

**LIQUOR AND BEER MEETING  
LOCAL LICENSING AUTHORITY  
CITY OF GRAND JUNCTION, COLORADO  
MUNICIPAL HEARING ROOM, CITY HALL, 250 NORTH 5<sup>TH</sup> STREET**

**MINUTES  
WEDNESDAY, MARCH 18, 2020, 2:00 P.M.**

**HEARING OFFICER SAM D. STARRITT**

**I. CALL TO ORDER**

The meeting via conference call was called to order at 2:01 p.m. Those present were Hearing Officer Sam Starritt, City Attorney John Shaver and Deputy City Clerk Janet Harrell.

**II. APPLICATIONS TO RENEW LIQUOR AND BEER LICENSES**

1. Red Lion Gallery & Studios, LLC dba Red Lion Arts Gallery Studios, 546 Main Street, Grand Junction, CO 81501, Art Gallery Permit
2. Fantasy, LLC dba Fantasy, 2258 Colex Drive, Grand Junction, CO 81505, Tavern
3. Yummy, LLC dba Enzo's Pizzeria and Italian Cafe, 707 Horizon Drive, Grand Junction, CO 81506, Hotel & Restaurant
4. Mary's Homestyle Cooking, Inc. dba Mary's Homestyle Cooking, 230 Lynwood Street, Suites G & H, Grand Junction, CO 81503, Hotel & Restaurant
5. Pester Marketing Company dba Alta 6311, 1904 N 12<sup>th</sup> Street, Grand Junction, CO 81501, Fermented Malt Beverage Off Premises
6. Shiman Chu, LLC dba No Coast Sushi, 1119 N 1<sup>st</sup> Street, Unit A, Grand Junction, CO 81501, Hotel & Restaurant
7. Bank 8 Billiards, Inc. dba Bank 8 Billiards, 2460 Patterson Road Suite #3, Grand Junction, CO 81505, Tavern
8. City of Grand Junction dba The Park, 800 Mantlo Circle, Grand Junction, CO 81501, Fermented Malt Beverage On Premises

Hearing Officer Starritt read renewals #1 - #8 into the record and verified with Ms. Harrell the applications were in order. He asked if anyone was present to speak against any of the renewal applications. There was no one. Renewal applications #1 through #8 were approved.

9. CMHH Ventures, LLC dba The Hog and the Hen Spirits, 500 Main Street, Grand Junction, CO 81501, Liquor Store and Tasting Permit

Hearing Officer Starritt read renewal #9 into the record and asked the status of the applications. Ms. Harrell said the applications were in order, however there was disclosure of a conviction. Hearing Officer Starritt reviewed the information, asked if anyone wished to speak against the application. There was no one. Hearing Officer Starritt approved the applications.

### **III. APPLICATIONS TO RENEW LIQUOR AND BEER LICENSE AND CHANGE OF CORPORATE STRUCTURE**

1. City of Grand Junction dba Lincoln Park Sports Complex, 1307 North Avenue, Grand Junction, CO 81501, Lodging & Entertainment

Parks & Recreation Director Ken Sherbenou replaces Parks & Recreation Director Rob Schoeber

Hearing Officer Starritt verified the applications were in order and asked if anyone wished to speak against the applications. There was no one. The applications for renewal and change of corporate structure were approved.

2. City of Grand Junction dba Canyon View Softball Complex, 728 24 Road, Grand Junction, CO 81505, Beer & Wine

Parks & Recreation Director Ken Sherbenou replaces Parks & Recreation Director Rob Schoeber

Hearing Officer Starritt verified the applications were in order and asked if anyone wished to speak against the applications. There was no one. The applications for renewal and change of corporate structure were approved.

### **IV. APPLICATIONS FOR NEW LIQUOR LICENSE – RESOLUTION, FINDINGS AND DECISION**

1. BURNS FEC, LLC dba Bananas Fun Park, 2469 Riverside Parkway, Grand Junction, CO 81505, Beer & Wine

Managing Member: J Christopher Burns, 2491 Park Vista Street, Grand Junction, CO 81505

Member: Heather L Burns, 2488 Zenith Lane, Grand Junction, CO 81505

Ms. Harrell reported the paperwork was in order and read the results of the survey (attached). Managing Member Chris Burns answered questions about how the survey was conducted.

Hearing Officer Starritt said the survey did not include any residential signatures and continued this application to the April 1, 2020 meeting in order for the applicant to get residential signatures.

On March 31, 2020 Hearing Officer Starritt amended the Local Authority's findings and conclusions permitting the City Clerk's office to conduct a "needs and desires" survey by mail to random residents within the Paradise Valley Mobile Home Park and continued this application to the April 15, 2020 meeting (attached).

2. Colorado Mesa University dba Hotel Maverick, 840 Kennedy Avenue, Grand Junction, CO 81501, Hotel & Restaurant

President: Timothy E Foster, 301 E Dakota Drive, Grand Junction, CO 81507

Ms. Harrell reported the paperwork was in order and read the results of the survey (attached). Colorado Mesa University Counsel John Williams called in along with Hotel Maverick Manager Tammy Anderson and Blitz Canvassing employees Trevor Donarski and Sean Hunt. Mr. Donarski and Mr. Hunt answered questions about how the survey was conducted.

Hearing Officer Starritt said two areas within the defined neighborhood lacked sufficient signatures. He continued this application to April 1, 2020 in order for the applicant to get more signatures.

On March 25, 2020 Hearing Officer Starritt amended the Local Authority's finding and decision and granted approval of the license (attached).

## **V. APPLICATIONS FOR SPECIAL EVENT PERMIT**

1. Mesa Developmental Services dba STRiVE, 790 Wellington Avenue, Grand Junction, CO 81501, 641 Struthers Avenue, Grand Junction, CO 81501

"Tulips & Juleps Derby Party - 2020" - 2:00 p.m. to 7:00 p.m. on September 5, 2020  
"Garden Groove Concert Series – 2020" - 6:00 p.m. to 10:00 p.m. on  
June 5, June 26, July 11, July 24, July 31, and August 14, 2020

CEO: Grant Jackson, 3310 Beachwood Street, Grand Junction, CO 81506  
VP/Event Manager: Douglas A Sorter, 349 Lilac Lane, Grand Junction, CO 81505

Mesa Developmental Services dba STRiVE Vice President and Event Manager Doug Sorter requested the May 2<sup>nd</sup> date be changed to September 5<sup>th</sup> and answered questions about the event location, security and how it will be conducted lawfully. Hearing Officer Starritt granted the requested date change and asked if anyone wanted to speak against the Special Event Application being issued; there was no one. Hearing Officer Starritt entered Exhibits "A" and "B" (attached) into the record.

Hearing Officer Starritt found that pursuant to Colorado State Statute 44-5-106, there are no grounds to deny the special event permit; it would not be injurious to the public welfare because of the nature of the special event, its location within the community, or the failure of the applicant in a past special event to conduct the event in compliance with applicable laws. The application for special event permits submitted by Mesa Developmental Services dba STRiVE for the "Tulips & Juleps Derby - 2020" and "Garden Groove Concert Series – 2020" was in order and approved contingent on mandated restrictions at the time of the events.

2. COPMOBA (Colorado Plateau Mountain Bike Trail Association), PO Box 4062, Grand Junction, CO 81502, "Guest Bartender - 2020", Lunch Loops Trailhead – Monument Road, Grand Junction, CO 81507 from 2:00 p.m. - 8:00 p.m. on March 21, 2020

Executive Director: Tisha McCombs, 16342 Olive Court, Montrose, CO 81403  
Event Manager: Joey Early, 2536 Rimrock Avenue, Suite 400 - #282, Grand Junction, CO 81505 – **POSTPONED**

3. Community Hospital Foundation, Inc., 2351 G Road, Grand Junction, CO 81505  
Located at 625 24 ½ Road, Unit A, Grand Junction, CO 81505

"Tastings - 2020" - 4:00 p.m. to 11:30 p.m. on March 26, June 3 and October 7, 2020

President/CEO: Chris Thomas, 1871 S Deer Park Circle, Grand Junction, CO 81507  
Foundation Member/Event Manager: Brandi Pollock, 1041 24 Road, Grand Junction, CO 81505

Community Hospital Foundation representative and Fisher's Liquor Barn Manager Josh Matteson noted the March 26<sup>th</sup> date had been cancelled and answered a series of questions regarding the event location, security and how it will be conducted lawfully.

Hearing Officer Starritt asked if anyone present was in opposition of this special event permit being issued. There was no one. Hearing Officer Starritt entered Exhibits "A", "B" and "C" (attached) into the record.

Hearing Officer Starritt found that pursuant to Colorado State Statute 44-5-106, there are no grounds to deny the special event permit; it would not be injurious to the public welfare because of the nature of the special event, its location within the community, or the failure of the applicant in a past special event to conduct the event in compliance with applicable laws. The application for a special event permit submitted by the Community Hospital Foundation for "Tastings – 2020" was in order and approved contingent on mandated restrictions at the time of the events.

## **VI. OTHER BUSINESS**

There was none.

## **VII. ADJOURNMENT**

The meeting adjourned at 3:25 p.m.

**NEXT REGULAR MEETING – April 15, 2020**



MEMO: Local Licensing Authority  
FROM: Janet Harrell, Deputy City Clerk  
DATE: March 9, 2020  
SUBJECT: Burns FEC, LLC dba Bananas Fun Park – 2469 Riverside Parkway, Grand Junction, CO  
81505 – Beer & Wine License

A liquor license application permitting sales of malt and vinous beverages for consumption at place where sold, was filed with the Local Licensing Authority on February 4, 2020 and on March 4, 2020 a legal notice was published in the Daily Sentinel and a "Notice of Hearing" was posted on the property on or before noon.

A survey was conducted to address the reasonable requirements of the neighborhood. The neighborhood was defined as the area bounded by Patterson Road on the north, Riverside Parkway on the south, 25 ½ Road on the east, and 24 Road on the west, and includes both sides of the outer boundary streets. The City Clerk's Office reviewed the findings and obtained the following results (map attached).

Business Results (green map pins):	Residential Results (yellow map pins):
FAVOR: 56	FAVOR: 0
OPPOSE: 0	OPPOSE: 0

Twelve responses were disqualified for the following reasons: incomplete entry (7), address not within survey boundary (4) and no preference specified (1).

To date, no letters of opposition or counter petitions have been filed.

The Grand Junction Police Department will investigate the individuals for local criminal history. Reports have also been requested from the City of Grand Junction Sales Tax Department, the Fire Department, and Mesa County Health Department.

The number of similar City licenses within in the survey area are as follows:

**Hotel and Restaurant – 13** (Boston's The Gourmet Pizza, Chipotle Mexican Grill, Genghis Grill, Tequila's Mexican Family Restaurant, Chili's Grill & Bar, Red Lobster #0685, Famous Dave's, Outback Steakhouse, Chuck E. Cheese, Olive Garden, Red Robin America's Gourmet Burgers + Brew, Thai Chili & Pho and Buffalo Wild Wings)

**Lodging & Entertainment – 1** (X-Golf Grand Junction)

**Tavern – 1** (Bank 8 Billiards)

**Club – 1** (Loyal Order of Moose)

**Beer and Wine – 5** (Bamboo City, Glacier Ice Arena, Grand International Buffet, Pho 88 and Smokin' Oak Wood-Fired Pizza)

**Retail Liquor Store – 1** (Fisher's Liquor Barn)

**Fermented Malt Beverage (Off Premises) – 5** (Natural Grocers, Sam’s Club #6360, Stinker #321, Target Store T-0093 and Walmart #5099)

cc: Christopher Burns, applicant  
Sam D. Starritt, Hearing Officer  
John Shaver, City Attorney  
Meghan Woodland, Grand Junction Police Department  
File

# Bananas Fun Park



Printed: 3/9/2020  
1 inch equals 1,505 feet  
Scale: 1:18,056



LOCAL LICENSING AUTHORITY  
CITY OF GRAND JUNCTION

In re: Application for New License (Beer & Wine)  
BURNS FEC, LLC, d/b/a Bananas Fun Park

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**AMENDED FINDINGS AND CONCLUSIONS, ORDER**

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THIS MATTER, having come before the Authority, *sua sponte*, for reconsideration of the decision rendered on the above-referenced application for a new license (beer & wine) at the regular hearing of the Local Licensing Authority for the City of Grand Junction on March 18, 2020; and

WHEREAS, subsequent to the Hearing, multiple events have transpired with respect to the global pandemic stemming from the COVID-19 virus, including without limitation a recent Executive Order imposing strict “stay at home” requirements across the State of Colorado; and

WHEREAS, the Licensing Authority for the City of Grand Junction has recently amended its policies on an emergency basis, and will recommend adoption by the City Council by ordinance, in light of the COVID-19 virus and associated Executive Orders to permit a “needs and desires” survey to be conducted by the City Clerk’s office generating a list of the businesses and residences within a mile radius of the proposed licensed location, select 100 addresses at random, and mail a card with a unique identifier. The recipient would be asked to submit comments online (using the unique identifier) or invited to participate via phone in the public hearing; and

WHEREAS, by prior decision of the Authority, the above-referenced applicant was required to conduct further surveying in the Paradise Valley Mobile Home Park, because that was within the identified neighborhood boundary, and the Applicant simply chose not to survey within that area; and

WHEREAS, the Authority has determined that it is in the best interest of the public and the Applicant, in light of the state-wide Stay at Home Order, to permit the Applicant to conduct the additional surveying utilizing the above-described emergency method adopted by the Authority.


THEREFORE, it is hereby ORDERED that the prior findings, conclusions and order of the Authority regarding the above-captioned application are amended to permit the Applicant to conduct the additional surveying in the Paradise Valley Mobile Home Park under the newly-established above-described method. Further, because it will take some additional time for the City Clerk’s office to establish the list of persons within the neighborhood to receive the notice,



and establish the unique identifier for responses, the hearing on this Application currently set for April 1 is hereby VACATED and reset for the next regular meeting of the authority on April 15, 2020.

DATED: March 31, 2020.

LOCAL LICENSING AUTHORITY  
CITY OF GRAND JUNCTION:

By:   
\_\_\_\_\_  
Sam D. Starritt  
Hearing Officer



MEMO: Local Licensing Authority

FROM: Janet Harrell, Deputy City Clerk

DATE: March 13, 2020

SUBJECT: Colorado Mesa University dba Hotel Maverick – 840 Kennedy Avenue, Grand Junction, CO 81501 – Hotel & Restaurant License

A liquor license application permitting sales of malt, vinous and spirituous beverages for consumption at place where sold, was filed with the Local Licensing Authority on February 6, 2020 and on March 4, 2020 a legal notice was published in the Daily Sentinel and a "Notice of Hearing" was posted on the property on or before noon.

A survey was conducted by Blitz Canvassing to address the reasonable requirements of the neighborhood. The neighborhood was defined as the area bounded by Bookcliff Avenue on the north, Gunnison Avenue on the south, N 13<sup>th</sup> Street on the east, and N 1<sup>st</sup> Street on the west, and includes both sides of the outer boundary streets. The City Clerk's Office reviewed the findings by Blitz Canvassing and obtained the following results (map attached).

Business Results (green map pins):

FAVOR: 57

OPPOSE: 3

Residential Results (yellow map pins):

FAVOR: 166

OPPOSE: 10

Twenty responses were disqualified for the following reasons: address not within survey boundary (9), address not verified (4), age under twenty-one/not marked (4) and no preference specified (3).

To date, no letters of opposition or counter petitions have been filed.

The Grand Junction Police Department will investigate the individuals for local criminal history. Reports have also been requested from the City of Grand Junction Sales Tax Department, the Fire Department, and Mesa County Health Department.

The number of similar City licenses within in the survey area are as follows:

**Hotel and Restaurant – 3** (Old Chicago, Fiesta Guadalajara – GJ and El Tapatio)

**Campus Liquor Complex – 1** (Sodexo)

**Lodging & Entertainment – 2** (Lincoln Park Sports Complex and Copeka Coffee)

**Tavern – 1** (Volleys)

**Brew Pub – 1** (Kannah Creek Brewing)

**Arts – 1** (Western Colorado Center for the Arts)

**Retail Liquor Store – 2** (Andy's Liquor Mart and North Avenue Liquor)

**Fermented Malt Beverage (Off Premises) – 3** (Stinker #323, Circle K #2744115 and Alta 6311, )

cc: John Williams, on behalf of Colorado Mesa University  
Sam D. Starritt, Hearing Officer  
John Shaver, City Attorney  
Meghan Woodland, Grand Junction Police Department  
File



and Josh Zambrano circulated one (1) packet labeled JZ10. A total of ten (10) petition packets were circulated.

**Petition/Survey Results**

**Quantitative Results:**

Valid	Total	Support		Oppose		Circled Both	
	Responses	Count	Percentage	Count	Percentage	Count	Percentage
Resident	166	154	93%	10	6%	2	1%
Business Owner	16	15	94%	1	6%	0	0%
Business Manager	7	6	86%	1	14%	0	0%
<b>Total</b>	<b>189</b>	<b>175</b>	<b>93%</b>	<b>12</b>	<b>6%</b>	<b>2</b>	<b>1%</b>

Questionable	Total	Support		Oppose		Circled Both	
	Responses	Count	Percentage	Count	Percentage	Count	Percentage
Resident	0	0	0%	0	0%	0	0%
Business Owner	21	19	90%	2	10%	0	0%
Business Manager	14	13	93%	1	7%	0	0%
<b>Total</b>	<b>35</b>	<b>32</b>	<b>91%</b>	<b>3</b>	<b>9%</b>	<b>0</b>	<b>0%</b>

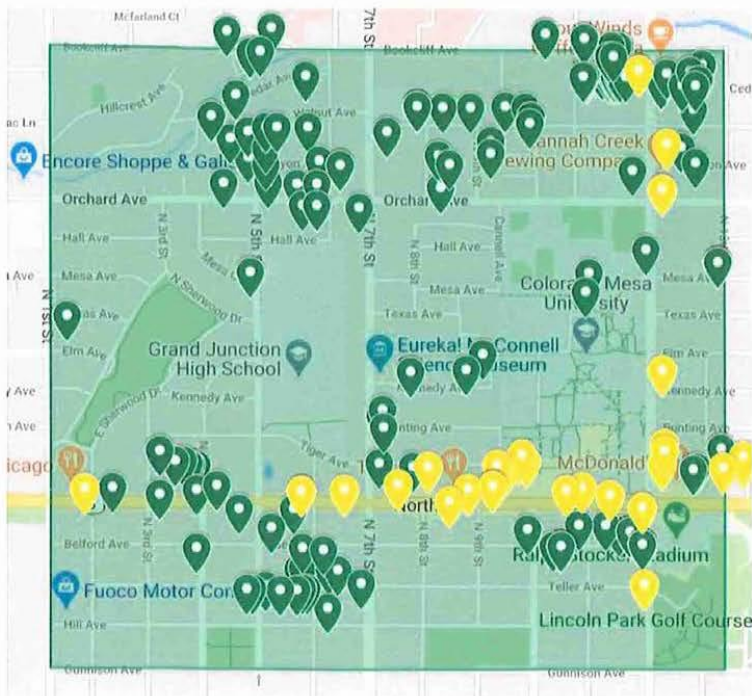
Overall w/ Valid and Questionable	Total	Support		Oppose		Circled Both	
	Responses	Count	Percentage	Count	Percentage	Count	Percentage
Resident	166	154	93%	10	6%	2	1%
Business Owner	37	34	92%	3	8%	0	0%
Business Manager	21	19	90%	2	10%	0	0%
<b>Total</b>	<b>224</b>	<b>207</b>	<b>92%</b>	<b>15</b>	<b>7%</b>	<b>2</b>	<b>1%</b>

\*Also included is a line by line excel document of each signature collected. They are in order by packet turned into the clerk. For example, the first packet labeled SH1 will be on rows 2-35 of the excel document. The questionable signatures are those where a business owner/manager did not print their name beside their business.

# BLITZ CANVASSING

Map of Contacts Surveyed:

Key	
Green	Valid Contacts
Yellow	Questionable Contacts



# Hotel Maverick



LOCAL LICENSING AUTHORITY  
CITY OF GRAND JUNCTION

In re: Application for New License (Hotel & Restaurant)  
Colorado Mesa University, d/b/a Hotel Maverick

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**AMENDED FINDINGS AND CONCLUSIONS, ORDER GRANTING LICENSE**

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THIS MATTER, has come before the Local Licensing Authority for the City of Grand Junction, Colorado, *sua sponte*, and based on written requests made to the Authority by email, which are hereby made part of the record in this case, to review the findings and conclusions made at the March 18, 2020 hearing (“Hearing”) regarding the application of Colorado Mesa University d/b/a Hotel Maverick for a hotel and restaurant license (“Application.”) The location for the proposed license was duly and lawfully posted and notice given of the date, place and timing of the Hearing.

At the conclusion of the Hearing, the Authority tabled a decision on the Application to allow the Applicant to supplement the record regarding the needs and desires survey (“Survey”) results submitted at the Hearing in support of the Application.

With this order the Authority amends its findings and decision regarding the Application as follows:

1. Subsequent to the Hearing, the public health crisis involving the spread of the COVID-19 virus has prompted many states and municipalities, including the City and County of Denver, Colorado, to impose mandatory “shelter in place” type restrictions; and although the City of Grand Junction has not yet imposed such a restriction, the Governor of the State of Colorado has, by several executive orders, made it clear that people should limit personal interaction to the greatest extent possible; and

2. Pursuant to C.R.S. § 44-3-301()(2)(a), the Authority is required to consider “the reasonable requirements of the neighborhood, the desires of the adult inhabitants as evidenced by petitions, remonstrances, or otherwise and all other reasonable restrictions that are or may be placed upon the neighborhood by the local licensing authority.” This requirement is ordinarily satisfied by the applicant’s conduct of a neighborhood survey. The “neighborhood” is defined by the City Clerk’s office and published to the applicant.

3. This Authority has never applied a strict “numbers” approach to determining whether an applicant has satisfied its burden to demonstrate that the needs and desires of the neighborhood are not being met by the number of existing licenses. Instead, the Authority looks to a broad number of factors, including community opposition, or lack thereof, counter-petitions,

if any, and survey results showing a reasonable cross section of residences and business in the defined neighborhood. To demonstrate the locations of the applicant's survey efforts, the City Clerk's office produces a map showing the location of lawful responses from residents and businesses.

4. At the Hearing the Applicant presented the results of its Survey, which was conducted by Blitz, a commercial canvassing firm. The Authority found that the survey had been properly conducted and supplied a fair number of responses from the residences and business in the neighborhood, which is quite disproportionately residential. It was noted that in some areas of the defined neighborhood many of the properties had, over the years, been acquired by the Applicant, and there was no longer third-party housing. However, in the Sherwood Park and Hillcrest neighborhoods, which are almost exclusively residential, there were few if any responses. The Applicant, through testimony, admitted that those neighborhoods were not extensively surveyed. Because of that the Authority tabled the application until April 1, 2020 to allow the Applicant to supplement the record with survey results from those neighborhoods.

5. There were no counter petitions, letters of opposition or other objections to the Application. No person appeared at the hearing to object or even question the Application.

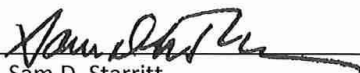
6. In light of the foregoing and especially the rapidly developing events described in Section 1, above, the Authority has determined that it is in the best interest of public health and safety to AMEND its prior findings.

THEREFORE, based on the fact that the Applicant did post notice of the hearing, did conduct a needs and desires survey that covered a substantial part, though not all, of the defined neighborhood, and in light of the fact that there were no counter petitions filed, no statements of opposition either prior to or at the Hearing, the Authority withdraws its prior order tabling the Application/requiring the Applicant to supplement the record in this matter.

IT IS ACCORDINGLY ORDERED that the Application for a hotel and restaurant license at the location of the Hotel Maverick, 840 Kennedy Avenue, Grand Junction, Colorado 81501, be and hereby is GRANTED.

DATED: March 25, 2020.

CITY OF GRAND JUNCTION  
LIQUOR LICENSING AUTHORITY

by:   
Sam D. Starritt  
Hearing Officer



SPECIAL EVENT PERMIT  
QUESTIONNAIRE AND AFFIDAVIT

A

1. Name of Event: Tulips & Juleps Derby, Garden Groove Concert Series

2. How many attendees are expected? 300

3. Has the event been held in the past? If so, how many years? Yes, 7 years

4. Have there ever been any violations or citations issued during the event in the past?  
Proud to say we've experienced no violations in the past.

5. Describe the premises at which the event will take place (attach diagram).  
The events take place on the front lawn area of the Western Colorado Botanical Gardens, south of Struther Ave and at the south end of 7th Street.

6. What type of and how many security will be provided?  
We used two paid security personnel from CSI security. We have two to three volunteer security personnel which are identified by wearing a yellow vest with the word security in bold black letters on the backs.

7. Describe the Security Control Plan (use additional sheet if necessary).  
We position one paid security person at the only gate to enter or exit the event from start to finish. The additional paid security person is positioned in the area where the alcohol is served and tickets are purchased for beer or wine. The three volunteer security personnel are positioned at the following: locations: 1.) ID check and banding area 2.) behind the stage area 3.) front stage area. All possible issues observed will be brought to my attention and dealt with accordingly with the paid security staff and myself.

8. How will security personnel be identified?  
The paid security staff will be dressed in the CSI uniforms and the volunteer staff will wear a yellow vest with the word security in bold black letters security on the back.

9. If this event is an outdoor event, how will the exterior boundaries of the premises be marked (i.e., roped, fenced, etc.)?  
There is a permanent six foot high fence surrounding the entire area of the gardens. There is only one entrance and exit during the event, which is located at the east end of the gardens area.

10. What method of age verification will be used (i.e., at the door, at the bar, etc.) and how will underage patrons be identified so as not to be served alcohol beverages (i.e., stamp or mark on the hand, etc.)? A

ID checks will be made by the TIPS trained volunteer staff as the patrons enter through a second gate area inside the gardens onto the front lawn. Wrist bands identifying who is 21 years and older will be applied after the ID check is verified. Ticket sales/serv for alcohol volunteers will check for bands before sale

11. How will the conduct and level of intoxication of attendees be monitored and by whom?

All servers will monitor and report to me, I and the paid security staff will monitor and address issues.

12. Have the volunteers or members of your organization been trained in the sale/service of alcohol beverages?

Yes we have two TIPS trained volunteers. We also use the TIPS training information at each event for those people who are volunteering for the first time to educate them before each event.

13. What other types of beverages and food/snacks will be available?

Water, Soda and a food truck certified by the city and county.

14. Does this organization (applicant) have a State and City Sales Tax Number ? If so, provide those numbers below. If not, what is the application submission date?

No we are a 501 (c) 3 non-profit tax exempt organization.

I hereby certify, under penalty of perjury, that the information provided to the Grand Junction Liquor Licensing Authority contained in this questionnaire/affidavit is true and accurate to the best of my knowledge.

*[Signature]*  
Applicant's Signature

2/6/2020  
Date

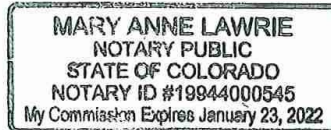
STATE OF COLORADO )  
COUNTY OF MESA ) SS.  
CITY OF GRAND JUNCTION )

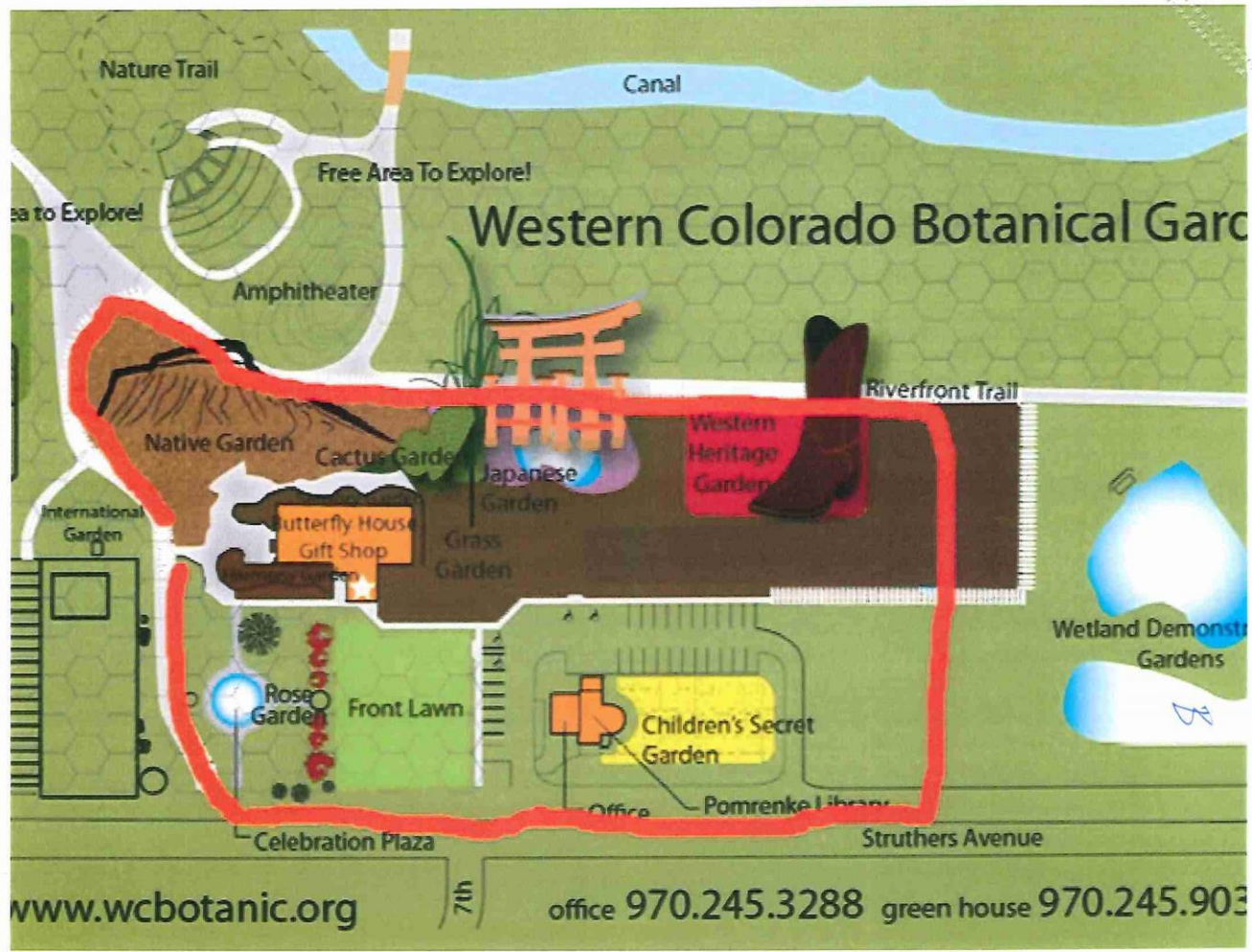
Subscribed and sworn to before me this 6th day of FEBRUARY, 2020.

Witness my hand and official Seal.

*[Signature]*  
Notary Public

01.23.2022  
My commission expires





SPECIAL EVENT PERMIT  
QUESTIONNAIRE AND AFFIDAVIT

A

1. Name of Event: Tastings

2. How many attendees are expected at the event? 50

3. Has the event been held in the past? If so, how many years? Same event as October's Scotch Tasting

4. Have there ever been any violations or citations issued during the event in the past?  
no

5. Describe the premises at which the event will take place.  
Former (Conchita's) Now Used for Training and Special Events now known as The Venue at Fisher's

6. What type of and how many security will be provided at this event and how will they be identified?  
Fisher's Liquor Barn TIPS Trained Employees, will be identified by Fisher's Uniforms

7. What is the Control Plan for security at this event? (Use additional sheet if necessary)  
Each Guest will be asked for their purchased ticket and identified with their state issued ID by a TIPS certified employee of Fisher's Liquor Barn.  
The tasting will be held in a "classroom" style setting. Each Sample will be poured by a TIPS certified person. Each Sample will be explained by a representative of the Liquor Supplier as they are poured.  
The guests will be asked to dump their remaining Sample out before the following Sample is tasted.  
There will be heavy appetizers served during the entire event.

8. How will security personnel be identified?  
Security will be identified by Fisher's Liquor Barn uniforms.

9. If this event is being held outdoors, how will the exterior boundaries of the premises be marked (i.e., roped, fenced, etc.)?  
Inside Event

10. What method will be used in checking identification for proper age of attendees (i.e., at the door, at the bar, etc.) and how will underage patrons be identified so as not to be served alcohol beverages (i.e., stamp or mark on the hand, etc.)

Each guest will be carded by a TIPS Certified employee of Fisher's Liquor Barn at the entrance.

There will be no one admitted into the tasting that is under the age of 21.

11. How will the conduct and level of intoxication of attendees be monitored and by whom?

The TIPS certified representatives will monitor the level of intoxication, and anyone that appears to be intoxicated will not be served more.

12. Have the volunteers or members of your organization been trained in the sale/service of alcohol beverages?

Yes, they have all been TIPS certified within the past 2 years.

13. What types of alternate beverages and food/snacks will be available?

There will be light appetizers available during the entire event. There will also be bottled water and glasses of water at each guests seat.

14. Has a State and City Sales Tax Number been initiated by you or a member of your organization? If so, provide those numbers in the space provided.

98-01267-0000

I hereby certify, under penalty of perjury, that the information provided to the Grand Junction Liquor Licensing Authority contained in this affidavit is true and accurate to the best of my knowledge.

Brandi Pollock

Digitally signed by Brandi Pollock  
DN: cn=Brandi Pollock, o=Fisher's Liquor Barn,  
ou, email=brandi@fisherliquorbarn.com, c=US  
Date: 2019.03.18 17:59:43 -0600

02/13/20

Applicant's Signature

Date

STATE OF COLORADO )  
COUNTY OF MESA ) SS.  
CITY OF GRAND JUNCTION )

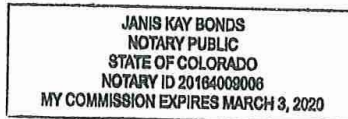
Subscribed and sworn to before me this 18<sup>th</sup> day of February, 20 20.

Witness my hand and official Seal.

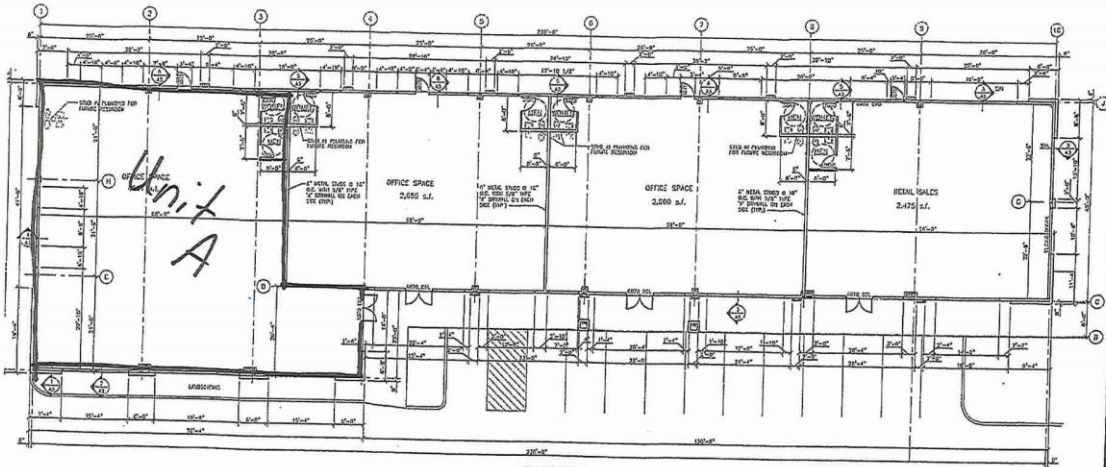
Notary Public

March 3, 2020

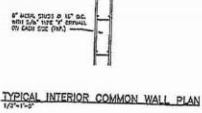
My commission expires



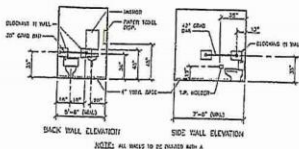
N



FLOOR PLAN  
1/8" = 1'-0"



TYPICAL INTERIOR COMMON WALL PLAN  
1/8" = 1'-0"

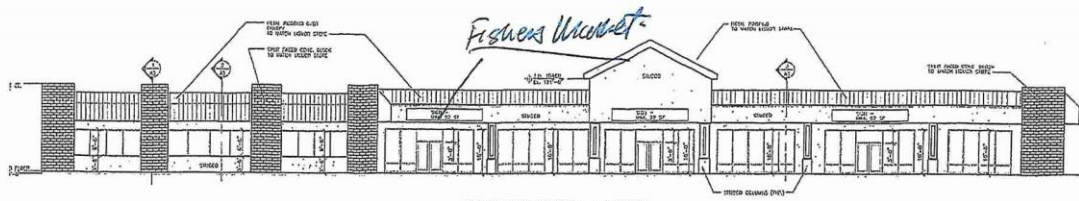


TYP. TOILET ROOM ELEVATIONS  
1/8" = 1'-0"

CODE REVIEW DATA SHEET	
TYPE	RETAIL
USE	RETAIL
CONSTRUCTION TYPE	TYPE III
TYPE OF OCCUPANCY	TYPE III
ALLOWABLE AREA	2,000 S.F.
ACTUAL AREA	2,000 S.F.
SPRINKLER RICHNESS	3001
PERMITTED AREA, NET FLOOR	20,000 S.F.
ACTUAL AREA	20,000 S.F.
TYPE OF CONSTRUCTION	V-D
TYPE OF OCCUPANCY	TYPE III
ALLOWABLE AREA	2,000 S.F.
ACTUAL AREA	2,000 S.F.
SPRINKLER RICHNESS	3001
PERMITTED AREA, NET FLOOR	20,000 S.F.
ACTUAL AREA	20,000 S.F.
TYPE OF CONSTRUCTION	V-D
TYPE OF OCCUPANCY	TYPE III
ALLOWABLE AREA	2,000 S.F.
ACTUAL AREA	2,000 S.F.
SPRINKLER RICHNESS	3001
PERMITTED AREA, NET FLOOR	20,000 S.F.
ACTUAL AREA	20,000 S.F.

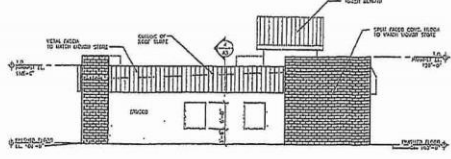
CONTRACTOR: [Name]  
 ARCHITECT: [Name]  
 ENGINEER: [Name]  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. [Number]  
 STATE OF COLORADO  
 PROJECT NO. [Number]  
 SHEET NO. [Number]  
 DATE: [Date]

B

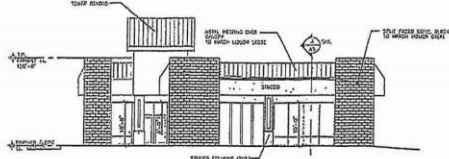


FRONT ELEVATION - SOUTH

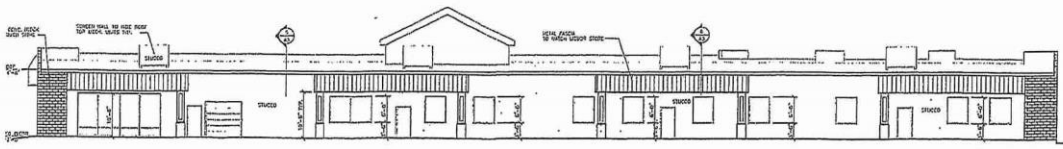
200 APPROXIMATE SCALE  
 1/4" = 1'-0" ALL DIMENSIONS IN FEET  
 1/8" = 1'-0" ALL DIMENSIONS IN FEET  
 1/16" = 1'-0" ALL DIMENSIONS IN FEET



LEFT SIDE ELEVATION - WEST (HOME DEPOT)



RIGHT SIDE ELEVATION - EAST (24 1/2 RD)



REVISED REAR ELEVATION - NORTH

PREPARED FOR: [Redacted]  
 2700 [Redacted]  
 [Redacted]  
 [Redacted]

ARCHITECT: [Redacted]  
 2700 [Redacted]  
 [Redacted]  
 [Redacted]

PROJECT NO.: [Redacted]  
 SHEET NO.: [Redacted]  
 DATE: [Redacted]

SPECIALISTS  
 ARCHITECTS AND ENGINEERS  
 2700 [Redacted]  
 [Redacted]  
 [Redacted]

PROJECT NO.: [Redacted]  
 SHEET NO.: [Redacted]  
 DATE: [Redacted]

ELEVATIONS

A2