



Purchasing Division

INVITATION FOR BID

IFB-4822-20-SH

GARAGE DOOR UPGRADES

Responses Due:

September 18, 2020 prior to 2:30 P.M.

Accepting Electronic Responses Only

**Responses Only Submitted Through the Rocky Mountain E-Purchasing System
(RMEPS)**

<https://www.bidnetdirect.com/colorado>

(Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline. 800-835-4603)

Purchasing Representative:

Susan Hyatt, Senior Buyer

susanh@gjcity.org

970-244-1513

This document has been developed specifically to solicit competitive responses for this solicitation, and may not be the same as previous City of Grand Junction solicitations. All vendors are urged to thoroughly review this solicitation prior to responding. Submittal by **FAX, EMAIL or HARD COPY IS NOT ACCEPTABLE** for this solicitation.

Invitation for Bids

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1. INSTRUCTIONS TO BIDDERS

- 1.1. **Purpose:** The City of Grand Junction is soliciting competitive bids from qualified and interested companies for all labor, equipment, and materials required to **upgrade two garage doors at the Persigo satellite office located at 251 27 Road**. All dimensions and scope of work for the project shall be verified by Contractors prior to submission of bids.

IFB Questions:

Susan Hyatt, Senior Buyer
susanh@gjcity.org

The City would like to remind all Contractors, Sub-Contractors, Vendors, Suppliers, Manufacturers, Service Providers, etc. that (with the exception of Pre-Bid or Site Visit Meetings) all questions, inquiries, comments, or communication pertaining to any formal solicitation (whether process, specifications, scope, etc.) must be directed (in writing) to the Purchasing Agent assigned to the project, or Purchasing Division. Direct communication with the City assigned Project Managers/Engineers is not appropriate for public procurement, and may result in disqualification.

- 1.2. **Mandatory Pre-Bid Meeting:** **A mandatory site visit for prospective bidders will be held on September 3, 2020 at 8:30 A.M.** Meeting location shall be at the Perisgo satellite office, located at 251 27 Road, Grand Junction, CO. The purpose of this visit will be to inspect and to clarify the contents of this Invitation for Bids (IFB).
- 1.3. **The Owner:** The Owner is the City of Grand Junction, Colorado and is referred to throughout this Solicitation. The term Owner means the Owner or his authorized representative.
- 1.4. **Submission:** Each bid shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing (BidNet Colorado) website, www.bidnetdirect.com/colorado. The uploaded response shall be a single PDF document with all required information included. This site offers both “free” and “paying” registration options that allow for full access of the Owner’s documents and for electronic submission of bids. (Note: “free” registration may take up to 24 hours to process. Please Plan accordingly.) Please view our **“Electronic Vendor Registration Guide”** at <http://www.gjcity.org/business-and-economic-development/bids/> for details. (Purchasing Representative does not have access or control of the vendor side of RMEPS. If website or other problems arise during response submission, vendor **MUST** contact RMEPS to resolve issue prior to the response deadline. **800-835-4603**)
- 1.5. **Modification and Withdrawal of Bids Before Opening.** Bids may be modified or withdrawn by an appropriate document stating such, duly executed and submitted to the place where Bids are to be submitted at any time prior to Bid Opening.
- 1.6. **Printed Form for Price Bid:** All Price Bids must be made upon the Price Bid Schedule attached, and should give the amounts both in words and in figures, and must be signed and acknowledged by the bidder.

The Offeror shall specify a unit price in figures for each pay item for which a quantity is given and shall provide the products (in numbers) of the respective unit prices and quantities in the Extended Amount column. The total Bid price shall be equal to the sum of all extended amount prices. When an item in the Price Bid Schedule provides a choice to be made by the Offeror, Offeror's choice shall be indicated in accordance with the specifications for that particular item and thereafter no further choice shall be permitted.

Where the unit of a pay item is lump sum, the lump sum amount shall be shown in the "extended amount" column and included in the summation of the total Bid.

All blank spaces in the Price Bid Schedule must be properly filled out.

Bids by corporations must be executed in the corporate name by the president or vice president or other corporate office accompanied by evidence of authority to sign. The corporate address and state of incorporation shall be shown below the signature.

Bids by partnerships must be executed in the partnership name and signed by a partner whose title must appear under the signature and the official address of the partnership must be shown below the signature.

All names must be typed or printed below the signature.

The Offeror's Bid shall contain an acknowledgement of receipt of all Addenda, the numbers of which shall be filled in on the Contractor's Bid Form.

The contact information to which communications regarding the Bid are to be directed must be shown.

- 1.7. **Exclusions:** No oral, telephonic, emailed, or facsimile bid will be considered
- 1.8. **Solicitation documents:** The complete IFB and bidder's response compose the Solicitation documents. Copies of bid documents can be obtained from the City Purchasing website, www.gjcity.org/business-and-economic-development/bids/.
- 1.9. **Examination of Specifications:** Bidders shall thoroughly examine and be familiar with the project Statement of Work. The failure or omission of any Offeror to receive or examine any form, addendum, or other document shall in no way relieve any Offeror from any obligation with respect to his bid. The submission of a bid shall be taken as evidence of compliance with this section. Prior to submitting a bid, each Offeror shall, at a minimum:
 - a. Examine the solicitation documents thoroughly;
 - b. Visit the site to familiarize themselves with local conditions that may in any manner affect cost, progress, or performance of the Work;
 - c. Become familiar with federal, state, and local laws, ordinances, rules, and regulations that may in any manner affect cost, progress or performance of the Work;

- d. Study and carefully correlate Bidder's observations with the solicitation documents, and;
- e. Notify the Purchasing Agent of all conflicts, errors, ambiguities or discrepancies in or among the solicitation documents within the designated inquiry period.

On request, the Owner will provide each Offeror access to the site to conduct such investigations and tests as each Bidder deems necessary for submission of a Bid. It shall be the Offeror's responsibility to make or obtain any additional examinations, investigations, explorations, tests and studies and obtain any additional information and data which pertain to the physical conditions (including without limitation, surface, subsurface and underground utilities) at or contiguous to the site or otherwise which may affect cost, progress or performance of the work and which the Offeror deems necessary to determine its Bid for performing the work in accordance with the time, price and other terms and conditions of the solicitation documents. Location of any excavation or boring made by Offeror shall be subject to prior approval of Owner and applicable agencies. Offeror shall fill all holes, restore all pavements to match the existing structural section and shall clean up and restore the site to its former condition upon completion of such exploration. The Owner reserves the right to require the Offeror to execute an access agreement with the Owner prior to accessing the site.

The lands upon which the Work is to be performed, rights of way, and access thereto, and other lands designated for use by Contractor in performing the Work, are identified on the Drawings.

Information and data reflected in the solicitation documents with respect to underground utilities at or contiguous to the site are based upon information and data furnished to the Owner and the Engineer by the owners of such underground utilities or others, and the Owner does not assume responsibility for the accuracy or completeness thereof, unless it is expressly provided otherwise in the solicitation documents.

By submission of a Bid, the Offeror shall be conclusively presumed to represent that the Offeror has complied with every requirement of these Instructions to Bidders, that the solicitation documents are not ambiguous and are sufficient in scope and detail to indicate and convey understanding of all terms and conditions for performance of the Work.

- 1.10. Questions Regarding Statement of Work:** Any information relative to interpretation of Scope of Work or specifications shall be requested of the Purchasing Representative, in writing, in ample time, prior to the inquiry deadline.
- 1.11. Addenda & Interpretations:** If it becomes necessary to revise any part of this solicitation, a written addendum will be posted electronically on the City's website at <http://www.gjcity.org/business-and-economic-development/bids/>. The Owner is not bound by any oral representations, clarifications, or changes made in the written specifications by Owner, unless such clarification or change is provided in written addendum form from the City Purchasing Representative.
- 1.12. Taxes:** The Owner is exempt from State retail and Federal tax. The bid price must be net, exclusive of taxes.

- 1.13. Sales and Use Taxes:** The Contractor and all Subcontractors are required to obtain exemption certificates from the Colorado Department of Revenue for sales and use taxes. Bids shall reflect this method of accounting for sales and use taxes on materials, fixtures and equipment.
- 1.14. Offers Binding 60 Days:** Unless additional time is required by the Owner, or otherwise specified, all formal offers submitted shall be binding for sixty (60) calendar days following opening date, unless the Bidder, upon request of the Purchasing Representative, agrees to an extension.
- 1.15. Exceptions and Substitutions:** Bidders taking exception to the specifications and/or scope of work shall do so at their own risk. The Owner reserves the right to accept or reject any or all substitutions or alternatives. When offering substitutions and/or alternatives, Bidder must state these exceptions in the section pertaining to that area. Exception/substitution, if accepted, must meet or exceed the stated intent and/or specifications and/or scope of work. The absence of such a list shall indicate that the Bidder has not taken exceptions, and if awarded a contract, shall hold the Bidder responsible to perform in strict accordance with the specifications and/or scope of work contained herein.
- 1.16. Collusion Clause:** Each bidder by submitting a bid certifies that it is not party to any collusive action or any action that may be in violation of the Sherman Antitrust Act. Any and all bids shall be rejected if there is evidence or reason for believing that collusion exists among bidders. The Owner may, or may not, accept future bids for the same services or commodities from participants in such collusion.
- 1.17. Disqualification of Bidders:** A Bid will not be accepted from, nor shall a Contract be awarded to, any person, firm, or corporation that is in arrears to the Owner, upon debt or contract, or that has defaulted, as surety or otherwise, upon any obligation to the Owner, or that is deemed irresponsible or unreliable.

Bidders may be required to submit satisfactory evidence that they are responsible, have a practical knowledge of the project bid upon and that they have the necessary financial and other resources to complete the proposed Work.

Either of the following reasons, without limitation, shall be considered sufficient to disqualify a Bidder and Bid:

- a. More than one Bid is submitted for the same Work from an individual, firm, or corporation under the same or different name; and
 - b. Evidence of collusion among Bidders. Any participant in such collusion shall not receive recognition as a Bidder for any future work of the Owner until such participant has been reinstated as a qualified bidder.
- 1.18. Public Disclosure Record:** If the bidder has knowledge of their employee(s) or sub-contractors having an immediate family relationship with a City employee or elected official, the bidder must provide the Purchasing Representative with the name(s) of these

individuals. These individuals are required to file an acceptable "Public Disclosure Record", a statement of financial interest, before conducting business with the City.

2. GENERAL CONTRACT CONDITIONS

- 2.1. The Contract:** This Invitation for Bid, submitted documents, and any negotiations, when properly accepted by the City, shall constitute a contract equally binding between the City and Contractor. The contract represents the entire and integrated agreement between the parties hereto and supersedes all prior negotiations, representations, or agreements, either written or oral. The contract may be amended or modified with Change Orders, Field Orders, or Addendums.
- 2.2. The Work:** The term Work includes all labor necessary to produce the construction required by the Solicitation documents, and all materials and equipment incorporated or to be incorporated in such construction.
- 2.3. Execution, Correlation, Intent, and Interpretations:** The Solicitation documents shall be signed by the Owner (City) and Contractor. City will provide the contract. By executing the contract, the Contractor represents that he/she has visited the site, familiarized himself with the local conditions under which the Work is to be performed, and correlated his observations with the requirements of the Solicitation documents. The Solicitation documents are complementary, and what is required by any one, shall be as binding as if required by all. The intention of the documents is to include all labor, materials, equipment and other items necessary for the proper execution and completion of the scope of work as defined in the technical specifications and drawings contained herein. All drawings, specifications and copies furnished by the City are, and shall remain, City property. They are not to be used on any other project, and with the exception of one contract set for each party to the contract, are to be returned to the owner on request at the completion of the work.
- 2.4. The Owner:** The Owner shall, at all times, have access to the work wherever it is in preparation and progress. The Contractor shall provide facilities for such access. The Owner will make periodic visits to the site to familiarize himself generally with the progress and quality of work and to determine, in general, if the work is proceeding in accordance with the solicitation documents. Based on such observations and the Contractor's Application for Payment, the Owner will determine the amounts owing to the Contractor and will issue Certificates for Payment in such amounts, as provided in the contract. The Owner will have authority to reject work which does not conform to the Solicitation documents. Whenever, in his reasonable opinion, he considers it necessary or advisable to insure the proper implementation of the intent of the Solicitation documents, he will have authority to require the Contractor to stop the work or any portion, or to require special inspection or testing of the work, whether or not such work can be then be fabricated, installed, or completed. The Owner will not be responsible for the acts or omissions of the Contractor, and sub-Contractor, or any of their agents or employees, or any other persons performing any of the work.
- 2.5. Contractor:** The Contractor is the person or organization identified as such in the Agreement and is referred to throughout the Solicitation documents. The term Contractor

means the Contractor or his authorized representative. The Contractor shall carefully study and compare the General Contract Conditions of the Contract, Specification and Drawings, Scope of Work, Addenda and Modifications and shall at once report to the Owner any error, inconsistency or omission he may discover. Contractor shall not be liable to the Owner for any damage resulting from such errors, inconsistencies or omissions. The Contractor shall not commence work without clarifying Drawings, Specifications, or Interpretations.

- 2.6. Sub-Contractors:** A sub-contractor is a person or organization who has a direct contract with the Contractor to perform any of the work at the site. The term sub-contractor is referred to throughout the solicitation documents and means a sub-contractor or his authorized representative.
- 2.7. Award of Sub-Contractors & Other Contracts for Portions of the Work:** Contractor shall submit with their bid response to the Owner, in writing for acceptance, a list of the names of the sub-contractors or other persons or organizations proposed for such portions of the work as may be designated in the proposal requirements, or, if none is so designated, the names of the sub-contractors proposed for the principal portions of the work. Prior to the award of the contract, the Owner shall notify the successful Contractor in writing if, after due investigation, has reasonable objection to any person or organization on such list. If, prior to the award of the contract, the Owner has a reasonable and substantial objection to any person or organization on such list, and refuses in writing to accept such person or organization, the successful Contractor may, prior to the award, withdraw their proposal without forfeiture of proposal security. If the successful Contractor submits an acceptable substitute with an increase in the proposed price to cover the difference in cost occasioned by the substitution, the Owner may, at their discretion, accept the increased proposal or may disqualify the Contractor. If, after the award, the Owner refuses to accept any person or organization on such list, the Contractor shall submit an acceptable substitute and the contract sum shall be increased or decreased by the difference in cost occasioned by such substitution and an appropriate Change Order shall be issued. However, no increase in the contract sum shall be allowed for any such substitution unless the Contractor has acted promptly and responsively in submitting a name with respect thereto prior to the award.
- 2.8. Quantities of Work and Unit Price:** Materials or quantities stated as unit price items in the Bid are supplied only to give an indication of the general scope of the Work, and are as such, estimates only. The Owner does not expressly or by implication agree that the actual amount of Work or material will correspond therewith, and reserves the right after award to increase or decrease the quantity of any unit item of the Work without a change in the unit price except as set forth in the solicitation documents. The City also reserves the right to make changes in the Work (including the right to delete any bid item in its entirety or add additional bid items) as set forth in in the solicitation documents.
- 2.9. Substitutions:** The materials, products and equipment described in the *Solicitation Documents* shall be regarded as establishing a standard of required performance, function, dimension, appearance, or quality to be met by any proposed substitution. No substitution will be considered prior to receipt of Bids unless the Offeror submits a written request for approval to the City Purchasing Division at least ten (10) days prior to the date for receipt of Bids. Such requests for approval shall include the name of the material or equipment for which substitution is sought and a complete description of the proposed

substitution including drawings, performance and test data, and other information necessary for evaluation, including samples if requested. The Offeror shall set forth changes in other materials, equipment, or other portions of the Work including changes of the work of other contracts, which incorporation of the proposed substitution would require to be included. The Owner's decision of approval or disapproval of a proposed substitution shall be final. If the Owner approves a proposed substitution before receipt of Bids, such approval will be set forth in an Addendum. Offerors shall not rely upon approvals made in any other manner.

- 2.10. Supervision and Construction Procedures:** The Contractor shall supervise and direct the work, using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.
- 2.11. Warranty:** The Contractor warrants to the Owner that all materials and equipment furnished under this contract will be new unless otherwise specified, and that all work will be of good quality, free from faults and defects and in conformance with the Solicitation documents. All work not so conforming to these standards may be considered defective. If required by Owner, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment. If within ten (10) days after written notice to the Contractor requesting such repairs or replacement, the Contractor should neglect to make or undertake with due diligence to the same, the City may make such repairs or replacements. All indirect and direct costs of such correction or removal or replacement shall be at the Contractor's expense. The Contractor will also bear the expenses of making good all work of others destroyed or damaged by the correction, removal or replacement of his defective work.
- 2.12. Permits, Fees, & Notices:** The Contractor shall secure and pay for all permits, governmental fees and licenses necessary for the proper execution and completion of the work. The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations and orders of any public authority bearing on the performance of the work. If the Contractor observes that any of the Solicitation documents are at variance in any respect, he shall promptly notify the Owner in writing, and any necessary changes shall be adjusted by approximate modification. If the Contractor performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Owner, he shall assume full responsibility and shall bear all costs attributable.
- 2.13. Responsibility for Those Performing the Work:** The Contractor shall be responsible to the Owner for the acts and omissions of all his employees and all sub-contractors, their agents and employees, and all other persons performing any of the work under a contract with the Contractor.
- 2.14. Use of the Site:** The Contractor shall confine operations at the site to areas permitted by law, ordinances, permits and the Solicitation documents, and shall not unreasonably encumber the site with any materials or equipment.
- 2.15. Cleanup:** The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by contractor's operations. At the completion of work contractor shall remove all waste materials and rubbish from and about the project, as well as all tools, construction equipment, machinery and surplus materials.

2.16. Insurance Requirements: The selected Bidder agrees to procure and maintain, at its own cost, policy(s) of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Bidder pursuant to this Section. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Bidder shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to this Section by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

Bidder shall procure and maintain and, if applicable, shall cause any Subcontractor of the Bidder to procure and maintain insurance coverage listed below. Such coverage shall be procured and maintained with forms and insurers acceptable to the Owner. All coverage shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Bidder pursuant to this Section. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage. Minimum coverage limits shall be as indicated below unless specified otherwise in the Special Conditions:

(a) Worker Compensation: Contractor shall comply with all State of Colorado Regulations concerning Workers' Compensation insurance coverage.

(b) General Liability insurance with minimum combined single limits of:

One Million Dollars (\$1,000,000) each occurrence and
One Million Dollars (\$1,000,000) per job aggregate.

The policy shall be applicable to all premises and operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability of interests provision.

(c) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than:

One Million Dollars (\$1,000,000) each occurrence and
One Million Dollars (\$1,000,000) aggregate

This policy shall provide coverage to protect the contractor against liability incurred as a result of the professional services performed as a result of responding to this Solicitation.

With respect to each of Bidder's owned, hired, or non-owned vehicles assigned to be used in performance of the Work. The policy shall contain a severability of interests provision. The policies required by paragraph (b) above shall be endorsed to include the City and/or County, and the City's and/or County's officers and employees as additional insureds. Every policy required above shall be primary insurance, and any insurance carried by the Owner, its officers, or its employees, or carried by or provided through any insurance pool of the Owner, shall be excess and not contributory insurance to that provided by Bidder. No additional insured endorsement to any required policy shall

contain any exclusion for bodily injury or property damage arising from completed operations. The Bidder shall be solely responsible for any deductible losses under any policy required above.

- 2.17. Indemnification:** The Contractor shall defend, indemnify and save harmless the Owner, and all its officers, employees, insurers, and self-insurance pool, from and against all liability, suits, actions, or other claims of any character, name and description brought for or on account of any injuries or damages received or sustained by any person, persons, or property on account of any negligent act or fault of the Contractor, or of any Contractor's agent, employee, sub-contractor or supplier in the execution of, or performance under, any contract which may result from bid award. Contractor shall pay any judgment with cost which may be obtained against the Owner growing out of such injury or damages.
- 2.18. Miscellaneous Conditions: Material Availability:** Contractors must accept responsibility for verification of material availability, production schedules, and other pertinent data prior to submission of bid. It is the responsibility of the bidder to notify the Owner immediately if materials specified are discontinued, replaced, or not available for an extended period of time. **OSHA Standards:** All bidders agree and warrant that services performed in response to this invitation shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970 (OSHA). In the event the services do not conform to OSHA standards, the Owner may require the services to be redone at no additional expense to the Owner.
- 2.19. Time:** Time is of the essence with respect to the time of completion of the Project and any other milestones or deadline which are part of the Contract. It will be necessary for each Bidder to satisfy the City of its ability to complete the Work within the Contract Time set forth in the Solicitation documents. The Contract Time is the period of time allotted in the Solicitation documents for completion of the work. The date of commencement of the work is the date established in a Notice to Proceed. If there is no Notice to Proceed, it shall be the date of the Contract or such other date as may be established therein, or as established as entered on the Bid Form. The Date of Final Completion of the work is the date certified by the Owner when all construction, and all other work associated to include, but not be limited to: testing, QA/QC, receipt of required reports and/or forms, grant requirements (if applicable), punch list items, clean-up, receipt of drawings and/or as-builts, etc., is fully complete, and in accordance with the Solicitation documents.
- 2.20. Progress & Completion:** The Contractor shall begin work on the date of commencement as defined in the Contract, and shall carry the work forward expeditiously with adequate forces and shall complete it within the contract time.
- 2.21. Payment & Completion:** The Contract Sum is stated in the Contract and is the total amount payable by the Owner to the Contractor for the performance of the work under the Solicitation documents. Upon receipt of written notice that the work is ready for final inspection and acceptance and upon receipt of application for payment, the Owner's Project Manager will promptly make such inspection and, when he finds the work acceptable under the Solicitation documents and the Contract fully performed, the Owner shall make payment in the manner provided in the Solicitation documents.

2.22. Bid Bond: Each Bid shall as a guaranty of good faith on the part of the Bidder be accompanied by a Bid Guaranty consisting of: a certified or cashier's check drawn on an approved national bank or trust company in the state of Colorado, and made payable without condition to the City; or a **Bid Bond** written by an approved corporate surety in favor of the City. The amount of the Bid Guaranty shall not be less than 5% of the total Bid amount. Once a Bid is accepted and a Contract is awarded, the apparent successful bidder has ten calendar days to enter into a contract in the form prescribed and to furnish the bonds with a legally responsible and approved surety. Failure to do so will result in forfeiture of the Bid Guaranty to the City as Liquidated Damages.

Each bidder shall guaranty its total bid price for a period of sixty (60) Calendar Days from the date of the bid opening.

2.23. Performance & Payment Bonds: Contractor shall furnish a Performance and a Payment Bond, each in an amount at least equal to that specified for the contract amount as security for the faithful performance and payment of all Contractor's obligations under the Solicitation documents. These bonds shall remain in effect for the duration of the Warranty Period (as specified in the Special Conditions). Contractor shall also furnish other bonds that may be required by the Special Conditions. All bonds shall be in the forms prescribed by the Solicitation documents and be executed by such sureties as (1) are licensed to conduct business in the State of Colorado and (2) are named in the current list of "Companies Holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies" as published in Circular 570 (amended) by the Audit Staff, Bureau of Accounts, U.S. Treasury Department. All bonds signed by an agent must be accompanied by a certified copy of the Authority Act. If the surety on any bond furnished by the Contractor is declared bankrupt, or becomes insolvent, or its rights to do business in Colorado are terminated, or it ceases to meet the requirements of clauses (1) and (2) of this section, Contractor shall within five (5) days thereafter substitute another bond and surety, both of which shall be acceptable to the City.

2.24. Retention: The Owner will deduct money from the partial payments in amounts considered necessary to protect the interest of the Owner and will retain this money until after completion of the entire contract. The amount to be retained from partial payments will be five (5) percent of the value of the completed work, and not greater than five (5) percent of the amount of the Contract. When the retainage has reached five (5) percent of the amount of the Contract no further retainage will be made and this amount will be retained until such time as final payment is made.

2.25. Liquidated Damages for Failure to Enter Into Contract: Should the Successful Bidder fail or refuse to enter into the Contract within ten Calendar Days from the issuance of the Notice of Award, the City shall be entitled to collect the amount of such Bidder's Bid Guaranty as Liquidated Damages, not as a penalty but in consideration of the mutual release by the City and the Successful Bidder of all claims arising from the City's issuance of the Notice of Award and the Successful Bidder's failure to enter into the Contract and the costs to award the Contract to any other Bidder, to readvertise, or otherwise dispose of the Work as the City may determine best serves its interest.

2.26. Liquidated Damages for Failure to Meet Project Completion Schedule: If the Contractor does not achieve Final Completion by the required date, whether by neglect,

refusal or any other reason, the parties agree and stipulate that the Contractor shall pay liquidated damages to the City for each such day that final completion is late. As provided elsewhere, this provision does not apply for delays caused by the City. The date for Final Completion may be extended in writing by the Owner.

The Contractor agrees that as a part of the consideration for the City's awarding of this Contract liquidated damages in the daily amount of **\$1,000.00** is reasonable and necessary to pay for the actual damages resulting from such delay. The parties agree that the real costs and injury to the City for such delay include hard to quantify items such as: additional engineering, inspection and oversight by the City and its agents; additional contract administration; inability to apply the efforts of those employees to the other work of the City; perceived inefficiency of the City; citizens having to deal with the construction and the Work, rather than having the benefit of a completed Work, on time; inconvenience to the public; loss of reputation and community standing for the City during times when such things are very important and very difficult to maintain.

The Contractor must complete the Work and achieve final completion included under the Bid Schedule in the number of consecutive calendar days after the City gives its written Notice to Proceed. When the Contractor considers the entire Work ready for its intended use, Contractor shall certify in writing that the Work is fully complete. Final Completion date is the date by which the Contractor shall have fully completed all clean-up, and all items that were identified by the City in the inspection for final completion. Unless otherwise stated in the Special Conditions, for purposes of this liquidated damages clause, the Work shall not be finished and the Contract time shall continue to accrue until the City gives its written Final Acceptance.

If the Contractor shall fail to pay said liquidated damages promptly upon demand thereof after having failed to achieve Final Completion on time, the City shall first look to any retainage or other funds from which to pay said liquidated damages; if retainage or other liquid funds are not available to pay said liquidated damages amounts, the Surety on the Contractor's Performance Bond and Payment Bond shall pay such liquidated damages. In addition, the City may withhold all, or any part of, such liquidated damages from any payment otherwise due the Contractor.

Liquidated damages as provided do not include any sums to reimburse the City for extra costs which the City may become obligated to pay on other contracts which were delayed or extended because of the Contractor's failure to complete the Work within the Contract Time. Should the City incur additional costs because of delays or extensions to other contracts resulting from the Contractor's failure of timely performance, the Contractor agrees to pay these costs that the City incurs because of the Contractor's delay, and these payments are separate from and in addition to any liquidated damages.

The Contractor agrees that the City may use its own forces or hire other parties to obtain Final Completion of the work if the time of completion has elapsed and the Contractor is not diligently pursuing completion. In addition to the Liquidated Damages provided for, the Contractor agrees to reimburse the City for all expenses thus incurred.

- 2.27. Contingency/Force Account:** Contingency/Force Account work will be authorized by the Owner's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. The expenses are not included in the

Drawings, Specifications, or Scope of Work and are necessary to accomplish the scope of this contract. Contingency/Force Account Authorization will be directed by the Owner through an approved form. Contingency/Force Account funds are the property of the Owner and any Contingency/Force Account funds, not required for project completion, shall remain the property of the Owner. Contractor is not entitled to any Contingency/Force Account funds, that are not authorized by Owner or Owner's Project Manager.

- 2.28. Protection of Persons & Property:** The Contractor shall comply with all applicable laws, ordinances, rules, regulations and orders of any public authority having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss. Contractor shall erect and maintain, as required by existing safeguards for safety and protection, and all reasonable precautions, including posting danger signs or other warnings against hazards promulgating safety regulations and notifying owners and users of adjacent utilities. When or where any direct or indirect damage or injury is done to public or private property by or on account of any act, omission, neglect, or misconduct by the Contractor in the execution of the work, or in consequence of the non-execution thereof by the Contractor, he shall restore, at his own expense, such property to a condition similar or equal to that existing before such damage or injury was done, by repairing, rebuilding, or otherwise restoring as may be directed, or it shall make good such damage or injury in an acceptable manner.
- 2.29. Changes in the Work:** The Owner, without invalidating the contract, may order changes in the work within the general scope of the contract consisting of additions, deletions or other revisions, the contract sum and the contract time being adjusted accordingly. All such changes in the work shall be authorized by Change Order and shall be executed under the applicable conditions of the solicitation documents. A Change Order is a written order to the Contractor signed by the Owner issued after the execution of the contract, authorizing a change in the work or an adjustment in the contract sum or the contract time. The contract sum and the contract time may be changed only by Change Order.
- 2.30. Claims for Additional Cost or Time:** If the Contractor wishes to make a claim for an increase in the contract sum or an extension in the contract time, he shall give the Owner written notice thereof within a reasonable time after the occurrence of the event giving rise to such claim. This notice shall be given by the Contractor before proceeding to execute the work, except in an emergency endangering life or property in which case the Contractor shall precede in accordance with the regulations on safety. No such claim shall be valid unless so made. Any change in the contract sum or contract time resulting from such claim shall be authorized by Change Order.
- 2.31. Minor Changes in the Work:** The Owner shall have authority to order minor changes in the work not involving an adjustment in the contract sum or an extension of the contract time and not inconsistent with the intent of the solicitation documents.
- 2.32. Field Orders:** The Owner may issue written Field Orders which interpret the Solicitation documents in accordance with the specifications, or which order minor changes in the work in accordance with the agreement, without change in the contract sum or time. The Contractor shall carry out such Field Orders promptly.

- 2.33. Uncovering & Correction of Work:** The Contractor shall promptly correct all work rejected by the Owner as defective or as failing to conform to the solicitation documents whether observed before or after substantial completion and whether or not fabricated installed or competed. The Contractor shall bear all costs of correcting such rejected work, including the cost of the Owner's additional services thereby made necessary. If within one (1) year after the date of completion or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the solicitation documents, any of the work found to be defective or not in accordance with the solicitation documents, the Contractor shall correct it promptly after receipt of a written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition. The Owner shall give such notice promptly after discovery of condition. All such defective or non-conforming work under the above paragraphs shall be removed from the site where necessary and the work shall be corrected to comply with the solicitation documents without cost to the Owner. The Contractor shall bear the cost of making good all work of separate Contractors destroyed or damaged by such removal or correction. If the Owner prefers to accept defective or non-conforming work, he may do so instead of requiring its removal and correction, in which case a Change Order will be issued to reflect an appropriate reduction in the payment or contract sum, or, if the amount is determined after final payment, it shall be paid by the Contractor.
- 2.30. Amendment:** No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All amendments to the contract shall be made in writing by the Owner.
- 2.31. Assignment:** The Contractor shall not sell, assign, transfer or convey any contract resulting from this IFB, in whole or in part, without the prior written approval from the Owner.
- 2.32. Compliance with Laws:** Bids must comply with all Federal, State, County and local laws governing or covering this type of service and the fulfillment of all ADA (Americans with Disabilities Act) requirements.
- 2.33. Confidentiality:** All information disclosed by the Owner to the Contractor for the purpose of the work to be done or information that comes to the attention of the Contractor during the course of performing such work is to be kept strictly confidential.
- 2.34. Conflict of Interest:** No public official and/or City/County employee shall have interest in any contract resulting from this IFB.
- 2.35. Contract Termination:** This contract shall remain in effect until any of the following occurs: (1) contract expires; (2) completion of services; (3) acceptance of services or, (4) for convenience terminated by either party with a written *Notice of Cancellation* stating therein the reasons for such cancellation and the effective date of cancellation.
- 2.36. Employment Discrimination:** During the performance of any services per agreement with the Owner, the Contractor, by submitting a Bid, agrees to the following conditions:
- 2.36.1.** The Contractor shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, age, handicap, or national

origin except when such condition is a legitimate occupational qualification reasonably necessary for the normal operations of the Contractor. The Contractor agrees to post in conspicuous places, visible to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.

2.36.2. The Contractor, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, shall state that such Contractor is an Equal Opportunity Employer.

2.36.3. Notices, advertisements, and solicitations placed in accordance with federal law, rule, or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.

2.37. Affirmative Action: In executing a Contract with the City, the Contractor agrees to comply with Affirmative Action and Equal Employment Opportunity regulations presented in the General Contract Conditions.

2.38. Immigration Reform and Control Act of 1986 and Immigration Compliance: The Offeror certifies that it does not and will not during the performance of the contract employ illegal alien workers or otherwise violate the provisions of the Federal Immigration Reform and Control Act of 1986 and/or the immigration compliance requirements of State of Colorado C.R.S. § 8-17.5-101, *et.seq.* (House Bill 06-1343).

2.39. Ethics: The Contractor shall not accept or offer gifts or anything of value nor enter into any business arrangement with any employee, official, or agent of the Owner.

2.40. Failure to Deliver: In the event of failure of the Contractor to deliver services in accordance with the contract terms and conditions, the Owner, after due oral or written notice, may procure the services from other sources and hold the Contractor responsible for any costs resulting in additional purchase and administrative services. This remedy shall be in addition to any other remedies that the Owner may have.

2.41. Failure to Enforce: Failure by the Owner at any time to enforce the provisions of the contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the contract or any part thereof or the right of the Owner to enforce any provision at any time in accordance with its terms.

2.42. Force Majeure: The Contractor shall not be held responsible for failure to perform the duties and responsibilities imposed by the contract due to legal strikes, fires, riots, rebellions, and acts of God beyond the control of the Contractor, unless otherwise specified in the contract.

2.43. Independent Contractor: The Contractor shall be legally considered an Independent Contractor and neither the Contractor nor its employees shall, under any circumstances, be considered servants or agents of the Owner. The Owner shall be at no time legally responsible for any negligence or other wrongdoing by the Contractor, its servants, or agents. The Owner shall not withhold from the contract payments to the Contractor any federal or state unemployment taxes, federal or state income taxes, Social Security Tax or any other amounts for benefits to the Contractor. Further, the Owner shall not provide

to the Contractor any insurance coverage or other benefits, including Workers' Compensation, normally provided by the Owner for its employees.

2.44. Nonconforming Terms and Conditions: A bid that includes terms and conditions that do not conform to the terms and conditions of this Invitation for Bid is subject to rejection as non-responsive. The Owner reserves the right to permit the Contractor to withdraw nonconforming terms and conditions from its bid prior to a determination by the Owner of non-responsiveness based on the submission of nonconforming terms and conditions.

Items for non-responsiveness may include, but not be limited to:

- a. Submission of the Bid on forms other than those supplied by the City;
- b. Alteration, interlineation, erasure, or partial detachment of any part of the forms which are supplied herein;
- c. Inclusion of unauthorized additions conditional or alternate Bids or irregularities of any kind which may tend to make the Bid incomplete, indefinite, or ambiguous as to its meaning;
- d. Failure to acknowledge receipt of any or all issued Addenda;
- e. Failure to provide a unit price or a lump sum price, as appropriate, for each pay item listed except in the case of authorized alternative pay items;
- f. Failure to list the names of Subcontractors used in the Bid preparation as may be required in the Solicitation Documents;
- g. Submission of a Bid that, in the opinion of the Owner, is unbalanced so that each item does not reasonably carry its own proportion of cost or which contains inadequate or unreasonable prices for any item;
- h. Tying of the Bid with any other bid or contract; and
- i. Failure to calculate Bid prices as described herein.

2.45. Evaluation of Bids and Offerors: The Owner reserves the right to:

- reject any and all Bids,
- waive any and all informalities,
- negotiate final terms with the Successful Bidder, and
- disregard any and all nonconforming, nonresponsive or conditional Bids.

Discrepancies between words and figures will be resolved in favor of words. Discrepancies between Unit Prices and Extended Prices will be resolved in favor of the Unit Prices. Discrepancies between the indicated sum of any column of figures and the correct sum thereof will be resolved in favor of the correct sum. The corrected extensions and totals will be shown in the tabulation of Bids.

The Owner may consider the qualifications and experience of Subcontractors and other persons and organizations (including those who are to furnish the principal items of material or equipment) proposed for those portions of the work as to which the identity of Subcontractors and other persons and organizations must be submitted. Operating costs, maintenance considerations performance data, and guarantees of materials and equipment may also be considered by the Owner.

The Owner will conduct such investigations as deemed necessary to assist in the evaluation of any Bid and to establish the responsibility, qualifications and financial ability of the Offeror, proposed Subcontractors and other persons and organizations to do the Work in accordance with the *Solicitation documents* to the City's satisfaction within the Contract Time.

The Offeror shall furnish the Owner all information and data requested by the Owner to determine the ability of the Offeror to perform the Work. The Owner reserves the right to reject the Bid if the evidence submitted by, or investigation of such Offeror fails to satisfy the Owner that such Offeror is properly qualified to carry out the obligations of the Contract and to complete the Work contemplated therein.

By submitting a Bid, each Offeror authorizes the Owner to perform such investigation of the Offeror as the Owner deems necessary to establish the responsibility, qualifications and financial ability of the Offeror and, by its signature thereon, authorizes the Owner to obtain reference information concerning the Offeror and releases the party providing such information and the Owner from any and all liability to the Offeror as a result of such reference information so provided.

The Owner reserves the right to reject the Bid of any Offeror who does not pass any evaluation to the Owner's satisfaction.

If the Contract is to be awarded, it will be awarded to the Offeror who, by evaluation, the Owner determines will best meet the Owner's interests.

The Owner reserves the right to accept or reject the Work contained in any of the Price Bid Schedules or alternates, either in whole or in part.

- 2.46. Award of Contract:** Unless otherwise indicated, a single award will be made for all the bid items in an individual bid schedule. In the event that the Work is contained in more than one Bid Schedule, the City may award Schedules individually or in combination. In the case of two Bid Schedules which are alternative to each other, only one of such alternative Schedules will be awarded. Within forty-five (45) Calendar Days of Bid Opening, the City will issue a Notice of Award to the Successful Bidder which will be accompanied by four (4) unsigned copies of the Contract and the Performance and Payment Bond forms. Within ten (10) Calendar Days thereafter, the Successful Bidder shall sign and deliver four (4) copies of the Contract, Performance Bond, Payment Bond and Certificates of Insurance to the City. Within ten (10) Calendar Days thereafter, the City will deliver two (2) fully executed counterparts of the Contract to the Contractor. No contract shall exist between the Successful Bidder and the City and the Successful Bidder shall have no rights at law or in equity until the Contract has been duly executed by the City.

The Successful Bidder's failure to sign and submit a Contract and other documents set forth in this Paragraph within the prescribed time shall be just cause of annulment of the award, and forfeiture of the Bid Guaranty. The award of Contract may then be made to the next qualified Bidder in the same manner as previously prescribed.

- 2.47. Ownership:** All plans, prints, designs, concepts, etc., shall become the property of the Owner.
- 2.48. Oral Statements:** No oral statement of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this document and/or resulting agreement. All modifications to this request and any agreement must be made in writing by the Owner.
- 2.49. Patents/Copyrights:** The Contractor agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to the Contractor for any/all suits arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this IFB.
- 2.50. Remedies:** The Contractor and Owner agree that both parties have all rights, duties, and remedies available as stated in the Uniform Commercial Code.
- 2.51. Venue:** Any agreement as a result of responding to this IFB shall be deemed to have been made in, and shall be construed and interpreted in accordance with, the laws of the City of Grand Junction, Mesa County, Colorado.
- 2.52. Expenses:** Expenses incurred in preparation, submission and presentation of this IFB are the responsibility of the company and cannot be charged to the Owner.
- 2.53. Sovereign Immunity:** The Owner specifically reserves its right to sovereign immunity pursuant to Colorado State Law as a defense to any action arising in conjunction to this agreement.
- 2.54. Non-Appropriation of Funds:** The contractual obligation of the Owner under this contract is contingent upon the availability of appropriated funds from this fiscal year budget as approved by the City Council or Board of County Commissioners from this fiscal year only. State of Colorado Statutes prohibit obligation of public funds beyond the fiscal year for which the budget was approved. Anticipated expenditures/obligations beyond the end of the current Owner's fiscal year budget shall be subject to budget approval. Any contract will be subject to and must contain a governmental non-appropriation of funds clause.
- 2.55. Cooperative Purchasing:** Purchases as a result of this solicitation are primarily for the City/County. Other governmental entities may be extended the opportunity to utilize the resultant contract award with the agreement of the successful provider and the participating agencies. All participating entities will be required to abide by the specifications, terms, conditions and pricings established in this Bid. The quantities furnished in this bid document are for only the City/County. It does not include quantities for any other jurisdiction. The City or County will be responsible only for the award for its jurisdiction. Other participating entities will place their own awards on their respective Purchase Orders through their purchasing office or use their purchasing card for

purchase/payment as authorized or agreed upon between the provider and the individual entity. The City/County accepts no liability for payment of orders placed by other participating jurisdictions that choose to piggy-back on our solicitation. Orders placed by participating jurisdictions under the terms of this solicitation will indicate their specific delivery and invoicing instructions.

- 2.56. Keep Jobs in Colorado Act:** Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, Colorado Revised Statutes requiring 80% Colorado labor to be employed on public works projects. Contractor shall, upon reasonable notice provided by the Owner, permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17-101(2)(a). If Contractor claims it is entitled to a waiver pursuant to C.R.S. §8-17-101(1), Contractor shall state that there is insufficient Colorado labor to perform the work such that compliance with Article 17 would create an undue burden that would substantially prevent a project from proceeding to completion, and shall include evidence demonstrating the insufficiency and undue burden in its response.

Unless expressly granted a waiver by the Owner pursuant to C.R.S. §8-17-101(1), Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, Colorado Revised Statutes requiring 80% Colorado labor to be employed on public works. Contractor shall, upon reasonable notice provided by the Owner, permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17-101(2)(a).

2.56.1. "Public Works project" is defined as:

- (a) any construction, alteration, repair, demolition, or improvement of any land, building, structure, facility, road, highway, bridge, or other public improvement suitable for and intended for use in the promotion of the public health, welfare, or safety and any maintenance programs for the upkeep of such projects
- (b) for which appropriate or expenditure of moneys may be reasonably expected to be \$500,000.00 or more in the aggregate for any fiscal year
- (c) except any project that receives federal moneys.

3. STATEMENT OF WORK

- 3.1. PROJECT DESCRIPTION:** Enlarge two garage doors on the building. Current doors are 12' x 14'. Each opening needs to be higher to make each door opening 14' x 14'. Outside mount doors are acceptable. Provide the means and method to fulfill the requirement. Time is of the essence for this project. The goal is to have project complete before first frost. All dimensions, specifications, and scope of work for the project shall be verified by Contractors prior to submission of bids.
- 3.2. BACKGROUND:** This building was built in 1979 by the City of Grand Junction for the Fire Department, Station #4. In 2016 Persigo Wastewater purchased the building for a satellite office for the Collections System crews. This allowed the crews to be more centrally located for faster response times on emergency calls in the sanitary sewer system. The facility houses several trucks that clean, camera and maintain the sanitary sewer system. These trucks must be parked indoors as they carry several thousand gallons of water. It

is imperative in colder weather these trucks are not allowed to freeze, causing major damage to the trucks.

3.3. SPECIAL CONDITIONS & PROVISIONS:

3.3.1 Mandatory Pre-Bid Meeting: A mandatory site visit for prospective bidders will be held on September 3, 2020 at 8:30 A.M. Meeting location shall be in the Perisgo satellite office located at 251 27 Road Grand Junction, CO. The purpose of this visit will be to inspect and to clarify the contents of this document

3.3.2 QUESTIONS REGARDING SOLICITATION PROCESS/SCOPE OF WORK:

Susan Hyatt, Senior Buyer
City of Grand Junction
susanh@gjcity.org

3.3.3 Project Manager: The Project Manager for the Project is Bill Etcheverry, who can be reached at (970) 270-1806. During Construction, all notices, letters, submittals, and other communications directed to the City shall be addressed and mailed or delivered to:

City of Grand Junction
Persigo Wastewater Treatment Plant Satellite Office
Attn: Bill Etcheverry, Project Manager
251 27 Road
Grand Junction, CO 81503
970/270-1806
bille@gjcity.org

3.3.4 Pricing: Pricing shall be all inclusive to include but not be limited to: all labor, equipment, supplies, materials, freight (F.O.B. Destination – Freight Pre-paid and Allowed to each site), travel, mobilization costs, site security, fuel, set-up and take down costs, and full-time inspection costs, and all other costs related to the successful completion of the project. Owner shall not pay nor be liable for any other additional costs including but not limited to: taxes, shipping charges, insurance, interest, penalties, termination payments, attorney fees, liquidated damages, etc.

3.3.5 Freight/Shipping: All freight/shipping shall be F.O.B. Destination – Freight Pre-Paid and Allowed to the project site(s), Grand Junction, CO. Contractor must meet all federal, state, and local rules, regulations, and requirements for providing such services.

3.3.6 Contract: A binding contract shall consist of: (1) the IFB and any amendments thereto, (2) the bidder's response (bid) to the IFB, (3) clarification of the bid, if any, and (4) the City's Purchasing Department's acceptance of the bid by "Notice of Award" or by "Purchase Order". All Exhibits and Attachments included In the IFB shall be incorporated into the contract by reference.

A. The contract expresses the complete agreement of the parties and performance shall be governed solely by the specifications and requirements contained therein.

B. Any change to the contract, whether by modification and/or supplementation, must be accomplished by a formal contract amendment signed and approved by and between the duly authorized representative of the bidder and the City Purchasing Division or by a modified Purchase Order prior to the effective date of such modification. The bidder expressly and explicitly understands and agrees that no other method and/or no other document, including acts and oral communications by or from any person, shall be used or construed as an amendment or modification to the contract.

3.3.7 Time of Completion: The scheduled time of Completion for the Project is 30 Calendar Days from the starting date specified in the Notice to Proceed.

Completion is achieved when site cleanup and all punch list items (resulting from the final inspection) have been completed.

3.3.8 Working Days and Hours: The working days and hours shall be as stated in the General Contract Conditions or as mutually agreed upon in the preconstruction meeting with the following exception:

All work shall be performed between the hours of 7:00 AM to 5:00 PM Monday-Friday.

3.3.9 Licenses and Permits: Contractor is responsible for obtaining all necessary licenses and permits required for Construction, at Contractors expense. See Section 2.12. Contractor shall supply to Owner all copies of finalized permits.

3.3.10 Authorized Representatives of the City: Those authorized to represent the City shall include Purchasing Agent, Engineers, and Inspectors employed by the City, only.

3.3.11 Clean-Up: The Contractor is responsible for cleaning up all loose materials. The costs for all clean-up work shall be considered incidental and will not be paid for separately.

3.3.12 Incidental Items: Any item of work not specifically identified or paid for directly, but which is necessary for the satisfactory completion of any paid items of work, will be considered as incidental to those items, and will be included in the cost of those items.

3.4. SCOPE OF WORK:

1. Contractor shall supply their proposed means and methods/scope of work for the project to include meeting all necessary structural and/or engineering requirements for the project with their submittal.
2. Contractor shall provide all equipment, materials, products, supplies, labor, security, etc. for proper and successful completion of the project. All work shall be new, with warranty included.
3. Contractor shall secure all necessary permits and pay all fees.
4. Contractor is responsible for verifying all data and measurements before starting work.
5. All installation work shall meet current codes.
6. Contractor shall be responsible for all materials removal and disposal.
7. The attached as-built Dillon Hunt drawings, notes, and specifications are part of this scope of work.
8. The Scope of Work will include remodeling the Northeast and Northwest bay doors. The existing 12 foot doorways and eaves must be raised to 14 feet. New doorway openings shall be 14' x 14'.
9. The Contractor proposed garage door replacement shall be Brand Name or Equal to Overhead Door Series 625. Please refer to this model for information regarding insulation, wind load and hardware specifications.
10. If Contractor proposes exterior/outside mounted door system, exterior wall between bay doors on the east and exterior wall between the bay and the man door on the west must be extended out to be even with north side and south side of the building.
11. Contractors shall ensure all structural requirements for the new door systems adhere to all manufacturer requirements and all City, County, State and Federal requirements.

12. New doors shall be wired and installed. All electrical work shall be included in this contract.
13. Remote door openers shall be included for two (2) vehicles.
14. All exterior remodeling/construction required for the project shall be rebuilt to match in both texture and color to the existing facility.
15. Jobsite security shall be the responsibility of awarded Contractor. Contractor shall describe their jobsite security proposal with their bid submission.
16. Existing doors, tracks and motor assembly shall be removed and properly disposed.
17. Inside ceiling lights will need to be moved and re-attached to the ceiling.
18. Exterior eave lights shall be removed and reinstalled.
19. Two (2) ceiling-mounted heaters may have to be moved for clearance for trucks and reinstalled.
20. Provide a written report on equipment start up and verify proper operation.
21. Provide controls training for the Persigo staff.
22. Contractor is to provide a one-year written workmanship warranty along with the equipment manufacturer's warranties.
23. Provide owner with one electronic copy on a flash drive and one paper copy of specification sheets, warranty's, and O & M manuals for all equipment.
24. New As-Built drawings shall be provided by Contractor upon completion of the project.

3.5. References: Provide a minimum of three (3) **references** with name, address, telephone number, and email address that can attest to your experience in projects of similar scope and size.

3.6. Attachments: Dillon-Hunt Drawings – [Attachment 1.a and 1.b](#)

3.7. Pictures: Pictures are included to show existing doors as [Attachment 2 and 3](#). [Attachment 4](#) is a picture of the truck(s) to be stored in the building.

3.8. Contractor Bid Documents: For Contractor's convenience, the following is a list of forms/items to be submitted with the Contractor's bid response. However, should a form/item not be listed in this section, but required in the solicitation documents, it is the Contractor's responsibility to ensure all forms/items are submitted.

- **Contractor's Bid Form**
- **Price Bid Schedule**
- **References**

3.9. IFB TENTATIVE TIME SCHEDULE:

Invitation For Bids available on or about	August 27, 2020
Mandatory Pre-Bid Meeting	September 3, 2020 at 8:30 A.M.
Inquiry deadline, no questions after this date	September 9, 2020
Addendum Posted	September 11, 2020
Submittal deadline for bids	September 18, 2020 at 2:30 PM.
Notice of Award & Contract execution	September 24, 2020
Bonding & Insurance Cert due	October 1, 2020
Work begins no later than	October 5, 2020
Final Completion	30 Calendar Days from Notice to Proceed

4. CONTRACTOR'S BID FORM

Bid Date: _____

Project: IFB-4822-20-SH "Garage Door Upgrade"

Bidding Company: _____

Name of Authorized Agent: _____

Email _____

Telephone _____ **Address** _____

City _____ **State** _____ **Zip** _____

The undersigned Bidder, in compliance with the Invitation for Bids, having examined the Instruction to Bidders, General Contract Conditions, Statement of Work, Specifications, and any and all Addenda thereto, having investigated the location of, and conditions affecting the proposed work, hereby proposes to furnish all labor, materials and supplies, and to perform all work for the Project in accordance with Solicitation documents, within the time set forth and at the prices stated below. These prices are to cover all expenses incurred in performing the work required under the Solicitation documents, of which this Contractor's Bid Form is a part.

The undersigned Contractor does hereby declare and stipulate that this offer is made in good faith without collusion or connection to any person(s) providing an offer for the same work, and that it is made in pursuance of, and subject to, all terms and conditions of the Instructions to Bidders, the Specifications, and all other Solicitation Documents, all of which have been examined by the undersigned.

The Contractor also agrees that if awarded the Contract, to provide insurance certificates within ten (10) working days of the date of Notification of Award. Submittal of this offer will be taken by the Owner as a binding covenant that the Contractor will be prepared to complete the project in its entirety.

The Owner reserves the right to make the award on the basis of the offer deemed most favorable, to waive any formalities or technicalities and to reject any or all offers. It is further agreed that this offer may not be withdrawn for a period of sixty (60) calendar days after closing time. Submission of clarifications and revised offers automatically establish a new thirty day (30) period.

Prices in the bid proposal have not knowingly been disclosed with another provider and will not be prior to award.

- Prices in this bid proposal have been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.
- No attempt has been made nor will be to induce any other person or firm to submit a bid proposal for the purpose of restricting competition.
- The individual signing this bid proposal certifies they are a legal agent of the offeror, authorized to represent the offeror and is legally responsible for the offer with regard to supporting documentation and prices provided.
- Direct purchases by the City of Grand Junction are tax exempt from Colorado Sales or Use Tax. Tax exempt No. 98-903544. The undersigned certifies that no Federal, State, County or Municipal tax will be added to the above quoted prices.
- City of Grand Junction payment terms shall be Net 30 days.
- Prompt payment discount of _____ percent of the net dollar will be offered to the Owner if the invoice is paid within _____ days after the receipt of the invoice.

RECEIPT OF ADDENDA: the undersigned Contractor acknowledges receipt of Addenda to the Solicitation, Specifications, and other Solicitation documents.

State number of Addenda received: _____.

It is the responsibility of the Bidder to ensure all Addenda have been received and acknowledged.

By signing below, the Undersigned agree to comply with all terms and conditions contained herein.

Company: _____

Authorized Signature: _____

Title: _____

PRICE BID SCHEDULE: IFB-4822-SH Garage Door Upgrades

Item No.	Description	Total Price
1	All labor, equipment, supplies, materials, freight (F.O.B. Destination – Freight Pre-paid and Allowed to each site), travel, mobilization costs, and all other costs related to the successful completion of the project, as per the solicitation documents.	

Total Bid Price Written: _____

By signing below, the Undersigned agree to comply with all terms and conditions contained herein.

Company: _____

Authorized Signature: _____

Title: _____

Bidder proposes to subcontract the following portion of Work:

<u>Name & address of Sub-Contractor</u>	<u>Description of work to be performed</u>	<u>% of Contract</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Bidder acknowledges the right of the City to reject any and all Bids submitted and to waive informalities and irregularities therein in the City's sole discretion.

By submission of the Bid, each Bidder certifies, and in the case of a joint Bid each party thereto certifies as to his own organization, that this Bid has been arrived at independently, without collusion, consultation, communication, or agreement as to any matter relating to this Bid with any other Bidder or with any competitor.

PROJECT

FIRE STATION FOUR FOR THE CITY OF GRAND JUNCTION
JUNCTION LOCATED AT NORTH WEST CORNER
OF 27 ROAD AND B 2 ROAD

DESIGN TEAM

ARCHITECT

DILLON HUNT ARCHITECTURE AND PROJECT
MANAGEMENT 2004 N 12TH AVE SUITE 100
245-7383

STRUCTURAL ENGINEER

ARMSTRONG ENGINEERS AND ASSOCIATES
66 ROAD AVENUE SUITE 100
245 3861

MECHANICAL/ELECTRICAL ENGINEERS

YODER ENGINEERING COMPANY
25 NORTH 8TH STREET SUITE 100
245-7383

DRAWING INDEX

- A-0 TITLE SHEET
 - A-1 SITE PLAN
 - A-2 FOUNDATION PLAN
 - A-3 FLOOR PLAN
 - A-4 SECTION
 - A-5 ELEVATIONS
- PROJECT MANUAL ADDITIONAL ARCHITECTURAL
DETAILS AND SCHEDULES ARE LOCATED WITHIN
THE MANUAL. THESE DETAILS ARE KEYED AS FOLLOWS:

PM-6-3-

- ← DIVISION DETAIL NO
- M-1 SITE PLAN
- M-2 FLOOR PLAN PLUMBING
- M-3 FLOOR PLAN HEATING
- M-4 DETAILS AND SCHEDULES
- E-1 FLOOR PLAN LIGHTING
- E-2 FLOOR PLAN POWER
- E-3 FLOOR PLAN SYSTEMS
- E-4 SCHEDULES

F I R E S T A T I O N 4



2004 north 12th
grand junction co

SET NO.

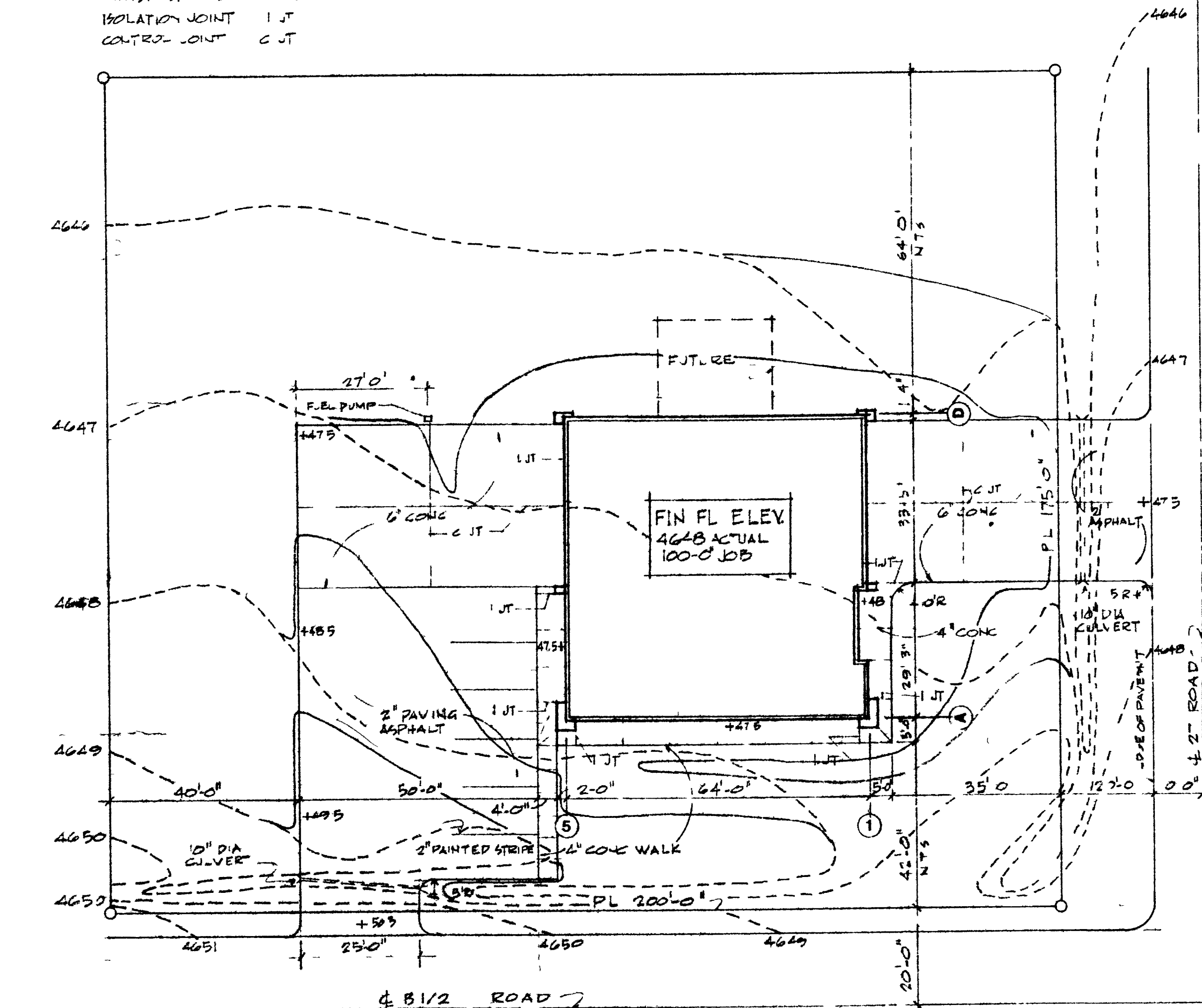
1

0

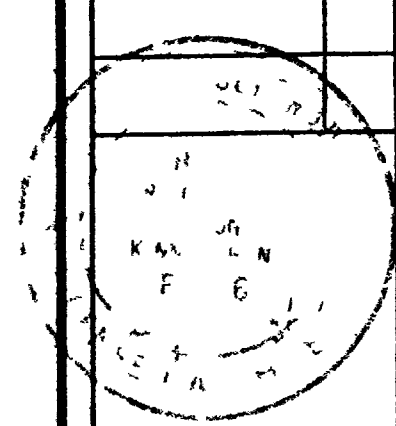
NOTE.

1 REMOVE TOP SOIL FROM AREAS WITHIN BORDERS OF PAVING SURFACES AND THE BOLD LINES

EXISTING GRADE - - - - -
 FINISH GRADE _____
 FINISH SPOT EL +00.0
 ISOLATION JOINT I JT
 CONTROL JOINT C JT



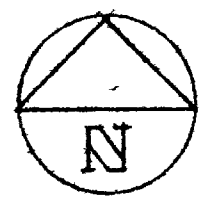
33
 30
 63 X 64
 OK 4032 A' actual
 6000 allowed
 12000



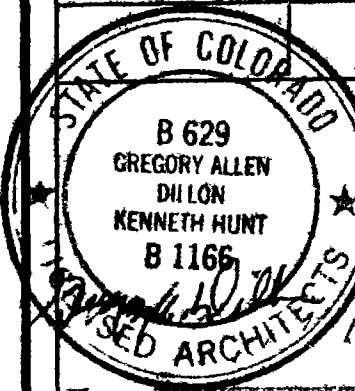
FIRE STATION 4

DILLON HUNT
 ARCHITECTURE and
 PROJECT MANAGEMENT
 2004 north 12th
 grand junction co

SITE PLAN 1"=20'-0"



Date	11/10/09
Scale	
Drawn	GD
Job	7904
Sheet	A-1
Of 5	Sheets

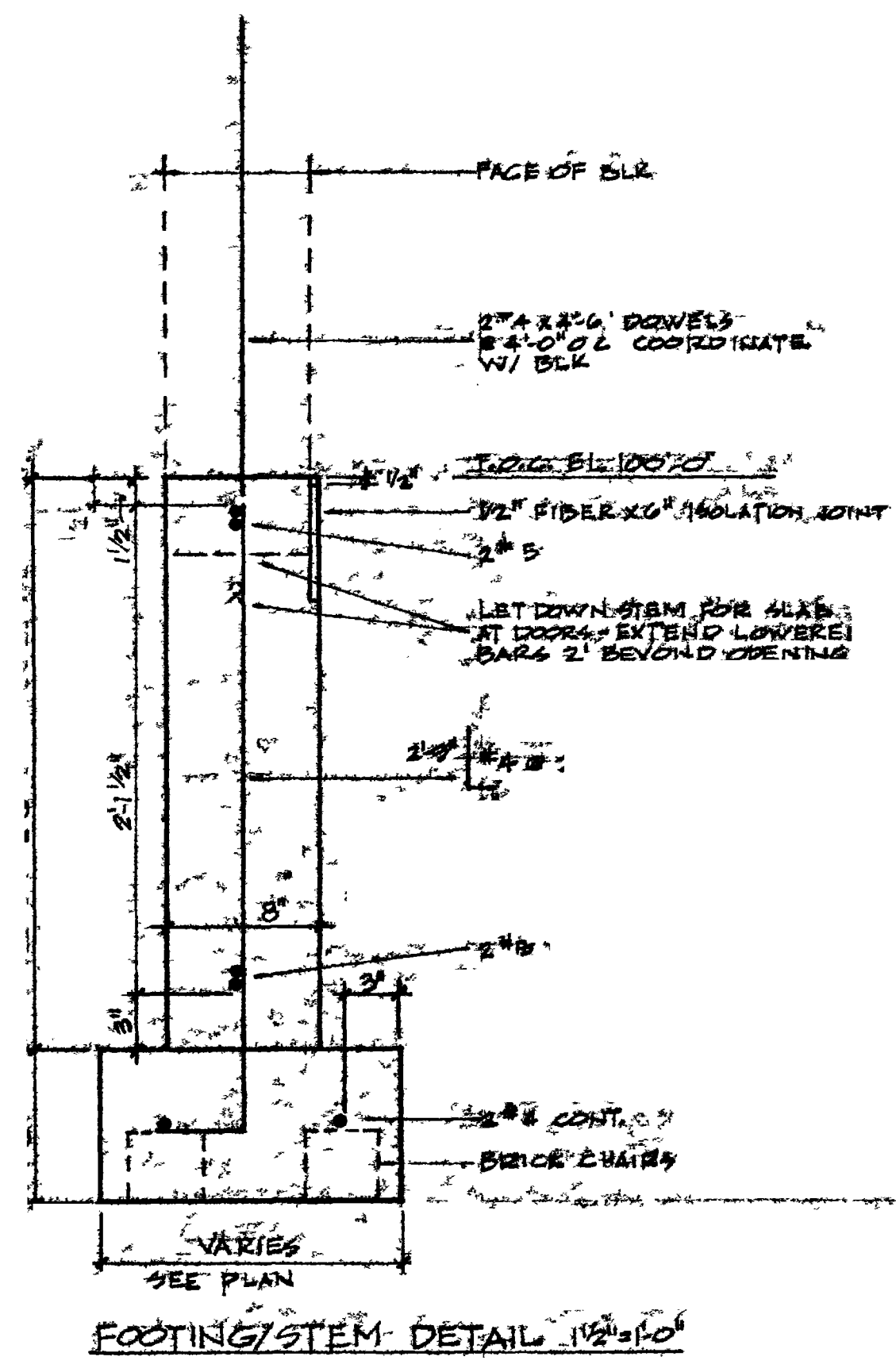
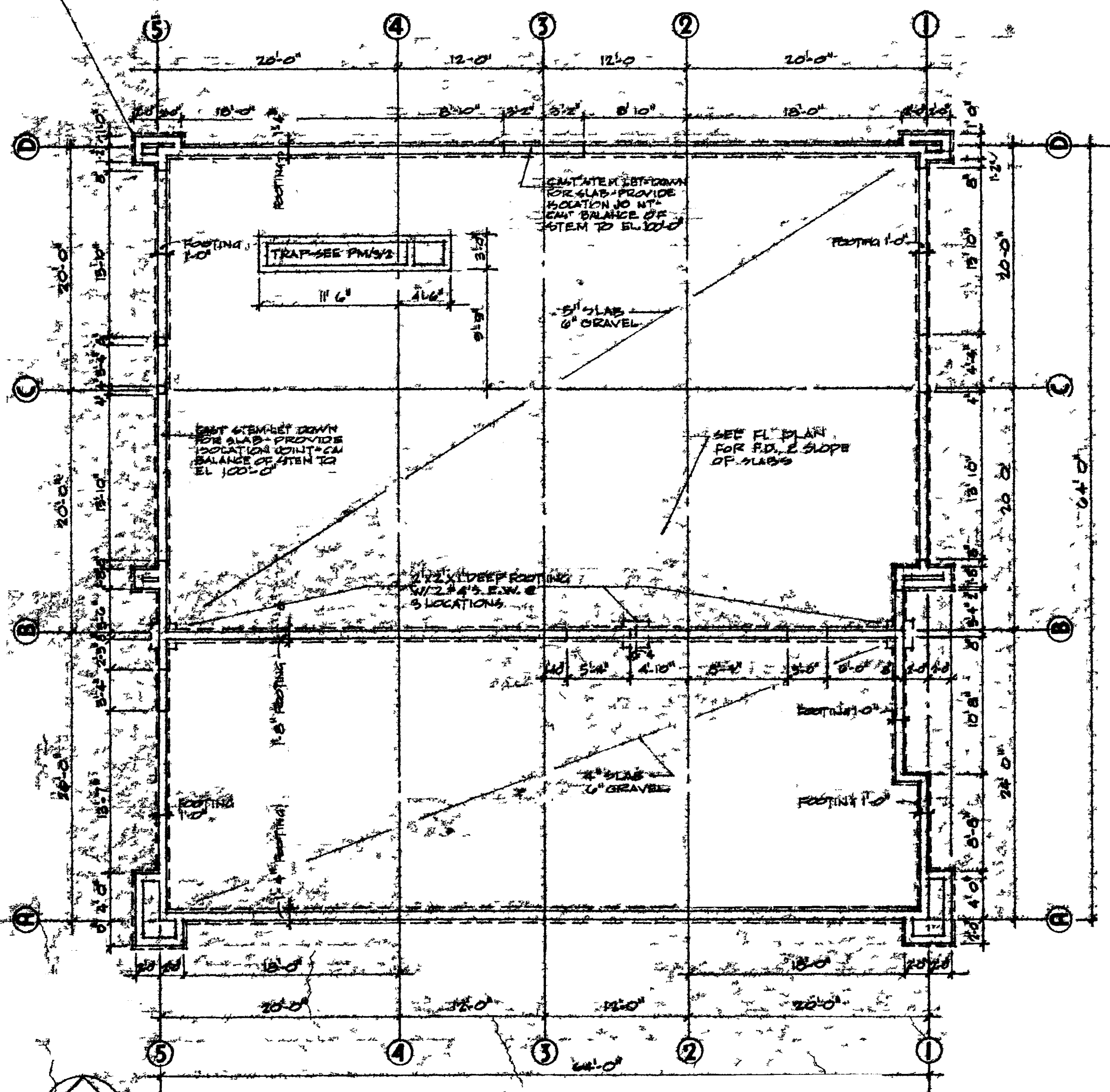


F I N E S T R A T I O N

DILLON HUNT ARCHITECTURE AND PROJECT MANAGEMENT
 2904 North 12th
 Grand Junction CO

Date APR 1 1979
 Scale
 Drawn CD
 Job 7904
 Sheet
A-2
 Of 5 Sheets

NOTE
 CONSTRUCT FOOTING AT THICKENED WALL WIDE END FOR FORMING SYSTEM - REINFORCE ACCORDING TO DETAIL EXCEPT EXCLUDE BLK DWELLS



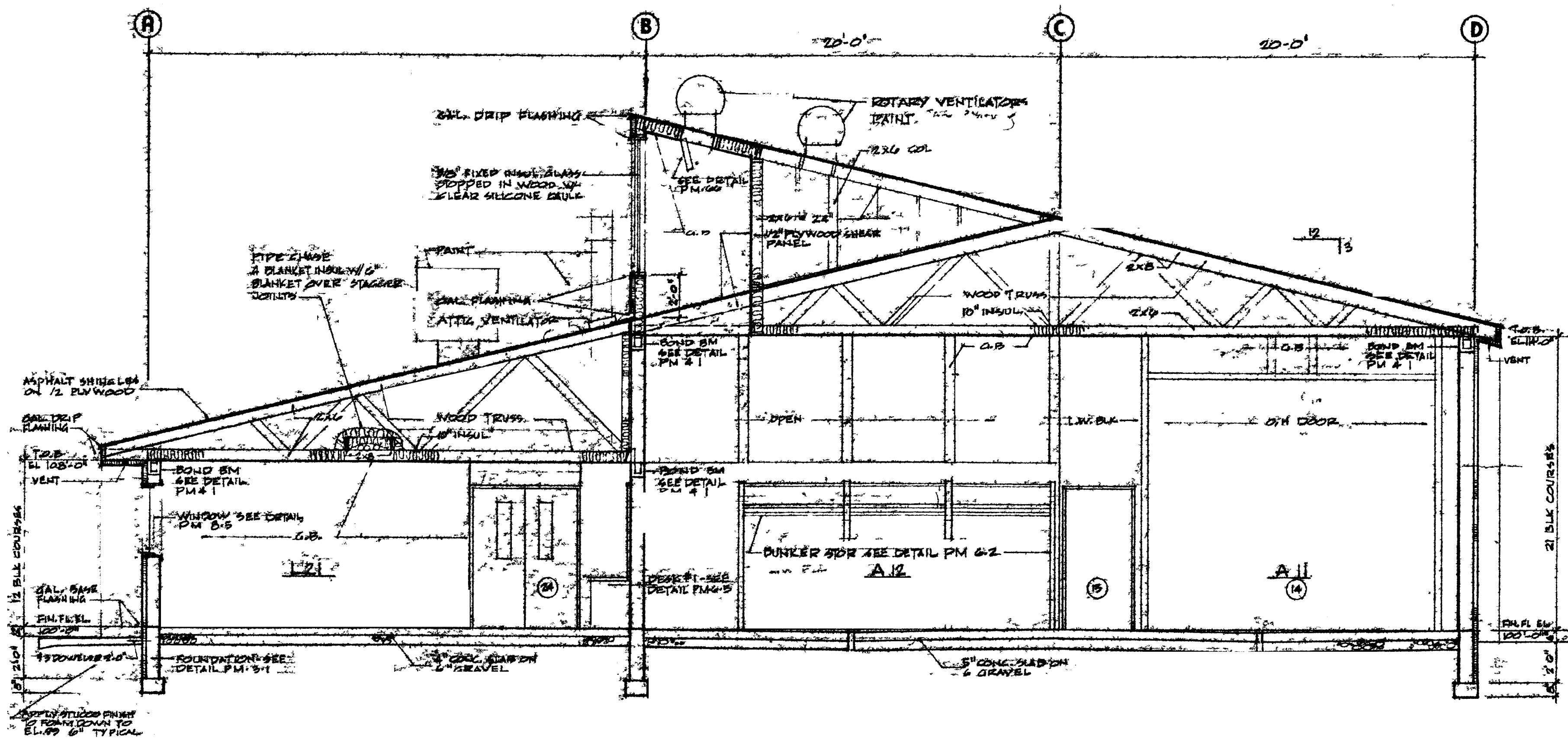
FOUNDATION PLAN 1/8" = 1'-0"

- NOTES
- 1 WOOD ROOF TRUSSES SHALL BE DESIGNED FOR 30 PSF LL AND 20 PSF DW @ TOP CHORD 10 PSF DL @ BOTTOM CHORD
 - 2 RUN PLYWOOD ROOF DECKING CONTINUOUS OVER JOINT BETWEEN TWO TRUSS SYSTEMS
 - 3 TRUSS AND JOIST DRAWINGS SHALL INDICATE ALL MEMBER SIZES, MEMBER CALCULATIONS AND GUSSET PLATE SIZING
 - 4 DESIGN LOADS: ROOF (SNOW) 30 PSF WIND 20 PSF
 - 5 TRUSSES OCCUR @ 24" CENTERS
 - 6 DOUBLE TRUSS W/ HENDER AT EVAP COOLER OPENINGS
 - 7 END TRUSSES SPANNING BETWEEN LINES B AND D TO BE BOTTOM CHORD BEARING AT PILASTERS LOCATED AT B & D



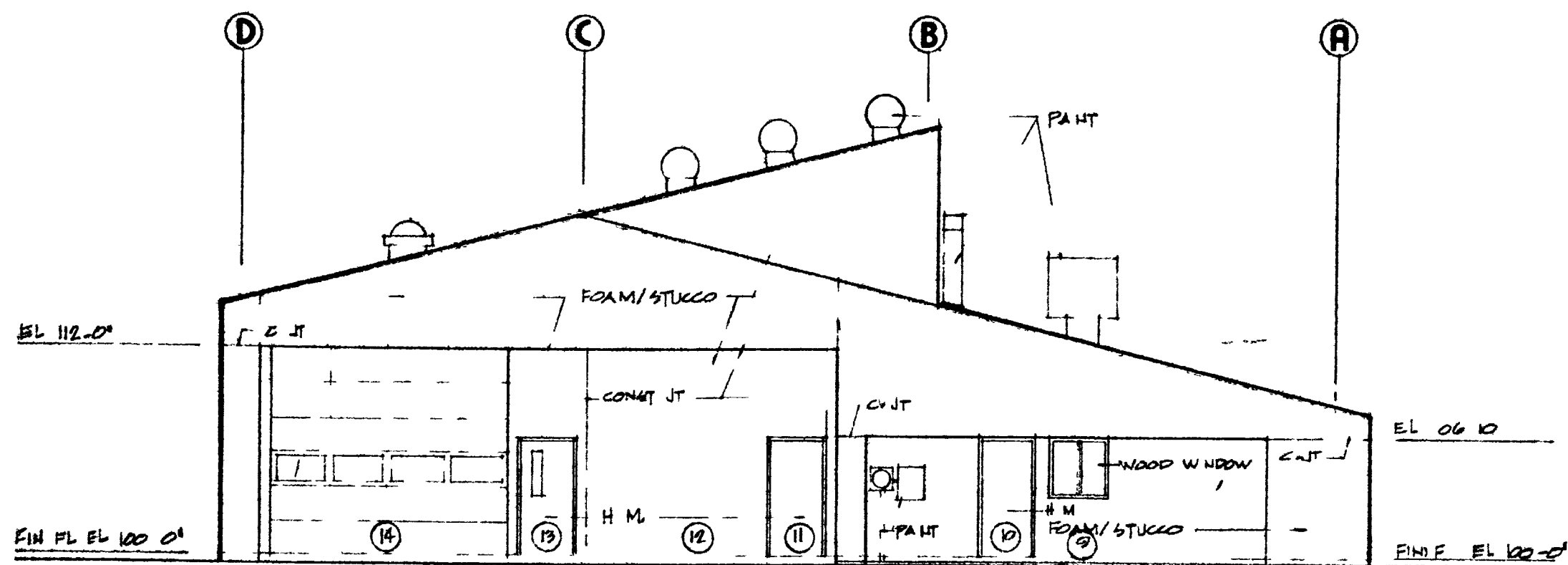
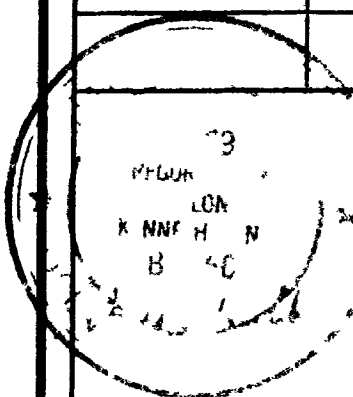
F I R E S T A T I O N

DILLON-HUNT ARCHITECTURE AND PROJECT MANAGEMENT
2004 North 12th grand junction co

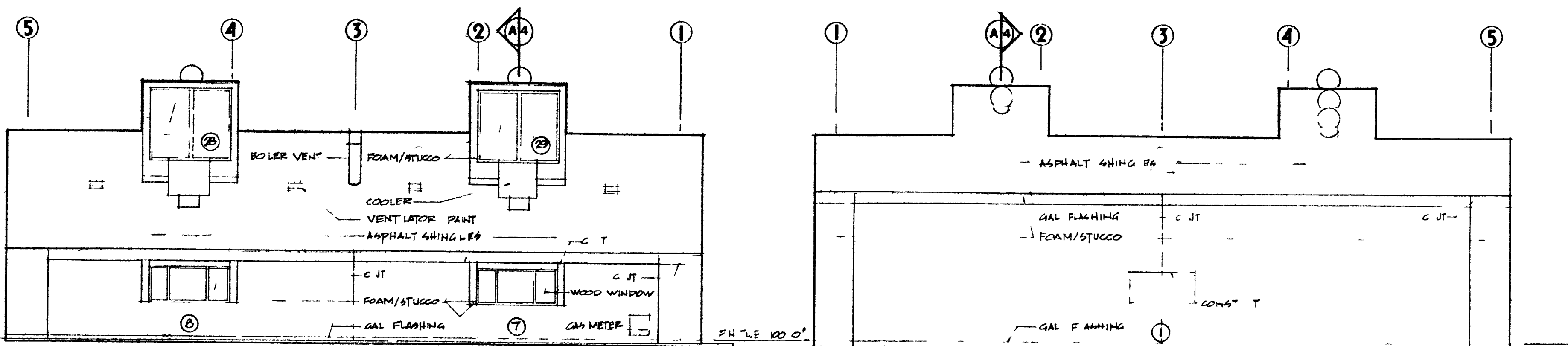


SECTION A-A 174'-10"

Date	APRIL 1979
Scale	
Drawn	GD
Job	
Sheet	A-4
Of 5	Sheets

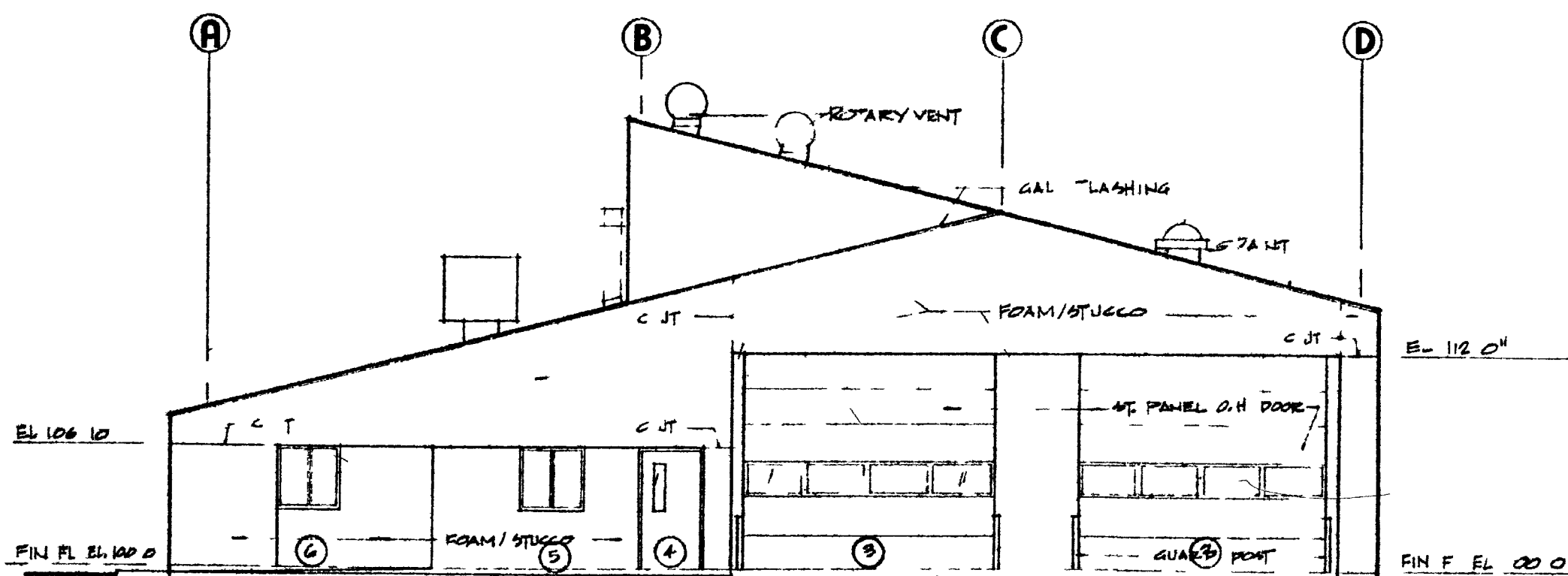


WEST



SOUTH

NORTH



EAST

ELEVATIONS 1/8" = 1'-0"

FIRE STATION 4

DILLON HUNT
 ARCHITECTURE and
 PROJECT MANAGEMENT
 2004 north 12th
 grand junction co

Date 12-10-04

Scale

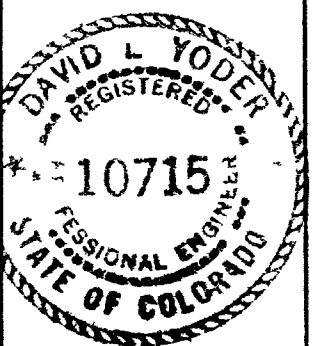
Drawn AD

Job

Sheet

A 5

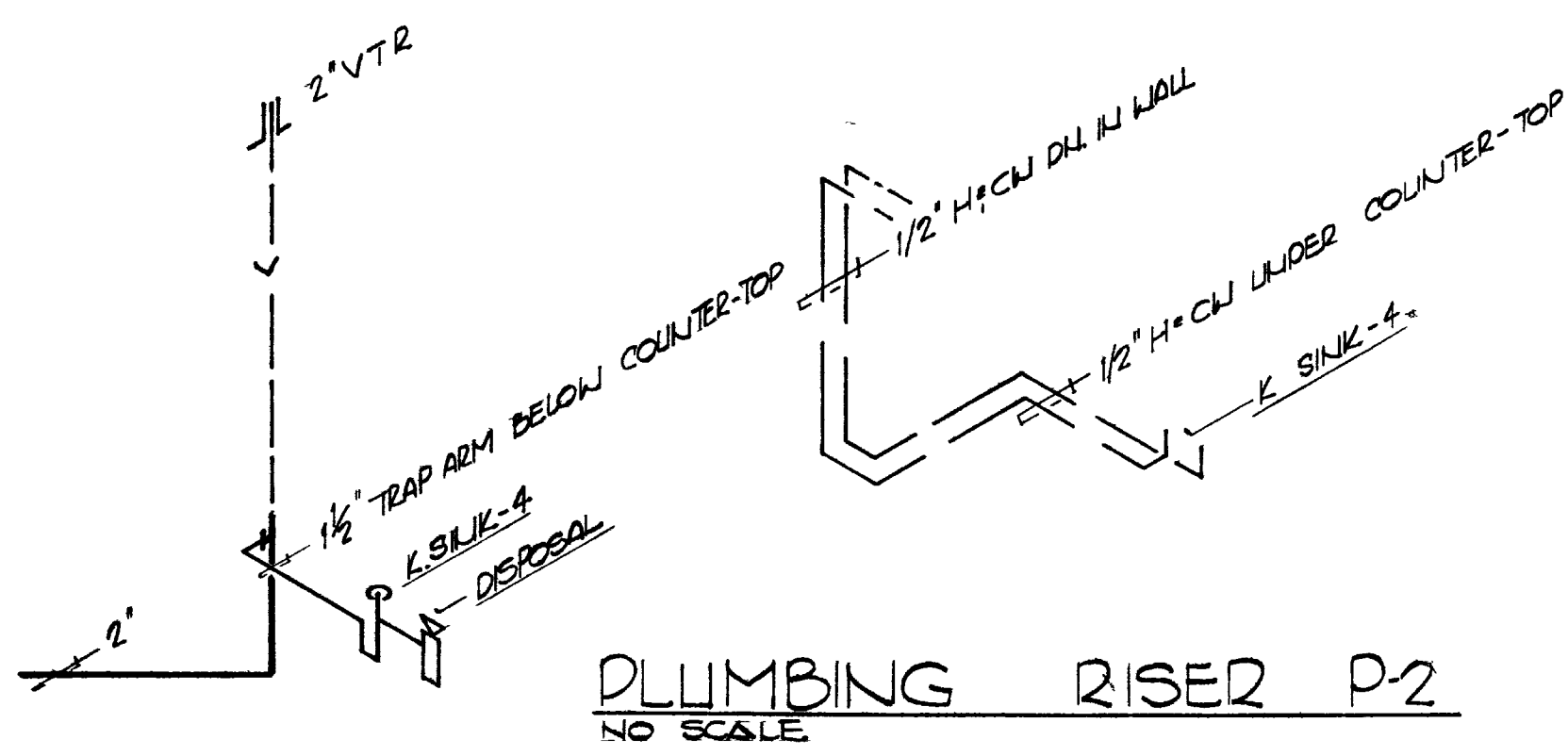
Of 5 Sheets



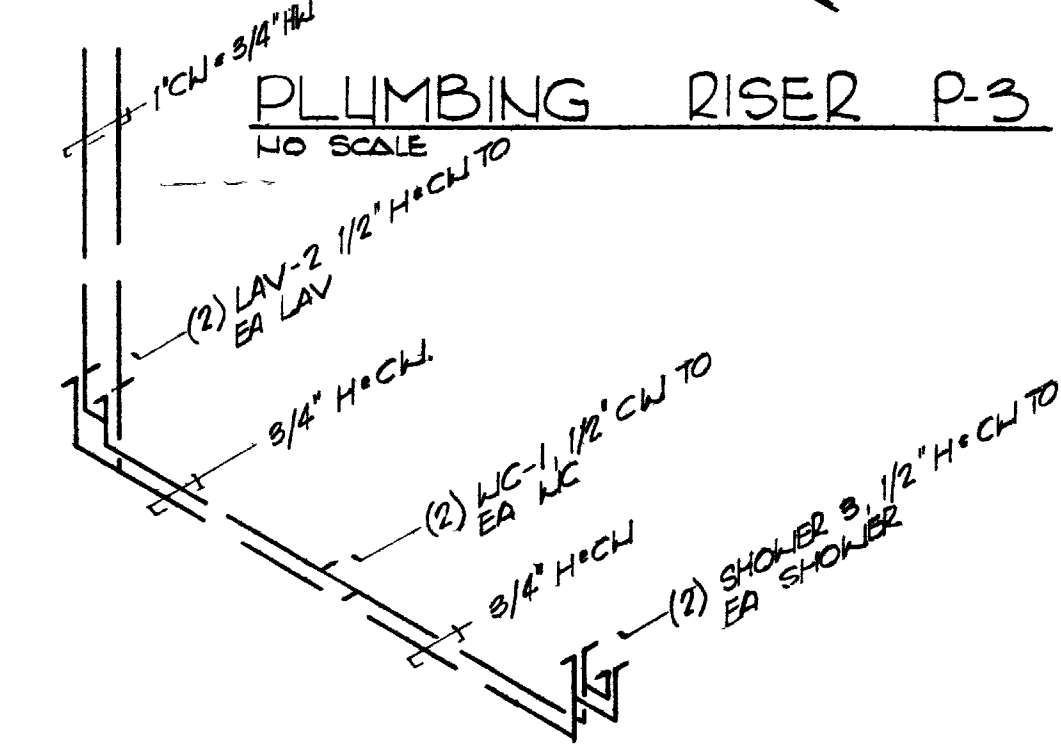
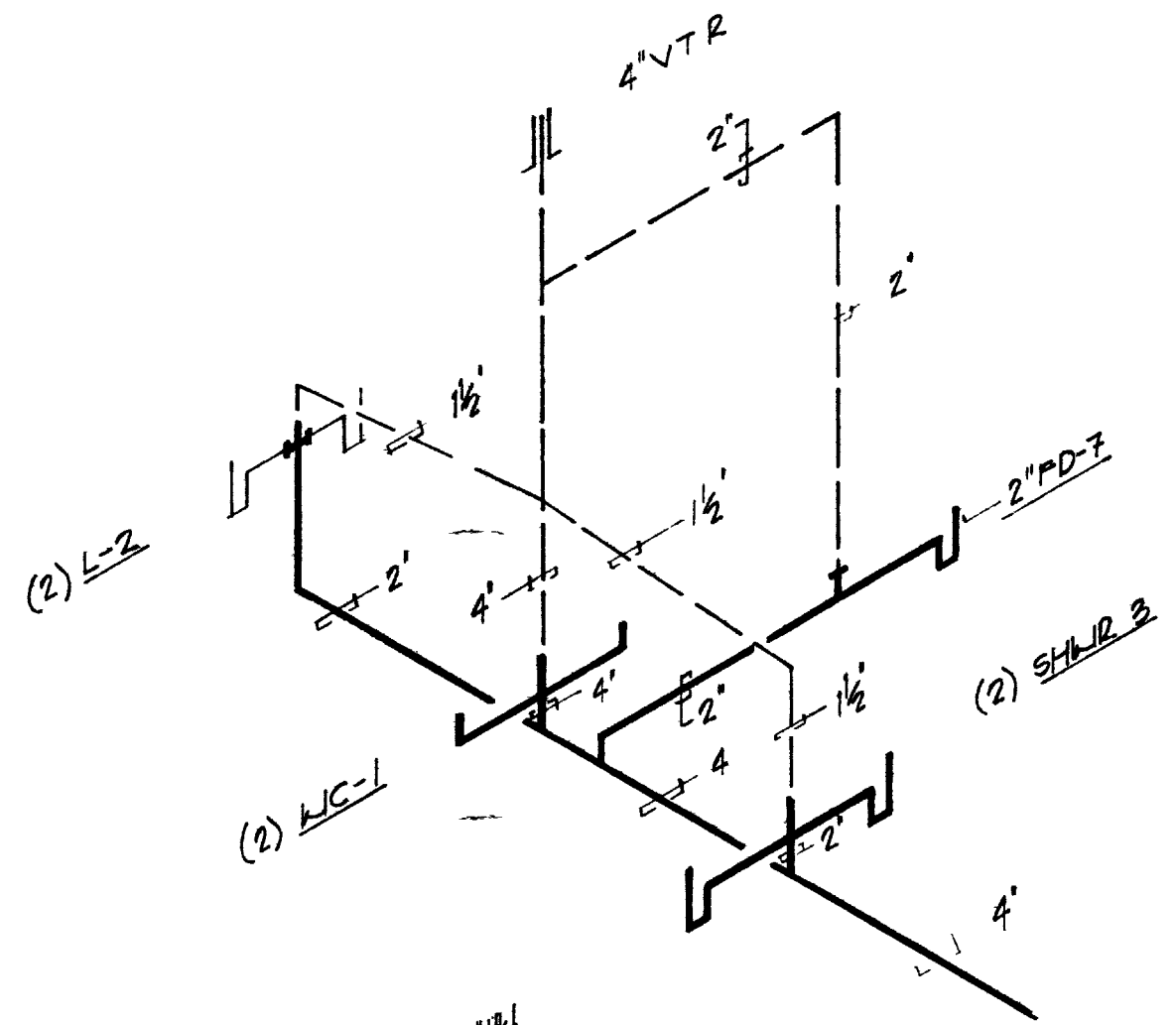
FIRE STATION 4

DILLON-HUNT ARCHITECTURE and PROJECT MANAGEMENT
2004 north 12th grand junction co

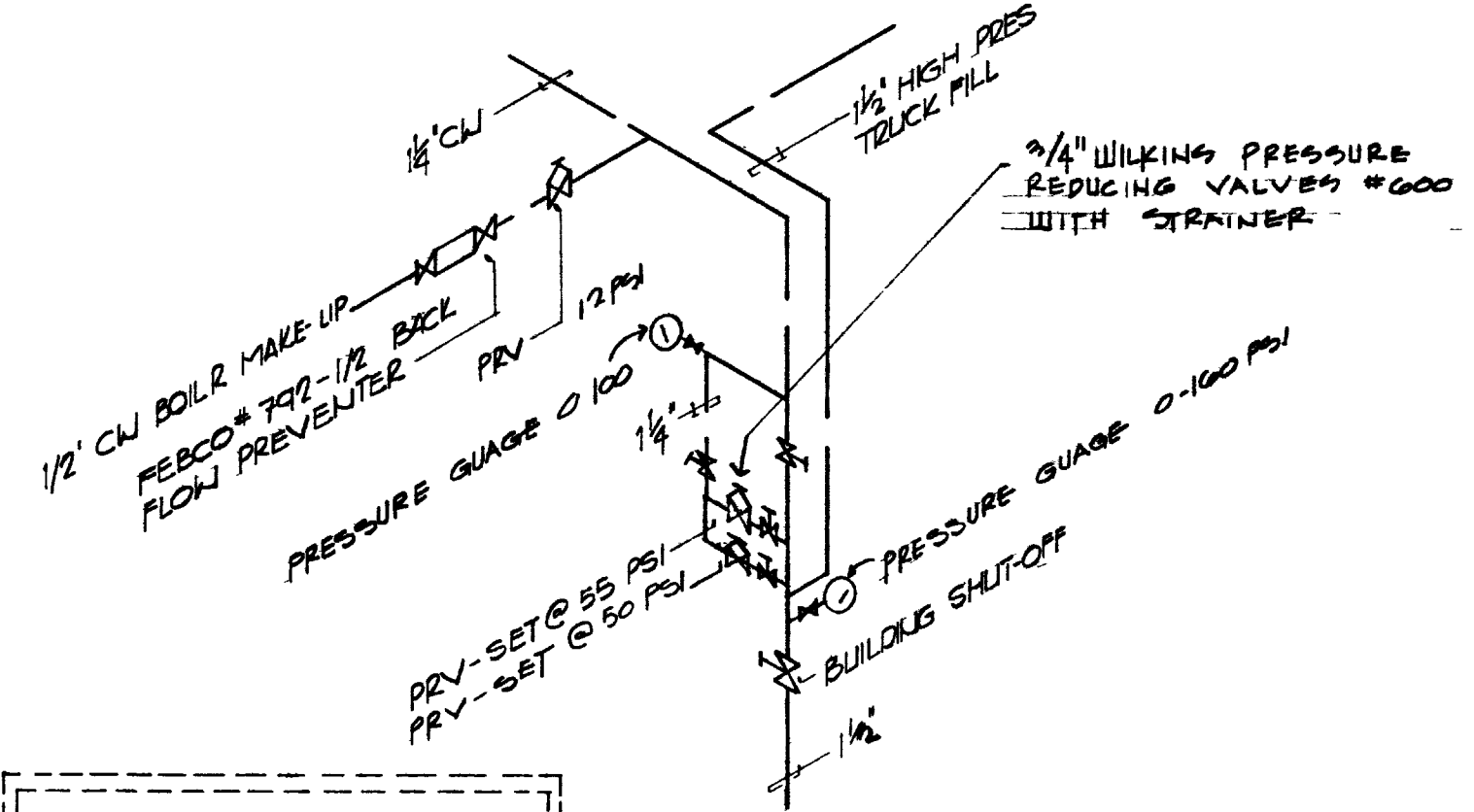
Date 3 29 74
Scale AS NOTED
Drawn BRADDOCK
Sheet M2
Of 4 Sheets



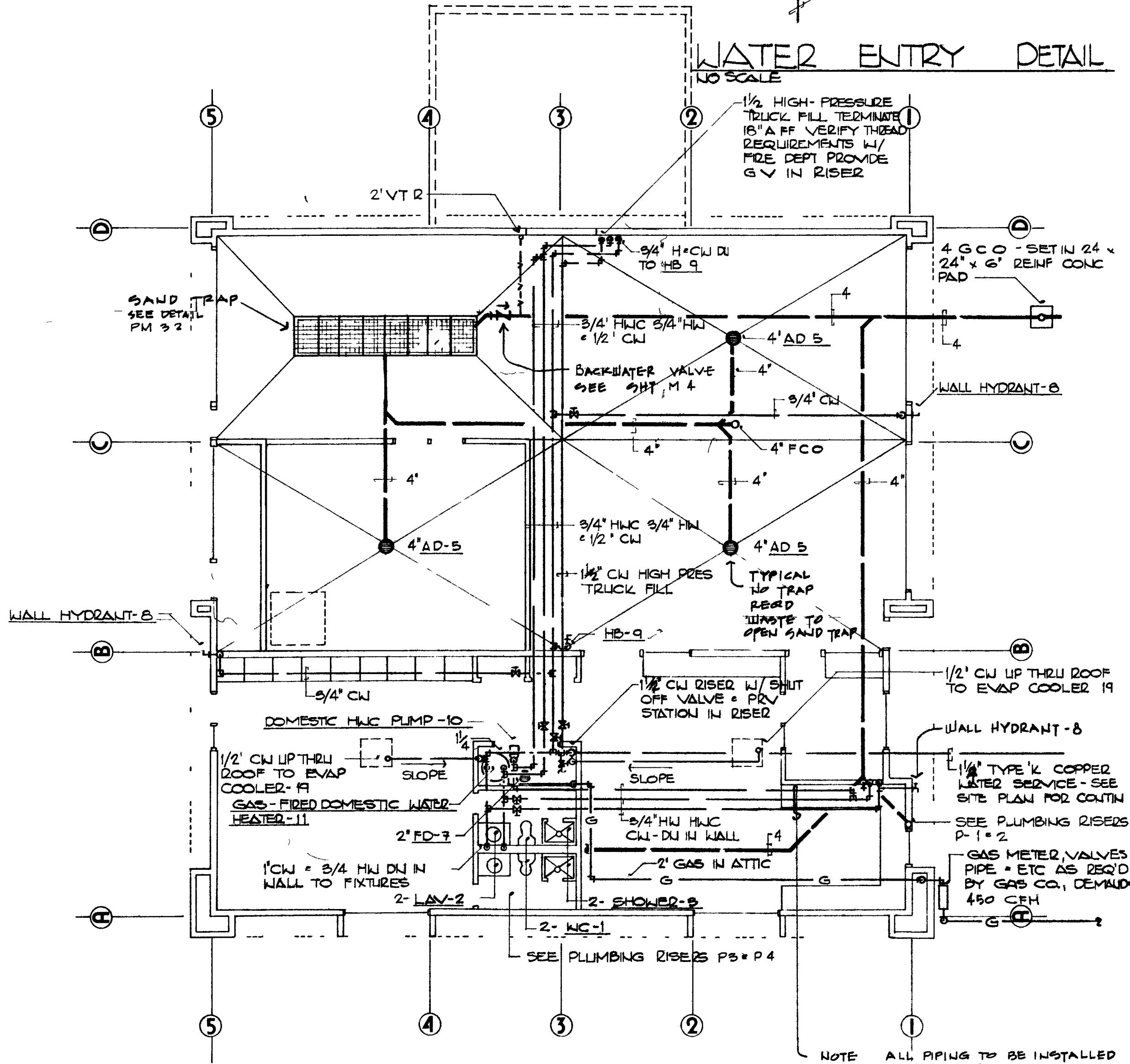
PLUMBING RISER P-1
NO SCALE



PLUMBING RISER P-4
NO SCALE



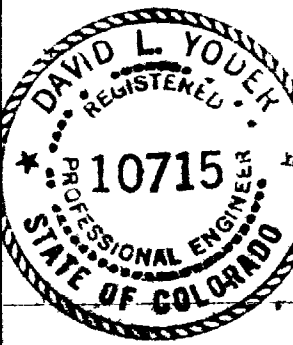
WATER ENTRY DETAIL
NO SCALE



FLOOR PLAN 1/8" = 1 0"

NOTE ALL PIPING TO BE INSTALLED ON WARM SIDE OF BUILDING INSULATION & INSULATED AS REQUIRED BY SPECIFICATIONS SEE SHEET A4 FOR INSTALLATION DETAIL

REVISIONS	BY



4

F I R E S T A T I O N

DILLON-HUNT ARCHITECTURE and PROJECT MANAGEMENT
2004 north 12th grand junction co

Date	3 29 79
Scale	AS NOTED
Drawn	BRADDOCK
Job	
Sheet	M 4
of	4 Sheets

MECHANICAL LEGEND

	S OR W	SANITARY SEWER ABOVE FLOOR (GRADE)
	S OR W	SANITARY SEWER BELOW FLOOR (GRADE)
	V	SANITARY VENT
	CW	DOMESTIC COLD WATER
	HW	DOMESTIC HOT WATER
	HWC	DOMESTIC HOT WATER COLD
	SOL	STORM DRAIN LEADER ABOVE FLOOR
	SOL	STORM DRAIN LEADER BELOW FLOOR
	G	NATURAL GAS
		ELBOW UP
		ELBOW DN
		TEE UP
		TEE DN
	GV	GATE VALVE
	CHV	CHECK VALVE
	BV	BALANCE VALVE
		LUBRICATED PLUG COCK
		UNION
	HWS	HEATING WATER SUPPLY
	HWR	HEATING WATER RETURN
		FLEXIBLE DUCT CONNECTION
	SBD	SINGLE BLADE DAMPER
	TV	TUBING VALVE
	FD	FIRE DAMPER
	CI	SERVICE WEIGHT CAST IRON
	VCP	VITRIFIED CLAY PIPE
	IE	INVERT ELEVATION
	AFF	ABOVE FINISH FLOOR
	R.G.	RETURN AIR GRILLE
	S.D.	SUPPLY AIR DIFFUSER
	S.R.	SUPPLY AIR REGISTER
	E.G.	EXHAUST AIR GRILLE

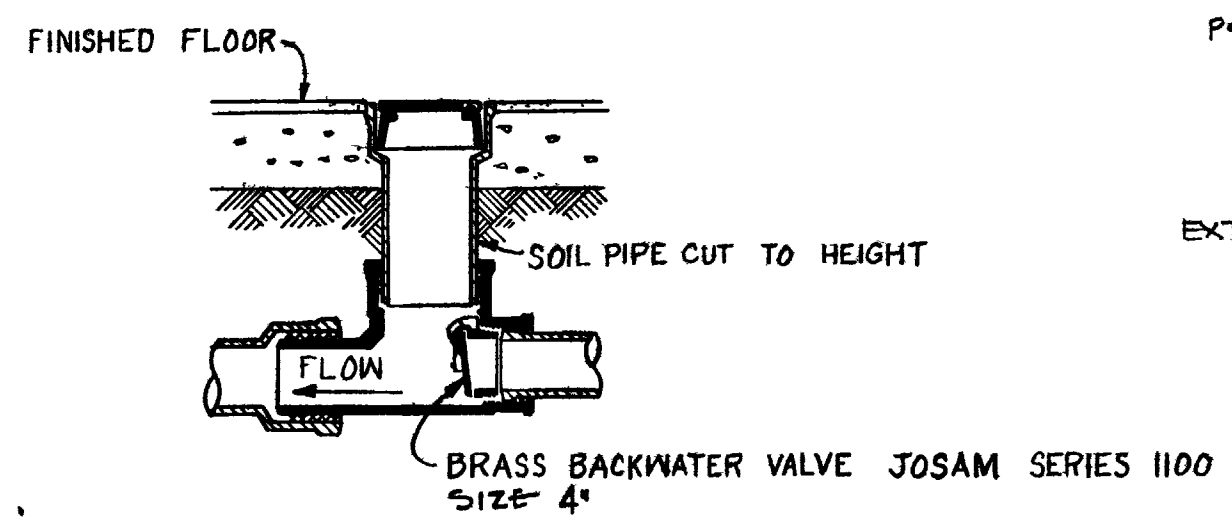
EQUIPMENT SCHEDULE

MARK	DESCRIPTION
WC-1	American Standard 2109 056 elongated "Cadet" toilet, elongated siphon jet action bowl, close coupled tank, free standing, vitreous china, 2 bolt caps, Church 5330 063 seat, 3405.016 supply pipe
Lav-2	American Standard 3301 025 "Horizon" self-rimming lavatory, fitting ledge, enameled cast iron, front overflow, 2103 203 Heritage pop-up lavatory faucet, 2303 154 lavatory flexible supply pipes, 4418 026 adjustable "P" trap
Shower-3	Power Flat Commander S-86, 36" x 36" x 82" factory fabricated sandwich wall panels, Commander shower cabinets are erected on a durable one piece, precast Terrazzo floor, #150-AA pressure equalizing valve and Speakman #S-2242 flow restrictor shower head, shower floor to be complete with integral drain and stainless steel strainer PROVIDE SHOWER CURTAIN AND ROD
K Sink-4	American Standard 3258 241 4-hole "Explorer" 20 gauge, double bowl, self-rimming, stainless steel sink, back ledge, sound dampener, 4200 028 Aquarian II kitchen faucet, 2-4331 013 crumb cup strainer drain
A D -5	Josam 34430 Series coated cast iron floor drain, round top, and removable deep sediment bucket, heavy duty grate, cast iron top
A D -6	DELETED
F.D -7	Josam 30000-A Series coated cast iron floor drain, adjustable satin nickel alloy round super-flo strainer
F.P.W.H.-8	Josam 71200 Series cast bronze non-freeze wall hydrant, nozzle type vacuum breaker
H B -9	Chicago faucet Model #952, inside sill faucet with vacuum breaker
Domestic HWC Pump-10	Bell & Gossett Series PR, 3/4" size, 5 gpm @ 17' hd, 1/6 H.P., 115/60/1, all-bronze, controlled by wall mounted toggle switch

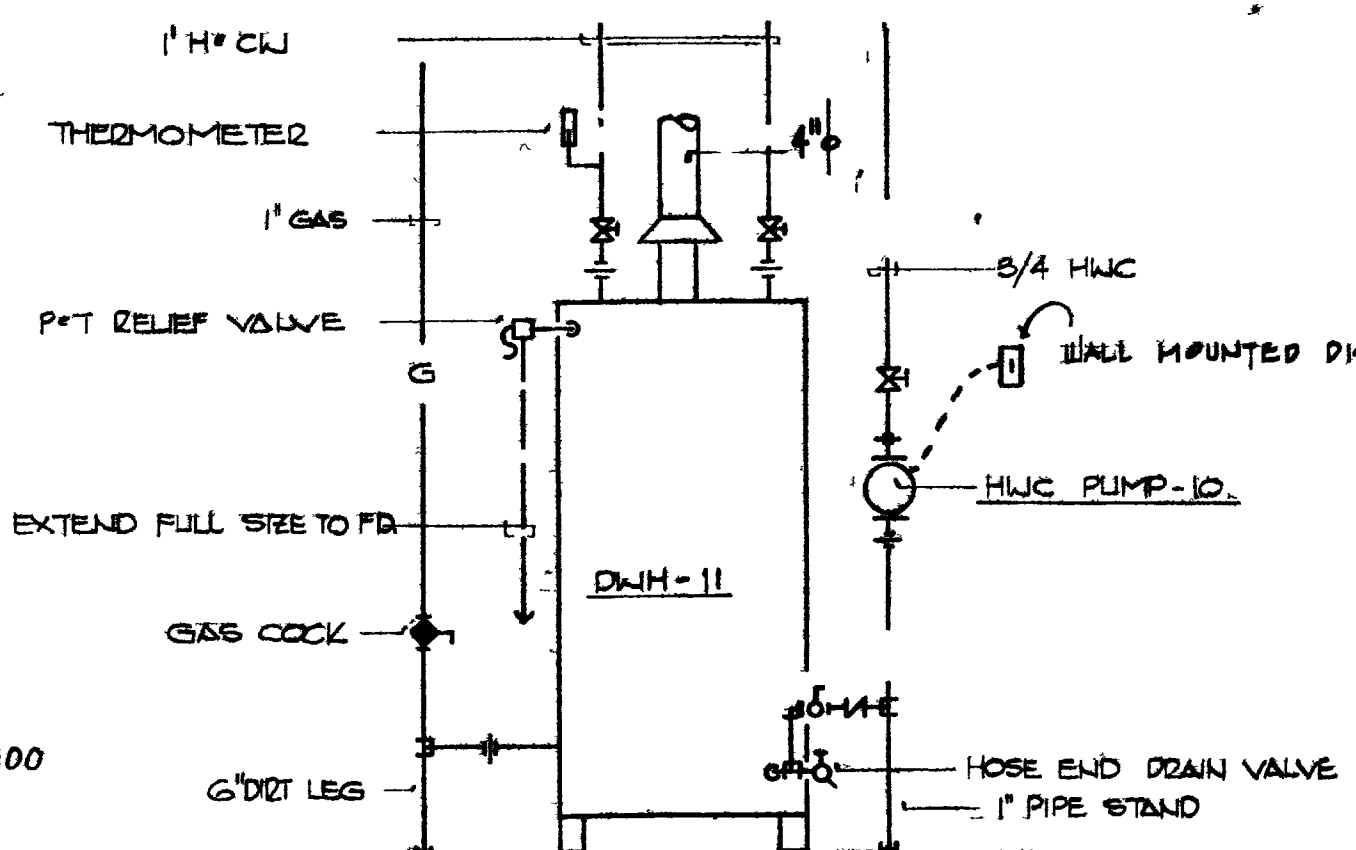
DWH-11 State Model AX-100-NRT7-5, 100 gallon storage, 90,000 BTUH input, 75.6 gph recovery @ 100' rise, 82' high x 26" dia, furnish with P & T relief valve, dielectric unions and gate valves on hot and cold water supplies to water heater, 4" flue

UH-15	McQuay Model UDH-080A 62,100 BTUH, 12.0 gpm 10 40 temp drop, 0.81 ft hd 1340 cfm, 1050 rpm, 1/12 hp, lower deflector, 190° EWT Suspend from 4- 3/8" all-thread rods with vibration isolators
UH-16	McQuay Model UHH-056A, 61,000 BTUH, 6.1 gpm, 20 0° temp drop, 2.3 ft hd, 1356 cfm, 1050 rpm, 1/15 hp, 190° EWT Suspend from 4- 3/8" all thread rods with vibration isolators
E F -17	DELETED
E F -18	Thermador "Tradewind" Model VQT-90, 85 cfm @ 0.25" s p, 1150 rpm, 0.55 amps, 49 watts, furnish with #1285 30 minute timer Interlock fan with light switch and timer
Evap Coolers-19	Essicks Model BA4100D-2, 2 speed, 115 volt, 1/3 hp, 4100/2735 cfm, 182 lbs Furnish complete with P110 Essicks recirculating pump, Model 50FK float valve kit, Model 6PS switch Contractor shall fabricate roof curb Interlock with 6 position switch PROVIDE 4WAY DIRECTIONAL DIFFUSER
BBR-20	Burnham-America Model SS-75 Heatrim, 830 BTUH/lin foot, 190° average water temp, furnish all covers, end caps, etc as required and as shown on Drawings
WH-21	Beacon-Morris Model W-41, 1 gpm @ 0.25 ft hd, 4370 BTUH @ 190° average water temp, 36 cfm, 115/60/1, 0.3 amps, 15 3/4" x 24 1/4" x 4" Control from thermostats as shown on Drawings
KSH-22	Beacon-Morris Model K-41, 1 gpm @ 0.25 ft hd, 4370 BTUH @ 190° average water temp, 36 cfm, 115/60/1, 0.3 amps, 4" x 18" x 14" Control from thermostat as shown on Drawings
Boiler-23	Burnham-America Freedom 6, size 604 260 000 BTUH input, 288,000 BTUH output, 10" flue, 17" long x 28" wide x 56 1/2" high See Piping Detail for accessories. PROVIDE TOP OUTLET DRAFT DIVERTER, AND ELECTRONIC PILOT IGNITION
H W Circ Pump-24	Bell & Gossett Series 60, Model 60-16, Pump size 1 1/2 A, 3/4 h p 40 gpm @ 27' head
E F -25	Powerline Model No 200 BEL8C, 1/4 h p, 730 rpm fan, 3822 fpm tip speed, 1825 cfm @ 1/2" s p Furnish with pre-fab curb, back draft dampers and bird screen Interlock with Carbon Monoxide Detection Unit
Carbon Monoxide Detection Unit-26	Aeme Model 01-01E-120, 120V/60/1, 0.5 amps Complete with CR30-120 relay to control ER-25, integral sensor and throw-away cans filled with calibrated CO gas for calibration checks

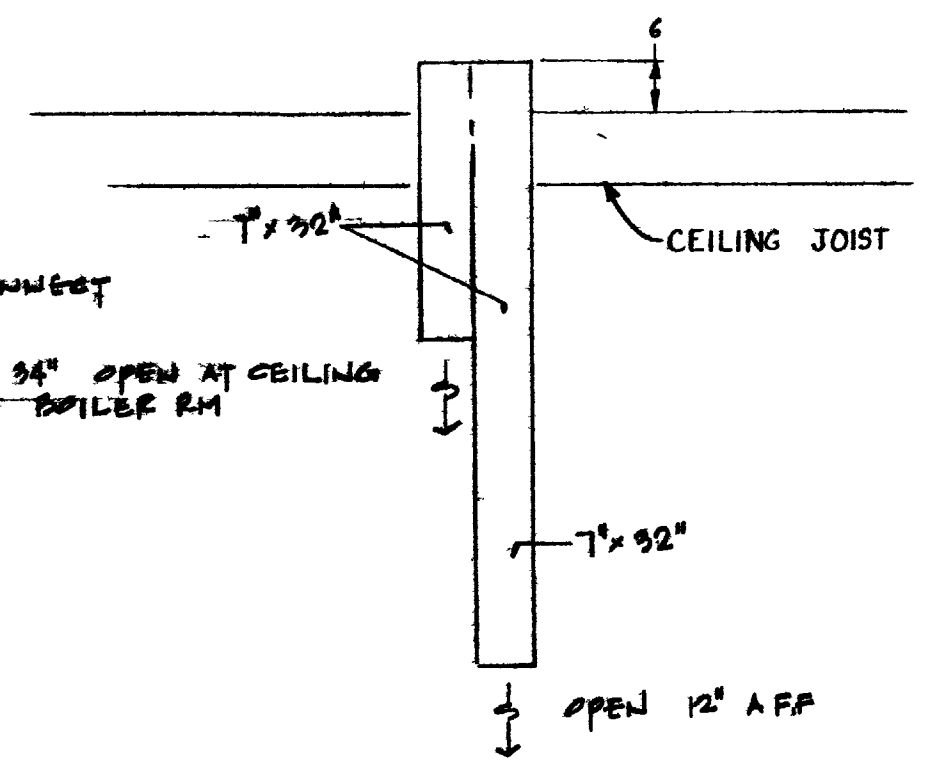
NOTE MECHANICAL CONTRACTOR SEE ARCHITECTURAL DRAWING SHEET A-5 FOR ROTARY ROOF VENTILATORS TO BE PROVIDED AND INSTALLED BY THE SHEET METAL CONTRACTOR



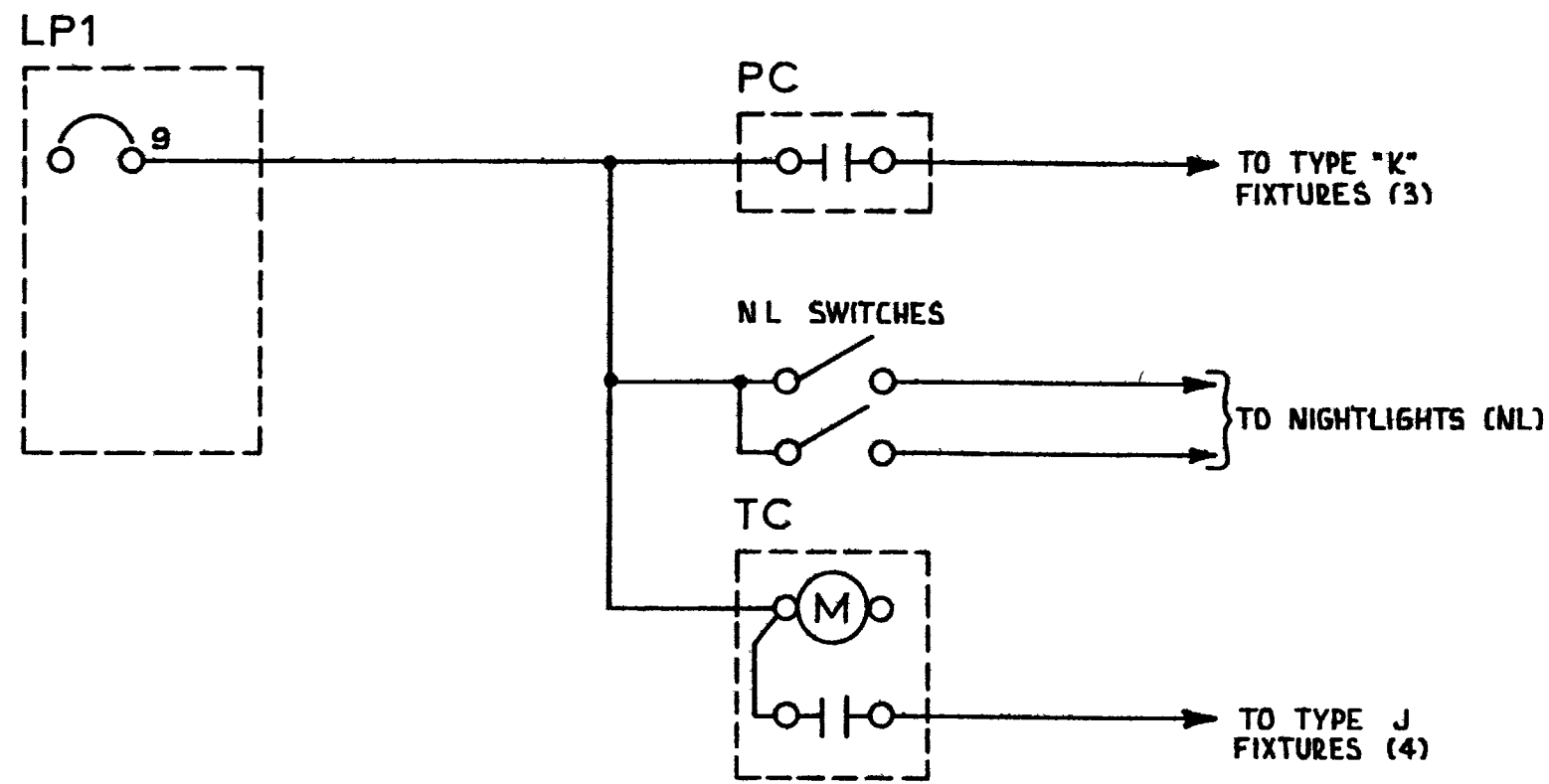
BACKWATER VALVE INSTALLATION DETAIL
NO SCALE



WATER HEATER DETAIL
NO SCALE



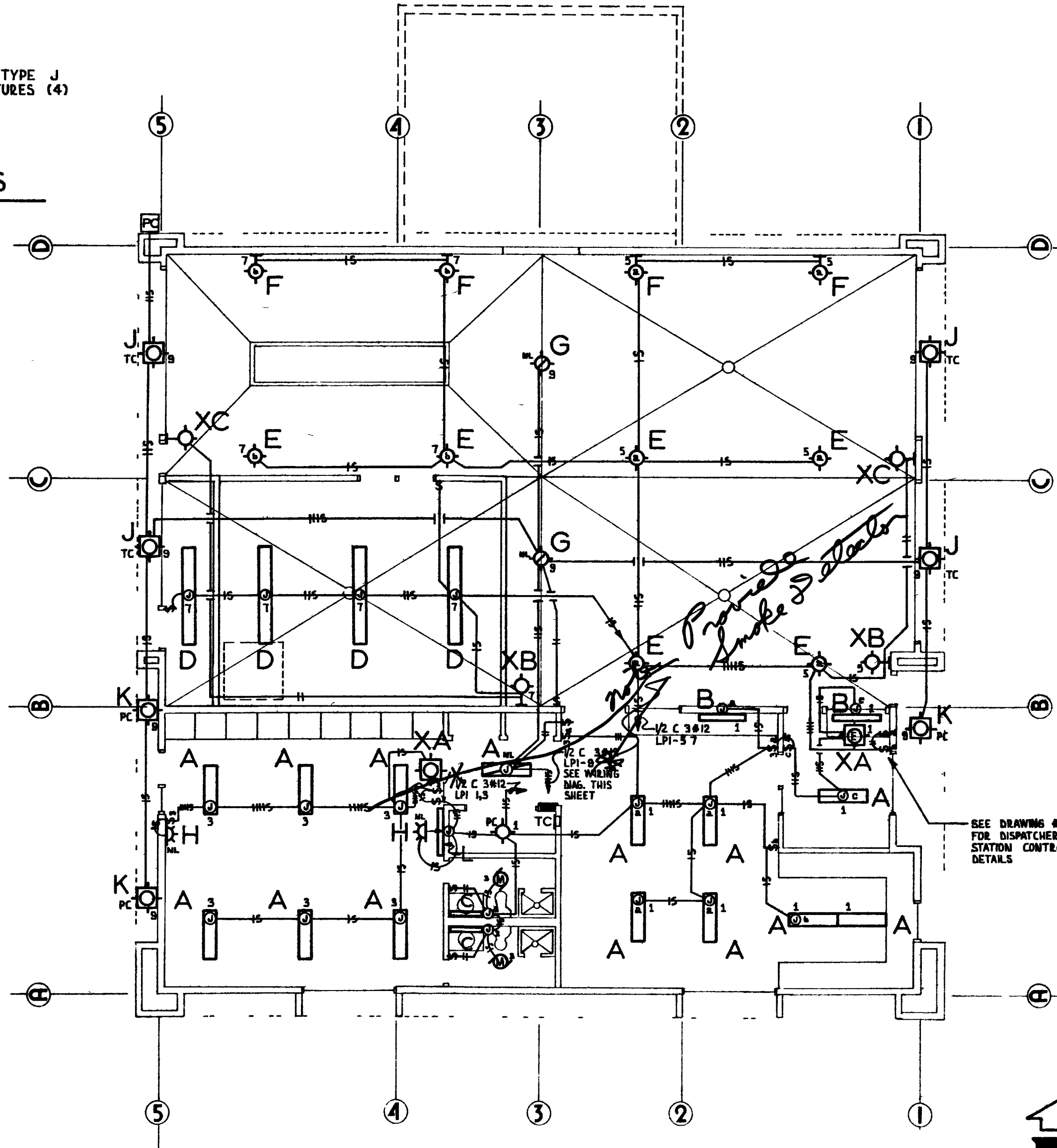
COMBUSTION AIR INTAKE
NOTED



(NEUTRALS NOT SHOWN FOR CLARITY)

EXTERIOR & NIGHTLIGHTING CONTROLS

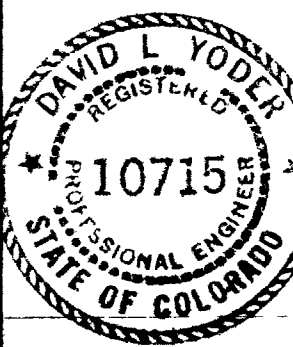
NTS



FLOOR PLAN 1/8"=1'-0" LIGHTING



REVISIONS	BY



4 FIRE STATION

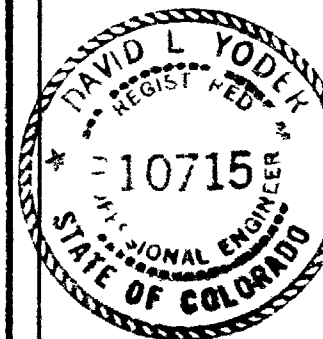
DILLON-HUNT ARCHITECTURE and PROJECT MANAGEMENT
2004 north 12th grand junction co

Date	4/5/79
Scale	AS NOTED
Drawn	FRD
Sheet	E 1
Of 4 Sheets	

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NOTES

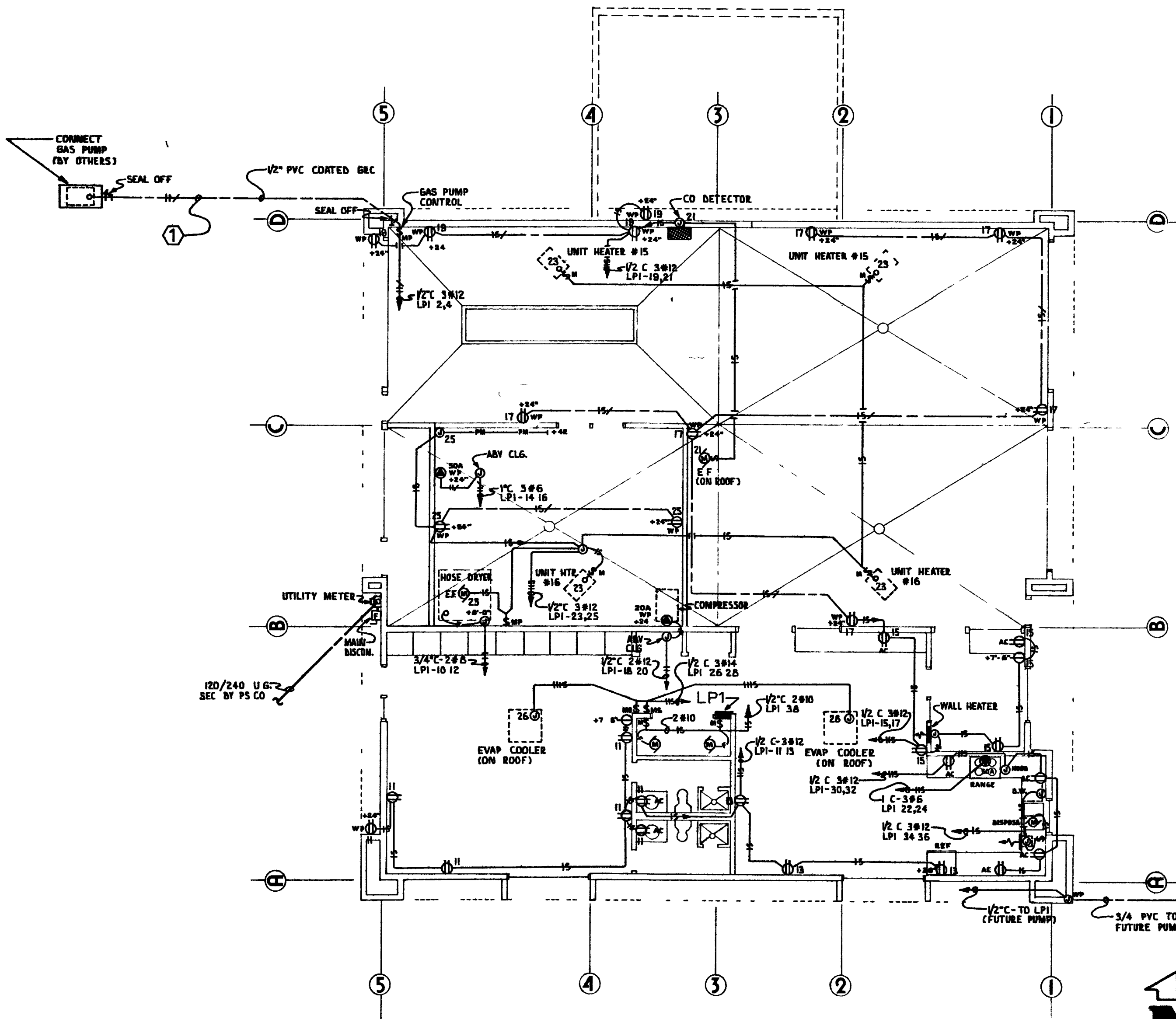
- ① ALL WIRING TO GASOLINE DISPENSING AREA SHALL COMPLY WITH ARTICLE 514 N.E.C



4

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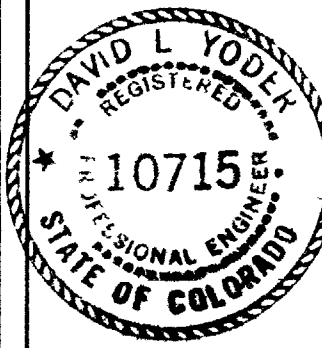
FLOOR PLAN 1/8" = 1'-0" POWER



Date	4/5/79
Scale	AS NOTED
Drawn	F R D
Job	
Sheet	E 2
Of	4 Sheets

NOTES

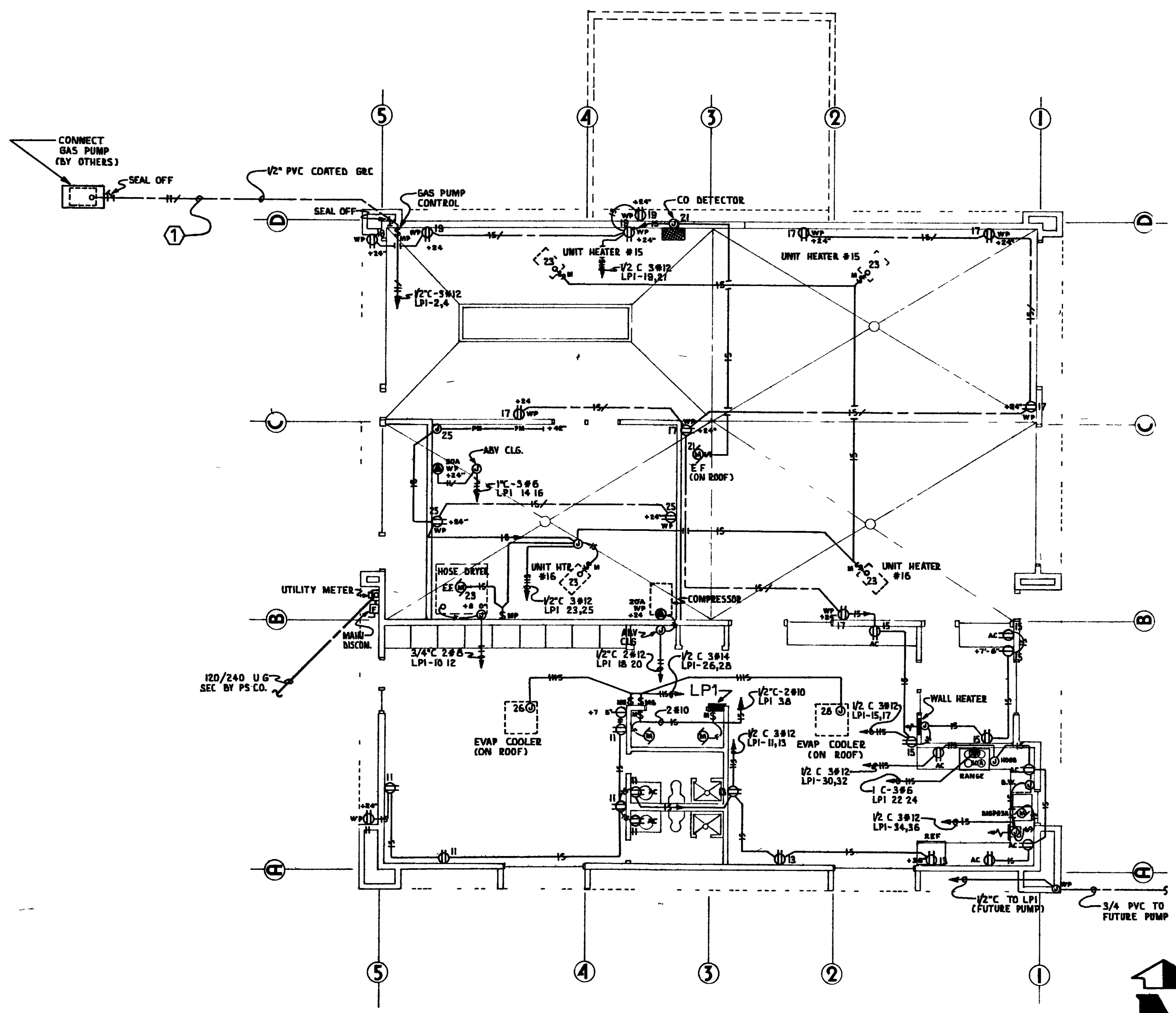
① ALL WIRING TO GASOLINE DISPENSING AREA SHALL COMPLY WITH ARTICLE 514 N.E.C



4

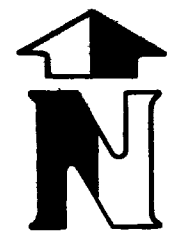
FIRE STATION

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2004 north 12th grand junction co

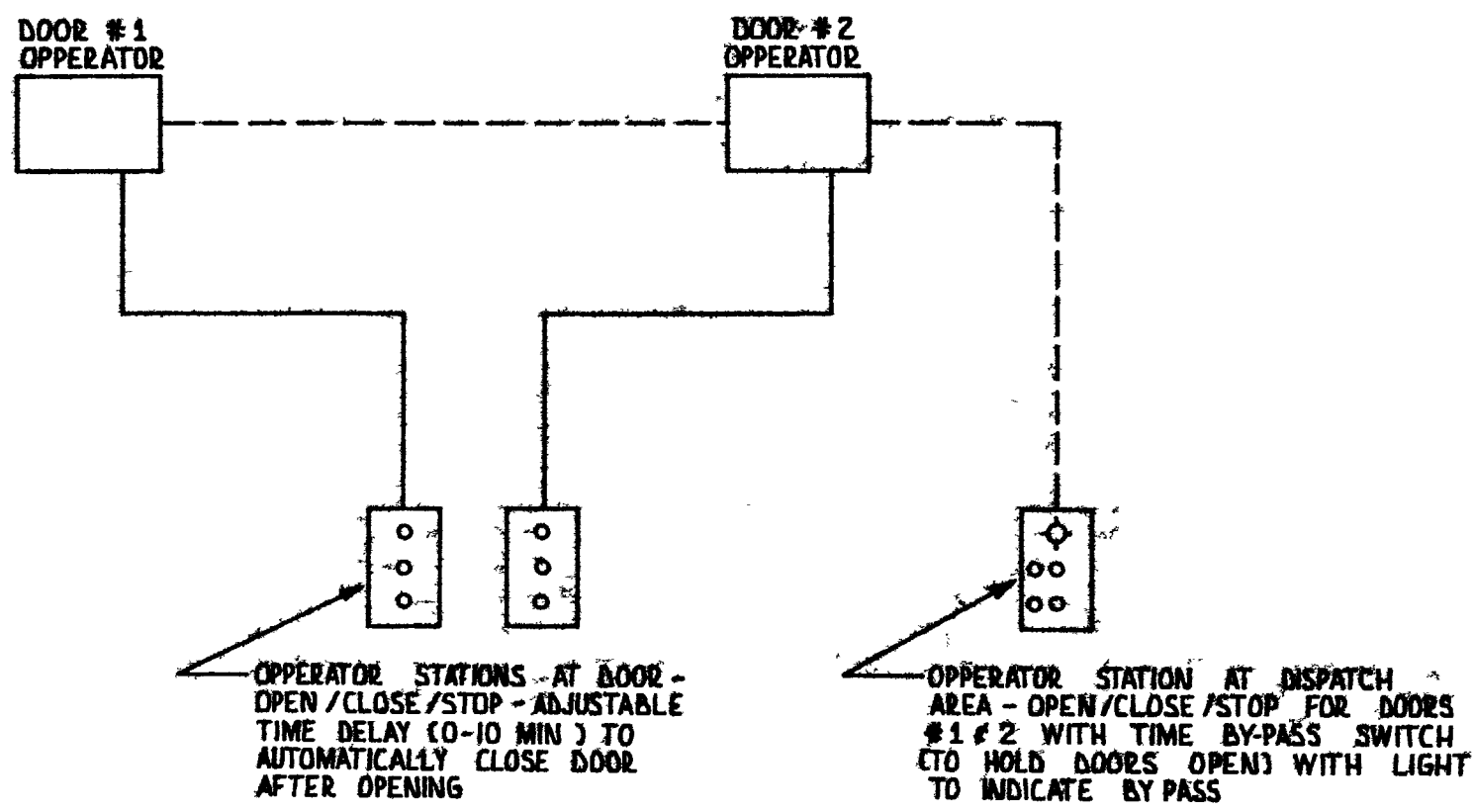


120/240 UG SEC BY PS CO.

FLOOR PLAN 1/8" = 1'-0" POWER

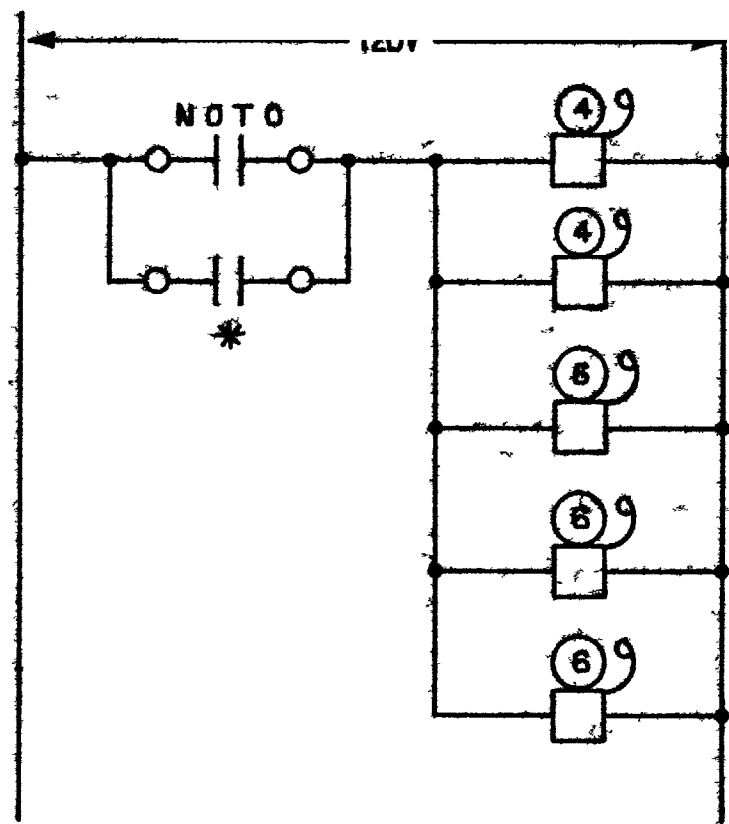


Date	4/5/79
Scale	AS NOTED
Drawn	F R D
Job	
Sheet	E 2
Of	4 Sheets



OVERHEAD DOOR CONTROL - BLOCK DIAGRAM

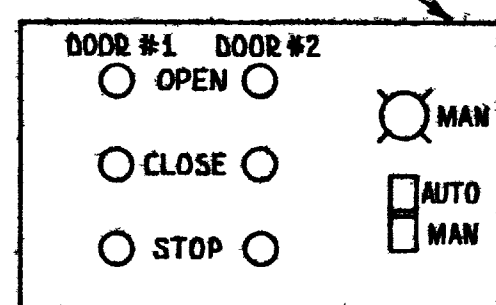
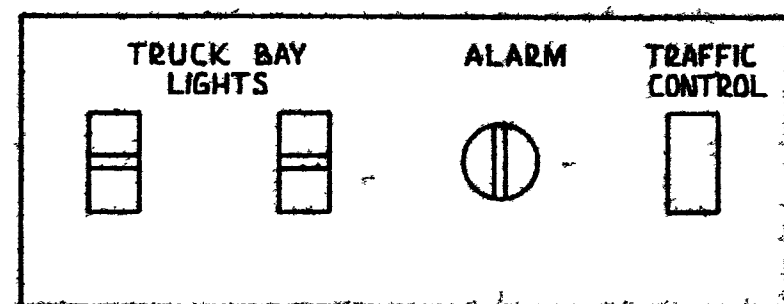
NTS



ALARM SYSTEM DIAGRAM

NTS

* TELEPHONE ACTUATED DELAY N.O. DRY CNTX 5 AMP RATED



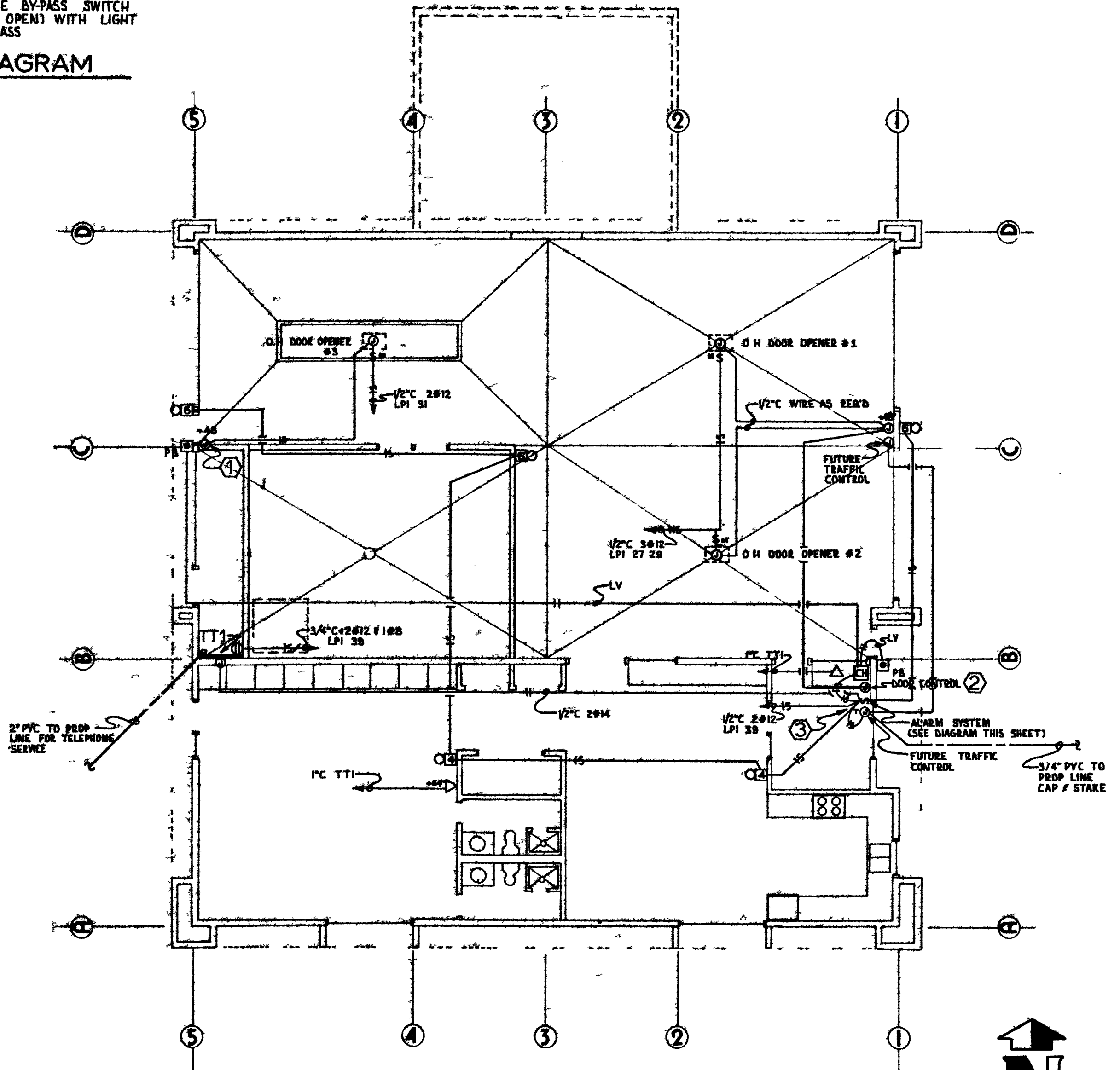
PLATES TO BE ENGRAVED OR PROVIDE STD PLATES WITH ENGRAVED LAMACOD NAME PLATES

DISPATCHER CONTROL STATION

NTS

NOTES

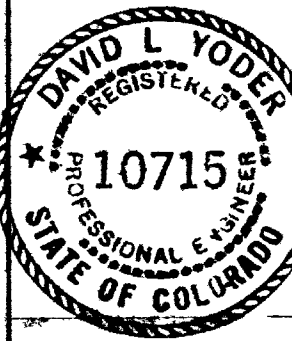
- ① PUSH BUTTON STATION FOR OPEN / CLOSE / STOP
- ② AUTO DOOR CONTROL - SEE BLOCK DIAGRAM THIS DRAWING
- ③ ALL CONTROL DEVICES TO BE IN COMMON LOCATION SEE DIAGRAM THIS DRAWING



FLOOR PLAN 1/8" = 1 0" SYSTEMS



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4 FIRE STATION

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2004 north 12th grand junction co

Date	4/5/79
Scale	AS NOTED
Drawn	FBD
Job	
Sheet	E 3
Of 4 Sheets	

ELECTRICAL SYMBOLS

NOTE: SUBSCRIPTS ARE ADDED TO SYMBOL TO DENOTE SPECIAL VARIATIONS OF STANDARD EQUIPMENT (SK DENOTES KEY OPERATED SWITCH). SYMBOLS ARE GENERAL & MAY OR MAY NOT BE FOUND ON EACH DRAWING.

- CONDUIT RUN CONCEALED IN CEILING OR WALL
- CONDUIT RUN CONCEALED IN FLOOR OR UNDERGROUND
- CONDUIT RUN EXPOSED
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- LOW VOLTAGE WIRING
- PLUMBOLD
- FLEXIBLE METALIC CONDUIT
- NUMBER OF HOT CONDUCTORS
- NUMBER OF NEUTRAL CONDUCTORS
- NUMBER OF GROUND CONDUCTORS
- CEILING LIGHT SURFACE
- CEILING LIGHT RECESSED
- CEILING LIGHT RECESSED WALL WASHER
- WALL LIGHT SURFACE
- FLUORESCENT FIXTURE SURFACE
- FLUORESCENT STRIP
- LIGHT TRACK
- FLUORESCENT FIXTURE RECESSED
- EXIT LIGHT
- CLOCK OUTLET
- DUPLEX CONVENIENCE OUTLET WALL MOUNT
- WP WEATHERPROOF
- GFI GROUND FAULT INTERRUPTER
- CONVENIENCE OUTLET IN FLOOR
- PHONE OUTLET WALL
- PHONE OUTLET FLOOR
- SPECIAL PURPOSE OUTLET WALL
- JUNCTION BOX
- TELEVISION OUTLET
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- SWITCH FOR LOW VOLTAGE SYSTEM
- SWITCH W/PILOT LIGHT
- MANUAL MOTOR STARTING SWITCH
- TIMER SWITCH
- KEY OPERATED SWITCH
- DIMMER SWITCH
- MAGNETIC MOTOR SWITCH
- MAGNETIC CONTACTOR
- SAFETY SWITCH-FUSIBLE (SIZE & NO. OF POLES & FUZE SIZE INDICATED)
- SAFETY SWITCH NON-FUSIBLE (SIZE & NO. OF POLES INDICATED)
- MOTOR
- EXHAUST FAN
- TIME CLOCK
- INTERCOM OUTLET
- MICROPHONE OUTLET
- SPEAKER OUTLET
- BRANCH CIRCUIT PANEL
- POWER PANEL
- ELECTRIC SERVICE ENTRANCE EQUIPMENT
- TELEPHONE TERMINAL CABINET
- BELL
- PUSH BUTTON
- BUZZER
- CHIME
- FIRE ALARM STATION
- FIRE ALARM/THERMAL DETECTOR
- FIRE ALARM/IONIZATION DETECTOR
- FIRE ALARM HORN
- SELF CONTAINED SMOKE DETECTOR
- THERMOSTAT
- BLANKED OUTLET
- ELECTRIC BASEBOARD HEATER
- ELECTRIC UNIT HEATER
- ELECTRIC DUCT HEATER
- ELECTRIC TOE SPACE HEATER
- WALL OR STEP LIGHT
- FLOODLIGHT
- POLE LIGHT SINGLE
- POLE LIGHT MULTIPLE

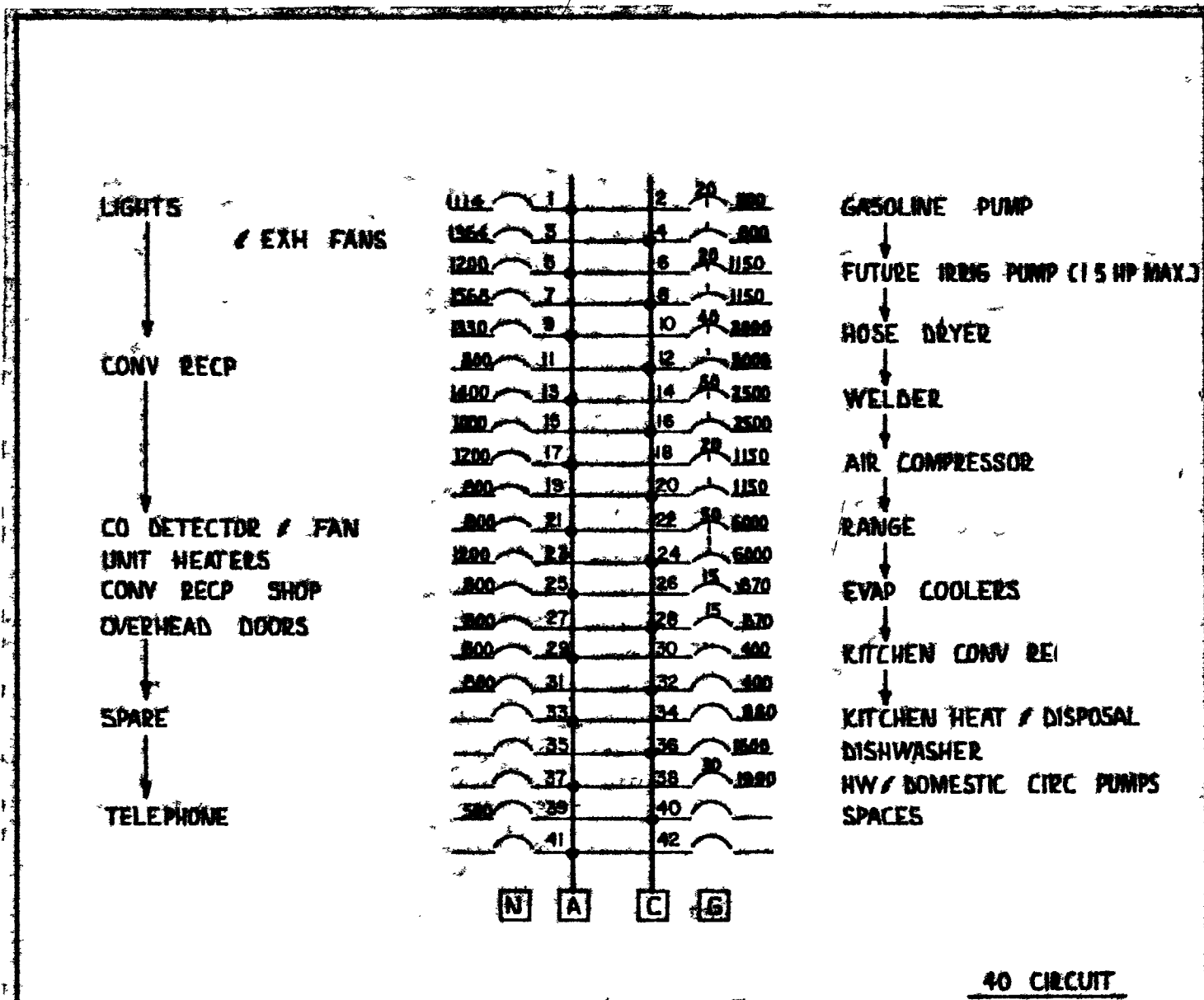
FIXTURE SCHEDULE

KEY	FIXTURE TYPE	INSTALLATION	MANUFACTURE	MANUFACTURE NO	FINISH	NO	LAMP TYPE	NOTES
A	FLUORESCENT	SURF CEILING	LITHONIA	SC-240 SCA	STD	2	F40/WW	
B		SURF WALL	ALKCO	1245		2	F40/WW	
C				1235		2	F30/WW	
D		SURF CEILING	LITHONIA	BTAF 240-50		4	F40/WW	USE SWIVEL STEM HANGERS 10" O'AFF
E	HI PRESS SOD		NOLOPHANE	1964 55 120		1	LU 150	USE SWIVEL STEM HANGERS 12" O'AFF
F		SURF WALL		1962 55 120		1	LU 150	USE # 05007 WALL BRACKET
G		SURF CEILING		1944-120		1	LU 70	USE SWIVEL STEM HANGERS 12" O'AFF
H	INCANDESCENT	RECESSED WALL	COLE	T1506		1	656	
J	HI PRESS SOD	RECESSED CLG	HALO	M 1482		1	LU150	
K				M-1480		1	LU 70	
L	FLUORESCENT	SURF WALL	ALKCO	1225	STD	2	F20/WALL	SEE ARCH DETAIL
M								
N								
P								
R								
S								
XA	EMERGENCY LIGHT	SURF CEILING	SURELITES	4CH 2	STD		W/UNIT	
XB		SURF WALL		XR-7			W/UNIT	
XC				D6 T			W/UNIT	

DEVICE & EQUIP SCHEDULE

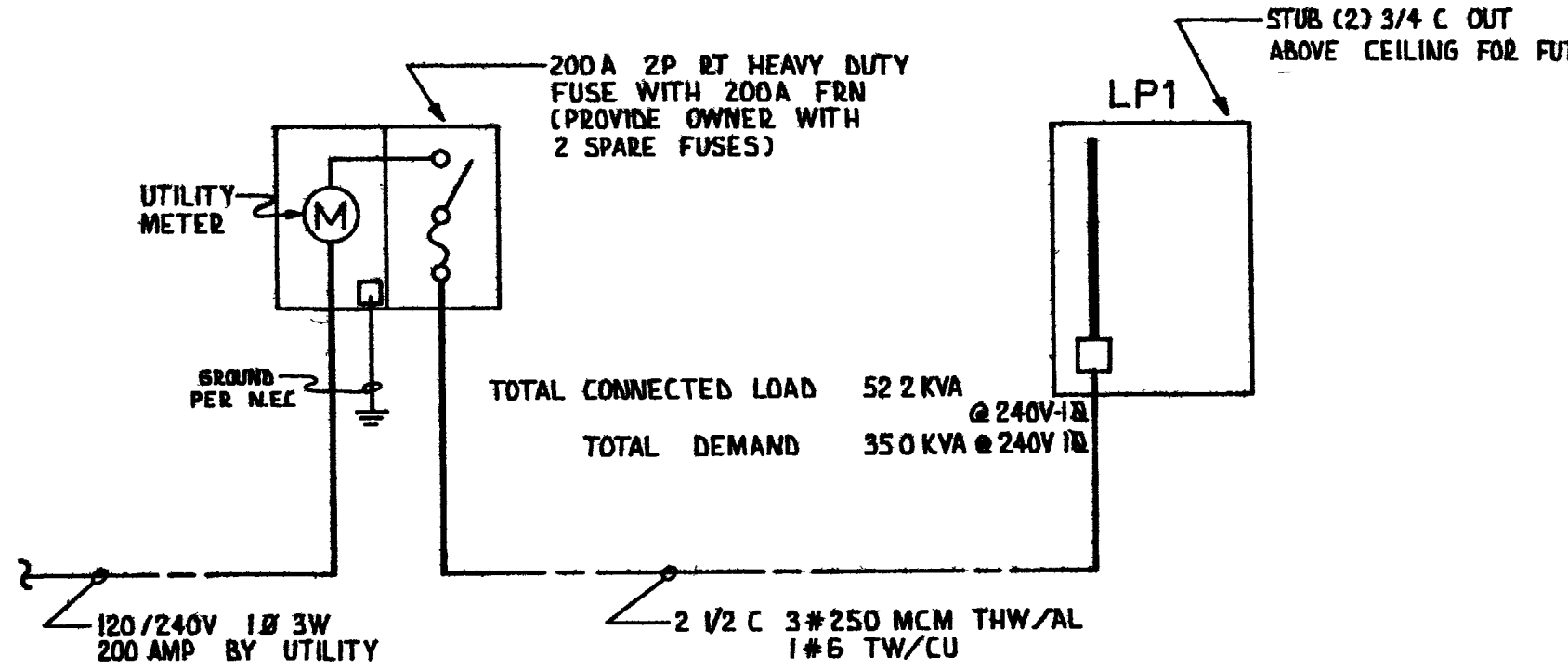
KEY	MFG & NUMBER	PLATE	NOTES
\$	LEVITON 5521 2I	LEVITON 80501 I	
\$	5523-2I		
\$	5014 I	LEVITON 80503-1	
\$	5014	4926	
⊙			AIR COMPRESSOR
⊙			WELDER
⊙	LEVITON 278	LEVITON 4944	RANGE
\$	BY MECH	EVAP COOLER	(MFR)
\$	80.0 CLASS 2510	2 POLE WITH ON PILOT LIGHT	(CMP)
\$		SINGLE POLE	(CM)
⊙	EDWARDS C 112		KIT W/XPWR
⊙			
⊙	340-4NS		ALARM 120V
⊙	340 6NS		
\$	MARK TIME 90004		
TC	TORK 7200		
PC	P M T 15		

VERIFY WITH OWNER

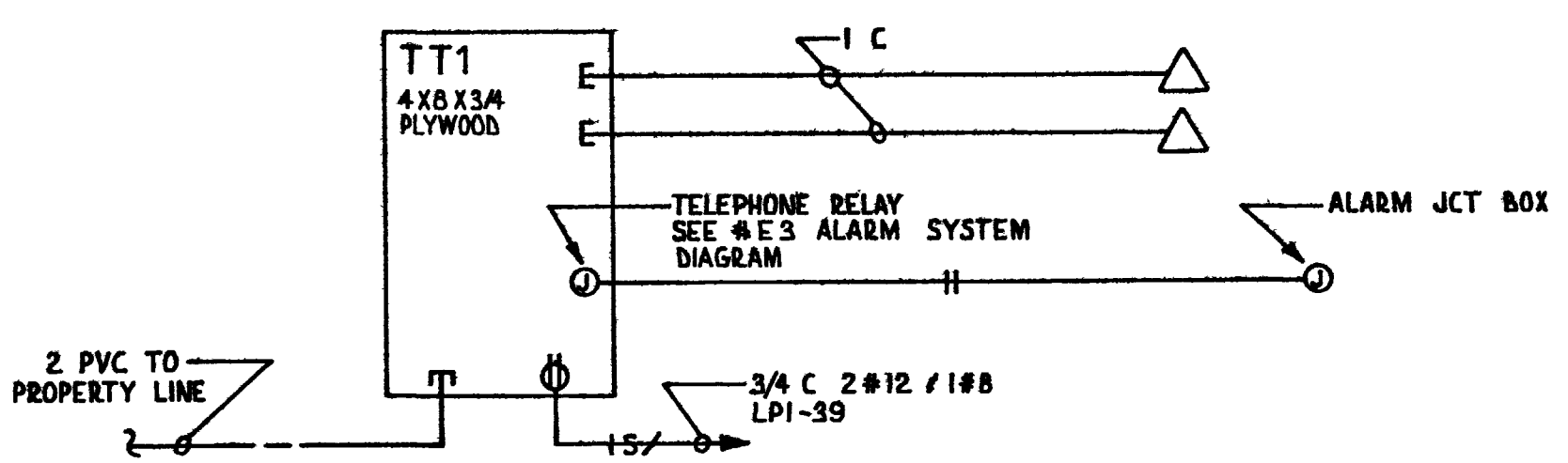


LOAD IN VA		DESCRIPTION	
⊙ A	25494	MFG GE	TYPE MTO
⊙ C	26692	VOLTAGE 120/240	PHASE
TOTAL = 52186		WIRE 3	BUS 225
		MAIN C/B	TOP <input type="checkbox"/> BOTTOM <input type="checkbox"/>
		M L O 225	TOP <input type="checkbox"/> BOTTOM <input checked="" type="checkbox"/>
		MOUNTING, SURFACE <input type="checkbox"/> FLUSH <input checked="" type="checkbox"/>	
WITH GRND BUS BRANCH BREAKERS 20A 1P EXCEPT AS NOTED			

C.E.C LIGHTING BUDGET 6587 W
CONNECTED LIGHTING LOAD 5115 W



POWER - ONE LINE DIAGRAM



TELEPHONE - ONE LINE DIAGRAM

REVISIONS

DAVID L YODER
REGISTERED PROFESSIONAL ENGINEER
10715
STATE OF COLORADO

FIRE STATION

DILLON HUNT ARCHITECTURE and PROJECT MANAGEMENT
2004 north 12th grand junction co

Date 4/5/79
Scale NONE
Drawn F.R.D.
Job
Sheet
E 4
Of 4 Sheets

09101114.tif

MATERIAL AND SYMBOL LEGENDS

SYMBOL	DESCRIPTION	ABBREVIATION
	BRICK	BRK.
	CONCRETE BLOCK	CONC. BLK.
	CONCRETE	CONC.
	RIGID INSULATION	RIGID INSUL.
	PLYWOOD	PLY.
	GYPSUM BOARD	GYP. BRD.
	BATT INSULATION	BATT INSUL.
	FINISH LUMBER	FIN. LMBR.
	GLASS	GL.
	WOOD BLOCKING	BLKG.
	STEEL	ST..

	WINDOW NUMBER		GENERAL NOTE
	DOOR NUMBER		SYSTEMS NOTE
	ELEV. NUMBER ROOM ELEVATION SHEET NUMBER		ELEVATION T.O.W. 132'-0"
	SECTION NUMBER BUILDING SECTION SHEET NUMBER		DETAIL NUMBER DETAIL SHEET NUMBER

PL	PROPERTY LINE
MO	MASONRY OPENING
RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR
TOS	TOP OF STEEL
TOC	TOP OF CONCRETE
TOB	TOP OF BEARING
TOP	TOP OF PARAPET
TOW	TOP OF WALL
TOM	TOP OF MASONRY

Attachment 1.b - 1993 Addition

PROJECT CITY OF GRAND JUNCTION FIRE STATION NO. 14 ADDITION

DRAWING INDEX

GENERAL

T1 TITLE SHEET

ARCHITECTURAL

A1 SITE/DEMO PLAN
A2 FOUNDATION PLAN/BUILDING SECTION
A3 FLOOR PLAN
A4 EXTERIOR ELEVATIONS
A5 DETAILS

MECHANICAL/ELECTRICAL

E1 ELECTRICAL DEMO/RECONSTRUCT PLANS
M1 MECHANICAL DEMO/RECONSTRUCT PLANS

DESIGN TEAM

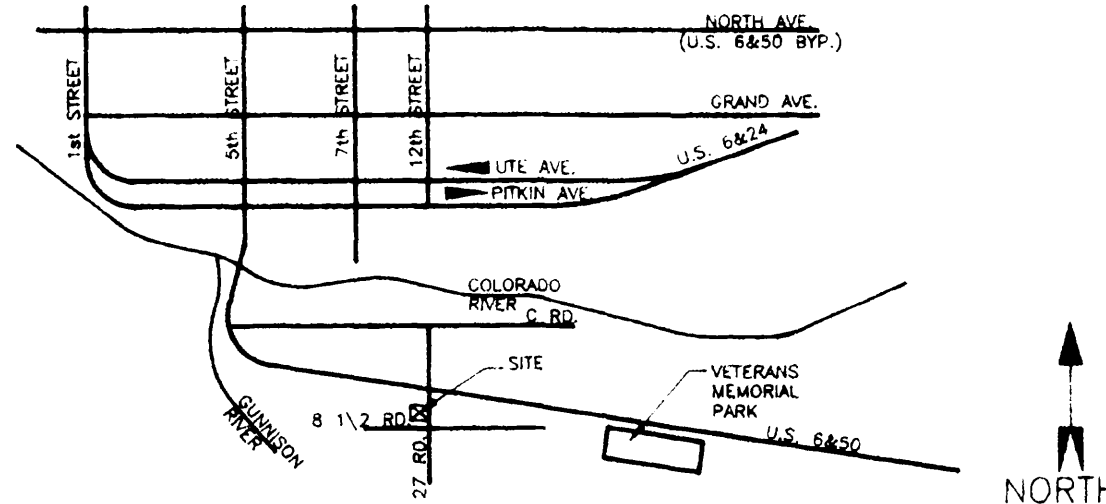
ARCHITECT

DILLON-HUNT P.C., ARCHITECTURE & FACILITY MANAGEMENT
804 GRAND AVENUE
GRAND JUNCTION, COLORADO 81501

(303) 245-7383
(303) 245-7437 - FAX

VICINITY MAP

NO SCALE



GENERAL NOTES

- These drawings, containing Sheets T1, A1, A2, A3, A4, A5, E1, and M1 were prepared as general design and layout documents containing the minimum amount of information required to obtain a building permit to construct the project. It is the intent and desire of the Owner to work with the General Contractor on the site layout, grading, drainage, landscaping, and details for construction. It is the responsibility of the Contractor to provide the Owner with a complete checklist of the items to be provided and to provide the Owner with cut-sheets, costs, written descriptions, and all other information required for the Owner's approval, including cost comparisons for alternatives. The contractor shall provide the owner with a lump sum cost for construction, including all permits, fees, and insurance, and if accepted by the Owner, enter into a contract for construction. The form of contract shall be AIA Document 101, 1987 Edition. Provide a separate cost for Alternate 1 which is to remove an existing window to install a sliding glass door and make any necessary mechanical and electrical system modifications. The window is to be re-installed in the addition.
- All work is to be completed according to the requirements of the intent of the Owner and all local codes and ordinances. The General Conditions of the Contract for Construction, AIA Document A201, 1987 Edition shall apply. The role of the Architect as described therein under Article 4 shall be incorporated only as requested by the Owner. Insurance coverage shall be provided at the minimum limits required by law or as requested by the Owner if greater than the minimum. Provide the Owner with a Certificate of Insurance showing the coverage and limits.
- The Contractor is to be responsible for the sequencing of the work and is to advise the Owner of the schedule of events and provide the Owner with sufficient detailed information for a complete understanding and review of the work prior to proceeding with the next phase of the work. The Contractor is to work with the Owner to establish final location of such items as clean-outs, electrical outlets, fixtures, panels, switches and security systems, telephone and cable TV jacks, etc.
- It is the intent of the Owner to have a total and complete project upon completion of the work. A general description of the work is as follows:
 - Provide for all general provisions as described in the General Conditions (AIA Document A201, 1987).
 - Provide complete materials and methods for building stake-out, site clearing, excavation backfill, final grading and drainage, and final clean-up.
 - Provide complete materials and methods for construction of the concrete footing and stem wall foundation, including testing and perimeter drainage systems and compacted fill underslabs as described on the drawings.
 - Provide complete materials and methods for rough carpentry, finish carpentry, and cabinet work, including all wood sheling, hardware, accessories, blocking, crowspace and attic access doors.
 - Provide complete materials and methods for roofing, and roof flashing, including eaves, ridge, and valley flashing, attic vents, and flashing of all mechanical/electrical roof penetrations.
 - Provide complete materials and methods for insulation, including R-19 batts in the exterior walls, R-40 batts in the roof, and a 6 mil plastic vapor barrier on the exterior walls and ceilings.
 - Provide complete materials and methods for attic ventilation as required by code.
 - Provide complete materials and methods for installation of the exterior synthetic stucco system equal to DriVet or R-wall systems.
 - Provide complete materials and methods for installation of doors and windows, including all necessary hardware, casing, thresholds, weather-stripping and exterior flashing.
 - Provide complete materials and methods for installation and finish of 5/8" gypsum wallboard, painting, and floor coverings.
 - Provide complete materials and methods for heating, cooling, exhaust, and plumbing systems as shown on the drawings and selected by the Owner, including utility connections and extensions from supply sources. Provide the Owner with a complete set of as-built drawings on each system and all operational/maintenance manuals and guarantees and warranties. The Owner will provide copies of the floor plan for preparation of the as-built drawings.
- Provide complete materials and methods for the electrical service and distribution system as shown on the drawings and selected by the Owner, including outlets, switches, lights, security system, telephone and cable TV jacks. All items and locations are to be as selected by the Owner. Coordinate all electrical service and wiring requirements with Mechanical Contractor. Provide a complete set of as-built drawings for the entire system. The Owner will provide a spec for preparation of the as-built drawings.
- Live Loads Used in Design:
 - Roof-----30 PSF
 - Floor-----40 PSF
 - Wind-----1988 UBC
 - Seismic-----Zone 1
 - Foundation design is based on an assumed allowable soil bearing capacity of 1,000 PSF.
 - A qualified Soils Engineer shall verify bearing capacity prior to any construction.
- Concrete:
 - All concrete shall develop 3000 PSI compressive strength in 28 days.
 - All reinforcing shall conform to ASTM A615, Grade 60, except dowels to slabs on grade may be Grade 40.
 - No splices of reinforcement shall be made, except as detailed or authorized by the Structural Engineer. Lap splices, where permitted, shall be a minimum of 36 bar diameters. Make all bars continuous around corners.
 - Stagger splices a minimum of 4'-0" for top and bottom continuous bars in foundations, unless otherwise shown or noted.
 - Detail bars in accordance with ACI Detailing Manual and ACI Building Code Requirements for Reinforced Concrete, latest editions.
 - Provide all accessories necessary to support reinforcing at positions shown on the drawings.
 - Place 2-#5 (one each face) with 2'-0" projection around all openings in concrete, unless otherwise shown or noted.
 - All construction joints shall be as detailed or as approved.
- Wire fabric reinforcement must lap one full mesh +2" at side and end laps and shall be tied together and all fabric is to be supported on chairs.
- Steel:
 - All structural steel shall conform to ASTM A36, except pipe columns which shall conform to ASTM A53 (Grade B) or A501, latest editions.
 - Structural steel shall be detailed and fabricated in accordance with latest provisions of the AISC Manual of Steel Construction.
 - All welders shall have evidence of passing the AWS Standard Qualification Tests.
 - Use 3/4" diameter bolts (A307 or welded equivalent) for all connections, unless otherwise shown or noted.
 - See drawings for nailer holes or other holes required in steel members.
- Wood:
 - All joists, rafters, beams, and headers 2 to 4 inches thick shall be Douglas Fir-Larch No. 2 and better with Fb = 1,250 PSI and E = 1,700,000 PSI.
 - Studs and plates shall be Douglas Fir-Larch in stud grade with Fb = 800 PSI and E = 1,500,000 PSI.
 - All trusses are to be pre-engineered by the supplier. Provide shop drawings for approval prior to ordering.

SYSTEMS NOTES

WALL SYSTEMS

- | | |
|--|---|
| W-1 5/8" GWB
2x4 STUD
5/8" GWB | W-3 2x6 STUD
1/2" GYP. SHEATHING
1 1/2" FOAM
STUCCO FINISH - TO MATCH EXISTING |
| W-2 5/8" GWB
2x6 STUD
6" INSULATION
1/2" GYP. SHEATHING
1 1/2" FOAM
STUCCO FINISH - TO MATCH EXISTING | W-4 STUCCO FINISH - TO MATCH EXISTING
1 1/2" FOAM
2x6 STUD
1/2" GYP. SHEATHING
1 1/2" FOAM
STUCCO FINISH - TO MATCH EXISTING |

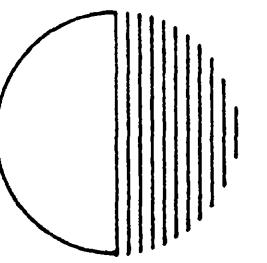
CEILING SYSTEM

- C-1 PRE-ENGINEERED TRUSSES
1/2" GWB

ROOF SYSTEM

- R-1 ASPHALT SHINGLES - TO MATCH EXISTING
ROOFING PAPER
1/2" PWD SHEATHING
PRE-ENGINEERED TRUSSES

SET NO.



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PROJECT PHASE

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APPROVED BY:

PROJECT NO. 9302

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TIME ISSUED: 08:48

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SCALE: FULL

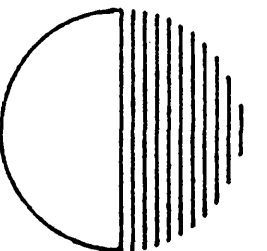
SHEET SIZE: 36x24

GRAND JUNCTION #14
FIRE STATION #14
ADDITION

SHEET NO.

T1

OF 1



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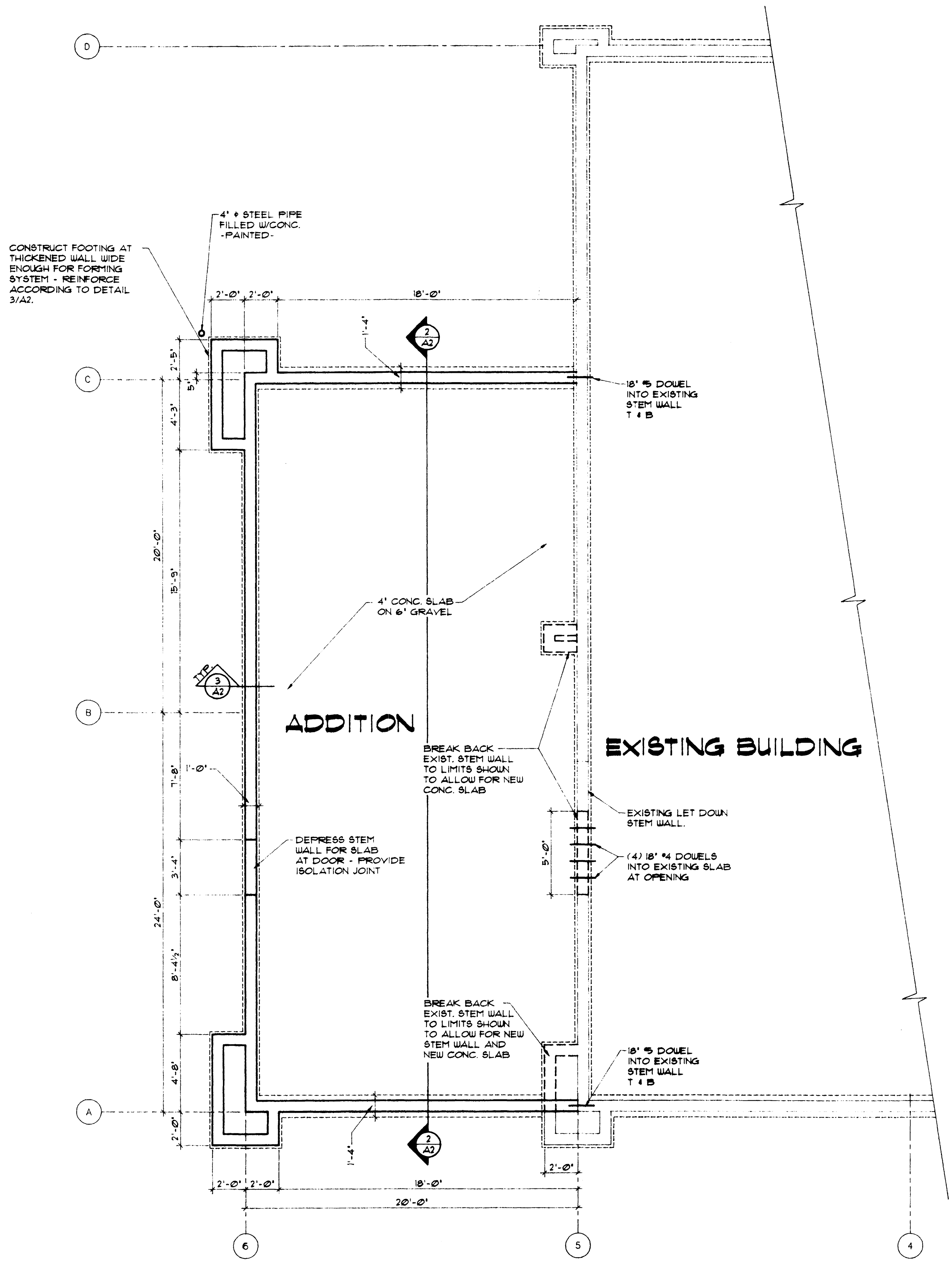
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GRAND JUNCTION,
CO. 81501
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(303) 245-7437 (FAX)

PROJECT PHASE
CD
APPROVED BY

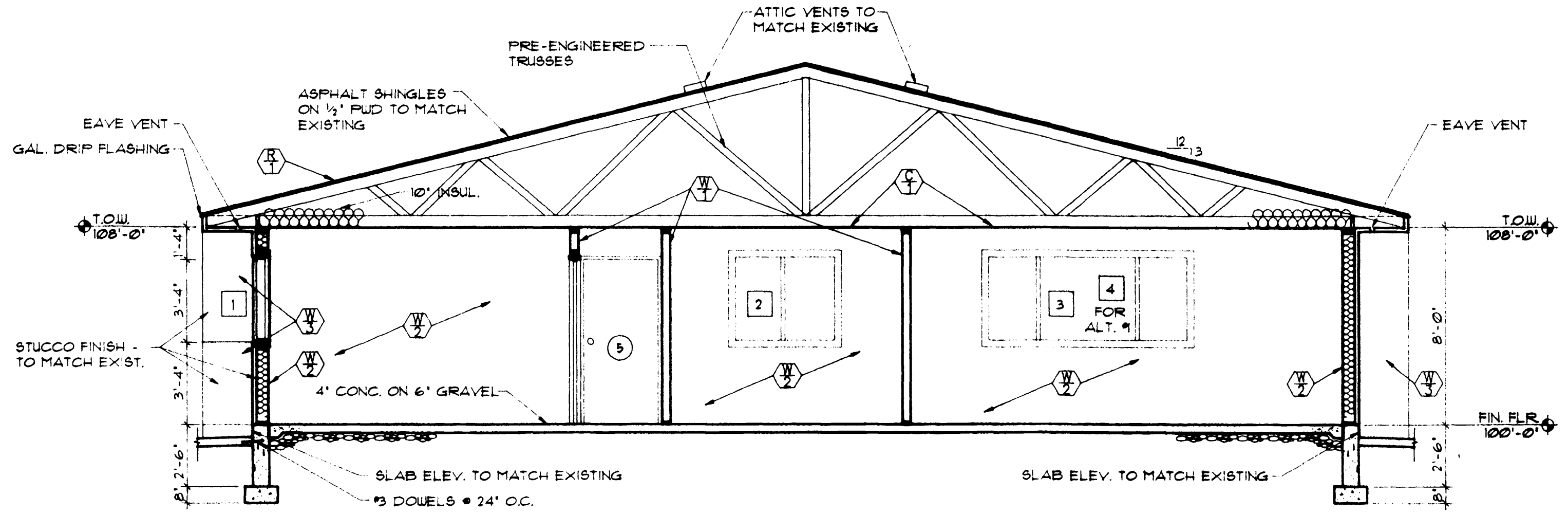
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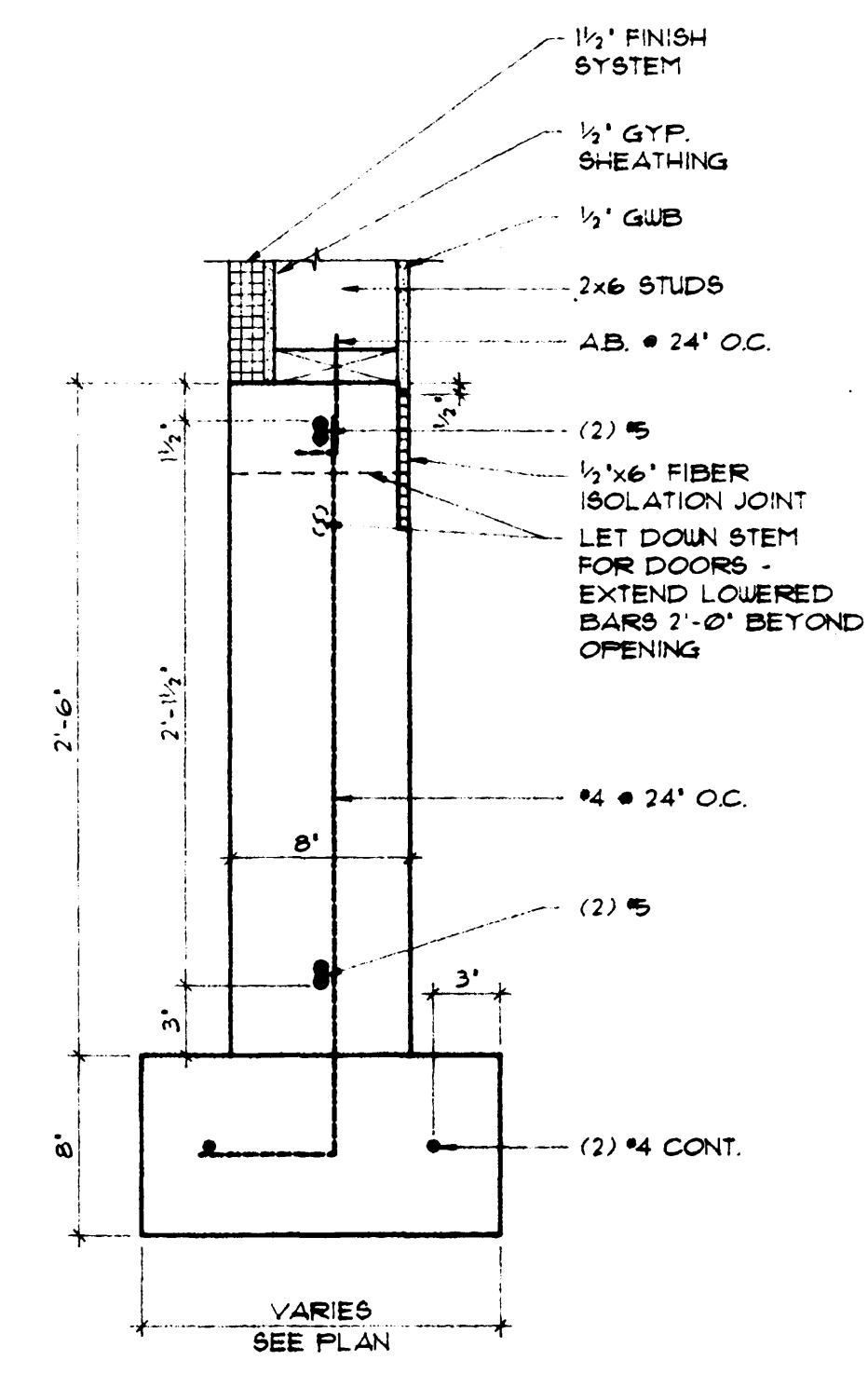
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A2
OF 5



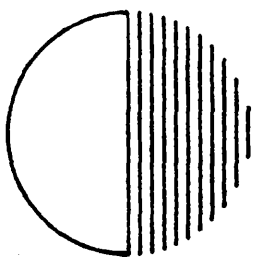
1 FOUNDATION PLAN
A2 SCALE: 1/4"=1'-0"
NORTH



2 BUILDING SECTION
A2 SCALE: 1/4"=1'-0"



3 FOOTING/STEM TYP.
A2 SCALE: 1/2"=1'-0"



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PROJECT PHASE

CD

APPROVED BY:

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TIME ISSUED: 16:18

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GRAND JUNCTION #14
FIRE STATION #14
ADDITION

SHEET NO.

A3

OF 5

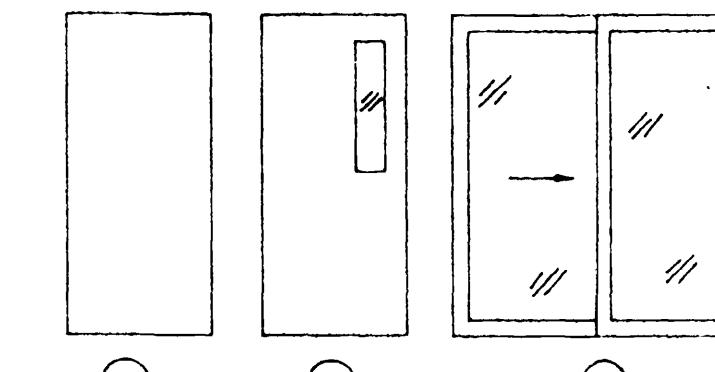
FINISH SCHEDULE							
NAME	MARK	WALLS	N	S	E	FLOOR	CLG. CLG. HT.
HALL	100	1	1	2	1	CPT/V.B.	C1 8'-0"
EXERCISE	101	1	1	2	1	CPT/V.B.	C1 8'-0"
LIBRARY	102	1	1	1	1	CPT/V.B.	C1 8'-0"
HALL	103	1	1	1	1	CPT/V.B.	C1 8'-0"
DORM 4	104	1	1	1	1	CPT/V.B.	C1 8'-0"
DORM 3	105	1	1	2	1	CPT/V.B.	C1 8'-0"
DORM 2	106	1	1	1	1	EX. CPT/V.B.	C2 8'-0"
DORM 1	107	1	1	1	1	EX. CPT/V.B.	C2 8'-0"
HALL	108	3	3	1	1	EX. CPT/V.B.	C2 8'-0"

1. PAINTED GYP. BD.
2. EXISTING STUCCO PAINTED
3. EXISTING

- C1. PAINTED GYP. BD.
- C2. EXIST. PATCH AND PAINT TO MATCH
- VB. VINYL BASE ON NEW WALLS
- CPT. NEW CARPET TO MATCH EXIST.

DOOR SCHEDULE							
MARK	SIZE	DOOR TYPE	MAT. TYPE	FRAME TYPE	HARDWARE	REMARK	
1	3'x6'	A	SC WD.	HM	LL		
2	3'x6'	A	SC WD.	HM	LL		
3	3'x6'	A	SC WD.	HM	LL		
4	3'x6'	A	SC WD.	HM	LL		
5	3'x6'	A	HM	HM	HU 2	EXIST. RELOC.	
6	3'x6'	A	SC WD.	HM	LL		
7	3'x6'	B	HC WD.	HM	LN		
8	3'x6'	B	HC WD.	HM	LN		
A1	6'x6'	C	AL	AL	LL	ALTERNATE 1	

- LL = FUNCTION 'L' PRIVACY LOCK SET
 HU2 = REUSE EXISTING HARDWARE THRESHOLD
 LN = FUNCTION 'N' PASSAGE LOCK SET

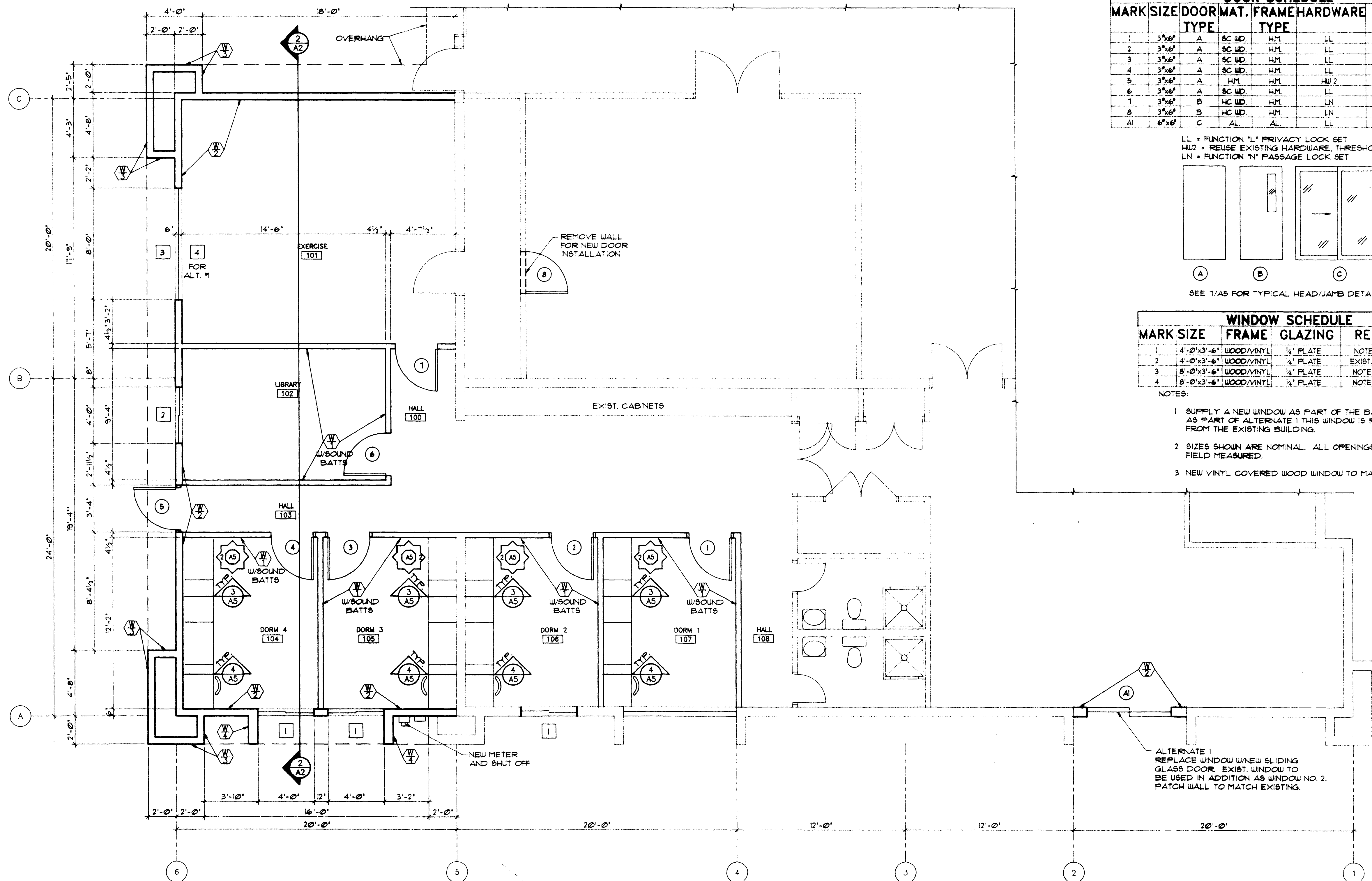


SEE T/A5 FOR TYPICAL HEAD/JAMB DETAIL

WINDOW SCHEDULE				
MARK	SIZE	FRAME	GLAZING	REMARK
1	4'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 3
2	4'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	EXIST. RELOC.
3	8'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 1,3
4	8'-0"x3'-6"	WOOD/VINYL	1/4" PLATE	NOTE 1,3

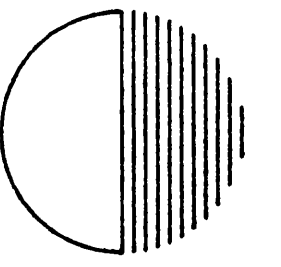
NOTES:

1. SUPPLY A NEW WINDOW AS PART OF THE BASE BID. AS PART OF ALTERNATE 1 THIS WINDOW IS RELOCATED FROM THE EXISTING BUILDING.
2. SIZES SHOWN ARE NOMINAL. ALL OPENINGS SHALL BE FIELD MEASURED.
3. NEW VINYL COVERED WOOD WINDOW TO MATCH EXISTING.



1 FLOOR PLAN
A3 SCALE: 1/4"=1'-0"

--- DENOTES ITEM TO BE DEMOLISHED
 --- DENOTES ITEM OVERHEAD



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PROJECT NAME

CD

APPROVED BY:

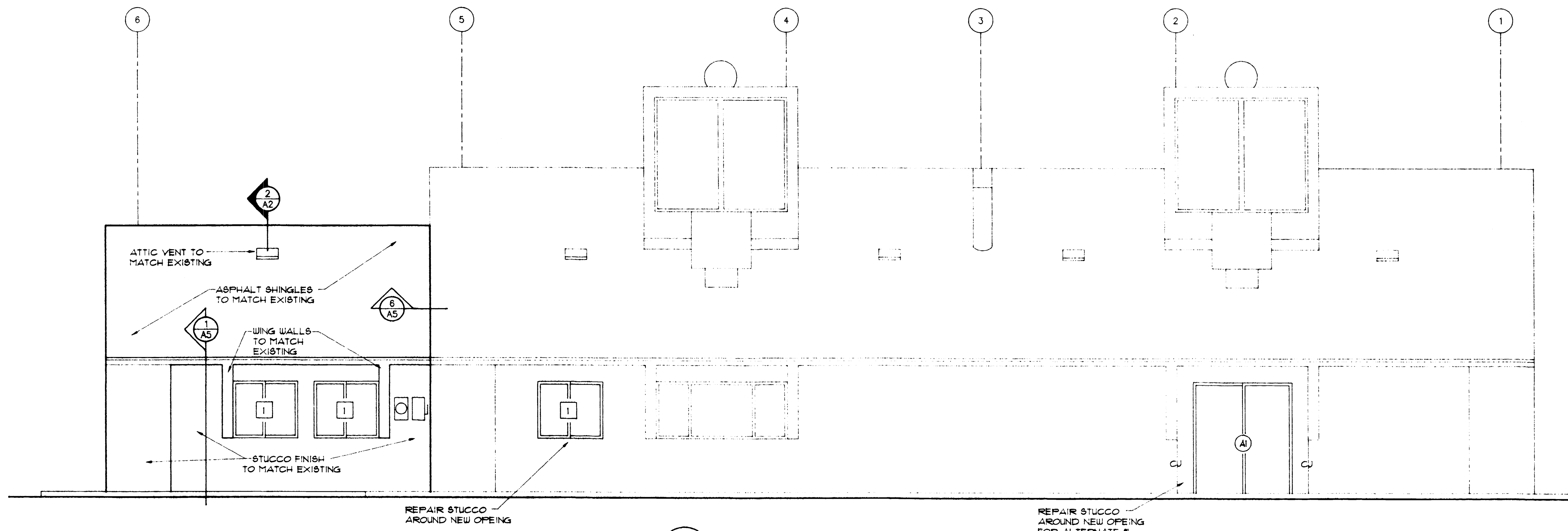
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SHEET SIZE: 36x24

GRAND JUNCTION
FIRE STATION #14
ADDITION

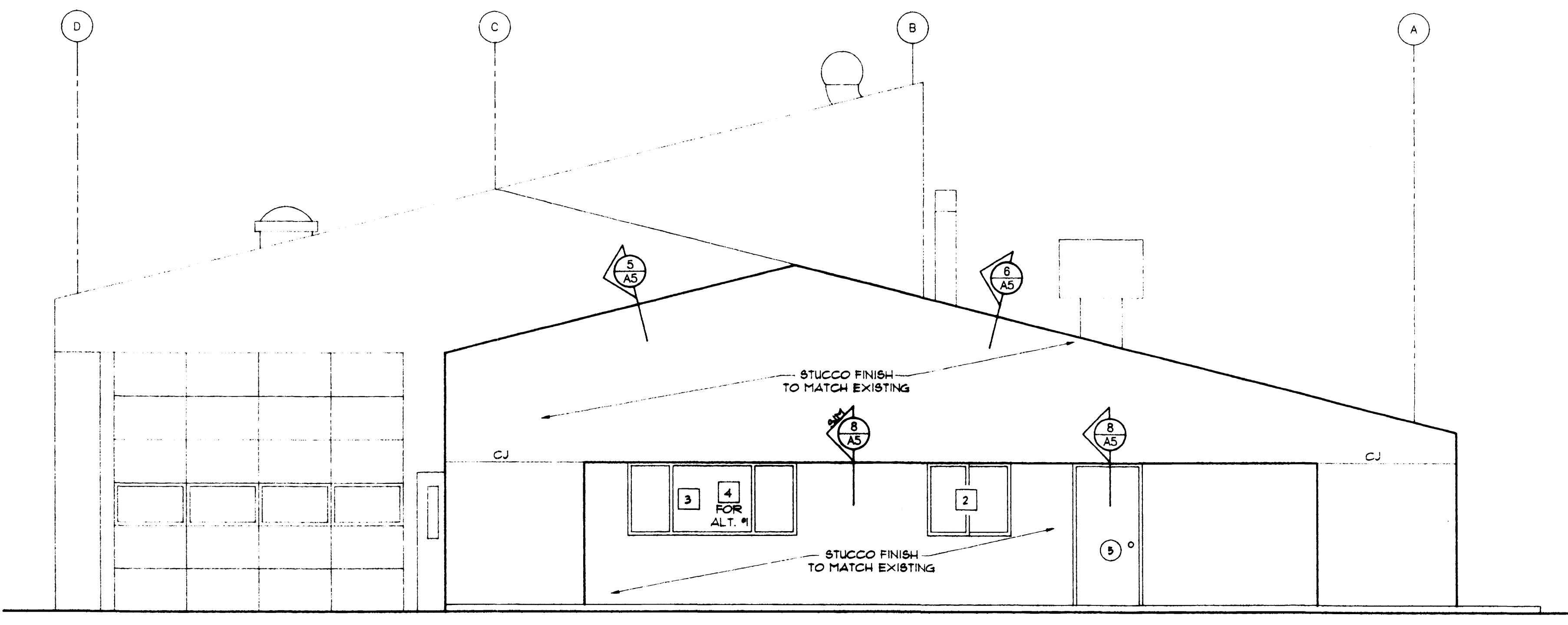
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A4

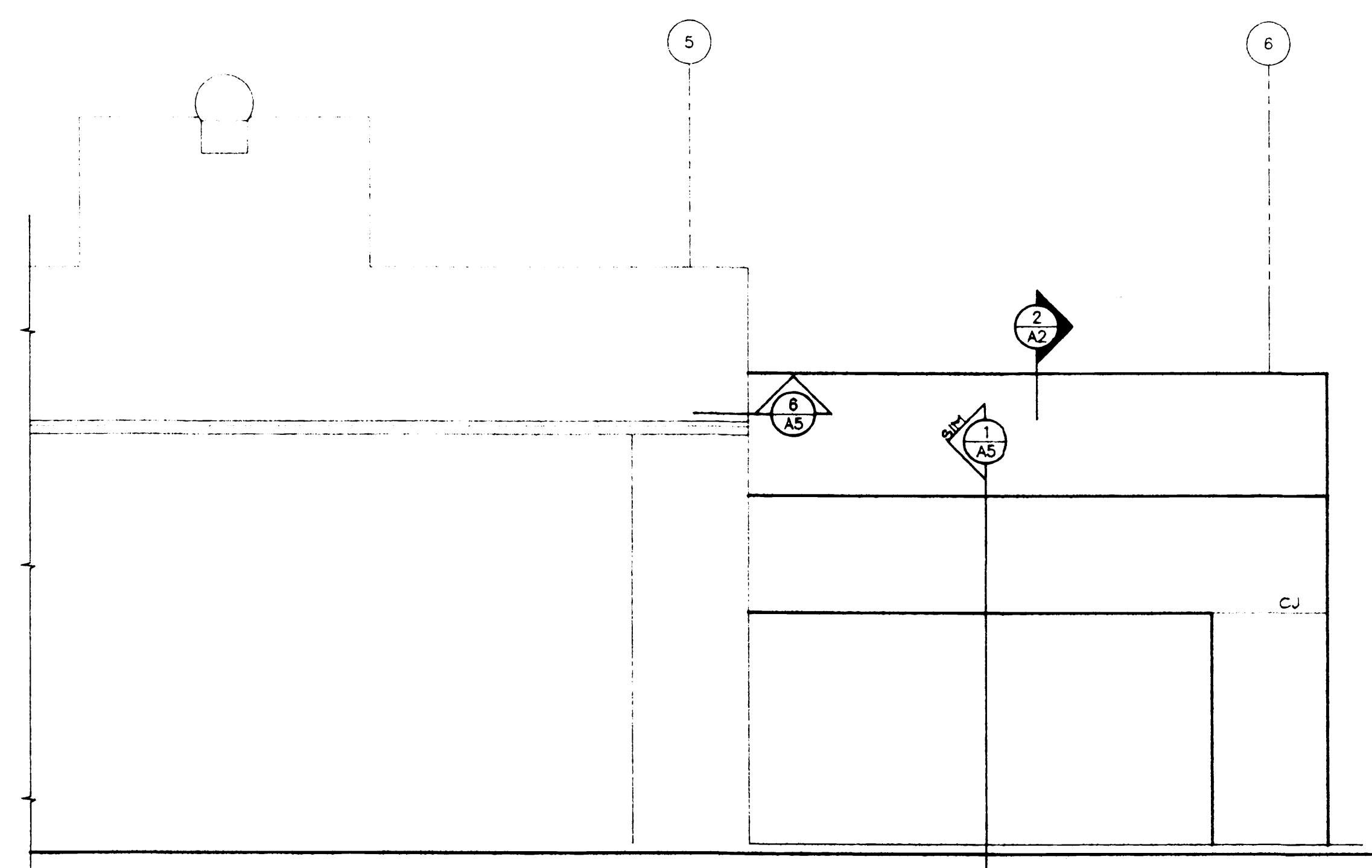
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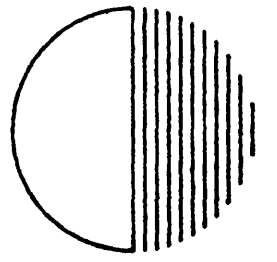
1 SOUTH ELEVATION
A4 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
A4 SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
A4 SCALE: 1/4"=1'-0"



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ARCHITECTURE AND FACILITY MANAGEMENT

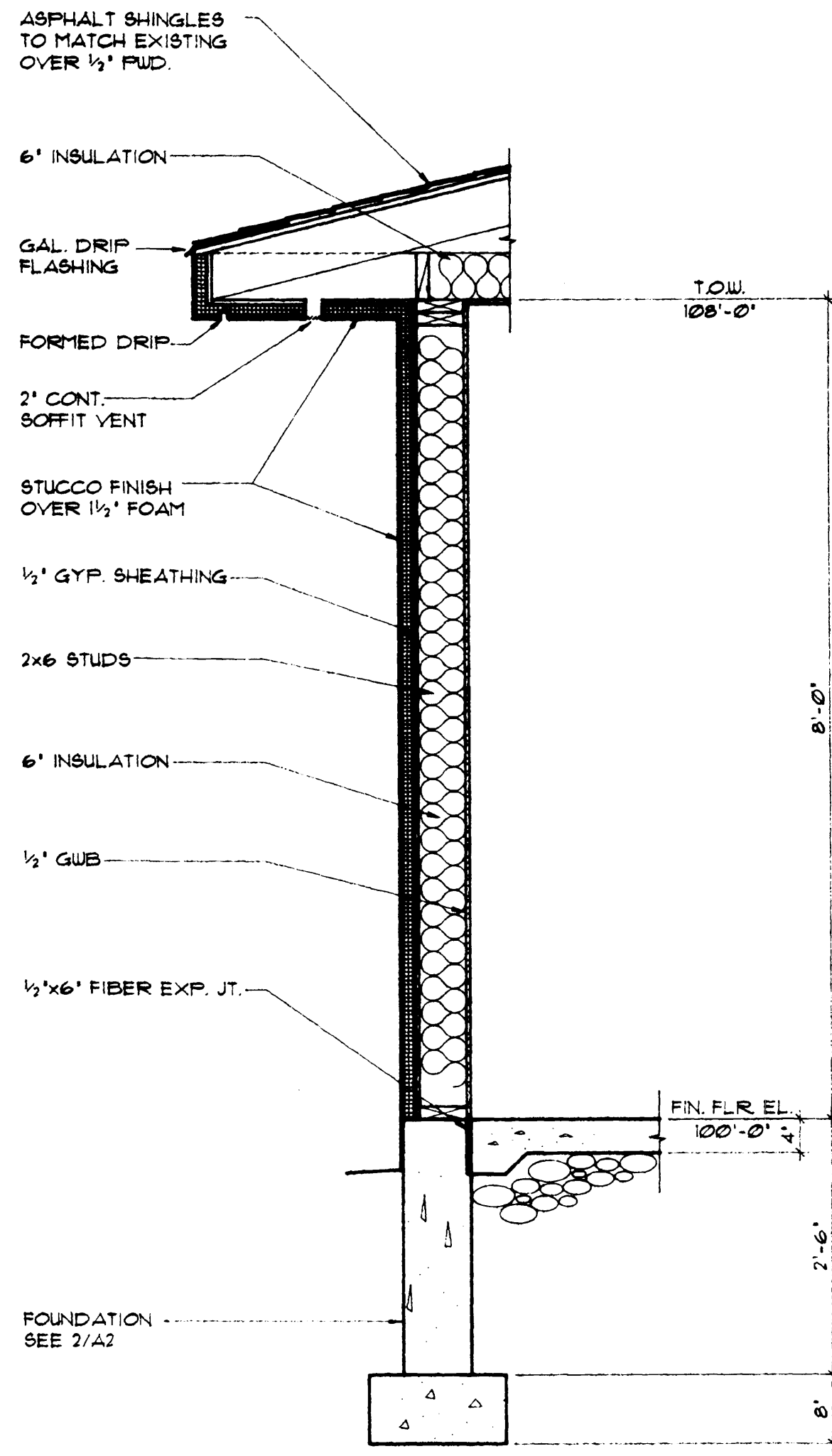
804 GRAND AVENUE
GRAND JUNCTION,
CO. 81501
(303) 245-7383
(303) 245-7437 (FAX)

PROJECT PHASE

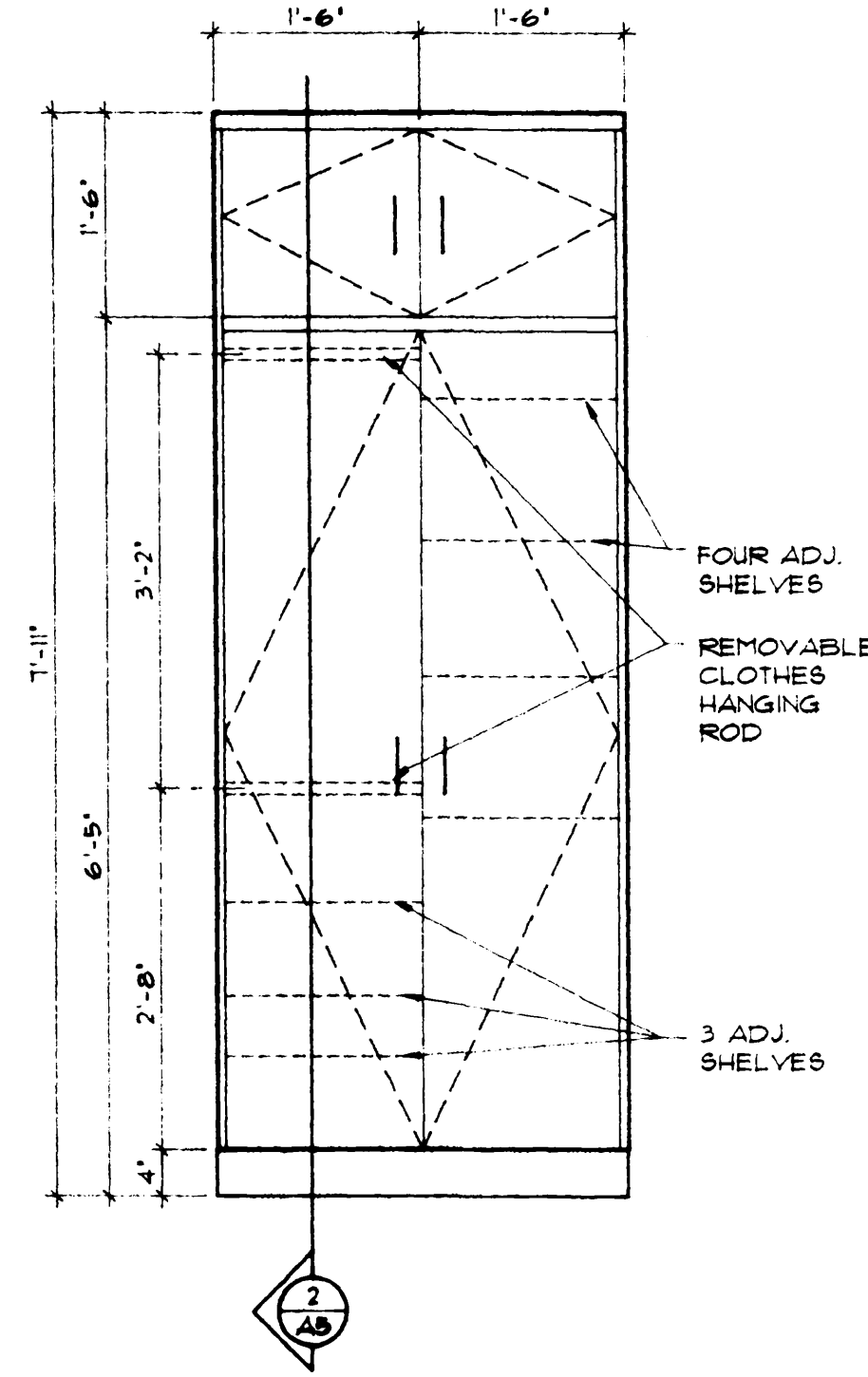
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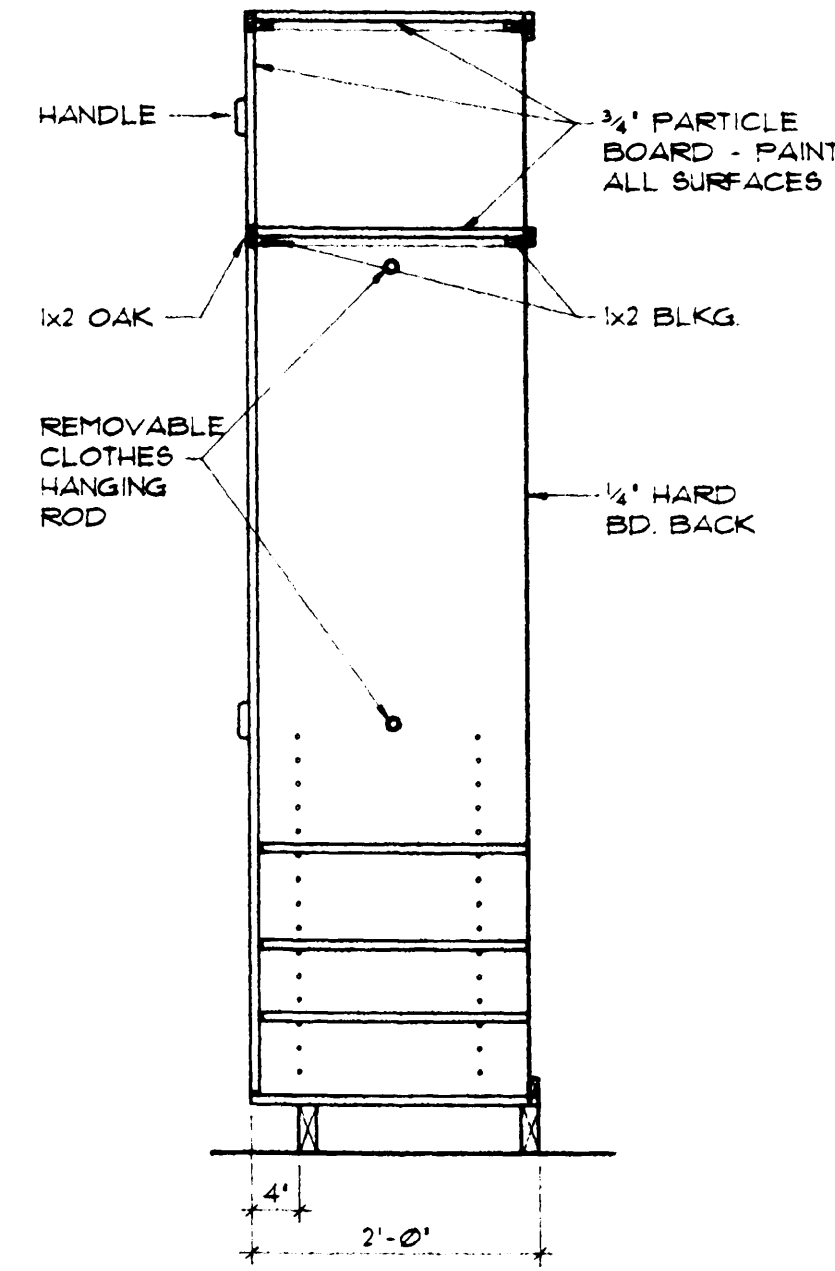
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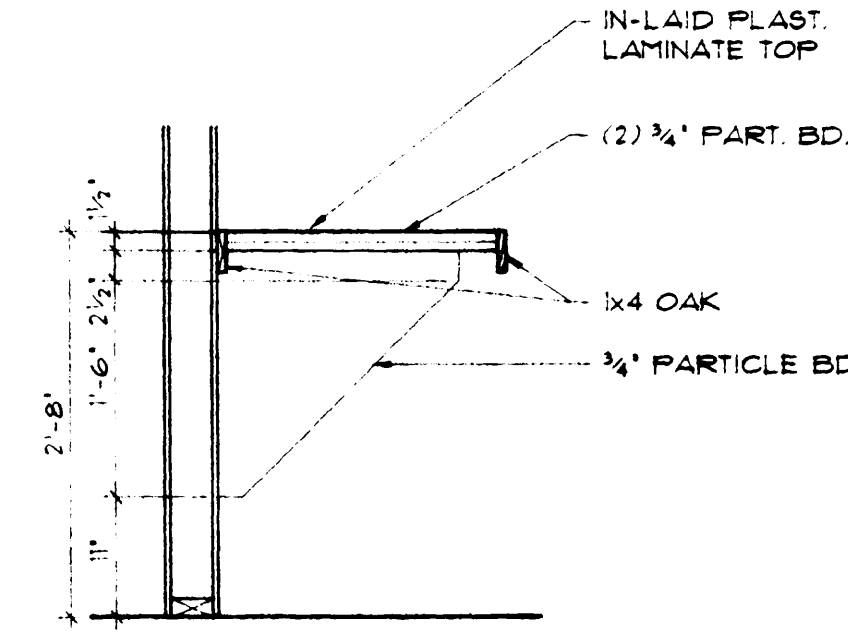
1 TYPICAL WALL SECTION
A5 SCALE: 3/4" = 1'-0"



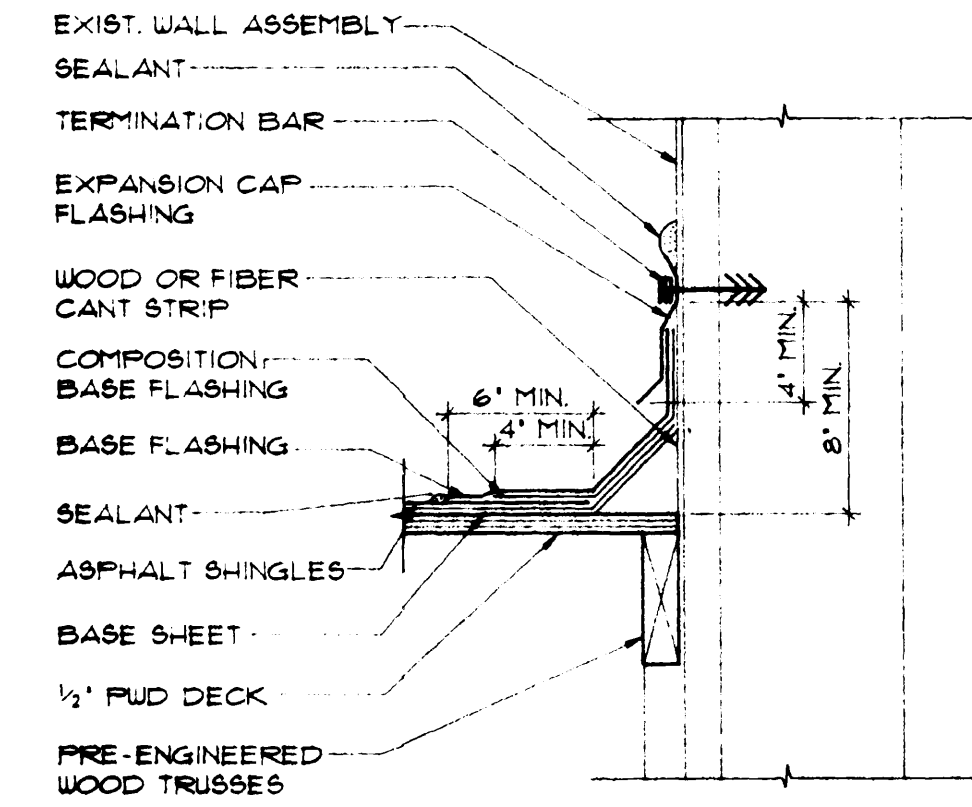
2 CABINET ELEVATION
A5 SCALE: 3/4" = 1'-0" 3 # EA. DORM



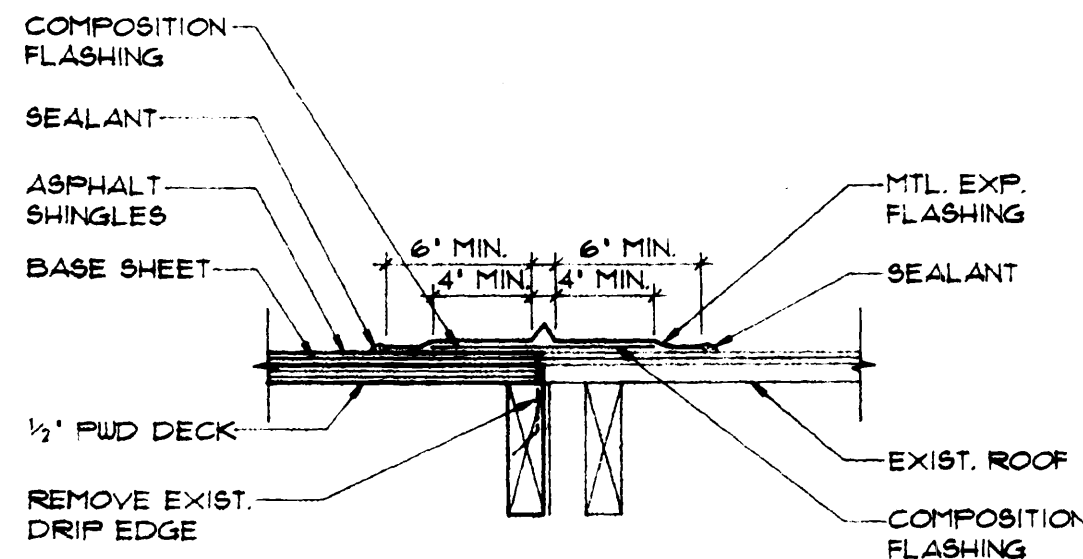
3 CABINET SECTION
A5 SCALE: 3/4" = 1'-0"



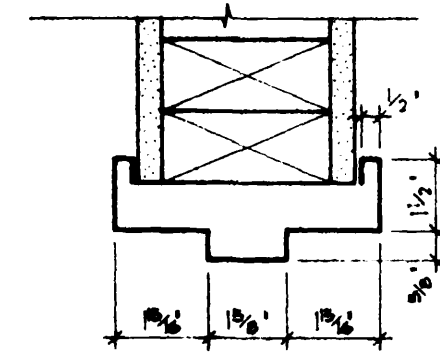
4 DESK SECTION
A5 SCALE: 3/4" = 1'-0"



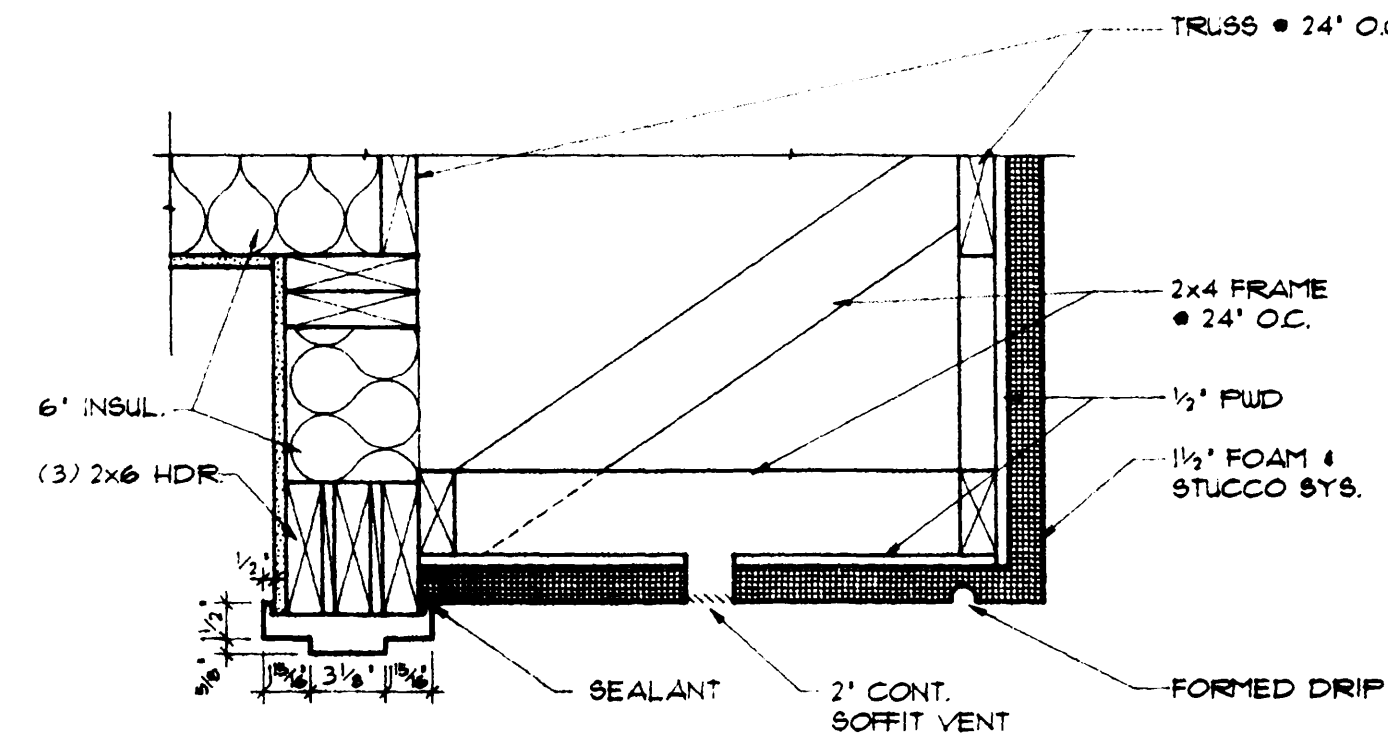
5 ROOF/WALL DETAIL
A5 SCALE: 1 1/2" = 1'-0"



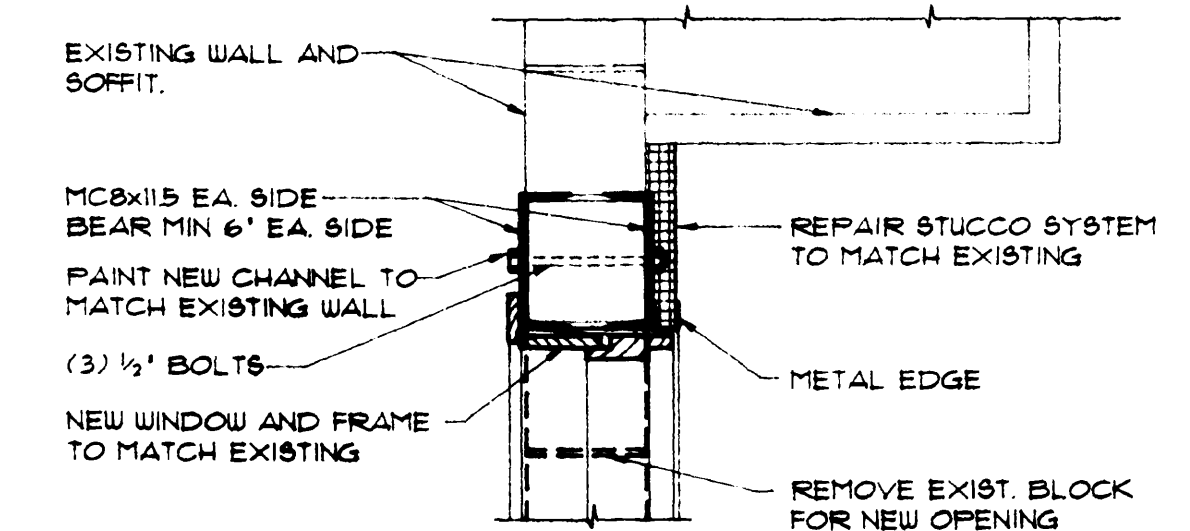
6 NEW/EXIST. ROOF DETAIL
A5 SCALE: 1 1/2" = 1'-0"



7 TYP. HEAD/JAMB
A5 SCALE: 3" = 1'-0"



8 EXT. DOOR HEAD DETAIL
A5 SCALE: 1 1/2" = 1'-0"



NOTE:
SAW CUT IN HORIZONTAL FLANGES OF CHANNEL BEARING 6" MINIMUM ON EACH SIDE. REMOVE BLOCK FOR NEW OPENING AFTER CHANNELS HAVE BEEN INSTALLED.

9 HEADER DETAIL AT NEW WINDOW
A5 SCALE: 1" = 1'-0"

GRAND JUNCTION
FIRE STATION #14
ADDITION

SHEET NO.

A5

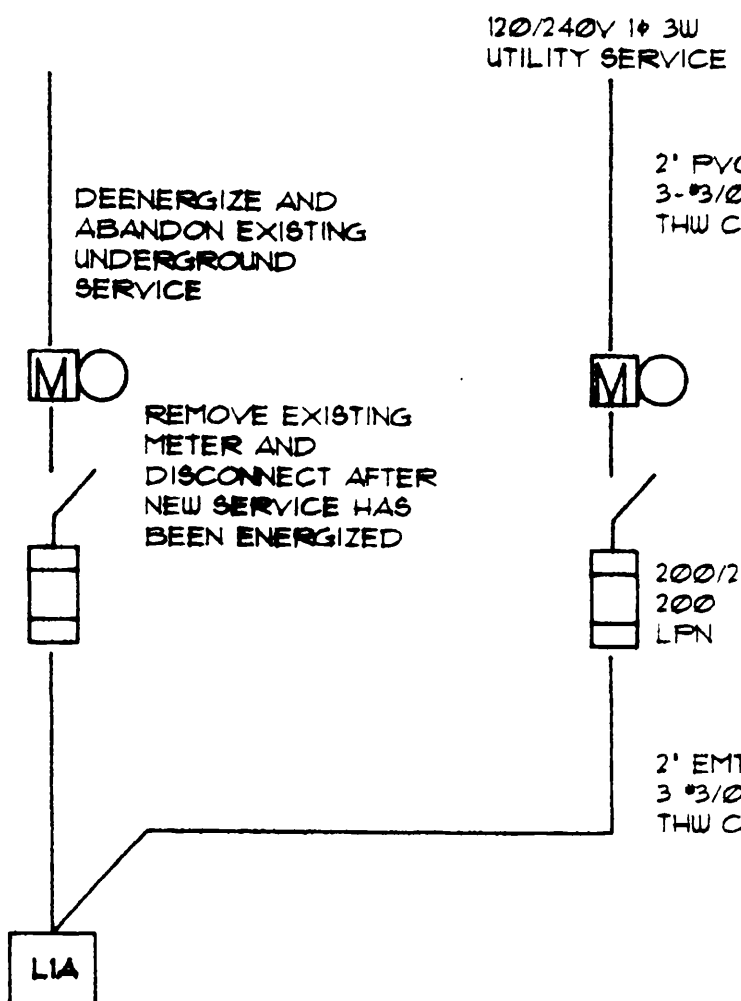
OF 5

DEMOLITION NOTES

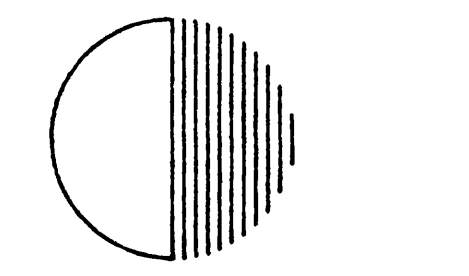
- D1 REMOVE AND DISCARD NON BATTERY SMOKE DETECTOR.
- D2 BLANK OFF EXISTING PHONE OUTLET AND ABANDON.
- D3 REMOVE EXISTING HPS DOWNLIGHT AND RETURN TO OWNER.
- D4 DISCONNECT AND REMOVE EXISTING HPS LIGHTING FIXTURE. CLEAN AND RELAMP FOR USE IN RECONSTRUCTION. MAINTAIN CIRCUIT INTEGRITY TO DOWNSTREAM FIXTURES.
- D5 DISCONNECT AND REMOVE EXISTING 2-LAMP FLUORESCENT WRAPAROUND LIGHTING FIXTURES. CLEAN AND RELAMP FOR USE IN NEW CONSTRUCTION.
- D6 DISCONNECT, REMOVE AND DISCARD MAP LIGHT, AND EMERGENCY EGRESS LIGHT.
- D7 REMOVE EXISTING CONVENIENCE OUTLET. BACKFEED ANY OTHER DEVICES MADE INOPERABLE BY THIS DEMOLITION.
- D8 REMOVE EXISTING MAIN ELECTRICAL POWER SWITCH AND METER WORK TO BE DONE AFTER NEW METER AND DISCONNECT HAVE BEEN INSTALLED ON ADDITION AND PANEL LPI IS BACK FED.
- D9 DE-ENERGIZE EXISTING UNDER GROUND POWER SERVICE AND ABANDON IN PLACE.
- D10 NEW DOOR TO BE CUT THRU THIS WALL. REWORK COMPRESSOR BRANCH CIRCUIT AND ANY OTHER CIRCUITS DISTURBED BY THIS DEMOLITION TO MAINTAIN POWER TO ALL DOWNSTREAM DEVICES.
- D11 ALTERNATE 1 WINDOW AND WALL TO BE DEMOLISHED FOR NEW GLASS DOOR. REWORK ANY ELECTRICAL CIRCUITS DISTURBED BY THIS DEMOLITION TO MAINTAIN POWER TO ALL DOWNSTREAM DEVICES.

LIGHTING FIXTURE SCHEDULE

- A EXISTING 2 LAMP FLUORESCENT SURFACE WRAPAROUND. CLEAN AND RELAMP. LAMPS TO BE GE F40SP35.
- AI LIKE A EXCEPT NEW - LITHONIA 15C-240A-120
- B WALL MOUNTED UP/DOWN FLUORESCENT WITH ROCKER SWITCH - ALKCO 9126-RSW WITH GE 20T12/SPES LAMP.
- C MONOPOINT TRACK FIXTURE - PRESCOLITE 1101/T35 WITH SYLVANIA 55PAR16/CAP/NSP LAMP AND DIMMER. MOUNT AT 52" AFF.
- D CEILING FLUORESCENT WITH WHITE TRANSLUCENT DIFFUSER - LIGHTOLIER 5003 WITH GE F13BX/SPX35 LAMPS.
- K EXISTING HPS RECESSED DOWNLIGHT. CLEAN AND RELAMP.



3 ONE LINE DIAGRAM
E1 NO SCALE



DILLON-HUNT P.C.
ARCHITECTURE AND FACILITY MANAGEMENT

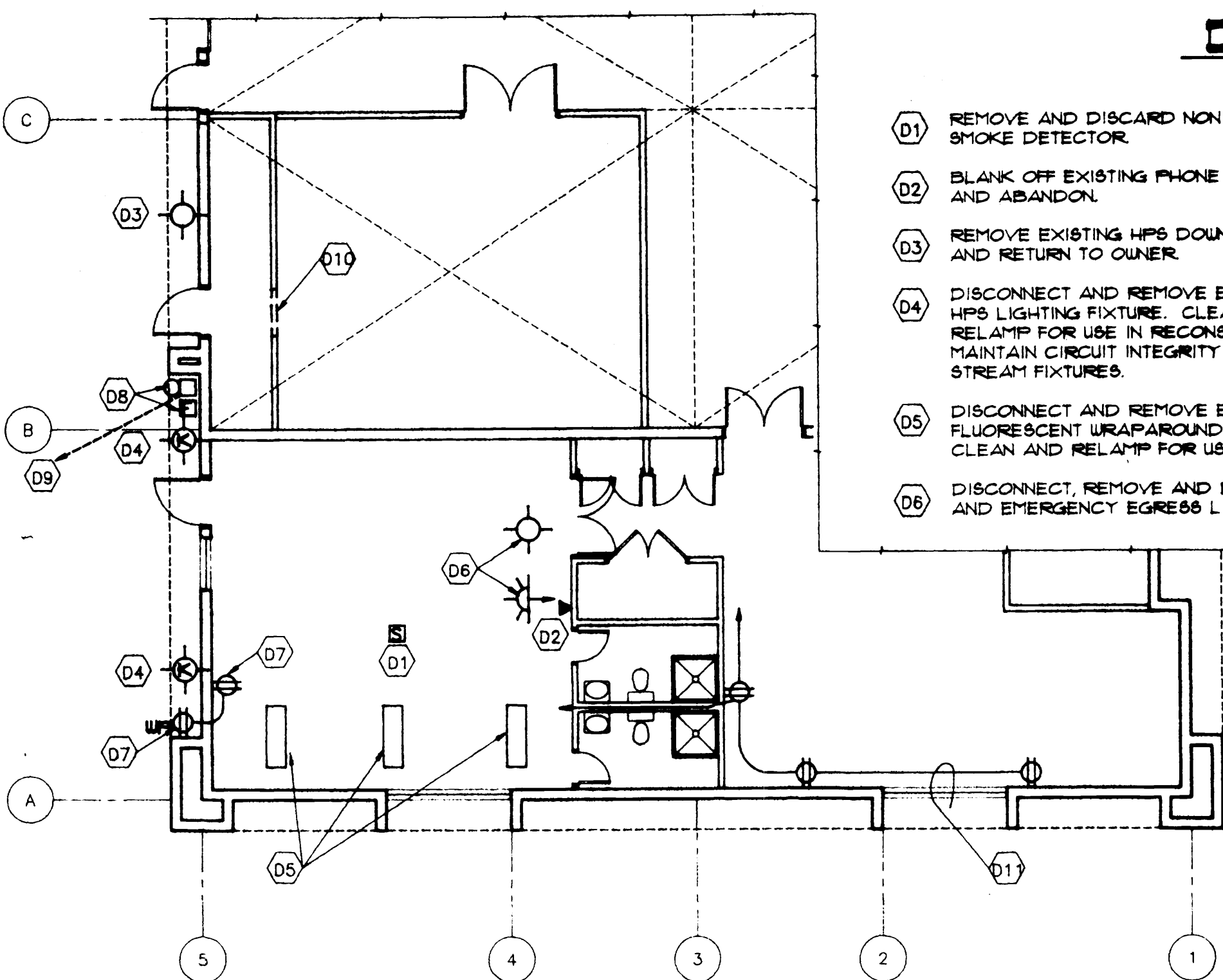
804 GRAND AVENUE
GRAND JUNCTION,
CO. 81501
(303) 245-7383
(303) 245-7437 (FAX)

PROJECT PHASE
CD
APPROVED BY:

PROJECT NO. 9302
DATE ISSUED: 04-07-93
TIME ISSUED: 09:32
DRAWN BY: BAM
SCALE: 1/8"=1'-0"
SHEET NO.: 36x24

GRAND JUNCTION #14
FIRE STATION #14
ADDITION

SHEET NO.
E1
OF 1



1 ELEC./SYSTEM DEMO. PLAN
E1 SCALE: 1/4"=1'-0"
NORTH

LEGEND

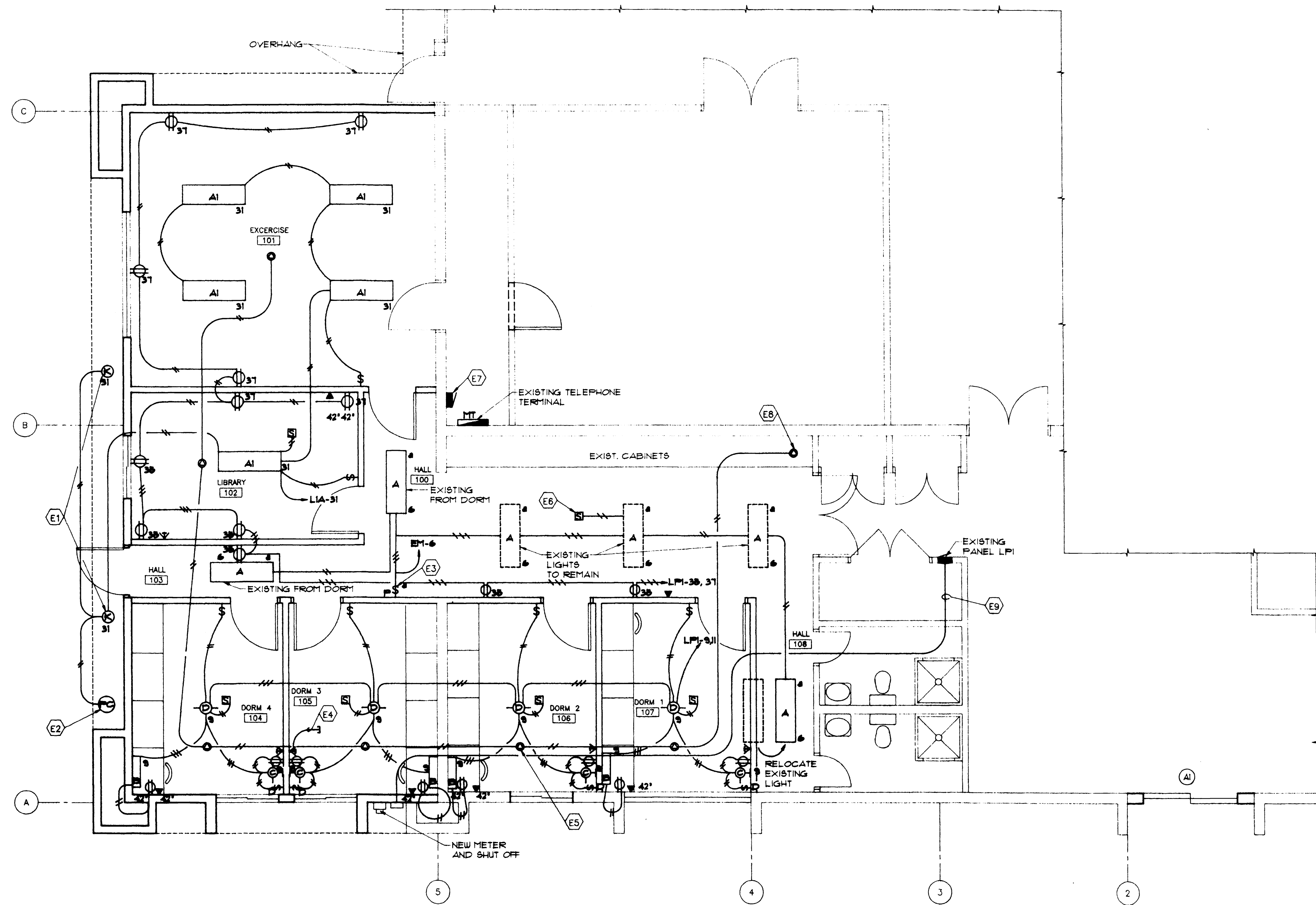
- FLUORESCENT LIGHT FIXTURE
A = DESIGNATION
- DUPLEX RECEPTACLE
MH = 18" AFF.
- TV OUTLET
MH = 18" AFF.
- CEILING SPEAKER
- SMOKE DETECTOR
- SWITCH
P = MOTION
D = DIMMER
- TELEPHONE JACK
- FLUORESCENT OR HID LIGHT FIXTURE
A = DESIGNATION

GENERAL NOTES

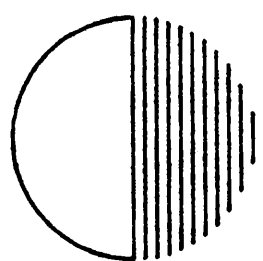
- PROVIDE STEPDOWN TRANSFORMER AND WIRE THERMOSTATS AND HEATING VALVES SHOWN ON MECHANICAL PLANS.
- ALL POWER WIRING SHALL BE RUN IN CONDUIT. SIGNAL WIRING MAY BE RUN OPEN IN THE ATTIC.
- WIRING DEVICES SHALL BE IVORY, COMMERCIAL SPECIFICATION GRADE

RECONSTRUCTION NOTES

- E1 RELOCATE EXISTING FIXTURES HERE.
- E2 PRECISION 15T-15 PHOTO CELL
- E3 LEVITON 16T115 MOTION SWITCH
- E4 STUB 3/4" EMT CONDUIT ABOVE CEILING. TYPICAL FOR PHONE AND TV OUTLETS. OWNER TO INSTALL CABLE AND JACKS.
- E5 TYPICAL SPEAKER: SOUNDOLIER 1C803 W/ UNIVERSAL TRANSFORMER. BAFFLE: SOUNDOLIER 1130-B. BACKBOX: SOUNDOLIER 1135-B
- E6 TYPICAL SMOKE DETECTOR - AC WITH BATTERY BACK-UP TANDEM WIRED
- E7 EXISTING EMERGENCY PANEL. INSTALL 20A 1P BREAKER IN LOCATION 6 FOR HALL LIGHTS
- E8 EXISTING SPEAKER. EXTEND WIRING TO NEW SPEAKERS THROUGH ATTIC USING WEXT PENN 1293 SPEAKER CABLE.
- E9 INSTALL NEW SERVICE TO EXISTING PANEL FROM NEW EXTERIOR LOCATION THROUGH ATTIC. DROP DOWN WALL IN BOILER ROOM AND ENTER PANEL AT BOTTOM THROUGH BACK OF CAN. SEE ONE LINE DIAGRAM.



1 ELEC./SYSTEM CONST. PLAN
E1 SCALE: 1/4"=1'-0"
NORTH



DILLON-HUNT P.C.

ARCHITECTURE AND FACILITY MANAGEMENT

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PROJECT PHASE

CD

APPROVED BY:

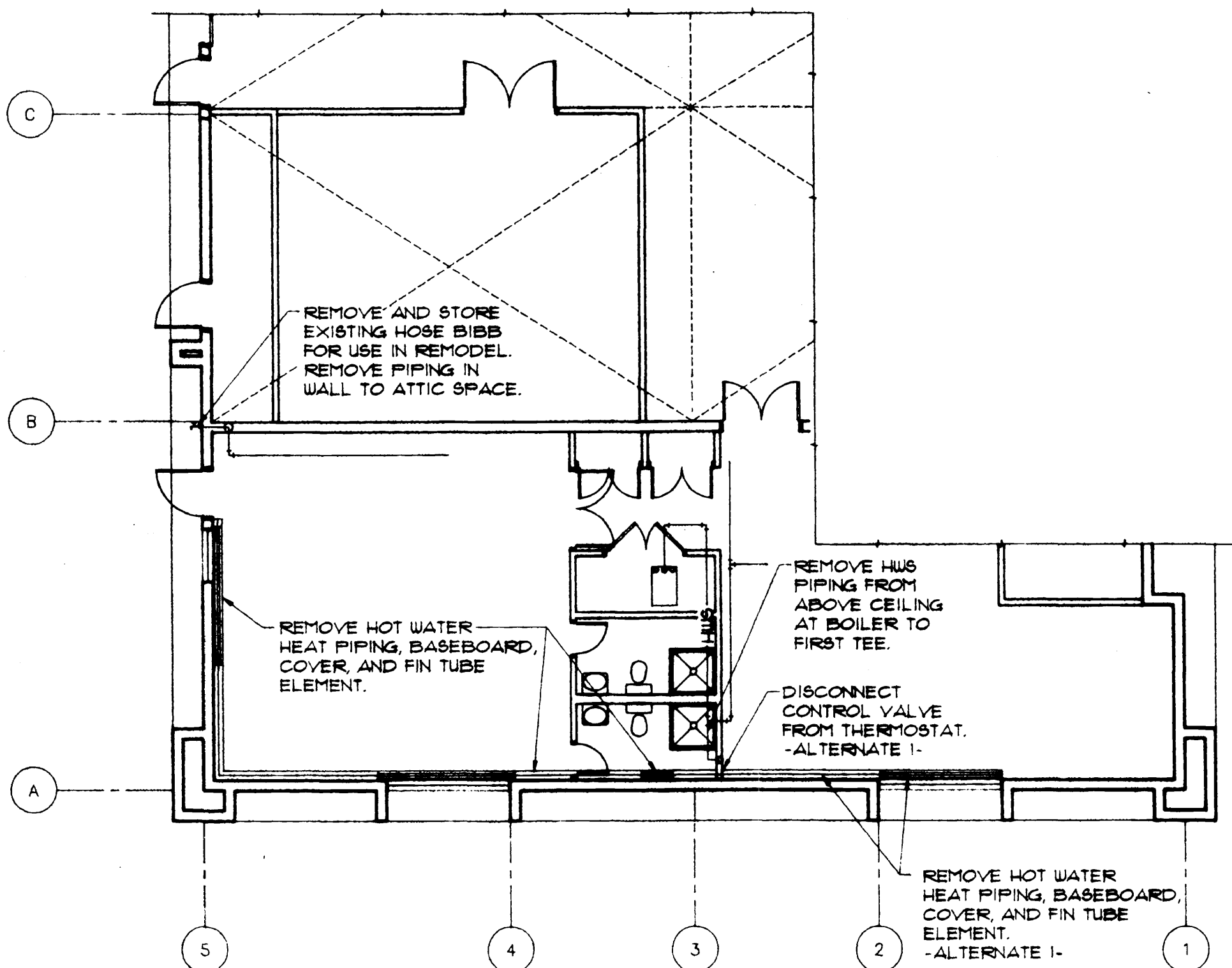
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DATE ISSUED: 04-08-93
TIME ISSUED: 09:46
DRAWN BY: BAM
SCALE: 1/8"=1'-0"
SHEET NO: 36x24

GRAND JUNCTION #14
FIRE STATION #14
ADDITION

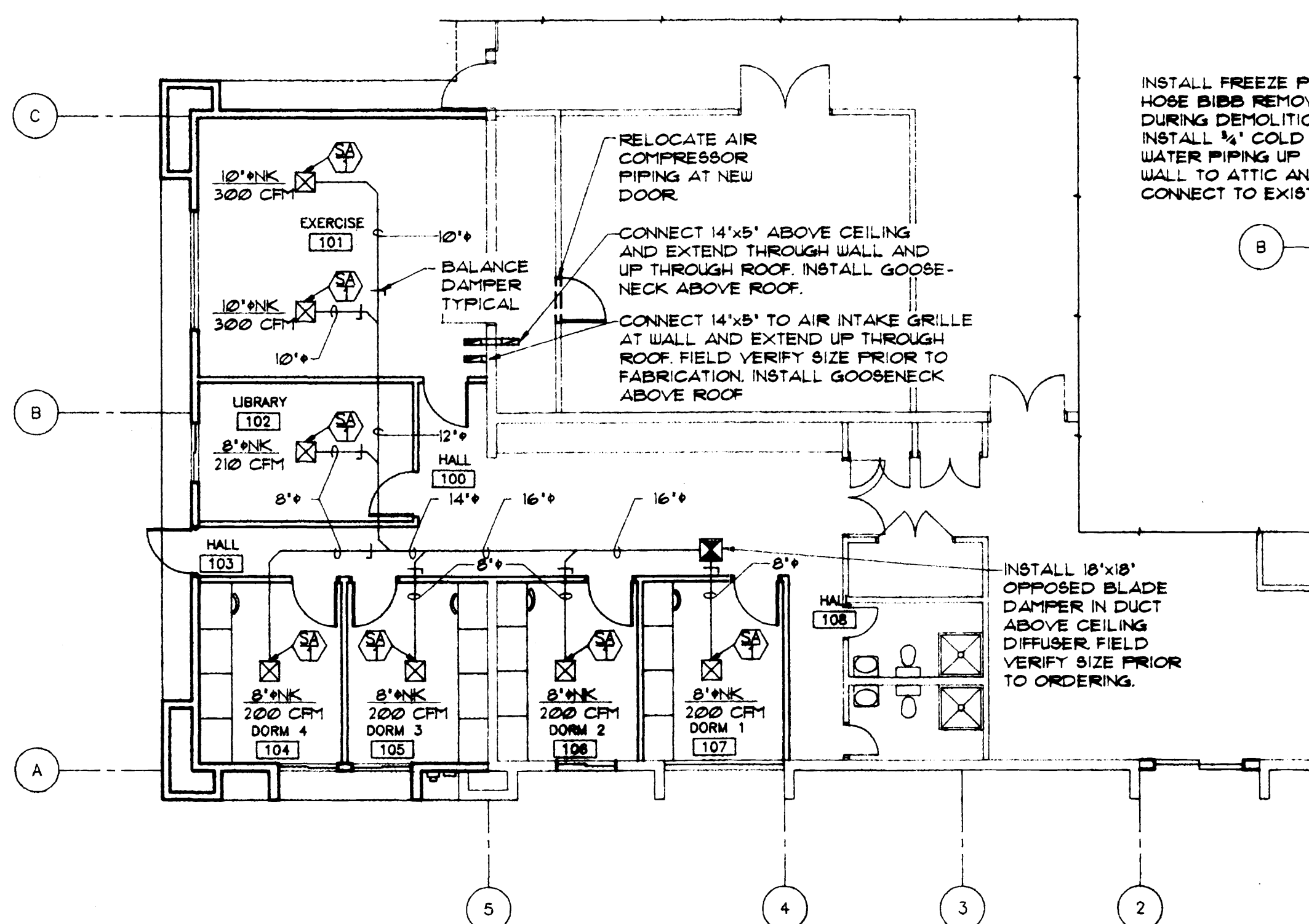
SHEET NO.

M1

OF 1



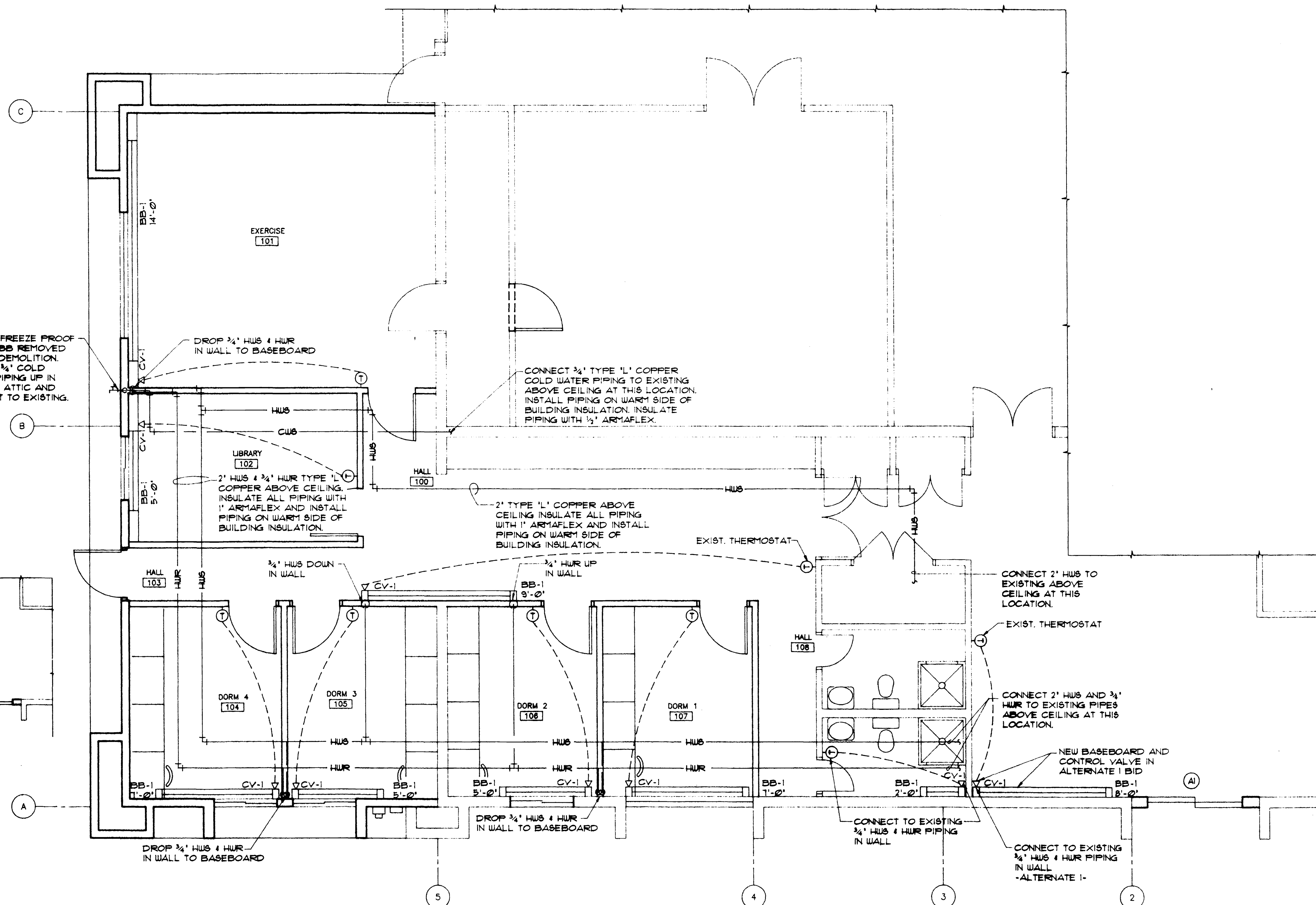
1 MECHANICAL DEMO. PLAN
M1 SCALE: 1/8"=1'-0"
NORTH



GENERAL NOTES

- 1 ALL ROUND DUCTWORK SHOWN SHALL BE SNAPLOK PIPE WITH SCREWED AND TAPED JOINTS.
- 2 SEAL ALL LONGITUDINAL BEAMS WITH DUCT TAPE.
- 3 INSTALL BALANCE DAMPERS AS SHOWN.

2 MECHANICAL CONST. PLAN
M1 SCALE: 1/8"=1'-0"
NORTH



3 PLUMBING CONST. PLAN
M1 SCALE: 1/8"=1'-0"
NORTH

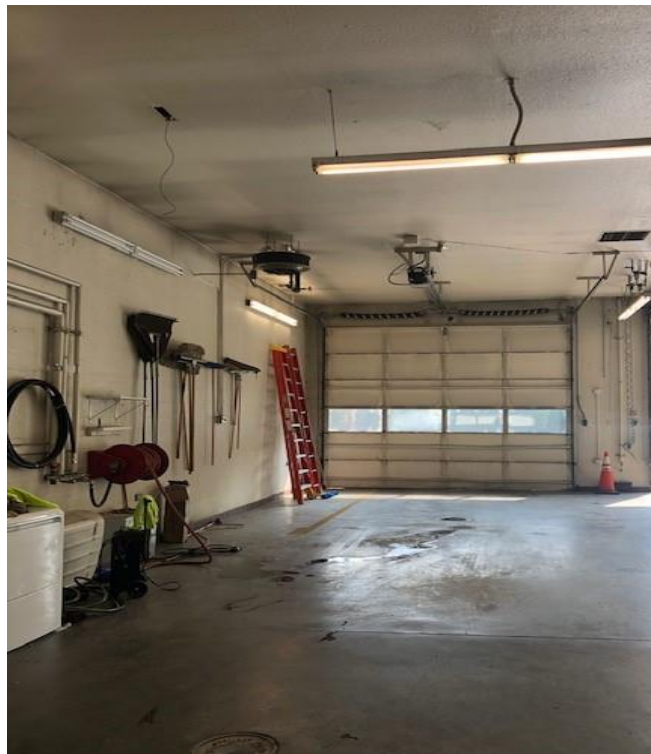
Attachment 2

Northwest Bay Door

Outside view



Inside view



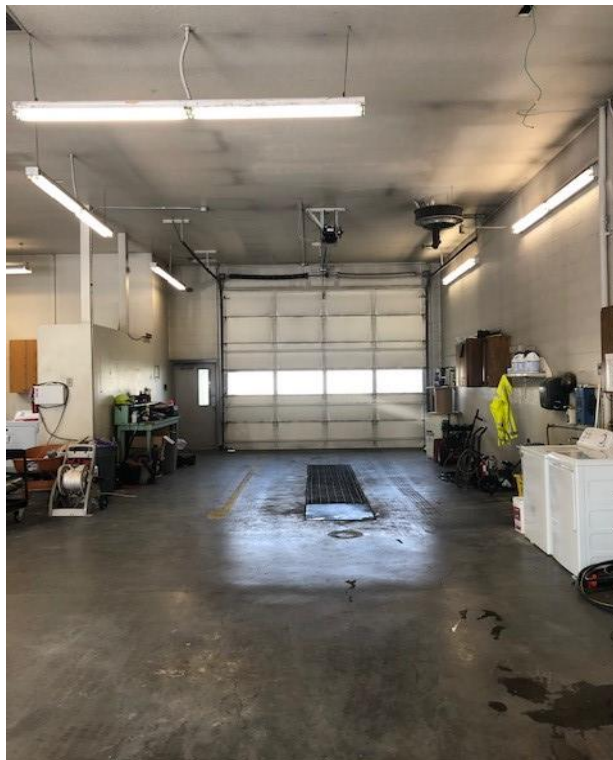
Attachment 3

Southwest Bay Door

Outside view



Inside view



Attachment 4

Trucks stored in the bay



2100 Plus

Combination Single Engine Dual Stage Sewer Cleaner with Hydrostatic Driven Vacuum System Mounted on a Heavy Duty Truck Chassis