

**TEMPORARY PERMITTED USE, CONSTRUCTION AND ACCESS AGREEMENT
FOR THE CONSTRUCTION OF THE HORIZON PLACE ROADWAY FROM 26½
ROAD TO AND INCLUDING A PORTION OF COMMUNITY LANE**

This Agreement is made and entered into this 11th day of June 2020 by and between Winterfell Mesa View (CO) Owner, LLC, a Delaware Limited Liability Company (hereafter, "Owner" or "the Owner"), whose address is 590 Madison Avenue, 34th Floor, New York, NY 10022 and the City of Grand Junction, a Colorado home rule municipality, (hereafter, the "City"), whose address is 250 N. Fifth Street, Grand Junction, Colorado 81501.

RECITALS:

A. As a part of Mesa County Valley School District No. 51 (School District) developing its site at 615 Community Lane in the City, it must provide access. The access will be through Horizon Place. The School District and the City have agreed that the School District will design the roadway for access and the City will construct the public improvements for Horizon Place as a roadway between 26½ Road and Community Lane (Project). The School District has completed the design and civil plans for the Project and the City will install and construct the roadway, curb and gutters.

B. The Winterfell Mesa View (CO) Owner LLC is the owner of the parcels of land addressed as 601 Horizon Place, Grand Junction, CO 81506 with a tax parcel number of 2945-023-24-004 (Owner's Property) and more particularly described in the document recorded in the Mesa County Clerk and Recorder's records with Reception Number 2725667.

C. In order to construct the Project improvements temporary construction use is needed on both sides of Horizon Place right-of-way abutting Owner's Property. The use of these areas is needed for the duration of the construction and installation.

D. The Owner has agreed to allow the City to use the following areas for construction related activities required for construction of the Project improvements and those improvements for Owner as set forth herein.

NOW, THEREFORE, based on the recitals above and in consideration of their mutual promises and other valuable consideration, the receipt and adequacy of which are hereby acknowledged, the parties hereto agree as follows:

1. The Owner hereby grants to the City from the date of this Agreement and for the duration of the construction of the Project improvements being no later than December 31, 2020, use and access across and within the Owner's Property land described and outlined on the attached as more particularly described on

the attached plans for construction of Horizon Place prepared by Austin Civil Group, Inc. dated February 18, 2020 with revisions through June 5, 2020 (herein "Construction Plans") for the construction of the Project and all reasonable and necessary activities incident thereto including uses related to the construction of the Project (herein "City Access").

2. In exchange for Owner granting City Access, the City shall pay for and complete the following improvements including any permits or requirements of the City for said construction on the Owner's Property ("Owner Improvements") as more particularly described on the Construction Plans: (i) concrete driveway transition from Horizon Place to the existing driveway on the west end of Owner's Property providing access to the garages on Owner's building; and (ii) concrete driveway transition from Horizon Place to the existing driveway for the parking lot area on the west end of the parking lot in the central area of Owner's Property; and (iii) demolition and construction of a new concrete block and stucco exterior dumpster enclosure and full access swing gates. Owner agrees that the construction of the Project and the Owner Improvements upon the Owner's Property are just consideration enough for the granting of this Agreement; therefore, no additional consideration will be paid by the City.
3.
 - a. This Agreement grants to the City the right to use the areas described hereinabove, including for the Owner Improvements, and shall serve as an irrevocable temporary license to use the areas for the purposes aforescribed until construction of the Project and Owner's Improvements are complete. Said completion of the Project shall be evidenced, at the sole and exclusive discretion of the City, by the City's final acceptance of the work and final payment to the contractor.
 - b. The City agrees to, at the City's sole cost and expense, reasonably repair and restore those portions of Owners' Property affected or damaged by the City's construction activities and to return said affected areas to Owner in a condition substantially similar to that which existed prior to entry by the City.
4. All notices shall be deemed sufficiently given if in writing upon mailing, United States mail postage prepaid, to the address set forth below, or by email at the designated email address below:

Winterfell Mesa View Owner (CO), LLC:

Jackie Roy
Executive Director
Mesa View 601 Horizon Place
Grand Junction, CO 81506
Main: 970-242-0772 and Cell: 970-376-5394
Email: mesaviewED@solsticeseniorliving.com

With copy to:

Winterfell Mesa View Owner (CO), LLC
590 Madison Avenue
34th Floor
New York, NY 10022
Attention: Legal Department
Email: legal@clny.com

And

Senn Visciano Changes PC,
Attn. Michel P. Williams
1700 Lincoln Street, Suite 4300
Denver, CO 80203
Email: MWilliams@Sennlaw.com

City of Grand Junction:

City of Grand Junction
Attn: Trent Prall, Public Works Director
333 West Avenue, Building C
Grand Junction, CO 81501
Email: Trentonp@gjcity.org
970-256-4047/970-201-6384

With copy to:

Erice Mocko, Project Engineer
Email: ericmock@gjcity.org
970-256-4017

City of Grand Junction
Assistant City Attorney
250 N 5th Street
Grand Junction, CO 81501
Email: jamieb@gjcity.org

5. This Agreement embodies all agreements between the parties hereto and no other promises, terms, conditions or obligations, oral or written, have been made which might serve to modify, add to or change the terms and conditions of this Agreement.
6. This Agreement shall be deemed a contract extending to and binding upon the parties hereto and upon their respective heirs, successors and assigns. If either party is in default of the terms and conditions hereof with respect to their

agreements, upon no less than ten days written notice and opportunity to cure, either party shall have the right to an action for specific performance or damages.

- 7. This is a legal instrument. The Owner is advised to seek the advice of its own legal and tax counsel before signing this Agreement.
- 8. The Owner and the City approve the use of electronic signatures for execution of this Agreement. All use of electronic signatures shall be governed by the Uniform Electronic Transactions Act, CRS §§ 24-71.3-101 through 24-71.3-121.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year first above written.

Winterfell Mesa View (CO) Owner LLC:

DocuSigned by:

 By: _____
 Print name: Ann B. Harrington
 Print Title: Authorized Signatory

For the City of Grand Junction:

 Greg Caton, City Manager

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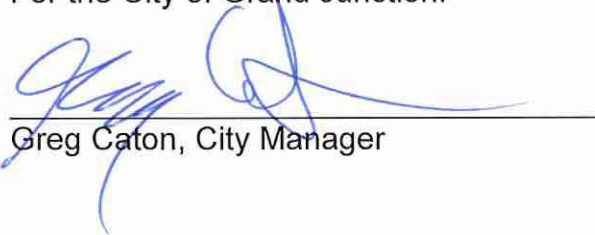
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Winterfell Mesa View (CO) Owner LLC:

By: _____
Print name: _____
Print Title: _____

For the City of Grand Junction:



Greg Caton, City Manager

EXHIBIT A
Plans for Construction of Horizon Place
Pages C-1 to C-7
Dated February 18, 2020 with revisions through June 5, 2020

CITY OF GRAND JUNCTION
 250 NORTH 5TH STREET
 Grand Junction, Colorado 81501
 (970) 244-1501

PLANS FOR
 CONSTRUCTION OF

HORIZON PLACE

FEBRUARY 18, 2020



VICINITY MAP
 NTS

PROJECT
 LOCATION

NO.	TITLE
C1	COVER
C2	TYPICAL CONSTRUCTION NOTES
C3	DEMOLITION PLAN
C4	SITE PLAN
C5	UTILITY COMPOSITE PLAN
C6	HORIZON PLACE PLAN & PROFILE
C7	GRADING PLAN COMMUNITY LANE/DUMPSTER ENCLOSURE

Know what's below.
 Call before you dig.

SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY

NO.	REVISIONS	DATE	BY
1	RESPONSE TO 2-24-20 COMMENTS	02-26-20	CIM
2	RESPONSE TO 3-19-20 COMMENTS	03-19-20	CIM
3	RESPONSE TO 4-8-20 COMMENTS	04-08-20	CIM
4	RESPONSE TO 5-22-20 COMMENTS	05-28-20	CIM
5	RESPONSE TO 6-5-20 COMMENTS	06-05-20	CIM

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AUSTIN CIVIL GROUP, INC.
 Land Planning • Civil Engineering • Development Services
 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

HORIZON PLACE
description COVER
601 HORIZON PLACE
prepared for CITY OF GRAND JUNCTION

DRAWN BY: CIM	DESIGNED BY: CIM	CHECKED BY:	APPROVED BY: MRA
JOB NUMBER: 1382.0001			
DATE: 02-18-20			
SCALE: NTS			
SHEET NO: C-1			

GENERAL CONSTRUCTION NOTES

1. Contractor shall contact Mark Barslund, City of Grand Junction's Development Inspector and 5-2-1 Drainage Authority Representative, at (970) 201-1362 and Eric Mocko, Project Engineer, at (970) 256-4017 a minimum of 72 hours in advance, for pre-construction meeting prior to beginning work.

Contractor shall provide 10 days written notice to Jackie Roy from Winterfell Mesa View at mesaviewED@solsticeseniorliving.com and at 970-241-0772 prior to closing a driveway access. Contractor shall alternate construction on the two Winterfell Mesa View driveways to be replaced.

2. Locations of existing utilities shown on these plans are approximate only. Contractor is to contact affected utility for specific locations before digging.

3. The Contractor shall notify the engineer if unanticipated conditions are encountered during completion of the work which require modifications to the contract drawings. The engineer can be reached at 970-242-7540.

4. Contractor shall give 48-hour notice to all authorized inspectors, superintendents, or person in charge of public and private utilities affected by his operations prior commencement of work. Contractor shall assure himself that all construction permits are current.

5. Contractor shall confine his construction operations to the right-of-way, easements, and lots, as shown on plans and plat. Any damage to private facilities outside these limits shall be repaired by the Contractor at no expense to the Owner.

6. All construction, related work, materials, performance and quality of work provided shall conform to the requirements of the City of Grand Junction Standard Specifications and Drawings and the applicable sections of the most current edition of the Division of Highways, State of Colorado Standard Specifications for Road and Bridge Construction, Colorado Standard Plans, Division of Highways M & S Standards.

7. Contractor shall familiarize himself with the geotechnical testing requirements of the City of Grand Junction. The results of the required types of tests and numbers of passing tests shall be furnished to the Engineer for verification before final acceptance by the Owner will be granted. All failing tests shall be brought to the immediate attention of the Engineer and retests shall be performed until passing results are obtained. All utility lines, including service lines falling shall be tested.

8. Only materials on which a proctor test can be performed and accurate nuclear density tests can be run are approved for utility trench back fill unless otherwise approved by the Engineer.

9. All utility installations are to be performed in accordance with the City of Grand Junction Standard Specifications for the Construction of Underground Utilities and Standard Details.

10. In the event of a discrepancy between the construction notes contained herein and the notes and details in the City of Grand Junction Standard Contract Documents for Capital Improvements Construction manual, the City's manual shall control.

11. All work within the City of Grand Junction Right-of-Way shall require a "Work in the Right-of-Way" Permit. All construction work shall be in accordance with the latest edition of the City of Grand Junction Standard Specifications.

12. All concrete shall have a minimum of 6" of Class VI ABC, unless otherwise noted.

13. The Contractor shall be required to comply with the requirements and recommendations of the Huddleston Berry Geotech report titled Juniper Ridge Community School, Project No. 01588-0002 dated November 27, 2018, unless otherwise noted.

14. All fill, building, concrete or asphalt pavement areas shall be stripped of a maximum 6 inches of topsoil.

1. All road widths and radii are to flow line unless noted otherwise. Any "spot" design elevations are to flow line of curb and gutter unless otherwise noted.

2. Prior to pavement placement, the pavement prism should be stripped of all unsuitable materials. It is recommended that the subgrade soils be scarified to a depth of 12-inches, moisture conditioned, and recompacted to a minimum of 95% of the standard Proctor maximum dry density, within ±2% of optimum moisture as determined by AASHTO T-99.

3. Contractor to protect existing utilities and appurtenances. Manholes, drainage inlets, utility lines, etc., damaged, covered, or filled with dirt or debris by the Contractor shall be cleaned and repaired at no expense to the Owner.

4. Where proposed pavement is to match existing pavement, existing pavement is to be squared cut, full base thickness is to be brought to match line and existing surface is to be tack-coated before proposed surface is placed.

5. All handicap ramps, sidewalks and curb and gutter are to be constructed where indicated on the plans and in accordance The City of Grand Junction requirements..

6. Curb, gutter, and drainage pans are to have expansion joints at each change in horizontal alignment of curb and gutter, but in no case at a greater distance apart than 100 feet. Locate dummy grooved joints between expansion joints at intervals not exceeding 10 feet. Where length of pour precludes 10 foot intervals, the end sections may be less than 10 feet but not less than 5 feet.

7. PAVEMENT SECTION: "Hot-Mix Asphalt" 5-inch HMA over 9-inch CDOT Class 6 over 12-inch scarified & recompacted subgrade. " Rigid Pavement" 8-inch Portland Cement Concrete w/ #5 bars @ 12" cntrs., E.W. over 6-inch CDOT Class 6 over 12-inch scarified & recompacted subgrade.

FUGITIVE DUST CONTROL PLAN

1. Before stripping of the site preparation for overlot grading, the surface is to be pre-wet to control dust.

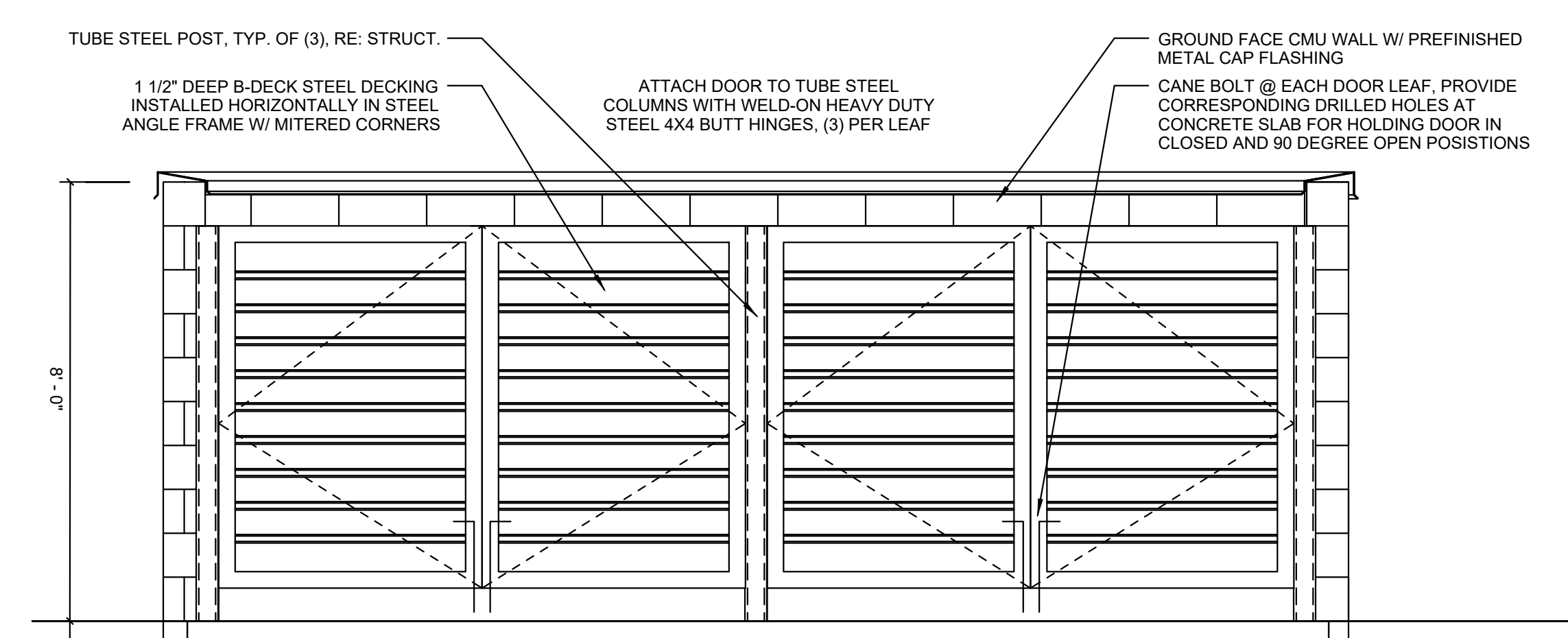
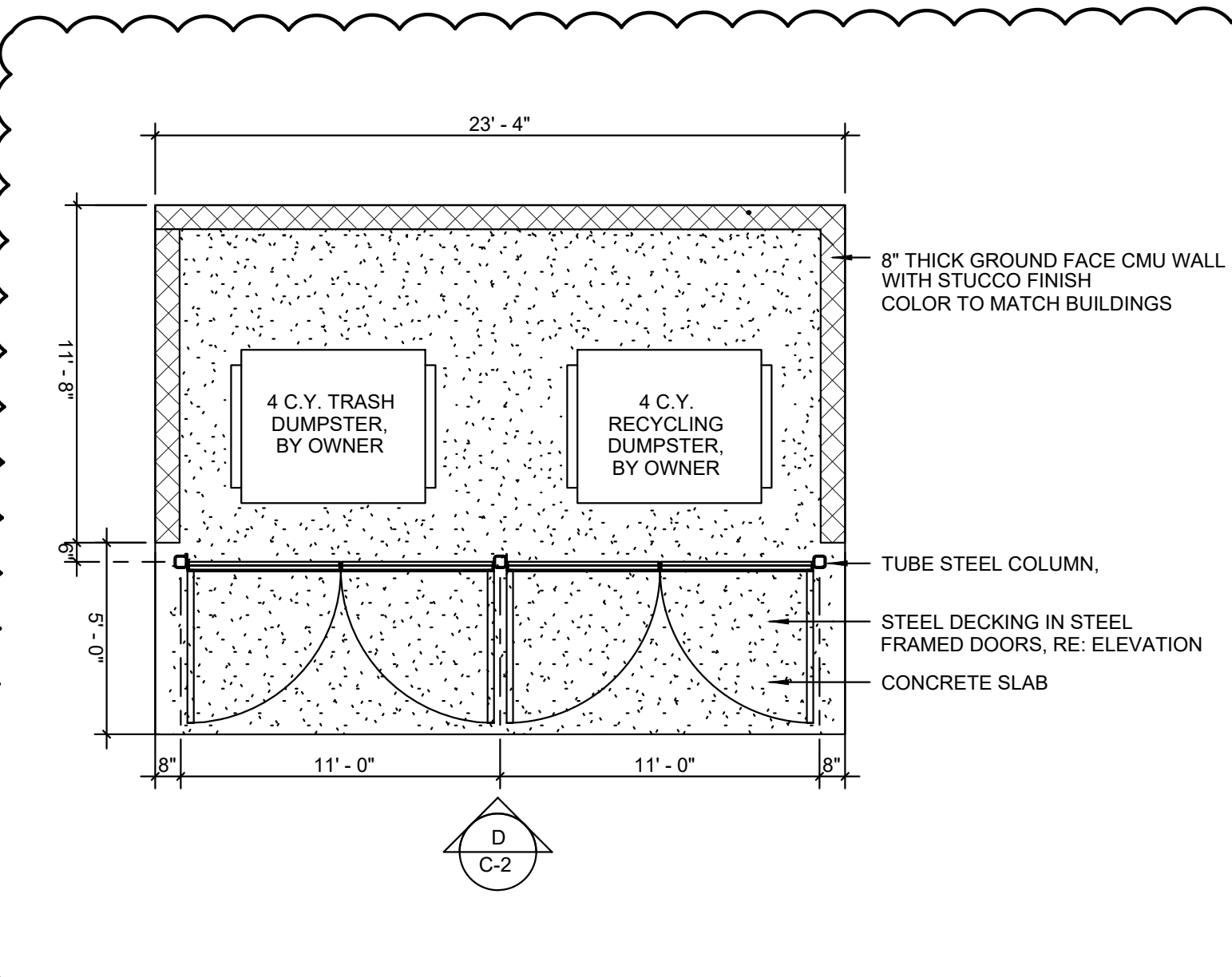
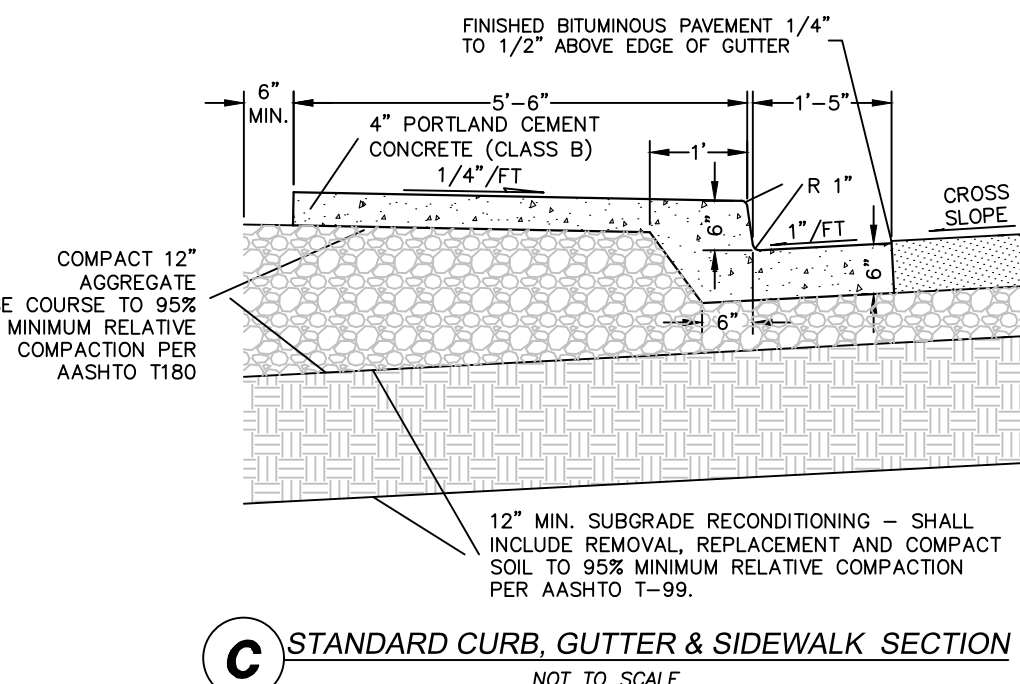
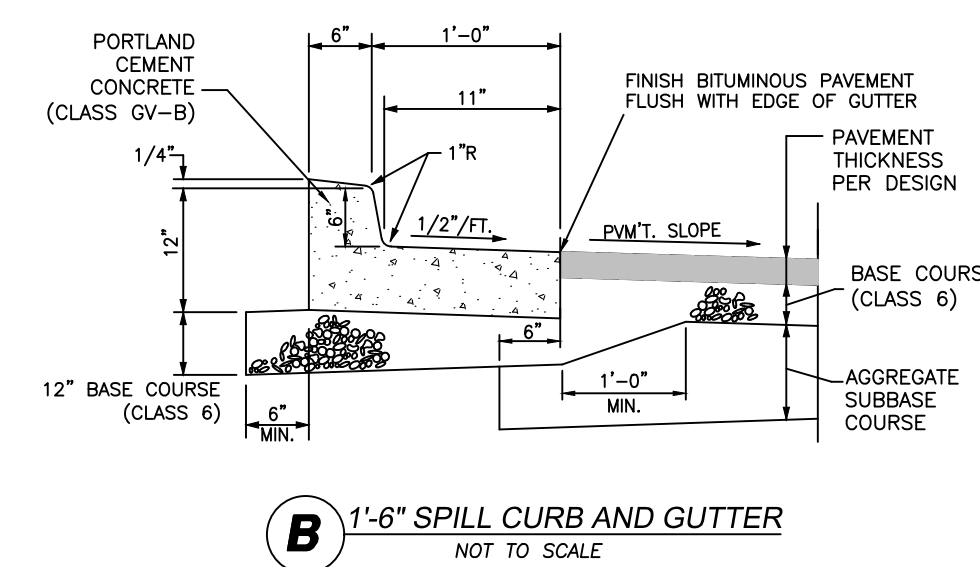
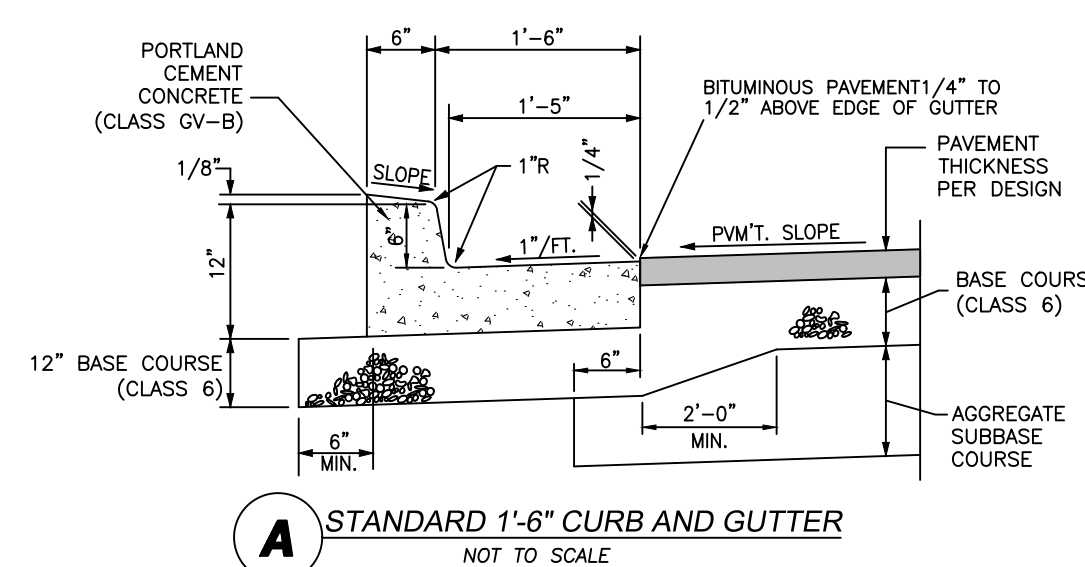
2. Any stockpiles of stripping materials are to be periodically sprayed with water or a crusting agent to stabilize potentially wind blown material.

3. Haul road both into and around the site are to be sprayed as needed to suppress dust.

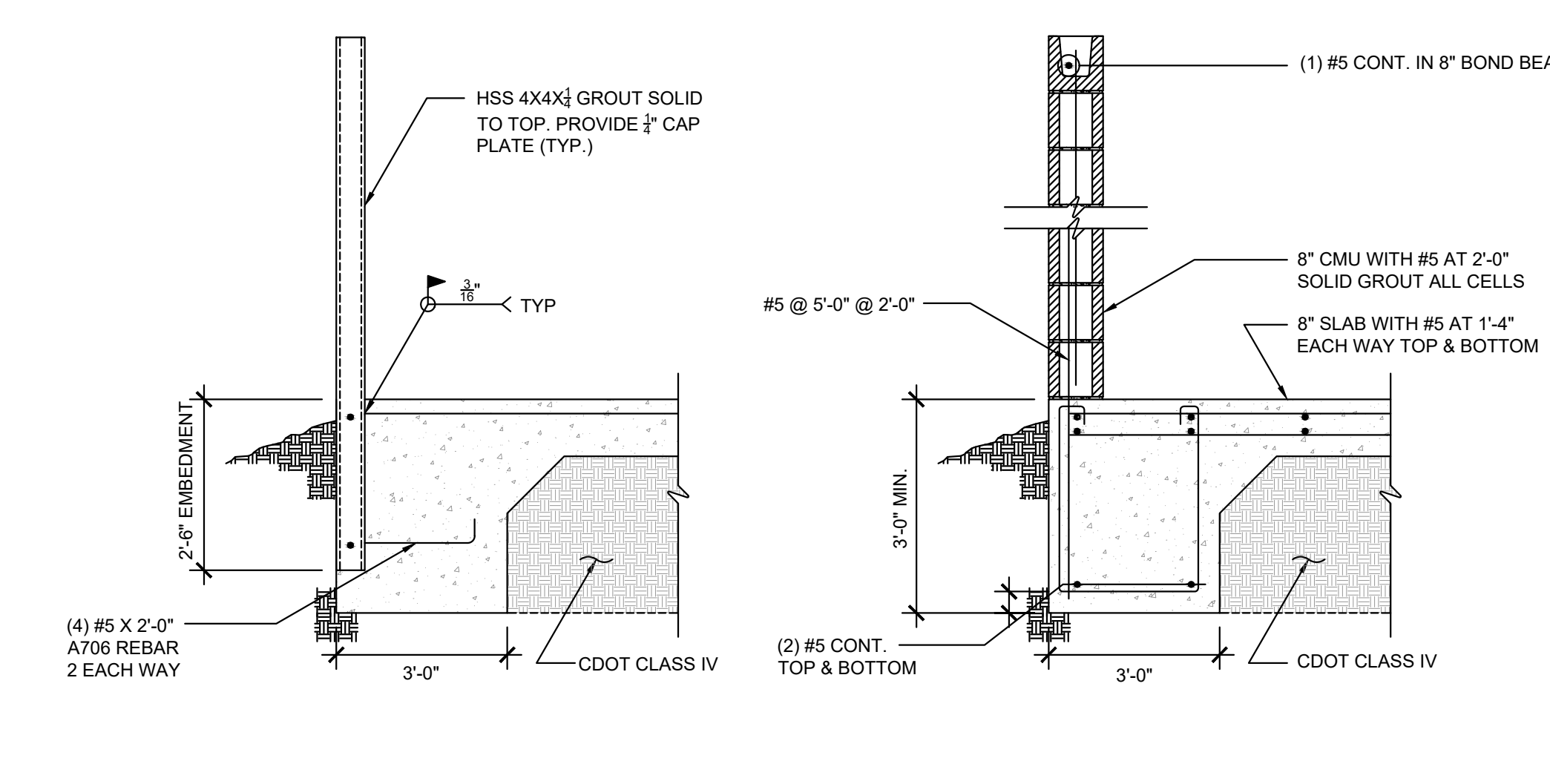
4. The Storm Water Management Plan and permit shall be obtained and kept onsite before starting any construction work. Gravel pads are to be constructed at the entrances to the site to help in removing mud from the wheels of haulage trucks before they enter onto City streets.

5. Trucks hauling import fill are to be tarped to aid in the control of airborne dust.

TYPICAL CONCRETE SECTIONS



LEGEND	
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
▨	EXISTING BUILDING
▨	PROPOSED BUILDING
▨	EXISTING CURB/GUTTER
▨	PROPOSED CURB/GUTTER
▨	PROPOSED SPILL CURB/GUTTER
▨	PROPOSED TRANSITION CURB/GUTTER
▨	EXISTING RETAINING WALL
---	EXISTING 1'-FT CONTOUR
---	EXISTING 5'-FT CONTOUR
---	PROPOSED 1'-FT CONTOUR
---	PROPOSED 5'-FT CONTOUR
▨	EXISTING GRAVEL
▨	PROPOSED GRAVEL
▨	EXISTING ASPHALT
▨	PROPOSED ASPHALT
▨	PROPOSED HEAVY DUTY ASPHALT
▨	EXISTING CONCRETE
▨	PROPOSED CONCRETE
▨	PROPOSED HEAVY DUTY CONCRETE
○	EXISTING SANITARY SEWER
○	PROPOSED SANITARY SEWER
○	EXISTING SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER
○	PROPOSED STORM SEWER
○	EXISTING STORM SEWER INLET
○	PROPOSED STORM SEWER INLET
○	EXISTING STORM SEWER MANHOLE
○	PROPOSED STORM SEWER MANHOLE
○	EXISTING INLINE DRAIN
○	PROPOSED INLINE DRAIN
○	EXISTING 8" WATER MAIN
○	PROPOSED 2" DOMESTIC SERVICE
○	EXISTING 4" FIRE LINE
○	PROPOSED FIRE HYDRANT
○	EXISTING WATER METER
○	PROPOSED WATER METER
○	PROPOSED METER/BACKFLOW VAULT
○	PROPOSED IRRIGATION MANHOLE
○	PROPOSED FENCE
○	EXISTING FENCE
○	PROPOSED TRAFFIC FLOW
○	GRADE BREAK
○	ROOF DRAIN (RD)
○	STREET LIGHT POLE
○	FIRE DEPARTMENT CONNECTION
○	PARKING LOT LIGHT
○	PROPOSED BUILDING LIGHT
○	POWER POLE
○	FLOWLINE
○	EDGE OF PAVEMENT
○	TOP OF CONCRETE
○	TOP OF WALL
○	BOTTOM OF WALL
○	TOP BACK OF WALK
○	TOP OF CURB
○	BACK OF CURB
○	LANDSCAPE AREA
○	UTILITY PEDESTALS (TEL & ELEC)
○	TRANSFORMER



D TRASH ENCLOSURE
NOT TO SCALE

UTILITIES AND AGENCIES		
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750



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NO.	DATE	BY	DESCRIPTION
1	02-28-20	CIM	RESPONSE TO 2-24-20 COMMENTS
2	03-19-20	CIM	RESPONSE TO 3-19-20 COMMENTS
3	04-08-20	CIM	RESPONSE TO 4-8-20 COMMENTS
4	05-28-20	CIM	RESPONSE TO 5-22-20 COMMENTS

REVISIONS

HORIZON PLACE
GENERAL CONSTRUCTION NOTES
601 HORIZON PLACE
CITY OF GRAND JUNCTION

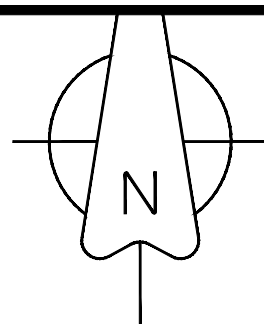
DATE	SCALE	SHEET NO.
02-18-20	NTS	C-2

JOB NUMBER: 1382.0001

DATE: 02-18-20

SCALE: NTS

SHEET NO: C-2



VALLEY CANAL

WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

HORIZON PLACE

CLEAR & GRUB ±766 SY

REMOVE AND DISPOSE OF
±112 LF CURB & GUTTER

REMOVE AND DISPOSE OF
±10,340 SF ASPHALT

REMOVE AND DISPOSE
OF ±110 LF SIDEWALK
& CURB & GUTTER

REMOVE AND DISPOSE
OF ±68 SY ASPHALT

CLEAR & GRUB ±100 SY

REMOVE & DISPOSE OF
MANHOLE, PLUG INLET
& OUTLET.

REMOVE & DISPOSE
OF TREE.

REMOVE AND DISPOSE
OF FIRE HYDRANT

REMOVE AND DISPOSE
OF ±50 SY CONCRETE

REMOVE & DISPOSE OF
DUMPSTER ENCLOSURE
& CONCRETE SLAB

REMOVE & DISPOSE OF
30 LF CHAIN LINK FENCE

CLEAR & GRUB ±59 SY

REMOVE & DISPOSE OF
50 LF CURB & GUTTER

SAW CUT CLEAN LINE ON
ASPHALT. MATCH
EXISTING ASPHALT.

REMOVE & DISPOSE
OF TREE

PRESERVE TREES

CLEAR & GRUB ±177 SY

N: 45796.10
E: 91407.73

44' ROW

9.61' EASEMENT

JUNIPER RIDGE SCHOOL

CLEAR & GRUB ±147 SY

WINTERFELL MESA VIEW (CO) OWNER LLC
c/o NORTHSTAR REALTY FINANCE CORP

LOT 1 MESA VIEW RETIREMENT RESIDENCE



NO.	REVISIONS	DATE	BY
1	RESPONSE TO 2-24-20 COMMENTS	02-26-20	CIM
2	RESPONSE TO 3-19-20 COMMENTS	03-19-20	CIM
4	RESPONSE TO 5-22-20 COMMENTS	05-28-20	CIM

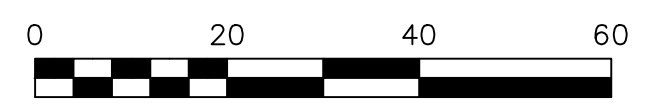
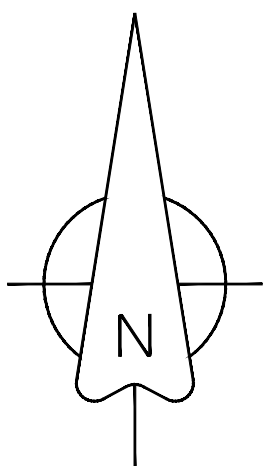
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 Land Planning • Civil Engineering • Development Services
 123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
 (970) 242-7540

HORIZON PLACE
 DEMOLITION PLAN
601 HORIZON PLACE
 prepared for
CITY OF GRAND JUNCTION

DRAWN BY:	CIM
DESIGNED BY:	CIM
CHECKED BY:	MRA
APPROVED BY:	CIM
JOB NUMBER:	1382.0001
DATE:	02-18-20
SCALE:	1"=20'
SHEET NO.:	C-3

Know what's below.
 Call before you dig.

 SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY



VALLEY CANAL

WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

CITY OF GRAND JUNCTION

GRAND VALLEY

L17

TEE TOP ASPHALT CONNECTION

20' ADA CURB RETURN

END OF ROADWAY SIGNS OM 4-2 TYP OF 3

JUNIPER RIDGE SCHOOL

HORIZON PLACE

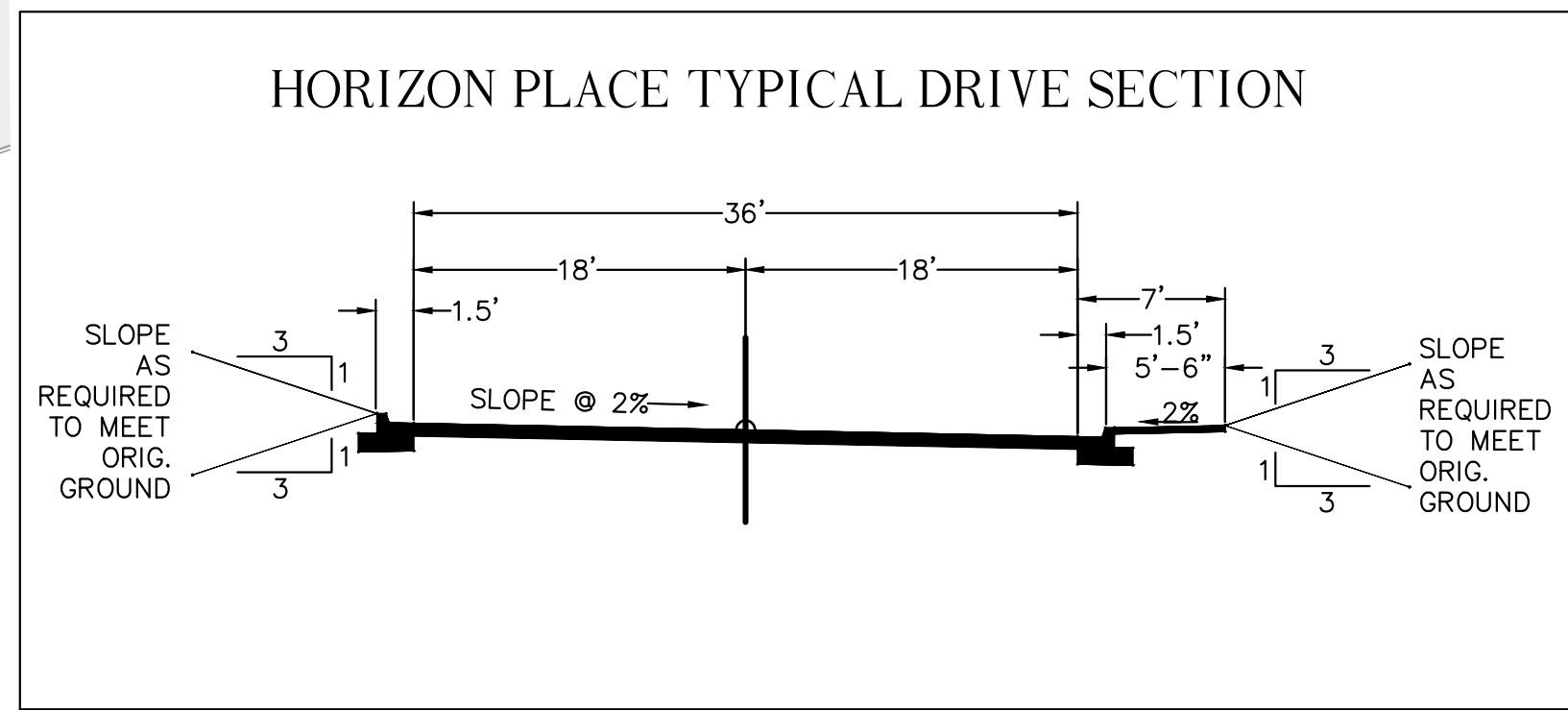
WINTERFELL MESA VIEW (CO) OWNER LLC
c/o NORTHSTAR REALTY FINANCE CORP

A = TYPICAL SECTIONS DEPICTED ON SHEET C-2

- NOTE:
- OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG HORIZON PLACE.
 - RESTORE LANDSCAPING TO EQUAL OR BETTER THAN EXISTING CONDITION OR INSTALL SIMILAR ROCK OVER WEED FABRIC IN AREAS WHERE NO LANDSCAPING EXISTS ALONG ENTIRE PROJECT.
 - PARALLEL PARKING WILL BE PERMITTED ALONG THE NORTH AND SOUTH SIDE OF HORIZON PLACE AND THE SPEED LIMIT SHALL BE NO MORE THAN 20 MPH.

±75 SY LANDSCAPING ROCK (TO MATCH EXISTING) OVER WEED FABRIC. PLACE ON AREAS DISTURBED FROM TRASH ENCLOSURE REMOVAL.

UTILITIES AND AGENCIES		
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
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CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750



LEGEND			
---	PROPERTY LINE	□	PROPOSED INLINE DRAIN
- - -	ADJACENT PROPERTY LINE	—	EXISTING 8" WATER MAIN
- · - · -	PROPOSED EASEMENT	—	PROPOSED 2" DOMESTIC SERVICE
▨	EXISTING BUILDING	—	PROPOSED 4" FIRE LINE
▨	PROPOSED BUILDING	⊙	EXISTING FIRE HYDRANT
▨	EXISTING CURB/GUTTER	⊙	PROPOSED FIRE HYDRANT
▨	PROPOSED CURB/GUTTER	⊙	EXISTING WATER METER
▨	PROPOSED SPILL CURB/GUTTER	⊙	PROPOSED WATER METER
▨	PROPOSED TRANSITION CURB/GUTTER	⊙	PROPOSED METER/BACKFLOW VAULT
▨	EXISTING RETAINING WALL	⊙	PROPOSED IRRIGATION MANHOLE
▨	EXISTING 1-FT CONTOUR	⊙	PROPOSED FENCE
▨	EXISTING 5-FT CONTOUR	⊙	EXISTING FENCE
▨	PROPOSED 1-FT CONTOUR	⊙	PROPOSED TRAFFIC FLOW
▨	PROPOSED 5-FT CONTOUR	⊙	GRADE BREAK
▨	EXISTING ASPHALT	⊙	ROOF DRAIN (RD)
▨	PROPOSED ASPHALT	⊙	STREET LIGHT POLE
▨	PROPOSED HEAVY DUTY ASPHALT	⊙	FIRE DEPARTMENT CONNECTION
▨	EXISTING CONCRETE	⊙	PARKING LOT LIGHT
▨	PROPOSED CONCRETE	⊙	PROPOSED BUILDING LIGHT
▨	PROPOSED HEAVY DUTY CONCRETE	⊙	POWER POLE
▨	EXISTING SANITARY SEWER	⊙	FLOWLINE
▨	PROPOSED SANITARY SEWER	⊙	EDGE OF PAVEMENT
⊙	EXISTING SANITARY SEWER MANHOLE	⊙	TOC
⊙	PROPOSED SANITARY SEWER MANHOLE	⊙	TOW
⊙	EXISTING SANITARY SEWER CLEANOUT	⊙	TOP OF WALL
⊙	EXISTING STORM SEWER	⊙	BOW
⊙	PROPOSED STORM SEWER	⊙	TBW
⊙	EXISTING STORM SEWER INLET	⊙	TC
⊙	PROPOSED STORM SEWER INLET	⊙	BOC
⊙	EXISTING STORM SEWER MANHOLE	⊙	LS
⊙	PROPOSED STORM SEWER MANHOLE	⊙	LANDSCAPE AREA
		⊙	UTILITY PEDESTALS

Know what's below. Call before you dig.

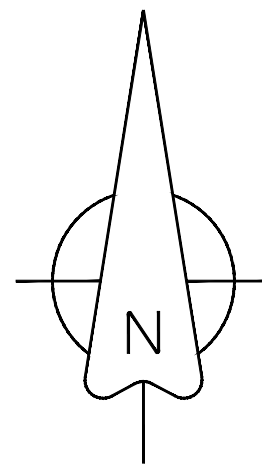
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IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY.

NO.	REVISIONS	DATE	BY
1	RESPONSE TO 2-24-20 COMMENTS	02-26-20	CIM
2	RESPONSE TO 3-19-20 COMMENTS	03-19-20	CIM
4	RESPONSE TO 5-22-20 COMMENTS	05-28-20	CIM
5	RESPONSE TO 6-5-20 COMMENTS	06-05-20	CIM

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AUSTIN CIVIL GROUP, INC.
Land Planning • Civil Engineering • Development Services
123 North 7th Street, Suite 300 • Grand Junction, Colorado 81501
(970) 242-7540

HORIZON PLACE
SITE PLAN
601 HORIZON PLACE
CITY OF GRAND JUNCTION

JOB NUMBER	DATE	SCALE	SHEET NO.
1382.0001	02-18-20	1"=20'	C-4



AND VALLEY CANAL

WINTERFELL MESA VIEW
PARCEL NO. 2945-023-24-002

±26 LF 8" WATER
8"X6" TEE
8" GATE VALVE
45° BENDS
CAP 8" WATER MAIN
±19 LF 6" WATER
FIRE HYDRANT
N: 45893.65
E: 91552.06
FLANGE ELEV: 4635.3
REMOVE EX. TEE

ABANDON EX. STORM. PLUG
INLET & OUTLET LINES
AFTER MANHOLE REMOVAL.

WINTERFELL MESA VIEW (CO) OWNER LLC
c/o NORTHSTAR REALTY FINANCE CORP

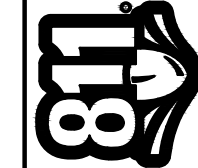
LOT 1 MESA VIEW

NOTE:

- 1. OBTAIN WORK IN RIGHT OF WAY PERMITS FROM THE CITY OF GRAND JUNCTION BEFORE DOING ANY WORK ALONG HORIZON PLACE.

UTILITIES AND AGENCIES

CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK CHARTER	CHRIS JOHNSON	244-4333
	JOHN VALDEZ	245-8750



NO.	REVISIONS	DESCRIPTION	BY	DATE
1	RESPONSE TO 2-24-20 COMMENTS		CIM	02-26-20
2	RESPONSE TO 3-19-20 COMMENTS		CIM	03-19-20
4	RESPONSE TO 5-22-20 COMMENTS		CIM	05-28-20

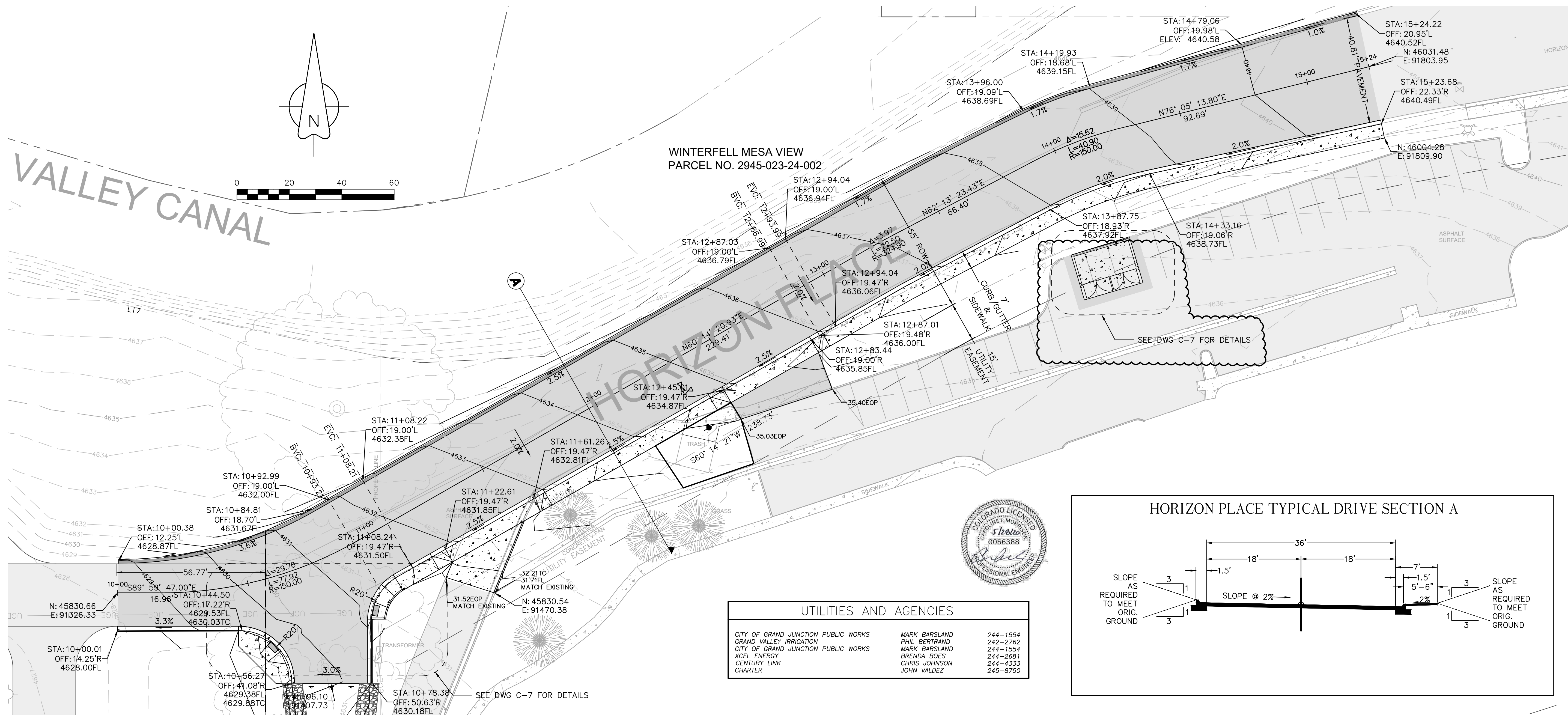
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HORIZON PLACE
 UTILITY COMPOSITE PLAN
 601 HORIZON PLACE
 prepared for
CITY OF GRAND JUNCTION

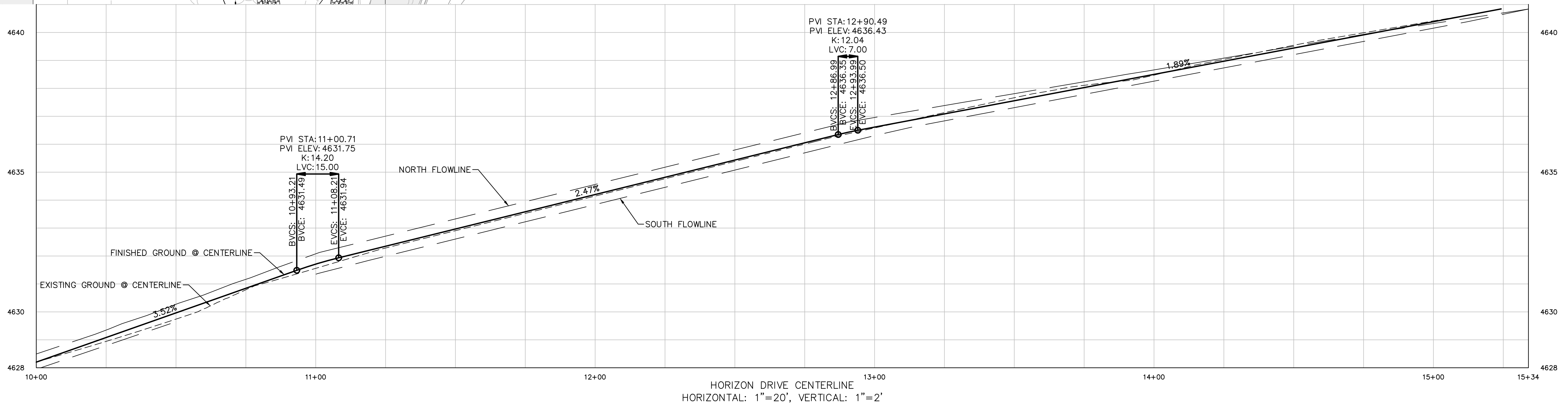
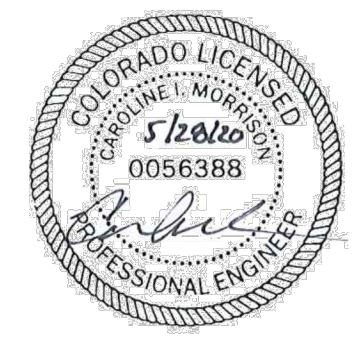
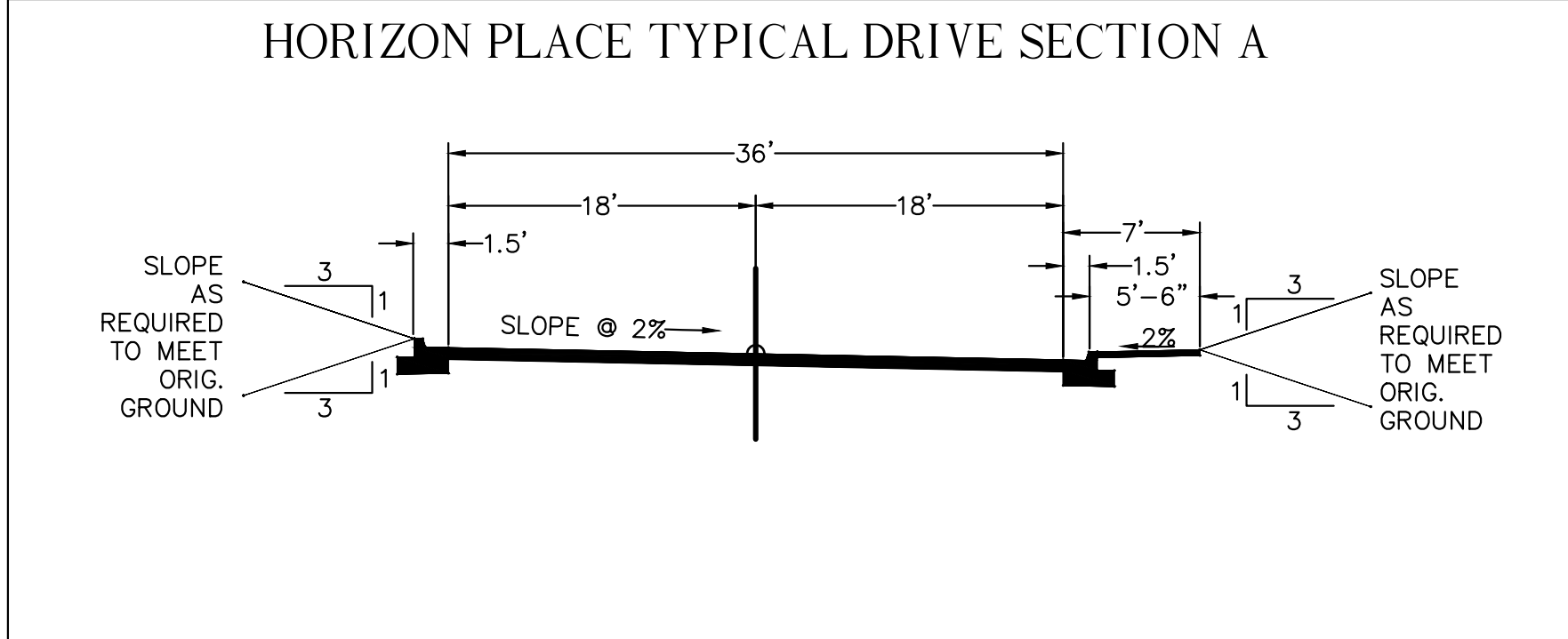
DRAWN BY:	CIM
DESIGNED BY:	CIM
CHECKED BY:	MFA
APPROVED BY:	CIM
JOB NUMBER:	1382.0001
DATE:	02-18-20
SCALE:	1"=20'
SHEET NO.:	C-5



SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY



UTILITIES AND AGENCIES		
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
GRAND VALLEY IRRIGATION	PHIL BERTRAND	242-2762
CITY OF GRAND JUNCTION PUBLIC WORKS	MARK BARSLAND	244-1554
XCEL ENERGY	BRENDA BOES	244-2681
CENTURY LINK	CHRIS JOHNSON	244-4333
CHARTER	JOHN VALDEZ	245-8750



Know what's below.
Call before you dig.

SCALE VERIFICATION
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IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

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HORIZON PLACE	
description	
HORIZON PLACE PLAN & PROFILE	
JOB NUMBER: 1382.0001	
DATE: 02-18-20	
SCALE: 1"=20'	
SHEET NO: C-6	
DRAWN BY: CIM	DESIGNED BY: CIM
CHECKED BY: MFA	APPROVED BY: CIM
JOB NUMBER: 1382.0001	
DATE: 02-18-20	
SCALE: 1"=20'	
SHEET NO: C-6	

