



CITY OF GRAND JUNCTION, COLORADO

CONTRACT

This CONTRACT made and entered into this 7th day of July, 2022 by and between the City of Grand Junction, Colorado, a government entity in the County of Mesa, State of Colorado, hereinafter in the Contract Documents referred to as the "Owner" and LER, Inc. dba Renner Sports hereinafter in the Contract Documents referred to as the "Contractor."

WITNESSETH:

WHEREAS, the Contractor shall furnishing all labor, services, supplies, equipment, materials, and everything necessary and required for the Project described by the Contract Documents and known as Design/Build Lincoln Park Pickleball Courts and Canyon View Park Tennis Courts 5029-22-DH.

WHEREAS, the Contract has been awarded to the above-named Contractor by the Owner, and said Contractor is now ready, willing and able to perform the Services specified in accordance with the Contract Documents;

NOW, THEREFORE, in consideration of the compensation to be paid the Contractor, the mutual covenants hereinafter set forth and subject to the terms hereinafter stated, it is mutually covenanted and agreed as follows:

ARTICLE 1

Contract Documents: It is agreed by the parties hereto that the following list of instruments, drawings, and documents which are attached hereto, bound herewith, or incorporated herein by reference constitute and shall be referred to either as the "Contract Documents" or the "Contract", and all of said instruments, drawings, and documents taken together as a whole constitute the Contract between the parties hereto, and they are fully a part of this agreement as if they were set out verbatim and in full herein:

The order of contract document governance shall be as follows:

- a. The body of this contract agreement
b. Negotiated Terms and Conditions, Insurance Requirements, Scope of Work, and Pricing Proposal, Design/Build Lincoln Park Pickleball Courts and Canyon View Park Tennis Courts;
c. Solicitation documents;
d. Services Change Requests (directing that changed Services be performed);

e. Change Orders.

ARTICLE 2

Contract Services: The Contractor agrees to furnish all labor, tools, supplies, equipment, materials, and all that is necessary and required to complete the tasks associated with the Services described, set forth, shown, and included in the Contract Documents as indicated in the Contract Document.

ARTICLE 3

Contract Time: Time is of the essence with respect to this Contract. The Contractor hereby agrees to commence Services under the Contract upon execution of this contract, and to achieve Substantial Completion and Final Completion of the Services within the time or times specified in the Contractor's Proposal.

ARTICLE 4

Contract Price and Payment Procedures: The Contractor shall accept as full and complete compensation for the performance and completion of all of the Services specified in the Contract Documents, the sum of **Nine Hundred Fifty Two Thousand Three Hundred Fifty and 00/100 Dollars (\$952,350.00)**. If this Contract contains unit price pay items, the Contract Price shall be adjusted in accordance with the actual quantities of items completed and accepted by the Owner at the unit prices quoted in the Contractor's Proposal. The amount of the Contract Price is and has heretofore been appropriated by the Grand Junction City Council for the use and benefit of this Project. The Contract Price shall not be modified except by Change Order or other written directive of the Owner. The Owner shall not issue a Change Order or other written directive which requires additional Services to be performed, which Services causes the aggregate amount payable under this Contract to exceed the amount appropriated for this Project, unless and until the Owner provides Contractor written assurance that lawful appropriations to cover the costs of the additional Services have been made.

Unless otherwise provided in the Contract, monthly partial payments shall be made as the Services progresses. Applications for partial and Final Payment shall be prepared by the Contractor and approved by the Owner in accordance with the Contract.

ARTICLE 5

Contract Binding: The Owner and the Contractor each binds itself, its partners, successors, assigns and legal representatives to the other party hereto in respect to all covenants, agreements and obligations contained in the Contract Documents. The Contract Documents constitute the entire agreement between the Owner and Contractor and may only be altered, amended or repealed by a duly executed written instrument. Neither the Owner nor the Contractor shall, without the prior written consent of the other, assign or sublet in whole or in part its interest under any of the Contract Documents and specifically, the Contractor shall not assign any moneys due or to become due without the prior written consent of the Owner.

ARTICLE 6

Severability: If any part, portion or provision of the Contract shall be found or declared null, void or unenforceable for any reason whatsoever by any court of competent jurisdiction or any governmental agency having the authority thereover, only such part, portion or provision shall be effected thereby and all other parts, portions and provisions of the Contract shall remain in full force and effect.

IN WITNESS WHEREOF, City of Grand Junction, Colorado, has caused this Contract to be subscribed and sealed and attested in its behalf; and the Contractor has signed this Contract the day and the year first mentioned herein.

The Contract is executed in two counterparts.

CITY OF GRAND JUNCTION, COLORADO

DocuSigned by:
By: Duane Hoff Jr.
Duane Hoff Jr., Contract Administrator

7/27/2022
Date

LER, Inc. dba Renner Sports

DocuSigned by:
By: Greg McKenna - President, LER Inc., dba Renner Sports Surfaces
Greg McKenna - President, LER Inc., dba Renner Sports Surfaces

Date

Please see the first paragraph of our proposal.

SECTION 6.0: SOLICITATION RESPONSE FORM
5029-22-DH

"Design/Build Lincoln Park Pickleball Courts and Canyon View Park Tennis Courts"

Offeror must submit entire Form completed, dated and signed.

1) Cost plus a Fixed Fee with a Guaranteed Maximum Price:

Fixed Fee \$ 238,000

WRITTEN: Two Hundred Thirty Eight Thousand dollars.

Guaranteed Maximum Price (fixed fee shall be included in GMP) \$ 952,350.00

WRITTEN: Nine Hundred Fifty Two Thousand Three Hundred Fifty dollars.

The Owner reserves the right to accept any portion of the work to be performed at its discretion

The undersigned has thoroughly examined the entire Request for Proposals and therefore submits the proposal and schedule of fees and services attached hereto. This offer is firm and irrevocable for sixty (60) days after the time and date set for receipt of proposals.

The undersigned Offeror agrees to provide services and products in accordance with the terms and conditions contained in this Request for Proposal and as described in the Offeror's proposal attached hereto; as accepted by the Owner.

Prices in the proposal have not knowingly been disclosed with another provider and will not be prior to award.

- Prices in this proposal have been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.
- No attempt has been made nor will be to induce any other person or firm to submit a proposal for the purpose of restricting competition.
- The individual signing this proposal certifies they are a legal agent of the offeror, authorized to represent the offeror and is legally responsible for the offer with regard to supporting documentation and prices provided.
- Direct purchases by the City of Grand Junction are tax exempt from Colorado Sales or Use Tax. Tax exempt No. 98-03544. The undersigned certifies that no Federal, State, County or Municipal tax will be added to the above quoted prices.
- City of Grand Junction payment terms shall be Net 30 days.
- Prompt payment discount of N/A percent of the net dollar will be offered to the Owner if the invoice is paid within _____ days after the receipt of the invoice.

RECEIPT OF ADDENDA: the undersigned Contractor acknowledges receipt of Addenda to the Solicitation, Specifications, and other Contract Documents. State number of Addenda received: 1, 2

It is the responsibility of the Proposer to ensure all Addenda have been received and acknowledged.

LER Inc dba Renner Sports Surfaces

Company Name - (Typed or Printed)

Neal DePooter
Authorized Agent Signature

2775 W. 7th Ave
Address of Offeror

Denver CO 80204
City, State, and Zip Code

Neal DePooter

Authorized Agent - (Typed or Printed)

303 356 0312

Phone Number

ndepooter@rennersports.com
E-mail Address of Agent

6-22-2022
Date

Date



June 22, 2022

PRICING PROPOSAL

Ken Sherbenou

City of Grand Junction

Job Name: Design Build Canyon View Tennis Courts and Lincoln Park Pickle Ball Courts

Dear Ken,

L.E.R., Inc. d/b/a Renner Sports Surfaces (“Renner Sports”) hereby submits the following specifications and pricing. This proposal is good for the 2022 summer and fall construction season and will not exceed this amount if approved by the owner within 30 days. Should the work go into the winter or into 2023 the price may have to be adjusted if material costs increase. We will provide verification of these added costs and these will be a change order to be approved by the owner and Renner Sports.

^{DS}
GMPUDRSS

^{DS}
DHS

Canyon View

1. Obtain permits. The cost of permits if required will be added to this contract.
2. Provide a site plan, grading plan and engineer stamped design drawings for the post-tensioned courts.
3. Provide specifications and product data submittals.
4. Construct 4 new tennis courts similar to the existing 12 courts. This includes fine grading, 5” thick post-tensioned concrete slabs, black vinyl clad 10’ and 42” high fencing with top, middle and bottom rails with two gates per court, nets and net posts, color surfacing and striping, 6’ high windscreens. There will be two groups of two courts at the locations shown on the attached drawing.
5. Anticipated completion is May 31, 2023.

Lincoln Park

1. The court and fence layout will be as shown on the attached sheet with “preferred “dimensions for 12 new courts and the four west courts reconfigured.
2. Obtain permits if needed. The cost of permits will be added to this contract.
3. Provide specifications and product data submittals.
4. Provide engineer stamped deign drawings for the court and fence layout.
5. Expand the concrete to the north 10’ to make each court 34’ by 64’.
6. Resurface the existing courts making them into 20 pickle ball courts.

7. Install new 4' high and 8' high fencing as needed to make the existing courts into 20 tournament sized pickle ball courts. Some of the existing fence will be reused where possible. There will be three walkways for viewing and seating between each set of four courts.
8. The east four pickle ball courts will have a new divider fence installed north to south.
9. Install 16 new pickle ball nets and net posts with center straps and anchors.
10. Light poles that need to be relocated will be done by Musco under a separate contract.
11. Anticipated completion is June 30, 2023.

The city will contract directly with Musco for the lighting at both parks. This will save money because Renner will not add a fee to oversee Musco's work. Approximate cost \$532,000.00. An exact quote will need to come from Stephen Baker at Musco.

1. Retrofit the lighting system at Lincoln Park with new Musco luminaires reusing the existing poles. 15-20 Foot candles. The lighting will be 2 to 3 times better.
2. Install Musco Lighting System Option B for 12 existing tennis courts.

Exclusions: testing, permits, fees, winter concrete fees, dirt work and grading, electrical and lighting, cabana style shade benches, sunshades, benches, hydration stations, repairs or changes to the parking lot and roadway, landscaping, irrigation and sidewalks around the courts.

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DHS

We hereby propose to furnish labor and materials – complete in accordance with the below specifications, for the sum of: \$952,350.00

ALTERNATES:

1. Dirt work and grading at Canyon View. We will obtain exact pricing for this work once we have the grading plan. Cost with 15% mark up - To be determined
2. Install shade shelter with metal roof 20' by 20' at Lincoln Park. See attached info sheets. Cost \$37,370.00

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GMPUDRSS
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DHS

All material is guaranteed as specified. All work shall be completed in a workmanlike manner according to standard industry practices. Any alteration or deviation from the above specifications will be executed only upon written change orders, and may become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. This proposal is subject to acceptance within 30 days and, if not accepted, is cancelable and voidable thereafter at the option of Renner Sports.

Due to the uncertainty and volatility in raw material supplies, material costs and shipping delays, price is valid for 30 days from the date of this proposal. See first paragraph.

Unless otherwise provided herein, all labor and materials will be warranted for a period of one (1) year from date of substantial completion. The recommendations of the soils engineer must be followed in

order for this warranty to be in effect. Should the materials prove to be defective or the workmanship faulty within the **one (1) year warranty** period, the defects will be remedied within a reasonable time from Renner's receipt of notice of the defects, subject to weather conditions and crew schedule. There is an additional five year warranty on the PT slabs.

This proposal excludes any permits or fees, which may be required in your jurisdiction. If permits or plan fees are required, the owner will be liable for all associated additional costs and expenses.

When patching cracks or resurfacing courts with cracking, Renner Sports guarantees the cracks will reappear, and that they can reappear within 24 hours, depending upon temperature fluctuations.

Concealed, Unforeseen and/or Latent Conditions – Older tennis courts that have been resurfaced multiple times may experience widespread peeling of the coatings from the substrate following resurfacing. There comes a point where the coatings become too thick and the bond to the substrate is compromised. There is no way to ascertain this condition prior to resurfacing. Should this condition occur, the removal of the old coatings will be accomplished on a time and materials basis and billed to the owner.

If digging is required, Renner Sports shall contact the Utility Notification Center of Colorado for utility locates. This proposal is predicated upon normal digging conditions, and if rocks are encountered, the owner will be responsible for all associated additional extra time and equipment costs necessitated to complete the work.

The owner shall establish and provide suitable access to the construction site. Potable water will be available within fifty feet (50') of the site (for use with standard ¾" garden hoses).

Payments. The below payment schedule will be required and requires a **down payment/deposit of 0% of the proposed amount prior to ordering materials and scheduling work**. Progress payments will be required according to the following milestones:

- **\$23,000.00 due upon completion of the site and grading plan and PT design drawings for Canyon View.**
- **\$8,000.00 due upon completion of the design drawings for Lincoln Park.**
- **A schedule of values for the construction will be provided with a detailed break out of the various scope items.**

Payment requests will be issued in accordance with the above payment schedule and are due within 30 days of the date of invoice. Work may be suspended and/or delayed if progress payments are not timely and current. Accounts shall be considered overdue and delinquent thirty (30) days after date of invoice. Delinquent accounts shall bear interest at a rate of 1 ½% per month (18% annually) and will be subject to all charges necessary for collection, including, but not limited to, all attorney's fees and all related legal costs. Opening or use of an installation by owner shall be considered acceptance. Liens and/or bond claims will be filed on delinquent accounts. In the event of termination by owner, the contractor shall be paid for all work performed to date and for all materials ordered, manufactured and/or procured as of the date of termination.

The contractor is not liable for delays caused by strikes, the inability to secure adequate materials, fuel shortage, weather conditions, mechanical failures, Acts of God, *force majeure* and/or any other cause beyond Renner Sports' control.

Renner Sports is a non-union entity and is not bound by any organized labor agreements and/or collective bargaining agreements.

It is understood that if a soil sterilant is applied, it is in an effort to retard weed growth as much as possible and no guarantee or warranty as to its effectiveness is expressed or implied.

If the proposed work cannot be performed during the current construction season due to delays caused by the owner, his agents, or employees, this contract shall be valid for the subsequent construction season, subject to possible increases in labor and materials.

The owner may accept this proposal as a binding contract either by signature or by making any payments to Renner Sports in consideration of services, and either of the above modes of acceptance shall be deemed to incorporate all of the terms of this proposal into the contract between the parties thereby formed.

If this proposal is accepted, please sign one copy, indicating which alternates (if any) are accepted, and return it via email or to the office of Renner Sports Surfaces as soon as possible.

Authorized Signature: Neal DePooter
L.E.R., Inc. dba Renner Sports Surfaces - Sales

ACCEPTANCE OF PROPOSAL

The above prices specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED BY:

Date: _____ Signature: _____

Title: _____

Date: _____ Signature: _____

L.E.R., Inc. dba Renner Sports Surfaces
Greg C. McKenna, President



June 23, 2022

Ken Sherbenou

City of Grand Junction

Job Name: Design Build Canyon View Tennis Courts and Lincoln Park Pickle Ball Courts

Dear Ken,

Here are approximate time lines for the design and construction. Some of the work will push into 2023 due to long lead times on materials and temperature restrictions on color surfacing.

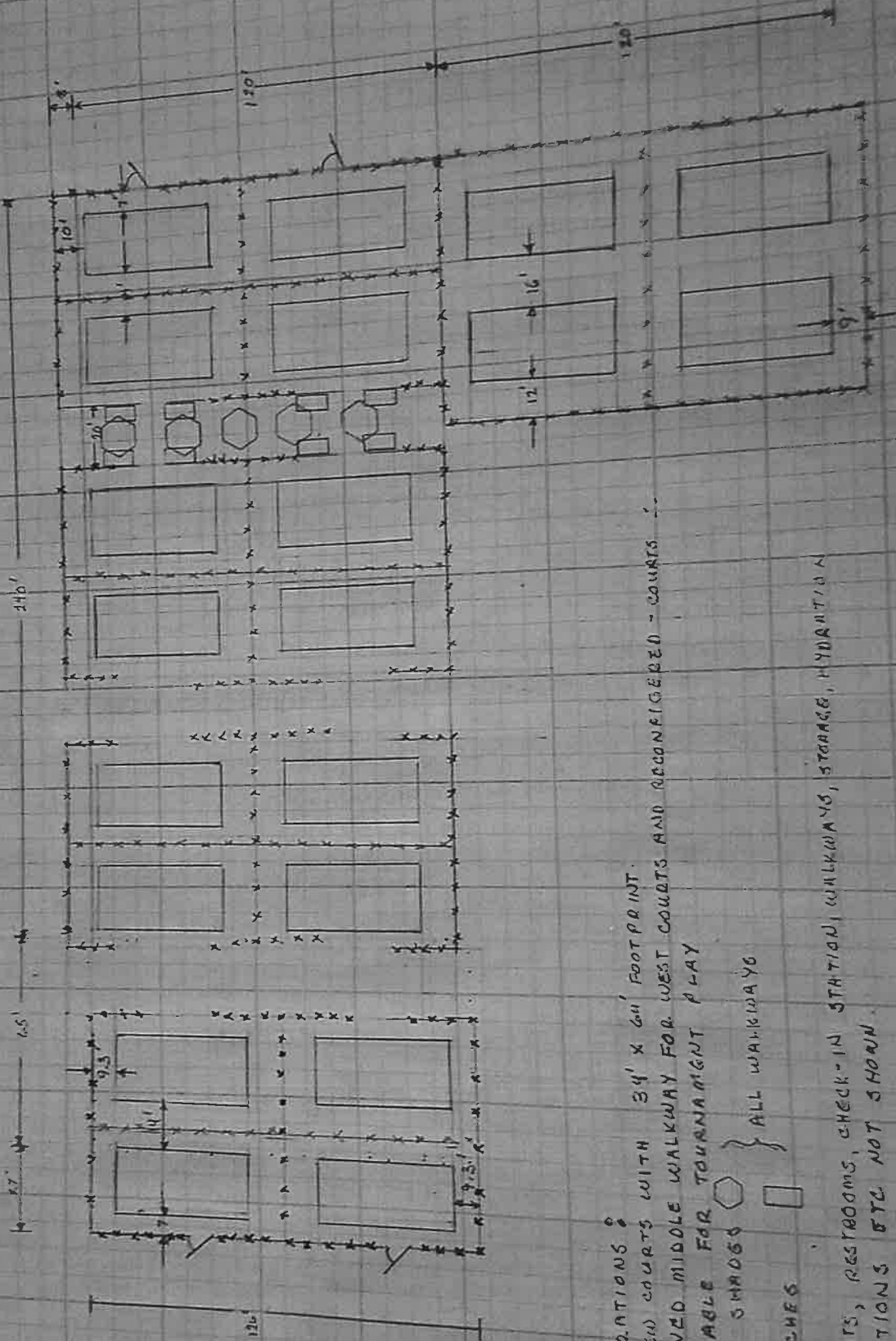
Canyon View

1. Obtain permits. I am not sure how long this will take. Maybe four weeks depending on how busy they are.
2. Provide a site plan, grading plan and engineer stamped design drawings for the post-tensioned courts. Provide specifications and product data submittals. Four weeks
3. Obtain pricing for the dirt work and grading and sign a contract with the excavator. Three weeks
4. Dirt work and grading. Three weeks
5. Construct 4 new tennis courts 10 weeks This includes a four week cure on the concrete prior to the surfacing.

Lincoln Park

1. Permits, same as above.
2. Install shade shelter with metal roof 20' by 20'. Six weeks for install. Lead time is long on shelters, about four months.
3. Demo existing fence and extend concrete slab 10' to the north. Four weeks.
4. Resurface the existing courts making them into 20 pickle ball courts. Four weeks
5. Install new 4' high and 10' high fencing. Five weeks

FOR DISCUSSION
 LINCOLN PARK PUB COURT EXPANSION PROJECT
 "PREFERRED" DIMENSIONS
 12 NEW COURTS, WEST COURTS RECONFIGURED



- CONSIDERATIONS:
- 12 NEW COURTS WITH 34' X 64' FOOT PRINT.
 - REMOVED MIDDLE WALKWAY FOR WEST COURTS AND RECONFIGURED - COURTS
 - SUITABLE FOR TOURNAMENT PLAY
 - IRON SHRODS } ALL WALKWAYS
 - BENCHES }
 - LIGHTS, RESTROOMS, CHECK-IN STATION, WALKWAYS, STORAGE, HYDRATION STATIONS ETC NOT SHOWN.
 - FENCING 4 X 8' FOOT } 4 FOOT } 4 X 10 FOOT }



THE ULTIMATE
SURFACE EXPERIENCE

Organization Background, History and Overview

Thank you for your consideration in LER, Inc. dba Renner Sports Surfaces for the upcoming tennis and pickle ball court project located at Canyon View and Lincoln Parks. We are a full-service tennis court contractor specializing in design-build projects with offices located in Denver, CO and Salt Lake City, UT. We construct over 150 courts every year.

Renner Sports Surfaces was incorporated and formed in 1997 by Lee Renner, the former owner of Malott Peterson Renner. The company was purchased by Beynon Sports which is part of the Tarkett Sports Group, an international leader in sports products and facilities. Our mission is to provide the highest quality construction with unparalleled customer service.

Our scope of services includes design-build projects, consultation, layout, fine grading, post-tensioned concrete, color surfacing, fencing, lighting and equipment installation. We have two Certified Tennis Court Builders accredited by the American Sports Builders Association on staff. Our Operations Manager is a Level 2 Certified Post Tensioning Inspector and our Superintendents are Level 1 Certified Post Tensioning Installers. We employ 20 office staff and 140 superintendents, foreman and laborers during our peak summer months.

Our estimating and management team has over 250 years of combined experience in the field of court and running track construction and combined with our professional installers we have well over 450 years of combined experience. By maintaining memberships in industry associations, Renner Sports Surfaces stays current with new developments within the industry. In addition, our Research and Development team is constantly working with new and innovative surfaces and end-users to modify and improve on our current processes and build your dream facility.

Renner Sports Surfaces is a builder member of the American Sports Builders Association, the Post-Tensioning Institute, American Concrete Institute and the American Society of Concrete Contractors.

Renner Sports specializes in construction of post-tensioned concrete sports courts and running tracks. Many of our projects involve an overlay of existing asphalt courts using this as a stable base rather than complete removal and haul away. This saves on demolition costs.

With post-tensioned concrete we can span unstable soil conditions, increase resistance to settling and heaving, eliminate cold joints around net and fence posts, create better uniformity of play and provide consistent slope for drainage. With post-tensioned concrete we can eliminate potential liabilities due to structural cracking. Post-tensioned concrete will outlast asphalt four times over and not require yearly maintenance of cracks. Players and owners love our courts.



THE ULTIMATE
SURFACE EXPERIENCE

References

Arvada Tennis Center

Owner: Apex Park and Recreation District Arvada CO

Eight PT outdoor tennis courts and 4 PT indoor tennis courts done in 2017

Mark Baird 303 424-2739

Huston Lake Park

Owner: Denver Parks and Recreation Denver CO

Three PT tennis courts and four pickle ball courts done in 2018

Heather Runkel 720 232-7675 or Jennifer Olson 720 913-0609

Meadowood Park

Owner: Aurora Parks and Recreation Aurora CO

Four PT tennis courts and one basketball court done in 2016

Katie Thompson 303 739-7156

Holy Family High School

Owner: Holy Family High School Broomfield CO

Seven PT tennis courts done in 2021

Matt Montgomery 303 410-1411

EXPERIENCE OF KEY PERSONNEL—L.E.R., Inc.

L. E. R., INC. dba Renner Sports Surfaces employs key management personnel with over 600 years of combined experience in the design, construction and repair of tennis courts and running tracks. In addition, our Crew Chiefs have a combined experience of over 100 years, with capabilities of staffing multiple crews for all phases and types of tennis court and running track projects. Renner Sports Surfaces is a builder member of the American Sports Builders Association; with two Certified Tennis Court Builders and a Certified Track Builder on staff. We are also members of the American Society of Concrete Contractors. L. E. R., Inc. has a bonding capacity of \$5,000,000 single project and \$75,000,000 aggregate, with an underwriting company rated by AM Best as A++, XV.

Greg McKenna, Certified Track Builder, President: Greg started in the industry in 1984 as a field technician in post-tensioned concrete construction. He quickly developed new innovative processes for this type of construction, shortening construction time from one to two weeks, to a couple of days, without sacrificing quality. Greg also moved through the ranks, proving himself as one of the top Operations Managers, nationwide, in this industry. Greg has extensive experience in both running track and tennis court construction. Greg's primary duties are the oversight of the field operations (projects and personnel); the secondary duties are in estimating and design.

Neal DePooter, Tennis Division Manager: Neal is our Chief Estimator for tennis court construction, and has over thirty years of experience in tennis court construction, estimating and sales. He began in this industry as a field technician, working into his current position. Neal's experience encompasses all phases of tennis court construction, to include new construction and resurfacing. His extensive knowledge of common problems found on tennis courts and their solutions makes Neal an invaluable asset to the industry.

Colin Donovan, Certified Tennis Court Builder, Tennis Court Sales: Colin started in the tennis court industry in 1984 as a summer job while in college. He began by building and resurfacing clay tennis courts and then moved on to hard court construction and resurfacing. His knowledge and expertise encompass all facets of the tennis court construction industry, as well as acrylic coatings and latex track surfaces. Colin has earned the designation of Certified Tennis Court Builder.

Greg C. McKenna

5863 Cole Way
Arvada, CO 80004
(303) 944-2448

Experience:

Renner Sports Surfaces, Denver, CO
President

March 2009 – Present

- Oversee all operations of the corporation including construction, estimating, sales, personnel, general corporate policies, equipment purchases, and general financial matters
- Chief estimator for tennis court and running track construction, supervising sales/estimators in both divisions
- Work with owners, general contractors, and vendors to develop strong relationships
- Assists in all design/build projects in developing accurate specifications and standards

Renner Sports Surfaces, Denver, CO
Vice President/Operations Manager

March 2003 – February 2009

- Oversee multiple superintendents and foremen on all aspects of general construction including post-tensioned concrete, fencing, running tracks, and clay tennis courts, as well as surfacing for tennis courts
- Manage projects of all sizes from \$5,000 to \$2,000,000
- Review budget vs. actual costs
- Create estimates for new projects
- Work with owners and general contractors to facilitate successful relationships
- Assist management staff with all aspects of the company

Southwest Recreational Industries, Inc., Denver, CO
Operations Manager

1997 – 2003

- Oversee multiple superintendents and foremen on all aspects of general construction including post-tensioned concrete, fencing, running tracks, clay tennis courts, hard courts, and artificial turf fields
- Manage projects ranging in size from \$30,000 to \$1.5 million
- Review budget vs. actual costs
- Create estimates for new projects
- Work with owners and general contractors to facilitate successful relationships

Malott Peterson Renner, Inc., Denver, CO
Operations Manager, Construction Superintendent, GC Foreman

1983 – 1997

- Oversee multiple superintendents and foreman on all aspects of production in tennis courts and running tracks
- Manage projects of all sizes, coordinated materials and sub-contractors for smooth performance
- Create estimates for new projects

Comparable Projects:

Mr. McKenna's experience ranges from projects of a single court for a homeowner to full athletic stadiums including running tracks, multiple tennis courts, artificial turf fields, drain systems, and seating areas. He has worked for clients ranging from the private homeowner, country clubs, tennis and athletic clubs, municipalities, special recreation districts, high schools, colleges, and the country's military academies. The scope of work includes estimating, layout, design, and construction. He was heavily involved in all phases of the University of Virginia (a design/build project) and New Mexico State University projects, as well as hundreds of other projects.

Memberships & Awards:

American Sports Builders Association, member since 1990's
Malott Peterson Renner Foreman of the Year multiple times
University of Texas—Project Management Certification
American Concrete Institute—Certified Technician and Finisher



Blaine Wilkins

Regional Construction Manager/Superintendent
775 Canosa Ct., Denver, CO 80204

Blaine has 17 years of experience in Commercial & Athletic construction. He has supervised and been hands on in construction of millions of square feet of commercial and athletic projects. Blaine has taken numerous assignments from development, to handing over these projects to the owners. He has developed strong relationships with subcontractors, owners, and owner representatives to facilitate successful projects. Blaine's main responsibilities are to provide project supervision and management to different athletic projects. To include: athletic field (FieldTurf), tennis court, basketball court, and running track (Renner) renovations and new build projects.

Blaine is PTI Certified, through the Post-Tensioning Institute and has successfully completed the 10-hour OSHA program.

Partial List

- Heath M. S. - Football field
- Greeley West H.S. - Track and Field Stadium
- Frontier Academy – Soccer field & soccer practice field
- Valley H.S. – Football field
- U.S. Air Force Academy - Stadium Field
- Falcon H.S. – Baseball field
- District 6 Stadium & Soccer Complex -
- Island Grove – Softball Field
- Colorado State University – Jack Christiansen Memorial Track (build)
- Tekamah, NE – Track (build)
- Wall Park Tennis Center – Kansas - 6 courts
- Kent Denver H.S. – 6 courts
- Gaylord Rockies Resort – Denver – 2 courts & Basketball court
- Western New Mexico University – Tennis Courts
- City of Denver – Parks – Huston Lake Park & Eisenhower Park – 4 courts at each
- Broomfield H.S. – 8 courts
- Arvada Apex Tennis Center – 12 courts (8 outdoor & 4 indoor) *Indoor awarded “Outstanding Indoor Tennis Facility of the Year” by ASBA
- Ponderosa H.S. (Douglas County School District) – 4 courts
- Weld county H.S. #2 (Severance) – 4 courts
- Deming High school – New Mexico – 2 courts
- Broadmoor Hotel & Resort – Clay & Regular tennis courts
- Denver Tennis Center



THE ULTIMATE
SURFACE EXPERIENCE

Clifford R. Null

1790 Webster St.

Lakewood, CO 80214

(303) 419-7752

cnull@rennersports.com

Experience:

Renner Sports Surfaces, Denver, CO

General Construction Superintendent

February, 1999 - Present

- Manage crews up to 25 men
- Perform all work required to construct all types of tennis courts, including grading, concrete slabs, fencing, light poles, curb & gutter, sidewalk, and patterned concrete
- Organize delivery of materials and equipment
- Oversee work performed by sub-contractors

Southwest Recreational Industries, Denver, CO

General Construction Foreman

July, 1997 – February, 1999

- Manage crews up to 25 men
- Perform all work required to construct all types of tennis courts and running tracks, including grading, concrete slabs, fencing light poles, curb & gutter, sidewalk, and track drainage systems
- Organize delivery of materials and equipment
- Oversee work performed by sub-contractors

Malott Peterson Renner, Denver, CO

General Construction Foreman

July, 1990 – July, 1997

- Manage crews up to 25 men
- Perform all work required to construct all types of tennis courts and running tracks, including grading, concrete slabs, fencing light poles, curb & gutter, sidewalk, and track drainage systems
- Organize delivery of materials and equipment
- Oversee work performed by sub-contractors

Comparable Projects:

Mr. Null has worked on over 500 projects ranging in size from single courts to fifteen (15) courts. The scope of work on almost all of them includes site grading, building and pouring post-tensioned concrete slabs, installing fence and light posts, and installing net posts and seating areas. A number of projects included retaining walls—both to support the court on hillsides and to enclose the court.

Locations and size of comparable projects include University of Virginia (14 courts), Brigham Young University (10 courts), Central & Centennial High Schools, Pueblo, CO (15 courts), Copper River (12 courts), Pueblo High School, Tucson, AZ (10 courts), Colorado Athletic Club at Inverness (12 courts), New Mexico State University (12 courts), Grants High School, Grants, NM (4 courts), and hundreds of smaller projects in Colorado, Nevada, New Mexico, Utah, and Arizona

Professional Affiliations:

American Concrete Institute—Certified Technician and Finisher
Renner Sports Surfaces Foreman of the Year 2005



Craig Stoffel, PLA

Landscape Architect/Sports Courts

Craig has well over a decade of experience in a broad range of projects, including athletic complexes, K-12 and higher education campuses, resorts, state and local parks, National Park Service master planning, green infrastructure master planning, trails, river restorations, streetscaping, and urban revitalization.

As a versatile landscape architect, Craig has overseen projects from preliminary concept stages to final site supervisions. He's been responsible for design development, project coordination, client liaison, public meetings, and construction administration. Craig is committed to designing state-of-the-art sports complexes and campuses with an emphasis on safety, equity, and accessibility for all. He brings extensive knowledge of products and systems related to turf, pads, courts, fields, lighting, and detailed specifications.

Craig also has shown his commitment to the American Society of Landscape Architects (ASLA) Colorado chapter, including serving as president in 2018.

Total Experience

16 years

Registrations

Professional Landscape Architect, CO

Education

BS. Landscape Architecture, Colorado State University

Select Experience*

- Aurora Sports Park Expansion, Aurora, CO
- Denver Tennis Park (Six exterior courts), Denver, CO
- South Suburban Parks & Rec, Recreation Complex, Highlands Ranch, CO
- Arvada High School (Track/Multi-use field), Arvada, CO
- Chatfield High School (Track/Multi-use field), Littleton, CO
- Conifer High School (Track/Multi-use field/Baseball/Softball/Tennis Courts), Conifer, CO
- Dakota Ridge High School (Track/Multi-use field), Littleton, CO
- Lakewood High School (Track/Multi-use field), Lakewood, CO
- Ralston Valley High School (Track/Multi-use field/Tennis courts), Arvada, CO
- West Jefferson Middle School (Multi-use field), Conifer, CO
- Columbine High School (Track/Multi-use field), Littleton, CO
- Golden High School (Track/Multi-use field), Golden, CO
- Green Mountain High School (Track/Multi-use field/Tennis/Batting cage), Lakewood, CO
- Pomona High School (Track/Multi-use field), Arvada, CO
- Standley Lake High School (Track/Multi-use field), Westminster, CO
- Alameda International Jr./Sr. (Track/Multi-use field), Lakewood, CO
- D'Evelyn Jr. Sr. High School (Track/Multi-use field), Denver, CO
- Jefferson Jr. Sr. High School (Track/Multi-use field), Edgewater, CO
- Lumberg Elementary (Tennis), Edgewater, CO
- Wheat Ridge High School (Track/Sod Field), Wheat Ridge, CO
- Pinnacle Charter Athletic Stadium, Thornton, CO
- Greeley West High School (Baseball/Softball/Tennis Courts), Greeley, CO

*Experience prior to joining Ayres

Related Facility Experience

Following is a snapshot of the experience David Land and Craig Stoffel bring with their combined 36 years of experience working with sports and recreation facilities.



Education K-12

Jeffco Public Schools Synthetic Turf Projects

- » Complete renovation of track and fields across 19 high schools and 1 middle school.
- » Design for post-tension concrete tracks and tennis courts.
- » Converted sod athletic fields to multi-sport synthetic turf fields (football, soccer, lacrosse, baseball, softball).



Adams 12 Five Star Schools

Northglenn High School

- » Track and field renovation

Five Star Stadium

- » Track and field renovation

Aurora Public Schools - District Stadium

- » Field renovation

Boulder Valley School District

Boulder, Fairview, Broomfield, Centaurus and Monarch High Schools

- » Track and field renovation
- Nederland High School Field and Track
- » Track and field renovation

Denver Public Schools

All City Stadium Renovation

- » Track and field renovation
- South High School
- » Baseball and multi-purpose field renovations
- Thomas Jefferson High School Field and Track
- » Track and field renovation



Jefferson County Public Schools

Conifer High School Field and Track

- » Track and field renovation
- Evergreen High School Field and Track
- » Track and field renovation

Larimer County School District - Relocation of Okie

Blanchard Sports Complex

- » Football/Soccer Field
- » 8-Lane Track

Higher Education

Adams State College - Rex Field and Plachy Hall

- » Track and field renovation

Adams State University - High Altitude Events Center

- » 400 meter track replacement
- » 200 meter indoor track

Metropolitan State University of Denver - The Regency Athletic Complex

- » Site design
- » Construction administration

University of Colorado at Boulder

Farrand Field

- » Site design
- » Construction administration

Event Center Courts

- » Site design
- » Construction administration

Air Supported Structure

- » Site design
- » Construction administration

University of Colorado at Colorado Springs - Parking Garage & Recreation Field

- » 1200 car parking structure
- » Intramural synthetic field
- » Designing to LEED Gold standard

University of Denver

NCAA Soccer Field

- » Site design
- » Construction administration

Athletic Art Addition

- » Site design
- » Construction administration

University of Northern Colorado

Butler Hancock Fields

- » Site development for athletics and recreation facilities
- » Tennis courts

Jackson Sports Complex

- » Master planning
- » Site design
- » Construction administration

Athletic Facilities Master Plan

- » Master planning
- » Site design
- » Construction administration



Municipal and Private Party

City of Golden - Rooney Road Youth Sports Complex

- » Master planning
- » Construction documents

Colorado ICE Sports

- » Site design

South Suburban Recreation Complex

- » New recreation complex including three sheets of ice, gymnasium, field house, parking, entry plaza, vehicular and pedestrian bridge, trails, future artificial turf fields.

Denver Tennis Park

- » New tennis facility intended to serve the needs for underprivileged youth programs, Denver Public Schools, and University of Denver tennis students by providing an indoor and outdoor tennis facility with seven indoor and eight outdoor courts. The courts incorporate sports lighting, spectator viewing areas, shade canopies, and a half-court practice high wall.

Aurora Sports Park Expansion

- » Sports park facility with four multi-use synthetic fields, field lighting, awards plaza, restroom/concessions building, water quality and surface water treatment. Aggressive 14 month schedule for the master plan amendment process through construction documents and administration.

KWS Engineering & Development Consultants

Kennith W. Schmidt, Jr., PE

16489 E Berry Avenue
Centennial, CO 800150-4051
Phone 303-478-1987

November 15, 2021

STATEMENT OF QUALIFICATIONS

I have been involved in the design and construction supervision of post-tensioned concrete slab for the past 17 years to include designs of single tennis court and pickleball complexes to multiply court facilities at major universities and several Park and Recreation District. I have provided over **360 post-tension Tennis, Pickleball and Basketball courts designs** from basic schematic drawings to complete construction drawings and specifications for tennis and pickleball courts. The following is a brief summary of the major Post-Tensioned Tennis, Pickleball and Basketball court design projects that I have been involved with and the extent of that involvement.

Professional Organizations

A professional member of the American Sports Builders Association (ASBA) for the past 33 years. A member of the American Society of Civil Engineers.

Education

University of Wisconsin, Madison Wisconsin, Bachelor of Science in Civil Engineering - May 1969

Professional Registrations

Civil Engineer/Land Surveyor - Colorado PELS # 11150
Civil Engineer - Wyoming PE # 3055
Civil Engineer - New Mexico PE # 13791
Civil Engineer - Utah # 7658333-2202
Civil Engineer - Arizona # 51362
Civil Engineer - Arkansas # 15082
Civil Engineer - Nebraska # E-14675
Civil Engineer - Kansas # 23029

Page #2

Statement of Qualifications

Kennith W. Schmidt, Jr. PE

Tennis and Pickleball post-tensioned concrete court designs

- Steamboat Springs Tennis & Pickleball courts – Steamboat Springs, CO – June, 2016
1 tennis & 1-8 court Pickleball complex
- Huston Lake Park Tennis & Pickleball courts – Denver, CO – January, 2018
1-3 court Tennis & 1-4 court Pickleball complex
- Eisenhower Park Tennis & Pickleball courts – Denver, CO – February, 2018
1-3 court Tennis & 1-4 court Pickleball complex
- Paul Sandoval Park Tennis & Pickleball courts – Denver, CO - June, 2019
1-4 court Tennis & 1-4 court Pickleball complex
- River Run Tennis & Pickleball courts – Grandy, CO - June, 2019
1-1 court tennis & 1-2 court Pickleball complex
- Dillon Town Park Tennis & Pickleball courts – Dillon, CO - June, 2019
1-4 court Tennis & 1-4 court Pickleball complex
- Trails @ Crowfoot Tennis & Pickleball courts – Parker, CO - June, 2019
1-2 court Tennis & 1-4 court Pickleball complex
- Green Valley Ranch Rec. Center Tennis & Pickleball courts – Green Valley, AZ - August, 2019
2-8 court Tennis & 2-4 court Pickleball complex
- Veterans Park Pickleball courts – Grand Island, NE - March, 2020
2-4 court Pickleball complex
- Honey Creek Park Pickleball courts – Superior, CO - June, 2020
1-6 court Pickleball complex
- Bear Valley Park Tennis & Pickleball courts – Lafayette, CO - June, 2020
2-3 court Tennis & 1-4 court Pickleball complex
- Rockin K Community Park Tennis & Pickleball courts – Pima County, AZ - July, 2020
1-4 court Tennis & 1 court Pickleball complex
- Simmons Residence Tennis & Pickleball courts – Cherry Hills Village, CO - February, 2021
1 Pickleball, Tennis & Basketball court
- Stapleton 57 Park Pickleball courts – Denver, CO - March, 2021
1-2 court Pickleball complex
- Aspen Pickleball courts – Aspen, CO - March, 2021
1 Pickleball & Basketball court
- Montclair Tennis courts – Denver, CO - April, 2021
1 Tennis court
- Panorama Park courts – Colorado Springs, CO - April, 2021
2 Basketball courts
- #7 Lynn Road court – Greenwood Village, CO - May, 2021
1 Tennis court
- Country Club of Castle Pines courts – Castle Rock, CO - May, 2021
3 Tennis courts
- Garden of the Gods courts – Colorado Springs, CO - July, 2021
3 Tennis & 6 Pickleball courts
- Cobblestone Ranch courts – Castle Rock, CO - July, 2021
6 Pickleball courts
- Coe College courts – Cedar Rapids, IA - August, 2021
6 Tennis courts



20x20 Mesa



20x30 Orlando 6 post (for illustration only)



ORLANDO MODEL

20' X 20'

SPECIFICATIONS

Dimensions:

Roof Dimensions	20'-0" x 20'-0"
Column Dimensions (Center to Center)	16'-0" x 16'-0"
Minimum Clearance	8'-0"
Roof Height @ Ridge	±11'-5 1/2"
Gable Roof	4:12 pitch
Square Feet Under Roof	400
Date of drawing	June 19, 2017

Columns shall be 6"x 6" steel tube, minimum .120" wall thickness.

All beams shall be structural steel tube sized according to engineering.

All bolts shall be A-325 or A-307 and hidden at all connections.

Roofing shall be 24 gauge HR-36 steel pre-cut and pre-finished with ribs running with the slope of the roof.

Trim shall be 24 gauge pre-finished to match roofing.

Fascia trim shall be 24 gauge "J" channel.

Open or welded "C" channel, "I" beams, "S" or "Z" purlins or angle iron shall not be allowed.

11875E. Berry Dr.- Dewey, AZ 86327
Phone (928) 775-3307 Fax: (928) 772-0858
info@classicrecreation.com
www.classicrecreation.com



STANDARD SPECIFICATIONS

w/ TRUZINC RICH PRIMER & SUPER DURABLE POWDER COAT PAINT

GENERAL:

1. All structures shall be designed and fabricated to the IBC (Latest Edition) or current local building code with standard load designs of the greater value of 20# per S.F. minimum live load and 100 mph sustained wind load or site specific conditions and the applicable zone for seismic loads.
2. All members shall be designed according to the "American Institute of Steel Construction (AISC) specifications and the American Iron and Steel Institute (AISI) specifications for cold-formed members.
3. All fabrication welds shall be in strict accordance with the structural welding code of the American Welding Society (AWS) specifications. All structural welds shall be in compliance with the requirements of "Pre-qualified" welded joints. All welding shall conform to ASTM A-233 series E-70XX electrodes - low hydrogen.
Field welding shall not be required.
4. When required, after award of bid, the shade structure manufacturer shall submit structural calculations, sealed by a registered engineer in the state in which the structure is to be erected for review and approval by the approving agency.
5. Manufacturer qualifications: All manufacturers shall have a minimum of (20) twenty years experience in the fabrication of tubular steel shade structures. Shade structure and kiosk fabrication shall be the manufacturer's primary business. Manufacturer shall have fabricated similar structures to that which is specified. All non-specified manufacturers shall submit complete shop drawings indicating type, size & gauge of material used, with detailed connections to the specifying agency or design firm at least 10 days prior to bid opening for review and written pre-approval. All bids submitted without prior approval will be rejected.

FOOTINGS & COLUMNS:

1. Footings shall be structurally engineered by the structure manufacturer to meet local codes and site conditions. (Sample footing drawings shall be made available to the contractor or owner from the manufacturer). When required for structure installation, anchor bolts shall be supplied by the owner / contractor. Columns shall be ASTM 500 grade B. Concrete footing rebar (if required) shall be ASTM A-615 grade 40 #4 bars & smaller, grade 60 #5 bars & larger. Concrete shall be 5 sack mix "Portland" cement. Maximum slump shall not exceed 4". Concrete compressive strength shall be a minimum of 2500 psi @ 28 days.



FRAME MEMBERS AND COMPRESSION RING:

1. 90% of all steel shall be American (domestic) made. Mill certification shall be made available upon request. All frame members shall be one piece structural steel tube with a minimum .120 (1/8") wall thickness, sized according to engineering. All frame members shall be bolted together with bolts totally concealed. All tubing for frame members shall be ASTM 500 grade B. Beam end plates shall be ASTM A36 fy=36,000 psi UNO. Bolts shall be A 307's, or 325's unless noted otherwise.
"I" beams, Angle iron, "C", "Z" or "S" purlins or beams, open or closed, shall not be allowed.

ROOFING:

1. All roofing shall be 24 gauge Zincolume / Galvalume coated steel panels, ICBO #ER-2757. "HR-36" panels shall be 36" wide with 1½" high ribs @ 7.2". All roofing shall be pre-finished with PVF2 (Polyvinylidene Fluoride) Kynar 500 on the top side. All roof panels shall be pre-cut with ribs running with the slope of the roof. Roof fascia trim shall be 1 ½" "J" channel trim 24 gauge Zincolume / Galvalume coated pre-finished matching the roof color. Screws & rivets shall match roof color. No exceptions taken for roof type or trim.

POWDER COATING:

1. All frame members shall be media blasted to a white finish removing all rust, scale, oil and grease. Powder coating for all frame members shall be provisionally warranted for (5) five years with **TRUZINC** 7520-70138 primer with a Dry Film Thickness of (2.0 - 6.0 mils) & hardness of 2H-3H with a Salt Spray Resistance of **6000 hours** and **Super Durable Gloss Polyester 9000** series finish paint (2.5-3.5 mils) with a hardness of H-H2 & has **1000 hour** salt spray resistance. Total of primer & finish paint shall be 4.5-9.5 mils of paint. Finish shall be a smooth uniform surface with no pits, runs or sags. For additional information, please visit <http://www.tcipowder.com/> for a complete list of specifications.

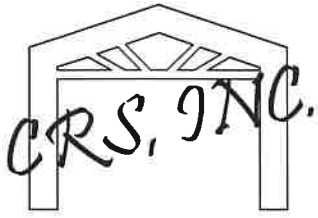
ERECTION:

1. Manufacturer shall supply complete layout and detail plans with installation instructions for the structure. The structure shall be erected in a work-man-like manner with framing, roofing and trim installed according to the manufacturer's installation instructions. Care shall be taken to avoid damaging the structure during installation. Touch up powder coat paint with paint provided to prevent rusting. Components of the structure shall be covered and kept dry prior to erection.

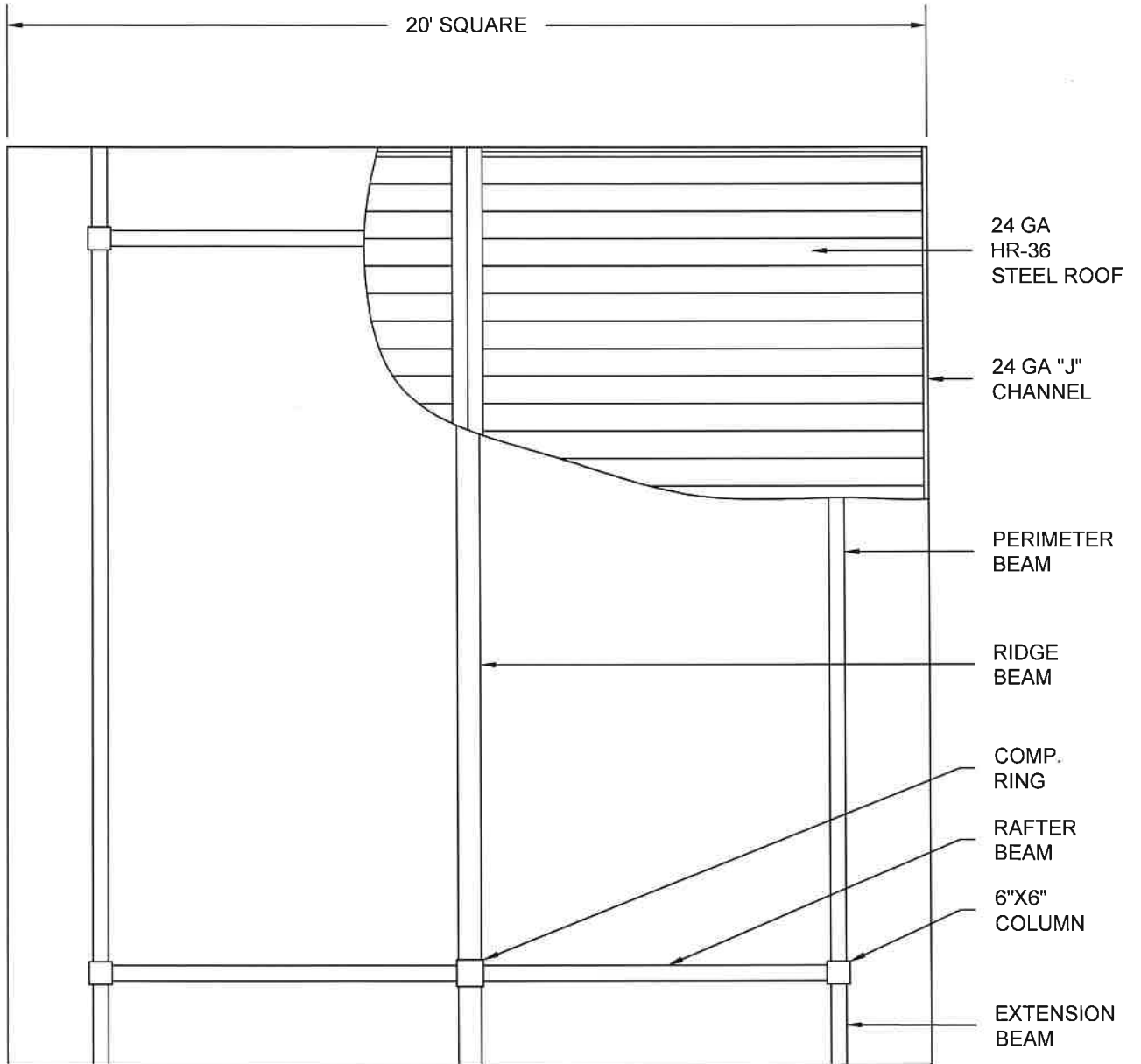
WARRANTEE:

1. Manufacturer shall warranty the structure to be free from defects in material and workmanship for a period of (10) ten years from date of acceptance by owner. Warranty does not include damage from theft, fire, vandalism or acts of God. Manufacturer shall repair or replace structure components of like kind at his option, to match existing material and workmanship. Steel roof finish shall be warranted for (30) thirty years under a separate roof manufacturer's warranty. Powder coat paint shall be warranted for (5) five years after acceptance from owner against peeling, flaking and rusting. Warranty does not cover damage caused from shipping, erection of structure, lack of touchup and maintenance, overspray from lawn sprinklers or vandalism. Bolt threads are not powder coated and therefore are not covered under the powder coat warranty.

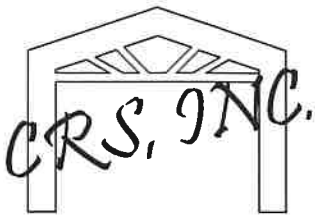
NOTE: Engineering specifications take precedence over drawings if differences occur.



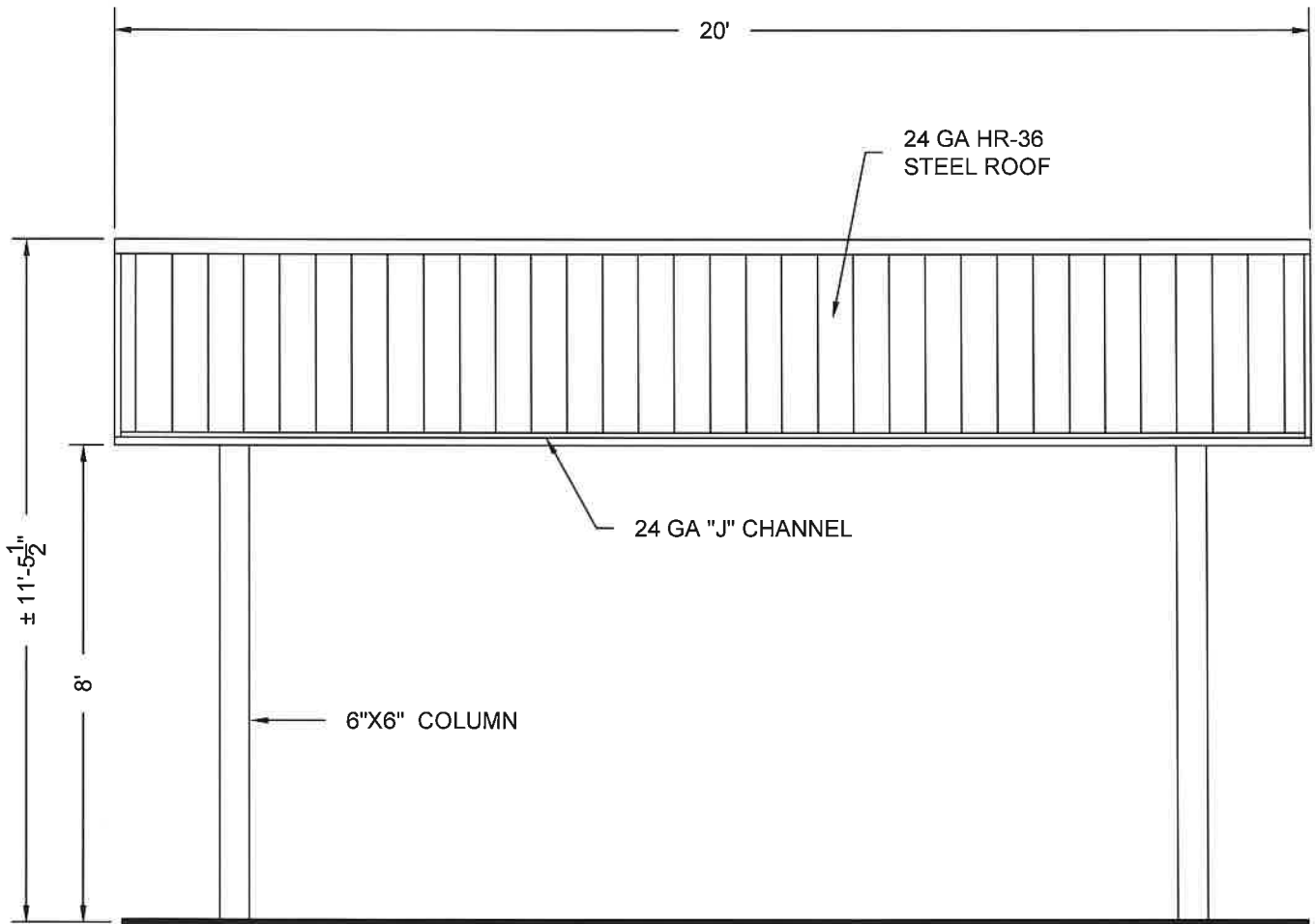
NOT FOR CONSTRUCTION



PLAN VIEW 20'X20' ORLANDO MODEL
NTS



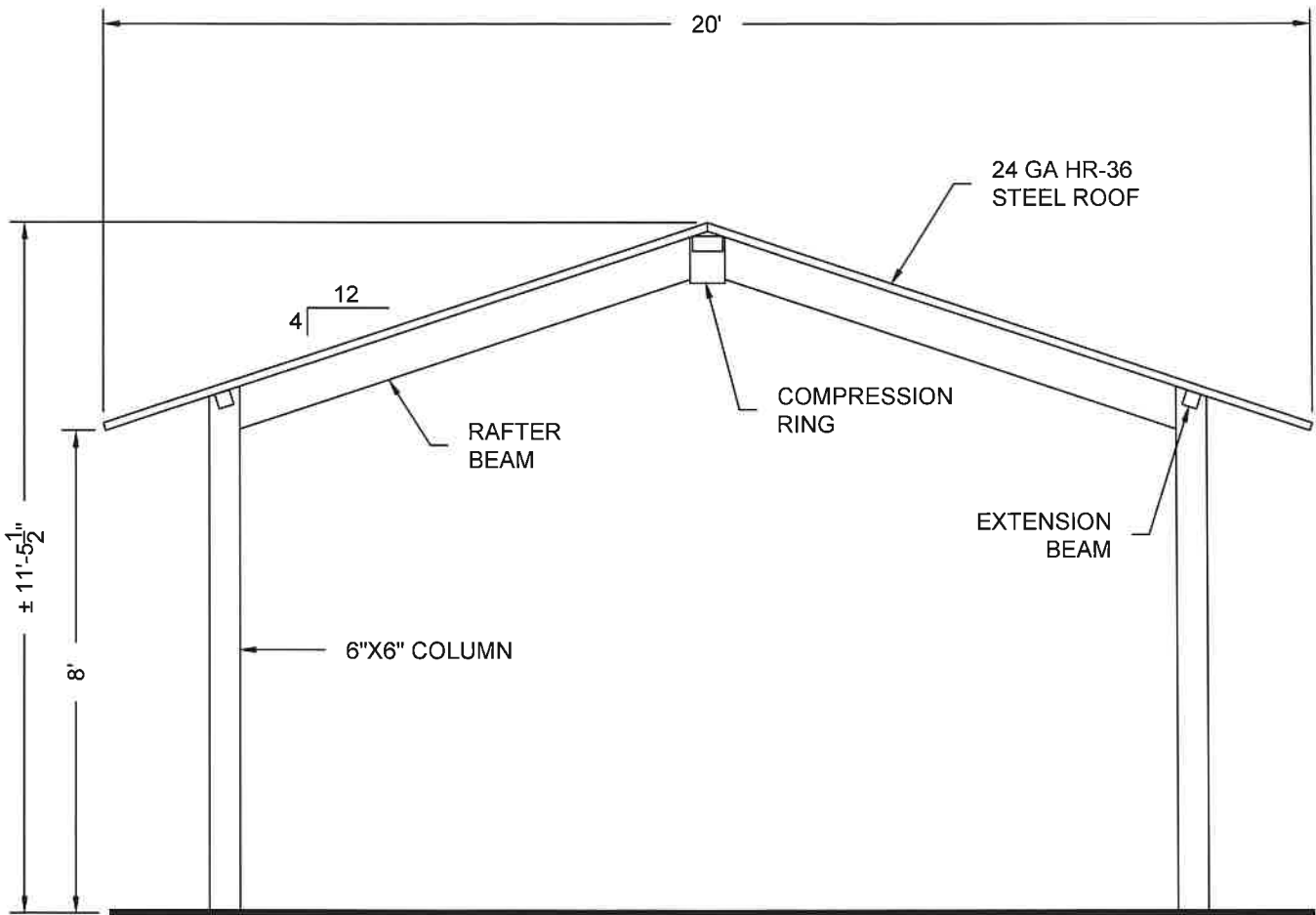
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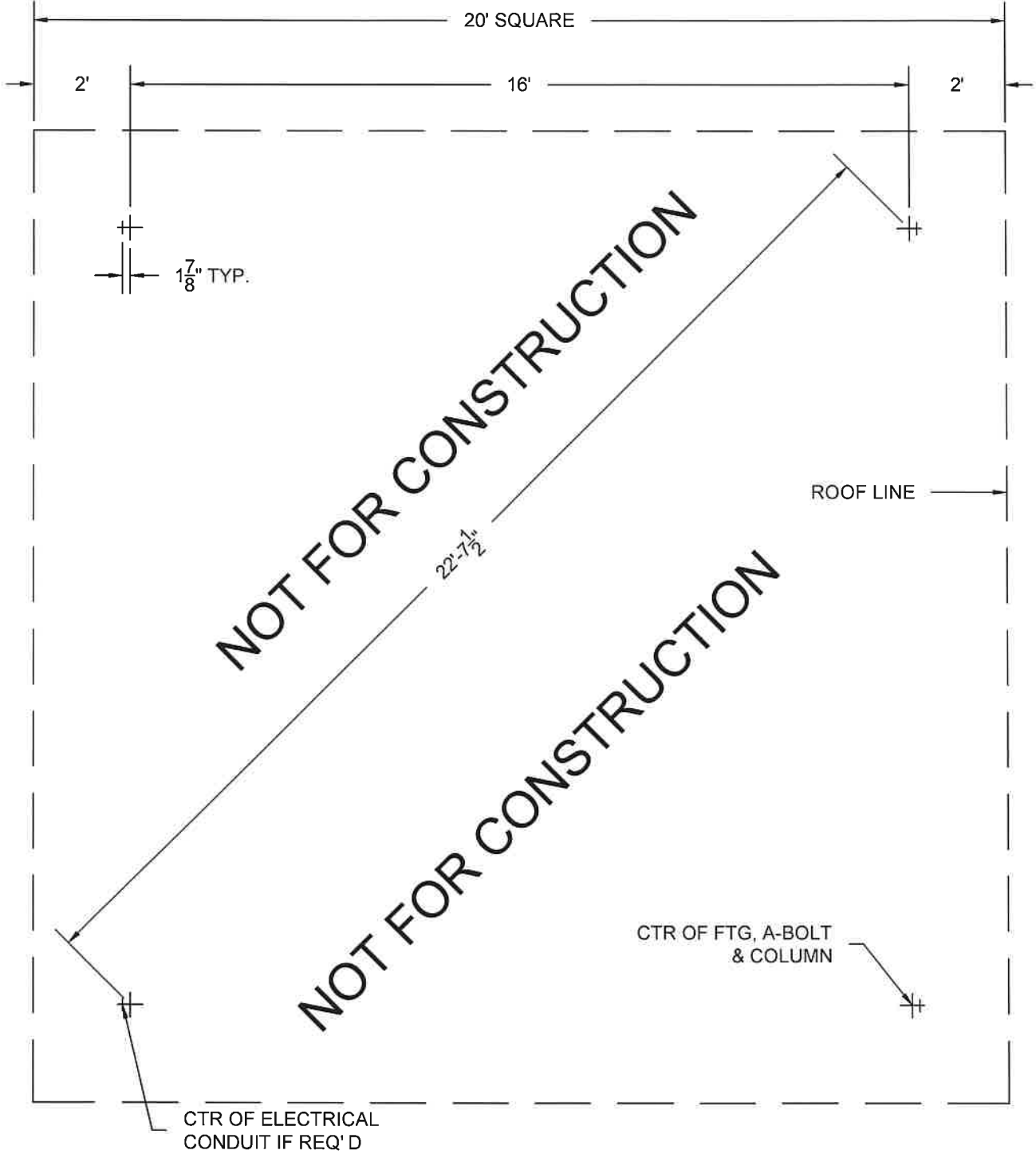
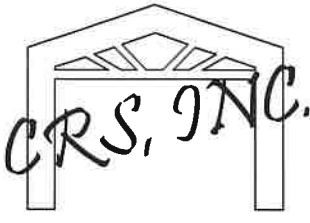
ELEVATION 20'X20' ORLANDO MODEL
NTS



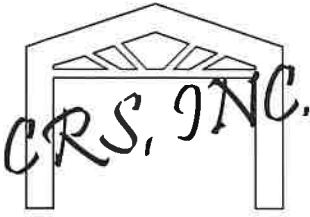
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END ELEVATION 20'X20' ORLANDO MODEL
NTS

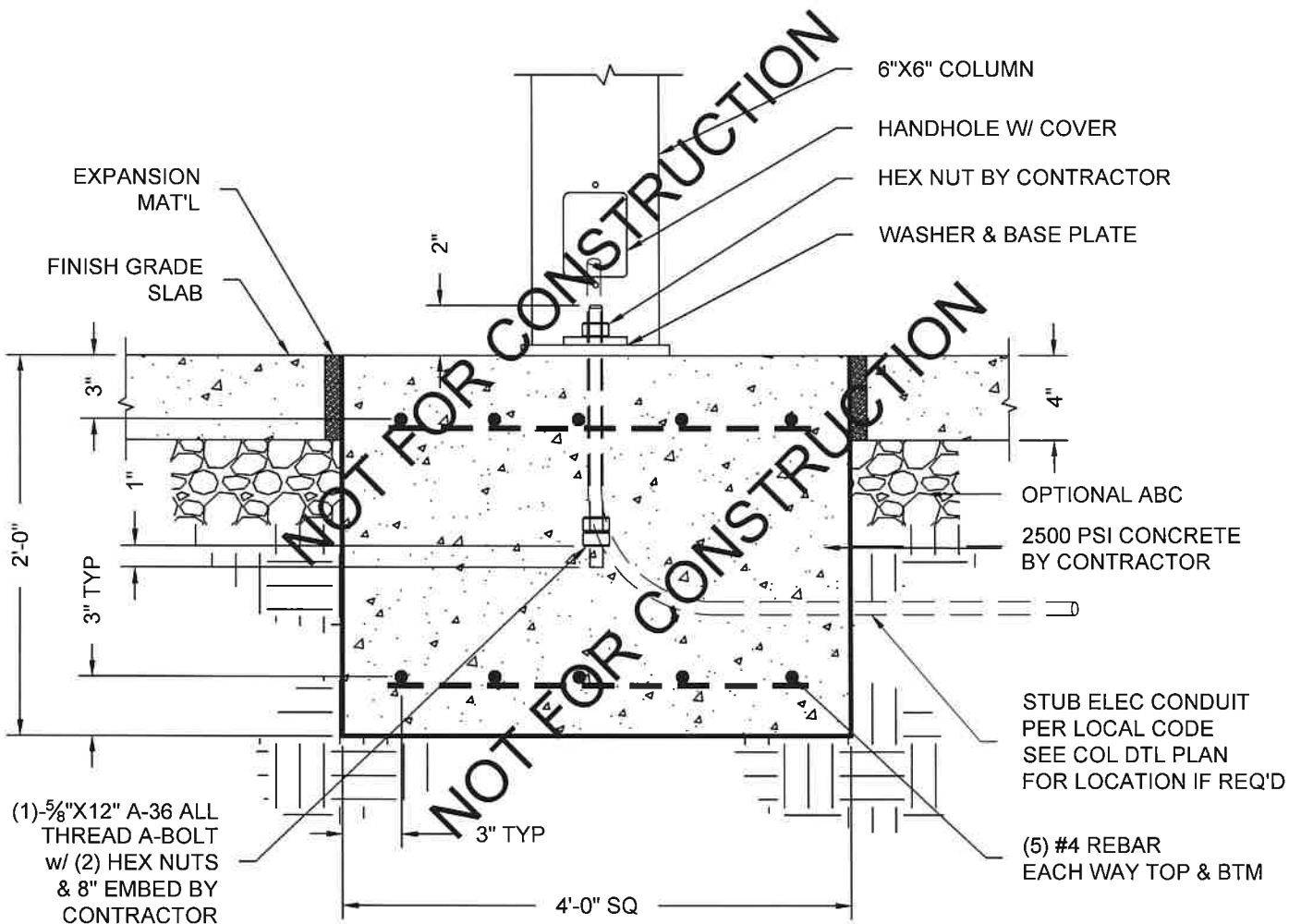
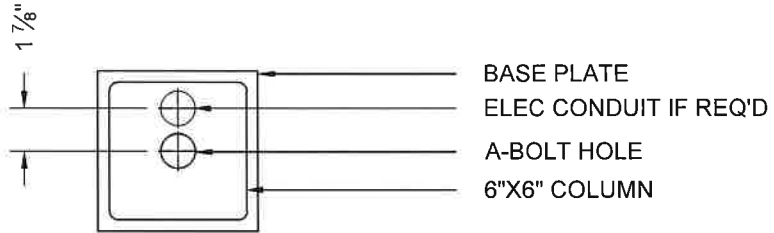


LAYOUT PLAN 20'X20' ORLANDO MODEL
NTS



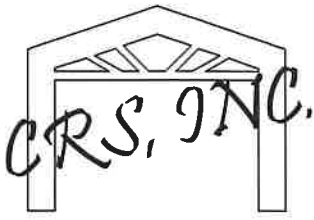
**NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING**

**ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS**



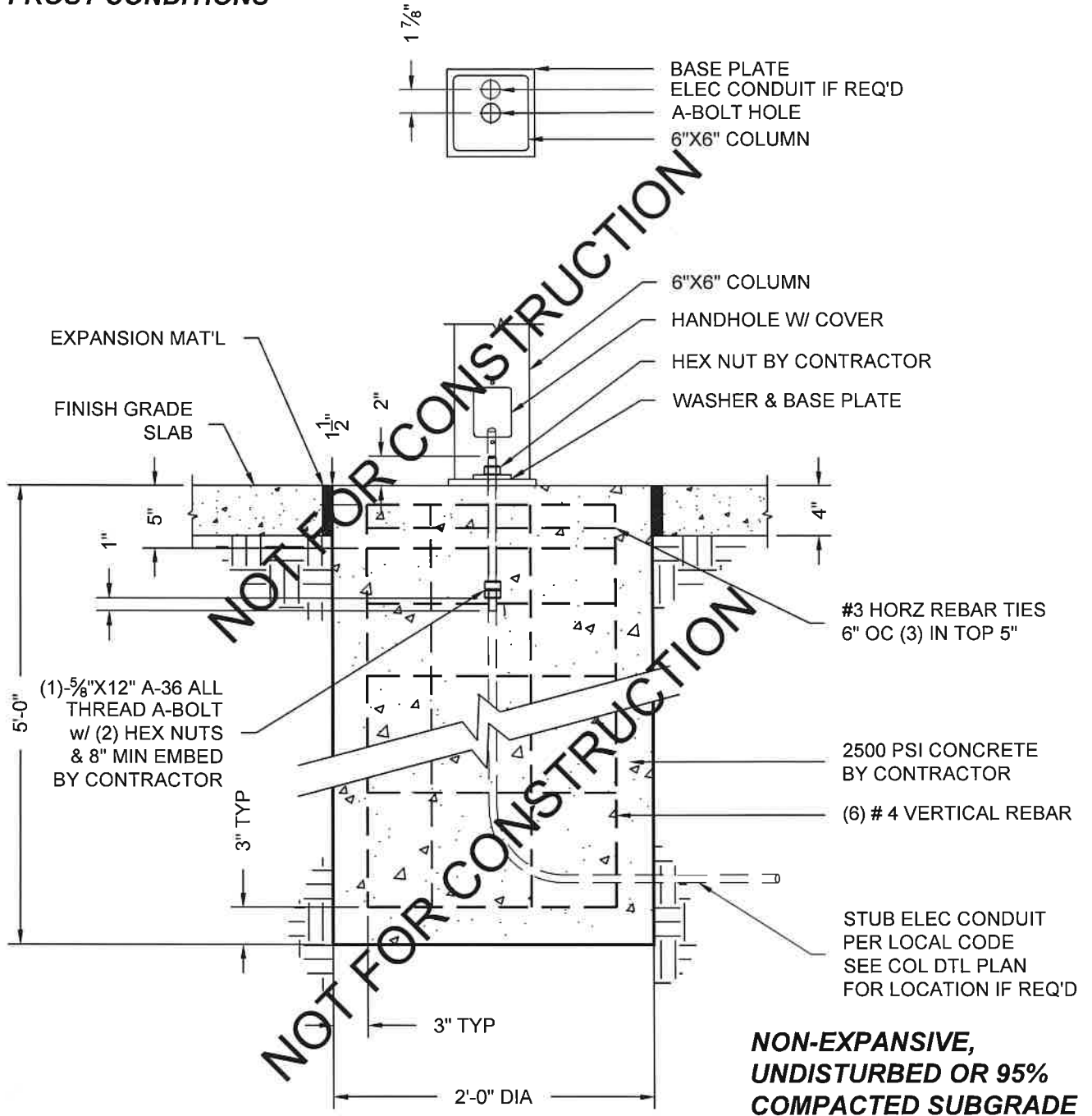
**NON-EXPANSIVE,
UNDISTURBED OR 95%
COMPACTED SUBGRADE**

**1-BOLT SURFACE MOUNT SPREAD FOOTING
20'X20' ORLANDO MODEL
NTS**



**NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING**

**ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS**



**1-BOLT SURFACE MOUNT CAISSON FOOTING
20'X20' ORLANDO MODEL
NTS**



ORLANDO MODEL

20' X 20'

SPECIFICATIONS

Dimensions:

Roof Dimensions	20'-0" x 20'-0"
Column Dimensions (Center to Center)	16'-0" x 16'-0"
Minimum Clearance	8'-0"
Roof Height @ Ridge	±11'-5 1/2"
Gable Roof	4:12 pitch
Square Feet Under Roof	400
Date of drawing	June 19, 2017

Columns shall be 6"x 6" steel tube, minimum .120" wall thickness.

All beams shall be structural steel tube sized according to engineering.

All bolts shall be A-325 or A-307 and hidden at all connections.

Roofing shall be 24 gauge HR-36 steel pre-cut and pre-finished with ribs running with the slope of the roof.

Trim shall be 24 gauge pre-finished to match roofing.

Fascia trim shall be 24 gauge "J" channel.

Open or welded "C" channel, "T" beams, "S" or "Z" purlins or angle iron shall not be allowed.

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STANDARD SPECIFICATIONS

w/ TRUZINC RICH PRIMER & SUPER DURABLE POWDER COAT PAINT

GENERAL:

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2. All members shall be designed according to the "American Institute of Steel Construction (AISC) specifications and the American Iron and Steel Institute (AISI) specifications for cold-formed members.
3. All fabrication welds shall be in strict accordance with the structural welding code of the American Welding Society (AWS) specifications. All structural welds shall be in compliance with the requirements of "Pre-qualified" welded joints. All welding shall conform to ASTM A-233 series E-70XX electrodes - low hydrogen.
Field welding shall not be required.
4. When required, after award of bid, the shade structure manufacturer shall submit structural calculations, sealed by a registered engineer in the state in which the structure is to be erected for review and approval by the approving agency.
5. Manufacturer qualifications: All manufacturers shall have a minimum of (20) twenty years experience in the fabrication of tubular steel shade structures. Shade structure and kiosk fabrication shall be the manufacturer's primary business. Manufacturer shall have fabricated similar structures to that which is specified. All non-specified manufacturers shall submit complete shop drawings indicating type, size & gauge of material used, with detailed connections to the specifying agency or design firm at least 10 days prior to bid opening for review and written pre-approval. All bids submitted without prior approval will be rejected.

FOOTINGS & COLUMNS:

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FRAME MEMBERS AND COMPRESSION RING:

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ROOFING:

1. All roofing shall be 24 gauge Zinalume / Galvalume coated steel panels, ICBO #ER-2757. "HR-36" panels shall be 36" wide with 1½" high ribs @ 7.2". All roofing shall be pre-finished with PVF2 (Polyvinylidene Fluoride) Kynar 500 on the top side. All roof panels shall be pre-cut with ribs running with the slope of the roof. Roof fascia trim shall be 1½" "J" channel trim 24 gauge Zinalume / Galvalume coated pre-finished matching the roof color. Screws & rivets shall match roof color. No exceptions taken for roof type or trim.

POWDER COATING:

1. All frame members shall be media blasted to a white finish removing all rust, scale, oil and grease. Powder coating for all frame members shall be provisionally warranted for (5) five years with TRUZINC 7520-70138 primer with a Dry Film Thickness of (2.0 - 6.0 mils) & hardness of 2H-3H with a Salt Spray Resistance of **6000 hours** and **Super Durable Gloss Polyester 9000** series finish paint (2.5-3.5 mils) with a hardness of H-H2 & has **1000 hour** salt spray resistance. Total of primer & finish paint shall be 4.5-9.5 mils of paint. Finish shall be a smooth uniform surface with no pits, runs or sags. For additional information, please visit <http://www.tcipowder.com/> for a complete list of specifications.

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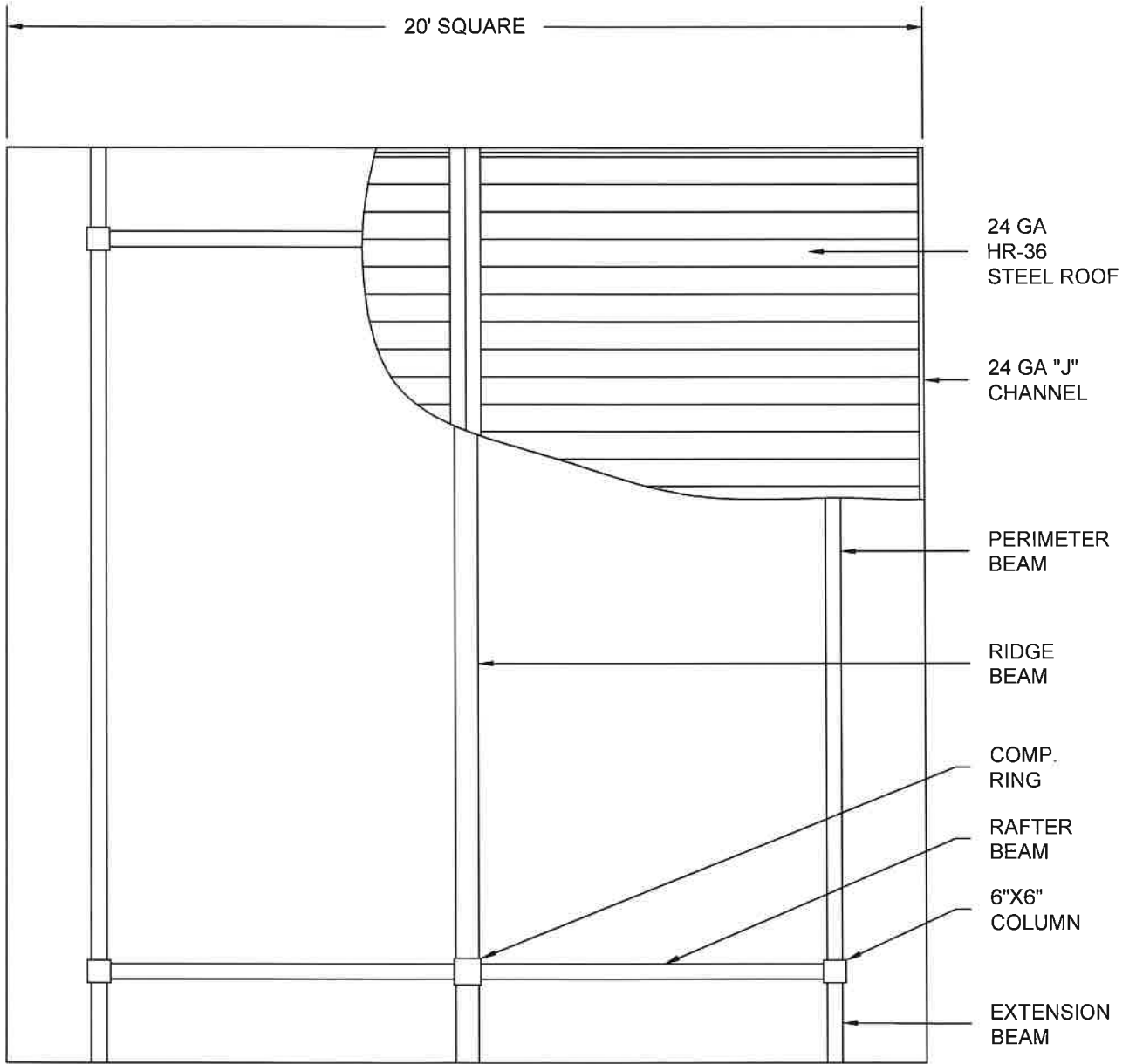
WARRANTEE:

1. Manufacturer shall warranty the structure to be free from defects in material and workmanship for a period of (10) ten years from date of acceptance by owner. Warranty does not include damage from theft, fire, vandalism or acts of God. Manufacturer shall repair or replace structure components of like kind at his option, to match existing material and workmanship. Steel roof finish shall be warranted for (30) thirty years under a separate roof manufacturer's warranty. Powder coat paint shall be warranted for (5) five years after acceptance from owner against peeling, flaking and rusting. Warranty does not cover damage caused from shipping, erection of structure, lack of touchup and maintenance, overspray from lawn sprinklers or vandalism. Bolt threads are not powder coated and therefore are not covered under the powder coat warranty.

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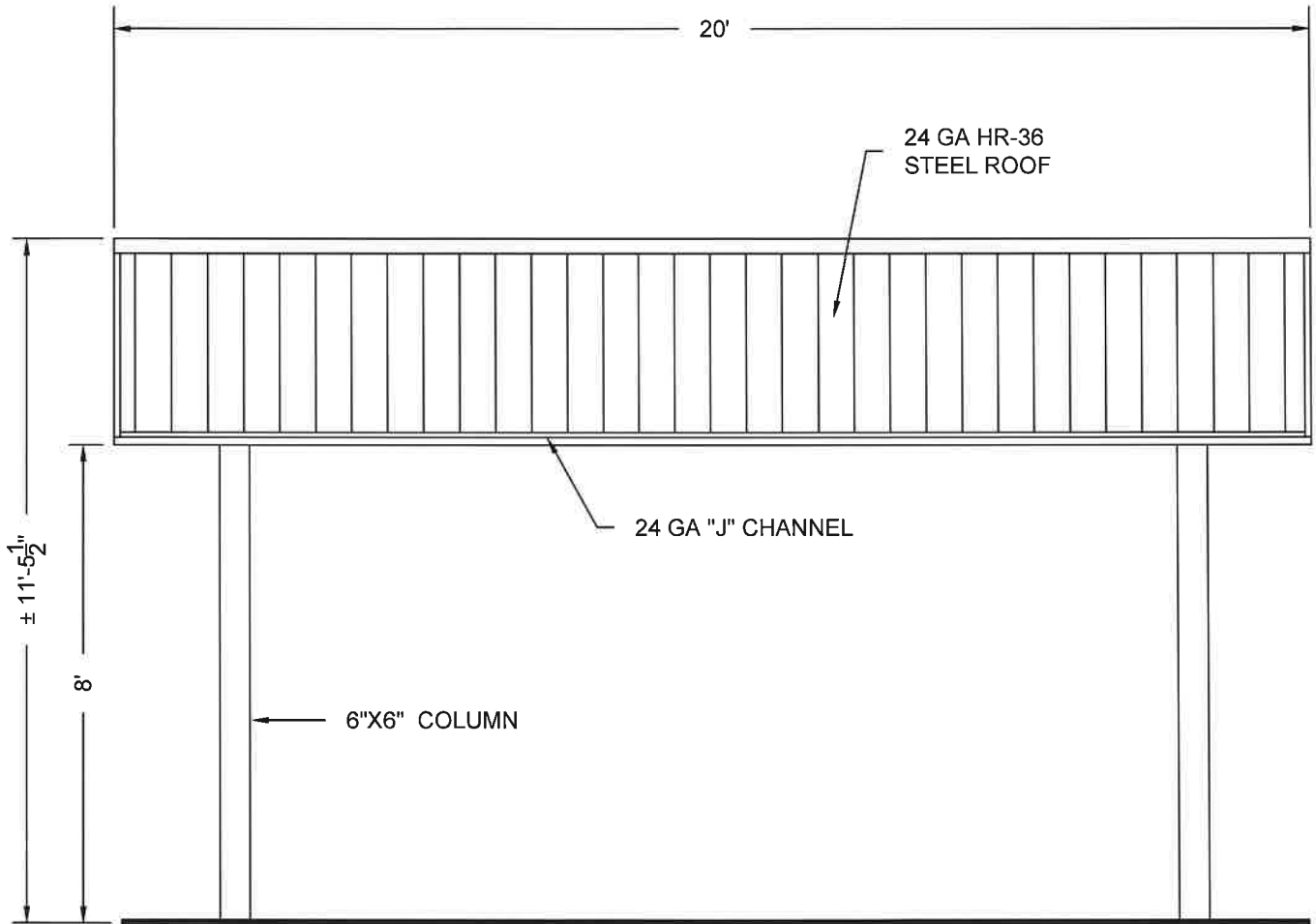
NOT FOR CONSTRUCTION



PLAN VIEW 20'X20' ORLANDO MODEL
NTS



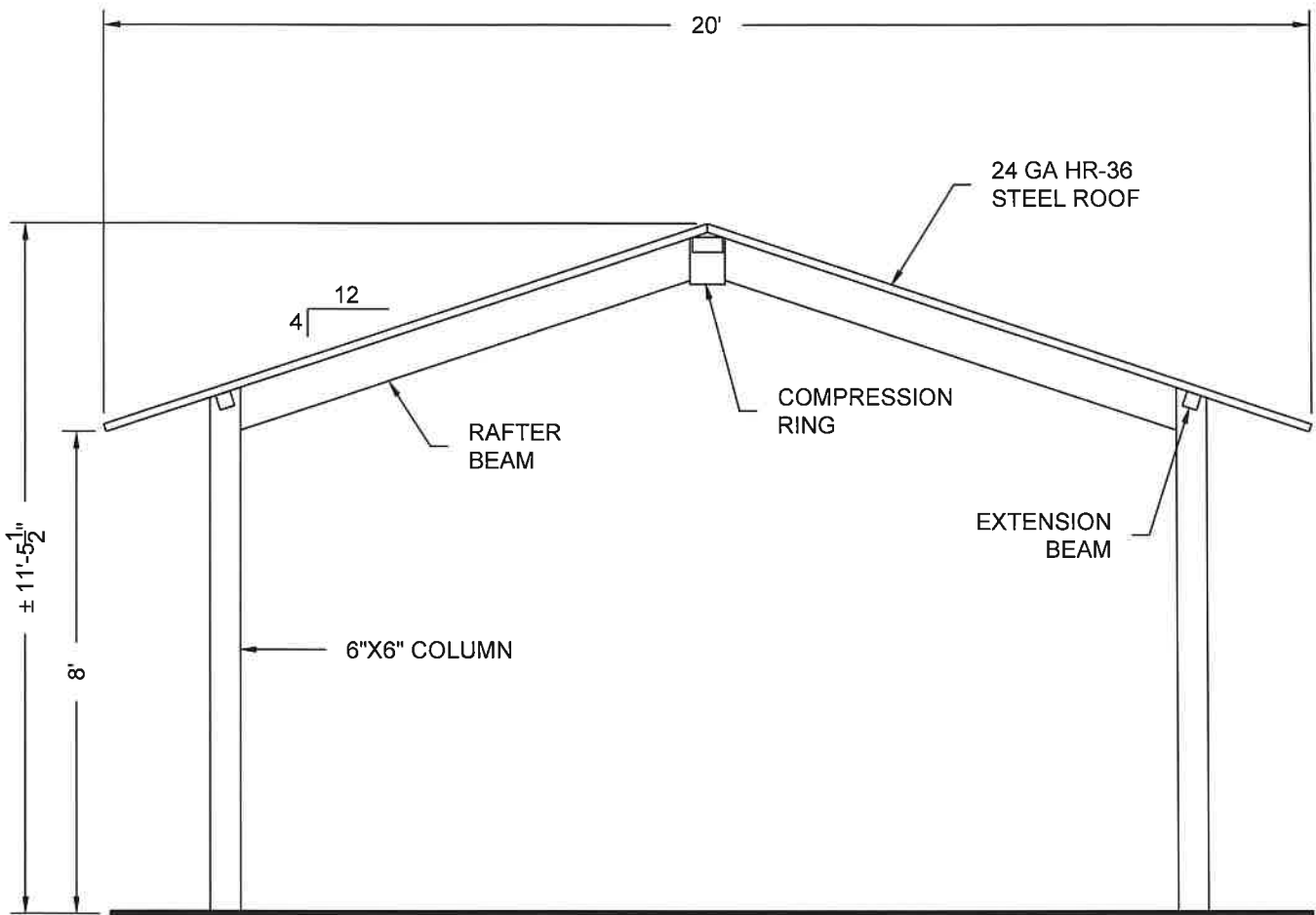
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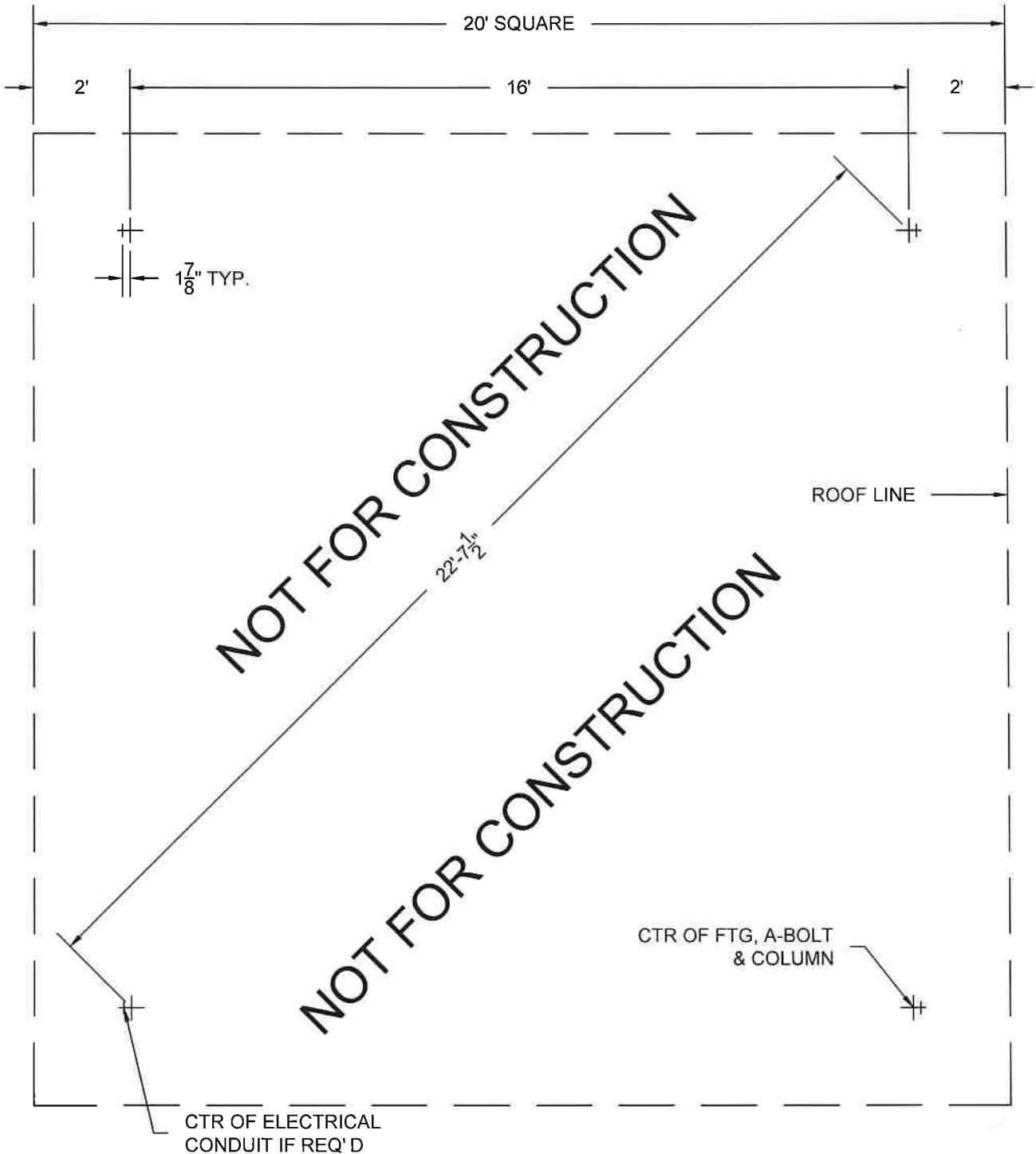
ELEVATION 20'X20' ORLANDO MODEL
NTS



NOT FOR CONSTRUCTION



END ELEVATION 20'X20' ORLANDO MODEL
NTS

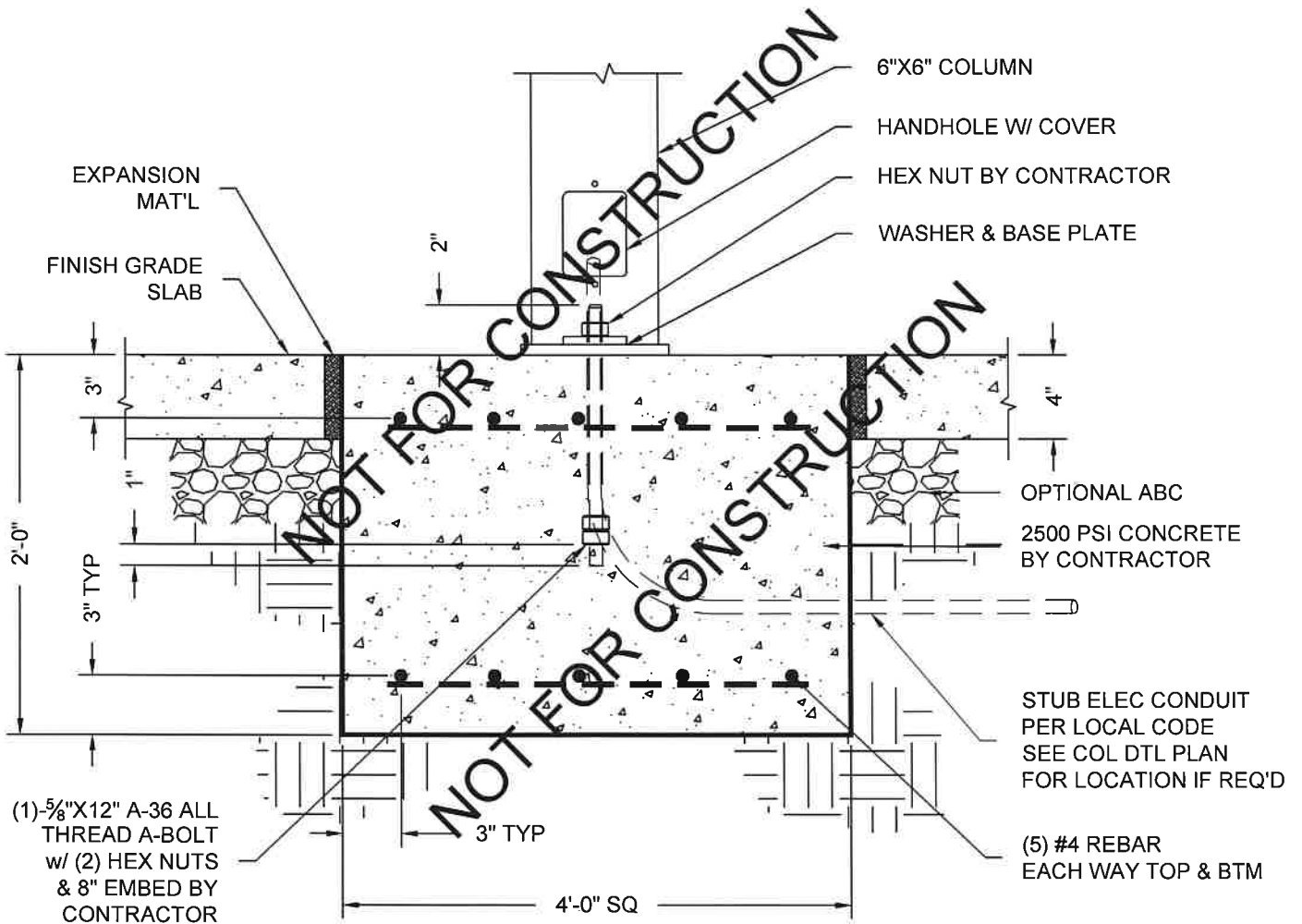
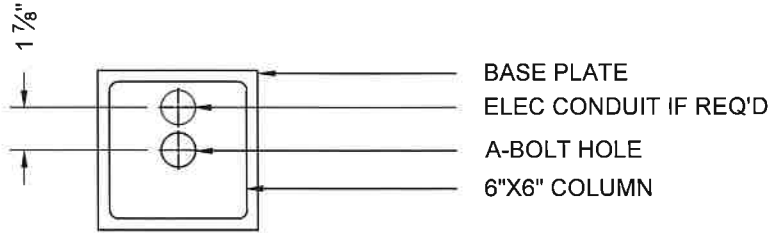


LAYOUT PLAN 20'X20' ORLANDO MODEL
NTS



**NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING**

**ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS**



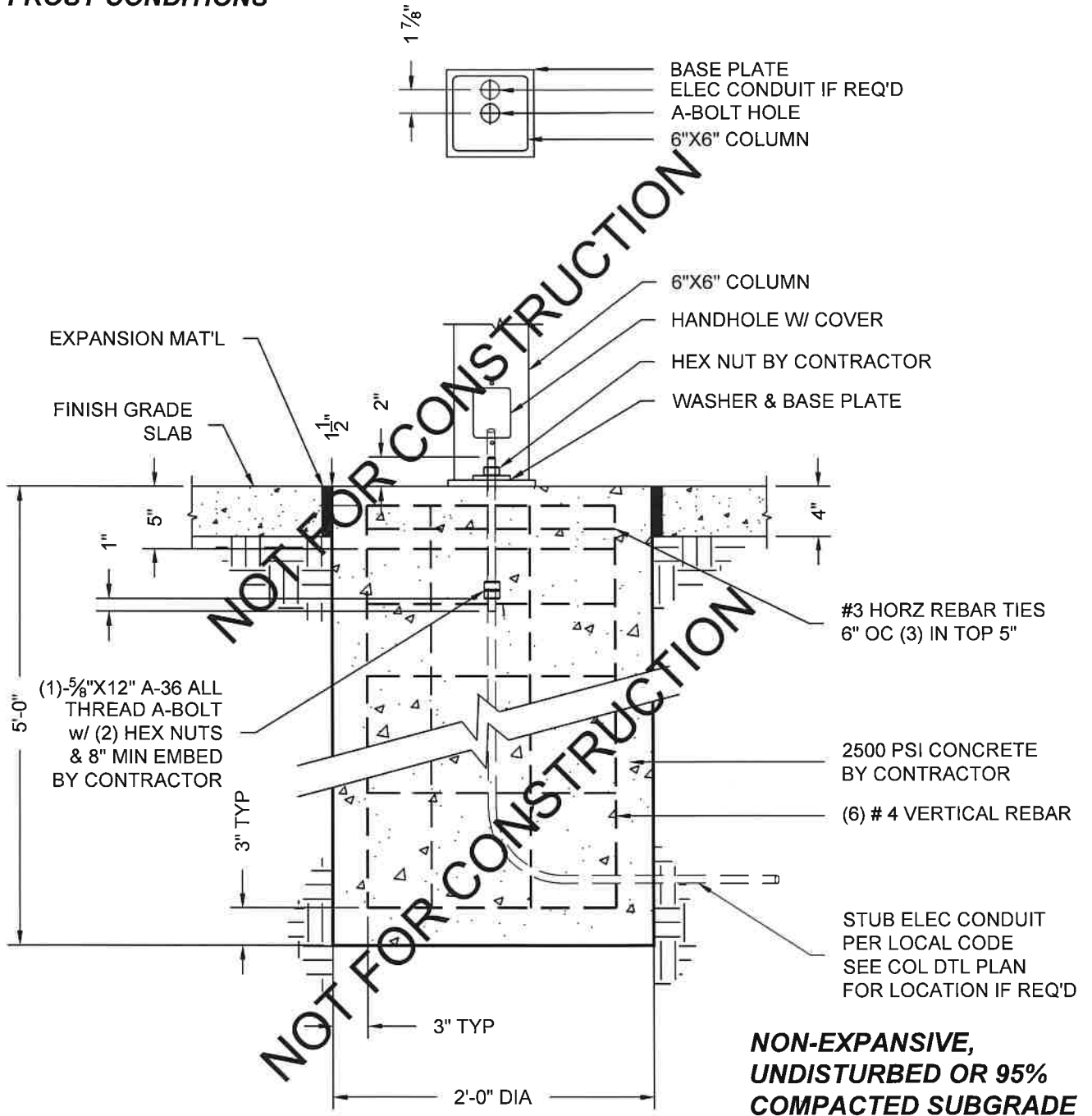
**NON-EXPANSIVE,
UNDISTURBED OR 95%
COMPACTED SUBGRADE**

**1-BOLT SURFACE MOUNT SPREAD FOOTING
20'X20' ORLANDO MODEL
NTS**



**NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING**

**ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS**



**1-BOLT SURFACE MOUNT CAISSON FOOTING
20'X20' ORLANDO MODEL
NTS**



Purchasing Division

ADDENDUM NO. 1

DATE: February 17, 2022
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: Design/Build Lincoln Park Pickleball Courts and Canyon View Park Tennis Courts
5029-22-DH

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. To clarify, pertaining to the new lighting requested at the Canyon View Park project location, the City would like the GMP proposals submitted to include all 16 courts (12 existing courts, and 4 new courts). Under your detailed GMP breakdown, please provide separate line items to provide new updated lighting for the 12 existing courts, and the 4 new courts, separately, as budget constraints may require eliminating the lighting package for the 4 new courts.

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,

A handwritten signature in black ink, appearing to read "Duane Hoff Jr.", written over a white background.

Duane Hoff Jr., Senior Buyer
City of Grand Junction, Colorado



Purchasing Division

ADDENDUM NO. 2

DATE: February 17, 2022
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: Design/Build Lincoln Park Pickleball Courts and Canyon View Park Tennis Courts
5029-22-DH

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. The City will be responsible for providing surveying for this project.

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,

A handwritten signature in black ink, appearing to read "Duane Hoff Jr.", written over a white background.

Duane Hoff Jr., Senior Buyer
City of Grand Junction, Colorado