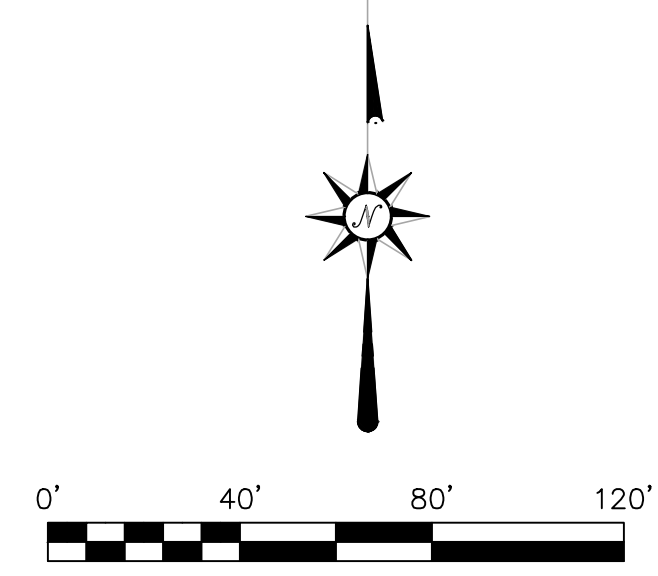
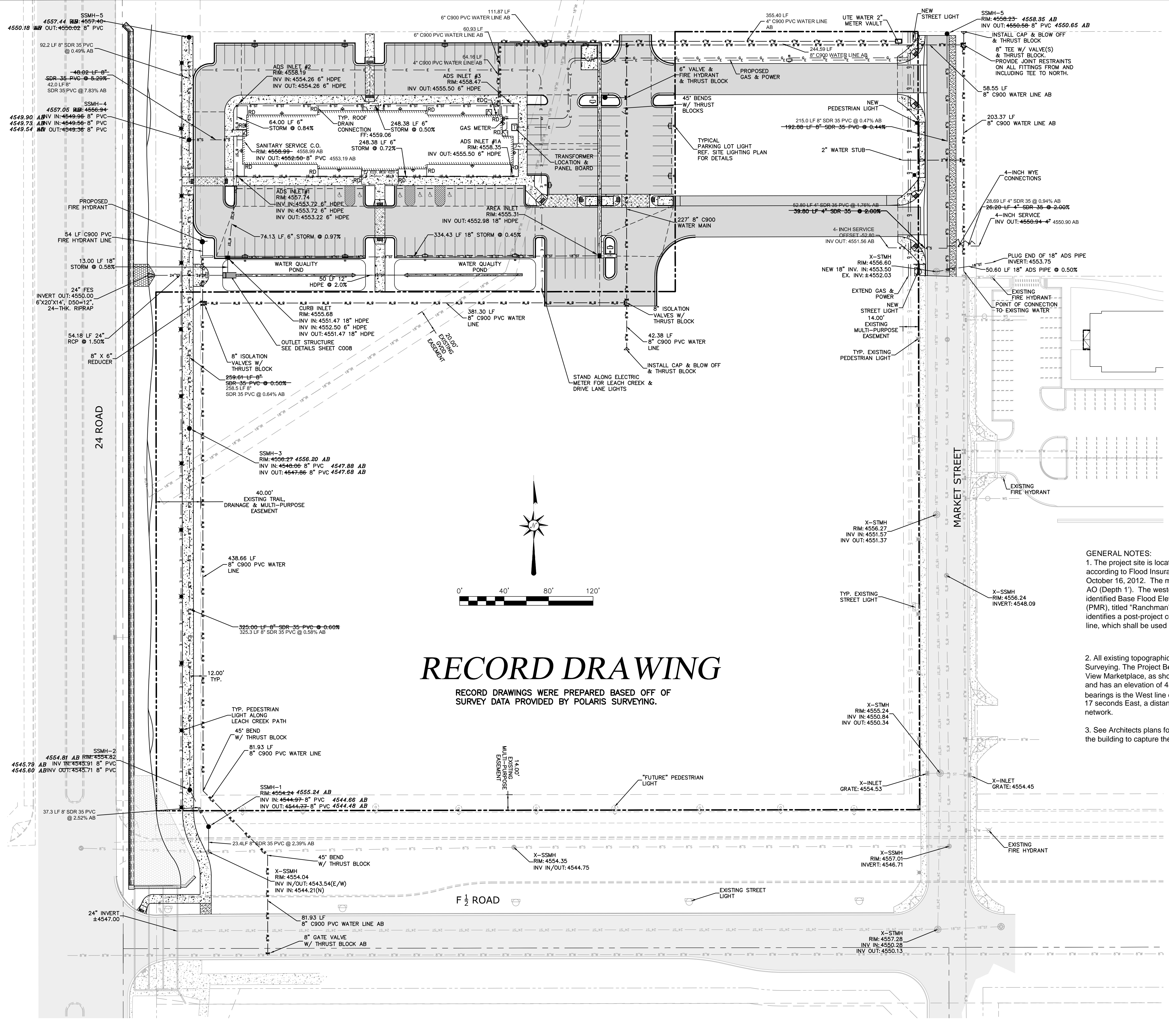


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 lakewood, colorado 80142-4275  
 phone: 786.273.7540  
 fax: 786.273.7579



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**NEW BUILDING FOR:  
 VALUE PLACE HOTEL**  
 651 MARKET STREET, GRAND JUNCTION, CO 81505



# RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BASED OFF OF SURVEY DATA PROVIDED BY POLARIS SURVEYING.

- GENERAL NOTES:**
- The project site is located within a FEMA 100-year regulatory floodplain limits of Leach Creek according to Flood Insurance Rate Map (FIRM) map number 08077C 0801 G, effective date October 16, 2012. The majority of the property falls with Special Flood Hazard Area (SFHA) Zone AO (Depth 1). The western edge of the property is adjacent to SFHA Limited Zone AE which has identified Base Flood Elevations (BFE) but no regulated floodway. A Physical Map Revision (PMR), titled "Ranchman's Ditch, Leach Creek & North Leach Creek Physical Map Revision" identifies a post-project condition BFE of approximately 4558.06 (NAVD88) near the north property line, which shall be used as the regulatory floodplain elevation.
  - All existing topographic and boundary information has been provided by High Desert Surveying. The Project Benchmark (outside of plan view) is the NW corner clip of Lot 1, Canyon View Marketplace, as shown on plat recorded in Book 4081, Page 326, Mesa County records and has an elevation of 4556.29, based on NAVD 88 datum for Vertical Information. Basis of bearings is the West line of NW 1/4 SW 1/4 of Section 4 which bears South 00 degrees 01 minutes 17 seconds East, a distance of 1320.02 feet, established by observation of the MCGPS control network.
  - See Architects plans for locations of roof drains. Underground storm pipes are located around the building to capture the runoff from the roof.

CITY OF GRAND JUNCTION ENGINEERING	
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.	
BY: _____	DATE: _____
ACCEPTED AS CONSTRUCTED	
BY: _____	DATE: _____

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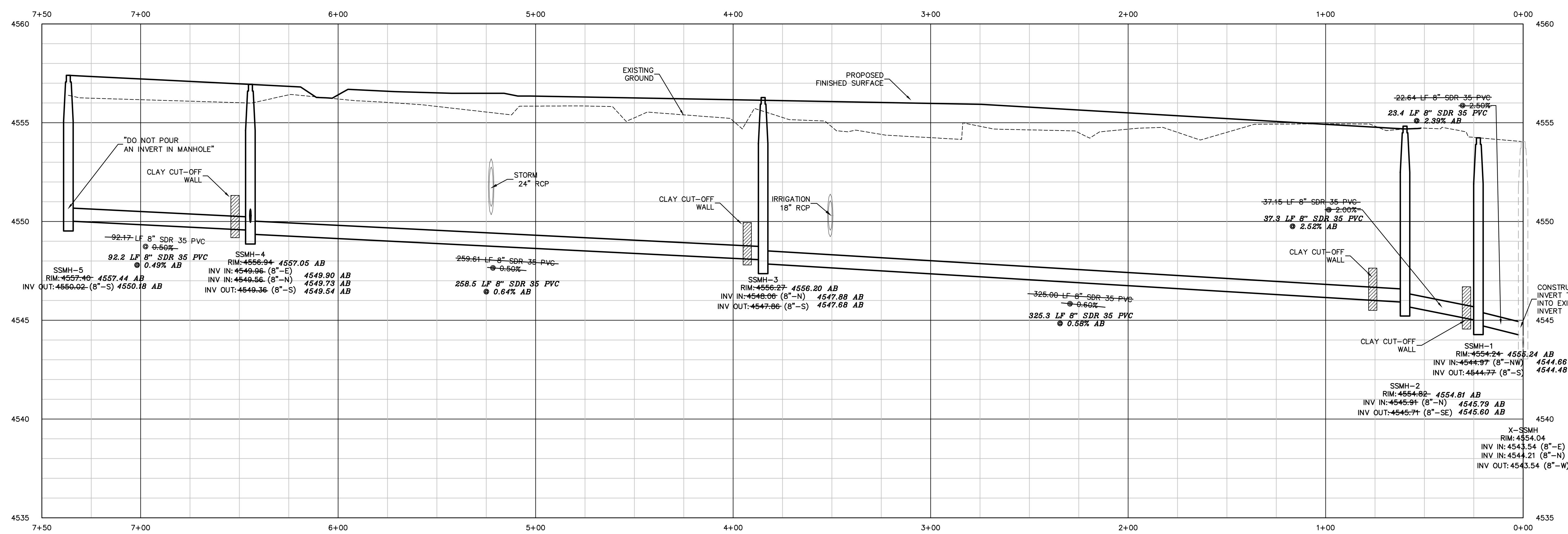
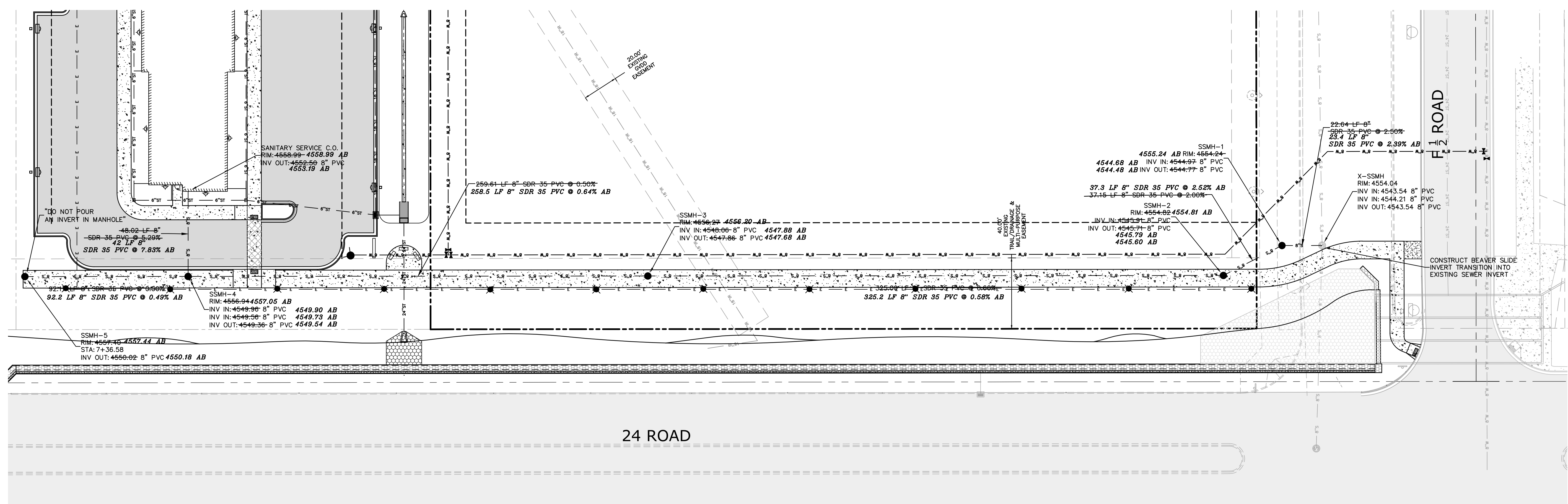
SUBMISSION DATES

RECORD DRAWING 7/21/14

SHEET TITLE  
UTILITY COMPOSITE

PROJECT NUMBER  
111095

SHEET NUMBER  
C004



**GENERAL NOTES:**

1 - INSTALL WATERPROOF MANHOLE LIDS ON ALL NEW SANITARY SEWER MANHOLES.

**CITY OF GRAND JUNCTION ENGINEERING**

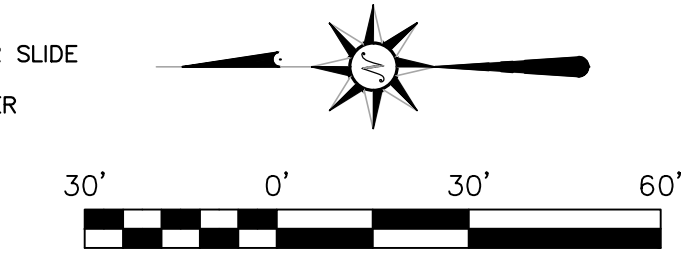
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SANITARY  
 HORIZONTAL: 1"=30', VERTICAL: 1"=3'

# RECORD DRAWING

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**NEW BUILDING FOR:**  
**VALUE PLACE HOTEL**  
 661 MARKET STREET, GRAND JUNCTION, CO 81505

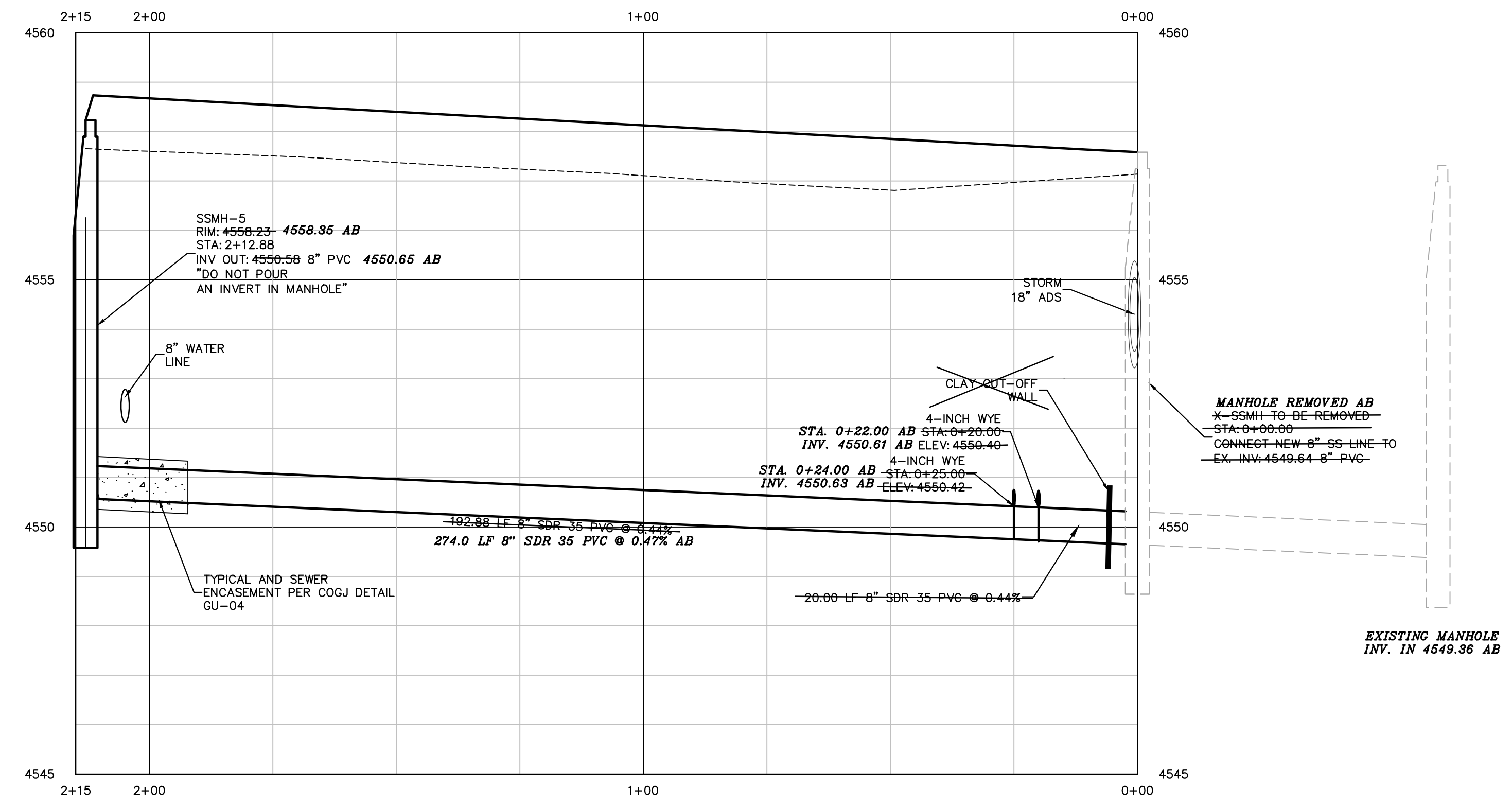
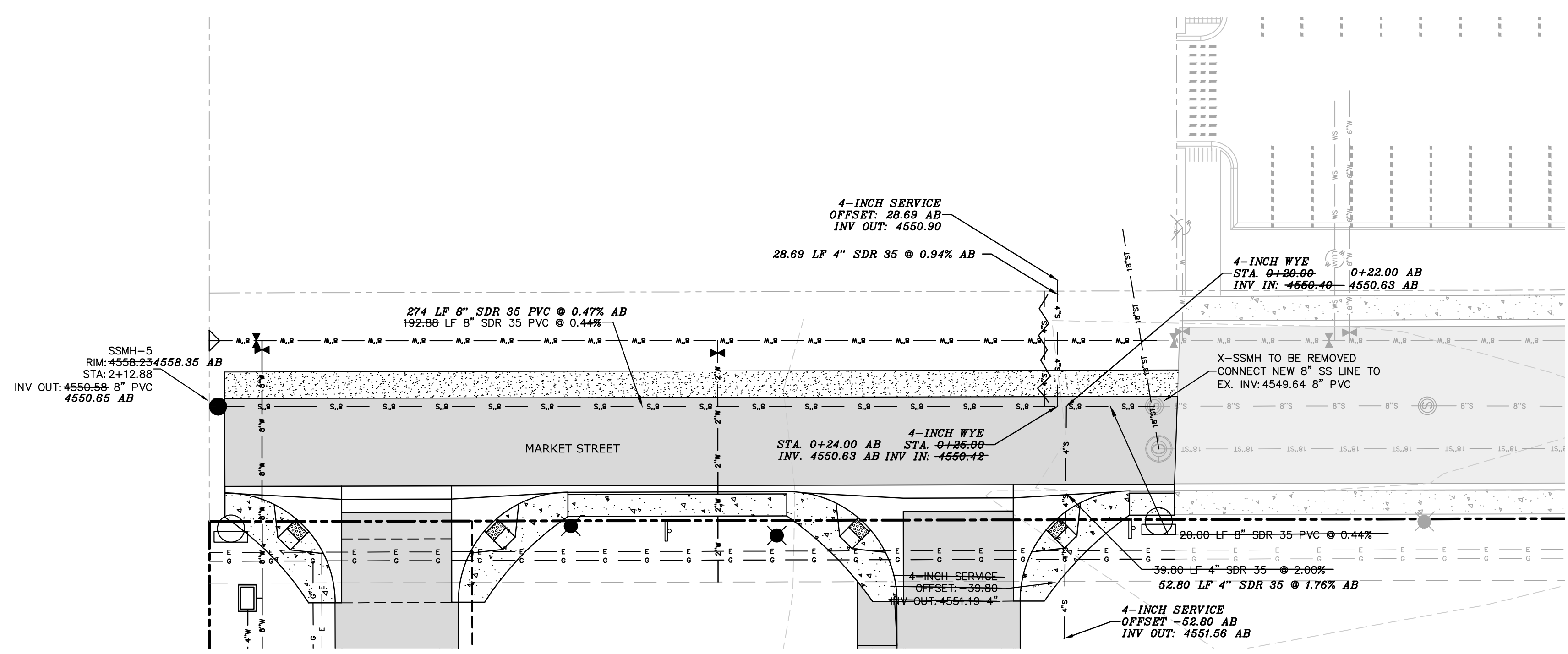
SUBMISSION DATES
RECORD DRAWING 7/21/14
SHEET TITLE SITE SANITARY SEWER PLAN & PROFILE
PROJECT NUMBER <b>111095</b>
SHEET NUMBER <b>C005</b>



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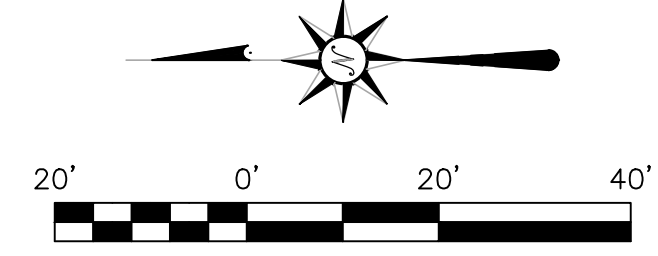


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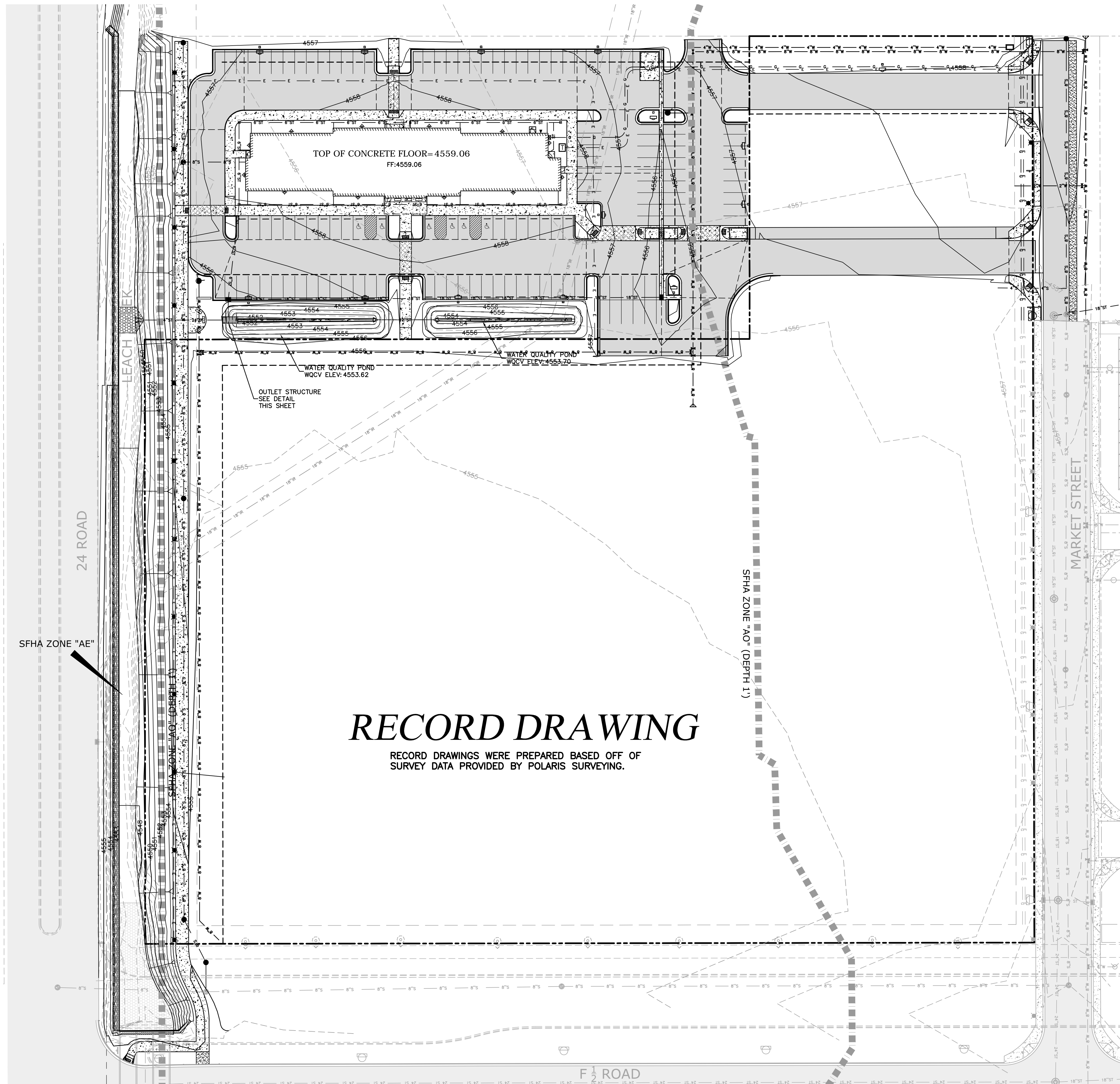


# RECORD DRAWING

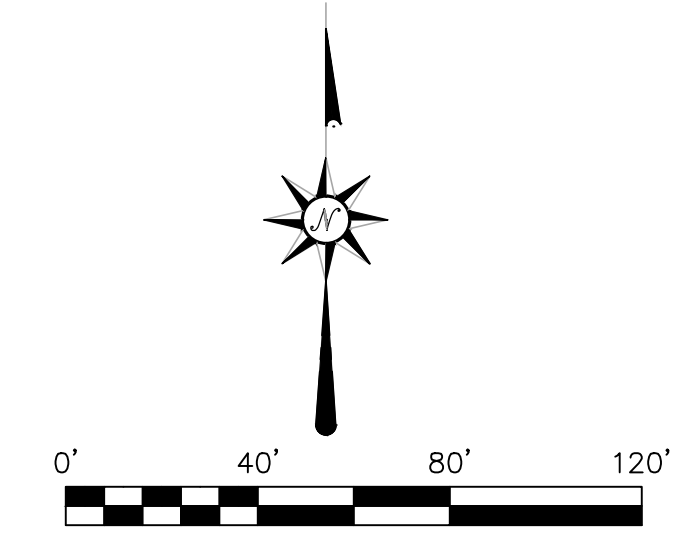
RECORD DRAWINGS WERE PREPARED BASED OFF OF SURVEY DATA PROVIDED BY POLARIS SURVEYING AND CONTRACTOR RED-LINED DRAWINGS.

NEW BUILDING FOR:  
**VALUE PLACE HOTEL**  
 661 MARKET STREET, GRAND JUNCTION, CO 81505

SUBMISSION DATES
RECORD DRAWING 7/21/14
SHEET TITLE MARKET STREET SANITARY SEWER PLAN & PROFILE
PROJECT NUMBER 111095
SHEET NUMBER C006

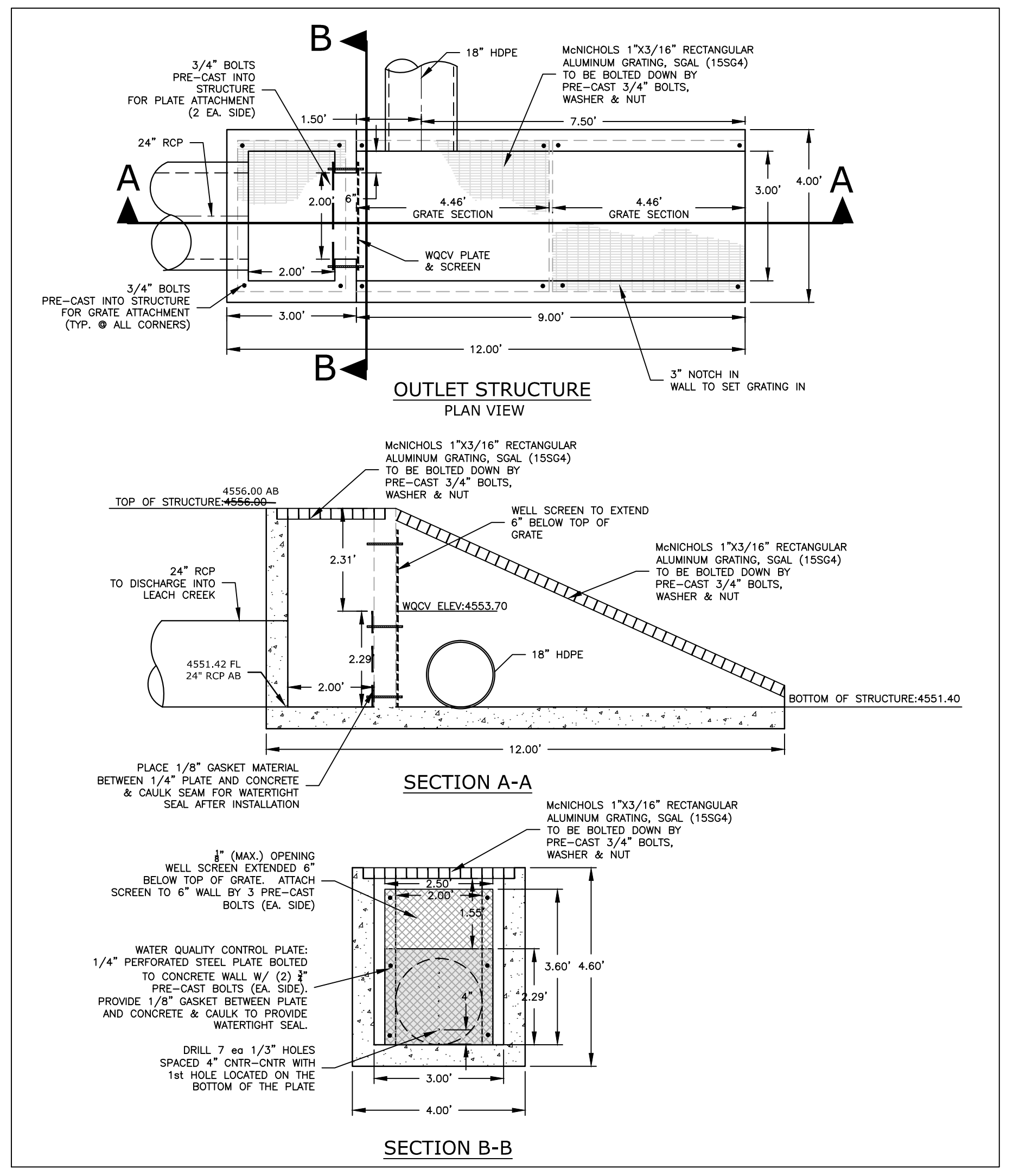


- NOTES:
1. FINISH FLOOR 4559.06
  2. ALL GRADES ADJACENT TO BUILDING ARE 4558.5 EXCEPT AS NOTED AND AT DOOR LOCATIONS.
  3. PARKING BLOCKS REMOVED FOR CLARITY. SEE SITE PLAN FOR LOCATIONS.
  3. ALL ELEVATIONS AND DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
  4. THE PROJECT BENCHMARK IS THE NORTHWEST CORNER CLIP OF LOT 1, CANYON VIEW MARKETPLACE, AS SHOWN ON PLAT RECORDED IN BOOK 4081, PAGE 326, MESA COUNTY RECORDS AND HAS AN ELEVATION OF 4556.29, BASED ON NAVD 88 DATUM FOR VERTICAL INFORMATION.
  5. THE PROJECT SITE IS LOCATED WITHIN A FEMA 100-YEAR REGULATORY FLOODPLAIN LIMITS OF LEACH CREEK ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 08077C 0801 G, EFFECTIVE DATE OCTOBER 16, 2012. THE MAJORITY OF THE PROPERTY FALLS WITHIN SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AO (DEPTH 1'). THE WESTERN EDGE OF THE PROPERTY IS ADJACENT TO SFHA LIMITED ZONE AE WHICH HAS IDENTIFIED BASE FLOOD ELEVATIONS (BFE) BUT NO REGULATED FLOODWAY. A PHYSICAL MAP REVISION (PMR), TITLED "RANCHMAN'S DITCH, LEACH CREEK & NORTH LEACH CREEK PHYSICAL MAP REVISION" IDENTIFIES A POST-PROJECT CONDITION BFE OF APPROXIMATELY 4558.06(NAVD88) NEAR THE NORTH PROPERTY LINE, WHICH SHALL BE USED AS THE REGULATORY FLOODPLAIN ELEVATION.



**LEGEND**

—	PROPERTY LINE	⊗	WATER VALVE
- - -	ADJACENT PROPERTY LINE	⊕	EXISTING FIRE HYDRANT
- · - · -	PROPOSED EASEMENT	⊙	EXISTING MANHOLE
- · - · -	EXISTING EASEMENT	⊙	NEW MANHOLE
—	PROPOSED CONTOUR	—	EXISTING ASPHALT
—	EXISTING CONTOUR	—	NEW ASPHALT
—	PROPOSED BUILDING	—	EXISTING CONCRETE
—	EXISTING BUILDING	—	NEW CONCRETE
—	PROPOSED FENCE	—	NEW PATTERN CONCRETE
—	EXISTING FENCE	⊙	PARKING LOT LIGHT
—	PROPOSED CURB/GUTTER	⊙	BUILDING MOUNTED LIGHT
—	PROPOSED SPILL CURB/GUTTER	⊙	
—	EXISTING CURB/GUTTER	⊙	
—	PROPOSED SWALE / DITCH	⊙	
—	EXISTING SWALE / DITCH	⊙	
—	PROPOSED STORM SEWER	⊙	
—	EXISTING STORM SEWER	⊙	
—	PROPOSED SANITARY SEWER	⊙	
—	EXISTING SANITARY SEWER	⊙	
—	PROPOSED WATER LINE	⊙	
—	EXISTING WATER LINE	⊙	
—	PROPOSED IRRIGATION LINE	⊙	
—	EXISTING IRRIGATION LINE	⊙	



**RECORD DRAWING**  
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CITY OF GRAND JUNCTION ENGINEERING  
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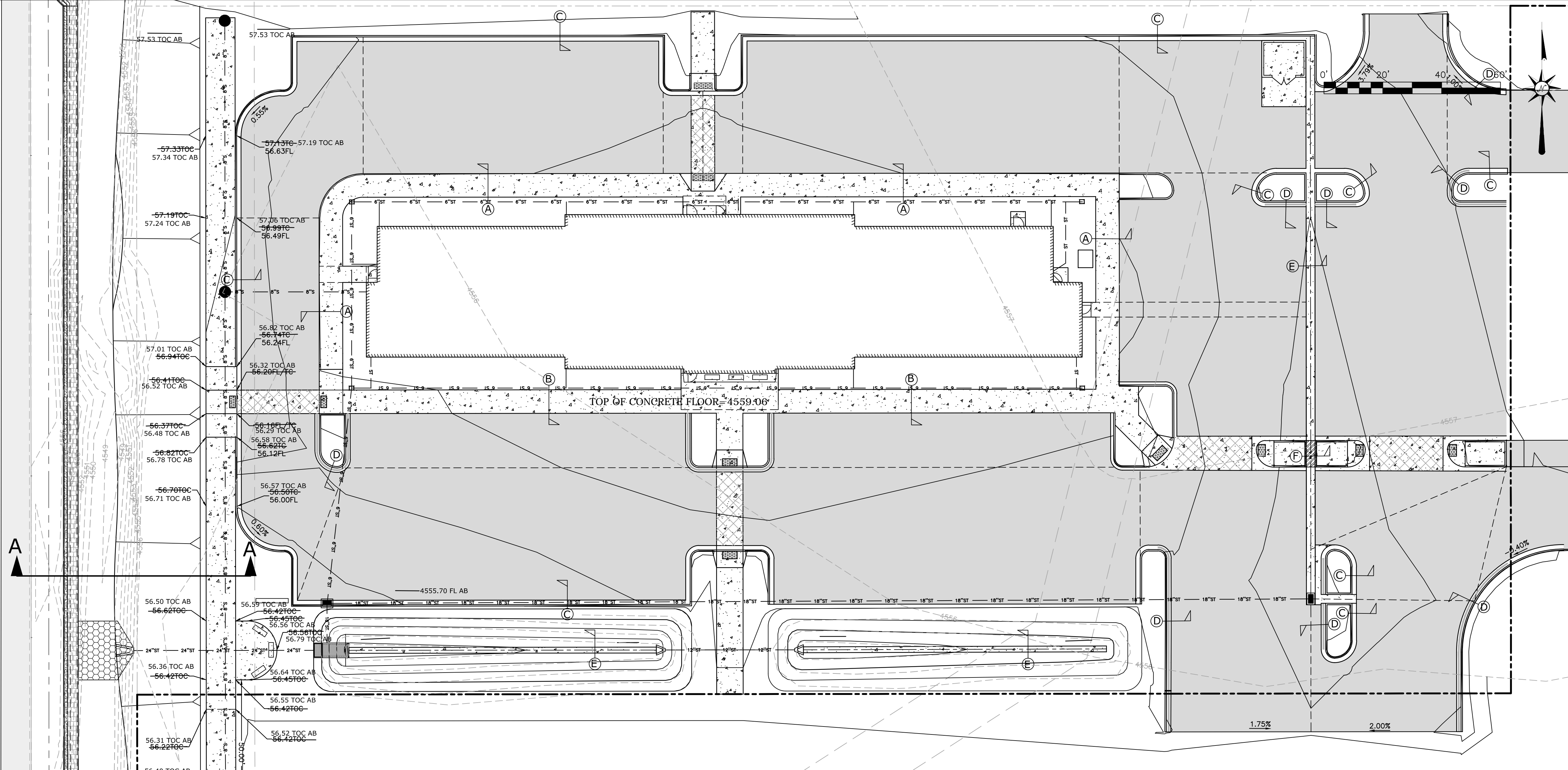
NEW BUILDING FOR:  
**VALUE PLACE HOTEL**  
 661 MARKET STREET, GRAND JUNCTION, CO 81505

SUBMISSION DATES
9-9-13
1.PKG REV 5-5-14 jos
2.RECORD DRAWING jos
SHEET TITLE
OVERALL GRADING PLAN
PROJECT NUMBER
111095
SHEET NUMBER
C009

- NOTES:**
1. FINISH FLOOR 4559.06
  2. ALL GRADES ADJACENT TO BUILDING ARE 4558.5 EXCEPT AS NOTED AND AT DOOR LOCATIONS.
  3. PARKING BLOCKS REMOVED FOR CLARITY. SEE SITE PLAN FOR LOCATIONS.
  4. ALL ELEVATIONS AND DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
  5. THE PROJECT BENCHMARK IS THE NORTHWEST CORNER CLIP OF LOT 1, CANYON VIEW MARKETPLACE, AS SHOWN ON PLAT RECORDED IN BOOK 4081, PAGE 326, MESA COUNTY RECORDS AND HAS AN ELEVATION OF 4556.29, BASED ON NAVD 88 DATUM FOR VERTICAL INFORMATION.
  6. THE PROJECT SITE IS LOCATED WITHIN A FEMA 100-YEAR REGULATORY FLOODPLAIN LIMITS OF LEACH CREEK ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 08077C 0801 G, EFFECTIVE DATE OCTOBER 18, 2012. THE MAJORITY OF THE PROPERTY FALLS WITHIN SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AO (DEPTH 1). THE WESTERN EDGE OF THE PROPERTY IS ADJACENT TO SFHA LIMITED ZONE AE WHICH HAS IDENTIFIED BASE FLOOD ELEVATIONS (BFE) BUT NO REGULATED FLOODWAY. A PHYSICAL MAP REVISION (PMR), TITLED "RANCHMAN'S DITCH, LEACH CREEK & NORTH LEACH CREEK PHYSICAL MAP REVISION" IDENTIFIES A POST-PROJECT CONDITION BFE OF APPROXIMATELY 4558.06(NAVD88) NEAR THE NORTH PROPERTY LINE, WHICH SHALL BE USED AS THE REGULATORY FLOODPLAIN ELEVATION.

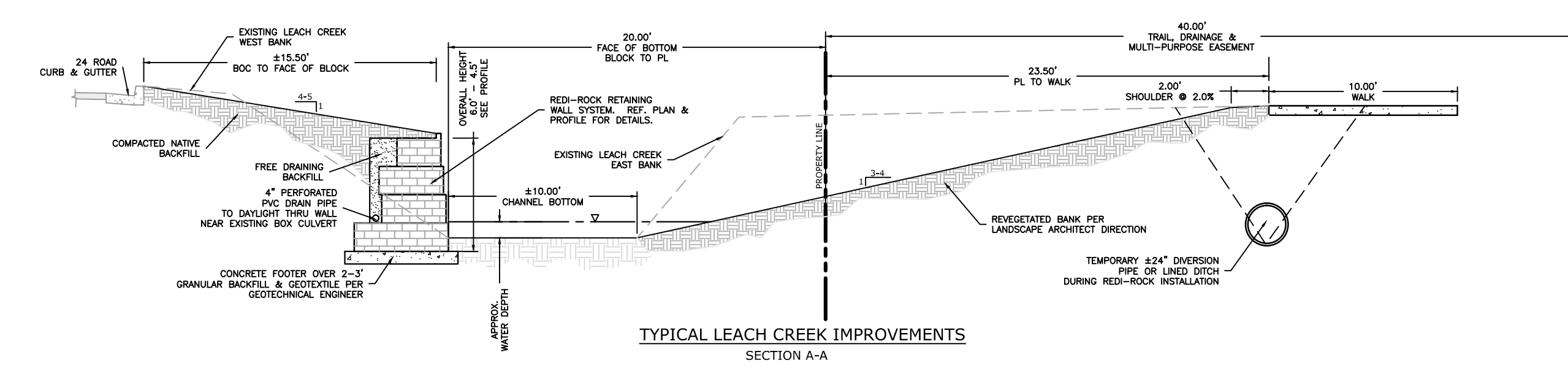
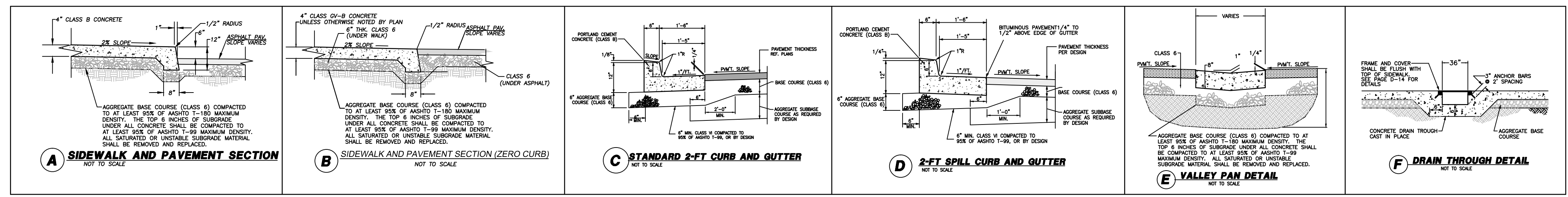
**LEGEND**

---	PROPERTY LINE	⊗	WATER VALVE
---	ADJACENT PROPERTY LINE	⊕	EXISTING FIRE HYDRANT
---	PROPOSED EASEMENT	⊙	NEW FIRE HYDRANT
---	EXISTING EASEMENT	⊕	EXISTING MANHOLE
---	PROPOSED CONTOUR	⊙	NEW MANHOLE
---	EXISTING CONTOUR	⊕	EXISTING ASPHALT
---	PROPOSED BUILDING	⊕	NEW ASPHALT
---	EXISTING BUILDING	⊕	EXISTING CONCRETE
---	PROPOSED FENCE	⊕	NEW CONCRETE
---	EXISTING FENCE	⊕	NEW PATTERN CONCRETE
---	PROPOSED CURB/GUTTER	⊕	PARKING LOT LIGHT
---	PROPOSED SPILL CURB/GUTTER	⊕	BUILDING MOUNTED LIGHT
---	EXISTING CURB/GUTTER	⊕	FL = FLOWLINE
---	PROPOSED SWALE / DITCH	⊕	TC = TOP OF CURB
---	EXISTING DITCH	⊕	FG = FINISHED GRADE
---	PROPOSED STORM SEWER	⊕	PL = PROPERTY LINE
---	EXISTING STORM SEWER	⊕	BLDG CNR = BUILDING CORNER
---	PROPOSED SANITARY SEWER	⊕	FL = FLOWLINE
---	EXISTING SANITARY SEWER	⊕	
---	PROPOSED WATER LINE	⊕	
---	EXISTING WATER LINE	⊕	
---	PROPOSED IRRIGATION LINE	⊕	
---	EXISTING IRRIGATION LINE	⊕	



# RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BASED OFF OF SURVEY DATA PROVIDED BY POLARIS SURVEYING.



CITY OF GRAND JUNCTION ENGINEERING  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

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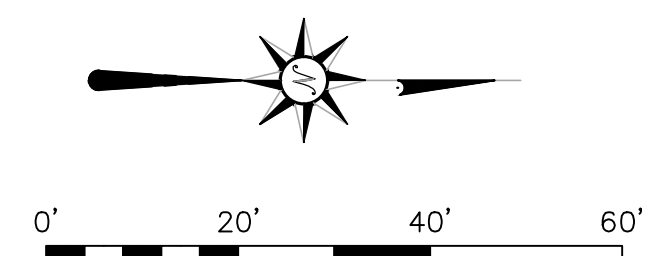
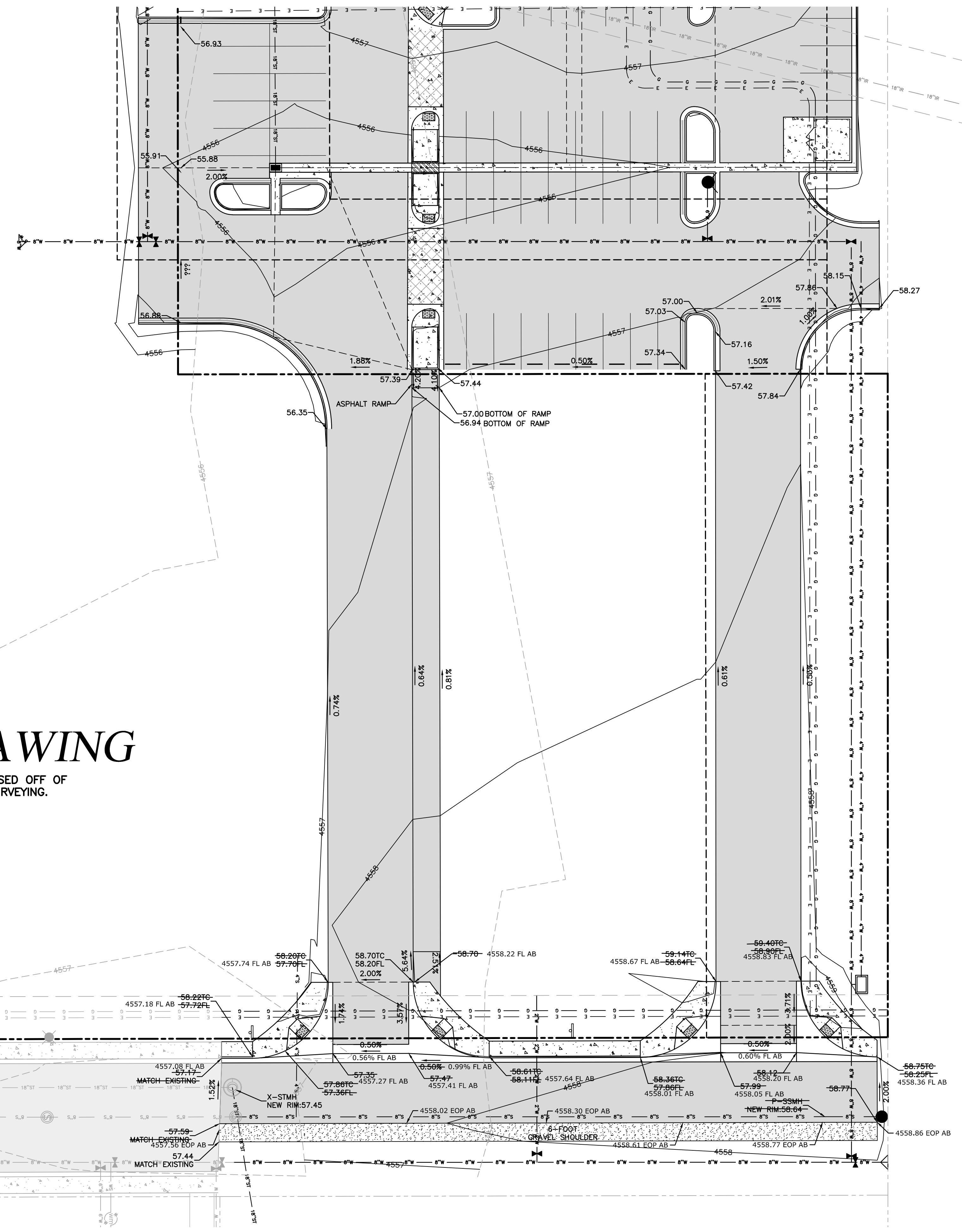
**NEW BUILDING FOR:**  
**VALUE PLACE HOTEL**  
661 MARKET STREET, GRAND JUNCTION, CO 81505

**SUBMISSION DATES**  
9-9-13  
1. PKG REV 5-5-14 jps  
2. RECORD DRAWING jps

**SHEET TITLE**  
VERTICAL GRADING  
PARKING AREA

**PROJECT NUMBER**  
111095

**SHEET NUMBER**  
C010



- NOTES:**
1. FINISH FLOOR 4559.06
  2. ALL GRADES ADJACENT TO BUILDING ARE 4558.5 EXCEPT AS NOTED AND AT DOOR LOCATIONS.
  3. PARKING BLOCKS REMOVED FOR CLARITY. SEE SITE PLAN FOR LOCATIONS.
  3. ALL ELEVATIONS AND DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
  4. THE PROJECT BENCHMARK IS THE NORTHWEST CORNER CLIP OF LOT 1, CANYON VIEW MARKETPLACE, AS SHOWN ON PLAT RECORDED IN BOOK 4081, PAGE 326, MESA COUNTY RECORDS AND HAS AN ELEVATION OF 4556.29, BASED ON NAVD 88 DATUM FOR VERTICAL INFORMATION.
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# RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BASED OFF OF SURVEY DATA PROVIDED BY POLARIS SURVEYING.

**LEGEND**

—	PROPERTY LINE	○	WATER VALVE
- - -	ADJACENT PROPERTY LINE	●	EXISTING FIRE HYDRANT
- - -	PROPOSED EASEMENT	○	NEW FIRE HYDRANT
- - -	EXISTING EASEMENT	○	EXISTING MANHOLE
- - -	PROPOSED CONTOUR	○	NEW MANHOLE
- - -	EXISTING CONTOUR	○	EXISTING ASPHALT
- - -	PROPOSED BUILDING	○	NEW ASPHALT
- - -	EXISTING BUILDING	○	EXISTING CONCRETE
- - -	PROPOSED FENCE	○	NEW CONCRETE
- - -	EXISTING FENCE	○	NEW PATTERN CONCRETE
- - -	PROPOSED CURB/GUTTER	○	PARKING LOT LIGHT
- - -	EXISTING CURB/GUTTER	○	BUILDING MOUNTED LIGHT
- - -	PROPOSED SWALE / DITCH		
- - -	EXISTING DITCH		
- - -	PROPOSED STORM SEWER		
- - -	EXISTING STORM SEWER		
- - -	PROPOSED SANITARY SEWER		
- - -	EXISTING SANITARY SEWER		
- - -	PROPOSED WATER LINE		
- - -	EXISTING WATER LINE		
- - -	PROPOSED IRRIGATION LINE		
- - -	EXISTING IRRIGATION LINE		

**CITY OF GRAND JUNCTION ENGINEERING**  
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**NEW BUILDING FOR:  
 VALUE PLACE HOTEL  
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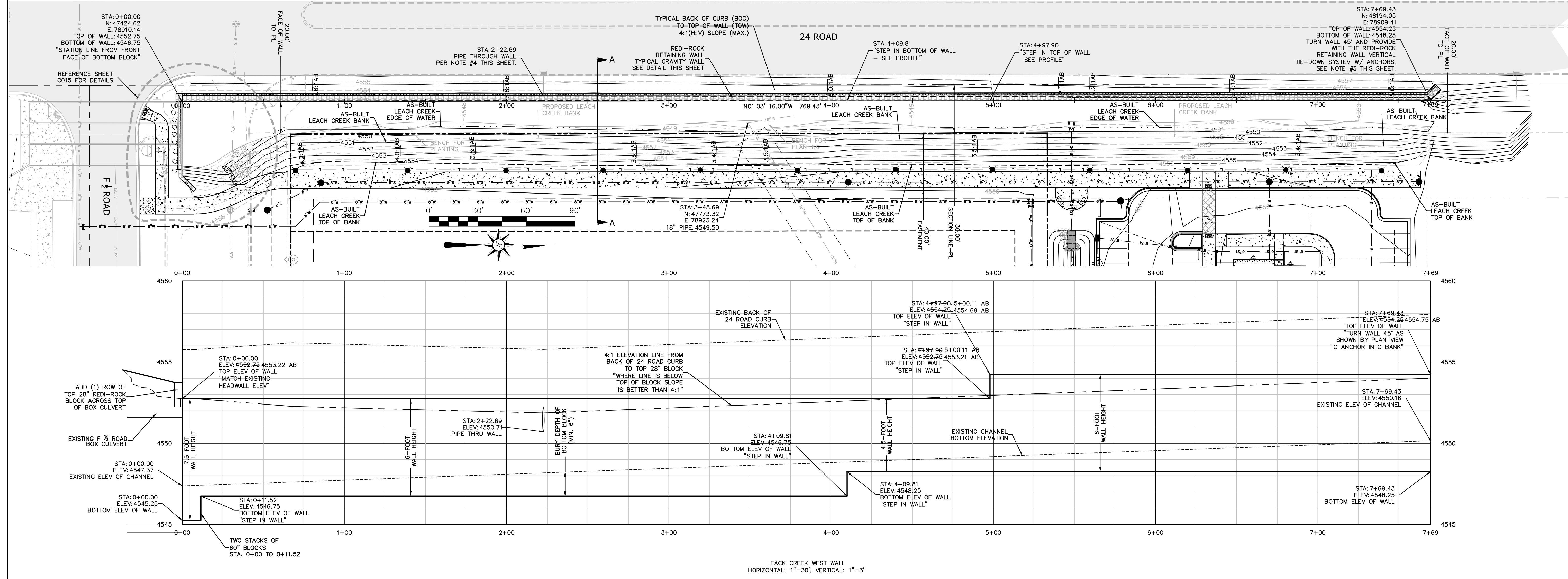
SUBMISSION DATES	9-9-13
1. PKG REV 5-5-14 jos	
2. RECORD DRAWING jos	
SHEET TITLE	VERTICAL GRADING ACCESS DRIVES
PROJECT NUMBER	111095
SHEET NUMBER	C011



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 970.242.1540



**RETAINING WALL GENERAL NOTES:**

1. The wall is proposed to be constructed using Redi-Rock 60-inch and 41-inch units.
2. Subgrade preparation: It will likely be necessary to utilize geotextile and/or geogrid in conjunction with 2.0 to 3.0 feet of granular fill to stabilize the subgrade prior to placement of the concrete footing. A geotechnical engineer shall be contacted to provide specific recommendations for subgrade improvement based upon the actual conditions in the bottom of the foundation excavation.
3. As depicted by plan view turn wall 45° and provide the Redi-Rock "Retaining Wall Vertical Tie-Down System with Anchors". Anchor blocks must be staggered from Tie-Down blocks. Due to the physical restriction of 24 Road the traditional Geo-grid tie-back system may not be applicable. Contractor shall implement a unique tie-back system that can achieve the necessary capabilities. One example is the "Manta Ray" anchoring system.
4. Existing 24 Road storm pipe shall be installed per Redi-Rock "Pipes Installed Perpendicular to the Wall" Detail.
5. Shoring of 24 Road will be required during the installation of the Redi-Rock Retaining Wall System. Prior to construction the Project Contractor shall consult with a certified geotechnical engineer to examine site conditions and identify acceptable shoring methods to ensure that 24 Road is not compromised. A "Means and Methods" Report shall be provided to the City of Grand Junction Development Engineer prior to the issue of a "Right-of-Way" Permit.

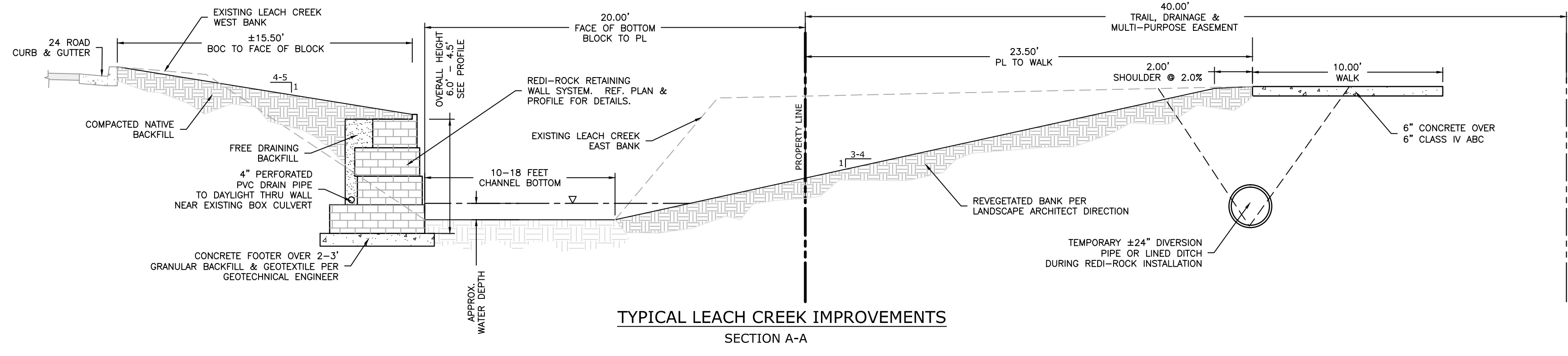
# RECORD DRAWING

RECORD DRAWINGS WERE PREPARED BASED OFF OF SURVEY DATA PROVIDED BY POLARIS SURVEYING.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length

Parcel Line Table		
Line #	Length	Direction

## LINE & CURVE TABLE FOR EAST CHANNEL



CITY OF GRAND JUNCTION ENGINEERING	
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**NEW BUILDING FOR:**  
**VALUE PLACE HOTEL**  
 661 MARKET STREET, GRAND JUNCTION, CO 81505

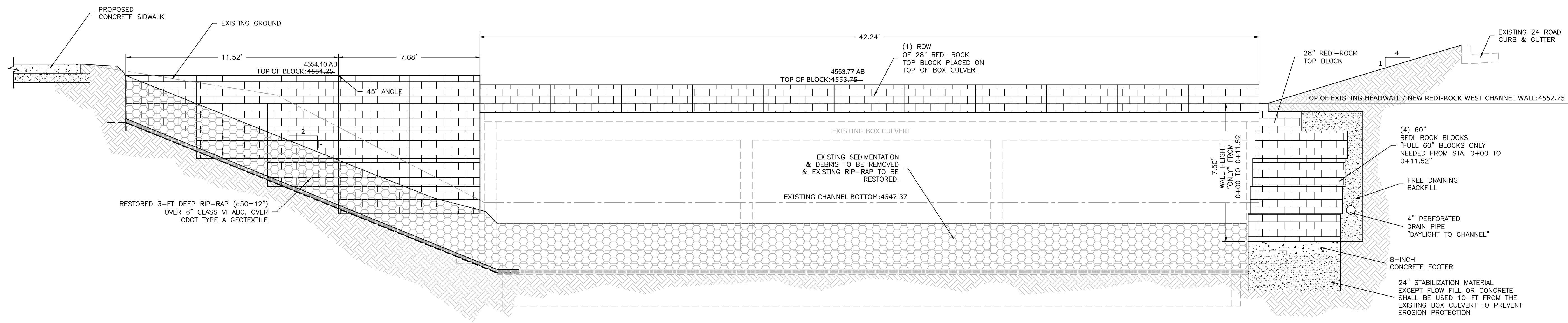
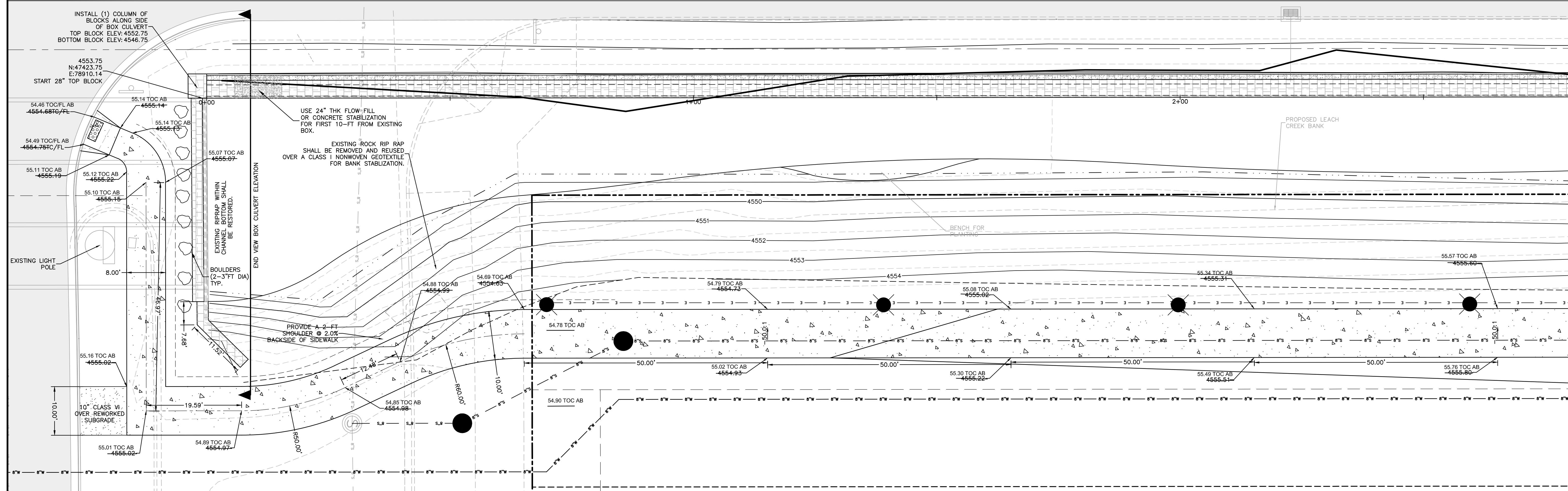
SUBMISSION DATES	9-9-13
RECORD DRAWING	
SHEET TITLE	LEACH CREEK PLAN & PROFILE
PROJECT NUMBER	111095
SHEET NUMBER	C014



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 oklahoma city, ok 73112-3961  
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 fax: 405.642.1244



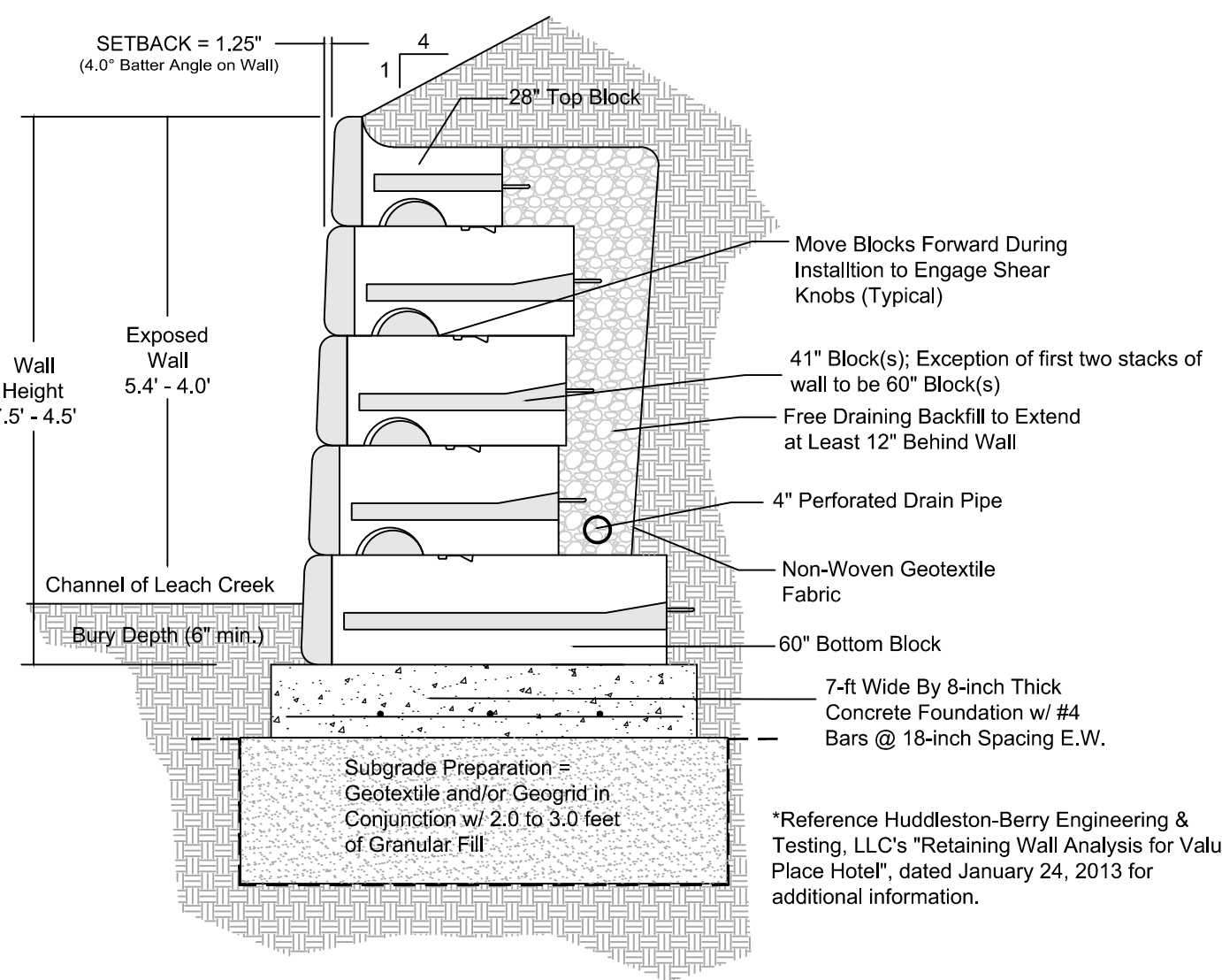
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END VIEW BOX CULVERT ELEVATION

# RECORD DRAWING

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Typical Redi-Rock Retaining Wall  
 Not to Scale

CITY OF GRAND JUNCTION ENGINEERING	
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BY: _____	DATE: _____
ACCEPTED AS CONSTRUCTED	
BY: _____	DATE: _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."



NEW BUILDING FOR:  
**VALUE PLACE HOTEL**  
 651 MARKET STREET, GRAND JUNCTION, CO 81505

SUBMISSION DATES	9-9-13
RECORD DRAWING	
SHEET TITLE	LEACH CREEK DETAILS
PROJECT NUMBER	111095
SHEET NUMBER	C015