

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. 5040

AN ORDINANCE ACCEPTING FERNWOOD COURT IN THE
KNOLLS SUBDIVISION AS A PUBLIC STREET

Recitals:

In 2004 Fernwood Court, in the Knolls Subdivision, was platted as a private street due to road geometries not meeting City street design standards in place at the time at that time. Since then the City has adopted Transportation Engineering Design Standards (TEDS) which provide for alternative street designs. The City Development Engineer has compared Fernwood Court with the applicable TEDS standards and has determined that Fernwood Court satisfies the current standards and requirements for an alternative street design.

The Ravenna Hills Homeowners Association (RHHA) has submitted a request for the City to assume maintenance of Fernwood Court and has provided the approved TEDS exception study. A copy of that request is attached. The RHHA has agreed to pay for repairs to concrete and pay the cost to overlay the street in 2022 collectively "Maintenance Work" all to be performed to City standards. Because Fernwood Court was not dedicated to the City with the Knolls Subdivision approval, the HOA and OP Development Company LLC will need to execute Quit Claim Deeds to the City.

With the City Council's approval of this ordinance and following completion of the Maintenance Work, and recordation of the Deeds, the City will accept Fernwood Court as a public street of the City of Grand Junction.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

Fernwood Court, as platted as part of *The Knolls Subdivision Filing 2* and *The Knolls Subdivision Filing 3* be accepted as a public street on satisfaction of the conditions and as otherwise provided herein.

Introduced on first reading this 3rd day of November 2021 and ordered published in pamphlet form.

Adopted on second reading this 17th day of November 2021 and ordered published in pamphlet form.

ATTEST:



Wanda Winkelmann
City Clerk



C.B. McDaniel
President of the City Council





Austin Civil Group, Inc.

Land Planning ▪ Civil Engineering ▪ Development Services

APPLICATION

Transportation Engineering Design Standards (TEDS)

Exception Request

City File No.: TEDS- _____
Project: Fernwood Court
Site Address: N/A
Applicant: Ravenna Hills HOA
Representative: Austin Civil Group
Date: August 25, 2021
Project Name: Fernwood Court
City File No.: _____

1. Referenced section in TEDS and a brief description of the request(s)

Urban Residential Street – Standard Street Detail “Page ST-05”

“Urban Residential Street Detail identified on Page ST-05 identifies 44-feet of full width right-of-way that includes 14-foot multipurpose easements on either side, 6’-6” concrete drive over curb, gutter and sidewalk with 28-feet of asphalt paving. This asphalt width generally allows on-street parking.”

This TEDS Exception Request is requesting an alternative street section along Fernwood Court. This street is currently a private street and the applicant would like to convert this street to a public street. The location of the street is depicted in the photo below.



Location Map

2. Site Description

- A. Description: Fernwood Court is located off of Piazza Way which connects to 27 ½ Road south of G Road. The street consists of 33-feet of right-of-way, 22-feet of asphalt pavement, 6'-5" mountable curb, gutter and sidewalk on the southwest side and a 2'-0" vertical curb and gutter on the northeast side, as depicted by the photo below.



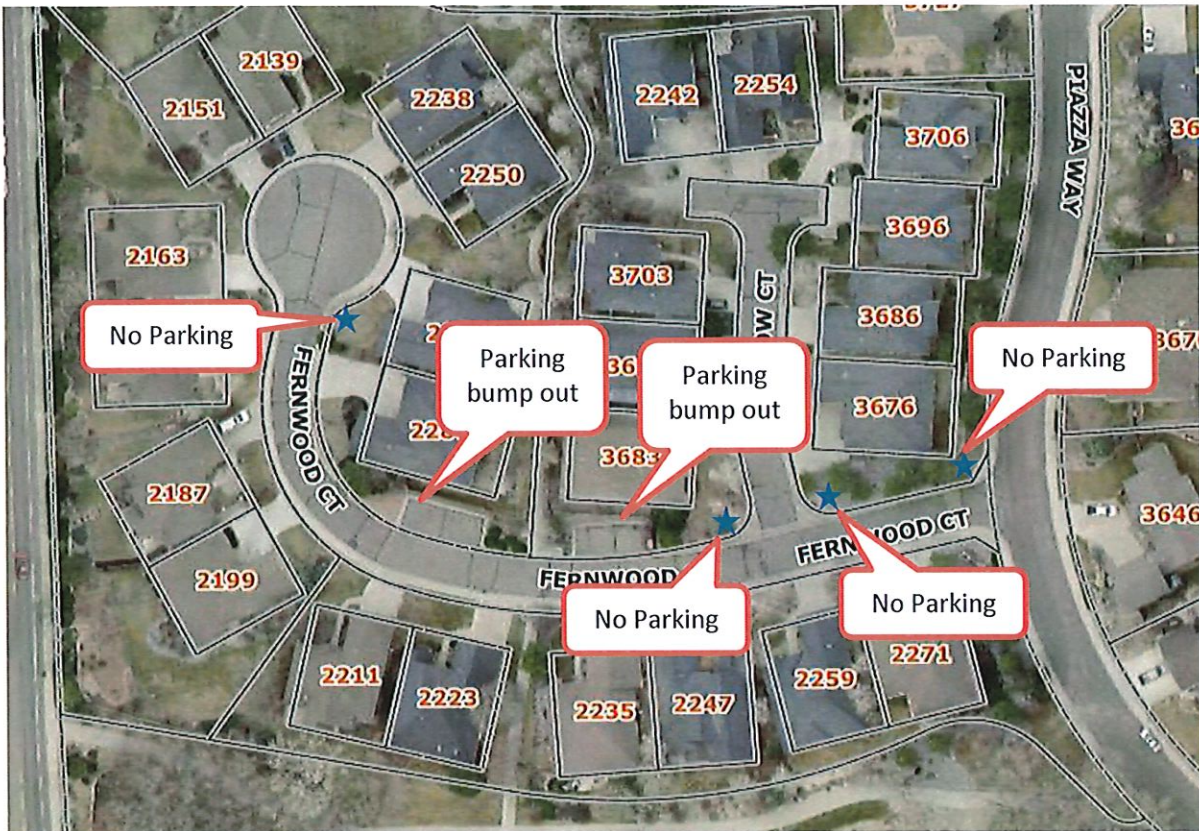
Fernwood Court

Fernwood Court terminates in a cul-de-sac with a 40' pavement radius per TEDS, and mountable curb and gutter as shown in the photo below.



Looking East Down G ¼ Road from 24 ½ Road

In lieu of the standard urban residential street section identified on Page ST-05 of TEDS, Ravenna Hills HOA is proposing that the City accept the existing street section. As part of the TEDS exception the Ravenna Hills HOA is proposing to restrict parking along the north-east side of the street with four “no parking” signs at the locations shown in the photo below. Two bump outs were built into the original street to allow for additional parking that does not impede the flow of traffic as shown below.



Fernwood Court Site Plan

B. Exception Considerations

1. How will exception affect safety?

- The exception will not affect safety for Fernwood Court or the users of it. 24-feet of flowline to flowline pavement provides adequate two-way travel width and meets fire apparatus access.
- Safe and adequate pedestrian travel is provided along the south-west side of Fernwood Court. Of the sixteen houses that take access off of Fernwood Court a sidewalk is in front of 15 of them. There is no record of pedestrian incidents along Fernwood Court since the neighborhood was built-out around 2000.

2. Have other alternatives been considered that would meet the standard?

The standard urban residential street section has been considered but due to the following is not being proposed.

- A full 44-foot ROW with 28-foot paving width and new curb, gutter and sidewalk will significantly affect the properties on the north-east side of Fernwood Court. If the roadway was widened mature landscaping would need to be removed, utilities would need to be relocated, and the setback of the houses would be significantly reduced.

- Continuing with the no-parking conditions along Fernwood Court allows the 24-foot pavement width to be adequate two-way travel and the need for the full 28-feet is unwarranted.

3. Has the proposed designed been used in other areas?

- Alternative residential street sections have been used throughout urban development in the City of Grand Junction. Where in-fill development is proposed certain existing conditions constrain the standard section. When safe and functional vehicle and pedestrian travel are maintained through the TEDS Request these alternative street sections are considered an acceptable solution to urban planning and development.

4. Will the exception require CDOT or FHWA coordination?

- No.

5. Is this a one-time exception or a request to change the TEDS manual?

- This is a one-time exception request.

Attachments:

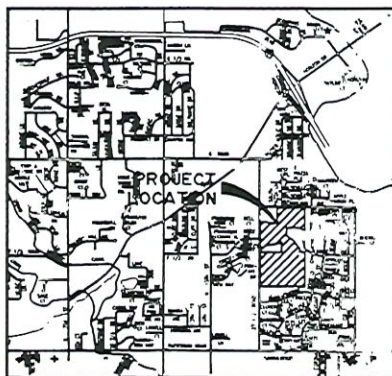
- The Knolls Subdivision Filing Three Construction Drawing of Record
- Final Plat of the Knolls Subdivision, Filing 2
- Final Plat of the Knolls Subdivision, Filing 3

O.P. DEVELOPMENT COMPANY, L.L.C.
GRAND JUNCTION, COLORADO

PLANS FOR
CONSTRUCTION
OF

THE KNOLLS SUBDIVISION
FILING THREE

APRIL, 1998



VICINITY MAP

CONSTRUCTION
DRAWING OF RECORD

NO.	TITLE
1	COVER SHEET
2-3	FINAL PLAT
4	SITE PLAN
5	LANDSCAPE PLAN
6	GRADING AND EROSION CONTROL MANAGEMENT PLAN
7	UTILITY CONDUIT LAYOUT
8-10	WATER PLAN AND POWER PLAN AND PROFILE
11-13	ROADWAY PLAN AND PROFILE
14-17	STANDARD DETAILS

APPROVED FOR CONSTRUCTION _____ ACCEPTED BY CONSTRUCTION _____

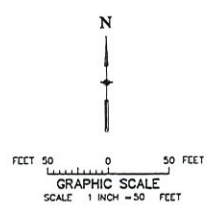
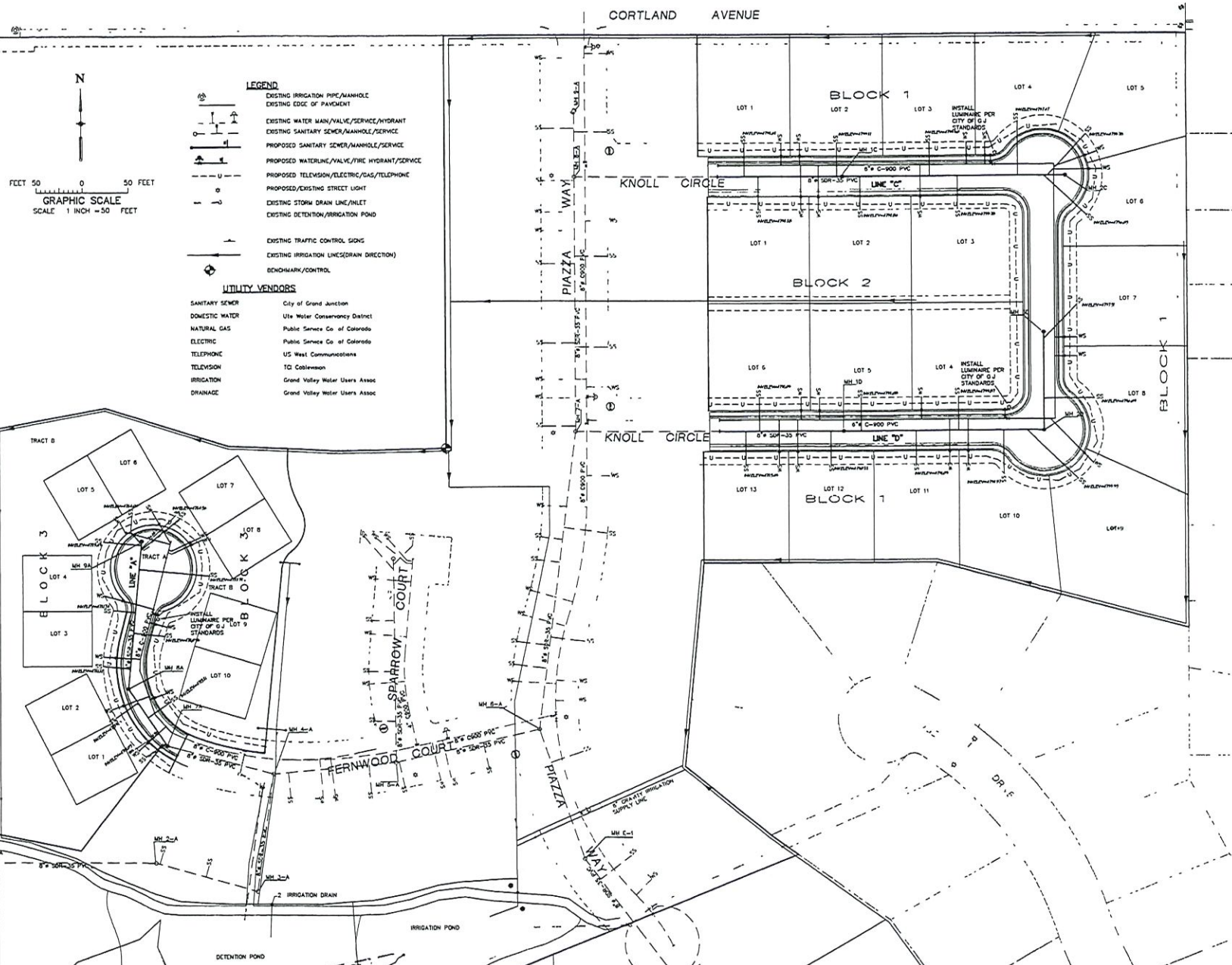
CITY OF GRAND JUNCTION _____

DATE _____

BANNER

BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

JOB NO. 8343-12



- LEGEND**
- EXISTING IRRIGATION PIPE/MANHOLE
 - EXISTING EDGE OF PAVEMENT
 - EXISTING WATER MAIN/VALVE/SERVICE/HYDRANT
 - EXISTING SANITARY SEWER/MANHOLE/SERVICE
 - PROPOSED SANITARY SEWER/MANHOLE/SERVICE
 - PROPOSED WATERLINE/VALVE/FIRE HYDRANT/SERVICE
 - PROPOSED TELEVISION/ELECTRIC/GAS/TELEPHONE
 - PROPOSED/EXISTING STREET LIGHT
 - EXISTING STORM DRAIN LINE/LET
 - EXISTING DETENTION/IRRIGATION POND
 - EXISTING TRAFFIC CONTROL SIGN
 - EXISTING IRRIGATION LINES (DRAIN DIRECTION)
 - BENCHMARK/CONTROL

- UTILITY VENDORS**
- SANITARY SEWER City of Grand Junction
 - DOMESTIC WATER Ute Water Conservancy District
 - NATURAL GAS Public Service Co of Colorado
 - ELECTRIC Public Service Co of Colorado
 - TELEPHONE US West Communications
 - TELEVISION TD Cablevision
 - IRRIGATION Grand Valley Water Users Assoc
 - DRAINAGE Grand Valley Water Users Assoc

CITY UTILITY ENGINEER	DATE
ACCEPTED AS CONSTRUCTED	
CITY UTILITY ENGINEER	DATE
UTE WATER CONSERVANCY DISTRICT	
APPROVED FOR CONSTRUCTION	
BY	DATE
ACCEPTED AS CONSTRUCTED	
BY	DATE

**CONSTRUCTION
DRAWING OF RECORD**

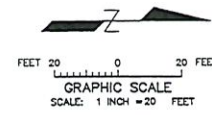
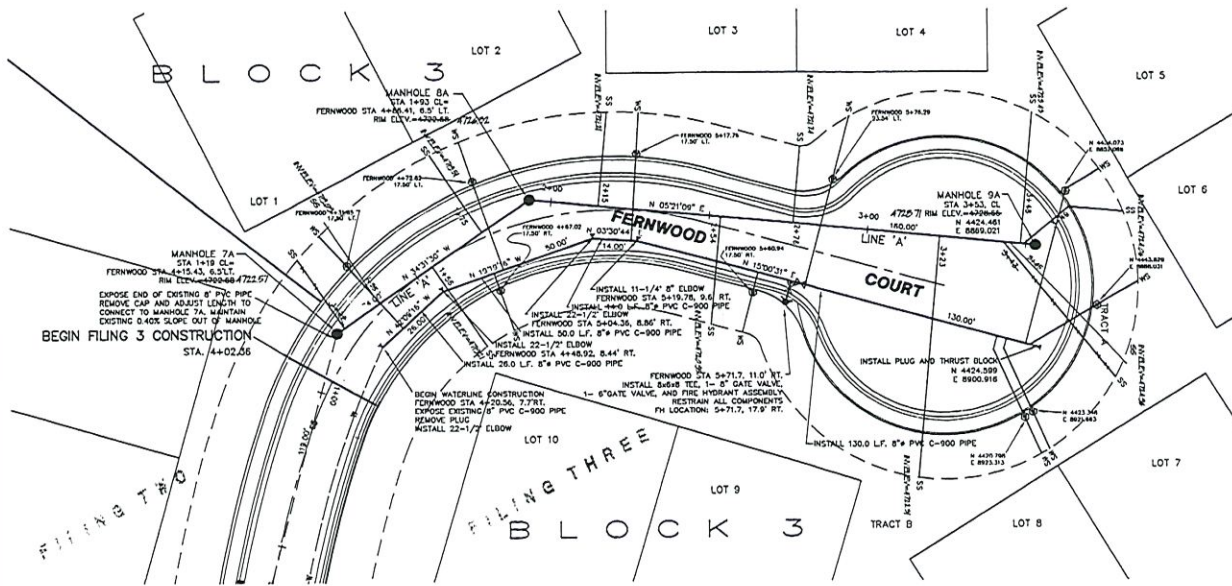
ENGINEERS STATEMENT
Banner Associates, Inc. provides this Construction Drawing of Record based on survey information collected after installation of improvements. Banner Associates, Inc. only provides periodic inspection of the improvements as shown on this plan, and that to the best of our knowledge it conforms to the City of Grand Junction Standards and Specifications.

Banner Associates, Inc. Date

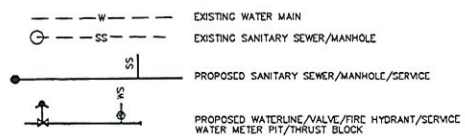


BENCHMARK/CONTROL
C.N. 1/4 COR. SEC. 1 (Corland/27 1/2 Rd)
NORTHING 509.052
EASTING 8679.0
ELEVATION 4733.98
SE PROPERTY CORNER (church st)
NORTHING 4524.050
EASTING 999.016
ELEVATION 4754.18

1 BY BKR 2 BY DEC 3 BY DEC	REVIEWED _____ FOR _____ DATE _____ REVIEWED _____ FOR BANNER ASSOCIATES INC. DATE _____	<p>BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242 605 E. MAIN • SUITE 6 • ASPEN, CO 81611 • (970) 925-0537</p>	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHK.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>8/28/99</td> <td>CONSTRUCTION DRAWING OF RECORD</td> <td>BKR</td> <td>DEC</td> </tr> </tbody> </table>	REVISION	DATE	DESCRIPTION	BY	CHK.	1	8/28/99	CONSTRUCTION DRAWING OF RECORD	BKR	DEC	O.P. DEVELOPMENT CO. LLC GRAND JUNCTION, COLORADO	<table border="1"> <tr> <td>SCALE</td> <td>JOB NO.</td> <td>DATE</td> </tr> <tr> <td>1" = 50'</td> <td>8343-2</td> <td>4/1/98</td> </tr> <tr> <td>SHEET NO.</td> <td colspan="2" style="text-align: center;">7 OF 17</td> </tr> <tr> <td colspan="3" style="text-align: center;">08032602.tif</td> </tr> </table>	SCALE	JOB NO.	DATE	1" = 50'	8343-2	4/1/98	SHEET NO.	7 OF 17		08032602.tif		
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SHEET NO.	7 OF 17																										
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LEGEND

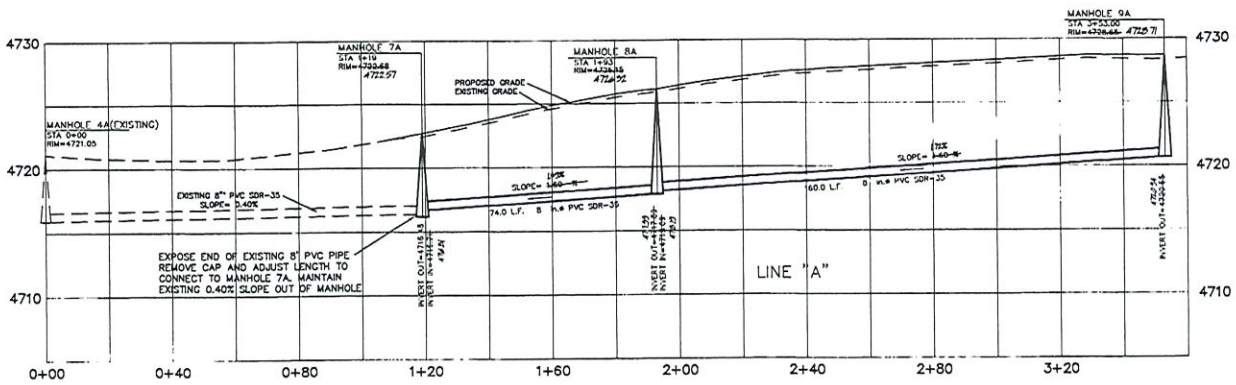


SEWER NOTES:

- Contractor shall have one signed copy of plans and a copy of the City of Grand Junction Standard Specifications at the job site at all times.
- The Contractor shall obtain City of Grand Junction Street Cui Permit for all work within existing City right-of-way prior to construction.
- The Contractor shall notify the City inspection 48 hours prior to commencement of construction.
- The Contractor is responsible for all required sewer line testing to be completed in the presence of the City Inspector. Pressure testing will be performed after all composition of street subgrade and prior to street paving. Final limping will also be accomplished after paving is completed. These tests shall be the basis of acceptance of the sewer line extension.
- All sewer mains shall be PVC SDR 35 (ASTM 3034) unless otherwise noted.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to the new main shall be accomplished with full body wyes or tees. Topping saddles will not be allowed.
- No 4" services shall be connected directly into manholes.
- A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
- Sewer main stub outs shall be capped and plugged. Stub out shall be identified with a steel fence post buried 1' below finished grade. As-built surveying of stub out required PRIOR to backfill.
- Sewer service stub outs shall be capped and plugged. Stub out marker shall be 2x4 painted green. As-built surveying for vertical grade of stub out required PRIOR to backfill.
- Red line as-builts shall be submitted to the City Utility Engineer PRIOR to paving for review.
- Project Benchmark C-N 1/18 Cor., Elev.=4733.98

CONSTRUCTION DRAWING OF RECORD

ENGINEERS STATEMENT
 Banner Associates, Inc. prepares this construction Drawing of Record based on surveying information collected after installation of improvements. Banner Associates, Inc. only provided periodic inspection of the improvements as shown on this plan, and to the best of our knowledge it conforms to the City of Grand Junction Standards and Specifications.
 Donner Associates, Inc. Date



WATERLINES

- All waterline construction shall be in accordance with the Ute Water District's Standards and Specifications.
- The Contractor shall notify the Ute Water Conservancy District 24 hours prior to beginning construction.
- All trenches shall be compacted to 95% as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-0".
- All water main pipe shall be PVC, DR15, CLASS 150, and conform to AWWA C-900.
- All domestic water service lines shall be Type K, 3/4" copper tube, soft temper.
- Fire hydrants shall be of the type approved by the City of Grand Junction Fire Department and installed at the locations as shown on the drawings.
- Water service meter pits, center of pit, shall be located 2 feet back of the back of walk.

REMARKS/CONTROL
 C.N. UIC COR. SEC 1 (10/18/97) 27-1/2' RD
 NORTHING 5006.02
 EASTING 9679.00
 ELEVATION 4733.98
 SE PROPERTY CORNER (church site)
 NORTHING 4524.090
 EASTING 9959.06
 ELEVATION 4704.8

UTE WATER CONSERVANCY DISTRICT

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

ACCEPTED AS CONSTRUCTED

BY: _____ DATE: _____

APPROVED FOR CONSTRUCTION

CITY OF GRAND JUNCTION DATE: _____

ACCEPTED AS CONSTRUCTED

CITY OF GRAND JUNCTION DATE: _____

DRAWN BY: BKR	REVIEWED _____ DATE: _____ FOR _____
CHECKED BY: DEC	REVIEWED _____ DATE: _____ FOR BANNER ASSOCIATES, INC.

BANNER
 AMERICAN CONSULTING ENGINEERS COUNCIL OF COLORADO
 BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

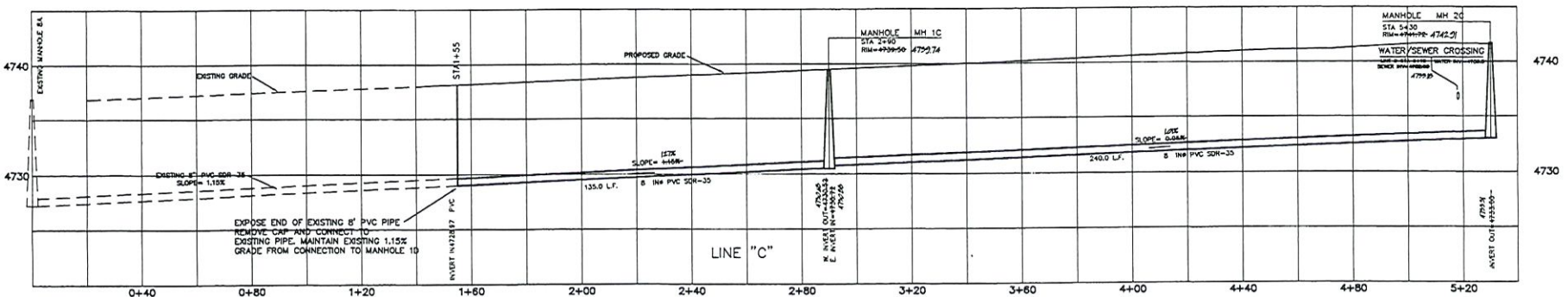
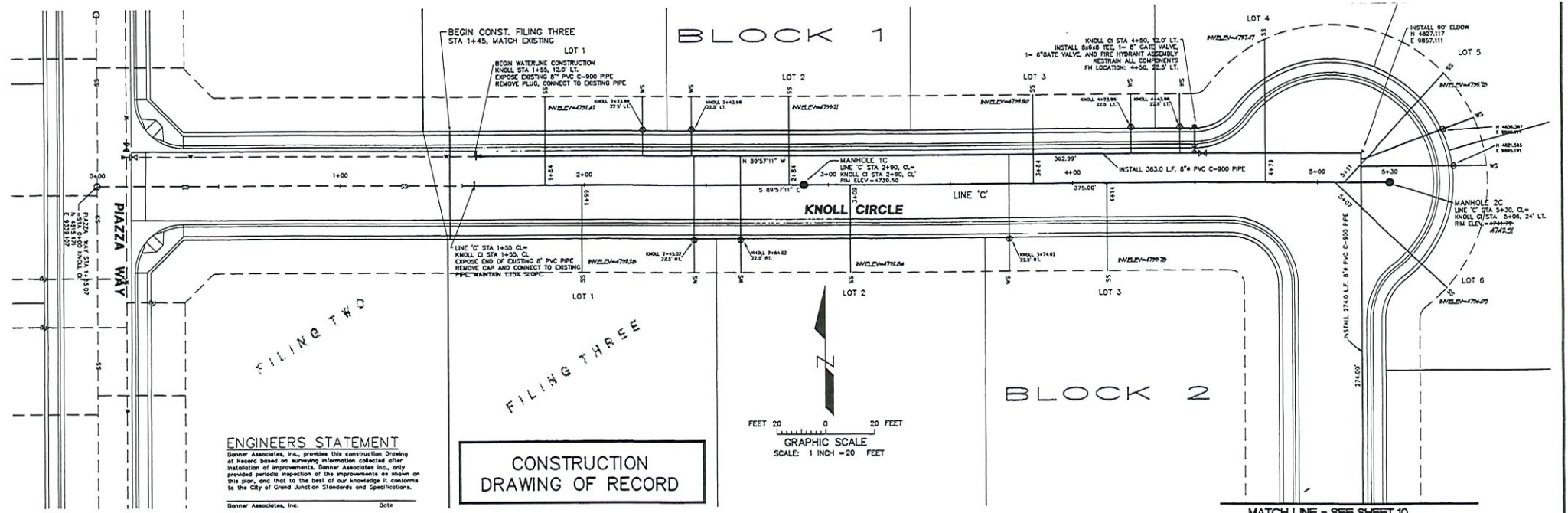
REVISION	DATE	DESCRIPTION	BY	CHKD
1	7/20/99	CONSTRUCTION DRAWING OF RECORD	PKR	DEC

O.P. DEVELOPMENT COMPANY, L.L.C. GRAND JUNCTION, COLORADO

**SEWER PLAN AND PROFILE, WATER PLAN
 FERNWOOD COURT**

SCALE: Hori: 1" = 20' Vert: 1" = 5'	Project No: 8343-12
DATE: 4/1/98	SHEET NO: 8 OF 17

08032603.tif



- LEGEND**
- W --- EXISTING WATER MAIN
 - SS --- EXISTING SANITARY SEWER/MANHOLE
 - SS --- PROPOSED SANITARY SEWER/MANHOLE/SERVICE
 - W --- PROPOSED WATERLINE/VALVE/FIRE HYDRANT/SERVICE WATER METER PIT/THRUST BLOCK

BENCHMARK/CONTROL
C&H COR. SEC 1 (Corner of 27-1/2 Rd)
NORTHING 5065.02
EASTING 6079.50
ELEVATION 4733.98
SE PROPERTY CORNER (Corner of 4th)
NORTHING 4324.00
EASTING 5995.56
ELEVATION 4734.18

UTE WATER CONSERVANCY DISTRICT

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

ACCEPTED AS CONSTRUCTED

BY: _____ DATE: _____

APPROVED FOR CONSTRUCTION

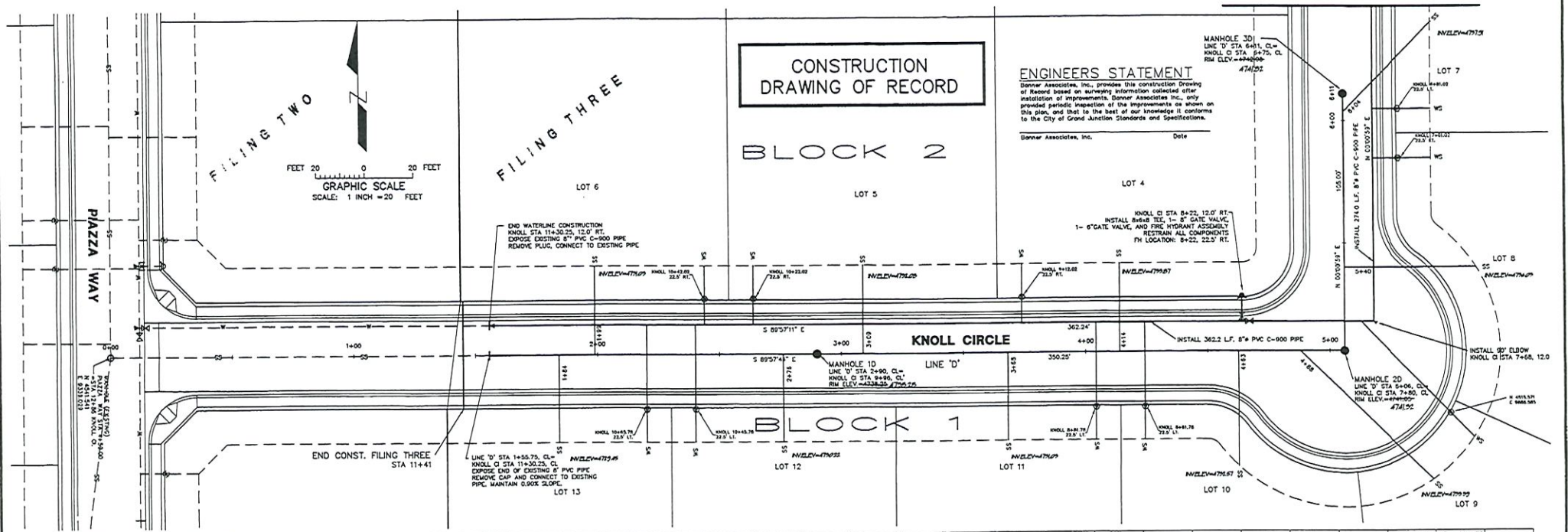
CITY OF GRAND JUNCTION DATE: _____

ACCEPTED AS CONSTRUCTED

CITY OF GRAND JUNCTION DATE: _____

DRAWN BY: BKR CHECKED BY: DEC	REVIEWED: _____ DATE: _____ FOR _____ REVIEWED: _____ DATE: _____ FOR BANNER ASSOCIATES, INC.	<p>BANNER AMERICAN CONSULTING ENGINEERS COUNCIL OF COLORADO BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242</p>	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>9/24/98</td> <td>CONSTRUCTION DRAWING OF RECORD</td> <td>BKR</td> <td>DEC</td> </tr> </tbody> </table>	REVISION	DATE	DESCRIPTION	BY	CHKD	1	9/24/98	CONSTRUCTION DRAWING OF RECORD	BKR	DEC	O.P. DEVELOPMENT COMPANY, L.L.C. GRAND JUNCTION, COLORADO SEWER PLAN AND PROFILE, WATER PLAN KNOLL CIRCLE	Project No: 8343-12 SHEET NO: 9 OF 17 DATE: 4/1/98
REVISION	DATE	DESCRIPTION	BY	CHKD											
1	9/24/98	CONSTRUCTION DRAWING OF RECORD	BKR	DEC											

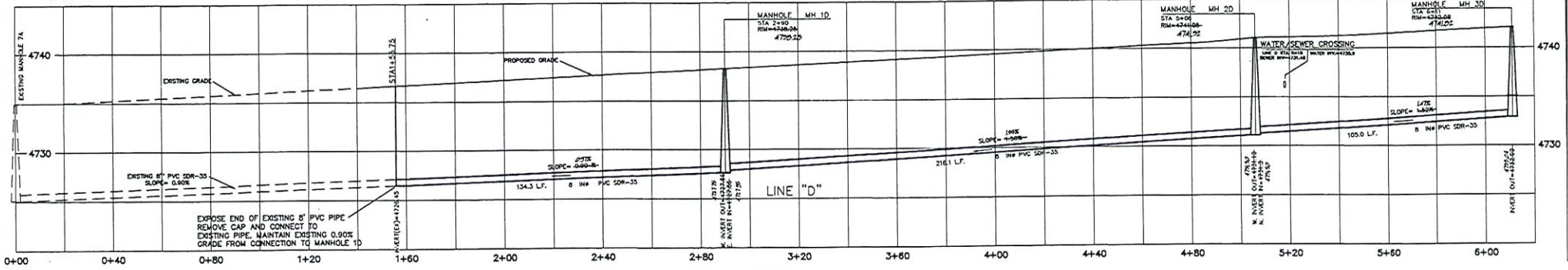
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**CONSTRUCTION
DRAWING OF RECORD**

BLOCK 2

ENGINEERS STATEMENT
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Donner Associates, Inc. Date



LEGEND

- W --- EXISTING WATER MAIN
- SS --- EXISTING SANITARY SEWER/MANHOLE
- SS --- PROPOSED SANITARY SEWER/MANHOLE/SERVICE
- WS --- PROPOSED WATERLINE/VALVE/FIRE HYDRANT/SERVICE WATER METER PIT/THRUST BLOCK

BENCHMARK/CONTROL
C-N V&B COR. SEC 1 (corner 27-1/2 R4)
NORTHING 500.000
EASTING 8679.000
ELEVATION 4733.50
SE PROPERTY CORNER (Church site)
NORTHING 424.000
EASTING 909.000
ELEVATION 4734.00

LITE WATER CONSERVANCY DISTRICT	
APPROVED FOR CONSTRUCTION	DATE: _____
ACCEPTED AS CONSTRUCTED	DATE: _____

APPROVED FOR CONSTRUCTION	
CITY OF GRAND JUNCTION	DATE: _____
ACCEPTED AS CONSTRUCTED	DATE: _____

DRAWN BY: BKR CHECKED BY: DEC	REVIEWED _____ DATE: _____ FOR _____ REVIEWED _____ DATE: _____ FOR BANNER ASSOCIATES, INC.
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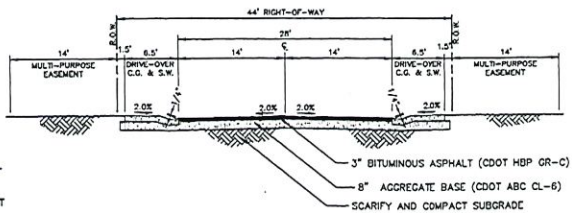
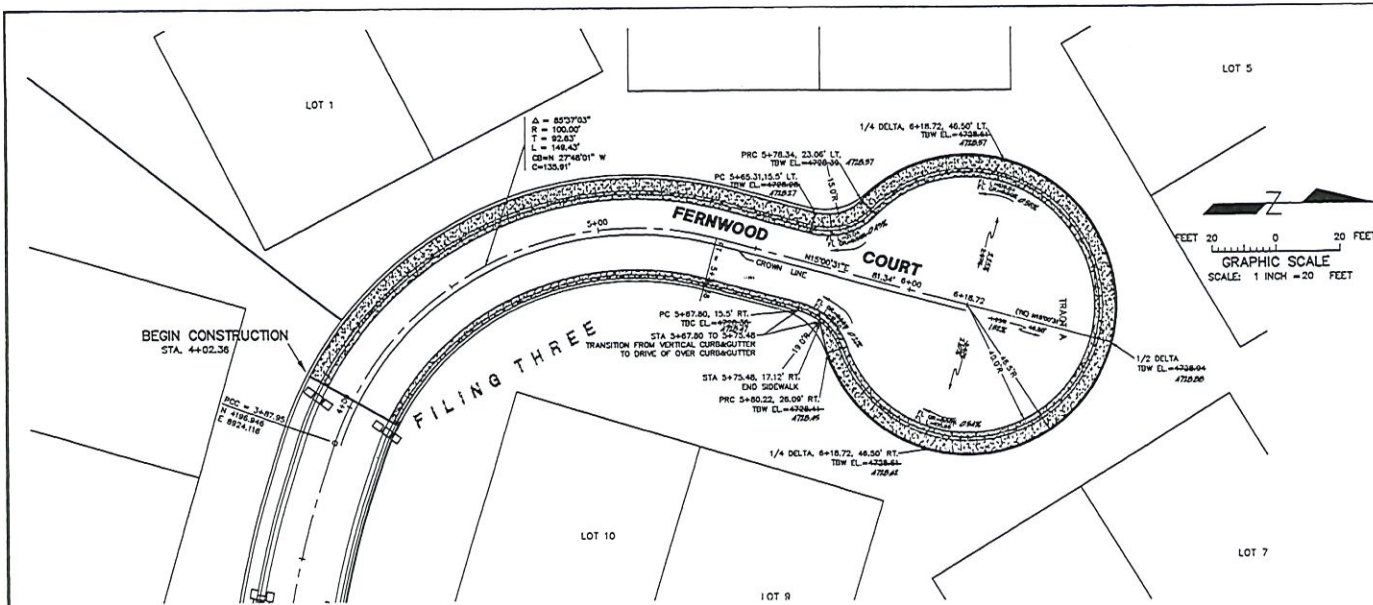
BANNER
 AMERICAN CONSULTING ENGINEERS COUNCIL OF COLORADO
 BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHK
1	5/20/99	CONSTRUCTION DRAWING OF RECORD	DKR	DKG

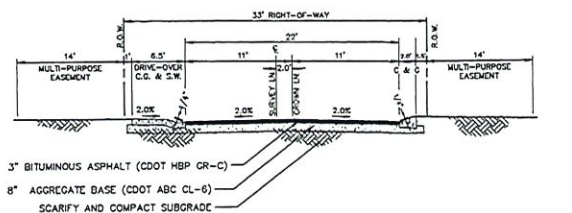
O.P. DEVELOPMENT COMPANY, L.L.C. GRAND JUNCTION, COLORADO

**SEWER PLAN AND PROFILE, WATER PLAN
KNOLL CIRCLE**

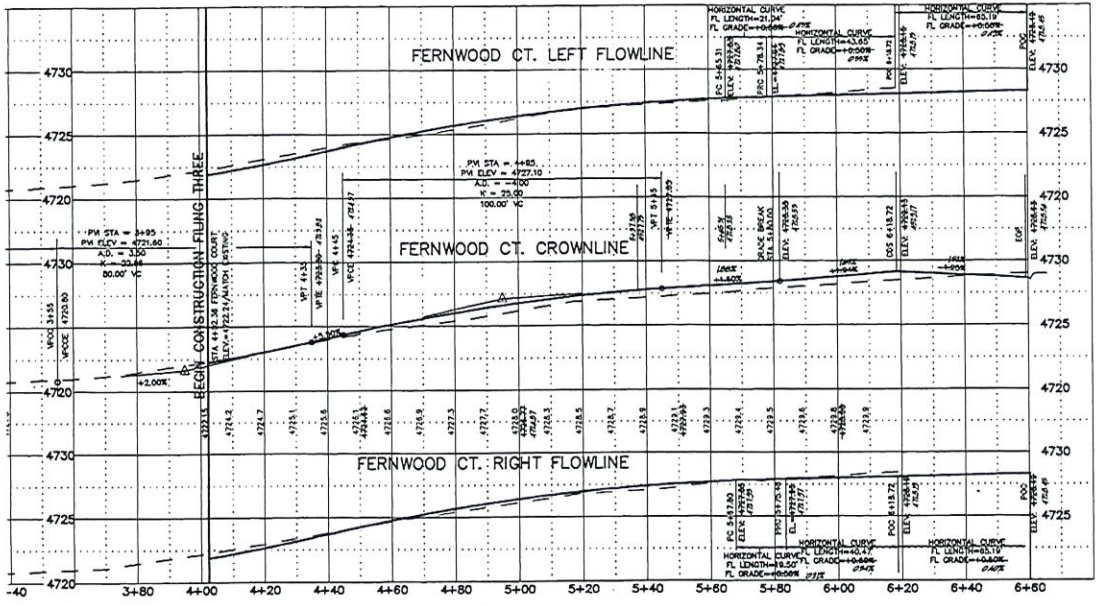
SCALE: Horiz. 1" = 20'
 Vert. 1" = 5'
 DATE: 4/1/98 SHEET NO: 10 OF 17



TYPICAL ROADWAY SECTION
KNOLL CIRCLE
NOT TO SCALE



TYPICAL PRIVATE STREET SECTION
FERNWOOD COURT
NOT TO SCALE



GENERAL NOTES:

1. All street construction shall conform to the City of Grand Junction Standards and Specifications.
2. All materials and workmanship shall be subject to inspection by the City of Grand Junction. The City reserves the right to accept or reject any such materials and workmanship that does not conform to the City of Grand Junction Standards and Specifications.
3. The Contractor shall notify the City of Grand Junction 24 hours prior to the beginning of construction.
4. The Contractor shall have one signed copy of the Plans and one copy of appropriate City of Grand Junction Standards and Specifications at the job site at all times.
5. Subgrade and Class 5 aggregate base courses shall be compacted to 95% (T-99). Contractor shall be required to perform all necessary compaction tests and related soils tests through a certified soils laboratory.

CONSTRUCTION DRAWING OF RECORD

BENCHMARK/CONTROL
C.N. 1/16 COR. SEC 1 (Corner 127+1/2 Rd)
NORTHING 5000.00
EASTING 0679.60
ELEVATION 4733.98
SE PROPERTY CORNER (urch site)
NORTHING 424.050
EASTING 999.06
ELEVATION 4734.28

ENGINEERS STATEMENT

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Danner Associates, Inc. Date _____

APPROVED FOR CONSTRUCTION

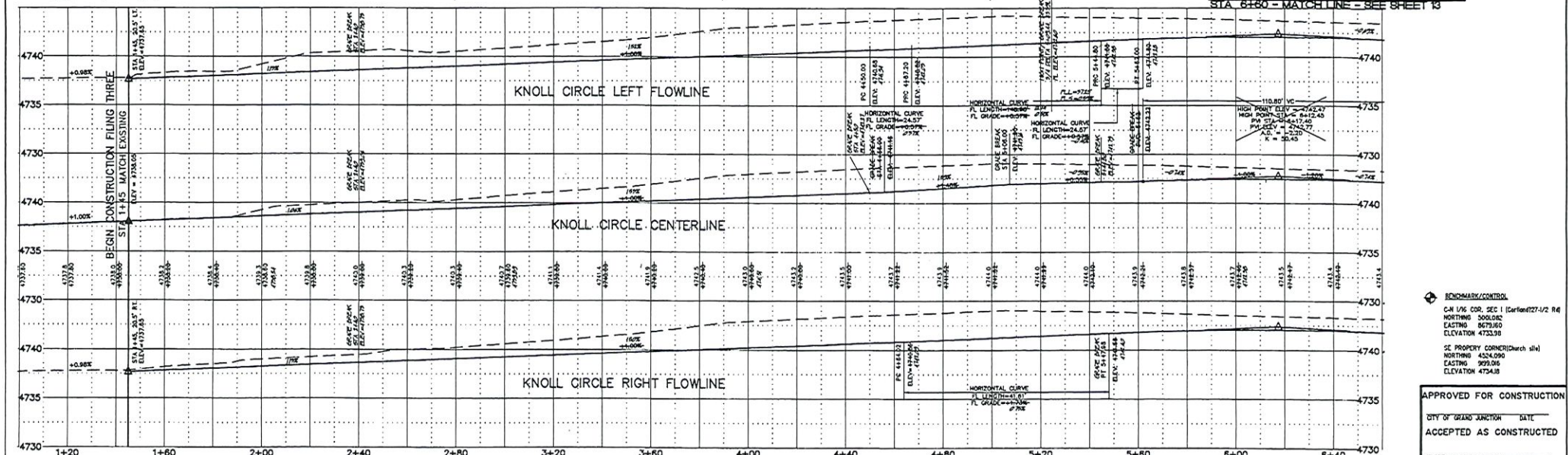
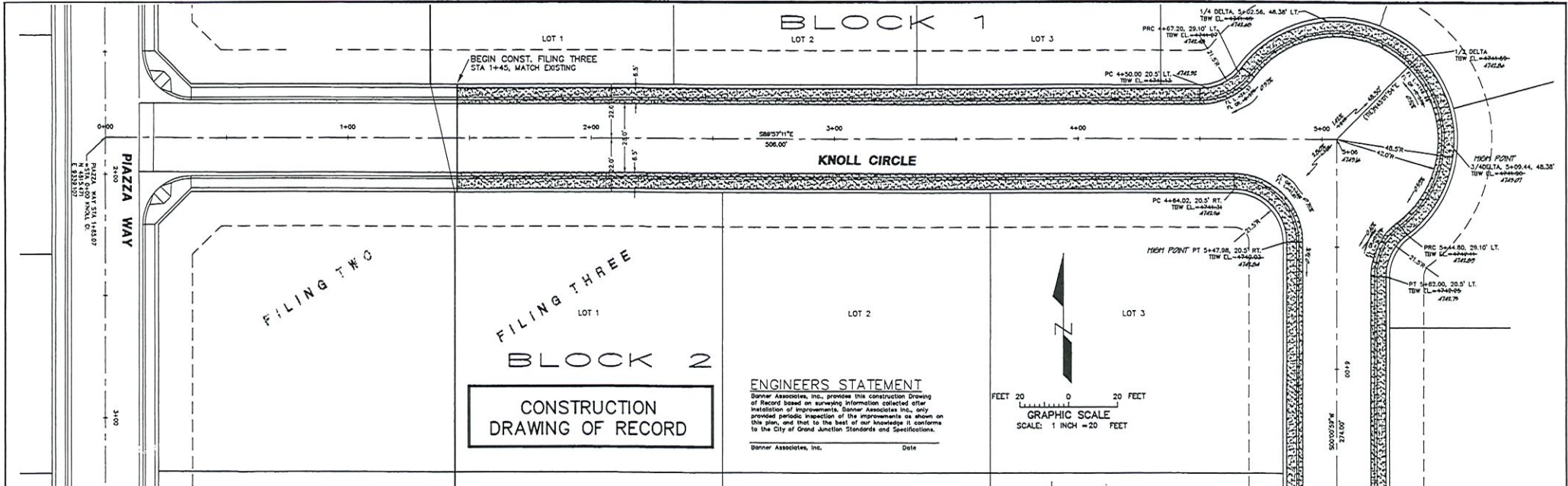
CITY OF GRAND JUNCTION DATE _____
ACCEPTED AS CONSTRUCTED

DRAWN BY: BKR	REVIEWED _____ DATE _____ FOR _____
CHECKED BY: DEC	REVIEWED _____ DATE _____ FOR BANNER ASSOCIATES, INC.

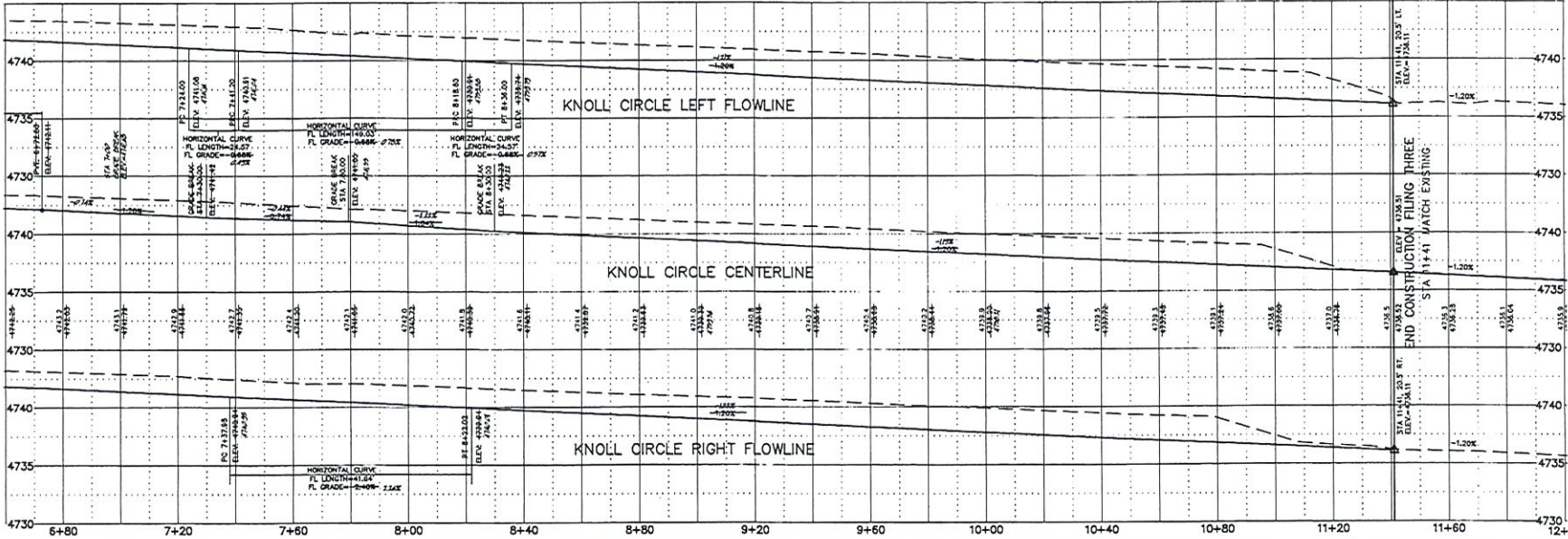
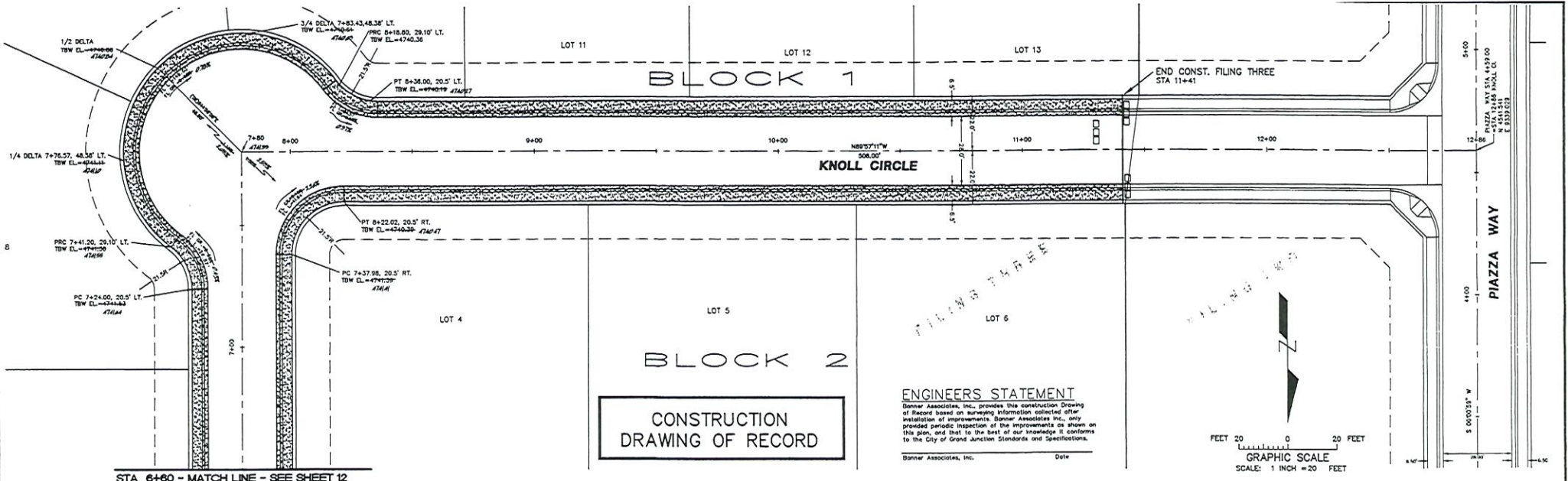
BANNER
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BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	5/20/99	CONSTRUCTION DRAWING OF RECORD	DKR	DKL

O.P. DEVELOPMENT COMPANY, L.L.C.		GRAND JUNCTION, COLORADO	
FERNWOOD COURT PLAN AND PROFILE			
CITY OF GRAND JUNCTION	SCALE: Horiz: 1" = 20'	Project No:	83-43-12
DATE: 4/1/98	VERT: 1" = 5'	SHEET NO:	11 OF 17



DRAWN BY: BKR CHECKED BY: DEC	REVIEWED: _____ DATE: _____ FOR _____ REVIEWED: _____ DATE: _____ FOR BANNER ASSOCIATES, INC.	<p>BANNER BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242</p>	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>6/29/98</td> <td>CONSTRUCTION DRAWING OF RECORD</td> <td>DKR</td> <td>DEC</td> </tr> </tbody> </table>	REVISION	DATE	DESCRIPTION	BY	CHKD	1	6/29/98	CONSTRUCTION DRAWING OF RECORD	DKR	DEC	O.P. DEVELOPMENT COMPANY, L.L.C. GRAND JUNCTION, COLORADO	APPROVED FOR CONSTRUCTION CITY OF GRAND JUNCTION DATE _____ ACCEPTED AS CONSTRUCTED CITY OF GRAND JUNCTION DATE _____	SCALE: Horizontal: 1" = 20' Vertical: 1" = 5' DATE: 4/1/98 SHEET NO: 12 OF 17
REVISION	DATE	DESCRIPTION	BY	CHKD												
1	6/29/98	CONSTRUCTION DRAWING OF RECORD	DKR	DEC												



BENCHMARK/CONTROL
 CN 1/16 COR. SEC 1 (corner) 727-1/2 Rd
 NORTHING 500.082
 EASTING 8679.660
 ELEVATION 4733.98
 SE PROPERTY CORNER (church site)
 NORTHING 4524.090
 EASTING 9090.006
 ELEVATION 4734.18

APPROVED FOR CONSTRUCTION
 CITY OF GRAND JUNCTION DATE _____
 ACCEPTED AS CONSTRUCTED
 CITY OF GRAND JUNCTION DATE _____

DRAWN BY: BKR
 CHECKED BY: DEC

AMERICAN CONSULTING ENGINEERS COUNCIL OF COLORADO
BANNER
 BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	5/25/04	CONSTRUCTION DRAWING OF RECORD	BKR	DEC

O.P. DEVELOPMENT COMPANY, L.L.C. GRAND JUNCTION, COLORADO
KNOLL CIRCLE PLAN AND PROFILE

SCALE: Horiz: 1" = 20'
 Vert: 1" = 5'
 Project No: 8343-12
 DATE: 4/1/98 SHEET NO: 13 OF 17

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 A REPLAT OF LOT 1, BLOCK 1 AND LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1
 AND A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

NOTES:

1. Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon a defect in this survey be commenced more than ten years from the date of satisfaction shown herein.
2. BASIS OF BEARINGS: The line between the C-1/16 corner and NE 1/8 corner, both of Section 1, Township 1 South, Range 1 West, Ute Meridian having a bearing of S 89° 07' 11" E, as recorded on The Knolls Subdivision, Filing 1, Plat Book 10, of Pages 243 and 244, in the records of the Mesa County Clerk and Recorder.
3. BASIS OF BENCHMARKS: City of Grand Junction Benchmark, elevation 4727.92 feet, Mesa County Survey Mark at the intersection of 27 1/2 Road and D Road.
4. Existing property corners which were recovered during this survey which were within 0.25 feet of the position of record were accepted as being in the proper location as shown by record.
5. The boundary of the Airport Critical Zone for Walker Field is shown herein in accordance with Figure 1 of the Land Use Plan, dated July, 1984 prepared by Inlet Associates, Inc., for Walker Field, Grand Junction, Colorado.
6. Portions of this development lie within the Airport Critical Zone as well as within the southeast boundary of the Airport Area of Influence. Portions are situated directly underlying the common air traffic pattern for arrival and departure of aircraft from secondary Runway 4/22 as outlined in the Airport's Master Plan.
7. The following setbacks shall apply:
 - a) Single Family Units;
 - Principal Building - 20' front, 20' rear
 - Accessory Building - Limited to rear 1/2 of Lot, 0' rear for easement width, whichever is greater, 0' side (or easement width, whichever is greater)
 - b) Multi-Family Units;
 - Principal and Accessory Buildings 0' front
 - Interior side, unless units are attached 0' exterior side
 - c) Far Public Home units located on lots 10, 11 and 13 of Block 4, a minimum distance of 20 feet shall be maintained between face of garage and Spruce Court.
8. The following lot access locations shall apply:
 - a) Access to Lot 1, Block 1 shall be provided off Knox Circle.
 - b) Access to Lot 1 and Lot 2, Block 2 shall be provided off Knox Circle.
 - c) Access to Lot 1, Block 3 shall be provided off of Platte Way, with a minimum of 10 feet from the south property line and a minimum of 30 feet from Cortland Avenue right-of-way line.
 - d) Access to Lot 1, Block 4 shall be provided off Knox Circle.

CITY APPROVAL

The Final Plat of The Knolls Subdivision, Filing 2, is approved and accepted this 16th day of February, A.D. 1988.
Mark H. Cleban
 City Manager
Carl J. Gray
 President of the City of Grand Junction City Council

COUNTY CLERK AND RECORDER'S CERTIFICATE

State of Colorado
 County of Mesa
 I hereby certify that The Knolls Subdivision, Filing 2, was filed for record in the office of the County Clerk and Recorder of Mesa County on this 16th day of Feb, A.D. 1988 in Book No. 116 Page No. 1-2 of 2 Reception No. 133433
 Mesa County Clerk and Recorder
 Deputy
 I Fee

SURVEYOR'S CERTIFICATE

I, Dean E. Ficklin, a Professional Land Surveyor, licensed under the laws of the State of Colorado, do hereby certify that the Final Plat of Knolls Subdivision, Filing 2, of the SW 1/4 of Section 1, Range 1 West, Ute Meridian, T.1 S., R.1 W., U.M., shown herein has been prepared under my direct supervision and accurately represents a survey conducted under my direct supervision. This survey complies with applicable requirements of the Zoning and Development Code of the City of Grand Junction and applicable laws and regulations of the State of Colorado to the best of my knowledge and belief.

IN WITNESS WHEREOF, I have set my hand and official seal this 16th day of February, A.D. 1988.

Dean E. Ficklin
 P.L.S., No. 18097



CERTIFICATE OF OWNERSHIP AND DECLARATION

KNOW ALL MEN BY THESE PRESENTS that O.P. Development Company, LLC being the sole owner in fee simple of all of the property platted herein except Lot 1, Block 4 as described in the instrument recorded in Plat Book 10, Pages 243-244, and Lot 1, Block 9, and that Doris M. Bankert being the owner in fee simple of Lot 1, Block 9 platted herein and as described in the instrument recorded in Book 1938, Page 273 and 274, all in the records of the office of the Mesa County Clerk and Recorder in the NW 1/4 of the SE 1/4 of Section 1, Range 1 West, Ute Meridian, County of Mesa, State of Colorado, do hereby Plat said real property under the name and title of The Knolls Subdivision, Filing 2, in accordance with the laws of the State of Colorado, and Doris M. Bankert is not a Developer of The Knolls Subdivision, Filing 2, and signs this Final Plat as Owner of Lot 1, Block 9.

ACQUISITION OF THE KNOLLS SUBDIVISION, FILING 2

Lot 1, Block 1 and Lot 1, Block 3 of Knolls Subdivision, Filing 1, as recorded in Plat Book 10, Pages 243 and 244 and a tract of land located in the NW 1/4 of the SE 1/4 of Section 1, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado as recorded in Book 1938, Pages 273 and 274 in the records of the Mesa County Clerk and Recorder, being more fully described as follows:

1. Thence S 00°00'00" E, 638.28 feet;
2. Thence N 72°05'00" W, 278.90 feet;
3. Thence N 89°57'00" W, 252.00 feet;
4. Thence S 00°30'00" W, 298.94 feet;
5. Thence S 50°59'00" E, 18.27 feet;
6. Thence S 34°34'00" E, 107.74 feet;
7. Thence S 33°09'00" E, 307.84 feet;
8. Thence S 02°08'43" W, 76.00 feet;
9. Thence S 89°54'17" E, 138.00 feet;
10. Thence S 00°00'00" E, 476.30 feet;
11. Thence N 89°54'17" E, 130.44 feet;
12. Thence N 00°00'00" E, 874.41 feet;
13. Thence S 89°54'17" E, 628.03 feet;
14. Thence N 02°03'33" W, 298.77 feet;
15. Thence S 89°54'17" E, 628.03 feet;
16. Thence S 89°59'08" W, 299.82 feet;
17. Thence S 00°10'00" W, 208.77 feet;
18. Thence N 00°00'00" E, 400.94 feet;
19. Thence N 79°41'00" E, 200.29 feet;
20. Thence S 72°44'00" E, 140.00 feet;
21. Thence S 87°26'00" E, 100.00 feet;
22. Thence N 89°46'27" E, 163.38 feet;
23. Thence S 00°00'00" E, 443.07 feet;
24. Thence S 89°07'17" E, 602.84 feet to the Point of Beginning.

The Knolls Subdivision, Filing 2, as described above contains 50.781 acres more or less.

AREA SUMMARY

LOTS	AC.	%
TRACT A	0.181	0.2%
TRACT B	0.068	0.1%
TRACT C	2.953	5.8%
TRACT D	0.846	1.7%
TRACT E	1.814	3.6%
LOT 1, BLK 1	2.760	5.4%
LOT 1, BLK 3	3.868	7.6%
LOT 1, BLK 9	35.871	71.0%
TOTAL	50.781	100%

The said owner does hereby dedicate and set apart real property as shown and labeled on the plat shown herein as follows:

1. All public streets and right-of-way to the City of Grand Junction for the use of the public forever.
2. All multi-purpose easements to the City of Grand Junction for the use of the City and Public Utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, and grade structures.
3. All utility easements to the City of Grand Junction for the use of the City and Public Utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines.
4. All irrigation easements to the Homeowners Association for the benefit of the owners of the lots and tracts hereby platted as perpetual easements for the installation, operation and repair of private irrigation systems, but not including Lot 1, Block 9.
5. All temporary turn around easements to the City of Grand Junction for the use of the public. Temporary turn around easements shall be extinguished with future filings.
6. Tract A to the new owners (Property/Homeowners Association) of the lots, their successors and assigns (hereby) hereby platted as a perpetual non-exclusive easement to the City of Grand Junction for the use of the public for ingress and egress for bicycling, walking and other access, provided however, that no motorized use by the public is authorized hereon, but the City of Grand Junction shall have access by motorized vehicles and equipment for the purpose of maintaining the easements on Tract A and as an easement for the purpose of drainage and the use of public utilities for the installation, operation, maintenance and repair of utilities and appurtenances.
7. Tract B to the owners (Property/Homeowners Association) of the lots, their successors and assigns (hereby) hereby platted for the purpose of common open space and as a perpetual easement for the installation, operation, maintenance, and repair of private irrigation systems for the common benefit and use of the City of Grand Junction for the purpose of ingress and egress for bicycling, walking and other access provided however, that no motorized use by the public is authorized hereon, but the City of Grand Junction shall have access by motorized maintenance vehicles and equipment for the purpose of maintaining the easements on Tract B and as an easement for the purpose of conveying and delivering/receiving mail or other mail which originates from the area hereby platted, and one for the conveyance of runoff from upstream areas.
8. Tract C as private streets to the owners (Property/Homeowners Association) of the lots of Block 2, and Block 4 hereby platted as perpetual easements for the use of said lot owners and their assigns, 2) for installation, operation, maintenance and repair of utilities, 3) use by public services, including, but not limited to, postal service, trash collection, fire, police and emergency vehicles; 4) use by the public, 5) drainage purposes for the conveyance of runoff water which originates within the area hereby platted from upstream areas, through natural or man-made facilities above or below ground.
9. Tract D and Tract E to the owners (Property/Homeowners Association) of the lots of Block 3, hereby platted for the purpose of common open space and as a perpetual easement for the installation, operation, maintenance and repair of private irrigation systems and as a perpetual easement for the purpose of pedestrian ingress, egress and parking purposes for the common benefit and use of said lot owners and their assigns.
10. All Grand Valley Project easements to the U.S./DOW/UA, its successors and assigns, for the installation, maintenance of irrigation and drainage facilities, but as to Lot 1, Block 9, the easement rights are contained in the Grand Valley Water Users Association other than those rights acquired by instrument recorded in Book 209, Page 225, of prescription.
11. An 8' foot Pedestrian Easement is hereby dedicated to the location of an 8' foot wide concrete pedestrian path running north-south with Tract D and Tract E to the City of Grand Junction as a perpetual easement for ingress and egress use by the general public pedestrian.

All easement includes the right of ingress and egress on, along, over, under, through, and across by the beneficiaries, their successors or assigns, together with the right to limit or remove interfering trees and shrubs, and in drainage and detention/retention easements, the right to dredge, provided however, that the beneficiaries of said easement shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden, or encumber, said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

The undersigned certifies that no lending institution holds any encumbrance on the property shown herein.

IN WITNESS WHEREOF, I have set my hand this 16th day of Feb, A.D. 1988.

O.P. DEVELOPMENT COMPANY, LLC

Robert C. Koppala
 Robert C. Koppala, Managing Director

ACKNOWLEDGMENT OF OWNERSHIP

State of Colorado
 County of Mesa
 On this 16th day of Feb, A.D. 1988, before me the undersigned officer, personally appeared Robert C. Koppala as Managing Director of O.P. Development Company, LLC, and acknowledged that he executed the foregoing Certificate of Ownership, for the purposes therein contained.

IN WITNESS WHEREOF, I have set my hand and official seal.
 My commission expires January 26 1989

Walter D. Barille
 Notary Public, DILLON

IN WITNESS WHEREOF, I have set my hand this 2 day of Feb, A.D. 1988.

Doris M. Bankert, Owner

Doris M. Bankert
 Doris M. Bankert, Owner

ACKNOWLEDGMENT OF OWNERSHIP

State of Colorado
 County of Mesa
 On this 16th day of Feb, A.D. 1988, before me the undersigned officer, personally appeared Doris M. Bankert, who acknowledged that she executed the foregoing Certificate of Ownership, for the purposes therein contained.

IN WITNESS WHEREOF, I have set my hand and official seal.
 My commission expires May 6, 2000

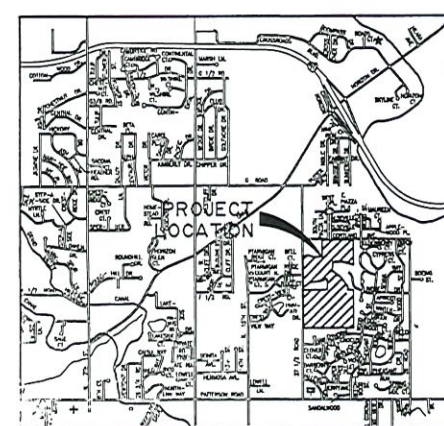
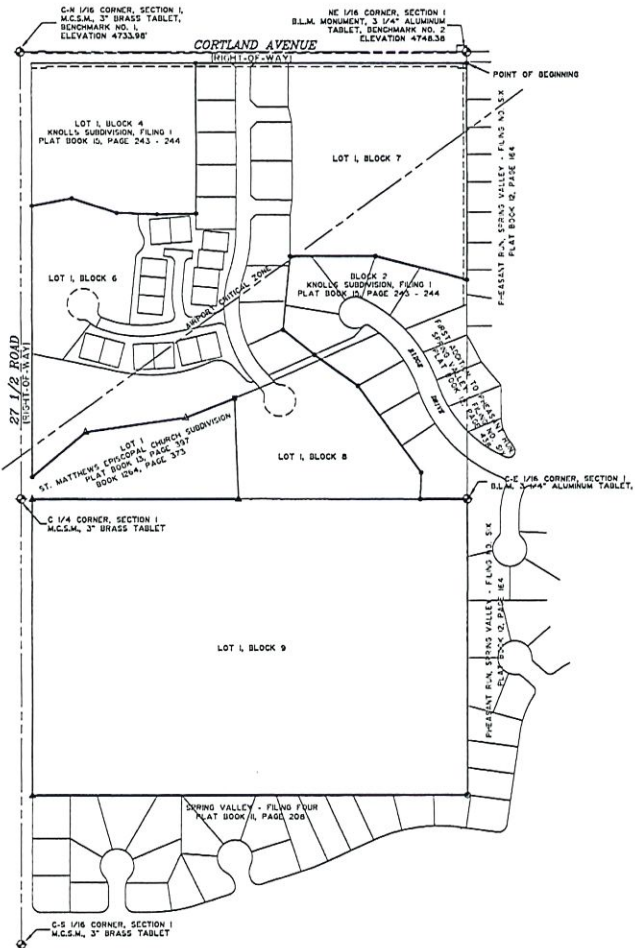
Walter D. Barille
 Notary Public



FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4,
 NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE: JOB NO: DATE: SHEET NO:
 1" = 200' 8343-08 1-29-88 1 of 4



VICINITY MAP



LEGEND

- SET THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 1987
- FOUND THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 1987
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 8960, IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, ILLEGIBLE, IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, MARKED L.S. 8943, IN CONCRETE.
- FOUND THIS SURVEY, BARE 5/8" REBAR, IN CONCRETE.
- FOUND IN PLACE, MONUMENT AS DESCRIBED.
- A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH C.R.S.-38-30-103(4)

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2

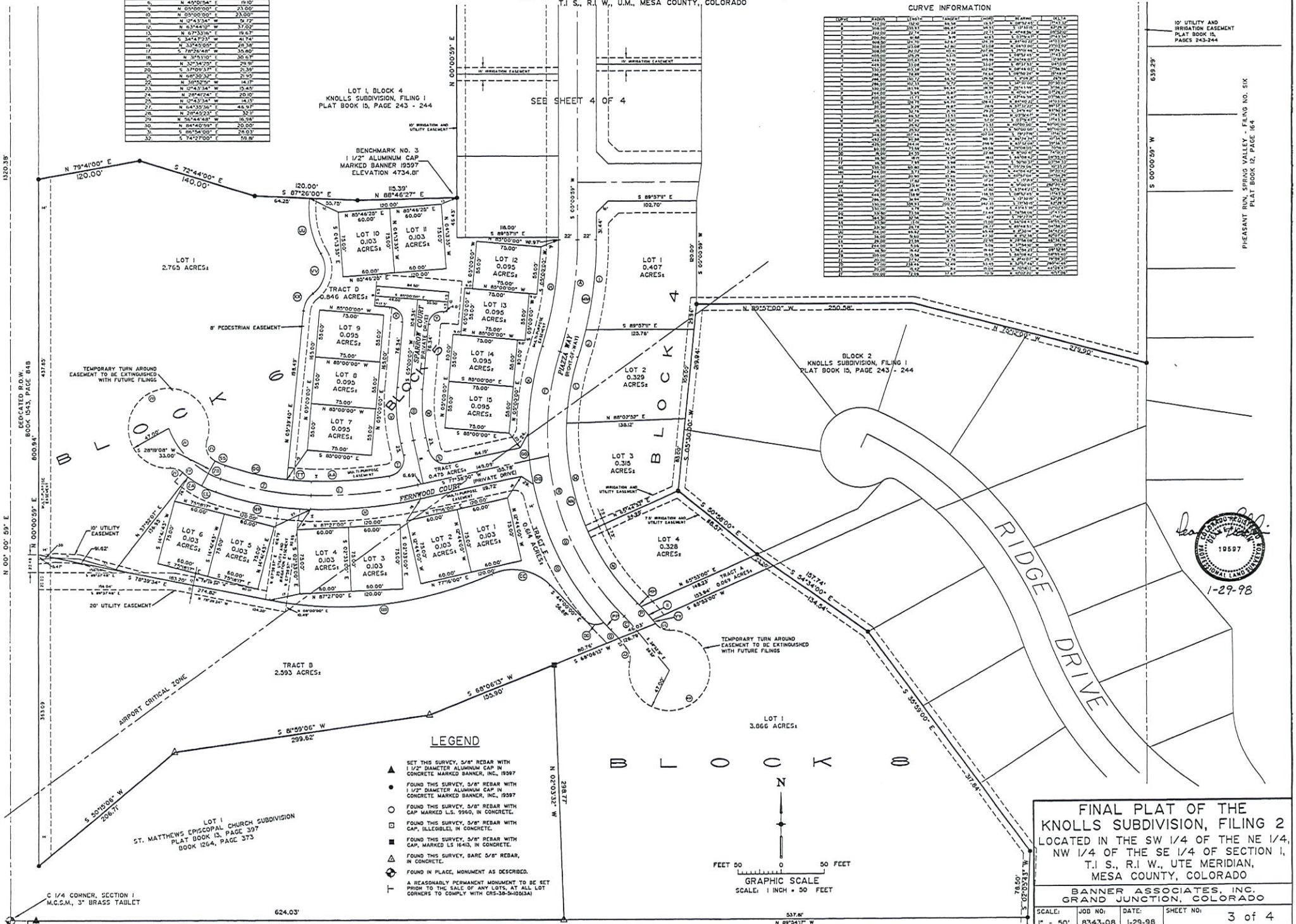
A REPLAT OF LOT 1, BLOCK 1 and LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1 AND A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 1, T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

LINE INFORMATION

LINE	DIRECTION	DISTANCE
1	N 4°00'00" E	80.00
2	N 00°00'00" E	23.00
3	N 39°00'00" E	33.00
4	N 0°00'00" W	50.72
5	N 5°44'30" W	50.72
6	N 34°47'23" W	47.74
7	N 0°00'00" W	70.00
8	S 78°28'48" W	50.80
9	N 0°00'00" W	50.80
10	N 15°13'00" E	30.61
11	N 39°00'00" E	29.89
12	N 0°00'00" W	20.00
13	S 3°00'00" E	20.00
14	N 49°45'24" E	14.37
15	N 12°43'34" W	14.37
16	N 0°00'00" E	46.37
17	N 39°00'00" E	30.71
18	N 0°00'00" W	30.71
19	S 84°44'31" W	16.36
20	N 0°00'00" E	20.00
21	S 0°00'00" E	20.00
22	S 84°22'00" E	20.00
23	S 74°27'00" E	50.99

CURVE INFORMATION

STATION	PC	PVI	PT	TANGENT	CHORD	AREA	PERIMETER
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
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1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
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1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41
1+00	1+07.68	1+03.84	1+00.00	27.68	37.41	12.51	37.41



LOT 1, BLOCK 4
KNOLLS SUBDIVISION, FILING 1
PLAT BOOK 15, PAGE 243 - 244

BENCHMARK NO. 3
1/2" ALUMINUM CAP
MARKED BANNER 12997
ELEVATION 4734.01'

SEE SHEET 4 OF 4

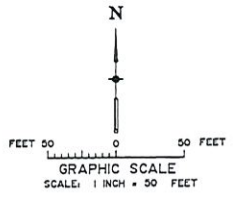
BLOCK 2
KNOLLS SUBDIVISION, FILING 1
PLAT BOOK 15, PAGE 243 - 244

TRACT B
2.593 ACRES

LOT 1
3.066 ACRES

LEGEND

- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 12997
- FOUND THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 12997
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, (ILLEGIBLE), IN CONCRETE.
- ◻ FOUND THIS SURVEY, 5/8" REBAR WITH CAP, (ILLEGIBLE), IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, MARKED LS 1843, IN CONCRETE.
- △ FOUND THIS SURVEY, 5/8" REBAR, IN CONCRETE.
- ◈ FOUND IN PLACE, MONUMENT AS DESCRIBED.
- T A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH CRE-38-4033(A)



FINAL PLAT OF THE
KNOLLS SUBDIVISION, FILING 2
LOCATED IN THE SW 1/4 OF THE NE 1/4,
NW 1/4 OF THE SE 1/4 OF SECTION 1,
T.1 S., R.1 W., UTE MERIDIAN,
MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
GRAND JUNCTION, COLORADO

SCALE:	JOB NO.:	DATE:	SHEET NO.:
1" = 50'	8343-08	1-29-98	3 of 4



FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 A REPLAT OF LOT 1, BLOCK 1 and LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1
 AND A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T 1 S., R 1 W., U 1A, MESA COUNTY, COLORADO

LINE INFORMATION

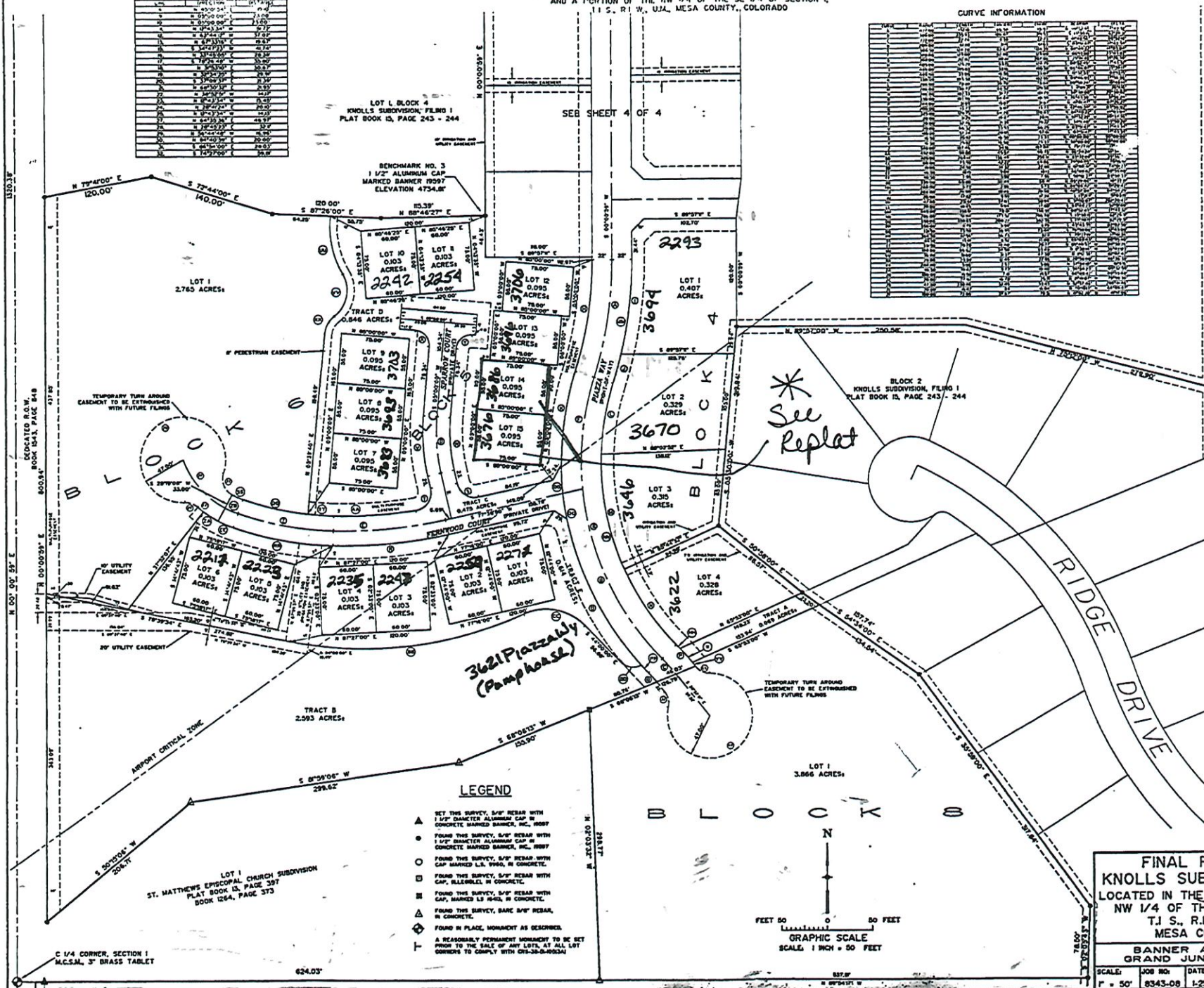
LINE NO.	DIRECTION	LENGTH	BEARING
1	N 89°54'15" E	110.00	
2	S 89°00'00" E	110.00	
3	S 89°54'15" W	110.00	
4	N 89°00'00" W	110.00	
5	N 89°54'15" E	110.00	
6	S 89°00'00" E	110.00	
7	S 89°54'15" W	110.00	
8	N 89°00'00" W	110.00	
9	N 89°54'15" E	110.00	
10	S 89°00'00" E	110.00	
11	S 89°54'15" W	110.00	
12	N 89°00'00" W	110.00	
13	N 89°54'15" E	110.00	
14	S 89°00'00" E	110.00	
15	S 89°54'15" W	110.00	
16	N 89°00'00" W	110.00	
17	N 89°54'15" E	110.00	
18	S 89°00'00" E	110.00	
19	S 89°54'15" W	110.00	
20	N 89°00'00" W	110.00	
21	N 89°54'15" E	110.00	
22	S 89°00'00" E	110.00	
23	S 89°54'15" W	110.00	
24	N 89°00'00" W	110.00	
25	N 89°54'15" E	110.00	
26	S 89°00'00" E	110.00	
27	S 89°54'15" W	110.00	
28	N 89°00'00" W	110.00	
29	N 89°54'15" E	110.00	
30	S 89°00'00" E	110.00	
31	S 89°54'15" W	110.00	
32	N 89°00'00" W	110.00	
33	N 89°54'15" E	110.00	
34	S 89°00'00" E	110.00	
35	S 89°54'15" W	110.00	
36	N 89°00'00" W	110.00	
37	N 89°54'15" E	110.00	
38	S 89°00'00" E	110.00	
39	S 89°54'15" W	110.00	
40	N 89°00'00" W	110.00	
41	N 89°54'15" E	110.00	
42	S 89°00'00" E	110.00	
43	S 89°54'15" W	110.00	
44	N 89°00'00" W	110.00	
45	N 89°54'15" E	110.00	
46	S 89°00'00" E	110.00	
47	S 89°54'15" W	110.00	
48	N 89°00'00" W	110.00	
49	N 89°54'15" E	110.00	
50	S 89°00'00" E	110.00	
51	S 89°54'15" W	110.00	
52	N 89°00'00" W	110.00	
53	N 89°54'15" E	110.00	
54	S 89°00'00" E	110.00	
55	S 89°54'15" W	110.00	
56	N 89°00'00" W	110.00	
57	N 89°54'15" E	110.00	
58	S 89°00'00" E	110.00	
59	S 89°54'15" W	110.00	
60	N 89°00'00" W	110.00	

CURVE INFORMATION

LINE NO.	CHORD BEARING	CHORD LENGTH	ARC BEARING	ARC LENGTH	PIE	DELTA
1	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
2	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
3	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
4	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
5	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
6	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
7	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
8	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
9	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
10	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
11	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
12	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
13	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
14	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
15	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
16	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
17	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
18	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
19	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
20	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
21	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
22	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
23	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
24	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
25	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
26	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
27	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
28	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
29	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
30	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
31	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
32	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
33	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
34	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
35	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
36	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°
37	N 89°54'15" E	110.00	89°54'15"	110.00	180°	90°
38	S 89°00'00" E	110.00	89°00'00"	110.00	180°	90°
39	S 89°54'15" W	110.00	89°54'15"	110.00	180°	90°
40	N 89°00'00" W	110.00	89°00'00"	110.00	180°	90°

BY UTILITY AND
 MINOR EASEMENT
 PLAT BOOK 12,
 PAGE 243-244

PLEASANT HUN, SPRING VALLEY - PLAT NO. 516
 PLAT BOOK 12, PAGE 164



- LEGEND
- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 1997
 - FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 1997
 - FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 1996, IN CONCRETE.
 - ⊞ FOUND THIS SURVEY, 5/8" REBAR WITH CAP, ILLINOIS IN CONCRETE.
 - ⊞ FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 1996, IN CONCRETE.
 - ⊞ FOUND THIS SURVEY, BARE 5/8" REBAR, IN CONCRETE.
 - ⊞ FOUND IN PLACE, MONUMENT AS DESCRIBED.
 - T A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH CRS-306-2023A)



FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4,
 NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T 1 S., R 1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

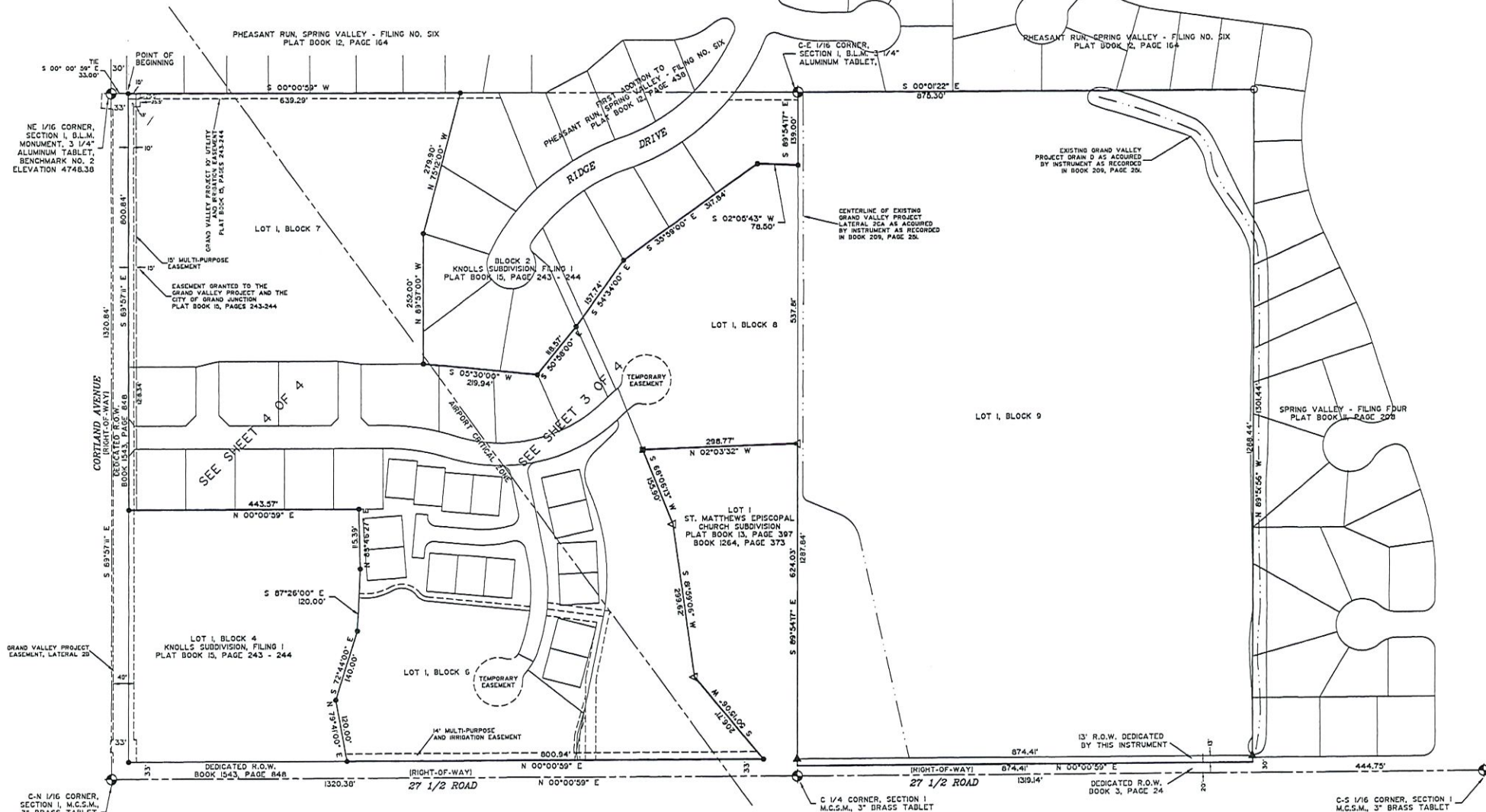
BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE: 1" = 50' JOB NO: 8343-08 DATE: 1-29-98 SHEET NO: 3 of 4



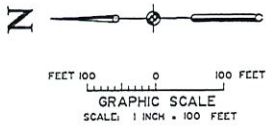
1001 PLEASANT HUN, SPRING VALLEY - PLAT NO. 516
 PLAT BOOK 12, PAGE 164

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 A REPLAT OF LOT 1, BLOCK 1, AND LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1
 AND A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO



AREA SUMMARY

LOTS	3.161 AC.±	10.2%
ROADS	1.586 AC.±	3.0%
TRACT A	0.089 AC.±	0.1%
TRACT B	2.385 AC.±	5.0%
TRACT C	0.472 AC.±	0.9%
TRACT D	0.846 AC.±	1.7%
TRACT E	0.614 AC.±	1.2%
LOT 1, BLK 6	2.765 AC.±	5.4%
LOT 1, BLK 7	7.019 AC.±	13.8%
LOT 1, BLK 8	3.866 AC.±	7.6%
LOT 1, BLK 9	25.871 AC.±	51.2%
TOTAL	50.781 AC.±	100%



LEGEND

- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19597
- FOUND THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19597
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 1980, IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, (ILLEGIBLE), IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, MARKED L.S. 1943, IN CONCRETE.
- △ FOUND THIS SURVEY, BARE 5/8" REBAR, IN CONCRETE.
- ◆ FOUND IN PLACE, MONUMENT AS DESCRIBED.
- T A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH GVS-38-54-1033A)



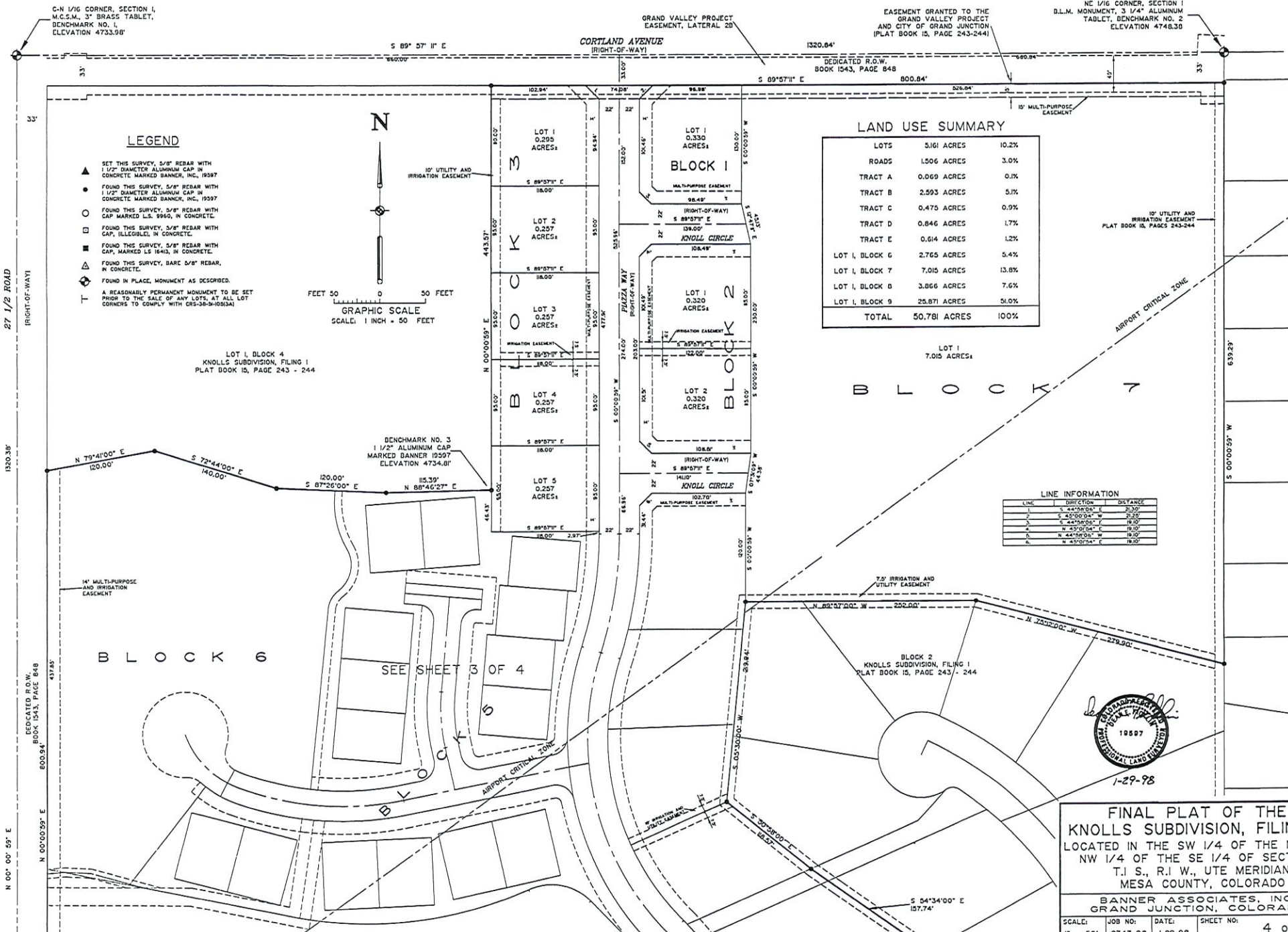
FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4,
 NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE:	JOB NO:	DATE:	SHEET NO:
1" = 100'	8343-08	1-29-98	2 of 4

01185703.tif

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 A REPLAT OF LOT 1, BLOCK 1 and LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1
 AND A PORTION OF NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO



LEGEND

- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19587
 - FOUND THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19597
 - FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 9860, IN CONCRETE
 - FOUND THIS SURVEY, 5/8" REBAR WITH CAP, ILLEGIBLE, IN CONCRETE
 - FOUND THIS SURVEY, 5/8" REBAR WITH CAP, MARKED LS 16413, IN CONCRETE.
 - △ FOUND THIS SURVEY, BARE 5/8" REBAR, IN CONCRETE.
 - ⊕ FOUND IN PLACE, MONUMENT AS DESCRIBED.
- A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH CRS-38-34-10(33A)



LAND USE SUMMARY

LOTS	3.161 ACRES	10.2%
ROADS	1.506 ACRES	3.0%
TRACT A	0.069 ACRES	0.1%
TRACT B	2.593 ACRES	5.1%
TRACT C	0.475 ACRES	0.9%
TRACT D	0.846 ACRES	1.7%
TRACT E	0.614 ACRES	1.2%
LOT 1, BLOCK 6	2.765 ACRES	5.4%
LOT 1, BLOCK 7	7.015 ACRES	13.8%
LOT 1, BLOCK 8	3.866 ACRES	7.6%
LOT 1, BLOCK 9	25.871 ACRES	50.0%
TOTAL	50.781 ACRES	100%

LINE INFORMATION

LINE	DIRECTION	DEFINITION
1	S 44°30'00" E	21.00'
2	S 45°00'00" E	21.00'
3	S 45°00'00" E	19.00'
4	N 43°00'00" E	19.00'
5	N 44°00'00" W	19.00'
6	N 45°00'00" E	19.00'



FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4,
 NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE: 1" = 50'
 JOB NO: 8343-08
 DATE: 1-29-98
 SHEET NO: 4 of 4

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 2
 A REPLAT OF LOT 1, BLOCK 1 and LOT 1, BLOCK 3 OF KNOLLS SUBDIVISION, FILING 1
 AND A PORTION OF NW 1/4 OF THE SE 1/4 OF SECTION 1,
 1/2 S., R.1 W., U.M., MESA COUNTY, COLORADO

* ACCESS ON THESE LOTS HAVE
 RESTRICTIONS. SEE COVER PLAT.

C-N 1/8 CORNER, SECTION 1,
 M.C.S.M., 3" BRASS TABLET,
 BENCHMARK NO. 1,
 ELEVATION 4733.98'

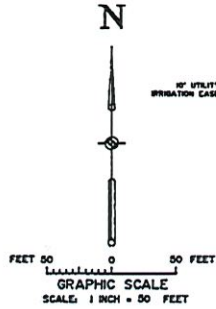
GRAND VALLEY PROJECT
 EASEMENT, LATERAL 20

EASEMENT GRANTED TO THE
 GRAND VALLEY PROJECT
 AND CITY OF GRAND JUNCTION
 PLAT BOOK 15, PAGE 243-244

NE 1/8 CORNER, SECTION 1
 B.L.M. MONUMENT, 3 1/4" ALUMINUM
 TABLET, BENCHMARK NO. 2
 ELEVATION 4748.38'

LEGEND

- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 1997
- FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 1997
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 1996, IN CONCRETE.
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP, ALLENWELL, IN CONCRETE.
- ◇ FOUND THIS SURVEY, 5/8" REBAR WITH CAP, MARKED L.S. 1940, IN CONCRETE.
- ▲ FOUND THIS SURVEY, BARE 5/8" REBAR, IN CONCRETE.
- ⊕ FOUND IN PLACE, MONUMENT AS DESCRIBED.
- T A REASONABLY PERMANENT INSTRUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH (CRS-36-6-0824)



LOT 1, BLOCK 4
 KNOLLS SUBDIVISION, FILING 1
 PLAT BOOK 15, PAGE 243 - 244

BENCHMARK NO. 3
 1 1/2" ALUMINUM CAP
 MARKED BANNER 1997
 ELEVATION 4734.8'

LAND USE SUMMARY

LOTS	SQ. ACRES	PERCENT
ROADES	1.506	3.0%
TRACT A	0.069	0.1%
TRACT B	2.583	5.1%
TRACT C	0.475	0.9%
TRACT D	0.846	1.7%
TRACT E	0.814	1.6%
LOT 1, BLOCK 6	2.765	5.4%
LOT 1, BLOCK 7	7.015	13.8%
LOT 1, BLOCK 8	3.866	7.6%
LOT 1, BLOCK 9	25.871	50.0%
TOTAL	50.781	100%

LINE INFORMATION

LINE	SECTION	DATE
1	1-1-1-1-1-1	1-1-1-1
2	1-1-1-1-1-1	1-1-1-1
3	1-1-1-1-1-1	1-1-1-1
4	1-1-1-1-1-1	1-1-1-1
5	1-1-1-1-1-1	1-1-1-1
6	1-1-1-1-1-1	1-1-1-1
7	1-1-1-1-1-1	1-1-1-1
8	1-1-1-1-1-1	1-1-1-1
9	1-1-1-1-1-1	1-1-1-1
10	1-1-1-1-1-1	1-1-1-1



FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4,
 NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE: JOB NO: DATE: SHEET NO:
 1" = 50' 8343-08 1-29-98 4 of 4

BANNER ASSOCIATES, INC. 1998, GRAND JUNCTION, COLORADO

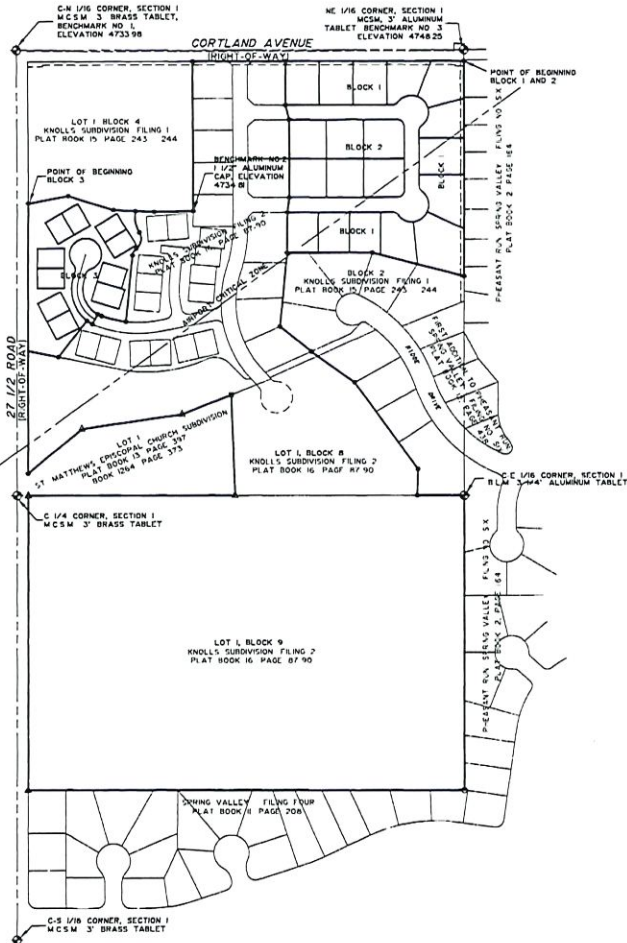
* SEE NOTE

REGARDING
ACCESS RESTRICTIONS

SEE BILL FOR

INFO

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 3
 A REPLAT OF LOT 1, BLOCK 6 AND LOT 1, BLOCK 7 OF KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 1,
 T 1 S., R 1 W., U.M., MESA COUNTY, COLORADO



NOTES

1. Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. No caveat may any action based upon a defect in this survey be commenced more than ten years from the date of certification shown herein.
2. The word 'certify' is understood to be an expression of Professional opinion by the Land Surveyor which is based on his best knowledge information and belief. As such it constitutes neither a guarantee or a warranty.
3. BASIS OF BEARINGS: The line between the C-N 1/8 corner and NE 1/8 corner both of Section 1 (Township 1 South, Range 1 West, Ute Meridian) having a bearing of S 89° 07' 07" E, as recorded on the Knolls Subdivision, Filing 1, Plat Book 10, of Pages 243 and 244 in the records of the Mesa County Clerk and Recorder.
4. BASIS OF BENCHMARKS: City of Grand Junction Benchmark elevation 4727.92 feet, Mesa County Survey Marker at the intersection of 27 1/2 Road and G Road.
5. Existing property corners, which were recovered during this survey which were within 0.25 feet of the position of record were accepted as being in the proper location as shown by record.
6. The boundary of the Airport Critical Zone for Walker Field is shown herein in accordance with Figure II of the Land Use Plan, dated July, 1984 prepared by I&M Associates Inc. for Walker Field Grand Junction, Colorado.
7. Portions of this development lies within the Airport Critical Zone as well as within the southwest boundaries of the Airport Area of Influence. Portions are situated directly underlying the common air traffic pattern for arrival and departure of aircraft from secondary Runway 4722 as outlined in the Airport Master Plan.
8. The following setbacks shall apply:
 - a) Single Family Units:
 - Principal Building: 20 front, 20 rear, 10 side
 - Accessory Building: Limited to rear 1/2 of Lot, 5 rear for easement width, whichever is greater, 5 side for easement width, whichever is greater.
 - b) Patio Home Units:
 - Principal and Accessory Buildings: 0 front, 5 rear, 5 interior side unless units are attached, 0 exterior side.
 - c) For Patio Home units located on lots 1 thru 10 of Block 3 a minimum distance of 20 feet shall be maintained between face of garage and Farnstead Court.
 - d) For Patio Home units in Block 3 a gross lot coverage maximum of 85% is required. For single family units in Blocks 1 and 2 a gross lot coverage maximum of 35% is required.
 - e) Maximum height of structures shall be less than 32 feet.
 - f) Lot 6 and Lot 7 of Block 3 shall maintain a minimum of 20 feet setbacks from the common property line of Block 3 of the Knolls Subdivision, Filing 2.
 - g) For Patio Home units a minimum 10 foot side yard setback with adjoining structures unless units are attached.
9. Lots 1 thru 5 Block 1 shall have no vehicular access to Cortland Avenue.

CITY APPROVAL

The Final Plat of the Knolls Subdivision, Filing 3, is approved and accepted this 20th day of January, A.D. 1999
Mark C. Johnson
 City Manager
 Grant J. Sery
 President of the City of Grand Junction City Council

COUNTY CLERK AND RECORDER'S CERTIFICATE

State of Colorado
 County of Mesa
 I hereby certify that the Knolls Subdivision Filing 3 was filed for record in the office of the County Clerk and Recorder of Mesa County of 3:18 P.M. on the 8th day of February, A.D. 1999 in Book No. 120, Page No. 379 & 380. Reception No. 1887576. Fees \$40.00 + \$18.00.
 Drawn No. 6678
Monika Todd
 Mesa County Clerk and Recorder
Elicia Leabe
 Deputy

CERTIFICATE OF OWNERSHIP AND OBLIGATION

KNOW ALL MEN BY THESE PRESENTS that OP Development Company, LLC being the sole owner in fee simple of all of the property platted herein and as described in the instrument recorded in Book 120, Page 379-380 in the records of the office of the Mesa County Clerk and Recorder which is a portion of the SW 1/4 of the NE 1/4 of Section 1, Township 1 South, Range 1 West, Ute Meridian, here by Plat and replat property under the name and title of the Knolls Subdivision, Filing 3, a subdivision of a part of the City of Grand Junction, County of Mesa State of Colorado in accordance with the Plat shown herein.

DESCRIPTION OF THE KNOLLS FILINGS 3

Lot 1, Block 6 and Lot 1, Block 7 of Knolls Subdivision, Filing 2 as recorded in Plat Book 16 Page 87 in the records of the Mesa County Clerk and Recorder being more fully described as follows:
Block One and Two
 Beginning at the northeasterly corner of Block One Knolls Subdivision Filing 3 which is identical with the northeasterly corner of Lot 1, Block 7 of the Knolls Subdivision, Filing 2; whence the N-C 1/8 corner of Section 1, T 1 S. R. 1 W., U.M. bears N 00° 00' 59" E, 33.00 feet

1. Thence S 00° 00' 59" W, 639.29 feet
2. Thence N 75° 12' 00" W, 279.90 feet
3. Thence N 69° 57' 00" W, 230.00 feet
4. Thence N 00° 00' 59" E, 120.00 feet
5. Thence N 07° 3' 00" E, 44.35 feet
6. Thence N 00° 00' 59" E, 230.00 feet
7. Thence N 12° 47' 15" W, 43.33 feet
8. Thence N 00° 00' 59" E, 130.00 feet
9. Thence S 89° 07' 07" E, 326.84 feet to the point of beginning

Block One and Two as described above contains 7.00 acres more or less.
 And also
Block Three
 Beginning at the northeasterly corner of Block Three Knolls Subdivision Filing 3, which is identical with the northeasterly corner of Lot 1, Block 6 of Knolls Subdivision Filing 2; whence the C-N 1/8 corner of Section 1, T 1 S. R. 1 W., U.M. bears N 04° 08' 27" W, - 403.22 feet

1. Thence N 79° 41' 00" E, 120.00 feet
2. Thence S 72° 44' 00" E, 140.00 feet
3. Thence S 87° 26' 00" E, 64.25 feet
4. Thence southeasterly 65.62 feet along the arc of a circular curve to the left with a radius of 104.00 feet, a delta of 35° 42' 03" and a chord bearing S 1° 30' 14" E, 65.48 feet,
5. Thence southeasterly 54.00 feet along the arc of a circular curve to the right with a radius of 36.00 feet, a delta of 82° 07' 42" and a chord bearing S 11° 12' 36" W, 47.30 feet,
6. Thence westerly 23.59 feet along the arc of a circular curve to the left with a radius of 29.00 feet, a delta of 46° 36' 47" and a chord bearing S 28° 58' 03" W, 22.95 feet,
7. Thence S 05° 39' 40" W, 108.49 feet,
8. Thence northeasterly 73.09 feet along the arc of a circular curve to the right with a radius of 33.50 feet, a delta of 12° 43' 08" and a chord bearing of N 76° 58' 06" W, 73.44 feet,
9. Thence northeasterly 13.01 feet along the arc of a circular curve to the right with a radius of 83.50 feet, a delta of 08° 35' 40" and a chord bearing of N 66° 08' 43" W, 13.01 feet,
10. Thence S 28° 19' 08" W, 33.00 feet,
11. Thence northeasterly 19.42 feet along the arc of a circular curve to the right with a radius of 86.50 feet, a delta of 09° 32' 39" and a chord bearing of N 56° 04' 23" W, 19.40 feet,
12. Thence S 37° 32' 07" W, 136.90 feet,
13. Thence N 78° 38' 34" W, 94.62 feet,
14. Thence N 00° 00' 59" E, 437.84 feet to the point of beginning

Block Three, as described above contains 2.765 acres more or less.
 Total area of Knolls Filing 3, as described above contains 9.760 acres more or less (7.00 ac + 2.765 ac = 9.760 ac)

AREA SUMMARY

LOTS	8,869 AC ±	70.2%
ROADS	1,172 AC ±	12.0%
TRACT A	0,269 AC ±	3.0%
TRACT B	1,450 AC ±	14.8%
TOTAL	9,760 AC ±	100%

The said owner does hereby dedicate and set apart real property as shown and labeled on the plat shown herein as follows:

1. All public streets and right-of-way in the City of Grand Junction for the use of the public forever.
2. All multiple easements to the City of Grand Junction for the use of the City and Public Utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines and also for the installation and maintenance of traffic control facilities, street lighting, street trees and grade structures.
3. All utility easements to the City of Grand Junction for the use of the City and Public Utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines.
4. All irrigation easements to the Homeowners Association for the benefit of the owners of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of private irrigation systems.
5. Tract A, as private streets to the owners (Property/Homeowners Association) of the lots of Block 3, Filing 2 and Block 3, Filing 3, hereby platted as perpetual easement for the purpose of ingress and egress purposes for the common benefit and use of said lot owners and their invitees. To use by the public utilities for installation, operation, maintenance and repair of utilities and appurtenances. To use by public services, including but not limited to, postal services, trash collection, fire police and emergency vehicles, all drainage purposes for the conveyance of runoff water which originates within the area hereby platted of from upstream areas through natural or man-made facilities above or below ground.
6. Tract B to the owners (Property/Homeowners Association) of the lots of Block 3, Filing 2 and Block 3, Filing 3, hereby platted for the purpose of installation, operation, maintenance and repair of private irrigation systems and as a perpetual easement for the purpose of installation, ingress, egress and parking purposes for the common benefit and use of said lot owners and their invitees.
7. All Grand Valley Project easements to the U.S./DOW/MA, its successors and assigns, for the installation, maintenance of irrigation and drainage facilities.

All easements include the right of ingress and egress on along over, under, through, and across by the beneficiaries, their successors or assigns, together with the right to trim or remove interfering trees and shrubs provided however that the beneficiaries of said easement shall utilize the same in a reasonable and prudent manner. Furthermore the owners of lots or tracts hereby platted shall not burden farveburton said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement!

The undersigned certifies that no lending institution holds any encumbrance on the property shown herein.

IN WITNESS WHEREOF, I hereunto set my hand this 20th day of JAN. A.D. 1999

OP DEVELOPMENT COMPANY, LLC
Robert C. Knoppe
 Robert C. Knoppe Managing Director

ACKNOWLEDGMENT OF OWNERSHIP
 State of Colorado
 County of Mesa
 On this 20th day of Jan. A.D. 1999 before me the undersigned official, personally appeared Robert C. Knoppe as Managing Director of OP Development Company, LLC, and acknowledged that he executed the foregoing Certificate of Ownership for the purposes herein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal for the purposes herein contained.

My commission expires 4.15.1999

Patricia Chase
 Notary Public



SURVEYOR'S CERTIFICATE

I, Dean E. Fiskin, an employee of Banner Associates, Inc. and a Professional Land Surveyor Licensed under the laws of the State of Colorado, do hereby certify that the Final Plat of Knolls Subdivision, Filing 3 located in the SW 1/4 of the NE 1/4 of Section 1, T 1 S. R. 1 W., Ute Meridian shown herein has been prepared under my direct supervision and accurately represents a survey conducted under my direct supervision. This survey complies with applicable requirements of the Zoning and Development Code of the City of Grand Junction and applicable laws and regulations of the State of Colorado to the best of my knowledge and belief.

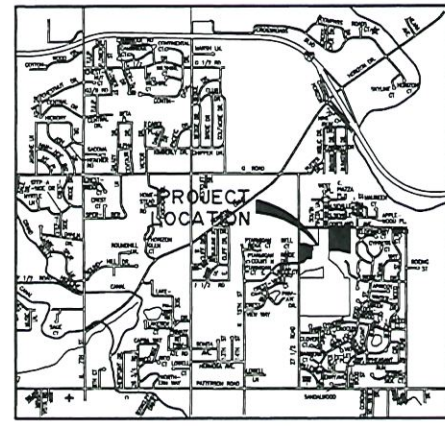
IN WITNESS WHEREOF, I hereunto affix my hand and official seal this 27th day of January, A.D. 1999

Dean E. Fiskin
 Dean E. Fiskin
 P.L.S. No. 70297



LEGEND

- FOUND THIS SURVEY 5/8" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER NO. 9597
- FOUND THIS SURVEY 5/8" REBAR WITH CAP MARKED L.S. 9560 IN CONCRETE
- FOUND THIS SURVEY 5/8" REBAR WITH CAP ILLCOBELL IN CONCRETE
- FOUND THIS SURVEY 5/8" REBAR WITH CAP MARKED L.S. BEARS IN CONCRETE
- △ FOUND THIS SURVEY BARE 5/8" REBAR IN CONCRETE
- ◆ FOUND IN PLACE MONUMENT AS DESCRIBED
- T A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS AT ALL LOT CORNERS TO COMPLY WITH CRS-38-3-1003(3A)



VICINITY MAP

**FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 3**
 LOCATED IN THE SW 1/4 OF
 THE NE 1/4, OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

**BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO**

SCALE 1" = 200' JOB NO. 8343-12 DATE 1-27-99 SHEET NO. 1 of 2

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 3
 A REPLAT OF LOT 1, BLOCK 6 and LOT 1, BLOCK 7 OF KNOLLS SUBDIVISION, FILING 2
 LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 1,
 T 1 S., R 1 W., U.M. MESA COUNTY, COLORADO

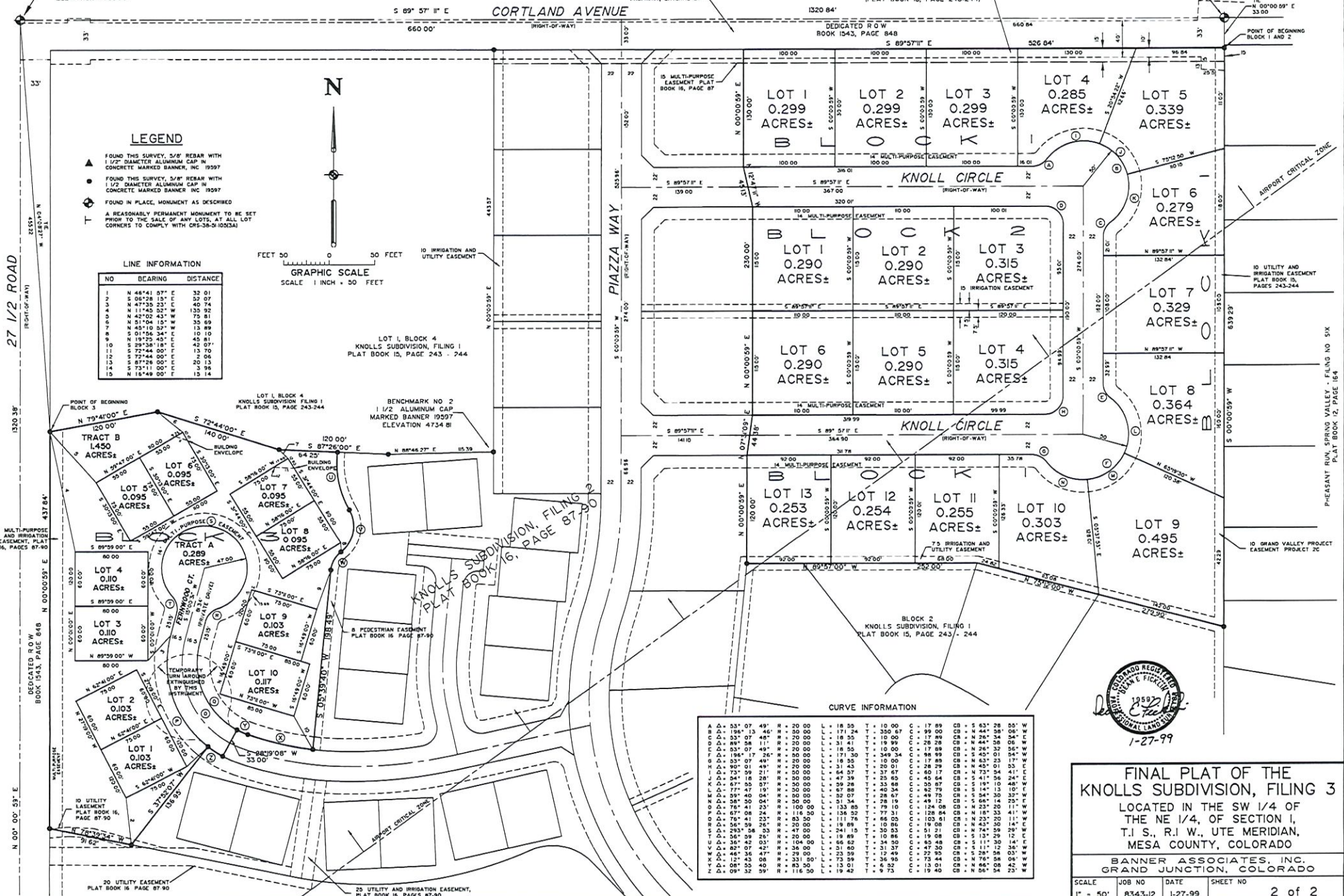
AREA SUMMARY

LOTS	6 869 AC ±	70.2%
ROADS	1 172 AC ±	12.0%
TRACT A	0 289 AC ±	3.0%
TRACT B	1 450 AC ±	14.8%
TOTAL	9 780 AC ±	100%

C-N 1/16 CORNER, SECTION 1,
 M.C.M., 3 BRASS TABLET,
 BENCHMARK NO. 1,
 ELEVATION 4733.98'

EASEMENT GRANTED TO THE
 GRAND VALLEY PROJECT
 AND THE CITY OF GRAND JUNCTION
 (PLAT BOOK 15, PAGE 243-244)

NE 1/16 CORNER, SECTION 1
 M.C.M. - 3 ALUMINUM TABLET
 BENCHMARK NO. 3
 ELEVATION 4748.25'

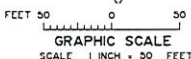


LEGEND

- ▲ FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC 1997
- FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC 1997
- ⊙ FOUND IN PLACE, MONUMENT AS DESCRIBED
- T A REASONABLY PERMANENT MONUMENT TO BE SET PRIOR TO THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH C.R.S. 38-3-102(2A)

LINE INFORMATION

NO	BEARING	DISTANCE
1	N 48°41'37" E	32.01
2	S 08°28'15" E	32.07
3	S 88°57'00" E	40.74
4	N 11°45'30" E	133.92
5	N 42°02'45" W	79.81
6	N 51°04'34" E	35.69
7	N 45°10'57" W	13.89
8	N 89°33'18" E	42.07
9	N 19°25'45" E	45.81
10	N 89°33'18" E	42.07
11	S 72°44'00" E	13.70
12	N 89°33'18" E	42.07
13	S 89°33'18" E	20.13
14	N 73°02'00" E	38.88
15	N 15°48'00" E	15.14



10 IRRIGATION AND UTILITY EASEMENT

LOT 1, BLOCK 4
 KNOLLS SUBDIVISION, FILING 1
 PLAT BOOK 15, PAGE 243 - 244

27 1/2 ROAD
 (RIGHT-OF-WAY)

PIAZZA WAY
 (RIGHT-OF-WAY)

1320 84'

DEDICATED R.O.W.
 BOOK 1543, PAGE 848

S 89°57'11" E

100.00

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CURVE INFORMATION

A	Δ	33° 07' 49"	R	20.00	L	18.55	T	10.00	C	-17.89	CS	=	53° 28' 05"	W	5.00
B	Δ	194° 13' 46"	R	20.00	L	171.34	T	330.87	C	-99.00	CS	=	N 28° 34' 54"	E	10.00
C	Δ	33° 07' 49"	R	20.00	L	18.55	T	10.00	C	-17.89	CS	=	N 26° 32' 56"	E	10.00
D	Δ	53° 07' 49"	R	20.00	L	18.55	T	10.00	C	-17.89	CS	=	N 26° 32' 56"	E	10.00
E	Δ	196° 17' 26"	R	20.00	L	171.30	T	349.34	C	-98.99	CS	=	N 40° 01' 54"	E	10.00
F	Δ	53° 07' 49"	R	20.00	L	18.55	T	10.00	C	-17.89	CS	=	N 43° 23' 41"	E	10.00
G	Δ	90° 01' 41"	R	20.00	L	31.43	T	20.01	C	-88.79	CS	=	N 40° 01' 54"	E	10.00
H	Δ	53° 07' 49"	R	20.00	L	18.55	T	10.00	C	-17.89	CS	=	N 43° 23' 41"	E	10.00
I	Δ	94° 18' 26"	R	20.00	L	47.39	T	25.85	C	-45.64	CS	=	N 41° 56' 24"	E	10.00
J	Δ	73° 09' 21"	R	20.00	L	44.27	T	37.67	C	-40.17	CS	=	N 73° 54' 41"	E	10.00
K	Δ	77° 47' 19"	R	20.00	L	97.88	T	40.34	C	-82.73	CS	=	N 14° 13' 10"	E	10.00
L	Δ	77° 47' 19"	R	20.00	L	97.88	T	40.34	C	-82.73	CS	=	N 14° 13' 10"	E	10.00
M	Δ	38° 50' 04"	R	20.00	L	31.34	T	28.19	C	-49.12	CS	=	N 58° 14' 25"	E	10.00
N	Δ	67° 08' 24"	R	16.50	L	136.52	T	77.31	C	-128.94	CS	=	N 18° 33' 41"	E	10.00
O	Δ	76° 41' 23"	R	20.00	L	111.76	T	66.05	C	-103.61	CS	=	N 23° 20' 11"	E	10.00
P	Δ	293° 58' 33"	R	47.00	L	241.15	T	30.83	C	-51.21	CS	=	N 74° 39' 29"	E	10.00
Q	Δ	35° 42' 03"	R	20.00	L	66.62	T	34.50	C	-50.88	CS	=	N 51° 30' 14"	E	10.00
R	Δ	46° 36' 47"	R	29.00	L	23.59	T	12.49	C	-22.55	CS	=	N 28° 58' 03"	E	10.00
S	Δ	08° 35' 40"	R	116.50	L	19.42	T	9.73	C	-19.40	CS	=	N 56° 54' 42"	E	10.00
T	Δ	08° 35' 40"	R	116.50	L	19.42	T	9.73	C	-19.40	CS	=	N 56° 54' 42"	E	10.00



FINAL PLAT OF THE
 KNOLLS SUBDIVISION, FILING 3
 LOCATED IN THE SW 1/4 OF
 THE NE 1/4 OF SECTION 1,
 T.1 S., R.1 W., UTE MERIDIAN,
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

SCALE	JOB NO	DATE	SHEET NO
1" = 50'	8343-12	1-27-99	2 of 2

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PR-2.7

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SIF-292-
CENSUS-10
TRAFFIC-21

FINAL PLAT OF THE KNOLLS SUBDIVISION, FILING 3
A REPLAT OF LOT 1, BLOCK 6 and LOT 1, BLOCK 7 OF KNOLLS SUBDIVISION, FILING 2
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 1,
T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

AREA SUMMARY

LOTS	4,880 AC.	100%
TRACTS	1,172 AC.	15.0%
TRACT A	0,289 AC.	1.4%
TRACT B	1,883 AC.	14.8%
TOTAL	9,760 AC.	100%

C-N 1/16 CORNER, SECTION 1,
M.C.S.M., 3" BRASS TABLET,
BENCHMARK NO. 1,
ELEVATION 4733.98'

SE 1/16 CORNER, SECTION 1
M.C.S.M., 3" ALUMINUM TABLET
BENCHMARK NO. 3
ELEVATION 4748.25'

3 89° 57' 5" E
640.00'

CORTLAND AVENUE

EASEMENT GRANTED TO THE
GRAND VALLEY PROJECT
AND THE CITY OF GRAND JUNCTION
(PLAT BOOK 10, PAGE 243-244)

POINT OF BEGINNING
BLOCK 1 AND 2

LEGEND

- ▲ FOUND THIS SURVEY, 3/4" REBAR WITH 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC. 1997
- FOUND THIS SURVEY, 3/4" REBAR WITH CONCRETE MARKED BANNER, INC. 1997
- ◆ FOUND IN PLACE, MONUMENT AS DESCRIBED
- T A REASONABLY PERMANENT MONUMENT TO BE SET FROM THE SALE OF ANY LOTS, AT ALL LOT CORNERS TO COMPLY WITH C.R.S. 38-9-106(3)

LINE INFORMATION

NO.	BEARING	DISTANCE
1.	N 46°41'13" E	32.01'
2.	S 08°54'18" E	32.01'
3.	S 47°33'23" E	40.76'
4.	N 11°48'53" W	133.25'
5.	S 42°52'43" W	78.81'
6.	S 81°58'54" W	133.25'
7.	S 40°49'39" W	13.80'
8.	S 01°58'54" W	13.80'
9.	S 39°38'18" E	42.01'
10.	S 87°26'00" E	20.12'
11.	S 79°24'00" E	2.06'
12.	S 07°11'00" E	2.06'
13.	S 73°11'00" E	2.06'
14.	S 18°48'00" E	18.11'

FEET 50 0 50 FEET
GRAPHIC SCALE
SCALE: 1 INCH = 50 FEET

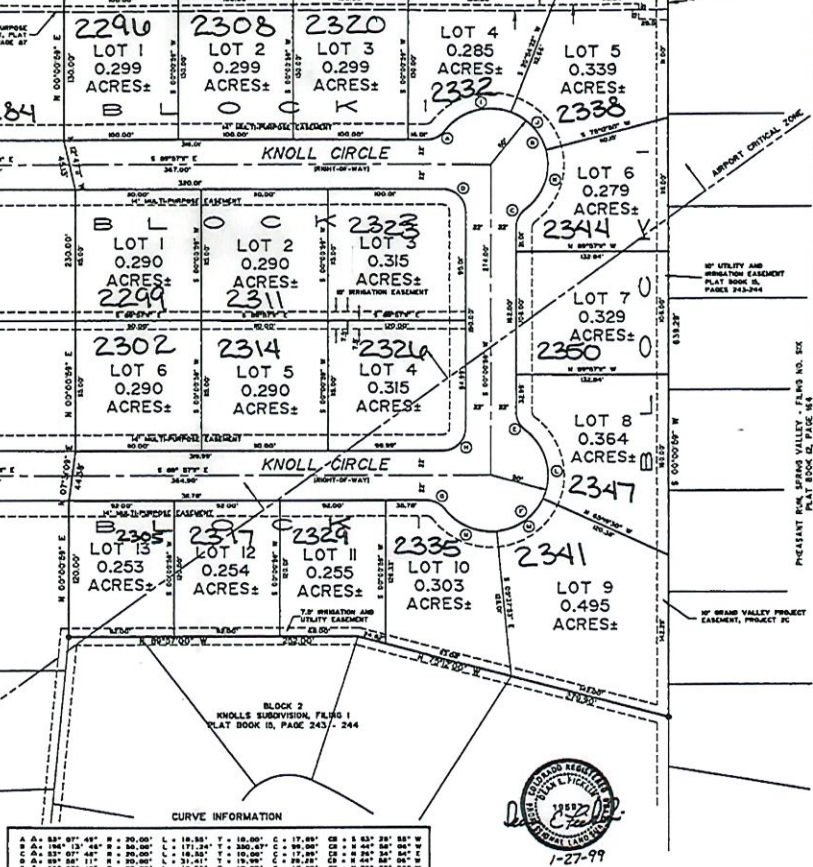
LOT 1, BLOCK 4
KNOLLS SUBDIVISION, FILING 1
PLAT BOOK 10, PAGE 243 - 244

LOT 1, BLOCK 4
KNOLLS SUBDIVISION, FILING 1
PLAT BOOK 10, PAGE 243-244

BENCHMARK NO. 2
1 1/2" ALUMINUM CAP
MARKED BANNER 1997
ELEVATION 4724.87'

KNOLLS SUBDIVISION, FILING 3
PAGE 87-90

KNOLLS SUBDIVISION, FILING 16



CURVE INFORMATION

PT.	BEARING	DIST.	CHORD BEARING	CHORD DIST.	CHORD BEARING	CHORD DIST.	CHORD BEARING	CHORD DIST.
A	S 87° 45' 00" E	90.00'	S 19.15° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
B	S 178° 13' 48" W	90.00'	S 171.24° W	160.47'	S 170.00° W	90.00'	S 85° 28' 58" E	88.00'
C	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
D	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
E	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
F	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
G	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
H	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
I	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
J	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
K	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
L	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
M	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
N	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
O	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
P	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
Q	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
R	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
S	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
T	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
U	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
V	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
W	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
X	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
Y	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'
Z	S 87° 45' 00" E	90.00'	S 16.00° E	16.00'	S 17.88° E	16.00'	S 85° 28' 58" E	88.00'



FINAL PLAT OF THE
KNOLLS SUBDIVISION, FILING 3
LOCATED IN THE SW 1/4 OF
THE NE 1/4, OF SECTION 1,
T.1 S., R.1 W., UTE MERIDIAN,
MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
GRAND JUNCTION, COLORADO

SCALE: 1" = 50'
JOB NO: 0343-12
DATE: 1-27-99
SHEET NO: 2 of 2

C:\USP\PROJ\DATA\251146\112 145 Job 27 10 26 11 1999 Banner Associates, Inc. - 118

I HEREBY CERTIFY THAT the foregoing Ordinance, being Ordinance No. 5040 was introduced by the City Council of the City of Grand Junction, Colorado at a regular meeting of said body held on the 3rd day of November 2021 and the same was published in The Daily Sentinel, a newspaper published and in general circulation in said City, in pamphlet form, at least ten days before its final passage.

I FURTHER CERTIFY THAT a Public Hearing was held on the 17th day of November 2021, at which Ordinance No. 5040 was read, considered, adopted and ordered published in pamphlet form by the Grand Junction City Council.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said City this 19th day of November 2021.



Deputy City Clerk

Published: November 5, 2021
Published: November 19, 2021
Effective: December 19, 2021

