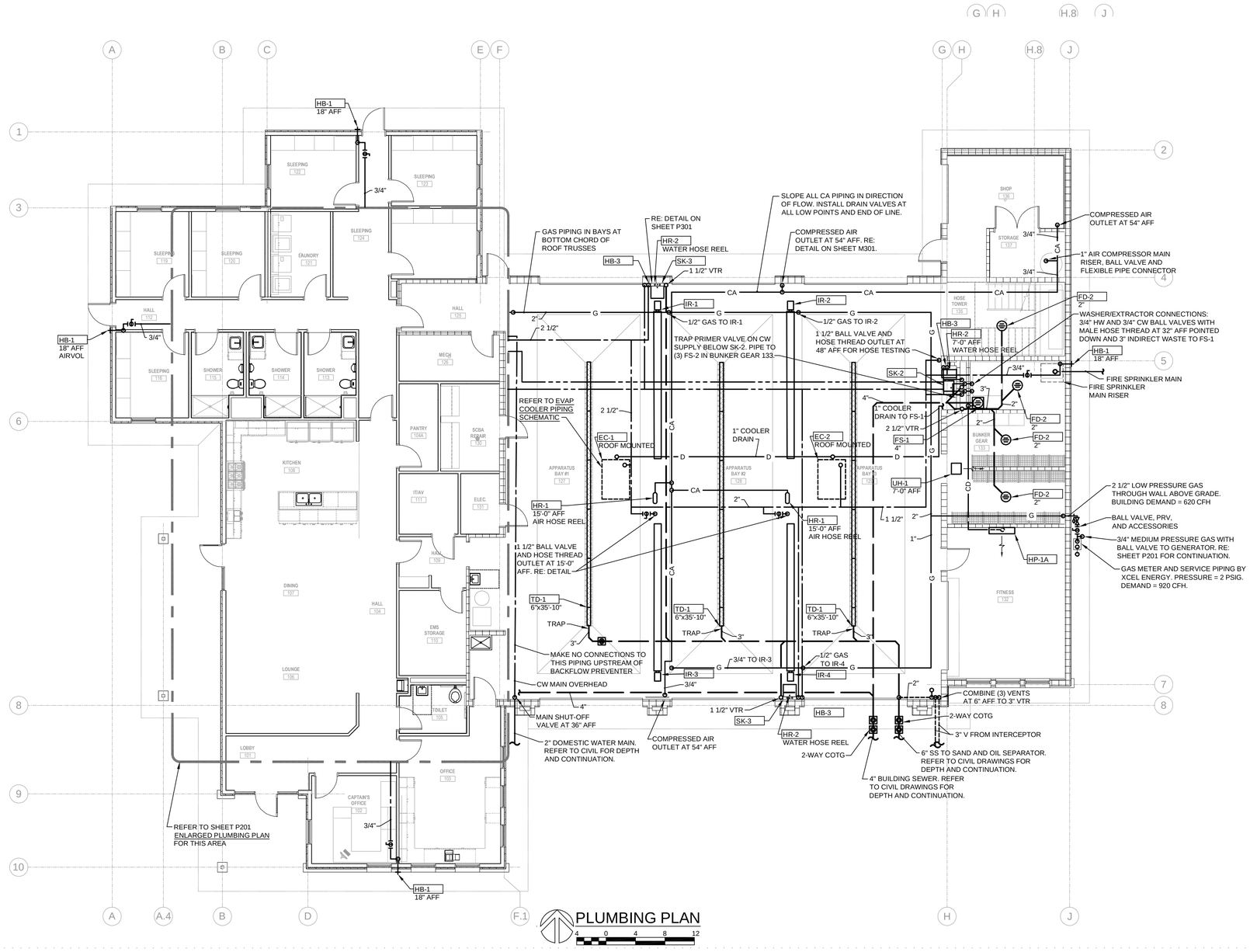
REFER TO SCHEDULES AND SPECIFICATIONS FOR EQUIPMENT AND MATERIALS OF CONSTRUCTION.

INSTALL WASTE PIPING CLEANOUTS WHERE INDICATED AND AS REQUIRED BY 2012 INTERNATIONAL PLUMBING CODE.

WATER PIPING SHALL BE INSTALLED TIGHT TO BOTTOM CHORD OF ROOF TRUSSES AND MUST BE COORDINATED WITH DUCTWORK INSTALLATION DUE TO SEVERELY LIMITED SPACE ABOVE CEILINGS.

EQUIPMENT AND PIPING SHALL BE SUPPORTED AND BRACED IN COMPLIANCE WITH ASCE STANDARD 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.

ALL HORIZONTAL PIPING IN APPARATUS BAYS SHALL BE SUPPORTED AT UNDERSIDE OF ROOF STRUCTURE USING METAL STRUT AND PIPING CLAMPS. PROVIDE SHIMS TO ACHIEVE PROPER SLOPE.



PLUMBING PLAN

4 0 4 8 12

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

PLUMBING PLAN

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
CONSTUCTION DOCUMENTS

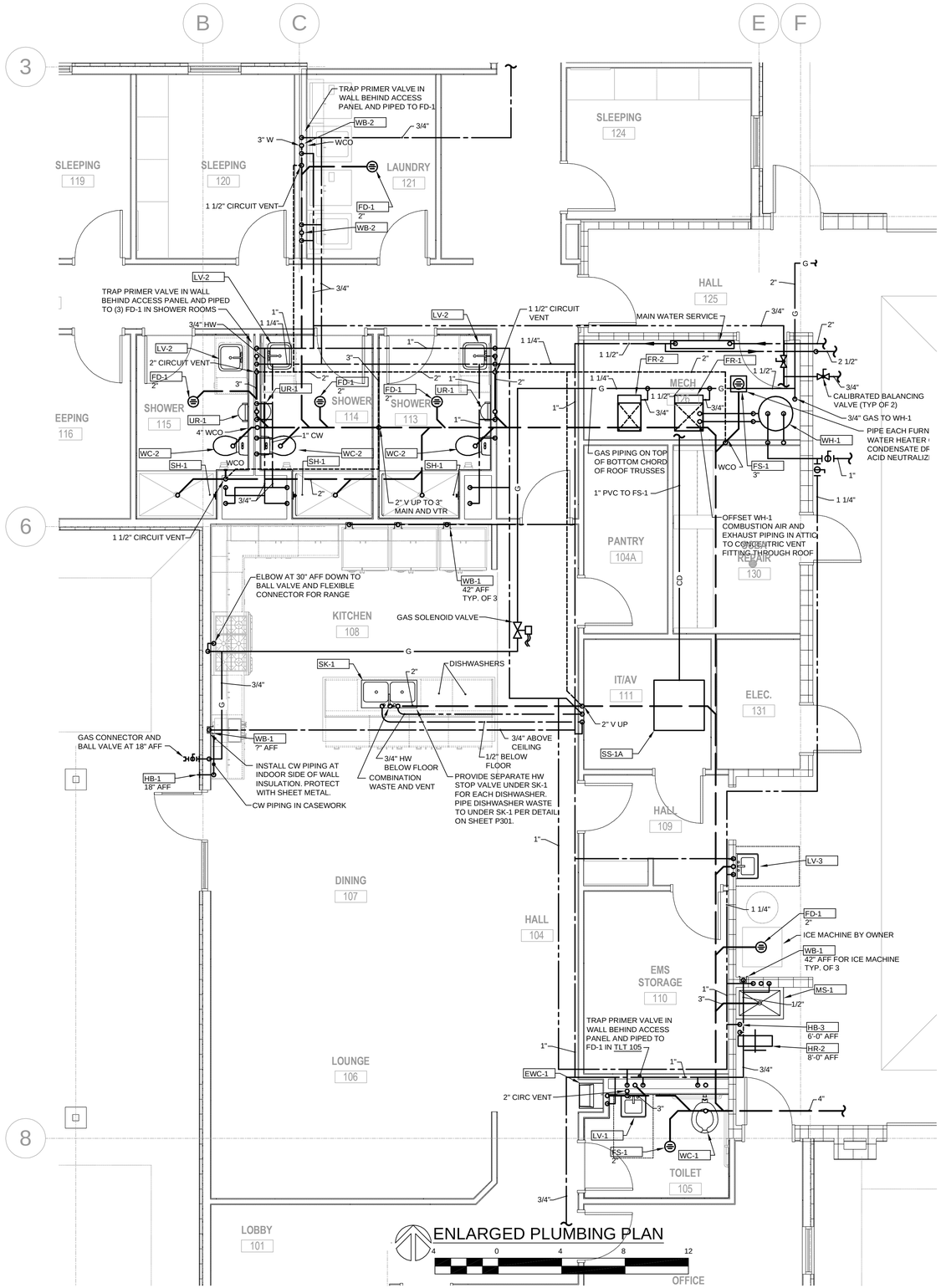
DRAWN BY: DCR CHECKED BY:

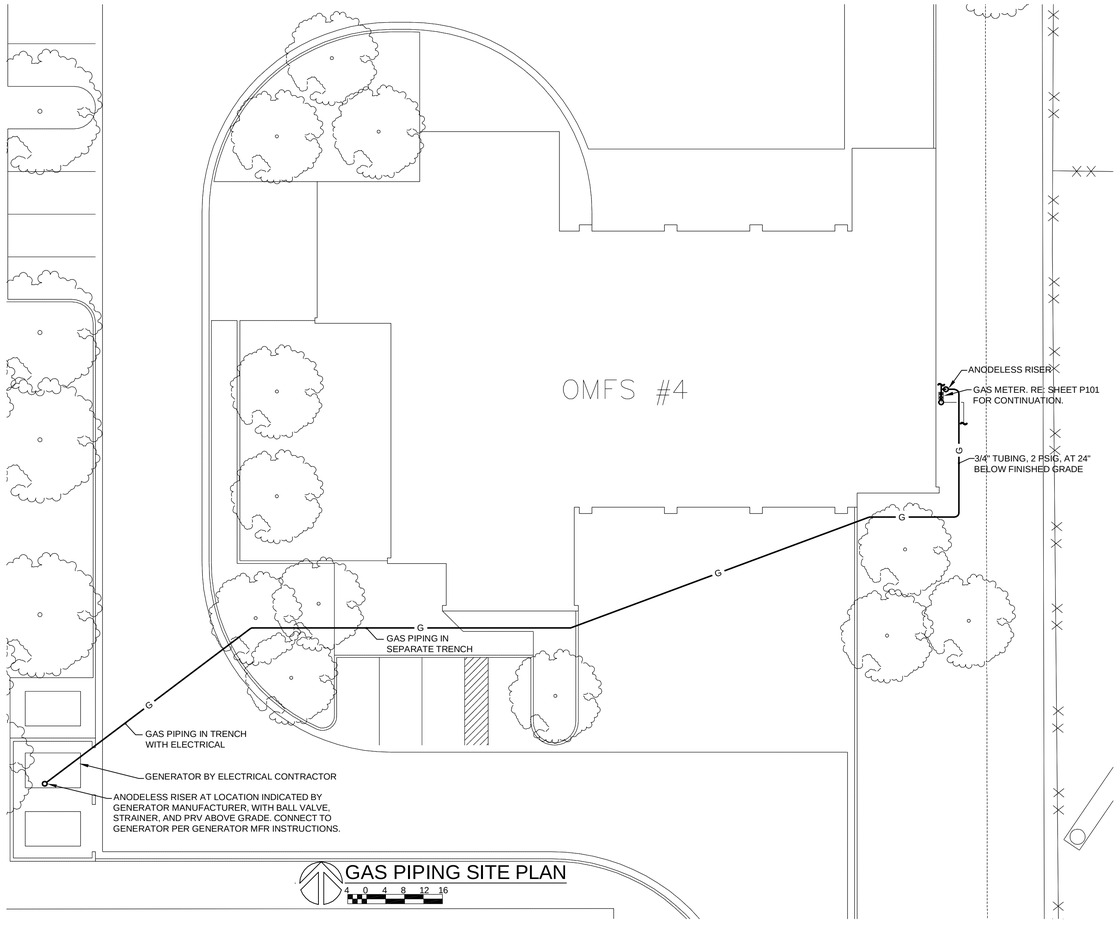
DATE:
04/10/2015

SHEET NO:
P101

PROJECT NO:
1443

C:\RALSTON-MECHANICAL\JOB-FILES\14-015-OM Fire Station 4\14-015-P101.dwg





GENERAL NOTES

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EQUIPMENT AND PIPING SHALL BE SUPPORTED AND BRACED IN COMPLIANCE WITH ASCE STANDARD 7, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.

ALL OVERHEAD HORIZONTAL PIPING GAS PIPING SHALL BE IN ATTIC AND SHALL BE SUPPORTED FROM ROOF STRUCTURE USING METAL STRUT AND PIPING CLAMPS.

ALL OVERHEAD HORIZONTAL WATER PIPING SHALL BE SUPPORTED AT UNDERSIDE OF ROOF STRUCTURE USING METAL STRUT AND PIPING CLAMPS.

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ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

ENLARGED PLUMBING PLAN AND GAS PIPING SITE PLAN

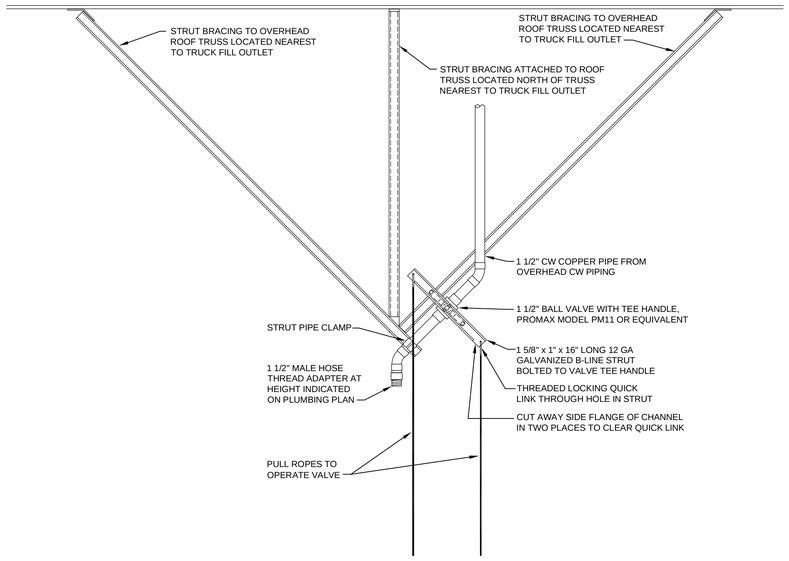
NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
CONSTUCTION DOCUMENTS

DRAWN BY: DCR CHECKED BY:

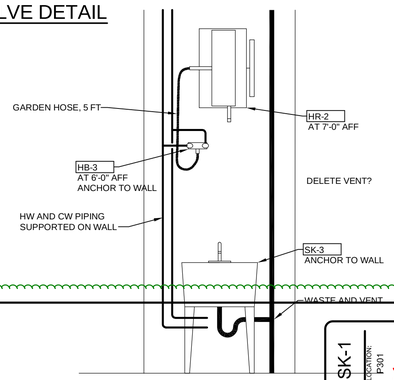
DATE: 04/10/2015 SHEET NO:

PROJECT NO: 1443 **P201**



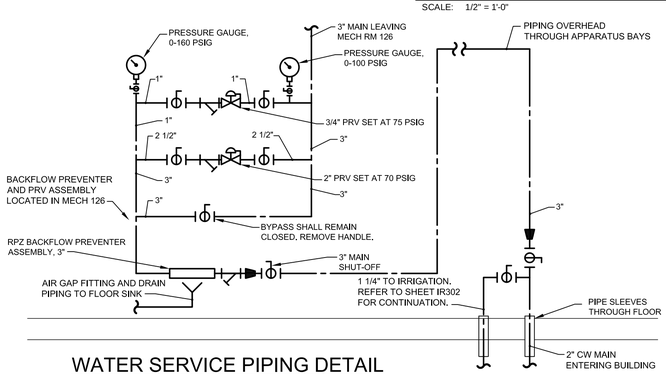
TRUCK FILL WATER VALVE DETAIL

SCALE: 1" = 1'-0"



SK-3 AND HR-2 PIPING DETAIL

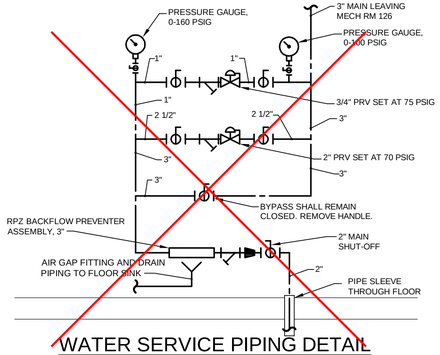
SCALE: 1/2" = 1'-0"



WATER SERVICE PIPING DETAIL

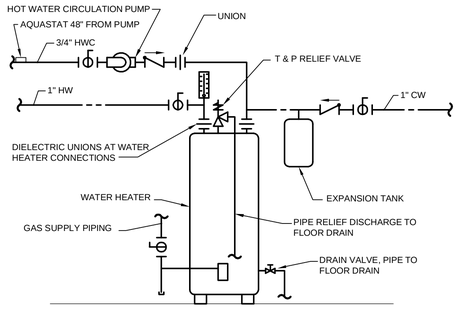
NO SCALE

PSK-1
LOCATION: P301
Addendum 1
ISSUED WITH ADDENDUM 1
DESCRIPTION: REVISED WATER SERVICE PIPING DETAIL
PREPARED BY: DCR
DATE: 4/24/2015
SCALE: NO SCALE
PROJECT NO: 1443
CHAMBERLIN ARCHITECTS
GRAND JUNCTION, COLORADO
FIRE STATION #4



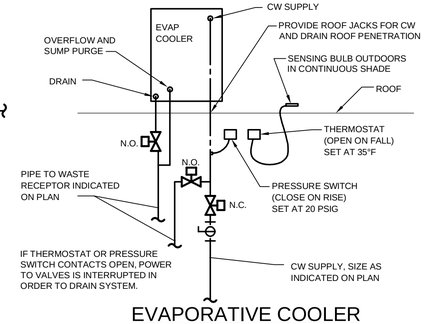
WATER SERVICE PIPING DETAIL

NO SCALE



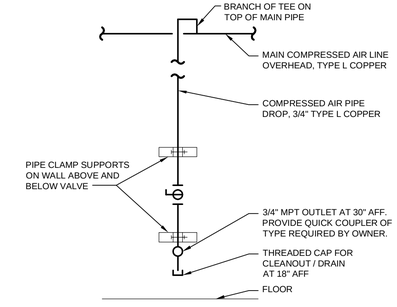
GAS WATER HEATER PIPING DETAIL

NO SCALE



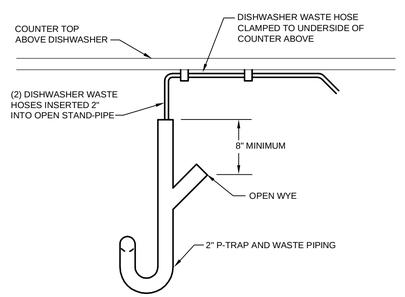
EVAPORATIVE COOLER PIPING SCHEMATIC

NO SCALE



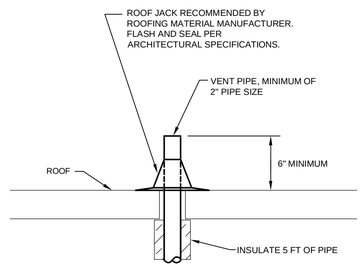
COMPRESSED AIR DROP DETAIL

NO SCALE



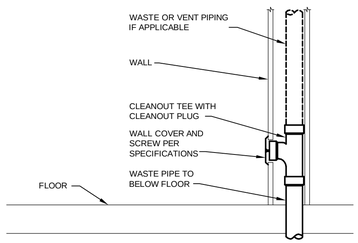
DISHWASHER WASTE CONNECTION DETAIL

NO SCALE

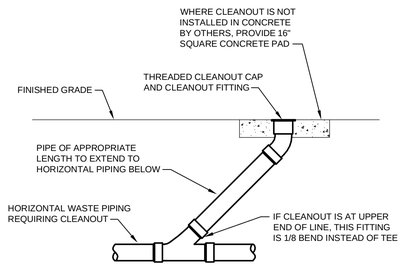


VENT THROUGH ROOF DETAIL

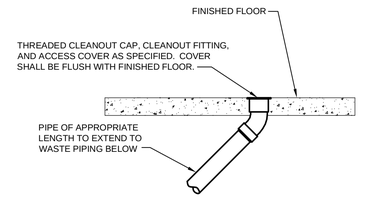
NO SCALE



WALL CLEANOUT (W.C.O.) DETAIL

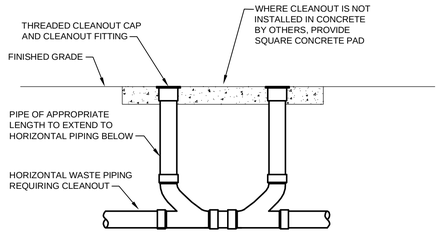


CLEANOUT TO GRADE (C.O.T.G.) DETAIL



FLOOR CLEANOUT (F.C.O.) DETAIL

NO SCALE



TWO-WAY CLEANOUT TO GRADE DETAIL

NO SCALE

CHAMBERLIN ARCHITECTS
ENHANCING EVERYDAY LIVING THROUGH DESIGN

CHAMBERLIN ARCHITECTS
437 Main St.
Grand Junction, Colorado 81501
T 970.242.6804

725 Saint Joseph St., Suite B1
Rapid City, South Dakota 57701
T 605.355.6804

www.chamberlinarchitects.com

RALSTON MECHANICAL CONSULTING, LLC
Engineering for HVAC, Refrigeration, and Plumbing
356 ECHO CANYON COURT, GRAND JUNCTION, CO 81507-9584
PHONE 970-434-9819 / FAX 970-434-9815 / CELL 970-260-1781 / clintral@bresnan.net

ORCHARD MESA FIRE STATION #4

GRAND JUNCTION, COLORADO

PLUMBING DETAILS

NO:	ISSUED FOR:	DATE:

PROJECT STATUS:
CONSTUCTION DOCUMENTS

DRAWN BY: DCR CHECKED BY:

DATE: **04/10/2015**

PROJECT NO: **1443**

SHEET NO: **P301**