



Purchasing Division

ADDENDUM NO. 1

DATE: April 13, 2020
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: 2020 Horizon Place Street Reconstruction IFB-4784-20-DH

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. Q. Does the new enclosure include walls or a thickened edge for the slab?

A. Yes. Please see the details on page C-2 of the Plan Set. Also, see the updated bid schedule.

2. Q. The solicitation indicates that 2-way traffic must be maintained throughout construction. Is it possible to waive this?

A. Local traffic must be maintained to both Solstice Senior Living and Juniper Ridge Community School. Traffic may be reduced to one lane, but access in both directions must be available.

3. Q. Per Paving Construction General Note 7 on sheet C-2 of the issues bid plan set, the "Rigid Pavement" is to be constructed of, "6-Inch Portland Cement Concrete w/ #4 bars @ 16-Inch OC EW". The proposed driveway access to the West is to be constructed of 8-Inch non-reinforced concrete. Extending to the South from this proposed driveway access, called out on sheet C-4 is approx. "34 SY of new 8-Inch concrete pavement". In regards to this proposed concrete pavement section was the intent of the Design team to follow the depth and reinforcement parameters described in the above-mentioned General Note 7?

A. The concrete depth in the note has been changed to 8". The reinforcement parameters have been updated as well. Please see the updated plan set.

4. Q. I am not able to find an assigned bid item for ballards on the bid tab provided, nor am I able to find a note indicating ballards are incidental to an assigned bid item. To what bid item are the payment for ballards assessed against?

A. The bollards should be considered incidental to Item No. 30 – Concrete Dumpster Pad (8" thick)

5. Q. Per Dumpster Enclosure Detail 2 on sheet C-2 of the bid plan set there is an 18" thickened edge on the dumpster enclosure slab. Is the thickened edge only at the locations of each fence/hinge post, along parameter of proposed fence, or along whole parameter of the dumpster enclosure slab (including apron)?

A. The thickened edge should be constructed at the edges of the slab where the posts are to be set.

6. Q. I am not able to find an assigned bid item for the fencing for the dumpster enclosure on the bid tab provided, nor am I able to find a note indicating fencing is incidental to an assigned bid item. Are the fence posts, or any other part of the fence incidental to the dumpster enclosure slab?

A. New line items have been added to the bid schedule for both the fence and the gate for the trash enclosure. Footings, hardware, and any necessary appurtenances required to construct each item should be considered incidental to each respective item.

7. Q. The bid schedule does not have an item for excavation, could one be added?

A. Yes. Please see the updated bid schedule. Contractor shall utilize the attached updated Addendum 1 Price Bid Schedule when submitting their bid response.

8. Juniper Ridge School has approximately 350 students/parents that access the school on a normal school day. There are also approximately 50 staff members that access the school when students are not present. The following dates are available for Juniper Ridge School activities at this time:

Normal School Hours: 7:45am-8:30am drop off
3:00pm-4:00pm pick up

Last Day of School – June 5 (If school is allowed back to the physical building)

Staff Only – June 8th through June 12th (Most staff out by June 10)

Some Staff Returns – July 27th

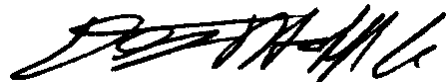
Entire Staff Returns – August 3rd

First Day of School – August 10

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,



Duane Hoff Jr., Senior Buyer
City of Grand Junction, Colorado

Bid Schedule: Horizon Place Addendum #1

Contractor: _____

| Item No. | CDOT, City Ref. | Description | Quantity | Units | Unit Price | Total Price |
|----------|-----------------|------------------------------------------------------------------------------------------|----------|----------|------------|-------------|
| 1 | 108.2 | Water Main (6") (C-900, DR-18)(Includes cost of restrained connection to existing pipe) | 19. | LF | \$ _____ | \$ _____ |
| 2 | 108.2 | Water Main (8") (C-900, DR-18) (Includes cost of restrained connection to existing pipe) | 26. | LF | \$ _____ | \$ _____ |
| 3 | 108.3 | 8" Gate Valve(Restrained Fitting)(Epoxy Coated) | 3. | EA | \$ _____ | \$ _____ |
| 4 | 108.3 | Tee (8" x 6") MJ Swivel Tee (Epoxy Coated) | 1. | EA | \$ _____ | \$ _____ |
| 5 | 108.3 | Elbow (8" x 45 deg)(Epoxy Coated) | 2. | EA | \$ _____ | \$ _____ |
| 6 | 108.3 | Cap (8") | 1. | EA | \$ _____ | \$ _____ |
| 7 | 108.3 | Fire Hydrant Assembly | 1. | EA | \$ _____ | \$ _____ |
| 8 | 201 | Clear and Grub Trees/Vegetation(Approx. 1,308 SY) | | Lump Sum | --- | \$ _____ |
| 9 | 202 | Concrete Curb, Gutter, Sidewalk, V-Pan & Dumpster Pad Removal & Disposal | 180. | SY | \$ _____ | \$ _____ |
| 10 | 202 | Asphalt Removal and Disposal | 1,664. | SY | \$ _____ | \$ _____ |
| 11 | 202 | Storm Sewer Manhole Removal and Disposal | 1. | EA | \$ _____ | \$ _____ |
| 12 | 202 | Dumpster Enclosure Removal and Disposal | 1. | EA | \$ _____ | \$ _____ |
| 13 | 202 | Tree Removal and Disposal | 2. | EA | \$ _____ | \$ _____ |
| 14 | 202 | Chain Link Fence Removal and Disposal | 30. | LF | \$ _____ | \$ _____ |
| 15 | 202 | Fire Hydrant Removal and Disposal | 1. | EA | \$ _____ | \$ _____ |
| 16 | 203 | Earthen Ditch | 165. | LF | \$ _____ | \$ _____ |
| 17 | 203 | Excavation | 1. | LS | \$ _____ | \$ _____ |
| 18 | 208 | Rip Rap Outlet Protection Structures | 30. | LF | \$ _____ | \$ _____ |
| 19 | 208 | Erosion Control (Complete In Place) (To Include Earthwork) | | Lump Sum | --- | \$ _____ |
| 20 | 208 | Vehicle Tracking Pad | 1. | EA | \$ _____ | \$ _____ |
| 21 | 208 | Temporary Berms | | Lump Sum | --- | \$ _____ |
| 22 | 208 | Concrete Wash Out Pit & Maintenance | | Lump Sum | --- | \$ _____ |
| 23 | 208 | Stormwater Management | | Lump Sum | --- | \$ _____ |
| 24 | 210 | Relocate Street Signs | 6. | EA | \$ _____ | \$ _____ |
| 25 | 210 | Landscaping to Match Existing | | Lump Sum | --- | \$ _____ |

Bid Schedule: Horizon Place Addendum #1

Contractor: _____

| Item No. | CDOT, City Ref. | Description | Quantity | Units | Unit Price | Total Price |
|----------|-----------------|--------------------------------------------------------------------------------------------------------|----------|-------|------------|--------------|
| 26 | 304 | Aggregate Base Course (Class 6) (12" Thickness) | 1,350. | Tons | \$ _____ | \$ _____ |
| 27 | 306 | Subgrade Reconditioning (12" Deep) | 2,814. | SY | \$ _____ | \$ _____ |
| 28 | 401 | Hot Mix Asphalt (4" thick) (Grading SX-75, Binder Grade 64-22) | 625. | Tons | \$ _____ | \$ _____ |
| 29 | 607 | Trash Enclosure Fence | 48. | LF | \$ _____ | \$ _____ |
| 30 | 607 | Trash Enclosure Gate | 18. | LF | \$ _____ | \$ _____ |
| 31 | 608 | Concrete Curb Ramp - 20' Radius ADA Alternate Ramp with Cast Iron Wet Set ADA Detectible Mat | 1. | EA | \$ _____ | \$ _____ |
| 32 | 608 | Concrete Curb Ramp - 20' Radius ADA Curb Return with Cast Iron Wet Set ADA Detectible Mat | 1. | EA | \$ _____ | \$ _____ |
| 33 | 608 | Concrete Dumpster Pad (8" Thick) | 42. | SY | \$ _____ | \$ _____ |
| 34 | 608 | Concrete Driveway (8" Thick) | 110. | SY | \$ _____ | \$ _____ |
| 35 | 608 | Monolithic Curb, Gutter, Sidewalk (7' Wide) | 324. | LF | \$ _____ | \$ _____ |
| 36 | 608 | 1'6" Concrete Spill Curb and Gutter (To Include Subgrade Excavation, Reconditioning, & 6" Class 6 ABC) | 521. | LF | \$ _____ | \$ _____ |
| 37 | 608 | 2' Concrete Curb and Gutter (To Include Subgrade Excavation, Reconditioning, & 6" Class 6 ABC) | 73. | LF | \$ _____ | \$ _____ |
| 38 | 614 | End of Roadway Signs | 3. | EA | \$ _____ | \$ _____ |
| 39 | 620 | Sanitary Facility | Lump Sum | | --- | \$ _____ |
| 40 | 625 | Construction Surveying | Lump Sum | | --- | \$ _____ |
| 41 | 626 | Mobilization | Lump Sum | | --- | \$ _____ |
| 42 | 630 | Traffic Control (Complete In Place) | Lump Sum | | --- | \$ _____ |
| 43 | 630 | Traffic Control Plan | Lump Sum | | --- | \$ _____ |
| MCR | | Minor Contract Revisions | --- | --- | --- | \$ 15,000.00 |

Bid Amount: \$ _____

Bid Amount: _____

dollars

CITY OF GRAND JUNCTION
 250 NORTH 5TH STREET
 Grand Junction, Colorado 81501
 (970) 244-1501

PLANS FOR
 CONSTRUCTION OF

HORIZON PLACE

FEBRUARY 18, 2020




VICINITY MAP
 NTS

PROJECT
 LOCATION



| NO. | TITLE |
|-----|------------------------------------------------|
| C1 | COVER |
| C2 | TYPICAL CONSTRUCTION NOTES |
| C3 | DEMOLITION PLAN |
| C4 | SITE PLAN |
| C5 | UTILITY COMPOSITE PLAN |
| C6 | HORIZON PLACE PLAN & PROFILE |
| C7 | GRADING PLAN COMMUNITY LANE/DUMPSTER ENCLOSURE |

Know what's below.
 Call before you dig.

 SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY

| NO. | REVISIONS | DATE | BY |
|-----|------------------------------|----------|-----|
| 1 | RESPONSE TO 2-24-20 COMMENTS | 02-26-20 | CIM |
| 2 | RESPONSE TO 3-19-20 COMMENTS | 03-19-20 | CIM |

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 Land Planning • Civil Engineering • Development Services
 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

| |
|-----------------------------------------------|
| HORIZON PLACE |
| description COVER |
| 601 HORIZON PLACE |
| prepared for CITY OF GRAND JUNCTION |

| | | | |
|--------------------------|---------------------|-------------|---------------------|
| DRAWN BY: CIM | DESIGNED BY: CIM | CHECKED BY: | APPROVED BY: MRA |
| JOB NUMBER: 1382.0001 | | | |
| DATE: 02-18-20 | | | |
| SCALE: NTS | | | |
| SHEET NO: C-1 | | | |

ACCEPTANCE BLOCK
 THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S
 DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY
 THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF
 THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR
 OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE
 PROFESSIONAL OF RECORD.
 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE

GENERAL CONSTRUCTION NOTES

- Contractor shall contact Mark Barslund, City of Grand Junction's Development Inspector and 5-2-1 Drainage Authority Representative, at (970) 201-1362 and Eric Mocko, Project Engineer, at (970) 256-4017 a minimum of 72 hours in advance, for pre-construction meeting prior to beginning work.
- Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.
- The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.
- Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.
- Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.
- All construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.
- Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.
- Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.
- All utility installations are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.
- In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.
- All work within the City of Grand Junction Right-of-Way shall require a "Work in the Right-of-Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.
- All concrete shall have a minimum of 6" of Class VI ABC, unless otherwise noted.
- The Contractor shall be required to comply with the requirements and recommendations of the Huddleston Berry Geotech report titled Juniper Ridge Community School, Project No. 01588-0002 dated November 27, 2018, unless otherwise noted.
- All fill, building, concrete or asphalt pavement areas shall be stripped of a minimum 6-inches of topsoil.

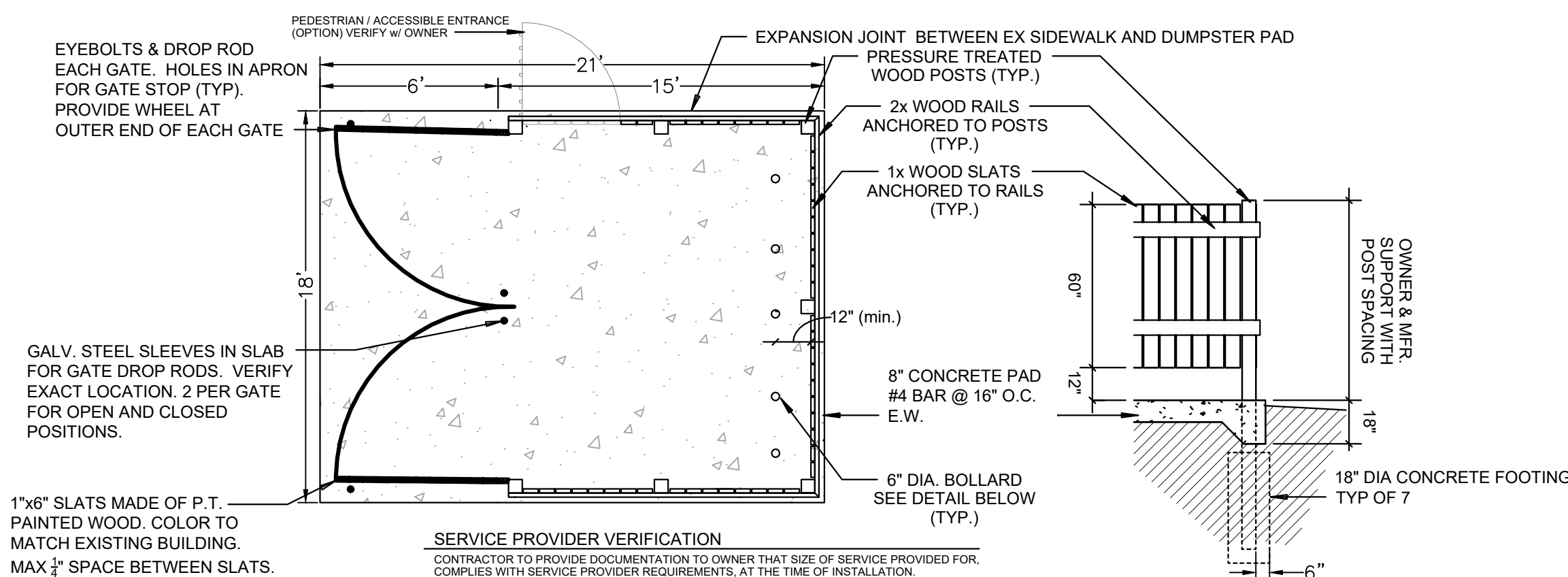
PAVING CONSTRUCTION NOTES

- All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.
- Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. It is recommended that the subgrade soils be scarified to a depth of 12-inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T-99.
- Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.
- Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack-coated before proposed surface is placed.
- All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..
- Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less than 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: "Hot-Mix Asphalt" 5-inch HMA over 9-inch CDOT Class 6 over 12-inch scarified & recompacted subgrade. " Rigid Pavement" 8-inch Portland Cement Concrete w/ #5 bars @ 12" cntrs., E.W. over 6-inch CDOT Class 6 over 12-inch scarified & recompacted subgrade.

FUGITIVE DUST CONTROL PLAN

- Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.
- Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.
- Haul road both into and around the site are to be sprayed as needed to suppress dust.
- The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.
- Trucks hauling import fill are to be torped to aid in the control of airborne dust.



1 DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

2 DUMPSTER ENCLOSURE DETAIL
1/4" = 1'-0"

3 BOLLARD DETAIL
1/4" = 1'-0"

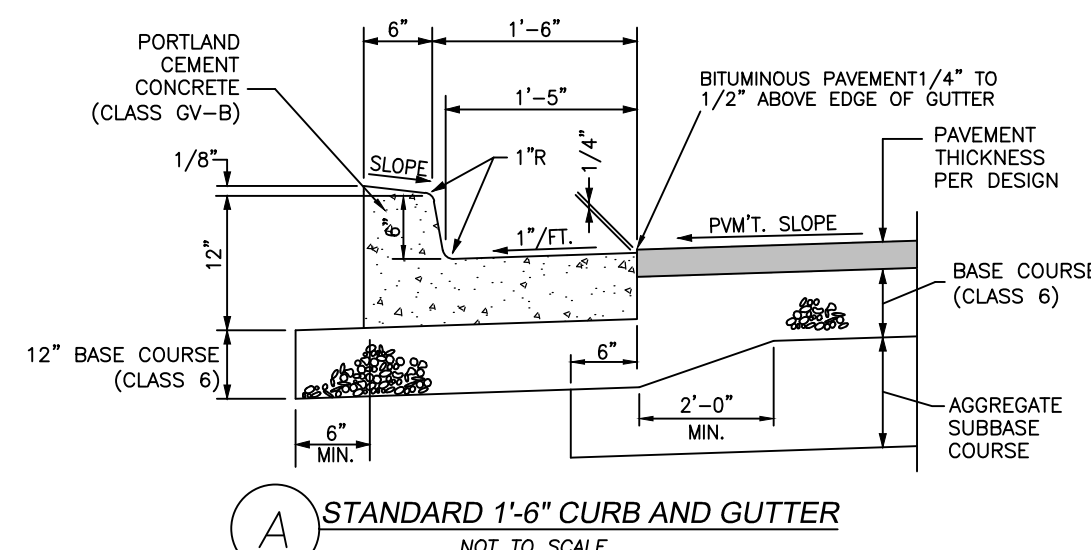
GENERAL NOTES

- ALL POSTS, RAILS, SLATS, GATES AND SCREENING COMPONENTS (ALONG WITH ACCESSORY ITEMS) SHALL BE FLUSH AND FREE OF SPURS, AND SHARP EDGES. INSTALLATION SHALL BE LEVEL, PLUMB, SQUARE AND COMPLY WITH MFR. SPECIFICATIONS. GATE CONSTRUCTION, FINISH OPERATIONS AND LOCKING DEVICES SHALL BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- ALTERNATE MATERIALS (ACCEPTABLE TO AUTHORITY HAVING JURISDICTION & COORDINATED WITH SERVICE PROVIDER) MAY BE SUBMITTED TO OWNER FOR APPROVAL.
- FINISH PAINT TO MATCH BUILDING
- PLACE CONCRETE PAD OVER 12" CDOT CLASS 6 OVER 12" SCARIFIED & RECOMPACTED SUBGRADE.

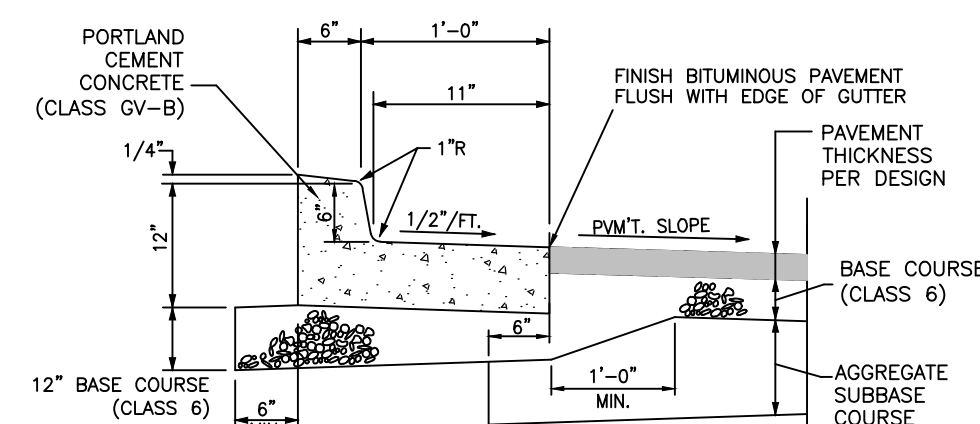
| LEGEND | | | |
|---------|----------------------------------|---|--------------------------------|
| --- | PROPERTY LINE | ⊕ | EXISTING STORM SEWER MANHOLE |
| - - - - | ADJACENT PROPERTY LINE | ⊕ | PROPOSED STORM SEWER MANHOLE |
| - - - - | EXISTING EASEMENT | ⊕ | PROPOSED INLINE DRAIN |
| - - - - | PROPOSED EASEMENT | ⊕ | EXISTING 8" WATER MAIN |
| --- | EXISTING BUILDING | ⊕ | PROPOSED 2" DOMESTIC SERVICE |
| --- | PROPOSED BUILDING | ⊕ | PROPOSED 4" FIRE LINE |
| --- | EXISTING CURB/GUTTER | ⊕ | EXISTING FIRE HYDRANT |
| --- | PROPOSED CURB/GUTTER | ⊕ | PROPOSED FIRE HYDRANT |
| --- | PROPOSED SPILL CURB/GUTTER | ⊕ | EXISTING WATER METER |
| --- | PROPOSED TRANSITION CURB/GUTTER | ⊕ | PROPOSED WATER METER |
| --- | EXISTING RETAINING WALL | ⊕ | PROPOSED METER/BACKFLOW VAULT |
| --- | EXISTING 1-FEET CONTOUR | ⊕ | PROPOSED IRRIGATION MANHOLE |
| --- | EXISTING 5-FEET CONTOUR | ⊕ | PROPOSED FENCE |
| --- | PROPOSED 1-FEET CONTOUR | ⊕ | EXISTING FENCE |
| --- | PROPOSED 5-FEET CONTOUR | ⊕ | PROPOSED TRAFFIC FLOW |
| --- | EXISTING GRAVEL | ⊕ | GRADE BREAK |
| --- | PROPOSED GRAVEL | ⊕ | ROOF DRAIN (RD) |
| --- | EXISTING ASPHALT | ⊕ | STREET LIGHT POLE |
| --- | PROPOSED ASPHALT | ⊕ | FIRE DEPARTMENT CONNECTION |
| --- | PROPOSED HEAVY DUTY ASPHALT | ⊕ | PARKING LOT LIGHT |
| --- | EXISTING CONCRETE | ⊕ | PROPOSED BUILDING LIGHT |
| --- | PROPOSED CONCRETE | ⊕ | POWER POLE |
| --- | PROPOSED HEAVY DUTY CONCRETE | ⊕ | FLOWLINE |
| --- | EXISTING SANITARY SEWER | ⊕ | EDGE OF PAVEMENT |
| --- | PROPOSED SANITARY SEWER | ⊕ | TOP OF CONCRETE |
| ⊕ | EXISTING SANITARY SEWER MANHOLE | ⊕ | TOP OF WALL |
| ⊕ | PROPOSED SANITARY SEWER MANHOLE | ⊕ | BOW |
| ⊕ | PROPOSED SANITARY SEWER MANHOLE | ⊕ | TBW |
| ⊕ | PROPOSED SANITARY SEWER CLEANOUT | ⊕ | TC |
| ⊕ | EXISTING STORM SEWER | ⊕ | BOC |
| ⊕ | PROPOSED STORM SEWER | ⊕ | LS |
| ⊕ | EXISTING STORM SEWER INLET | ⊕ | LANDSCAPE AREA |
| ⊕ | PROPOSED STORM SEWER INLET | ⊕ | UTILITY PEDESTALS (TEL & ELEC) |
| ⊕ | EXISTING STORM SEWER INLET | ⊕ | TRANSFORMER |

| UTILITIES AND AGENCIES | | |
|-------------------------------------|---------------|----------|
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| GRAND VALLEY IRRIGATION | PHIL BERTRAND | 242-2762 |
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| XCEL ENERGY | BRENDA BOES | 244-2681 |
| CENTURY LINK | CHRIS JOHNSON | 244-4333 |
| CHARTER | JOHN VALDEZ | 245-8750 |

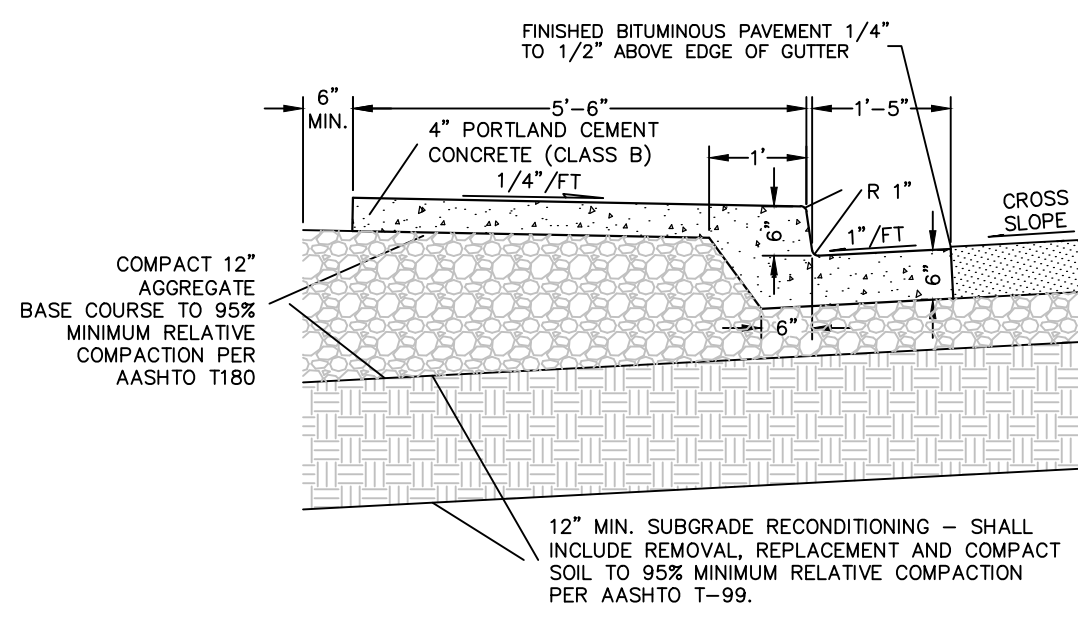
TYPICAL CONCRETE SECTIONS



A STANDARD 1'-6" CURB AND GUTTER
NOT TO SCALE



B 1'-6" SPILL CURB AND GUTTER
NOT TO SCALE



C STANDARD CURB, GUTTER & SIDEWALK SECTION
NOT TO SCALE

Know what's below.
Call before you dig.
811

| NO. | REVISIONS | DATE | BY |
|-----|------------------------------|----------|-----|
| 1 | RESPONSE TO 2-24-20 COMMENTS | 02-26-20 | CIM |
| 2 | RESPONSE TO 3-19-20 COMMENTS | 03-19-20 | CIM |
| 3 | RESPONSE TO 4-8-20 COMMENTS | 04-08-20 | CIM |

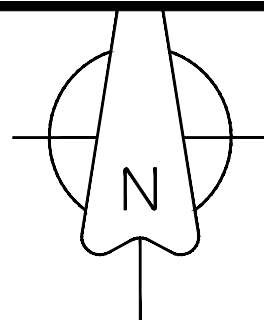
A C G
AUSTIN CIVIL GROUP, INC.
Land Planning • Civil Engineering • Development Services
123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
(970) 242-7540

HORIZON PLACE
GENERAL CONSTRUCTION NOTES
601 HORIZON PLACE
CITY OF GRAND JUNCTION

| | | | |
|--------------|-----|-------------|-----------|
| DRAWN BY: | CIM | JOB NUMBER: | 1382.0001 |
| DESIGNED BY: | CIM | DATE: | 02-18-20 |
| CHECKED BY: | MFA | SCALE: | NTS |
| APPROVED BY: | CIM | SHEET NO.: | C-2 |



ACCEPTANCE BLOCK
THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.



VALLEY CANAL

WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

HORIZON PLACE

CLEAR & GRUB ±766 SY

REMOVE AND DISPOSE OF
±112 LF CURB & GUTTER

REMOVE AND DISPOSE OF
±10,340 SF ASPHALT

REMOVE AND DISPOSE
OF ±110 LF SIDEWALK
& CURB & GUTTER

CLEAR & GRUB ±100 SY

REMOVE & DISPOSE OF
MANHOLE, PLUG INLET
& OUTLET.

REMOVE & DISPOSE
OF TREE.

REMOVE AND DISPOSE
OF FIRE HYDRANT

REMOVE AND DISPOSE
OF ±50 SY CONCRETE
REMOVE AND DISPOSE
OF ±17 LF CURB

CLEAR & GRUB ±42 SY

REMOVE & DISPOSE OF
DUMPSTER ENCLOSURE
& CONCRETE SLAB
REMOVE & DISPOSE OF
30 LF CHAIN LINK FENCE

CLEAR & GRUB ±59 SY

REMOVE & DISPOSE OF
50 LF CURB & GUTTER

SAW CUT CLEAN LINE ON
ASPHALT. MATCH
EXISTING ASPHALT.

REMOVE & DISPOSE
OF TREE

PRESERVE TREES

CLEAR & GRUB ±177 SY

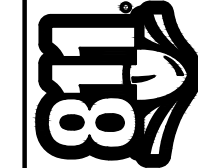
TEMPORARY
CONSTRUCTION
EASEMENT

JUNIPER RIDGE SCHOOL

CLEAR & GRUB ±147 SY

WINTERFELL MESA VIEW (CO) OWNER LLC
c/o NORTHSTAR REALTY FINANCE CORP

LOT 1 MESA VIEW RETIREMENT RESIDENCE



| NO. | REVISIONS | DESCRIPTION | DATE | BY | CIM |
|-----|------------------------------|-------------|----------|----|-----|
| 1 | RESPONSE TO 2-24-20 COMMENTS | | 02-28-20 | | CIM |
| 2 | RESPONSE TO 3-19-20 COMMENTS | | 03-19-20 | | CIM |

A · C · G
AUSTIN CIVIL GROUP, INC.
 Land Planning • Civil Engineering • Development Services
 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

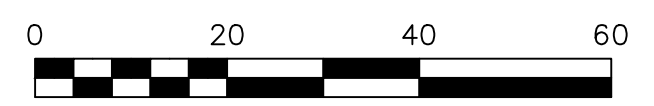
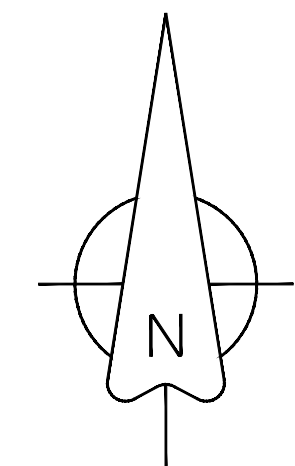
HORIZON PLACE
 DEMOLITION PLAN
601 HORIZON PLACE
 prepared for
CITY OF GRAND JUNCTION

| | |
|--------------|-----------|
| DRAWN BY: | CIM |
| DESIGNED BY: | CIM |
| CHECKED BY: | MFA |
| APPROVED BY: | CIM |
| JOB NUMBER: | 1382.0001 |
| DATE: | 02-18-20 |
| SCALE: | 1"=20' |
| SHEET NO.: | C-3 |



ACCEPTANCE BLOCK
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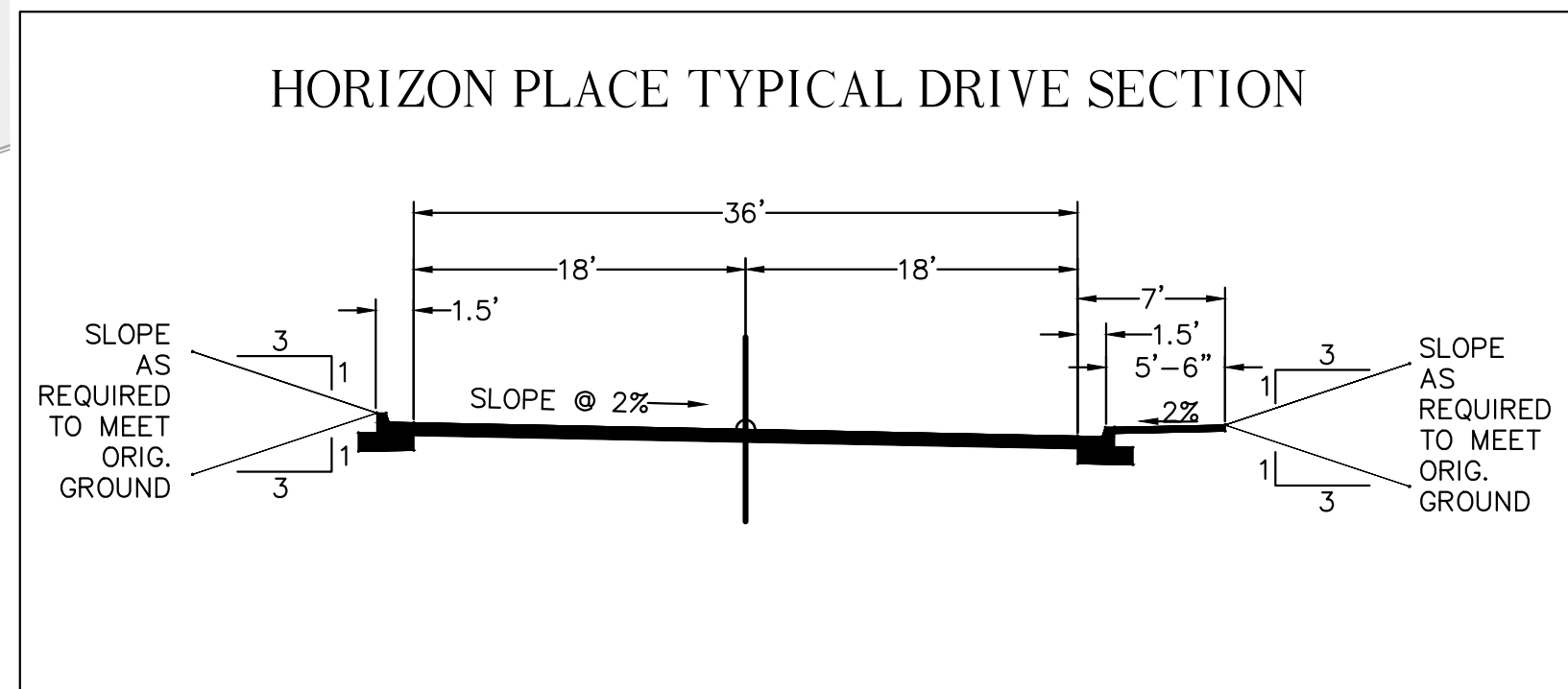
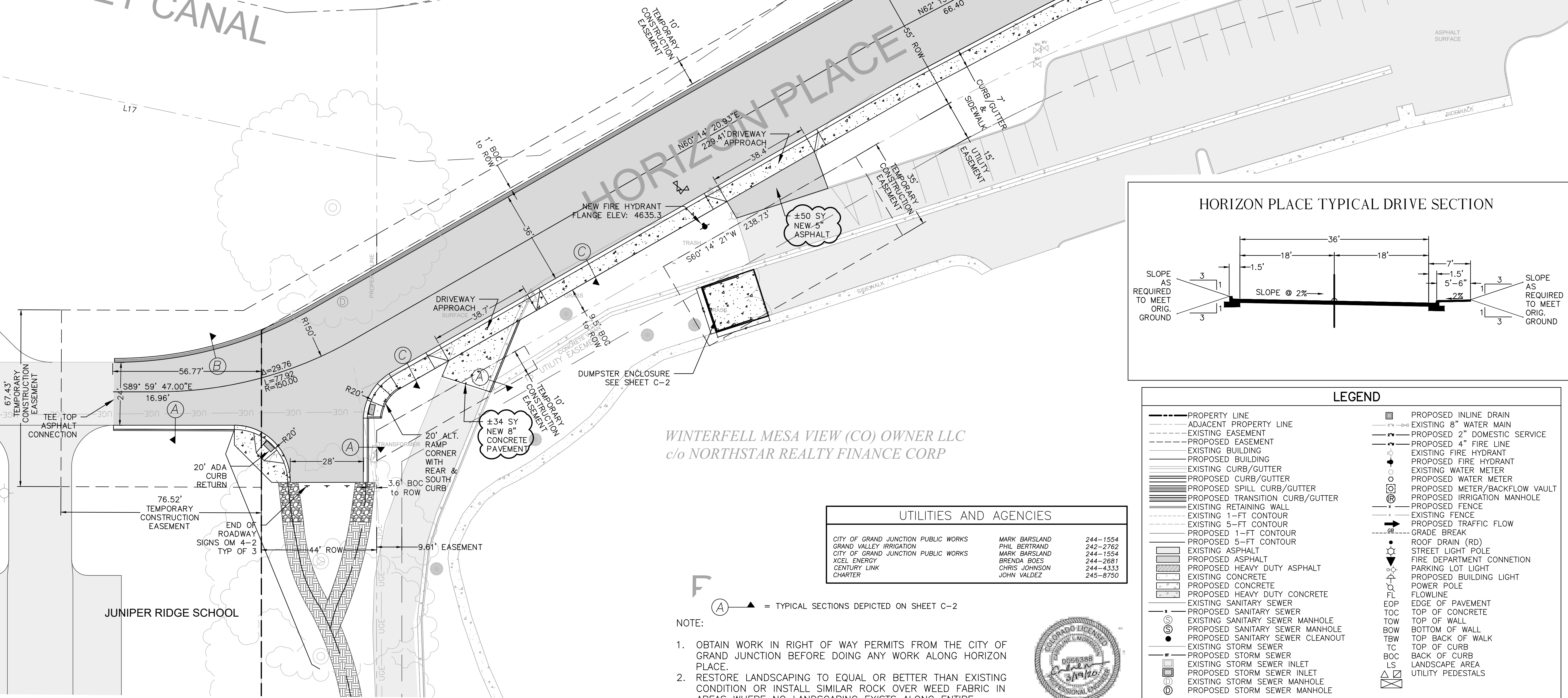
CITY DEVELOPMENT ENGINEER DATE



VALLEY CANAL

WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

CITY OF GRAND JUNCTION



LEGEND

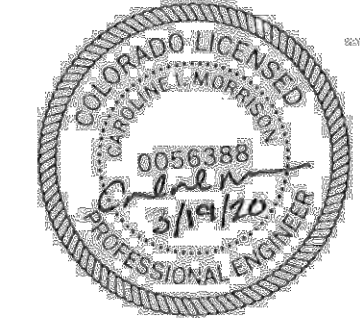
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|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> --- PROPERTY LINE --- ADJACENT PROPERTY LINE --- EXISTING EASEMENT --- PROPOSED EASEMENT --- EXISTING BUILDING --- PROPOSED BUILDING --- EXISTING CURB/GUTTER --- PROPOSED CURB/GUTTER --- PROPOSED SPILL CURB/GUTTER --- PROPOSED TRANSITION CURB/GUTTER --- EXISTING RETAINING WALL --- EXISTING 1'-FT CONTOUR --- EXISTING 5'-FT CONTOUR --- PROPOSED 1'-FT CONTOUR --- PROPOSED 5'-FT CONTOUR --- EXISTING ASPHALT --- PROPOSED ASPHALT --- EXISTING HEAVY DUTY ASPHALT --- PROPOSED CONCRETE --- EXISTING CONCRETE --- PROPOSED HEAVY DUTY CONCRETE --- EXISTING SANITARY SEWER --- PROPOSED SANITARY SEWER --- EXISTING SANITARY SEWER MANHOLE --- PROPOSED SANITARY SEWER MANHOLE --- EXISTING STORM SEWER --- PROPOSED STORM SEWER --- EXISTING STORM SEWER INLET --- PROPOSED STORM SEWER INLET --- EXISTING STORM SEWER MANHOLE --- PROPOSED STORM SEWER MANHOLE | <ul style="list-style-type: none"> --- EXISTING 8" WATER MAIN --- PROPOSED 2" DOMESTIC SERVICE --- PROPOSED 4" FIRE LINE --- EXISTING FIRE HYDRANT --- PROPOSED FIRE HYDRANT --- EXISTING WATER METER --- PROPOSED WATER METER --- PROPOSED METER/BACKFLOW VAULT --- PROPOSED IRRIGATION MANHOLE --- PROPOSED FENCE --- EXISTING FENCE --- PROPOSED TRAFFIC FLOW --- GRADE BREAK --- ROOF DRAIN (RD) --- STREET LIGHT POLE --- FIRE DEPARTMENT CONNECTION --- PARKING LOT LIGHT --- PROPOSED BUILDING LIGHT --- POWER POLE --- FLOWLINE --- EOP OF PAVEMENT --- TOC --- TOW --- BOW --- TBW --- TC --- BOC --- LS --- UTILITY PEDESTALS |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

UTILITIES AND AGENCIES

| | | |
|-------------------------------------|---------------|----------|
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| GRAND VALLEY IRRIGATION | PHIL BERTRAND | 242-2762 |
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| XCEL ENERGY | BRENDA BOES | 244-2681 |
| CENTURY LINK CHARTER | CHRIS JOHNSON | 244-4333 |
| | JOHN VALDEZ | 245-8750 |

NOTE: (A) = TYPICAL SECTIONS DEPICTED ON SHEET C-2

- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG HORIZON PLACE.
- RESTORE LANDSCAPING TO EQUAL OR BETTER THAN EXISTING CONDITION OR INSTALL SIMILAR ROCK OVER WEED FABRIC IN AREAS WHERE NO LANDSCAPING EXISTS ALONG ENTIRE PROJECT.



AUSTIN CIVIL GROUP, INC.
Land Planning • Civil Engineering • Development Services
123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
(970) 242-7540

| | | | |
|-----|------------------------------|----------|-----|
| NO. | REVISIONS | DATE | BY |
| 1 | RESPONSE TO 2-24-20 COMMENTS | 02-26-20 | CIM |
| 2 | RESPONSE TO 3-19-20 COMMENTS | 03-19-20 | CIM |

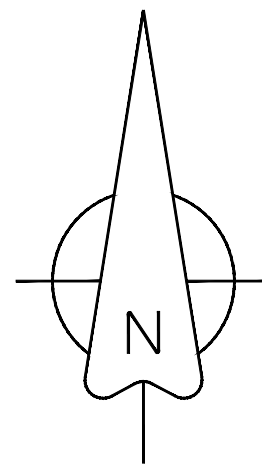
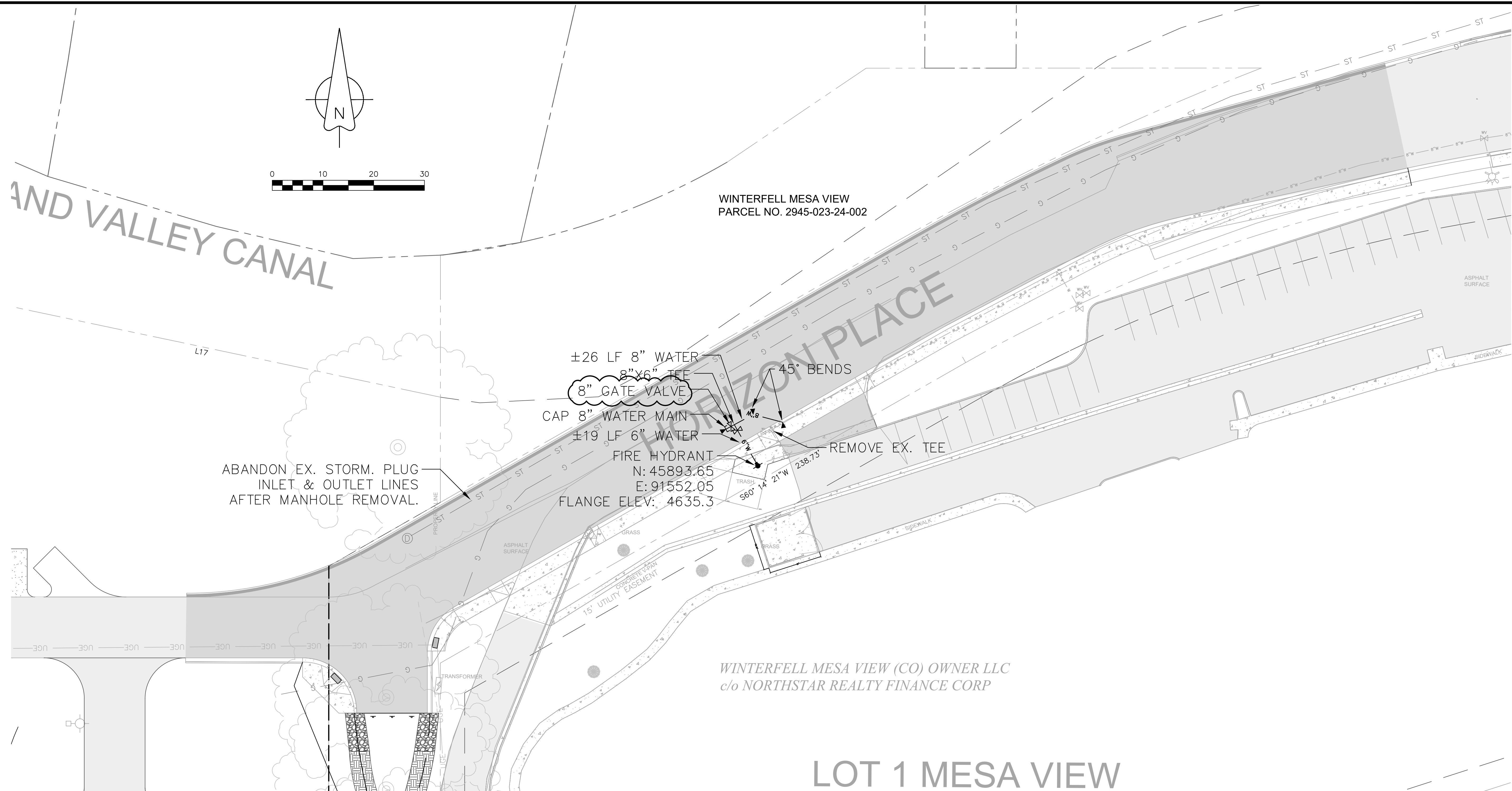
Know what's below. Call before you dig.

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY.

HORIZON PLACE
SITE PLAN
601 HORIZON PLACE
CITY OF GRAND JUNCTION

| | |
|--------------|-----|
| DRAWN BY: | CIM |
| DESIGNED BY: | CIM |
| CHECKED BY: | MFA |
| APPROVED BY: | CIM |

JOB NUMBER: 1382.0001
DATE: 02-18-20
SCALE: 1"=20'
SHEET NO: C-4



WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

AND VALLEY CANAL

HORIZON PLACE

LOT 1 MESA VIEW

WINTERFELL MESA VIEW (CO) OWNER LLC
c/o NORTHSTAR REALTY FINANCE CORP

ABANDON EX. STORM. PLUG
INLET & OUTLET LINES
AFTER MANHOLE REMOVAL.

±26 LF 8" WATER
8"X6" TEE
8" GATE VALVE
45° BENDS
CAP 8" WATER MAIN
±19 LF 6" WATER
FIRE HYDRANT
N: 45893.65
E: 91552.05
FLANGE ELEV: 4635.3
REMOVE EX. TEE

NOTE:

- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG HORIZON PLACE.

| UTILITIES AND AGENCIES | | |
|-------------------------------------|---------------|----------|
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| GRAND VALLEY IRRIGATION | PHIL BERTRAND | 242-2762 |
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
| XCEL ENERGY | BRENDA BOES | 244-2681 |
| CENTURY LINK CHARTER | CHRIS JOHNSON | 244-4333 |
| | JOHN VALDEZ | 245-8750 |

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IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

| NO. | REVISIONS | DESCRIPTION | BY | DATE |
|-----|------------------------------|-------------|-----|----------|
| 1 | RESPONSE TO 2-24-20 COMMENTS | | CIM | 02-28-20 |
| 2 | RESPONSE TO 3-19-20 COMMENTS | | CIM | 03-19-20 |

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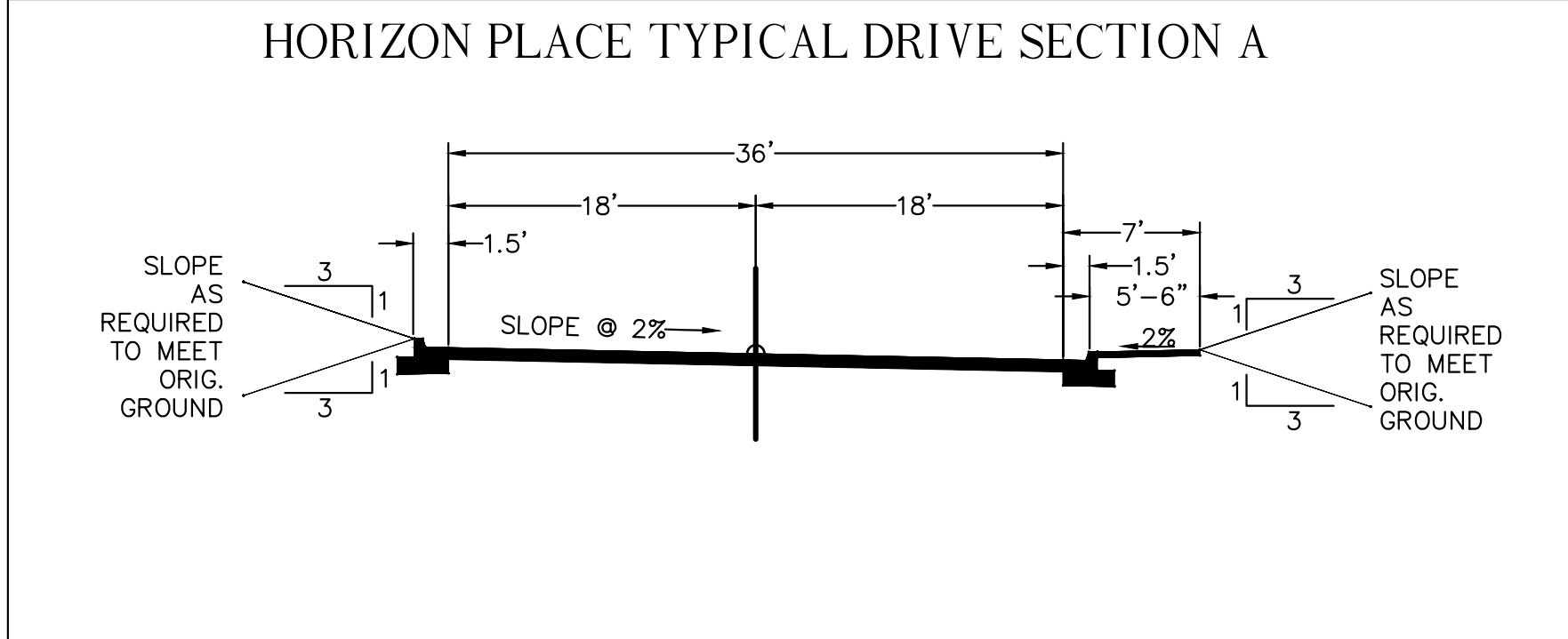
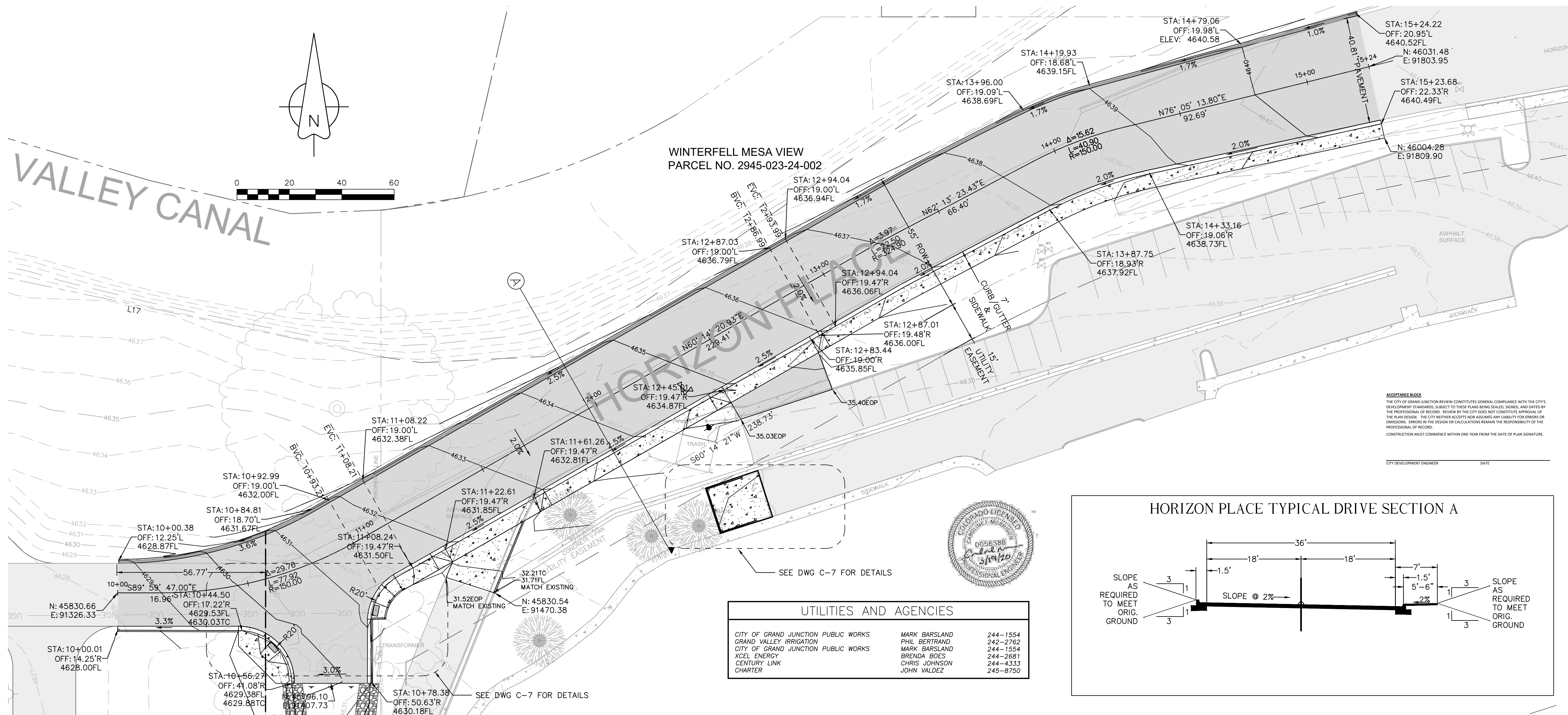
HORIZON PLACE
UTILITY COMPOSITE PLAN
601 HORIZON PLACE
CITY OF GRAND JUNCTION

| | |
|--------------|-----------|
| DRAWN BY: | CIM |
| DESIGNED BY: | CIM |
| CHECKED BY: | MFA |
| APPROVED BY: | CIM |
| JOB NUMBER: | 1382.0001 |
| DATE: | 02-18-20 |
| SCALE: | 1"=20' |
| SHEET NO.: | C-5 |

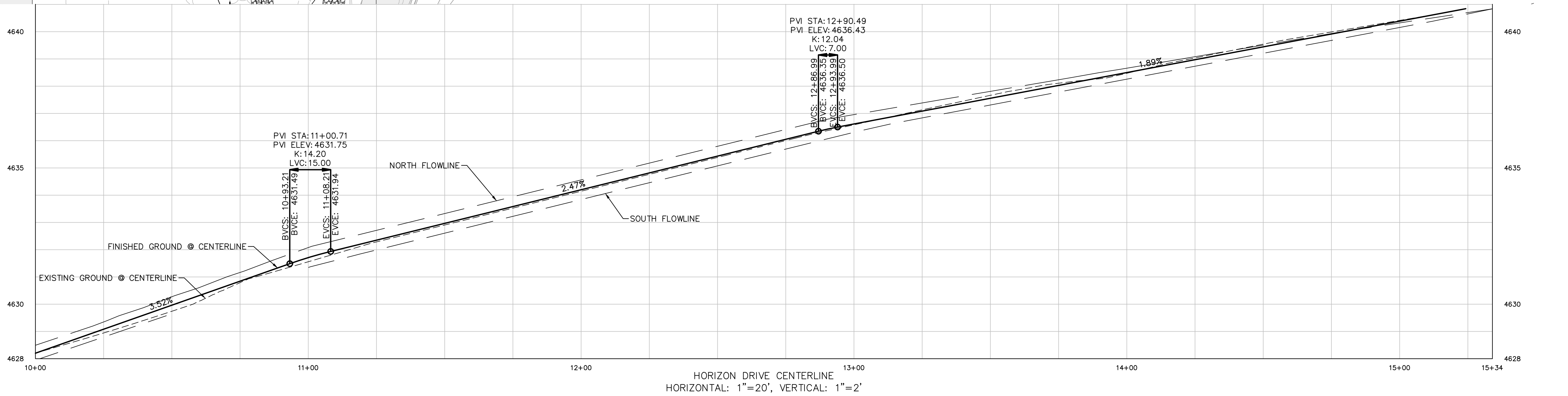


ACCEPTANCE BLOCK
THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
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CITY DEVELOPMENT ENGINEER DATE



| UTILITIES AND AGENCIES | | |
|-------------------------------------|---------------|----------|
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| GRAND VALLEY IRRIGATION | PHIL BERTRAND | 242-2762 |
| CITY OF GRAND JUNCTION PUBLIC WORKS | MARK BARSLAND | 244-1554 |
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| CENTURY LINK | CHRIS JOHNSON | 244-4333 |
| CHARTER | JOHN VALDEZ | 245-8750 |



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ADJUST SCALES ACCORDINGLY.

| NO. | REVISIONS | DATE | BY |
|-----|------------------------------|----------|-----|
| 1 | RESPONSE TO 2-24-20 COMMENTS | 02-28-20 | CIM |
| 2 | RESPONSE TO 3-19-20 COMMENTS | 03-19-20 | CIM |

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| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|
| <p>HORIZON PLACE description HORIZON PLACE PLAN & PROFILE 601 HORIZON PLACE prepared for CITY OF GRAND JUNCTION</p> | <p>DRAWN BY: CIM DESIGNED BY: CIM CHECKED BY: MFA APPROVED BY: CIM</p> |
| <p>JOB NUMBER: 1382.0001</p> | |
| <p>DATE: 02-18-20</p> | |
| <p>SCALE: 1"=20'</p> | |
| <p>SHEET NO: C-6</p> | |

