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**PLANNING COMMISSION AGENDA
VIRTUAL MEETING VIA GOTOWEBINAR**

TUESDAY, JANUARY 12, 2021 @ 5:30 PM

This meeting will be conducted as a VIRTUAL MEETING

Due to current health precautions associated with COVID-19, the City of Grand Junction is providing alternative ways for residents to participate in public meetings. Information on ways the public can participate remotely in public meetings is below.

- Provide comment by 6pm on January 11th at www.GJspeaks.org or by emailing comdev@gjcity.org
- Comment by phone. Dial the telephone number **(970) 609-9688** and enter the four-digit code provided for each item. You can then leave a message, which will be submitted as a public comment both as an audio file and as text translation.
- Attend the meeting virtually by using the link below. Registration is required.

<https://attendee.gotowebinar.com/register/8428961003866142989>

For more information on how to participate virtually, visit

<https://www.gjcity.org/1023/Public-Participation-for-Virtual-Meeting>

Call to Order - 5:30 PM

Consent Agenda

1. Minutes of Previous Meeting(s) from December 1, 2020 and December 8, 2020.

Regular Agenda

1. Consider a request by the City of Grand Junction for a Rezone/Amendment to the Planned Development (PD) zone district and Outline Development Plan (ODP) for the Riverfront at Dos Rios, located on the northeast bank of the Colorado River between Highway 50 and Hale Avenue. | [Staff Presentation](#) | Phone-in comments dial **7549**

2. Consider a request by Mesa County Valley School District 51 to vacate a public alley right-of-way adjacent to five properties located at 520, 522, 538, 542 and 552 West Main Street and a public sewer easement located at 552 West Main Street. | **Application Withdrawn.**

Other Business

Adjournment

GRAND JUNCTION PLANNING COMMISSION
December 1, 2020 MINUTES
6:00 p.m.

The meeting of the Planning Commission was called to order at 6:00 p.m. by Chairman Andrew Teske.

Those present were Planning Commissioners; Chair Andrew Teske, Vice Chair Christian Reece, George Gatseos, Keith Ehlers, Ken Scissors, Sam Susuras, and Kim Kerk.

Also present were Jamie Beard (Assistant City Attorney), Tamra Allen (Community Development Director), David Thornton (Principal Planner), Lance Gloss (Senior Planner), and Isabella Vaz (Planning Technician).

The following attended the virtual meeting:

Sandra Weckerly
Ted Ciavonne
Sr. Karen Bland
Andrea Haitz

CONSENT AGENDA

Commissioner Reece moved to adopt Consent Agenda Item #1. Commissioner Scissors seconded the motion. The motion carried 7-0.

1. Minutes of Previous Meeting(s)

The Planning Commission reviewed the meeting minutes from the October 27, 2020 meeting.

REGULAR AGENDA

1. Comprehensive Plan Update 2020 **File # CPA-2019-60**

Consider a request by the City of Grand Junction to adopt the 2020 One Grand Junction Comprehensive Plan.

Staff Presentation

David Thornton, Principal Planner, introduced exhibits into the record and provided a presentation regarding the request.

Ivan Geer and Erin Nix, Comprehensive Plan Advisory Committee (CPAC) members, both made statements regarding the request.

Questions for Staff

Commissioner Susuras asked a question regarding Mesa County adopting the plan.

Commissioner Reece made a statement in support of the request.

Public Hearing

The public hearing was opened at 5 p.m. on Tuesday, November 24, 2020 via www.GJSpeaks.org.

No public comment was submitted or heard.

The public hearing was closed at 6:30 p.m. on December 8, 2020.

Applicant's Response

None.

Questions for Applicant or Staff

None.

Discussion

Commissioner Gatseos made a statement in support of the request.

Motion and Vote

Commissioner Susuras made the following motion, "Mr. Chairman, on the 2020 One Grand Comprehensive Plan request City file number CPA-2019-60, I move that the Planning Commission forward a recommendation of adoption to City Council with the findings of fact as listed in the staff report."

Commissioner Reece seconded the motion. The motion carried 7-0.

2. Other Business

Commissioner Scissors made a motion to move the public hearing start time to 5:30pm. Commissioner Reece seconded the motion. The motion carried 7-0.

3. Adjournment

Commissioner Reece moved to adjourn the meeting. Commissioner Gatseos seconded the motion. The meeting adjourned at 7:12 p.m.

GRAND JUNCTION PLANNING COMMISSION
December 8, 2020 MINUTES
6:00 p.m.

The meeting of the Planning Commission was called to order at 6:00 p.m. by Vice Chair Christian Reece.

Those present were Planning Commissioners; Vice Chair Christian Reece, George Gatseos, Keith Ehlers, Ken Scissors, and Kim Kerk.

Also present were Jamie Beard (Assistant City Attorney), Tamra Allen (Community Development Director), Kristen Ashbeck (Principal Planner), Scott Peterson (Senior Planner), Jace Hochwalt (Senior Planner), and Senta Costello (Associate Planner).

There were 0 members of the public in virtual attendance.

CONSENT AGENDA

Commissioner Gatseos moved to adopt Consent Agenda Items #1-3. Commissioner Scissors seconded the motion. The motion carried 5-0.

1. **Colorado Department of Transportation Right-of-Way Vacation File # VAC-2020-627**
Consider a request by the Colorado Department of Transportation (CDOT) to vacate 127 square feet of right-of-way located at 200 W Grand Avenue.

2. **Amir Drive Right-of-Way and Public Easement Vacations File # VAC-2020-479 and VAC-2020-481**
Consider a request by Hooshang David Gowhari Revocable Trust to vacate the undeveloped 30 feet wide public right-of-way of Amir Drive and to vacate a public multi-purpose easement located adjacent to the undeveloped Amir Drive and South Broadway rights-of-way.

3. **Riverfront at Dos Rios Right-of-Way Vacations File # VAC-2020-581 and VAC-2020-658**
Consider a request by the City of Grand Junction to vacate two portions of public right of-way and a public utility easement within the Riverfront at Dos Rios development.

REGULAR AGENDA

1. Rivertown Center Phase 2 – Rezone **File # RZN-2020-216**

Consider a request by DRK Associates LLC to rezone 3.63 acres from R-8 (Residential 8 du/ac) zone district to C-1 (Light Commercial) zone district.

[View presentation here at 10:17](#)

Staff Presentation

Senta Costello, Associate Planner, introduced exhibits into the record and provided a presentation regarding the request.

Questions for Staff

None.

Applicant's Presentation

The Applicant, Dale Beede, was present and available for questions.

Questions for Applicant

Commissioner Scissors asked a question about access to the park to the north.

Public Hearing

The public hearing was opened at 5 p.m. on Tuesday, December 1, 2020 via www.GJSpeaks.org.

Marjorie L Fox left on comment on GJSpeaks regarding the request.

The public hearing was closed at 6:24 p.m. on December 8, 2020.

Questions for Applicant or Staff

None.

Discussion

Commissioner Gatseos made a comment regarding the MXOC zone district and in support of the request.

Commissioner Reece made a comment in support of the request.

Motion and Vote

Commissioner Scissors made the following motion, "Madam Chair, on the rezone request for the property located at 2572, 2574, 2576 and 2580 Patterson Road, City file number

RZN-2020-216, I move that the Planning Commission forward a recommendation of approval to City Council with the findings of fact as listed in the staff report.”

Commissioner Gatseos seconded the motion. The motion carried 5-0.

2. **Concord Plaza – Rezone**

File # RZN-2020-559

Consider a request by Senergy Builders LLC to rezone 1.48 acres from a B-1 (Neighborhood Business) zone district to a MU (Mixed Use) zone district located at 518 28 Road.

[View presentation here at 25:30](#)

Staff Presentation

Jace Hochwalt, Senior Planner, introduced exhibits into the record and provided a presentation regarding the request.

Mr. Hochwalt made the note that the applicant is no longer Senergy Builders LLC and is now Concord Plaza LLC.

Questions for Staff

Commissioner Reece asked a question regarding any neighbor’s comments.

Applicant’s Presentation

Jeffery Fleming, project representative, was present and gave a statement regarding the request.

Questions for Applicant

Commissioner Gatseos made a statement regarding the Applicant’s project report.

Public Hearing

The public hearing was opened at 5 p.m. on Tuesday, December 1, 2020 via www.GJSpeaks.org.

No public comment was submitted or heard.

The public hearing was closed at 6:46 p.m. on December 8, 2020.

Questions for Applicant or Staff

None.

Discussion

Commissioner Gatseos made a comment in support of the request.

Commissioner Kerk made a comment in support of the request.

Motion and Vote

Commissioner Gatseos made the following motion, “Madam Chair, on the Concord Plaza Rezone request from a B-1 (Neighborhood Business) zone district to a M-U (Mixed Use) zone district for a 1.48-acre property located at 518 28 Road, City file number RZN-2020-559, I move that the Planning Commission forward a recommendation of approval to City Council with the findings of fact as listed in the staff report.”

Commissioner Ehlers seconded the motion. The motion carried 5-0.

**3. Dual Immersion Academy ROW and Public Easement Vacation
File # VAC-2020-245, VAC-2020-246**

Consider a request by Mesa County Valley School District 51 to vacate a public alley right-of-way adjacent to five properties located at 520, 522, 538, 542 and 552 West Main Street and a public sewer easement located at 552 West Main Street.

Motion and Vote

Commissioner Gatseos made the following motion, “Madam Chair, on the alley and sanitary sewer easement vacation requests, VAC-2020-245 and VAC-2020-246, for the alley located adjacent five properties at 520, 522, 538, 542 and 552 West Main Street and the sanitary sewer easement on 552 W Main Street, I move that the Planning Commission continue this item to the January 12, 2021 meeting.”

Commissioner Scissors seconded the motion. The motion carried 5-0.

4. Other Business

Community Development Director Tamra Allen noted the December 17, 2020 workshop.

5. Adjournment

The meeting adjourned at 6:54 p.m.



Grand Junction Planning Commission

Regular Session

Item #1.

Meeting Date: January 12, 2021

Presented By: Kristen Ashbeck, Principal Planner/CDBG Admin

Department: Community Development

Submitted By: Kristen Ashbeck, Principal Planner

Information

SUBJECT:

Consider a request by the City of Grand Junction for a Rezone/Amendment to the Planned Development (PD) zone district and Outline Development Plan (ODP) for the Riverfront at Dos Rios, located on the northeast bank of the Colorado River between Highway 50 and Hale Avenue. | [Staff Presentation](#) | Phone-in comments dial **7549**

RECOMMENDATION:

Staff recommends approval of the request.

EXECUTIVE SUMMARY:

The Applicant, the City of Grand Junction, requests approval of an amended Planned Development (PD) zoning ordinance and Outline Development Plan (ODP) to add approximately 0.4 acres of property to the Riverfront at Dos Rios Planned Development and add uses allowed within portions of the Light Industrial/Commercial area. In April 2019, the City approved Ordinance 4849 including the ODP that established the uses, standards and general configuration of the proposed Riverfront at Dos Rios mixed use development on approximately 58.8 acres, located on the northeast bank of the Colorado River between Highway 50 and Hale Avenue. Since that time, the City has continued to acquire adjacent properties and there was a desire to add the remnant parcel on the east side of Riverside Parkway also owned by the City to the Planned Development. All of the properties, those initially part of the Planned Development and those being added, have never been used or held for park or other governmental purposes but instead for possible reuse/redevelopment; the PD and ODP will further that opportunity.

In May 2020 the PD and ODP were amended to address the additional land

(Ordinance 4928) and now the City has acquired the last of the parcels within the Riverfront at Dos Rios area and is amending the PD and ODP to include that property. The properties are located at 636 and 636-1/2 Lawrence Avenue, just south of the Hale Avenue and Riverside Parkway intersection.

BACKGROUND OR DETAILED INFORMATION:

BACKGROUND

The City originally acquired the approximately 60-acre area now known as the Riverfront at Dos Rios from the Jarvis family in 1990. The property is located on the northeast bank of the Colorado River between the Highway 50/railroad bridge and the Riverside neighborhood. Since that time, the property has been cleared, the Riverfront Trail extended, and a backwater pond for endangered fish was created between the trail and River. The developable acreage was purchased with the intent of future redevelopment and the City has started constructing the infrastructure within the development. All of the properties, those initially part of the Planned Development and those being added, have never been used or held for park or other governmental purposes but instead for possible reuse/redevelopment; the PD and ODP will further that opportunity.

The latest approved ODP is intended to create a riverfront commercial/mixed use center with two points of access to Riverside Parkway and two points of access onto Hale Avenue. Development pods are identified for specific types of uses, including approximately 17 acres for parks and open space, 15.8 acres for Light Industrial/Commercial, 12.9 acres of mixed use and 4.1 acres of mixed use/outdoor recreation. The property within the development, excluding the open space, has been offered for sale and one parcel has already transferred to a private party. There is also .9 acres of leasable space along the riverfront. The remainder of the proposed development includes the public elements shown on the ODP such as street rights-of-way.

The addition of the properties recently purchased by the City will add approximately 0.4 acres of Mixed-Use to the development. The two properties to be added to the PD/ODP are presently zoned I-O (Industrial Office).

In addition to the land use areas and street network, the approved ODP established specific performance standards that the development will be required to meet and conform with, as authorized by Section 21.02.150 (b) of the Zoning and Development Code. The standards were all included in the original PD zoning ordinance and are not proposed to be revised.

Section 21.02.150 of the Zoning and Development Code (Code) sets the purpose of a Planned Development (PD) to apply to mixed use or unique single use projects to provide design flexibility. The Code provides Planned Development zoning should be

used when long-term community benefits will be derived and the vision, goals and policies of the Comprehensive Plan can be achieved.

Floodplain and Drainage:

Much of the property is located within the regulated 100-year floodplain of the Colorado River and a small area directly adjacent to the riverbank is within the floodway. The City will retain ownership of the area within the Floodway to be used as open space and recreational area. Property within the 100-year floodplain will be developed in accordance with the Flood Hazard regulations found in section 21.07.010 of the Zoning and Development Code. Stormwater management will be provided as a part of the overall development of the project.

Establishment of Uses:

The original ODP established four general categories of land use types including Light Industrial/Commercial (LI/C), Mixed Use (MU), Mixed Use/Outdoor Recreation (MU/OR) and Parks and Recreation (PR). The original PD zoning ordinance established the specific land uses allowed in each of the categories. There are no proposed revisions to the uses with this amendment.

Default Zone and Deviations:

The default zone for the original and the amended ODP is BP (Business Park). No change is proposed to the default zone district for the PD/ODP.

Architectural Standards:

Architectural standards were adopted with the original PD/ODP that require all structures within Riverfront at Dos Rios be designed and constructed in a manner that provides an aesthetically pleasing appearance and be harmonious with the overall Riverfront at Dos Rios development. There are no changes to the standards proposed.

NOTIFICATION REQUIREMENTS

As required by Section 21.02.080(e) of the Zoning and Development Code, a Neighborhood Meeting was held on November 19, 2020 for the proposed Amended PD/ODP. Three people attended the meeting along with City Staff. Questions concerned clarification of new properties to be included in the ODP, the land uses proposed, access on the Riverside Parkway and the construction schedule for the infrastructure. There were no objections noted to the Dos Rios development plans.

Notice was completed consistent to the provisions in Section 21.02.080 (g) of the City's Zoning and Development Code. Mailed notice of the application submittal in the form of notification cards was sent to surrounding property owners within 500 feet of the subject property and the subject property was posted with an application sign on November 9, 2020 and notice of this hearing was published in the Grand Junction Daily Sentinel per Code.

ANALYSIS

Pursuant to Section 21.02.150 (b) of the Grand Junction Zoning and Development Code, requests for an Outline Development Plan (ODP) shall demonstrate conformance with all of the following:

a) The Comprehensive Plan, Grand Valley Circulation Plan and other adopted plans and policies;

The property has a Future Land Use designation of Business Park Mixed Use (BPMU) and Park along the banks of the Colorado River. The BPMU designation allows for business, light industrial, employment-oriented areas with the allowance of multi-family development and the existing as well as proposed amendment to the PD and ODP best implement the intent of the mixed use for this unique property and proposed development. The land used proposed for the development is consistent with the land use designation in the types of uses proposed. Also, the area designated as Park will be preserved as open space. Therefore, the proposed amended ODP is consistent with the Future Land Use Map of the Comprehensive Plan.

The Grand Valley Circulation Plan identifies Riverside Parkway as a Principal Arterial. The limited access proposed is consistent with standards for access to an arterial. The Riverfront Trail, as identified on the Active Transportation Corridors map, will remain through the length of the property.

Further, the amendment to the PD/ODP request is consistent with the following goals and/or policies of the Comprehensive Plan by providing a mixed-use development conveniently located to services and the preservation of 27% of the site as open space.

Goal 3: The Comprehensive Plan will create ordered and balanced growth and spread future growth throughout the community.

Policy B: Create opportunities to reduce the number of trips generated for shopping and commuting and decrease vehicle miles traveled thus increasing air quality.

Goal 5: To provide a broader mix of housing types in the community to meet the needs of a variety of incomes, family types and life stages.

Policy B: Encourage mixed-use development and identification of locations for increased density.

Policy C: Increasing the capacity of housing developers to meet housing demand.

Goal 9: Develop a well-balanced transportation system that supports automobile, local transit, pedestrian, bicycle, air and freight movement while protecting air, water and natural resources.

Policy D: A trails master plan will identify trail corridors linking neighborhoods with the Colorado River, Downtown, Village Centers and Neighborhood Centers and other desired public attractions.

Goal 10: Develop a system of regional, neighborhood and community parks protecting open space corridors for recreation, transportation and environmental purposes.

Policy B: Preserve areas of scenic and/or natural beauty and, where possible, include these areas in a permanent open space system.

As proposed, the application is in conformance with the Grand Junction Comprehensive Plan and Circulation Plan.

b) The rezoning criteria provided in Section 21.02.140 (a) of the Grand Junction Zoning and Development Code as follows.

(1) Subsequent events have invalidated the original premises and findings; and/or The City has approved a PD zone district and ODP for the Riverfront at Dos Rios property which surrounds the parcels proposed to be added to the development. The ODP envisions a mixed-use center with development pods identified for specific types of uses, including parks and open space, light industrial/commercial, mixed use/outdoor recreation and mixed use. The City is now proposing to rezone the additional properties that are presently zoned I-O (Industrial Office) to PD and include them in the ODP to better define the type and mix of uses for the various development pods and establish specific performance standards.

The adoption of the existing ODP for the mixed-use conceptual plan that included specific performance standards to establish a cohesive character for the Riverfront at Dos Rios is a subsequent event that has invalidated the original premises of the I-O zoning. Therefore, Staff finds this criterion has been met.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

The Riverfront at Dos Rios is a proposed extension of the Riverfront at Las Colonias development on to the east of 5th Street/Highway 50. The community investment in Las Colonias Park has resulted in the completion of the park facilities surrounding the Botanic Gardens and the amphitheater. Work is continuing to complete the Las Colonias Business Park that is transforming that area into a vibrant center of activity. The same is intended with the Dos Rios development. The PD/ODP that assigns a mixed-use category of land use along Hale Avenue will provide a better transition from

this new type of development to the existing Riverside Neighborhood than the I-O zoning of these properties would otherwise provide. Staff finds that the character and/or condition of the riverfront area has changed such that this criterion has been met.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Existing public and community facilities and services are available to the properties and are sufficient to serve the proposed mixed-use development. City Water is available to the property and will be extended into the site, as is sanitary sewer. The property can also be served by Xcel Energy electric and natural gas. The property is near the Downtown area, which provides many commercial services. In addition, the existing street network including the Riverside Parkway and Hale Avenue and enhancement of the riverfront trail through the development will provide adequate multimodal transportation infrastructure. Parks and open space exist in the vicinity and will be expanded and enhanced with the Riverfront at Dos Rios.

The public and community facilities are adequate to serve the type and scope of the mixed-use development; therefore, staff finds this criterion has been met.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or The Riverfront at Dos Rios is an infill development project. The City is requesting an amendment to the plan to develop the property as a Planned Development (PD) to better define the types of uses allowed and to establish specific performance standards. Because PD is a zone category based on specific design and is applied on a case-by-case basis, staff finds this criterion is not applicable to this request, and, therefore has not been met.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

The proposed density and intensity are consistent with the Business Park Mixed Use land use category and the Planned Development allows for the further refinement of the type of desired and compatible uses within this area. The uses will address and capture the importance of the riverfront location as well as the proximity to the Riverside neighborhood that a I-O zone district would not. Should the development be constructed in full and/or in part, the City will derive benefit from the resulting development that addresses the site-specific assets of the area.

Further, the area will derive benefits from the zoning of PD (Planned Development) by providing more effective and efficient infrastructure, reducing traffic demands by providing the opportunity for live, work and play in one area and access to the

Riverfront Trail system, providing 17 acres of open space that preserves and protects the banks of the Colorado River, and completion of the bicycle playground as a recreational amenity.

Staff, therefore, finds this criterion has been met.

c) The planned development requirements of Section 21.05 of the Zoning and Development Code;

As per Section 21.05.040(f), Development Standards, exceptions may be allowed for setbacks in accordance with this section.

(1) Setback Standards. (i) Principal structure setbacks shall not be less than the minimum setbacks for the default zone unless the applicant can demonstrate that buildings can be safely designed and that the design is compatible with the lesser setbacks, (ii) reduced setbacks are offset by increased screening or primary recreation facilities in private or common open space, (iii) reduction of setbacks is required for protection of steep hillsides, wetlands or other environmentally sensitive natural areas. For maximum flexibility in the design of this site, the approved ODP included a reduction in the setbacks to those consistent with the B-2 (Downtown Business) zone district, which is the type of development that is proposed in Dos Rios. No further change to the approved setbacks is proposed with this amendment and, with the exception of the portion of the ODP that is on the east side of Riverside Parkway, all of the proposed development is internal to the property and is not directly adjacent to any other private development.

(2) Open Space. All residential planned developments shall comply with the minimum open space standards established in the open space requirements of the default zone. Approximately 17 acres of open space will be provided, which is 27% of the area, exceeding the Code requirement for residential projects to provide 10% of the land area in open space.

(3) Fencing/Screening. Fencing shall comply with GJMC 21.04.040(i). Fencing and/or screening will comply with Section 21.04.040(i) of the Code and standards approved with the original ODP that address materials, height and quality of fencing. The standards are not proposed to change with this amendment to the ODP.

(4) Landscaping. Landscaping shall meet or exceed the requirements of GJMC 21.06.040.

The intent of landscaping within the Riverfront at Dos Rios is to create overall visual continuity throughout that is sensitive to, and blends with, the visual character of adjacent areas. Landscaping will enhance the aesthetics of the overall site, particularly as it is viewed from the perimeter public streets (Hale Avenue and Riverside Parkway)

and from the Riverfront Trail. Specific standards were included in the approval of the ODP which are not proposed to change.

(5) Parking. Off-street parking shall be provided in accordance with GJMC 21.06.050. Streets within Riverfront at Dos Rios shall be constructed, and access controlled as to allow and encourage on-street parking on both sides of the street that will provide approximately 280 spaces. In addition, it is anticipated that, as each site is developed, parking will be provided as applicable per the PD design standards. There will also be a number of uses within the development that will be able to share parking due to overlapping hours of operation and demand. Additional standards, including the modification to the code not requiring off-site parking, were included in the approval of the ODP are not proposed to change with this amendment.

(6) Street Development Standards. Streets, alleys and easements shall be designed and constructed in accordance with TEDS (GJMC Title 29) and applicable portions of GJMC 21.06.060.

The design and construction of streets, alleys and easements within the Dos Rios development will meet Code requirements.

d) The applicable corridor guidelines and other overlay districts (Section 21.02.150(b)(2)(iv)).

There are no corridor guidelines or overlay district that are applicable for this development.

e) Adequate public services and facilities shall be provided concurrent with the projected impacts of the development (Section 21.02.150(b)(2)(v)).

Existing public and community facilities and services are available to the property and are sufficient to serve the proposed mixed-use development. City Water is available to the property and will be extended into the site, as is sanitary sewer. The property can also be served by Xcel Energy electric and natural gas. The property is in close proximity to the Downtown area, which provides a number of commercial services.

f) Adequate circulation and access shall be provided to serve all development pods/areas to be developed (Section 21.02.150(b)(2)(vi)).

The proposed project will have two access points onto Riverside Parkway, one at the existing Hale Avenue and one approximately 1,000 feet to the south on Dos Rios Drive. In addition, there will be two access points onto Hale Avenue at Lawrence Avenue and Rockaway Avenue. The proposed access points provide adequate circulation and meet or exceed all code provisions for connectivity.

g) Appropriate screening and buffering of adjacent property and uses shall be provided (Section 21.02.150(b)(2)(vii)).

No landscaping/screening buffer is required between adjacent uses with the exception of screening service entrances, loading areas and dumpster areas which shall be screened from adjacent residential uses as follows:

- Service entrances, loading areas and dumpster areas shall be oriented in the rear or side yard only so as to minimize the impact on the public view corridors, areas open for public enjoyment and areas of residential use.
- Where allowed as accessory to a primary land use or structure, outdoor storage shall be located on a site where least visible from a public right-of-way or Riverfront Trail.
- If allowed, outdoor storage areas shall be screened in accordance with GJMC Section 21.04.040(h). Acceptable screening consists of any combination of fences, walls, berms and landscaping that is approximately six feet in height and provides a permanent, opaque, year-round screening around the entire perimeter of the outdoor storage area. Plant materials are encouraged as screening. Fences shall only be made of materials referenced in the Fencing section below.

h) An appropriate range of density for the entire property or for each development pod/area to be developed (Section 21.02.150(b)(2)(viii)).

The ODP proposes residential density of 12 units per acre as a minimum and no maximum density.

i) An appropriate set of “default” or minimum standards for the entire property or for each development pod/area to be developed.

For maximum flexibility in the design of this site, the Applicant is requesting a reduction in the front yard setback from 15 feet to 0 feet-10 feet for principal structures and from 25 feet to 10 feet for accessory structures; a reduction in the rear yard setback from 10 feet to 0 feet for principal structures and from 25 feet to 5 feet for accessory structures; and a reduction in the side yard setback from 15 feet to 3 feet for accessory structures. The proposed reduced setbacks are similar to those allowed in the B-2 Downtown Business zone district, which is the type of development that is proposed. With the exception of the land on the east side of Riverside Parkway, all of the proposed development is internal to the property and is not directly adjacent to any other private development. Staff has found these standards that exist for the adopted PD/ODP are appropriate for the amended PD/ODP and are not proposed to be changed with this amendment.

j) An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed (Section 21.02.150(b)(2)(x)).

Phasing of the Riverfront at Dos Rios Planned Development shall be per the validity standards of GJMC Section 21.02.080(n).

RECOMMENDATION AND FINDINGS OF FACT

After reviewing the request for Rezone to Planned Development and an Outline Development Plan (ODP) for The Riverfront at Dos Rios (PLD-2020-121), the following findings of fact have been made:

1. The Planned Development is in accordance with all criteria in Section 21.02.150 (b) (2) of the Grand Junction Zoning and Development Code.

Therefore, Staff recommends approval of the request for the rezone and amendment to the Planned Development zone district and Outline Development Plan (ODP) for Riverfront at Dos Rios.

SUGGESTED MOTION:

Chairman Teske, on the Rezone and Amendment to Planned Development (PD) with a BP (Business Park) default zone district and an Outline Development Plan for a mixed use development known as the Riverfront at Dos Rios, file number PLD-2020-121, I move that the Planning Commission forward a recommendation of approval to City Council with the findings of fact listed in the staff report.

Attachments

1. Neighborhood Meeting Information
2. Riverfront at Dos Rios Maps
3. Original Riverfront at Dos Rios PD Ordinance No. 4849 - 2019
4. ORD-Amended Dos Rios PD ODP121720jps



Adjacent Property Owners
VIA U.S. Mail

February 27, 2020

RE: Amendment to Riverfront at Dos Rios Planned Development (PD)

Dear Property Owner:

The City of Grand Junction would like to amend the previously approved Planned Development for the Riverfront at Dos Rios. The amendment includes adding approximately 3.3 acres of property to the PD and previously approved Outline Development Plan (ODP), including the properties at 603 Lawrence Avenue; 201, 205, 211 and 219 Hale Avenue; and 206 Lila Avenue. Consistent with the previously approved PD, the 3.3 acres would be allowed to be utilized for a mix of uses ranging from residential to light industrial.

A Neighborhood Meeting will be held at the Dual Immersion Academy in the Cafeteria, located at 552 West Main Street in the Riverside Neighborhood. The meeting is scheduled for Monday, March 9, 2020 from 6:00 to 7:00 pm.

The Neighborhood Meeting is held to allow the neighborhood an opportunity to review the proposed plan, answer questions and to provide information about the review and decision-making process. Representatives from the City of Grand Junction will be at the meeting to discuss the proposed amendment to this Planned Development and Outline Development Plan.

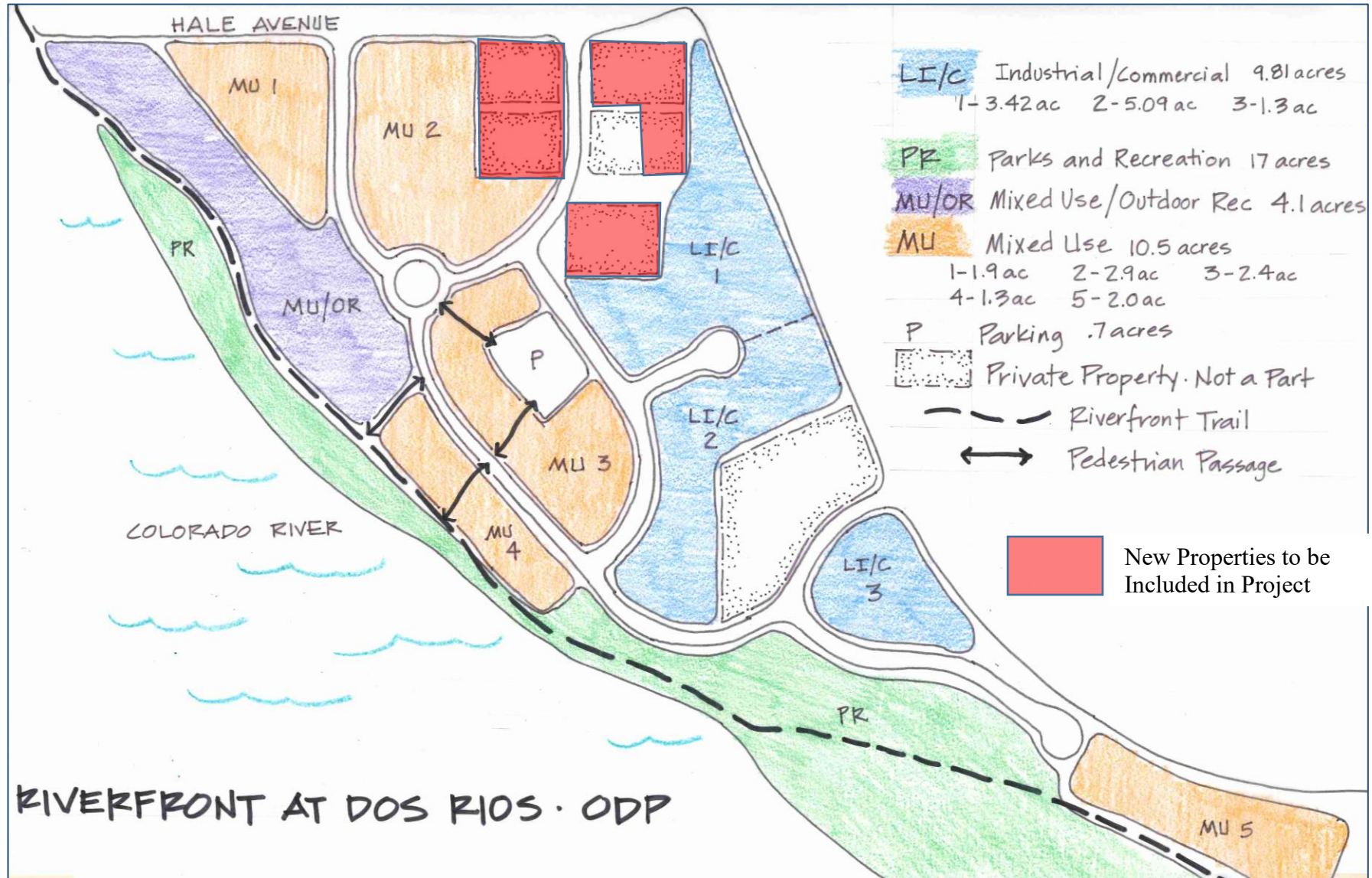
Please do not hesitate to contact me at 970-244-1491 or kristena@gjcity.org if you have any questions about the Riverfront at Dos Rios project or the upcoming meeting.

Sincerely,

A handwritten signature in blue ink that reads "Kristen Ashbeck".

Kristen Ashbeck, AICP
Principal Planner

RIVERFRONT AT DOS RIOS - EXISTING OUTLINE DEVELOPMENT PLAN





Community Development Department

RIVERFRONT AT DOS RIOS PLANNED DEVELOPMENT AMENDMENT NEIGHBORHOOD MEETING 3/9/2020 – PLEASE SIGN IN

10

NAME	ADDRESS	PHONE	EMAIL
Eudora ^{Morfin} & Mary	523 Rockaway Ave	970-243-4398	
CINDY ENOS-MARTINEZ	408-C WEST COLO AVE	970-270-6962	cindy.enosmartinez@yahoo.com
Keona Beltran	645 West Colo Ave	970-201-2614	keonab71@gmail.com
Ara Beltran	324 Fairview Ave	(970) 270-3890	CincosLC@gmail.com
Alberto Ibarra / Andrea Robles	431 Rockaway Ave	(970) 433-3804	andrearobles5051@gmail.com

Jen Taylor

Greg

Trent

Kris

**Riverfront at Dos Rios PD/ODP Amendment
Neighborhood Meeting – March 9, 2020 6:00-7:00 pm
Duel Immersion Academy Cafeteria**

City Staff in Attendance: Greg Caton, City Manager; Trent Prall, Public Works Director; Kristen Ashbeck, Principal Planner

There were 10 citizens in attendance. Topics of discussion and questions:

- Clarification of new properties to be included in the plan
- Definition of a Planned Development
- Clarification of land uses / type of housing
- Infrastructure construction schedule
- Cross section of Hale Avenue
- Bridge over Railroad ROW / Downtown connection
- Overview of Proposed El Jets Cantina and Sky Outpost
- Concerns with increase in property taxes within Riverside Neighborhood due to adjacent new development

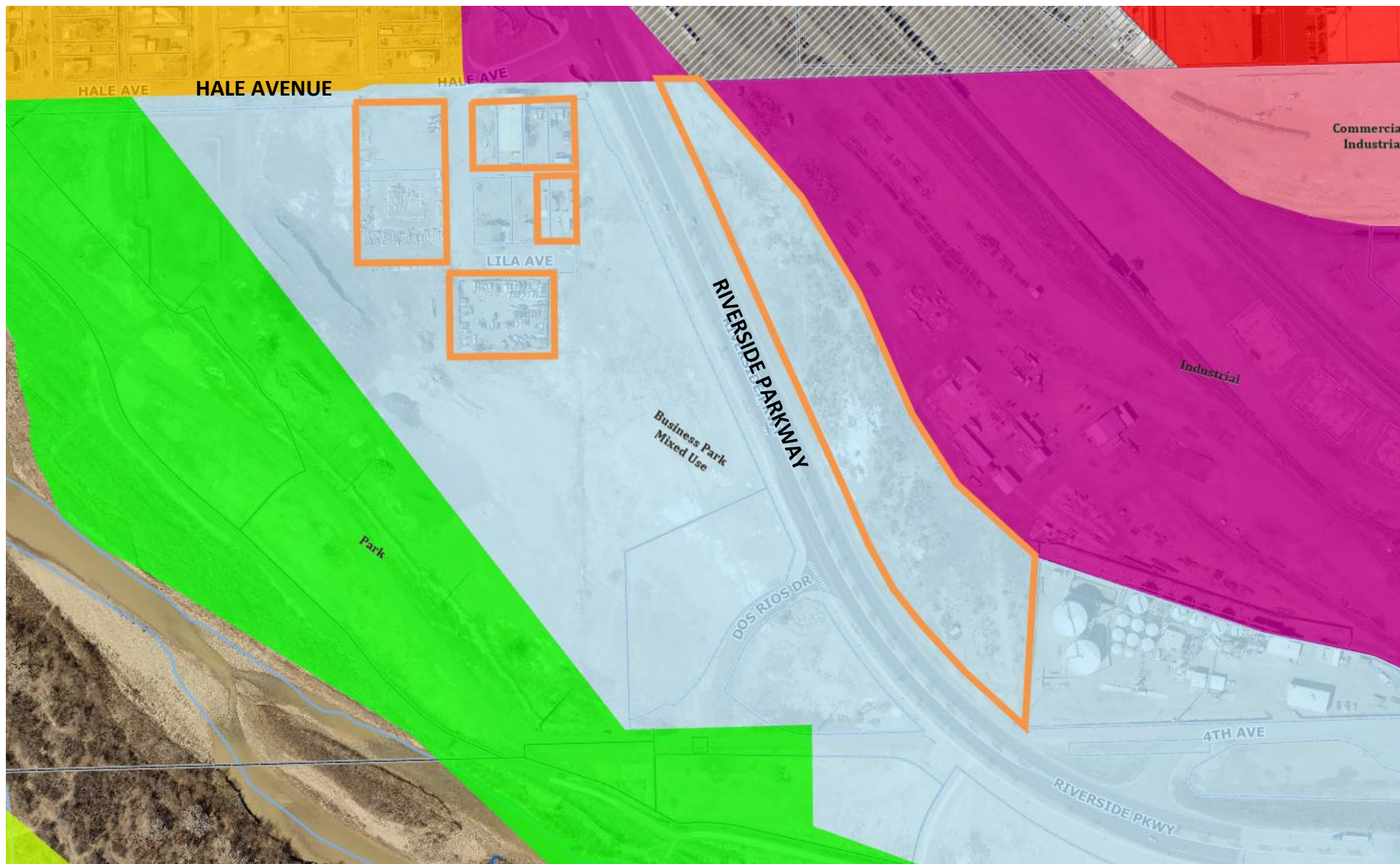
RIVERFRONT AT DOS RIOS PD AMENDMENT

BLUE AREAS – PARCELS TO BE ADDED

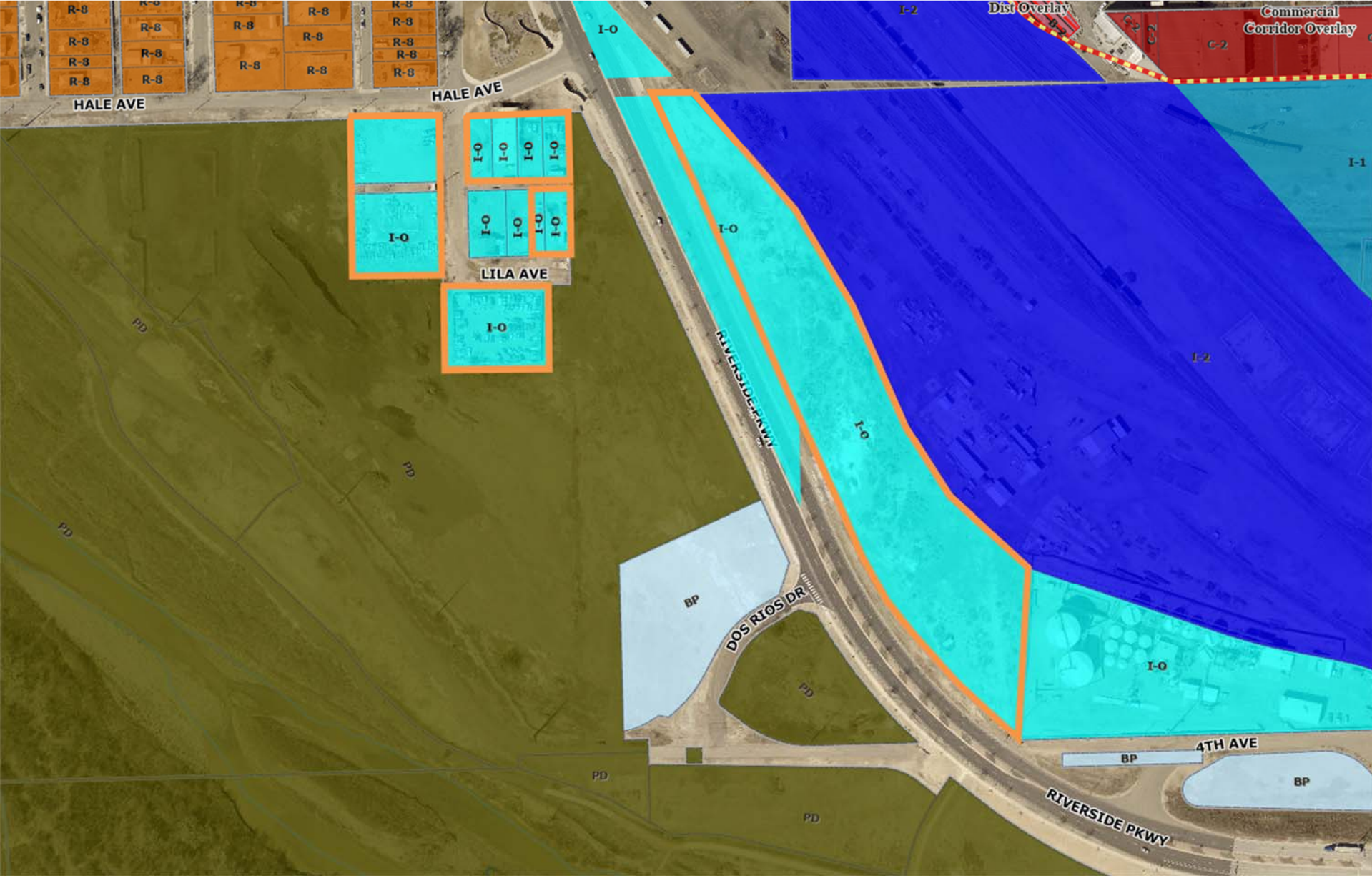
RED OUTLINE – EXISTING PD



RIVERFRONT AT DOS RIOS – PARCELS TO BE ADDED TO PD/ODP – FUTURE LAND USE MAP



RIVERFRONT AT DOS RIOS – PARCELS TO BE ADDED TO PD/ODP – EXISTING ZONING MAP



**CITY OF GRAND JUNCTION, COLORADO
ORDINANCE 4849**

**AN ORDINANCE APPROVING A REZONE TO PLANNED DEVELOPMENT (PD)
AND AN OUTLINE DEVELOPMENT PLAN (ODP) FOR
THE RIVERFRONT AT DOS RIOS**

**LOCATED ON THE NORTHEAST BANK OF THE COLORADO RIVER
BETWEEN HIGHWAY 50 AND HALE AVENUE**

Recitals:

The requested Planned Development (PD) zoning and Outline Development Plan (ODP) will establish the uses, standards and general configuration of the proposed Riverfront at Dos Rios mixed use development on approximately 56.8 acres located on the northeast bank of the Colorado River between Highway 50 and Hale Avenue. The request for the rezone and ODP have been submitted in accordance with the Zoning and Development Code (Code).

This Planned Development zoning ordinance will establish the standards, default zoning of Business Park (BP), land uses and design standards and guidelines for the ODP for the Riverfront at Dos Rios.

In public hearings, the Planning Commission and City Council reviewed the request for the proposed ODP and determined that the ODP satisfied the criteria of the Code and is consistent with the purpose and intent of the Comprehensive Plan. Furthermore, it was determined that the proposed ODP has achieved "long-term community benefits" by effective infrastructure design; providing for ongoing and enhanced recreational opportunities; protection and/or preservation of natural resources, habitat areas and natural features; and innovative design.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE AREA DESCRIBED BELOW IS ZONED TO PLANNED DEVELOPMENT WITH THE FOLLOWING DEFAULT ZONE AND STANDARDS:

A. This Ordinance applies to the following described properties and depicted in Exhibit A:

ALL of Lots 3, 4, 5, 6, 7 and that portion of Lot 9 lying East of the East edge of water for the Colorado River, Jarvis Subdivision Filing One, as same is recorded with Reception Number 2790938, TOGETHER WITH, Lot 13 of Jarvis Subdivision Filing Three, as same is recorded with Reception Number 2834555, all in the Public Records of Mesa County, Colorado, including all public rights of way within said Jarvis Subdivisions Filings One and Three.

CONTAINING 56.8 Acres, more or less, as described.

B. The Riverfront at Dos Rios Outline Development Plan (Exhibit B) is approved with the Findings of Fact and Conclusions listed in the Staff Report, including attachments and exhibits.

C. Phasing of the Riverfront at Dos Rios Planned Development shall be per the validity standards of GJMC Section 21.02.080(n).

D. If the Planned Development approval expires or becomes invalid for any reason, the properties shall be fully subject to the default standards of the BP Zoning District.

E. The default zone shall be BP with the following deviations to the dimensional standards. Additions/revisions noted in **red type**.

Primary Uses			
Employment, Light Manufacturing, Multifamily, Retail , Commercial Services			
Lot			
Area (min. acres)	± No Minimum except .5 in LI/C		
Width (min. ft.)	400 25		
Frontage (min. ft.)	n/a		
Setback	Principal		Accessory
Front (min. ft.)	45	0-10*	25 10
Side (min. ft.)	0		45 3
Side-abutting residential (min. ft.)	40	-	5
Rear (min. ft.)	40	0	25 5
Bulk			
Lot Coverage (max.)	n/a		
Height (max. ft.)	65 except 40 feet in Mixed Use Area 4		
Density (min.)	8 12 units/acre		
Density (max.)	24 units/acre No Max		
Building Size (max. sf)	n/a		

* Refer to the Architectural standards

F. The allowed land uses shall be assigned by areas as depicted on the Outline Development Plan (ODP) and summarized in the table below. Uses will be as defined

and shall be consistent with GJMC Codes and Standards as amended. A = Allowed; C = Conditional Use; Blank = Not Allowed

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
Business Residence	A	A	A	
Multifamily	A			
Single Family Attached *	A			
Home Occupation	A	A	A	
Small Group Living Facility	A			
Large Group Living Facility	A			
Unlimited Group Living Facility	A			
Rooming/Boarding House	A			
Colleges and Universities	A	A		
Vocational, Technical and Trade Schools	A	A		
Community Activity Building	A	A	A	A
All Other Community Service	A	A	A	A
Museums, Art Galleries, Opera Houses, Libraries	A	A		
General Day Care	A	A		
Medical and Dental Clinics	A	A		
Counseling Centers (Nonresident)	A	A		
All Other Hospital/Clinic	C	A		
Physical and Mental Rehabilitation (Resident)	C			
Parks, Lakes, Reservoirs, Other Open Space	A	A	A	A
Religious Assembly	A	A	A	
Boarding Schools	A			
Elementary Schools	A			

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
Secondary Schools	A			
Utility Service Facilities (Underground)	A	A	A	A
All Other Utility, Basic	A	A	A	A
Transmission Lines (Above Ground)	A	A	A	A
Transmission Lines (Underground)	A	A	A	A
All Other Utility Treatment, Production or Service Facility	C	C	C	C
Entertainment Event, Major				
Indoor Facilities	A	C		
Outdoor Facilities	C	C	C	C
Hotels and Motels	A	A	A	
Short-Term Rentals	A	A	A	
General Offices	A	A		
Recreation and Entertainment, Outdoor				
Campgrounds and Camps (nonprimitive)	A		A	
Resort Cabins and Lodges	A		A	
Amusement Park, Miniature Golf			A	
Campgrounds, Primitive				A
Swimming Pools, Community			A	
All Other Outdoor Recreation			A	A
Recreation and Entertainment, Indoor				
Health Club	A	A	A	
Movie Theater, Skating Rink, Arcade	A			
All Other Indoor Recreation	A			
Alcohol Sales, Retail	A			
Bar/Nightclub	A	A	A	
Animal Care/ Boarding/Sales, Indoor	A	A		

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
Animal Care/ Boarding/Sales, Outdoor		A		
Food Service, Restaurant (Including Alcohol Sales)	A	A	A	
Farmers' Market	A	A	A	
General Retail Sales, Indoor Operations, Display and Storage	A	A	A	
Produce Stands	A	A	A	
Personal Services	A	A		
All Other Retail Sales and Services	A	A	A	
Manufacturing Indoor Operations and Storage				
Assembly		A		
Food Products		A		
Manufacturing/Processing		A		
Manufacturing Indoor Operations and Outdoor Storage				
Assembly		A		
Food Products		A		
Manufacturing/Processing		A		
Telecommunications Facilities				
Facilities on Wireless Master Plan Priority Site in Accordance with Wireless Master Plan Site-Specific Requirements	A	A	A	A
Temporary PWSF (e.g. COW)	A	A	A	A
Co-Location	A	A	A	A
Tower Replacement	A	A	A	A
Dual Purpose Facility	A	A	A	A
DAS and Small Cell Facilities	A	A	A	A
Base Station with Concealed Attached Antennas	A	A	A	A

ALLOWED LAND USE	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
Base Station with Non-Concealed Attached Antennas	C	C	C	C
Tower, Concealed	C	C	C	C
Bus/Commuter Stops	A	A	A	A

* **Single Family Attached.** A one-family dwelling **attached** to one or more other one-family dwelling by common walls and located entirely on its own lot.

G. DESIGN GUIDELINES AND STANDARDS FOR THE DOS RIOS PLANNED DEVELOPMENT

1. SITE DEVELOPMENT

A. Access

In order to maximize the on-street parking available for residents, employees and customers of all properties within the development, site access to the public streets shall be minimized and shared to the greatest extent feasible.

B. Parking

Streets within Riverfront at Dos Rios shall be constructed and access controlled so as to allow and encourage on-street parking on both sides of the street. There will also be a common public parking lot located near the center of the development. Combined, there will be approximately 350 common parking spaces available for residents, employees, and customers of all properties within the development to utilize. In addition, it is anticipated that a number of uses within the development will be able to share parking due to overlapping hours of operation and demand.

1. Off-street parking for uses developed with the Riverfront at Dos Rios shall be minimized as much as feasible.

Mixed Use Areas 3 and 4: No Parking Requirement

All Other Areas: Provide 1 off-street parking space per residential unit and provide 25 percent of off-street parking as required by GJMC Section 21.06.050(c) for all other uses. An alternative parking plan may be provided

under 21.06.050(e)(e).

2. Off-street parking for multifamily or mixed use development shall not be located in the front yard setback. Parking shall be in the rear or side yards or that area which is less visible from public street rights-of-way or the Riverfront Trail.
3. Develop pedestrian links between the on-street sidewalk and building entrances and between parking areas and rear or side entrances or public access points.

C. Landscaping

The intent of landscaping within the Riverfront at Dos Rios is to create overall visual continuity throughout that is sensitive to, and blends with, the visual character of adjacent areas. Landscaping will enhance the aesthetics of the overall site, particularly as it is viewed from the perimeter public streets (Hale Avenue and Riverside Parkway) and from the Riverfront Trail.

1. Street Frontage Landscaping. Within all land use areas, the owner shall provide and maintain a minimum 10-foot wide street frontage landscape area adjacent to the public right-of-way except no street frontage landscaping is required when the setback for a building is 10 feet or less.
2. Parking Lot Landscaping. Perimeter and interior landscaping of parking lots is required per GJMC Section 21.06.040(c).
3. All other areas on any site not used for building, storage, parking, walks, access roads, loading areas and other outdoor hardscape areas, including adjacent undeveloped right-of-way shall be suitably graded and drained, and planted and maintained with mulch, groundcover, flowers, trees and/or shrubs.
4. Landscaping/Screening Buffer. No landscaping/screening buffer is required between adjacent uses with the exception of screening service entrances, loading areas and dumpster areas which shall be screened from adjacent residential uses.
5. Plant Material and Design. Xeric landscaping principles will be implemented. Vegetation must be suitable for the climate and soils of the Grand Valley. The Director may allow the use of any plant if sufficient information is provided to show suitability. Noxious weeds are not allowed. Size of plants at planting shall meet requirements of GJMC Section 21.06.040(b)(5).

D. Service Entrances, Loading and Dumpster Areas

1. Service entrances, loading areas and dumpster areas shall be oriented in the rear or side yard only so as to minimize the impact on the public view corridors, areas open for public enjoyment and areas of residential use.
2. Operation of loading areas shall not interfere with traffic circulation such as drive aisles, pedestrian areas and public streets unless outside of regular business hours.

3. Shared loading areas are encouraged among tenants of a building or with neighboring buildings.

E. Outdoor Storage and Display

1. Where allowed as accessory to a primary land use or structure, outdoor storage shall be located on a site where least visible from a public right-of-way or Riverfront Trail.

2. If allowed, outdoor storage areas shall be screened in accordance with GJMC Section 21.04.040(h). Acceptable screening consists of any combination of fences, walls, berms and landscaping that is approximately six feet in height and provides a permanent, opaque, year-round screening around the entire perimeter of the outdoor storage area. Plant materials are encouraged as screening. Fences shall only be made of materials referenced in the Fencing section below.

3. Display area for portable retail merchandise (items that can be taken inside at the close of business) is allowed, provided it meets the requirements of GJMC Section 21.04.040(h)(3).

4. Location of permanent outdoor display areas shall be established with site plan approval.

F. Fencing

1. All fencing shall be made of either wood, vinyl, wrought iron or masonry wall materials. No chain link or wire fencing of any kind is allowed with the following exceptions: a) All development within the Light Industrial/Commercial areas; and b) a wire grid other than chain link may be set within a wooden or masonry frame in all areas.

2. Fencing on an individual site for purposes of enclosing a site is strongly discouraged however, it may be allowed for specific reasons such as public safety, protection of equipment and materials or for liquor license compliance. Fencing may be used to enclose an outdoor space (e.g. dining/patio) and shall be no taller than 42 inches (3.5 feet). If feasible, provide an opening in these enclosures if adjacent to the Riverfront Trail.

3. The maximum height of any fence in the Light Industrial/Commercial areas of the Riverfront at Dos Rios is 8 feet. Maximum height of all other fencing in the development is 6 feet unless an outdoor space enclosure as above.

4. Fences shall be kept in good repair and condition at all times. Maintenance of fencing shall be the responsibility of the property owner on the site upon which the fencing is located.

G. Lighting

1. All new land uses, structures, building additions, parking areas or other outdoor areas within the Riverfront at Dos Rios development shall meet the following lighting standards.

- a. No outdoor lights shall be mounted more than 35 feet above the ground. Lighting located near buildings and adjacent to sidewalks shall not exceed 12 feet in height.
 - b. All outdoor lights shall use full cutoff light fixtures except for pedestrian lighting under 3 feet in height (e.g. pathway lighting).
 - c. Outdoor lighting for mixed use and industrial areas are encouraged to be used only during business hours. Light fixtures on timers and/or sensor-activated lights are encouraged to minimize overall lighting on a site and within the development.
 - d. Architectural lighting shall not be used to draw attention to or advertise buildings or properties. Architectural lighting may be used to highlight specific architectural, artistic or pedestrian features with the intent of providing accent and interest or to help identify entryways.
2. A lighting plan shall be submitted for all parking lots that contain 30 spaces or more.
 - a. The lighting plan shall detail the location and specifications of all lighting to be provided on site. An ISO foot candle diagram shall also be provided to indicate the level and extent of proposed lighting.
 - b. Where nonresidential uses abut residential uses, the Director may require a lighting plan for lots that contain fewer than 30 parking spaces.
 - c. Lighting intensity shall meet the requirements of GJMC Section 21.06.080.

H. Signs

1. Flush wall signs, projecting signs and monument signs shall be the only sign types allowed within the Riverfront at Dos Rios except roof-mounted signs may be allowed within the Mixed Use/Outdoor Recreation areas.
2. Monument signs shall be located no closer than 2 feet from the front property line.
3. Total sign area shall not exceed 25 square feet per street frontage in the Mixed Use Areas 1, 2 and 3 all Parks and Recreation areas. The maximum size for any sign in these areas is 25 square feet. An additional sign of up to 25 square feet in size may be placed on the Riverfront Trail side of properties within Mixed Use Area 4.
4. Total sign area shall not exceed 100 square feet per street frontage in the Mixed Use Outdoor Recreation and Light Industrial/Commercial areas. The maximum size for any sign in these areas is 50 square feet.
5. In all land use areas, the sign allowance for one street frontage may be transferred to a side of a building that has no street frontage but cannot be transferred to another street frontage.

6. In all land use areas, monument signs shall not exceed 8 feet in height.
7. Sign lighting, if desired, must only illuminate the sign face and shall not produce glare. Individual letters used in the sign may be internally illuminated, but full backlit, cabinet signs are not allowed. In the Mixed Use area, signs are encouraged to only be lighted during business hours.
8. Off-premise advertising signs, digital signs, digital display signs, and electronic signs of any type are not permitted within Riverfront at Dos Rios.
9. All proposed signage should be depicted on the site plan and approved concurrent with the site plan.

2. ARCHITECTURAL STANDARDS

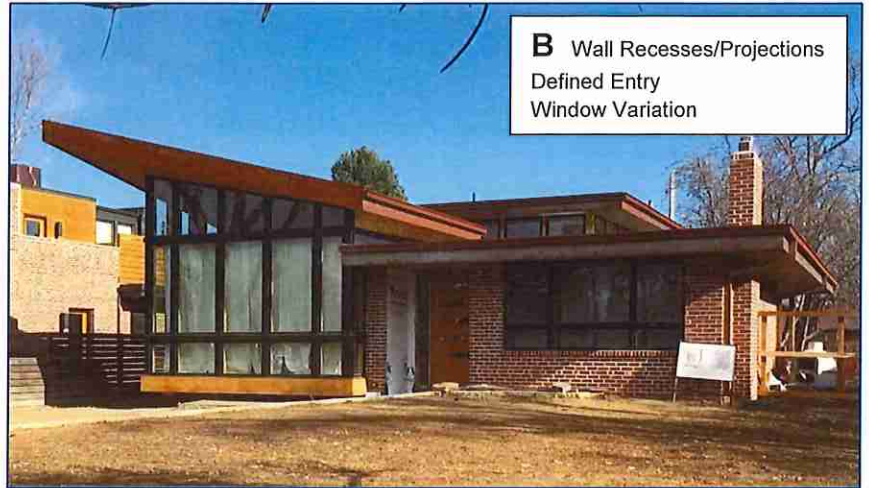
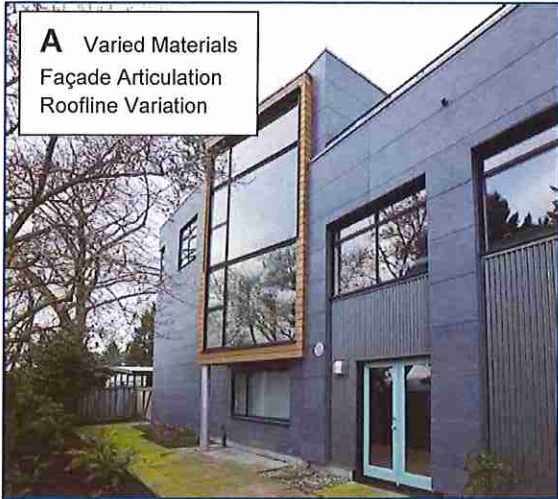
It is the intent of the following provisions that all structures shall be designed and constructed in a manner that provides an aesthetically pleasing appearance and be harmonious with the overall Riverfront at Dos Rios development.

A. All buildings shall be designed to include at least four of the following elements to create the desired overall character of the development, increase visual interest and create continuity of mass and scale. Refer to examples A and B below.

1. Variation of materials, texture or surface relief on exterior facades to break up large building forms and walls.
2. Façade articulation/modulation such as recessed and projecting elements or defined, smaller bays.
3. Roofline variation, vertically or horizontally, that adds visual interest such as overhang/eaves, multiple planes, raised cornice parapets over doors or bays and peaked roof forms.
4. Wall recesses or projections that break up scale and massing.
5. Defined entry: façade feature that emphasizes the primary building entrance through projecting or recessed forms, detail, color and/or materials.
6. Window sizes and shapes which break up the façade and provide visual variety and a pedestrian character.
7. Extension of building space to outdoor pedestrian space that is integrated with the overall building design.
8. Other architectural details that provide visual interest such as:
 - use of accent colors
 - awnings or porticoes

- other variations in materials, details, surface relief and texture.

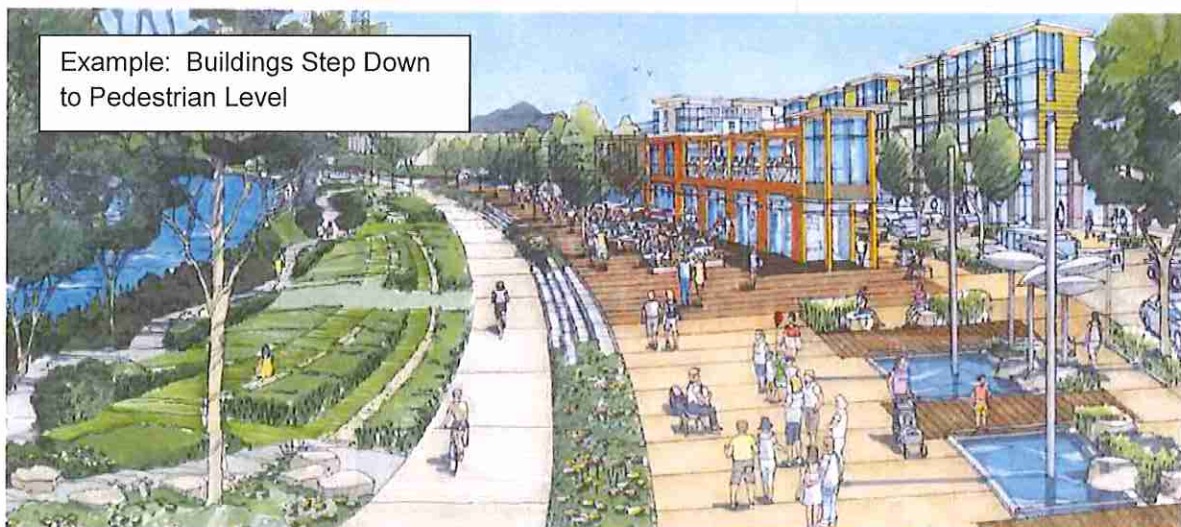
9. Building(s) on the site utilize renewable energy sources or passive solar.

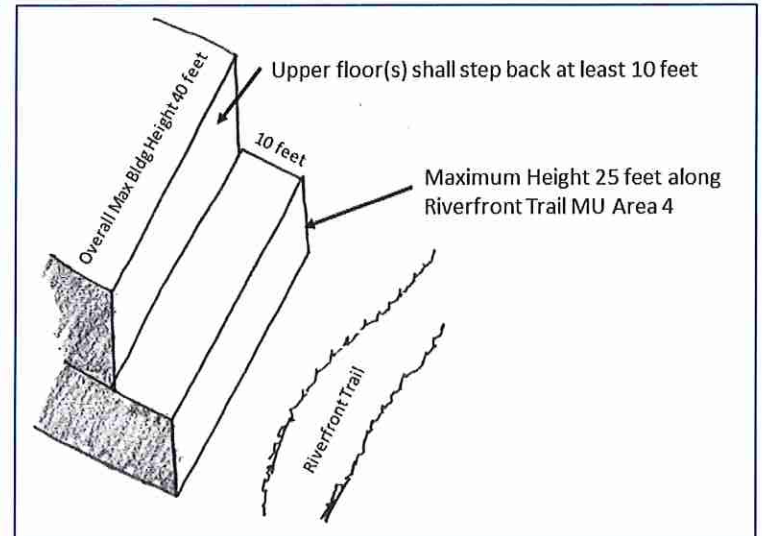
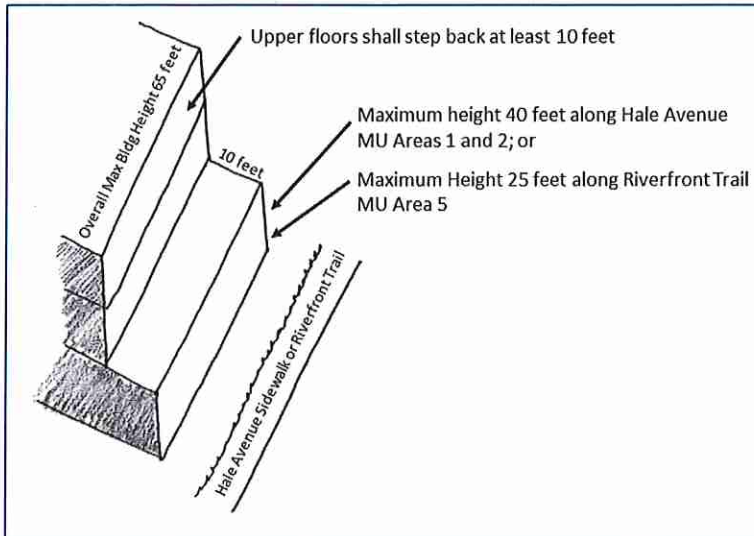


B. Buildings along Hale Avenue in Mixed Use Areas 1 and 2 shall be set back a minimum of 10 feet from the right-of-way.

C. Buildings and structures along the Riverfront Trail (Mixed Use/Outdoor Recreation and Mixed Use Areas 4 and 5) shall be set back a minimum of 10 feet from the property line.

D. Scale and massing of buildings or portions of buildings along Hale Avenue and the Riverfront Trail shall be of pedestrian scale. Buildings in these area shall step down such that the façade facing Hale Avenue is no taller than 40 feet and no taller than 25 feet if facing the Riverfront Trail. Minimum depth of the step back shall be 10 feet.





E. Exterior building materials shall be durable, well maintained and of a high quality.

F. Colors, materials, finishes and building forms for all buildings shall be coordinated in a consistent and harmonious manner on all visible elevations, facades and sides of the building.

G. All roof-mounted mechanical equipment, roof structures, and the like shall be shielded or screened from view from the public rights-of-way and the Riverfront Trail. Materials used for shielding or screening shall be harmonious with the materials and colors used in roof.

H. For all commercial buildings or buildings that have commercial uses on the first floor, glass/transparent material shall be used at a building entrance or on exterior walls, where appropriate, to invite public interaction on a pedestrian level and provide enhanced natural lighting.

I. Buildings in the Mixed Use areas, shall provide an entrance providing both ingress and egress, operable during normal business hours, on the street-facing facade. Additional entrances off another street, pedestrian area or internal parking area are permitted.

J. Buildings in Mixed Use Area 4 that have frontage on both a public street and the Riverfront Trail, shall provide entrances on both facades.

Introduced for first reading on this 3rd day of April, 2019 and ordered published in pamphlet form.

PASSED and ADOPTED this 17th day of April, 2019 and ordered published in pamphlet form.

ATTEST:



President of City Council

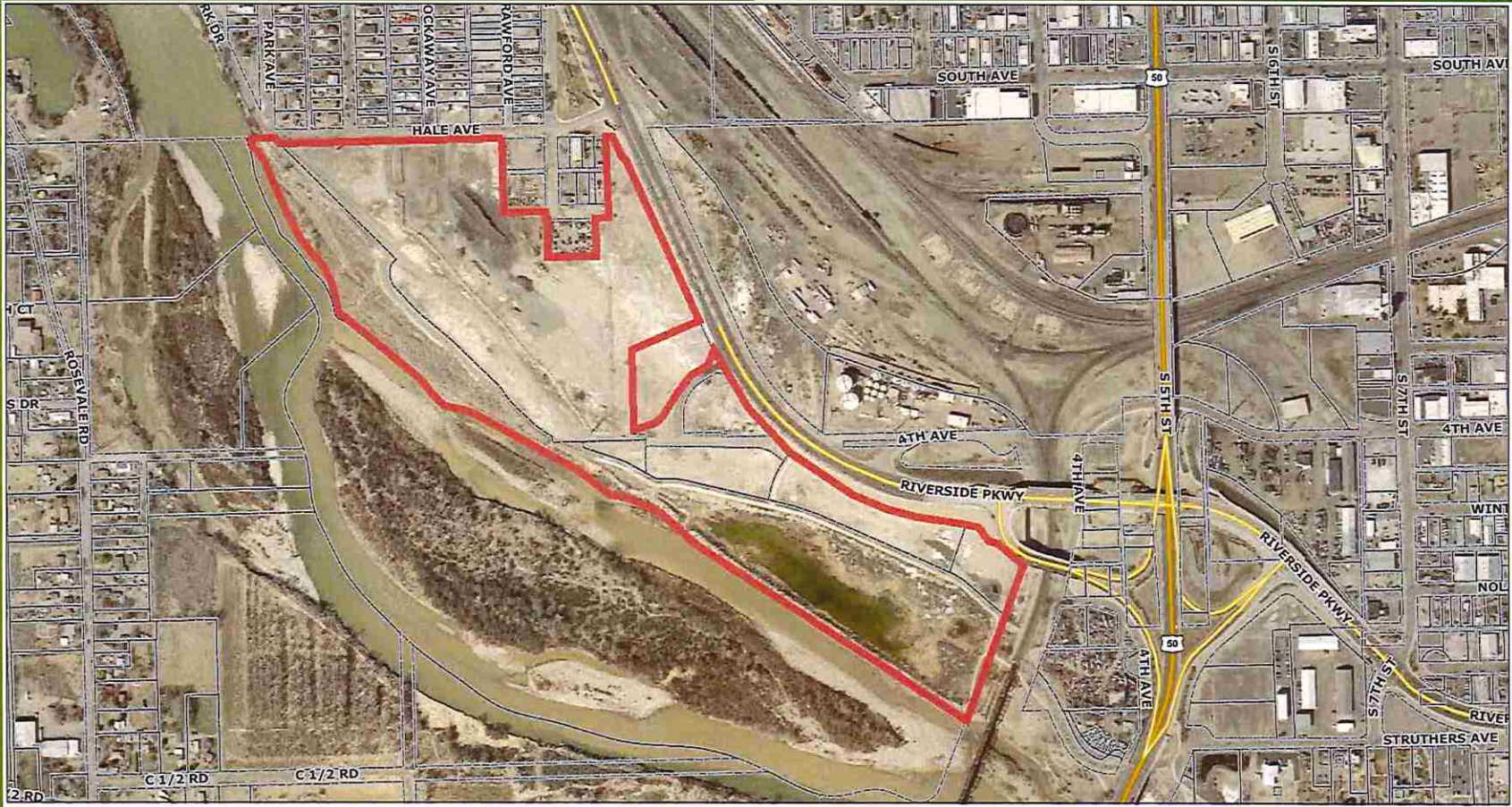


City Clerk



EXHIBIT A

Dos Rios PD Boundary

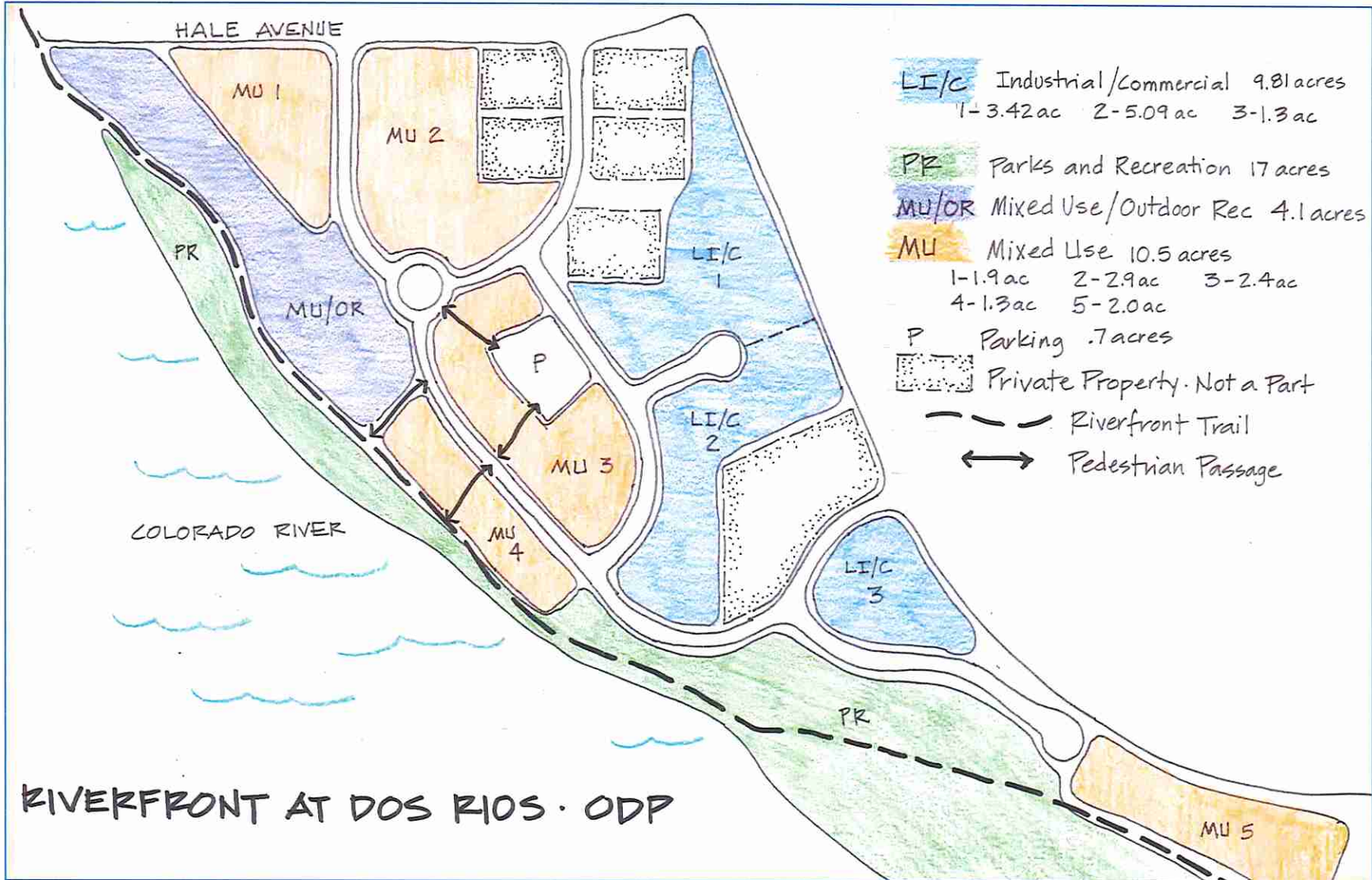


Date: 3/27/2019

1 inch = 376 feet



EXHIBIT B



I HEREBY CERTIFY THAT the foregoing Ordinance, being Ordinance No. 4849 was introduced by the City Council of the City of Grand Junction, Colorado at a regular meeting of said body held on the 3rd day of April, 2019 and the same was published in The Daily Sentinel, a newspaper published and in general circulation in said City, in pamphlet form, at least ten days before its final passage.

I FURTHER CERTIFY THAT a Public Hearing was held on the 17th day of April, 2019, at which Ordinance No. 4849 was read, considered, adopted and ordered published in pamphlet form by the Grand Junction City Council.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said City this 19th day of April, 2019.


Deputy City Clerk

Published: April 5, 2019
Published: April 19, 2019
Effective: May 19, 2019

**CITY OF GRAND JUNCTION, COLORADO
ORDINANCE _____**

**AN ORDINANCE AMENDING ORDINANCE 4928
TO REZONE TO PLANNED DEVELOPMENT (PD)
AND AN OUTLINE DEVELOPMENT PLAN (ODP) FOR
THE RIVERFRONT AT DOS RIOS**

**LOCATED ON THE NORTHEAST BANK OF THE COLORADO RIVER
BETWEEN HIGHWAY 50 AND HALE AVENUE**

Recitals:

The requested amended Planned Development (PD) zoning and Outline Development Plan (ODP) will rezone and add properties recently acquired by the City to the area known as The Riverfront at Dos Rios development. All of the properties, those initially part of the Planned Development and those being added, have never been used or held for park or other governmental purposes but instead for possible reuse/redevelopment; the PD and ODP will further that opportunity. The request for the rezone and amendment to the PD and ODP have been submitted in accordance with the Zoning and Development Code (Code).

In public hearings, the Planning Commission and City Council reviewed the request for the proposed amendment and determined that the proposed amended PD and ODP satisfied the criteria of the Code and is consistent with the purpose and intent of the Comprehensive Plan. Furthermore, it was determined that the proposed ODP has achieved "long-term community benefits" by effective infrastructure design; providing for ongoing and enhanced recreational opportunities; protection and/or preservation of natural resources, habitat areas and natural features; and innovative design.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE AREAS DESCRIBED BELOW AND THOSE IN THE PLANNED DEVELOPMENT AND OUTLINE DEVELOPMENT PLAN BOUNDARIES, NONE OF WHICH HAVE EVER BEEN USED OR HELD FOR PARK OR OTHER GOVERNMENTAL PURPOSES BUT INSTEAD FOR REUSE/REDEVELOPMENT, ARE ZONED FROM INDUSTRIAL OFFICE (I-O) TO PLANNED DEVELOPMENT (PD), FOLLOWING THE SAME DEFAULT ZONE AND STANDARDS ESTABLISHED IN ORDINANCE 4928 EXCEPT AS NOTED BELOW:

A. This Ordinance applies to all property(ies), including but not limited to those specifically described as follows, in the Development Boundary depicted in Exhibit A and the ODP depicted in Exhibit B, each as amended:

ALL of Lots 1 through 9 Riverfront at Dos Rios Filing 3 containing 110.35 acres;

535 Hale Avenue: Lot 16 Riverfront at Dos Rios Filing One located within Section 22

and 23 1S 1W UM recorded 5/16/2019 At Reception number 2880032 Mesa County Records containing 4.20 acres;

2600 Riverside Parkway: Lot 1 Jarvis Subdivision Filing 1 located within Sections 15, 22 and 23 Township 1 South, Range 1 West UM recorded 2/21/2017 at Reception Number 2790938 Mesa County Records Containing 5.53 Acres; and

636 and 636-1/2 Lawrence Avenue: Lots 8 through 12 Block 1 O'Boyles Subdivision Section 22 1S 1W containing 0.37 acres.

B. The Riverfront at Dos Rios Outline Development Plan (Exhibit B) is approved with the Findings of Fact and Conclusions listed in the Staff Report, including attachments and exhibits.

C. Phasing of the Riverfront at Dos Rios Planned Development shall be per the validity standards of GJMC Section 21.02.080(n).

D. If the Planned Development approval expires or becomes invalid for any reason, the properties shall be fully subject to the default standards of the BP Zoning District.

E. The default zone shall be BP with the following deviations to the dimensional standards.

Primary Uses			
Employment, Light Manufacturing, Multifamily, Retail, Commercial Services			
Lot			
Area (min. acres)	No Minimum except .5 in LI/C		
Width (min. ft.)	25		
Frontage (min. ft.)	n/a		
Setback		Principal	Accessory
Front (min. ft.)	0-10*		10
Side (min. ft.)	0		3
Rear (min. ft.)	0		5
Bulk			
Lot Coverage (max.)	n/a		
Height (max. ft.)	65 except 40 feet in Mixed Use Area 4		

Density (min.)	12 units/acre
Density (max.)	No Max
Building Size (max. sf)	n/a

* Refer to the Architectural standards

F. The allowed land uses shall be assigned by areas as depicted on the Outline Development Plan (ODP) and summarized in the table below. Uses will be as defined and shall be consistent with GJMC Codes and Standards as amended. A = Allowed; C = Conditional Use; Blank = Not Allowed

ALLOWED LAND USE	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
Business Residence	A	A	A	
Multifamily	A			
Single Family Attached *	A			
Home Occupation	A	A	A	
Small Group Living Facility	A			
Large Group Living Facility	A			
Unlimited Group Living Facility	A			
Rooming/Boarding House	A			
Colleges and Universities	A	A		
Vocational, Technical and Trade Schools	A	A		
Community Activity Building	A	A	A	A
All Other Community Service	A	A	A	A
Museums, Art Galleries, Opera Houses, Libraries	A	A		
General Day Care	A	A		
Medical and Dental Clinics	A	A		
Counseling Centers (Nonresident)	A	A		

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
All Other Hospital/Clinic	C	A		
Physical and Mental Rehabilitation (Resident)	C			
Parks, Lakes, Reservoirs, Other Open Space	A	A	A	A
Religious Assembly	A	A	A	
Boarding Schools	A			
Elementary Schools	A			
Secondary Schools	A			
Utility Service Facilities (Underground)	A	A	A	A
All Other Utility, Basic	A	A	A	A
Transmission Lines (Above Ground)	A	A	A	A
Transmission Lines (Underground)	A	A	A	A
All Other Utility Treatment, Production or Service Facility	C	C	C	C
Entertainment Event, Major				
Indoor Facilities	A	C		
Outdoor Facilities	C	C	C	C
Hotels and Motels	A	A	A	
Short-Term Rentals	A	A	A	
Office				
General Offices	A	A		
Recreation and Entertainment, Outdoor				
Campgrounds and Camps (nonprimitive)	A		A	
Resort Cabins and Lodges	A		A	
Amusement Park, Miniature Golf			A	
Campgrounds, Primitive				A
Swimming Pools, Community			A	

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
All Other Outdoor Recreation			A	A
Recreation and Entertainment, Indoor				
Health Club	A	A	A	
Movie Theater, Skating Rink, Arcade	A			
All Other Indoor Recreation	A			
Alcohol Sales, Retail	A			
Bar/Nightclub	A	A	A	
Animal Care/ Boarding/Sales, Indoor	A	A		
Animal Care/ Boarding/Sales, Outdoor		A		
Food Service, Restaurant (Including Alcohol Sales)	A	A	A	
Farmers' Market	A	A	A	
General Retail Sales, Indoor Operations, Display and Storage	A	A	A	
Produce Stands	A	A	A	
Personal Services	A	A		
All Other Retail Sales and Services	A	A	A	
Manufacturing Indoor Operations and Storage				
Assembly		A		
Food Products		A		
Manufacturing/Processing		A		
Manufacturing Indoor Operations and Outdoor Storage				
Assembly		A		
Food Products		A		
Manufacturing/Processing		A		
Self-Service Storage				
Mini-Warehouse		A**		

	Mixed Use	Light Industrial/Commercial	Mixed Use Outdoor Recreation	Parks and Recreation
ALLOWED LAND USE				
Industrial Services, Contractors and Trade Shops, Oil and Gas Support Operations without Hazardous Materials				
Research, Testing and Laboratory Facilities – Indoors (includes Marijuana Testing Facilities)		A**		
Telecommunications Facilities				
Facilities on Wireless Master Plan Priority Site in Accordance with Wireless Master Plan Site-Specific Requirements	A	A	A	A
Temporary PWSF (e.g. COW)	A	A	A	A
Co-Location	A	A	A	A
Tower Replacement	A	A	A	A
Dual Purpose Facility	A	A	A	A
DAS and Small Cell Facilities	A	A	A	A
Base Station with Concealed Attached Antennas	A	A	A	A
Base Station with Non-Concealed Attached Antennas	C	C	C	C
Tower, Concealed	C	C	C	C
Bus/Commuter Stops	A	A	A	A

* **Single Family Attached.** A one-family dwelling **attached** to one or more other one-family dwelling by common walls and located entirely on its own lot.

** Only allowed in LI/C East of Riverside Parkway

G. DESIGN GUIDELINES AND STANDARDS FOR THE DOS RIOS PLANNED DEVELOPMENT

1. SITE DEVELOPMENT

A. Access

In order to maximize the on-street parking available for residents, employees and

customers of all properties within the development, site access to the public streets shall be minimized and shared to the greatest extent feasible.

B. Parking

Streets within Riverfront at Dos Rios shall be constructed, and access controlled so as to allow and encourage on-street parking on both sides of the street. There will also be a common public parking lot located near the center of the development. Combined, there will be approximately 350 common parking spaces available for residents, employees, and customers of all properties within the development to utilize. In addition, it is anticipated that a number of uses within the development will be able to share parking due to overlapping hours of operation and demand.

1. Off-street parking for uses developed with the Riverfront at Dos Rios shall be minimized as much as feasible.

Mixed Use Areas 3 and 4: No Parking Requirement

All Other Areas: Provide 1 off-street parking space per residential unit and provide 25 percent of off-street parking as required by GJMC Section 21.06.050(c) for all other uses. An alternative parking plan may be provided under 21.06.050(e)(e).

2. Off-street parking for multifamily or mixed-use development shall not be located in the front yard setback. Parking shall be in the rear or side yards or that area which is less visible from public street rights-of-way or the Riverfront Trail.
3. Develop pedestrian links between the on-street sidewalk and building entrances and between parking areas and rear or side entrances or public access points.

C. Landscaping

The intent of landscaping within the Riverfront at Dos Rios is to create overall visual continuity throughout that is sensitive to, and blends with, the visual character of adjacent areas. Landscaping will enhance the aesthetics of the overall site, particularly as it is viewed from the perimeter public streets (Hale Avenue and Riverside Parkway) and from the Riverfront Trail.

1. Street Frontage Landscaping. Within all land use areas, the owner shall provide and maintain a minimum 10-foot-wide street frontage landscape area adjacent to the public right-of-way except no street frontage landscaping is required when the setback for a building is 10 feet or less.
2. Parking Lot Landscaping. Perimeter and interior landscaping of parking lots is required per GJMC Section 21.06.040(c).
3. All other areas on any site not used for building, storage, parking, walks, access roads, loading areas and other outdoor hardscape areas, including adjacent undeveloped right-of-way shall be suitably graded and drained, and planted and

maintained with mulch, groundcover, flowers, trees and/or shrubs.

4. Landscaping/Screening Buffer. No landscaping/screening buffer is required between adjacent uses with the exception of screening service entrances, loading areas and dumpster areas which shall be screened from adjacent residential uses.

5. Plant Material and Design. Xeric landscaping principles will be implemented. Vegetation must be suitable for the climate and soils of the Grand Valley. The Director may allow the use of any plant if sufficient information is provided to show suitability. Noxious weeds are not allowed. Size of plants at planting shall meet requirements of GJMC Section 21.06.040(b)(5).

D. Service Entrances, Loading and Dumpster Areas

1. Service entrances, loading areas and dumpster areas shall be oriented in the rear or side yard only so as to minimize the impact on the public view corridors, areas open for public enjoyment and areas of residential use.

2. Operation of loading areas shall not interfere with traffic circulation such as drive aisles, pedestrian areas and public streets unless outside of regular business hours.

3. Shared loading areas are encouraged among tenants of a building or with neighboring buildings.

E. Outdoor Storage and Display

1. Where allowed as accessory to a primary land use or structure, outdoor storage shall be located on a site where least visible from a public right-of-way or Riverfront Trail.

2. If allowed, outdoor storage areas shall be screened in accordance with GJMC Section 21.04.040(h). Acceptable screening consists of any combination of fences, walls, berms and landscaping that is approximately six feet in height and provides a permanent, opaque, year-round screening around the entire perimeter of the outdoor storage area. Plant materials are encouraged as screening. Fences shall only be made of materials referenced in the Fencing section below.

3. Display area for portable retail merchandise (items that can be taken inside at the close of business) is allowed, provided it meets the requirements of GJMC Section 21.04.040(h)(3).

4. Location of permanent outdoor display areas shall be established with site plan approval.

F. Fencing

1. All fencing shall be made of either wood, vinyl, wrought iron or masonry wall materials. No chain link or wire fencing of any kind is allowed with the following exceptions: a) All development within the Light Industrial/Commercial areas; and b) a wire grid other than chain link may be set within a wooden or masonry frame in all areas.

2. Fencing on an individual site for purposes of enclosing a site is strongly discouraged however, it may be allowed for specific reasons such as public safety, protection of equipment and materials or for liquor license compliance. Fencing may be used to enclose an outdoor space (e.g. dining/patio) and shall be no taller than 42 inches (3.5 feet). If feasible, provide an opening in these enclosures if adjacent to the Riverfront Trail.
3. The maximum height of any fence in the Light Industrial/Commercial areas of the Riverfront at Dos Rios is 8 feet. Maximum height of all other fencing in the development is 6 feet unless an outdoor space enclosure as above.
4. Fences shall be kept in good repair and condition at all times. Maintenance of fencing shall be the responsibility of the property owner on the site upon which the fencing is located.

G. Lighting

1. All new land uses, structures, building additions, parking areas or other outdoor areas within the Riverfront at Dos Rios development shall meet the following lighting standards.
 - a. No outdoor lights shall be mounted more than 35 feet above the ground. Lighting located near buildings and adjacent to sidewalks shall not exceed 12 feet in height.
 - b. All outdoor lights shall use full cutoff light fixtures except for pedestrian lighting under 3 feet in height (e.g. pathway lighting).
 - c. Outdoor lighting for mixed use and industrial areas are encouraged to be used only during business hours. Light fixtures on timers and/or sensor-activated lights are encouraged to minimize overall lighting on a site and within the development.
 - d. Architectural lighting shall not be used to draw attention to or advertise buildings or properties. Architectural lighting may be used to highlight specific architectural, artistic or pedestrian features with the intent of providing accent and interest or to help identify entryways.
2. A lighting plan shall be submitted for all parking lots that contain 30 spaces or more.
 - a. The lighting plan shall detail the location and specifications of all lighting to be provided on site. An ISO foot candle diagram shall also be provided to indicate the level and extent of proposed lighting.
 - b. Where nonresidential uses abut residential uses, the Director may require a lighting plan for lots that contain fewer than 30 parking spaces.
 - c. Lighting intensity shall meet the requirements of GJMC Section 21.06.080.

H. Signs

1. Flush wall signs, projecting signs and monument signs shall be the only sign types allowed within the Riverfront at Dos Rios except roof-mounted signs may be allowed within the Mixed Use/Outdoor Recreation areas.
2. Monument signs shall be located no closer than 2 feet from the front property line.
3. Total sign area shall not exceed 25 square feet per street frontage in the Mixed Use Areas 1, 2 and 3 all Parks and Recreation areas. The maximum size for any sign in these areas is 25 square feet. An additional sign of up to 25 square feet in size may be placed on the Riverfront Trail side of properties within Mixed Use Area 4.
4. Total sign area shall not exceed 100 square feet per street frontage in the Mixed Use Outdoor Recreation and Light Industrial/Commercial areas. The maximum size for any sign in these areas is 50 square feet.
5. In all land use areas, the sign allowance for one street frontage may be transferred to a side of a building that has no street frontage but cannot be transferred to another street frontage.
6. In all land use areas, monument signs shall not exceed 8 feet in height.
7. Sign lighting, if desired, must only illuminate the sign face and shall not produce glare. Individual letters used in the sign may be internally illuminated, but full backlit, cabinet signs are not allowed. In the Mixed Use area, signs are encouraged to only be lighted during business hours.
8. Off-premise advertising signs, digital signs, digital display signs, and electronic signs of any type are not permitted within Riverfront at Dos Rios.
9. All proposed signage should be depicted on the site plan and approved concurrent with the site plan.

2. ARCHITECTURAL STANDARDS

It is the intent of the following provisions that all structures shall be designed and constructed in a manner that provides an aesthetically pleasing appearance and be harmonious with the overall Riverfront at Dos Rios development.

- A. All buildings shall be designed to include at least four of the following elements to create the desired overall character of the development, increase visual interest and create continuity of mass and scale. Refer to examples A and B below.
 1. Variation of materials, texture or surface relief on exterior facades to break up large building forms and walls.
 2. Façade articulation/modulation such as recessed and projecting elements

or defined, smaller bays.

3. Roofline variation, vertically or horizontally, that adds visual interest such as overhang/eaves, multiple planes, raised cornice parapets over doors or bays and peaked roof forms.

4. Wall recesses or projections that break up scale and massing.

5. Defined entry: façade feature that emphasizes the primary building entrance through projecting or recessed forms, detail, color and/or materials.

6. Window sizes and shapes which break up the façade and provide visual variety and a pedestrian character.

7. Extension of building space to outdoor pedestrian space that is integrated with the overall building design.

8. Other architectural details that provide visual interest such as:

- use of accent colors
- awnings or porticoes
- other variations in materials, details, surface relief and texture.

9. Building(s) on the site utilize renewable energy sources or passive solar.



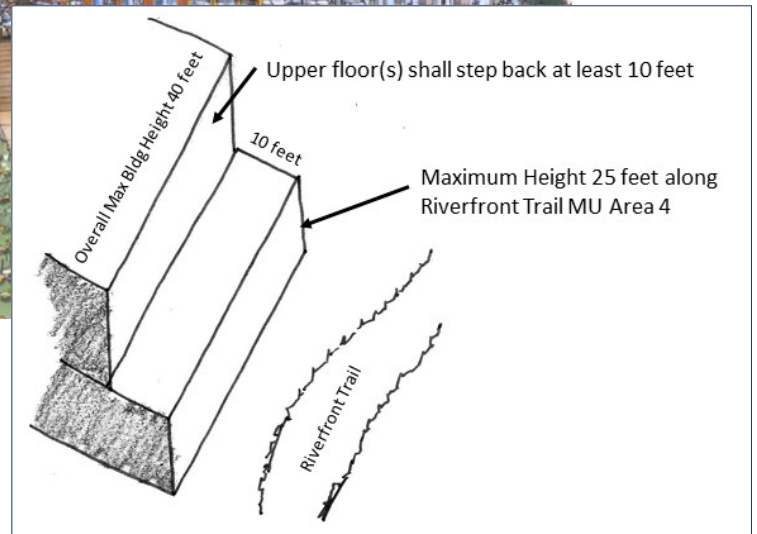
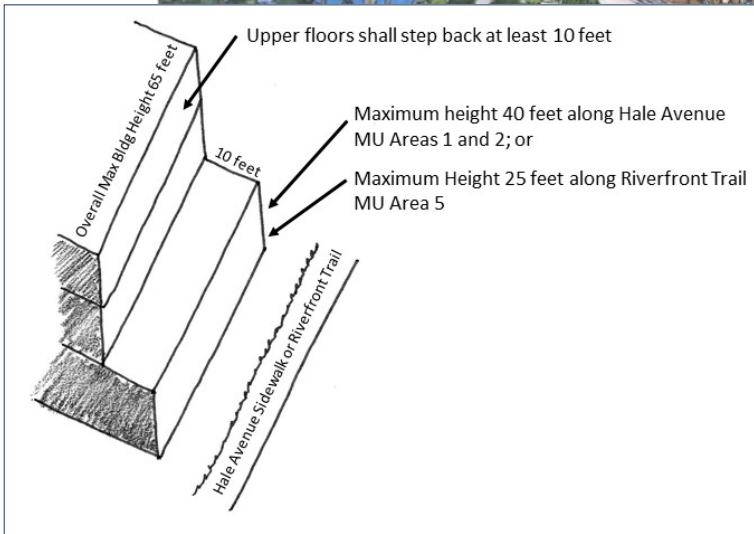
B. Buildings along Hale Avenue in Mixed Use Areas 1 and 2 shall be set back a minimum of 10 feet from the right-of-way.

C. Buildings and structures along the Riverfront Trail (Mixed Use/Outdoor Recreation and Mixed Use Areas 4 and 5) shall be set back a minimum of 10 feet from the property line.

D. Scale and massing of buildings or portions of buildings along Hale Avenue and the Riverfront Trail shall be of pedestrian scale. Buildings in these area shall step down

such that the façade facing Hale Avenue is no taller than 40 feet and no taller than 25 feet if facing the Riverfront Trail. Minimum depth of the step back shall be 10 feet.

Example: Buildings Step Down to Pedestrian Level



E. Exterior building materials shall be durable, well maintained and of a high quality.

F. Colors, materials, finishes and building forms for all buildings shall be coordinated in a consistent and harmonious manner on all visible elevations, facades and sides of the building.

G. All roof-mounted mechanical equipment, roof structures, and the like shall be shielded or screened from view from the public rights-of-way and the Riverfront Trail. Materials used for shielding or screening shall be harmonious with the materials and colors used in roof.

H. For all commercial buildings or buildings that have commercial uses on the first floor, glass/transparent material shall be used at a building entrance or on exterior walls, where appropriate, to invite public interaction on a pedestrian level and provide enhanced natural lighting.

I. Buildings in the Mixed Use areas, shall provide an entrance providing both ingress and egress, operable during normal business hours, on the street-facing facade. Additional entrances off another street, pedestrian area or internal parking area are permitted.

J. Buildings in Mixed Use Area 4 that have frontage on both a public street and the Riverfront Trail, shall provide entrances on both facades.

Introduced for first reading on this ____ day of _____, 2021 and ordered published in pamphlet form.

PASSED and ADOPTED this ____ day of _____, 2021 and ordered published in pamphlet form.

ATTEST:

President of City Council

City Clerk

EXHIBIT A

GREEN AREAS – New Parcels

RED OUTLINE – Original ODP Boundary



EXHIBIT B



- LI/C Industrial/Commercial
- PR Parks and Recreation
- MU/OR Mixed Use/Outdoor Recreation
- MU Mixed Use
- - - Riverfront Trail
- ↔ Pedestrian Passage

RIVERFRONT AT DOS RIOS · ODP



Grand Junction Planning Commission

Regular Session

Item #2.

Meeting Date: January 12, 2021

Presented By: Senta Costello, Planner

Department: Community Development

Submitted By: Senta Costello, Associate Planner

Information

SUBJECT:

Consider a request by Mesa County Valley School District 51 to vacate a public alley right-of-way adjacent to five properties located at 520, 522, 538, 542 and 552 West Main Street and a public sewer easement located at 552 West Main Street. |

Application Withdrawn.

RECOMMENDATION:

Staff recommends forwarding a recommendation of approval to City Council.

EXECUTIVE SUMMARY:

The Dual Immersion Academy school property located at 552 W. Main on the north side of the 500 block houses an elementary school that was recently expanded. The School District and Riverside Taskforce have been acquiring the adjacent properties on the north side of W Main in an effort to consolidate the land ownership, facilitating the potential expansion of the school site and facilities. The District is now requesting to vacate the alley that runs along the north side of the properties, dead ending at the School District property. The District is also requesting to vacate a public sewer easement that is no longer needed as the sewer line is now a private service for the school. The requested vacations are consistent with the City's Comprehensive Plan and Circulation Plan.

BACKGROUND OR DETAILED INFORMATION:

BACKGROUND

School District 51 constructed an addition to the Dual Immersion Academy at 552 W.

Main Street in 2018. A sanitary sewer trunk line and easement ran through the property providing sewer service to the school and the other properties on the north side of the 500 Block of W Main Street. As part of the construction of the school addition, a new section of sewer trunk line was constructed and rerouted to the north around the school building, the old line abandoned, and a new public sewer easement recorded. The section of easement encompassing the abandoned line was vacated in 2018 to clear the property of the encumbrance due to the construction of the addition.

The school-owned campus includes all of the service area for the trunk line. There is vacant property at the end of the block that is owned by the City of Grand Junction which may be served by a line to the southeast.

All properties have access from the W Main Street right-of-way.

In the future the School District would like to expand their parking lot and playground facilities onto the properties south of the alley.

NOTIFICATION REQUIREMENTS

A Neighborhood Meeting regarding the proposed Vacations request was not held due to the COVID 19 emergency ordinance in place that waived the requirement temporarily. A neighborhood meeting was held in 2018 when the project was previously submitted. No neighbors attended that meeting.

Notice was completed consistent with the provisions in Section 21.02.080 (g) of the Zoning and Development Code. The subject property was posted with an application sign on May 14, 2020. Mailed notice of the public hearings before Planning Commission and City Council in the form of notification cards was sent to surrounding property owners within 500 feet of the subject property, as well as neighborhood associations within 1000 feet, on August 28, 2020. The notice of this public hearing was published on September 1, 2020 in the Grand Junction Daily Sentinel.

ANALYSIS

Pursuant to Section 21.02.100 of the Zoning and Development Code, the vacation of public right-of-way or easement shall conform to the following:

1. The Comprehensive Plan, Grand Valley Circulation Plan, and other adopted plans and policies of the City.

Vacation of this alley and sewer easement will have no impact on public facilities or services provided to the general public.

Further, the vacation requests are consistent with the following goals and policies of the Comprehensive Plan:

Goal 1 / Policy A. City and County land use decisions will be consistent with the Future Land Use Map.

Goal 1 / Policy C: The City will make land use and infrastructure decisions consistent with the goal of supporting an encouraging the development of centers.

Goal 7 / Policy A. In making land use and development decisions, the City and County will balance the needs of the community.

Therefore, staff has found the request to vacate existing public right-of-way and easements does not conflict with the Comprehensive Plan, Grand Junction Circulation Plan or other adopted plans and policies of the City and therefore this criterion has been met.

2. No parcel shall be landlocked as a result of the vacation.

The request to vacate the alley and public sewer easement will not render any parcel landlocked.

Staff has found this criterion has been met.

3. Access to any parcel shall not be restricted to the point where access is unreasonable, economically prohibitive or reduces or devalues any property affected by the proposed vacation.

No access to any parcel will be restricted by the vacation of this alley or easement.

Staff has found this criterion has been met.

4. There shall be no adverse impacts on the health, safety, and/or welfare of the general community and the quality of public facilities and services provided to any parcel of land shall not be reduced (e.g. police/fire protection and utility services).

The alley requested to be vacated is no longer needed for utilities and all lots have access from West Main Street. No comments were received from utilities or other service providers that these vacation requests would impact any existing utilities, create any adverse impacts, or that facilities or services would be diminished, therefore staff has found that this criterion to be met.

5. The provision of adequate public facilities and services shall not be inhibited to any property as required in Chapter 21.06 of the Grand Junction Municipal Code.

Neither staff nor utility providers have identified that the requested right-of-way and

easement vacation would inhibit the provision of adequate public facilities and services, therefore staff finds that this criterion has been met.

6. The proposal shall provide benefits to the City such as reduced maintenance requirements, improved traffic circulation, etc.

Though not a benefit to the City directly, this request to vacate the alley will create a more viable property for the School District 51 to develop an addition to this school facility which provides a significant benefit to residents of the City, the neighborhood and the community at large.

Staff has found this criterion has been met.

RECOMMENDATION AND FINDINGS OF FACT

After reviewing the Mesa County Valley School District 51 alley and sanitary sewer easement vacation requests, VAC-2020-245 and VAC-2020-246, for the alley located adjacent five properties at 520, 522, 538, 542 and 552 West Main Street and the sanitary sewer easement on 552 W Main Street, the following findings of fact have been made:

1. The request conforms with Section 21.02.100(c) of the Zoning and Development Code.

Therefore, Staff recommends approval of the request.

SUGGESTED MOTION:

Chairman, on the alley and sanitary sewer easement vacation requests, VAC-2020-245 and VAC-2020-246, for the alley located adjacent five properties at 520, 522, 538, 542 and 552 West Main Street and the sanitary sewer easement on 552 W Main Street, I move that the Planning Commission continue this item to the January 12, 2021 meeting.

Attachments

None