

AIA® Document A133™ – 2009

Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price

AGREEMENT made as of the 22 day of July in the year 2013
(In words, indicate day, month and year.)

BETWEEN the Owner:
(Name, legal status and address)

City of Grand Junction
250 North 5th St..
Grand Junction, CO 81501

and the Construction Manager:
(Name, legal status and address)

FCI Constructors, Inc
PO Box 1767
Grand Junction, CO 81502

for the following Project:
(Name and address or location)

Avalon Theater Addition and Renovation
645 Main
Grand Junction, CO 81501

The Architect:
(Name, legal status and address)

Westlake Reed Leskosky
One East Camelback Road
Phoenix, AZ 85012

The Owner's Designated Representative:
(Name, address and other information)

Trent Prall
250 North 5th St..
Grand Junction, CO 81501

The Construction Manager's Designated Representative:
(Name, address and other information)

Ed Forsman
PO Box 1767
Grand Junction, CO, 81502

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201™–2007, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

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The Architect's Designated Representative:
(Name, address and other information)

Richard D. Sourbrine, II
One East Camelback Road
Phoenix, AZ 85012

The Owner and Construction Manager agree as follows.

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ARTICLE 1 GENERAL PROVISIONS

§ 1.1 The Contract Documents

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to the execution of this Agreement, other documents listed in this Agreement, and Modifications issued after execution of this Agreement, all of which form the Contract and are as fully a part of the Contract as if attached to this Agreement or repeated herein. Upon the Owner's acceptance of the Construction Manager's Guaranteed Maximum Price proposal, the Contract Documents will also include the documents described in Section 2.2.3 and identified in the Guaranteed Maximum Price Amendment and revisions prepared by the Architect and furnished by the Owner as described in Section 2.2.8. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. If anything in the other Contract Documents, other than a Modification, is inconsistent with this Agreement, this Agreement shall govern.

§ 1.2 Relationship of the Parties

The Construction Manager accepts the relationship of trust and confidence established by this Agreement and covenants with the Owner to cooperate with the Architect and exercise the Construction Manager's skill and judgment in furthering the interests of the Owner; to furnish efficient construction administration, management services and supervision; to furnish at all times an adequate supply of workers and materials; and to perform the Work in an expeditious and economical manner consistent with the Owner's interests. The Owner agrees to furnish or approve, in a timely manner, information required by the Construction Manager and to make payments to the Construction Manager in accordance with the requirements of the Contract Documents.

§ 1.3 General Conditions

For the Preconstruction Phase, AIA Document A201™–2007, General Conditions of the Contract for Construction, shall apply only as specifically provided in this Agreement. For the Construction Phase, the general conditions of the contract shall be as set forth in A201–2007, which document is incorporated herein by reference. The term "Contractor" as used in A201–2007 shall mean the Construction Manager.

ARTICLE 2 CONSTRUCTION MANAGER'S RESPONSIBILITIES

The Construction Manager's Preconstruction Phase responsibilities are set forth in Sections 2.1 and 2.2. The Construction Manager's Construction Phase responsibilities are set forth in Section 2.3. The Owner and Construction

Manager may agree, in consultation with the Architect, for the Construction Phase to commence prior to completion of the Preconstruction Phase, in which case, both phases will proceed concurrently. The Construction Manager shall identify a representative authorized to act on behalf of the Construction Manager with respect to the Project.

§ 2.1 Preconstruction Phase

§ 2.1.1 The Construction Manager shall provide a preliminary evaluation of the Owner's program, schedule and construction budget requirements, each in terms of the other.

§ 2.1.2 Consultation

The Construction Manager shall schedule and conduct meetings with the Architect and Owner to discuss such matters as procedures, progress, coordination, and scheduling of the Work. The Construction Manager shall advise the Owner and the Architect on proposed site use and improvements, selection of materials, and building systems and equipment. The Construction Manager shall also provide recommendations consistent with the Project requirements to the Owner and Architect on constructability; availability of materials and labor; time requirements for procurement, installation and construction; and factors related to construction cost including, but not limited to, costs of alternative designs or materials, preliminary budgets, life-cycle data, and possible cost reductions.

§ 2.1.3 When Project requirements in Section 3.1.1 have been sufficiently identified, the Construction Manager shall prepare and periodically update a Project schedule for the Architect's review and the Owner's acceptance. The Construction Manager shall obtain the Architect's approval for the portion of the Project schedule relating to the performance of the Architect's services. The Project schedule shall coordinate and integrate the Construction Manager's services, the Architect's services, other Owner consultants' services, and the Owner's responsibilities and identify items that could affect the Project's timely completion. The updated Project schedule shall include the following: submission of the Guaranteed Maximum Price proposal; components of the Work; times of commencement and completion required of each Subcontractor; ordering and delivery of products, including those that must be ordered well in advance of construction; and the occupancy requirements of the Owner.

§ 2.1.4 Phased Construction

The Construction Manager shall provide recommendations with regard to accelerated or fast-track scheduling, procurement, or phased construction. The Construction Manager shall take into consideration cost reductions, cost information, constructability, provisions for temporary facilities and procurement and construction scheduling issues.

§ 2.1.5 Preliminary Cost Estimates

§ 2.1.5.1 Based on the preliminary design and other design criteria prepared by the Architect, the Construction Manager shall prepare preliminary estimates of the Cost of the Work or the cost of program requirements using area, volume or similar conceptual estimating techniques for the Architect's review and Owner's approval. If the Architect or Construction Manager suggests alternative materials and systems, the Construction Manager shall provide cost evaluations of those alternative materials and systems.

§ 2.1.5.2 As the Architect progresses with the preparation of the Schematic Design, Design Development and Construction Documents, the Construction Manager shall prepare and update, at appropriate intervals agreed to by the Owner, Construction Manager and Architect, estimates of the Cost of the Work of increasing detail and refinement and allowing for the further development of the design until such time as the Owner and Construction Manager agree on a Guaranteed Maximum Price for the Work. Such estimates shall be provided for the Architect's review and the Owner's approval. The Construction Manager shall inform the Owner and Architect when estimates of the Cost of the Work exceed the latest approved Project budget and make recommendations for corrective action.

§ 2.1.6 Subcontractors and Suppliers

The Construction Manager shall develop bidders' interest in the Project.

§ 2.1.7 The Construction Manager shall prepare, for the Architect's review and the Owner's acceptance, a procurement schedule for items that must be ordered well in advance of construction. The Construction Manager shall expedite and coordinate the ordering and delivery of materials that must be ordered well in advance of construction. If the Owner agrees to procure any items prior to the establishment of the Guaranteed Maximum Price, the Owner shall procure the items on terms and conditions acceptable to the Construction Manager. Upon the establishment of the Guaranteed Maximum Price, the Owner shall assign all contracts for these items to the Construction Manager and the Construction Manager shall thereafter accept responsibility for them.

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§ 2.1.8 Extent of Responsibility

The Construction Manager shall exercise reasonable care in preparing schedules and estimates. The Construction Manager, however, does not warrant or guarantee estimates and schedules except as may be included as part of the Guaranteed Maximum Price. The Construction Manager is not required to ascertain that the Drawings and Specifications are in accordance with applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, but the Construction Manager shall promptly report to the Architect and Owner any nonconformity discovered by or made known to the Construction Manager as a request for information in such form as the Architect may require.

§ 2.1.9 Notices and Compliance with Laws

The Construction Manager shall comply with applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities applicable to its performance under this Contract, and with equal employment opportunity programs, and other programs as may be required by governmental and quasi governmental authorities for inclusion in the Contract Documents.

§ 2.2 Guaranteed Maximum Price Proposal and Contract Time

§ 2.2.1 At a time to be mutually agreed upon by the Owner and the Construction Manager and in consultation with the Architect, the Construction Manager shall prepare a Guaranteed Maximum Price proposal for the Owner's review and acceptance. The Guaranteed Maximum Price in the proposal shall be the sum of the Construction Manager's estimate of the Cost of the Work, including contingencies described in Section 2.2.4, and the Construction Manager's Fee.

§ 2.2.2 To the extent that the Drawings and Specifications are anticipated to require further development by the Architect, the Construction Manager shall provide in the Guaranteed Maximum Price for such further development consistent with the Contract Documents and reasonably inferable therefrom. Such further development does not include such things as changes in scope, systems, kinds and quality of materials, finishes or equipment, all of which, if required, shall be incorporated by Change Order.

§ 2.2.3 The Construction Manager shall include with the Guaranteed Maximum Price proposal a written statement of its basis, which shall include the following:

- .1 A list of the Drawings and Specifications, including all Addenda thereto, and the Conditions of the Contract;
- .2 A list of the clarifications and assumptions made by the Construction Manager in the preparation of the Guaranteed Maximum Price proposal, including assumptions under Section 2.2.2, to supplement the information provided by the Owner and contained in the Drawings and Specifications;
- .3 A statement of the proposed Guaranteed Maximum Price, including a statement of the estimated Cost of the Work organized by trade categories or systems, allowances, contingency, and the Construction Manager's Fee;
- .4 The anticipated date of Substantial Completion upon which the proposed Guaranteed Maximum Price is based; and
- .5 A date by which the Owner must accept the Guaranteed Maximum Price.

§ 2.2.4 In preparing the Construction Manager's Guaranteed Maximum Price proposal, the Construction Manager shall include its contingency for the Construction Manager's exclusive use to cover those costs considered reimbursable as the Cost of the Work but not included in a Change Order.

§ 2.2.5 The Construction Manager shall meet with the Owner and Architect to review the Guaranteed Maximum Price proposal. In the event that the Owner and Architect discover any inconsistencies or inaccuracies in the information presented, they shall promptly notify the Construction Manager, who shall make appropriate adjustments to the Guaranteed Maximum Price proposal, its basis, or both.

§ 2.2.6 If the Owner notifies the Construction Manager that the Owner has accepted the Guaranteed Maximum Price proposal in writing before the date specified in the Guaranteed Maximum Price proposal, the Guaranteed Maximum Price proposal shall be deemed effective without further acceptance from the Construction Manager. Following acceptance of a Guaranteed Maximum Price, the Owner and Construction Manager shall execute the Guaranteed Maximum Price Amendment amending this Agreement, a copy of which the Owner shall provide to the Architect. The

Guaranteed Maximum Price Amendment shall set forth the agreed upon Guaranteed Maximum Price with the information and assumptions upon which it is based.

§ 2.2.7 The Construction Manager shall not incur any cost to be reimbursed as part of the Cost of the Work prior to the commencement of the Construction Phase, unless the Owner provides prior written authorization for such costs.

§ 2.2.8 The Owner shall authorize the Architect to provide the revisions to the Drawings and Specifications to incorporate the agreed-upon assumptions and clarifications contained in the Guaranteed Maximum Price Amendment. The Owner shall promptly furnish those revised Drawings and Specifications to the Construction Manager as they are revised. The Construction Manager shall notify the Owner and Architect of any inconsistencies between the Guaranteed Maximum Price Amendment and the revised Drawings and Specifications.

§ 2.2.9 The Construction Manager shall include in the Guaranteed Maximum Price all sales, consumer, use and similar taxes for the Work provided by the Construction Manager that are legally enacted, whether or not yet effective, at the time the Guaranteed Maximum Price Amendment is executed.

§ 2.3 Construction Phase

§ 2.3.1 General

§ 2.3.1.1 For purposes of Section 8.1.2 of A201–2007, the date of commencement of the Work shall mean the date of commencement of the Construction Phase.

§ 2.3.1.2 The Construction Phase shall commence upon the Owner's acceptance of the Construction Manager's Guaranteed Maximum Price proposal or the Owner's issuance of a Notice to Proceed, whichever occurs earlier.

§ 2.3.2 Administration

§ 2.3.2.1 Those portions of the Work that the Construction Manager does not customarily perform with the Construction Manager's own personnel shall be performed under subcontracts or by other appropriate agreements with the Construction Manager. The Owner may designate specific persons from whom, or entities from which, the Construction Manager shall obtain bids. The Construction Manager shall obtain bids from Subcontractors and from suppliers of materials or equipment fabricated especially for the Work and shall deliver such bids to the Architect. The Owner shall then determine, with the advice of the Construction Manager and the Architect, which bids will be accepted. The Construction Manager shall not be required to contract with anyone to whom the Construction Manager has reasonable objection.

§ 2.3.2.2 If the Guaranteed Maximum Price has been established and when a specific bidder (1) is recommended to the Owner by the Construction Manager, (2) is qualified to perform that portion of the Work, and (3) has submitted a bid that conforms to the requirements of the Contract Documents without reservations or exceptions, but the Owner requires that another bid be accepted, then the Construction Manager may require that a Change Order be issued to adjust the Contract Time and the Guaranteed Maximum Price by the difference between the bid of the person or entity recommended to the Owner by the Construction Manager and the amount and time requirement of the subcontract or other agreement actually signed with the person or entity designated by the Owner.

§ 2.3.2.3 Subcontracts or other agreements shall conform to the applicable payment provisions of this Agreement, and shall not be awarded on the basis of cost plus a fee without the prior consent of the Owner. If the Subcontract is awarded on a cost-plus a fee basis, the Construction Manager shall provide in the Subcontract for the Owner to receive the same audit rights with regard to the Subcontractor as the Owner receives with regard to the Construction Manager in Section 6.11 below.

§ 2.3.2.4 If the Construction Manager recommends a specific bidder that may be considered a "related party" according to Section 6.10, then the Construction Manager shall promptly notify the Owner in writing of such relationship and notify the Owner of the specific nature of the contemplated transaction, according to Section 6.10.2.

§ 2.3.2.5 The Construction Manager shall schedule and conduct meetings to discuss such matters as procedures, progress, coordination, scheduling, and status of the Work. The Construction Manager shall prepare and promptly distribute minutes to the Owner and Architect.

§ 2.3.2.6 Upon the execution of the Guaranteed Maximum Price Amendment, the Construction Manager shall prepare and submit to the Owner and Architect a construction schedule for the Work and submittal schedule in accordance with Section 3.10 of A201–2007.

§ 2.3.2.7 The Construction Manager shall record the progress of the Project. On a monthly basis, or otherwise as agreed to by the Owner, the Construction Manager shall submit written progress reports to the Owner and Architect, showing percentages of completion and other information required by the Owner. The Construction Manager shall also keep, and make available to the Owner and Architect, a daily log containing a record for each day of weather, portions of the Work in progress, number of workers on site, identification of equipment on site, problems that might affect progress of the work, accidents, injuries, and other information required by the Owner.

§ 2.3.2.8 The Construction Manager shall develop a system of cost control for the Work, including regular monitoring of actual costs for activities in progress and estimates for uncompleted tasks and proposed changes. The Construction Manager shall identify variances between actual and estimated costs and report the variances to the Owner and Architect and shall provide this information in its monthly reports to the Owner and Architect, in accordance with Section 2.3.2.7 above.

§ 2.4 Professional Services

Section 3.12.10 of A201–2007 shall apply to both the Preconstruction and Construction Phases.

§ 2.5 Hazardous Materials

Section 10.3 of A201–2007 shall apply to both the Preconstruction and Construction Phases.

ARTICLE 3 OWNER'S RESPONSIBILITIES

§ 3.1 Information and Services Required of the Owner

§ 3.1.1 The Owner shall provide information with reasonable promptness, regarding requirements for and limitations on the Project, including a written program which shall set forth the Owner's objectives, constraints, and criteria, including schedule, space requirements and relationships, flexibility and expandability, special equipment, systems sustainability and site requirements.

§ 3.1.2 Prior to the execution of the Guaranteed Maximum Price Amendment, the Construction Manager may request in writing that the Owner provide reasonable evidence that the Owner has made financial arrangements to fulfill the Owner's obligations under the Contract. Thereafter, the Construction Manager may only request such evidence if (1) the Owner fails to make payments to the Construction Manager as the Contract Documents require, (2) a change in the Work materially changes the Contract Sum, or (3) the Construction Manager identifies in writing a reasonable concern regarding the Owner's ability to make payment when due. The Owner shall furnish such evidence as a condition precedent to commencement or continuation of the Work or the portion of the Work affected by a material change. After the Owner furnishes the evidence, the Owner shall not materially vary such financial arrangements without prior notice to the Construction Manager and Architect.

§ 3.1.3 The Owner shall establish and periodically update the Owner's budget for the Project, including (1) the budget for the Cost of the Work as defined in Section 6.1.1, (2) the Owner's other costs, and (3) reasonable contingencies related to all of these costs. If the Owner significantly increases or decreases the Owner's budget for the Cost of the Work, the Owner shall notify the Construction Manager and Architect. The Owner and the Architect, in consultation with the Construction Manager, shall thereafter agree to a corresponding change in the Project's scope and quality.

§ 3.1.4 Structural and Environmental Tests, Surveys and Reports. During the Preconstruction Phase, the Owner shall furnish the following information or services with reasonable promptness. The Owner shall also furnish any other information or services under the Owner's control and relevant to the Construction Manager's performance of the Work with reasonable promptness after receiving the Construction Manager's written request for such information or services. The Construction Manager shall be entitled to rely on the accuracy of information and services furnished by the Owner but shall exercise proper precautions relating to the safe performance of the Work.

§ 3.1.4.1 The Owner shall furnish tests, inspections and reports required by law and as otherwise agreed to by the parties, such as structural, mechanical, and chemical tests, tests for air and water pollution, and tests for hazardous materials.

§ 3.1.4.2 The Owner shall furnish surveys describing physical characteristics, legal limitations and utility locations for the site of the Project, and a legal description of the site. The surveys and legal information shall include, as applicable, grades and lines of streets, alleys, pavements and adjoining property and structures; designated wetlands; adjacent drainage; rights-of-way, restrictions, easements, encroachments, zoning, deed restrictions, boundaries and contours of the site; locations, dimensions and necessary data with respect to existing buildings, other improvements and trees; and information concerning available utility services and lines, both public and private, above and below grade, including inverts and depths. All the information on the survey shall be referenced to a Project benchmark.

§ 3.1.4.3 The Owner, when such services are requested, shall furnish services of geotechnical engineers, which may include but are not limited to test borings, test pits, determinations of soil bearing values, percolation tests, evaluations of hazardous materials, seismic evaluation, ground corrosion tests and resistivity tests, including necessary operations for anticipating subsoil conditions, with written reports and appropriate recommendations.

§ 3.1.4.4 During the Construction Phase, the Owner shall furnish information or services required of the Owner by the Contract Documents with reasonable promptness. The Owner shall also furnish any other information or services under the Owner's control and relevant to the Construction Manager's performance of the Work with reasonable promptness after receiving the Construction Manager's written request for such information or services.

§ 3.2 Owner's Designated Representative

The Owner shall identify a representative authorized to act on behalf of the Owner with respect to the Project. The Owner's representative shall render decisions promptly and furnish information expeditiously, so as to avoid unreasonable delay in the services or Work of the Construction Manager. Except as otherwise provided in Section 4.2.1 of A201-2007, the Architect does not have such authority. The term "Owner" means the Owner or the Owner's authorized representative.

§ 3.2.1 **Legal Requirements.** The Owner shall furnish all legal, insurance and accounting services, including auditing services, that may be reasonably necessary at any time for the Project to meet the Owner's needs and interests.

§ 3.3 Architect

The Owner shall retain an Architect to provide services, duties and responsibilities as described in AIA Document B103™-2007, Standard Form of Agreement Between Owner and Architect, including any additional services requested by the Construction Manager that are necessary for the Preconstruction and Construction Phase services under this Agreement. The Owner shall provide the Construction Manager a copy of the executed agreement between the Owner and the Architect, and any further modifications to the agreement.

ARTICLE 4 COMPENSATION AND PAYMENTS FOR PRECONSTRUCTION PHASE SERVICES

§ 4.1 Compensation

§ 4.1.1 For the Construction Manager's Preconstruction Phase services, the Owner shall compensate the Construction Manager as follows:

§ 4.1.2 For the Construction Manager's Preconstruction Phase services described in Sections 2.1 and 2.2:
(Insert amount of, or basis for, compensation and include a list of reimbursable cost items, as applicable.)

| No Charge for Preconstruction Phase Services

| § 4.1.3 If the Preconstruction Phase services covered by this Agreement have not been completed within 3 (Three) months of the date of this Agreement, through no fault of the Construction Manager, the Construction Manager's compensation for Preconstruction Phase services shall be equitably adjusted.

§ 4.1.4 Compensation based on Direct Personnel Expense includes the direct salaries of the Construction Manager's personnel providing Preconstruction Phase services on the Project and the Construction Manager's costs for the mandatory and customary contributions and benefits related thereto, such as employment taxes and other statutory employee benefits, insurance, sick leave, holidays, vacations, employee retirement plans and similar contributions.

§ 4.2 Payments

§ 4.2.1 Unless otherwise agreed, payments for services shall be made monthly in proportion to services performed.

§ 4.2.2 Payments are due and payable upon presentation of the Construction Manager's invoice. Amounts unpaid, unless contested by the owner, Forty Five (45) days after the invoice date shall bear interest at the rate entered below, or in the absence thereof at the legal rate prevailing from time to time at the principal place of business of the Construction Manager.

(Insert rate of monthly or annual interest agreed upon.)

Eight Percent (8) %

ARTICLE 5 COMPENSATION FOR CONSTRUCTION PHASE SERVICES

§ 5.1 For the Construction Manager's performance of the Work as described in Section 2.3, the Owner shall pay the Construction Manager the Contract Sum in current funds. The Contract Sum is the Cost of the Work as defined in Section 6.1.1 plus the Construction Manager's Fee.

§ 5.1.1 The Construction Manager's Fee:

(State a lump sum, percentage of Cost of the Work or other provision for determining the Construction Manager's Fee.)

Lump Sum Fee of Six percent (6%) of the Cost of the Work as calculated in the initial GMP documented in Amendment1

§ 5.1.2 The method of adjustment of the Construction Manager's Fee for changes in the Work:

Fee of 6% on the cost of the work of all additive changes only.

§ 5.1.3 Limitations, if any, on a Subcontractor's overhead and profit for increases in the cost of its portion of the Work:

Subcontractors limited to 12% mark up for overhead and profit on changes to the scope of work

§ 5.1.4 Rental rates for Construction Manager-owned equipment shall not exceed Ninty percent (90 %) of the standard rate paid at the place of the Project.

§ 5.1.5 Unit prices, if any:

(Identify and state the unit price; state the quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
N/A	N/A	N/A

§ 5.2 Guaranteed Maximum Price

§ 5.2.1 The Construction Manager guarantees that the Contract Sum shall not exceed the Guaranteed Maximum Price set forth in the Guaranteed Maximum Price Amendment, as it is amended from time to time. To the extent the Cost of the Work exceeds the Guaranteed Maximum Price, the Construction Manager shall bear such costs in excess of the Guaranteed Maximum Price without reimbursement or additional compensation from the Owner.

(Insert specific provisions if the Construction Manager is to participate in any savings.)

All Savings below the GMP stay with the owner

§ 5.2.2 The Guaranteed Maximum Price is subject to additions and deductions by Change Order as provided in the Contract Documents and the Date of Substantial Completion shall be subject to adjustment as provided in the Contract Documents.

§ 5.3 Changes in the Work

§ 5.3.1 The Owner may, without invalidating the Contract, order changes in the Work within the general scope of the Contract consisting of additions, deletions or other revisions. The Owner shall issue such changes in writing. The Architect may make minor changes in the Work as provided in Section 7.4 of AIA Document A201-2007, General Conditions of the Contract for Construction. The Construction Manager shall be entitled to an equitable adjustment in the Contract Time as a result of changes in the Work.

§ 5.3.2 Adjustments to the Guaranteed Maximum Price on account of changes in the Work subsequent to the execution of the Guaranteed Maximum Price Amendment may be determined by any of the methods listed in Section 7.3.3 of AIA Document A201–2007, General Conditions of the Contract for Construction.

§ 5.3.3 In calculating adjustments to subcontracts (except those awarded with the Owner's prior consent on the basis of cost plus a fee), the terms "cost" and "fee" as used in Section 7.3.3.3 of AIA Document A201–2007 and the term "costs" as used in Section 7.3.7 of AIA Document A201–2007 shall have the meanings assigned to them in AIA Document A201–2007 and shall not be modified by Sections 5.1 and 5.2, Sections 6.1 through 6.7, and Section 6.8 of this Agreement. Adjustments to subcontracts awarded with the Owner's prior consent on the basis of cost plus a fee shall be calculated in accordance with the terms of those subcontracts.

§ 5.3.4 In calculating adjustments to the Guaranteed Maximum Price, the terms "cost" and "costs" as used in the above-referenced provisions of AIA Document A201–2007 shall mean the Cost of the Work as defined in Sections 6.1 to 6.7 of this Agreement and the term "fee" shall mean the Construction Manager's Fee as defined in Section 5.1 of this Agreement.

§ 5.3.5 If no specific provision is made in Section 5.1.2 for adjustment of the Construction Manager's Fee in the case of changes in the Work, or if the extent of such changes is such, in the aggregate, that application of the adjustment provisions of Section 5.1.2 will cause substantial inequity to the Owner or Construction Manager, the Construction Manager's Fee shall be equitably adjusted on the same basis that was used to establish the Fee for the original Work, and the Guaranteed Maximum Price shall be adjusted accordingly.

ARTICLE 6 COST OF THE WORK FOR CONSTRUCTION PHASE

§ 6.1 Costs to Be Reimbursed

§ 6.1.1 The term Cost of the Work shall mean costs necessarily incurred by the Construction Manager in the proper performance of the Work. Such costs shall be at rates not higher than the standard paid at the place of the Project except with prior consent of the Owner. The Cost of the Work shall include only the items set forth in Sections 6.1 through 6.7.

§ 6.1.2 Where any cost is subject to the Owner's prior approval, the Construction Manager shall obtain this approval prior to incurring the cost. The parties shall endeavor to identify any such costs prior to executing Guaranteed Maximum Price Amendment.

§ 6.2 Labor Costs

§ 6.2.1 Wages of construction workers directly employed by the Construction Manager to perform the construction of the Work at the site or, with the Owner's prior approval, at off-site workshops.

§ 6.2.2 Wages or salaries of the Construction Manager's supervisory and administrative personnel when stationed at the site with the Owner's prior approval.

(If it is intended that the wages or salaries of certain personnel stationed at the Construction Manager's principal or other offices shall be included in the Cost of the Work, identify in Section 11.5, the personnel to be included, whether for all or only part of their time, and the rates at which their time will be charged to the Work.)

§ 6.2.3 Wages and salaries of the Construction Manager's supervisory or administrative personnel engaged at factories, workshops or on the road, in expediting the production or transportation of materials or equipment required for the Work, but only for that portion of their time required for the Work.

§ 6.2.4 Costs paid or incurred by the Construction Manager for taxes, insurance, contributions, assessments and benefits required by law or collective bargaining agreements and, for personnel not covered by such agreements, customary benefits such as sick leave, medical and health benefits, holidays, vacations and pensions, provided such costs are based on wages and salaries included in the Cost of the Work under Sections 6.2.1 through 6.2.3. This labor burden is equal to sixty eight percent (68%) and applies only to FCI-furnished labor.

§ 6.2.5 Bonuses, profit sharing, incentive compensation and any other discretionary payments paid to anyone hired by the Construction Manager or paid to any Subcontractor or vendor, with the Owner's prior approval.

§ 6.3 Subcontract Costs

Payments made by the Construction Manager to Subcontractors in accordance with the requirements of the subcontracts.

§ 6.4 Costs of Materials and Equipment Incorporated in the Completed Construction

§ 6.4.1 Costs, including transportation and storage, of materials and equipment incorporated or to be incorporated in the completed construction.

§ 6.4.2 Costs of materials described in the preceding Section 6.4.1 in excess of those actually installed to allow for reasonable waste and spoilage. Unused excess materials, if any, shall become the Owner's property at the completion of the Work or, at the Owner's option, shall be sold by the Construction Manager. Any amounts realized from such sales shall be credited to the Owner as a deduction from the Cost of the Work.

§ 6.5 Costs of Other Materials and Equipment, Temporary Facilities and Related Items

§ 6.5.1 Costs of transportation, storage, installation, maintenance, dismantling and removal of materials, supplies, temporary facilities, machinery, equipment and hand tools not customarily owned by construction workers that are provided by the Construction Manager at the site and fully consumed in the performance of the Work. Costs of materials, supplies, temporary facilities, machinery, equipment and tools that are not fully consumed shall be based on the cost or value of the item at the time it is first used on the Project site less the value of the item when it is no longer used at the Project site. Costs for items not fully consumed by the Construction Manager shall mean fair market value.

§ 6.5.2 Rental charges for temporary facilities, machinery, equipment and hand tools not customarily owned by construction workers that are provided by the Construction Manager at the site and costs of transportation, installation, minor repairs, dismantling and removal. The total rental cost of any Construction Manager-owned item may not exceed the purchase price of any comparable item. Rates of Construction Manager-owned equipment and quantities of equipment shall be subject to the Owner's prior approval.

§ 6.5.3 Costs of removal of debris from the site of the Work and its proper and legal disposal.

§ 6.5.4 Costs of document reproductions, facsimile transmissions and long-distance telephone calls, postage and parcel delivery charges, telephone service at the site and reasonable petty cash expenses of the site office.

§ 6.5.5 That portion of the reasonable expenses of the Construction Manager's supervisory or administrative personnel incurred while traveling in discharge of duties connected with the Work.

§ 6.5.6 Costs of materials and equipment suitably stored off the site at a mutually acceptable location, subject to the Owner's prior approval.

§ 6.6 Miscellaneous Costs

§ 6.6.1 Premiums for that portion of insurance and bonds required by the Contract Documents that can be directly attributed to this Contract. Self-insurance for either full or partial amounts of the coverages required by the Contract Documents, with the Owner's prior approval.

§ 6.6.2 Sales, use or similar taxes imposed by a governmental authority that are related to the Work and for which the Construction Manager is liable.

§ 6.6.3 Fees and assessments for the building permit and for other permits, licenses and inspections for which the Construction Manager is required by the Contract Documents to pay.

§ 6.6.4 Fees of laboratories for tests required by the Contract Documents, except those related to defective or nonconforming Work for which reimbursement is excluded by Section 13.5.3 of AIA Document A201-2007 or by other provisions of the Contract Documents, and which do not fall within the scope of Section 6.7.3.

§ 6.6.5 Royalties and license fees paid for the use of a particular design, process or product required by the Contract Documents; the cost of defending suits or claims for infringement of patent rights arising from such requirement of the Contract Documents; and payments made in accordance with legal judgments against the Construction Manager resulting from such suits or claims and payments of settlements made with the Owner's consent. However, such costs

of legal defenses, judgments and settlements shall not be included in the calculation of the Construction Manager's Fee or subject to the Guaranteed Maximum Price. If such royalties, fees and costs are excluded by the last sentence of Section 3.17 of AIA Document A201-2007 or other provisions of the Contract Documents, then they shall not be included in the Cost of the Work.

§ 6.6.6 Costs for electronic equipment and software, directly related to the Work with the Owner's prior approval.

§ 6.6.7 Deposits lost for causes other than the Construction Manager's negligence or failure to fulfill a specific responsibility in the Contract Documents.

§ 6.6.8 Legal and mediation costs, including attorneys' fees, other than those arising from disputes between the Owner and Construction Manager, reasonably incurred by the Construction Manager after the execution of this Agreement in the performance of the Work and with the Owner's prior approval, which shall not be unreasonably withheld.

§ 6.6.9 Subject to the Owner's prior approval, expenses incurred in accordance with the Construction Manager's standard written personnel policy for relocation and temporary living allowances of the Construction Manager's personnel required for the Work.

§ 6.7 Other Costs and Emergencies

§ 6.7.1 Other costs incurred in the performance of the Work if, and to the extent, approved in advance in writing by the Owner.

§ 6.7.2 Costs incurred in taking action to prevent threatened damage, injury or loss in case of an emergency affecting the safety of persons and property, as provided in Section 10.4 of AIA Document A201-2007.

§ 6.7.3 Costs of repairing or correcting damaged or nonconforming Work executed by the Construction Manager, Subcontractors or suppliers, provided that such damaged or nonconforming Work was not caused by negligence or failure to fulfill a specific responsibility of the Construction Manager and only to the extent that the cost of repair or correction is not recovered by the Construction Manager from insurance, sureties, Subcontractors, suppliers, or others.

§ 6.7.4 The costs described in Sections 6.1 through 6.7 shall be included in the Cost of the Work, notwithstanding any provision of AIA Document A201-2007 or other Conditions of the Contract which may require the Construction Manager to pay such costs, unless such costs are excluded by the provisions of Section 6.8.

§ 6.8 Costs Not To Be Reimbursed

§ 6.8.1 The Cost of the Work shall not include the items listed below:

- .1 Salaries and other compensation of the Construction Manager's personnel stationed at the Construction Manager's principal office or offices other than the site office, except as specifically provided in Section 6.2, or as may be provided in Article 11;
- .2 Expenses of the Construction Manager's principal office and offices other than the site office;
- .3 Overhead and general expenses, except as may be expressly included in Sections 6.1 to 6.7;
- .4 The Construction Manager's capital expenses, including interest on the Construction Manager's capital employed for the Work;
- .5 Except as provided in Section 6.7.3 of this Agreement, costs due to the negligence or failure of the Construction Manager, Subcontractors and suppliers or anyone directly or indirectly employed by any of them or for whose acts any of them may be liable to fulfill a specific responsibility of the Contract;
- .6 Any cost not specifically and expressly described in Sections 6.1 to 6.7;
- .7 Costs, other than costs included in Change Orders approved by the Owner, that would cause the Guaranteed Maximum Price to be exceeded; and
- .8 Costs for services incurred during the Preconstruction Phase.

§ 6.9 Discounts, Rebates and Refunds

§ 6.9.1 Cash discounts obtained on payments made by the Construction Manager shall accrue to the Owner if (1) before making the payment, the Construction Manager included them in an Application for Payment and received payment from the Owner, or (2) the Owner has deposited funds with the Construction Manager with which to make payments; otherwise, cash discounts shall accrue to the Construction Manager. Trade discounts, rebates, refunds and

amounts received from sales of surplus materials and equipment shall accrue to the Owner, and the Construction Manager shall make provisions so that they can be obtained.

§ 6.9.2 Amounts that accrue to the Owner in accordance with the provisions of Section 6.9.1 shall be credited to the Owner as a deduction from the Cost of the Work.

§ 6.10 Related Party Transactions

§ 6.10.1 For purposes of Section 6.10, the term "related party" shall mean a parent, subsidiary, affiliate or other entity having common ownership or management with the Construction Manager; any entity in which any stockholder in, or management employee of, the Construction Manager owns any interest in excess of ten percent in the aggregate; or any person or entity which has the right to control the business or affairs of the Construction Manager. The term "related party" includes any member of the immediate family of any person identified above.

§ 6.10.2 If any of the costs to be reimbursed arise from a transaction between the Construction Manager and a related party, the Construction Manager shall notify the Owner of the specific nature of the contemplated transaction, including the identity of the related party and the anticipated cost to be incurred, before any such transaction is consummated or cost incurred. If the Owner, after such notification, authorizes the proposed transaction, then the cost incurred shall be included as a cost to be reimbursed, and the Construction Manager shall procure the Work, equipment, goods or service from the related party, as a Subcontractor, according to the terms of Sections 2.3.2.1, 2.3.2.2 and 2.3.2.3. If the Owner fails to authorize the transaction, the Construction Manager shall procure the Work, equipment, goods or service from some person or entity other than a related party according to the terms of Sections 2.3.2.1, 2.3.2.2 and 2.3.2.3.

§ 6.11 Accounting Records

The Construction Manager shall keep full and detailed records and accounts related to the cost of the Work and exercise such controls as may be necessary for proper financial management under this Contract and to substantiate all costs incurred. The accounting and control systems shall be satisfactory to the Owner. The Owner and the Owner's auditors shall, during regular business hours and upon reasonable notice, be afforded access to, and shall be permitted to audit and copy, the Construction Manager's records and accounts, including complete documentation supporting accounting entries, books, correspondence, instructions, drawings, receipts, subcontracts, Subcontractor's proposals, purchase orders, vouchers, memoranda and other data relating to this Contract. The Construction Manager shall preserve these records for a period of three years after final payment, or for such longer period as may be required by law.

ARTICLE 7 PAYMENTS FOR CONSTRUCTION PHASE SERVICES

§ 7.1 Progress Payments

§ 7.1.1 Based upon Applications for Payment submitted to the Architect by the Construction Manager and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Construction Manager as provided below and elsewhere in the Contract Documents.

§ 7.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month.:

§ 7.1.3 Provided that an Application for Payment is received by the Architect not later than the last day of a month, the Owner shall make payment of the certified amount to the Construction Manager not later than the fifteenth day of the following month. If an Application for Payment is received by the Architect after the application date fixed above, payment shall be made by the Owner not later than fifteen (15) days after the Architect receives the Application for Payment.

(Federal, state or local laws may require payment within a certain period of time.)

§ 7.1.4 With each Application for Payment, the Construction Manager shall submit evidence required by the Owner or Architect to demonstrate that cash disbursements already made by the Construction Manager on account of the Cost of the Work equal or exceed progress payments already received by the Construction Manager, less that portion of those payments attributable to the Construction Manager's Fee, plus payrolls for the period covered by the present Application for Payment.

§ 7.1.5 Each Application for Payment shall be based on the most recent schedule of values submitted by the Construction Manager in accordance with the Contract Documents. The schedule of values shall allocate the entire Guaranteed Maximum Price among the various portions of the Work, except that the Construction Manager's Fee shall be shown as a single separate item. The schedule of values shall be prepared in such form and supported by such data to substantiate its accuracy as the Architect may require. This schedule, unless objected to by the Architect, shall be used as a basis for reviewing the Construction Manager's Applications for Payment.

§ 7.1.6 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment. The percentage of completion shall be the lesser of (1) the percentage of that portion of the Work which has actually been completed, or (2) the percentage obtained by dividing (a) the expense that has actually been incurred by the Construction Manager on account of that portion of the Work for which the Construction Manager has made or intends to make actual payment prior to the next Application for Payment by (b) the share of the Guaranteed Maximum Price allocated to that portion of the Work in the schedule of values.

§ 7.1.7 Subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

- .1 Take that portion of the Guaranteed Maximum Price properly allocable to completed Work as determined by multiplying the percentage of completion of each portion of the Work by the share of the Guaranteed Maximum Price allocated to that portion of the Work in the schedule of values. Pending final determination of cost to the Owner of changes in the Work, amounts not in dispute shall be included as provided in Section 7.3.9 of AIA Document A201-2007;
- .2 Add that portion of the Guaranteed Maximum Price properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the Work, or if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing;
- .3 Add the Construction Manager's Fee, less retainage of five percent (5 %). The Construction Manager's Fee shall be computed upon the Cost of the Work at the rate stated in Section 5.1 or, if the Construction Manager's Fee is stated as a fixed sum in that Section, shall be an amount that bears the same ratio to that fixed-sum fee as the Cost of the Work bears to a reasonable estimate of the probable Cost of the Work upon its completion;
- .4 Subtract retainage of five percent (5 %) from that portion of the Work that the Construction Manager self-performs;
- .5 Subtract the aggregate of previous payments made by the Owner;
- .6 Subtract the shortfall, if any, indicated by the Construction Manager in the documentation required by Section 7.1.4 to substantiate prior Applications for Payment, or resulting from errors subsequently discovered by the Owner's auditors in such documentation; and
- .7 Subtract amounts, if any, for which the Architect has withheld or nullified a Certificate for Payment as provided in Section 9.5 of AIA Document A201-2007.

§ 7.1.8 The Owner and Construction Manager shall agree upon (1) a mutually acceptable procedure for review and approval of payments to Subcontractors and (2) the percentage of retainage held on Subcontracts, and the Construction Manager shall execute subcontracts in accordance with those agreements.

§ 7.1.9 Except with the Owner's prior approval, the Construction Manager shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 7.1.10 In taking action on the Construction Manager's Applications for Payment, the Architect shall be entitled to rely on the accuracy and completeness of the information furnished by the Construction Manager and shall not be deemed to represent that the Architect has made a detailed examination, audit or arithmetic verification of the documentation submitted in accordance with Section 7.1.4 or other supporting data; that the Architect has made exhaustive or continuous on-site inspections; or that the Architect has made examinations to ascertain how or for what purposes the Construction Manager has used amounts previously paid on account of the Contract. Such examinations, audits and verifications, if required by the Owner, will be performed by the Owner's auditors acting in the sole interest of the Owner.

§ 7.2 Final Payment

§ 7.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Construction Manager when

- .1 the Construction Manager has fully performed the Contract except for the Construction Manager's responsibility to correct Work as provided in Section 12.2.2 of AIA Document A201–2007, and to satisfy other requirements, if any, which extend beyond final payment;
- .2 the Construction Manager has submitted a final accounting for the Cost of the Work and a final Application for Payment; and
- .3 a final Certificate for Payment has been issued by the Architect.

The Owner's final payment to the Construction Manager shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment.

§ 7.2.2 The Owner's auditors will review and report in writing on the Construction Manager's final accounting within 30 days after delivery of the final accounting to the Architect by the Construction Manager. Based upon such Cost of the Work as the Owner's auditors report to be substantiated by the Construction Manager's final accounting, and provided the other conditions of Section 7.2.1 have been met, the Architect will, within seven days after receipt of the written report of the Owner's auditors, either issue to the Owner a final Certificate for Payment with a copy to the Construction Manager, or notify the Construction Manager and Owner in writing of the Architect's reasons for withholding a certificate as provided in Section 9.5.1 of the AIA Document A201–2007. The time periods stated in this Section supersede those stated in Section 9.4.1 of the AIA Document A201–2007. The Architect is not responsible for verifying the accuracy of the Construction Manager's final accounting.

§ 7.2.3 If the Owner's auditors report the Cost of the Work as substantiated by the Construction Manager's final accounting to be less than claimed by the Construction Manager, the Construction Manager shall be entitled to request mediation of the disputed amount without seeking an initial decision pursuant to Section 15.2 of A201–2007. A request for mediation shall be made by the Construction Manager within 30 days after the Construction Manager's receipt of a copy of the Architect's final Certificate for Payment. Failure to request mediation within this 30-day period shall result in the substantiated amount reported by the Owner's auditors becoming binding on the Construction Manager. Pending a final resolution of the disputed amount, the Owner shall pay the Construction Manager the amount certified in the Architect's final Certificate for Payment.

§ 7.2.4 If, subsequent to final payment and at the Owner's request, the Construction Manager incurs costs described in Section 6.1.1 and not excluded by Section 6.8 to correct defective or nonconforming Work, the Owner shall reimburse the Construction Manager such costs and the Construction Manager's Fee applicable thereto on the same basis as if such costs had been incurred prior to final payment, but not in excess of the Guaranteed Maximum Price. If the Construction Manager has participated in savings as provided in Section 5.2.1, the amount of such savings shall be recalculated and appropriate credit given to the Owner in determining the net amount to be paid by the Owner to the Construction Manager.

ARTICLE 8 INSURANCE AND BONDS

For all phases of the Project, the Construction Manager and the Owner shall purchase and maintain insurance, and the Construction Manager shall provide bonds as set forth in Article 11 of AIA Document A201–2007.

(State bonding requirements, if any, and limits of liability for insurance required in Article 11 of AIA Document A201–2007.)

Type of Insurance or Bond	Limit of Liability or Bond Amount (\$0.00)
Commercial General Liability	
Each Occurrence	\$1,000,000.00
General Aggregate	\$2,000,000.00
Personal and Advertising Injury	\$1,000,000.00
Products-Completed Operations	\$2,000,000.00
Aggregate	
Automobile	\$1,000,000.00 Each Accident

ARTICLE 9 DISPUTE RESOLUTION

§ 9.1 Any Claim between the Owner and Construction Manager shall be resolved in accordance with the provisions set forth in this Article 9 and Article 15 of A201–2007. However, for Claims arising from or relating to the Construction Manager’s Preconstruction Phase services, no decision by the Initial Decision Maker shall be required as a condition precedent to mediation or binding dispute resolution, and Section 9.3 of this Agreement shall not apply.

§ 9.2 For any Claim subject to, but not resolved by mediation pursuant to Section 15.3 of AIA Document A201–2007, the method of binding dispute resolution shall be as follows:

(Check the appropriate box. If the Owner and Construction Manager do not select a method of binding dispute resolution below, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.)

(Paragraph deleted)

☒ [X] Litigation in a court of competent jurisdiction

☐ [] Other: *(Specify)*

§ 9.3 Initial Decision Maker

The Architect will serve as the Initial Decision Maker pursuant to Section 15.2 of AIA Document A201–2007 for Claims arising from or relating to the Construction Manager’s Construction Phase services, unless the parties appoint below another individual, not a party to the Agreement, to serve as the Initial Decision Maker.

(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

Judge Richard Brown (Retired)
Dispute Resolution Group
PO Box 2125
Montrose, CO 81402
970-249-8755

ARTICLE 10 TERMINATION OR SUSPENSION

§ 10.1 Termination Prior to Establishment of the Guaranteed Maximum Price

§ 10.1.1 Prior to the execution of the Guaranteed Maximum Price Amendment, the Owner may terminate this Agreement upon not less than seven days’ written notice to the Construction Manager for the Owner’s convenience and without cause, and the Construction Manager may terminate this Agreement, upon not less than seven days’ written notice to the Owner, for the reasons set forth in Section 14.1.1 of A201–2007.

§ 10.1.2 In the event of termination of this Agreement pursuant to Section 10.1.1, the Construction Manager shall be equitably compensated for Preconstruction Phase services performed prior to receipt of a notice of termination. In no event shall the Construction Manager’s compensation under this Section exceed the compensation set forth in Section 4.1.

§ 10.1.3 If the Owner terminates the Contract pursuant to Section 10.1.1 after the commencement of the Construction Phase but prior to the execution of the Guaranteed Maximum Price Amendment, the Owner shall pay to the Construction Manager an amount calculated as follows, which amount shall be in addition to any compensation paid to the Construction Manager under Section 10.1.2:

- .1 Take the Cost of the Work incurred by the Construction Manager to the date of termination;
- .2 Add the Construction Manager’s Fee computed upon the Cost of the Work to the date of termination at the rate stated in Section 5.1 or, if the Construction Manager’s Fee is stated as a fixed sum in that Section, an amount that bears the same ratio to that fixed-sum Fee as the Cost of the Work at the time of termination bears to a reasonable estimate of the probable Cost of the Work upon its completion; and
- .3 Subtract the aggregate of previous payments made by the Owner for Construction Phase services.

The Owner shall also pay the Construction Manager fair compensation, either by purchase or rental at the election of the Owner, for any equipment owned by the Construction Manager which the Owner elects to retain and which is not

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otherwise included in the Cost of the Work under Section 10.1.3.1. To the extent that the Owner elects to take legal assignment of subcontracts and purchase orders (including rental agreements), the Construction Manager shall, as a condition of receiving the payments referred to in this Article 10, execute and deliver all such papers and take all such steps, including the legal assignment of such subcontracts and other contractual rights of the Construction Manager, as the Owner may require for the purpose of fully vesting in the Owner the rights and benefits of the Construction Manager under such subcontracts or purchase orders. All Subcontracts, purchase orders and rental agreements entered into by the Construction Manager will contain provisions allowing for assignment to the Owner as described above.

If the Owner accepts assignment of subcontracts, purchase orders or rental agreements as described above, the Owner will reimburse or indemnify the Construction Manager for all costs arising under the subcontract, purchase order or rental agreement, if those costs would have been reimbursable as Cost of the Work if the contract had not been terminated. If the Owner chooses not to accept assignment of any subcontract, purchase order or rental agreement that would have constituted a Cost of the Work had this agreement not been terminated, the Construction Manager will terminate the subcontract, purchase order or rental agreement and the Owner will pay the Construction Manager the costs necessarily incurred by the Construction Manager because of such termination.

§ 10.2 Termination Subsequent to Establishing Guaranteed Maximum Price

Following execution of the Guaranteed Maximum Price Amendment and subject to the provisions of Section 10.2.1 and 10.2.2 below, the Contract may be terminated as provided in Article 14 of AIA Document A201–2007.

§ 10.2.1 If the Owner terminates the Contract after execution of the Guaranteed Maximum Price Amendment, the amount payable to the Construction Manager pursuant to Sections 14.2 and 14.4 of A201–2007 shall not exceed the amount the Construction Manager would otherwise have received pursuant to Sections 10.1.2 and 10.1.3 of this Agreement.

§ 10.2.2 If the Construction Manager terminates the Contract after execution of the Guaranteed Maximum Price Amendment, the amount payable to the Construction Manager under Section 14.1.3 of A201–2007 shall not exceed the amount the Construction Manager would otherwise have received under Sections 10.1.2 and 10.1.3 above, except that the Construction Manager's Fee shall be calculated as if the Work had been fully completed by the Construction Manager, utilizing as necessary a reasonable estimate of the Cost of the Work for Work not actually completed.

§ 10.3 Suspension

The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2007. In such case, the Guaranteed Maximum Price and Contract Time shall be increased as provided in Section 14.3.2 of AIA Document A201–2007, except that the term "profit" shall be understood to mean the Construction Manager's Fee as described in Sections 5.1 and 5.3.5 of this Agreement.

ARTICLE 11 MISCELLANEOUS PROVISIONS

§ 11.1 Terms in this Agreement shall have the same meaning as those in A201–2007.

§ 11.2 Ownership and Use of Documents

Section 1.5 of A201–2007 shall apply to both the Preconstruction and Construction Phases.

§ 11.3 Governing Law

Section 13.1 of A201–2007 shall apply to both the Preconstruction and Construction Phases.

§ 11.4 Assignment

The Owner and Construction Manager, respectively, bind themselves, their agents, successors, assigns and legal representatives to this Agreement. Neither the Owner nor the Construction Manager shall assign this Agreement without the written consent of the other, except that the Owner may assign this Agreement to a lender providing financing for the Project if the lender agrees to assume the Owner's rights and obligations under this Agreement. Except as provided in Section 13.2.2 of A201–2007, neither party to the Contract shall assign the Contract as a whole without written consent of the other. If either party attempts to make such an assignment without such consent, that party shall nevertheless remain legally responsible for all obligations under the Contract.

§ 11.5 Other provisions:

11.5.1 Small Tools, Consumables and FCI Rental Rates

FCI will provide to the project a full stock of most commonly used small tools (tools worth less than \$500; drills, saws, screw guns, brooms, wheel barrows, shovels, etc.). These tools will be furnished at not cost to the project but should one need replaced, it will be a direct cost to the project. Consumables such as drill bits, saw blades, powder actuated loads, winter fuel fittings and hose, oxygen, acetylene, etc. will be a direct cost to the project. FCI specialty tools and tools over \$500 in value will be rented out to the project at a rate at least ten percent (10%) less than any available rental source (see attached FCI Constructors, Inc. Standardized Rental Rates). Tool rent is only to be charged for the time the tool is in use and reasonably required on the job site. FCI tool rental is subject to Owner audit at any time. This Agreement entered into as of the day and year first written above.

11.5.2 Precedence of Documents

The project started under a Bid-Build format and division one in the Project Manual contains information inappropriate for this "Cost Plus a Fee with a GMP" contract. As such, conditions and stipulations of this AIA A133-2009, AIA A201-2007, and AIA A133 Exhibit A-2009 supersede any conflicting language contained in the remainder of the contract documents.

ARTICLE 12 SCOPE OF THE AGREEMENT

§ 12.1 This Agreement represents the entire and integrated agreement between the Owner and the Construction Manager and supersedes all prior negotiations, representations or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Construction Manager.

§ 12.2 The following documents comprise the Agreement:

- .1 AIA Document A133-2009, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price
- .2 AIA Document A201-2007, General Conditions of the Contract for Construction
- .3 AIA Document E201™-2007, Digital Data Protocol Exhibit, if completed, or the following:

NA

- .4 AIA Document E202™-2008, Building Information Modeling Protocol Exhibit, if completed, or the following:

NA

- .5 Other documents:
(List other documents, if any, forming part of the Agreement.)

NA

This Agreement is entered into as of the day and year first written above.

OWNER (Signature)

Rich Eychart
(Printed name and title)

CONSTRUCTION MANAGER (Signature)

Ed Forsman
(Printed name and title)

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AIA[®] Document A133[™] – 2009 Exhibit A

Guaranteed Maximum Price Amendment

for the following PROJECT:

(Name and address or location)

Avalon Theater Addition and Renovation
645 Main
Grand Junction, CO 81501

THE OWNER:

(Name, legal status and address)

City of Grand Junction
250 North 5th St..
Grand Junction, CO 81501

THE CONSTRUCTION MANAGER:

(Name, legal status and address)

FCI Constructors, Inc
PO Box 1767
Grand Junction, CO 81502

ARTICLE A.1

§ A.1.1 Guaranteed Maximum Price

Pursuant to Section 2.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of this Agreement.

§ A.1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed Six Million, Two Hundred and Sixty Nine Thousand, Seven Hundred and Eighty Dollars (\$6,269,780), subject to additions and deductions by Change Order as provided in the Contract Documents.

§ A.1.1.2 Itemized Statement of the Guaranteed Maximum Price. Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, allowances, contingencies, alternates, the Construction Manager's Fee, and other items that comprise the Guaranteed Maximum Price.

(Provide below or reference an attachment.)

Attachment E – Option B Post Bid Scope Adjusted Estimate Dated May 16, 2013

§ A.1.1.3 The Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:
(State the numbers or other identification of accepted alternates. If the Contract Documents permit the Owner to accept other alternates subsequent to the execution of this Amendment, attach a schedule of such other alternates showing the amount for each and the date when the amount expires.)

NA

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201[™]–2007, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

Init.

§ A.1.1.4 Allowances included in the Guaranteed Maximum Price, if any:
(Identify allowance and state exclusions, if any, from the allowance price.)

Item	Price (\$0.00)
NA	

§ A.1.1.5 Assumptions, if any, on which the Guaranteed Maximum Price is based:

N/A

§ A.1.1.6 The Guaranteed Maximum Price is based upon the following Supplementary and other Conditions of the Contract:

Attachment D – Option B Scope, Supplemental Information, 7-12-13

§ A.1.1.7 The Guaranteed Maximum Price is based upon the following Specifications:
(Either list the Specifications here, or refer to an exhibit attached to this Agreement.)

Attachment B – Specifications-Project Manual, 7-9-2013

§ A.1.1.8 The Guaranteed Maximum Price is based upon the following Drawings:
(Either list the Drawings here, or refer to an exhibit attached to this Agreement.)

Attachment A – Drawings, 7-9-2013

§ A.1.1.9 The Guaranteed Maximum Price is based upon the following other documents and information:
(List any other documents or information here, or refer to an exhibit attached to this Agreement.)

Attachment C – Addendum, 7-9-2013

ARTICLE A.2

§ A.2.1 The anticipated date of Substantial Completion established by this Amendment:

Three Hundred and Ten Calendar Days from the Notice to Proceed.

OWNER (Signature)

CONSTRUCTION MANAGER (Signature)

(Printed name and title)

Ed Forsman, President
(Printed name and title)

Init.



AIA[®] Document A201[™] – 2007

General Conditions of the Contract for Construction

for the following PROJECT:

(Name and location or address)

Avalon Theater Addition and Renovation

645 Main

Grand Junction, CO 81501

THE OWNER:

(Name, legal status and address)

City of Grand Junction

250 North 5th St.,

Grand Junction, CO 81501

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

THE ARCHITECT:

(Name, legal status and address)

Westlake Reed Leskosky

One East Camelback Road

Phoenix, AZ 85012

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User Notes:

(1280465218)

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ARTICLE 1 GENERAL PROVISIONS

§ 1.1 BASIC DEFINITIONS

§ 1.1.1 THE CONTRACT DOCUMENTS

The Contract Documents are enumerated in the Agreement between the Owner and Contractor (hereinafter the Agreement) and consist of the Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to execution of the Contract, other documents listed in the Agreement and Modifications issued after execution of the Contract. A Modification is (1) a written amendment to the Contract signed by both parties, (2) a Change Order, (3) a Construction Change Directive or (4) a written order for a minor change in the Work issued by the Architect. Unless specifically enumerated in the Agreement, the Contract Documents do not include the advertisement or invitation to bid, Instructions to Bidders, sample forms, other information furnished by the Owner in anticipation of receiving bids or proposals, the Contractor's bid or proposal, or portions of Addenda relating to bidding requirements.

§ 1.1.2 THE CONTRACT

The Contract Documents form the Contract for Construction. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. The Contract may be amended or modified only by a Modification. The Contract Documents shall not be construed to create a contractual relationship of any kind (1) between the Contractor and the Architect or the Architect's consultants, (2) between the Owner and a Subcontractor or a Sub-subcontractor, (3) between the Owner and the Architect or the Architect's consultants or (4) between any persons or entities other than the Owner and the Contractor. The Architect shall, however, be entitled to performance and enforcement of obligations under the Contract intended to facilitate performance of the Architect's duties.

§ 1.1.3 THE WORK

The term "Work" means the construction and services required by the Contract Documents, whether completed or partially completed, and includes all other labor, materials, equipment and services provided or to be provided by the Contractor to fulfill the Contractor's obligations. The Work may constitute the whole or a part of the Project.

§ 1.1.4 THE PROJECT

The Project is the total construction of which the Work performed under the Contract Documents may be the whole or a part and which may include construction by the Owner and by separate contractors.

§ 1.1.5 THE DRAWINGS

The Drawings are the graphic and pictorial portions of the Contract Documents showing the design, location and dimensions of the Work, generally including plans, elevations, sections, details, schedules and diagrams.

§ 1.1.6 THE SPECIFICATIONS

The Specifications are that portion of the Contract Documents consisting of the written requirements for materials, equipment, systems, standards and workmanship for the Work, and performance of related services.

§ 1.1.7 INSTRUMENTS OF SERVICE

Instruments of Service are representations, in any medium of expression now known or later developed, of the tangible and intangible creative work performed by the Architect and the Architect's consultants under their respective professional services agreements. Instruments of Service may include, without limitation, studies, surveys, models, sketches, drawings, specifications, and other similar materials.

§ 1.1.8 INITIAL DECISION MAKER

The Initial Decision Maker is the person identified in the Agreement to render initial decisions on Claims in accordance with Section 15.2 and certify termination of the Agreement under Section 14.2.2.

§ 1.2 CORRELATION AND INTENT OF THE CONTRACT DOCUMENTS

§ 1.2.1 The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

§ 1.2.2 Organization of the Specifications into divisions, sections and articles, and arrangement of Drawings shall not control the Contractor in dividing the Work among Subcontractors or in establishing the extent of Work to be performed by any trade.

§ 1.2.3 Unless otherwise stated in the Contract Documents, words that have well-known technical or construction industry meanings are used in the Contract Documents in accordance with such recognized meanings.

§ 1.3 CAPITALIZATION

Terms capitalized in these General Conditions include those that are (1) specifically defined, (2) the titles of numbered articles or (3) the titles of other documents published by the American Institute of Architects.

§ 1.4 INTERPRETATION

In the interest of brevity the Contract Documents frequently omit modifying words such as "all" and "any" and articles such as "the" and "an," but the fact that a modifier or an article is absent from one statement and appears in another is not intended to affect the interpretation of either statement.

§ 1.5 OWNERSHIP AND USE OF DRAWINGS, SPECIFICATIONS AND OTHER INSTRUMENTS OF SERVICE

§ 1.5.1 The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and ~~will retain all~~ retain except as modified by the Professional Service Agreement between the Architect and the Owner common law, statutory and other reserved rights, including copyrights. The Contractor, Subcontractors, Sub-subcontractors, and material or equipment suppliers shall not own or claim a copyright in the Instruments of Service. Submittal or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of the Architect's or Architect's consultants' reserved rights.

§ 1.5.2 The Contractor, Subcontractors, Sub-subcontractors and material or equipment suppliers are authorized to use and reproduce the Instruments of Service provided to them solely and exclusively for execution of the Work. All copies made under this authorization shall bear the copyright notice, if any, shown on the Instruments of Service. The Contractor, Subcontractors, Sub-subcontractors, and material or equipment suppliers may not use the Instruments of Service on other projects or for additions to this Project outside the scope of the Work without the specific written consent of the Owner, Architect and the Architect's consultants.

§ 1.6 TRANSMISSION OF DATA IN DIGITAL FORM

If the parties intend to transmit Instruments of Service or any other information or documentation in digital form, they shall endeavor to establish necessary protocols governing such transmissions, unless otherwise already provided in the Agreement or the Contract Documents.

ARTICLE 2 OWNER

§ 2.1 GENERAL

§ 2.1.1 The Owner is the person or entity identified as such in the Agreement and is referred to throughout the Contract Documents as if singular in number. The Owner shall designate in writing a representative who shall have express authority to bind the Owner with respect to all matters requiring the Owner's approval or authorization. Except as otherwise provided in Section 4.2.1, the Architect does not have such authority. The term "Owner" means the Owner or the Owner's authorized representative.

§ 2.1.2 The Owner shall furnish to the Contractor within fifteen days after receipt of a written request, information necessary and relevant for the Contractor to evaluate, give notice of or enforce mechanic's lien rights. Such information shall include a correct statement of the record legal title to the property on which the Project is located, usually referred to as the site, and the Owner's interest therein.

§ 2.2 INFORMATION AND SERVICES REQUIRED OF THE OWNER

§ 2.2.1 Prior to commencement of the Work, the Contractor may request in writing that the Owner provide reasonable evidence that the Owner has made financial arrangements to fulfill the Owner's obligations under the Contract. Thereafter, the Contractor may only request such evidence if (1) the Owner fails to make payments to the Contractor as the Contract Documents require; (2) a change in the Work materially changes the Contract Sum; or (3) the Contractor identifies in writing a reasonable concern regarding the Owner's ability to make payment when due. The Owner shall furnish such evidence as a condition precedent to commencement or continuation of the Work or the

ARTICLE 1 GENERAL PROVISIONS

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The Initial Decision Maker is the person identified in the Agreement to render initial decisions on Claims in accordance with Section 15.2 and certify termination of the Agreement under Section 14.2.2.

§ 1.2 CORRELATION AND INTENT OF THE CONTRACT DOCUMENTS

§ 1.2.1 The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

§ 1.2.2 Organization of the Specifications into divisions, sections and articles, and arrangement of Drawings shall not control the Contractor in dividing the Work among Subcontractors or in establishing the extent of Work to be performed by any trade.

§ 1.2.3 Unless otherwise stated in the Contract Documents, words that have well-known technical or construction industry meanings are used in the Contract Documents in accordance with such recognized meanings.

§ 1.3 CAPITALIZATION

Terms capitalized in these General Conditions include those that are (1) specifically defined, (2) the titles of numbered articles or (3) the titles of other documents published by the American Institute of Architects.

§ 1.4 INTERPRETATION

In the interest of brevity the Contract Documents frequently omit modifying words such as "all" and "any" and articles such as "the" and "an," but the fact that a modifier or an article is absent from one statement and appears in another is not intended to affect the interpretation of either statement.

§ 1.5 OWNERSHIP AND USE OF DRAWINGS, SPECIFICATIONS AND OTHER INSTRUMENTS OF SERVICE

§ 1.5.1 The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and ~~will retain all retain except as modified by the~~ Professional Service Agreement between the Architect and the Owner common law, statutory and other reserved rights, including copyrights. The Contractor, Subcontractors, Sub-subcontractors, and material or equipment suppliers shall not own or claim a copyright in the Instruments of Service. Submittal or distribution to meet official regulatory requirements or for other purposes in connection with this Project is not to be construed as publication in derogation of the Architect's or Architect's consultants' reserved rights.

§ 1.5.2 The Contractor, Subcontractors, Sub-subcontractors and material or equipment suppliers are authorized to use and reproduce the Instruments of Service provided to them solely and exclusively for execution of the Work. All copies made under this authorization shall bear the copyright notice, if any, shown on the Instruments of Service. The Contractor, Subcontractors, Sub-subcontractors, and material or equipment suppliers may not use the Instruments of Service on other projects or for additions to this Project outside the scope of the Work without the specific written consent of the Owner, Architect and the Architect's consultants.

§ 1.6 TRANSMISSION OF DATA IN DIGITAL FORM

If the parties intend to transmit Instruments of Service or any other information or documentation in digital form, they shall endeavor to establish necessary protocols governing such transmissions, unless otherwise already provided in the Agreement or the Contract Documents.

ARTICLE 2 OWNER

§ 2.1 GENERAL

§ 2.1.1 The Owner is the person or entity identified as such in the Agreement and is referred to throughout the Contract Documents as if singular in number. The Owner shall designate in writing a representative who shall have express authority to bind the Owner with respect to all matters requiring the Owner's approval or authorization. Except as otherwise provided in Section 4.2.1, the Architect does not have such authority. The term "Owner" means the Owner or the Owner's authorized representative.

§ 2.1.2 The Owner shall furnish to the Contractor within fifteen days after receipt of a written request, information necessary and relevant for the Contractor to evaluate, give notice of or enforce mechanic's lien rights. Such information shall include a correct statement of the record legal title to the property on which the Project is located, usually referred to as the site, and the Owner's interest therein.

§ 2.2 INFORMATION AND SERVICES REQUIRED OF THE OWNER

§ 2.2.1 Prior to commencement of the Work, the Contractor may request in writing that the Owner provide reasonable evidence that the Owner has made financial arrangements to fulfill the Owner's obligations under the Contract. Thereafter, the Contractor may only request such evidence if (1) the Owner fails to make payments to the Contractor as the Contract Documents require; (2) a change in the Work materially changes the Contract Sum; or (3) the Contractor identifies in writing a reasonable concern regarding the Owner's ability to make payment when due. The Owner shall furnish such evidence as a condition precedent to commencement or continuation of the Work or the

portion of the Work affected by a material change. After the Owner furnishes the evidence, the Owner shall not materially vary such financial arrangements without prior notice to the Contractor.

§ 2.2.2 Except for permits and fees that are the responsibility of the Contractor under the Contract Documents, including those required under Section 3.7.1, the Owner shall secure and pay for necessary approvals, easements, assessments and charges required for construction, use or occupancy of permanent structures or for permanent changes in existing facilities.

§ 2.2.3 The Owner shall furnish surveys describing physical characteristics, legal limitations and utility locations for the site of the Project, and a legal description of the site. The Contractor shall be entitled to rely on the accuracy of information furnished by the Owner but shall exercise proper precautions relating to the safe performance of the Work.

§ 2.2.4 The Owner shall furnish information or services required of the Owner by the Contract Documents with reasonable promptness. The Owner shall also furnish any other information or services under the Owner's control and relevant to the Contractor's performance of the Work with reasonable promptness after receiving the Contractor's written request for such information or services.

§ 2.2.5 Unless otherwise provided in the Contract Documents, the Owner shall furnish to the Contractor one copy of the Contract Documents for purposes of making reproductions pursuant to Section 1.5.2.

§ 2.3 OWNER'S RIGHT TO STOP THE WORK

If the Contractor fails to correct Work that is not in accordance with the requirements of the Contract Documents as required by Section 12.2 or repeatedly fails to carry out Work in accordance with the Contract Documents, the Owner may issue a written order to the Contractor to stop the Work, or any portion thereof, until the cause for such order has been eliminated; however, the right of the Owner to stop the Work shall not give rise to a duty on the part of the Owner to exercise this right for the benefit of the Contractor or any other person or entity, except to the extent required by Section 6.1.3.

§ 2.4 OWNER'S RIGHT TO CARRY OUT THE WORK

If the Contractor defaults or neglects to carry out the Work in accordance with the Contract Documents and fails within a ten-day period after receipt of written notice from the Owner to commence and continue correction of such default or neglect with diligence and promptness, the Owner may, without prejudice to other remedies the Owner may have, correct such deficiencies. In such case an appropriate Change Order shall be issued deducting from payments then or thereafter due the Contractor the reasonable cost of correcting such deficiencies, including Owner's expenses and compensation for the Architect's additional services made necessary by such default, neglect or failure. Such action by the Owner and amounts charged to the Contractor are both subject to prior approval of the Architect. If payments then or thereafter due the Contractor are not sufficient to cover such amounts, the Contractor shall pay the difference to the Owner.

ARTICLE 3 CONTRACTOR

§ 3.1 GENERAL

§ 3.1.1 The Contractor is the person or entity identified as such in the Agreement and is referred to throughout the Contract Documents as if singular in number. The Contractor shall be lawfully licensed, if required in the jurisdiction where the Project is located. The Contractor shall designate in writing a representative who shall have express authority to bind the Contractor with respect to all matters under this Contract. The term "Contractor" means the Contractor or the Contractor's authorized representative.

§ 3.1.2 The Contractor shall perform the Work in accordance with the Contract Documents.

§ 3.1.3 The Contractor shall not be relieved of obligations to perform the Work in accordance with the Contract Documents either by activities or duties of the Architect in the Architect's administration of the Contract, or by tests, inspections or approvals required or performed by persons or entities other than the Contractor.

§ 3.2 REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS BY CONTRACTOR

§ 3.2.1 Execution of the Contract by the Contractor is a representation that the Contractor has visited the site, become generally familiar with local conditions under which the Work is to be performed and correlated personal observations with requirements of the Contract Documents.

§ 3.2.2 Because the Contract Documents are complementary, the Contractor shall, before starting each portion of the Work, carefully study and compare the various Contract Documents relative to that portion of the Work, as well as the information furnished by the Owner pursuant to Section 2.2.3, shall take field measurements of any existing conditions related to that portion of the Work, and shall observe any conditions at the site affecting it. These obligations are for the purpose of facilitating coordination and construction by the Contractor and are not for the purpose of discovering errors, omissions, or inconsistencies in the Contract Documents; however, the Contractor shall promptly report to the Architect any errors, inconsistencies or omissions discovered by or made known to the Contractor as a request for information in such form as the Architect may require. It is recognized that the Contractor's review is made in the Contractor's capacity as a contractor and not as a licensed design professional, unless otherwise specifically provided in the Contract Documents.

§ 3.2.3 The Contractor is not required to ascertain that the Contract Documents are in accordance with applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, but the Contractor shall promptly report to the Architect any nonconformity discovered by or made known to the Contractor as a request for information in such form as the Architect may require.

§ 3.2.4 If the Contractor believes that additional cost or time is involved because of clarifications or instructions the Architect issues in response to the Contractor's notices or requests for information pursuant to Sections 3.2.2 or 3.2.3, the Contractor shall make Claims as provided in Article 15. If the Contractor fails to perform the obligations of Sections 3.2.2 or 3.2.3, the Contractor shall pay such costs and damages to the Owner as would have been avoided if the Contractor had performed such obligations. If the Contractor performs those obligations, the Contractor shall not be liable to the Owner or Architect for damages resulting from errors, inconsistencies or omissions in the Contract Documents, for differences between field measurements or conditions and the Contract Documents, or for nonconformities of the Contract Documents to applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities.

§ 3.3 SUPERVISION AND CONSTRUCTION PROCEDURES

§ 3.3.1 The Contractor shall supervise and direct the Work, using the Contractor's best skill and attention. The Contractor shall be solely responsible for, and have control over, construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract, unless the Contract Documents give other specific instructions concerning these matters. If the Contract Documents give specific instructions concerning construction means, methods, techniques, sequences or procedures, the Contractor shall evaluate the jobsite safety thereof and, except as stated below, shall be fully and solely responsible for the jobsite safety of such means, methods, techniques, sequences or procedures. If the Contractor determines that such means, methods, techniques, sequences or procedures may not be safe, the Contractor shall give timely written notice to the Owner and Architect and shall not proceed with that portion of the Work without further written instructions from the Architect. If the Contractor is then instructed to proceed with the required means, methods, techniques, sequences or procedures without acceptance of changes proposed by the Contractor, the Owner shall be solely responsible for any loss or damage arising solely from those Owner-required means, methods, techniques, sequences or procedures.

§ 3.3.2 The Contractor shall be responsible to the Owner for acts and omissions of the Contractor's employees, Subcontractors and their agents and employees, and other persons or entities performing portions of the Work for, or on behalf of, the Contractor or any of its Subcontractors.

§ 3.3.3 The Contractor shall be responsible for inspection of portions of Work already performed to determine that such portions are in proper condition to receive subsequent Work.

§ 3.4 LABOR AND MATERIALS

§ 3.4.1 Unless otherwise provided in the Contract Documents, the Contractor shall provide and pay for labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for proper execution and completion of the Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.

§ 3.4.2 Except in the case of minor changes in the Work authorized by the Architect in accordance with Sections 3.12.8 or 7.4, the Contractor may make substitutions only with the consent of the Owner, after evaluation by the Architect and in accordance with a Change Order or Construction Change Directive.

§ 3.4.3 The Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Work. The Contractor shall not permit employment of unfit persons or persons not properly skilled in tasks assigned to them.

§ 3.5 WARRANTY

The Contractor warrants to the Owner and Architect that materials and equipment furnished under the Contract will be of good quality and new unless the Contract Documents require or permit otherwise. The Contractor further warrants that the Work will conform to the requirements of the Contract Documents and will be free from defects, except for those inherent in the quality of the Work the Contract Documents require or permit. Work, materials, or equipment not conforming to these requirements may be considered defective. The Contractor's warranty excludes remedy for damage or defect caused by abuse, alterations to the Work not executed by the Contractor, improper or insufficient maintenance, improper operation, or normal wear and tear and normal usage. If required by the Architect, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment.

§ 3.6 TAXES

~~The Contractor shall pay sales, consumer, use and similar taxes for the Work provided by the Contractor that are legally enacted when bids are received or negotiations concluded, whether or not yet effective or merely scheduled to go into effect.~~ Project/Owner Tax Exempt.

§ 3.7 PERMITS, FEES, NOTICES AND COMPLIANCE WITH LAWS

§ 3.7.1 Unless otherwise provided in the Contract Documents, the Contractor shall secure and pay for the building permit as well as for other permits, fees, licenses, and inspections by government agencies necessary for proper execution and completion of the Work that are customarily secured after execution of the Contract and legally required at the time bids are received or negotiations concluded.

§ 3.7.2 The Contractor shall comply with and give notices required by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities applicable to performance of the Work.

§ 3.7.3 If the Contractor performs Work knowing it to be contrary to applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, the Contractor shall assume appropriate responsibility for such Work and shall bear the costs attributable to correction.

§ 3.7.4 **Concealed or Unknown Conditions.** If the Contractor encounters conditions at the site that are (1) subsurface or otherwise concealed physical conditions that differ materially from those indicated in the Contract Documents or (2) unknown physical conditions of an unusual nature, that differ materially from those ordinarily found to exist and generally recognized as inherent in construction activities of the character provided for in the Contract Documents, the Contractor shall promptly provide notice to the Owner and the Architect before conditions are disturbed and in no event later than 21 days after first observance of the conditions. The Architect will promptly investigate such conditions and, if the Architect determines that they differ materially and cause an increase or decrease in the Contractor's cost of, or time required for, performance of any part of the Work, will recommend an equitable adjustment in the Contract Sum or Contract Time, or both. If the Architect determines that the conditions at the site are not materially different from those indicated in the Contract Documents and that no change in the terms of the Contract is justified, the Architect shall promptly notify the Owner and Contractor in writing, stating the reasons. If either party disputes the Architect's determination or recommendation, that party may proceed as provided in Article 15.

§ 3.7.5 If, in the course of the Work, the Contractor encounters human remains or recognizes the existence of burial markers, archaeological sites or wetlands not indicated in the Contract Documents, the Contractor shall immediately suspend any operations that would affect them and shall notify the Owner and Architect. Upon receipt of such notice, the Owner shall promptly take any action necessary to obtain governmental authorization required to resume the operations. The Contractor shall continue to suspend such operations until otherwise instructed by the Owner but shall continue with all other operations that do not affect those remains or features. Requests for adjustments in the Contract Sum and Contract Time arising from the existence of such remains or features may be made as provided in Article 15.

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§ 3.8 ALLOWANCES

§ 3.8.1 The Contractor shall include in the Contract Sum all allowances stated in the Contract Documents. Items covered by allowances shall be supplied for such amounts and by such persons or entities as the Owner may direct, but the Contractor shall not be required to employ persons or entities to whom the Contractor has reasonable objection.

§ 3.8.2 Unless otherwise provided in the Contract Documents,

- .1 Allowances shall cover the cost to the Contractor of materials and equipment delivered at the site and all required taxes, less applicable trade discounts;
- .2 Contractor's costs for unloading and handling at the site, labor, installation costs, overhead, profit and other expenses contemplated for stated allowance amounts shall be included in the Contract Sum but not in the allowances; and
- .3 Whenever costs are more than or less than allowances, the Contract Sum shall be adjusted accordingly by Change Order. The amount of the Change Order shall reflect (1) the difference between actual costs and the allowances under Section 3.8.2.1 and (2) changes in Contractor's costs under Section 3.8.2.2.

§ 3.8.3 Materials and equipment under an allowance shall be selected by the Owner with reasonable promptness.

§ 3.9 SUPERINTENDENT

§ 3.9.1 The Contractor shall employ a competent superintendent and necessary assistants who shall be in attendance at the Project site during performance of the Work. The superintendent shall represent the Contractor, and communications given to the superintendent shall be as binding as if given to the Contractor.

§ 3.9.2 The Contractor, as soon as practicable after award of the Contract, shall furnish in writing to the Owner through the Architect the name and qualifications of a proposed superintendent. The Architect may reply within 14 days to the Contractor in writing stating (1) whether the Owner or the Architect has reasonable objection to the proposed superintendent or (2) that the Architect requires additional time to review. Failure of the Architect to reply within the 14 day period shall constitute notice of no reasonable objection.

§ 3.9.3 The Contractor shall not employ a proposed superintendent to whom the Owner or Architect has made reasonable and timely objection. The Contractor shall not change the superintendent without the Owner's consent, which shall not unreasonably be withheld or delayed.

§ 3.10 CONTRACTOR'S CONSTRUCTION SCHEDULES

§ 3.10.1 The Contractor, promptly after being awarded the Contract, shall prepare and submit for the Owner's and Architect's information a Contractor's construction schedule for the Work. The schedule shall not exceed time limits current under the Contract Documents, shall be revised at appropriate intervals as required by the conditions of the Work and Project, shall be related to the entire Project to the extent required by the Contract Documents, and shall provide for expeditious and practicable execution of the Work.

§ 3.10.2 The Contractor shall prepare a submittal schedule, promptly after being awarded the Contract and thereafter as necessary to maintain a current submittal schedule, and shall submit the schedule(s) for the Architect's approval. The Architect's approval shall not unreasonably be delayed or withheld. The submittal schedule shall (1) be coordinated with the Contractor's construction schedule, and (2) allow the Architect reasonable time to review submittals. If the Contractor fails to submit a submittal schedule, the Contractor shall not be entitled to any increase in Contract Sum or extension of Contract Time based on the time required for review of submittals.

§ 3.10.3 The Contractor shall perform the Work in general accordance with the most recent schedules submitted to the Owner and Architect.

§ 3.11 DOCUMENTS AND SAMPLES AT THE SITE

The Contractor shall maintain at the site for the Owner one copy of the Drawings, Specifications, Addenda, Change Orders and other Modifications, in good order and marked currently to indicate field changes and selections made during construction, and one copy of approved Shop Drawings, Product Data, Samples and similar required submittals. These shall be available to the Architect and shall be delivered to the Architect for submittal to the Owner upon completion of the Work as a record of the Work as constructed.

§ 3.12 SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

§ 3.12.1 Shop Drawings are drawings, diagrams, schedules and other data specially prepared for the Work by the Contractor or a Subcontractor, Sub-subcontractor, manufacturer, supplier or distributor to illustrate some portion of the Work.

§ 3.12.2 Product Data are illustrations, standard schedules, performance charts, instructions, brochures, diagrams and other information furnished by the Contractor to illustrate materials or equipment for some portion of the Work.

§ 3.12.3 Samples are physical examples that illustrate materials, equipment or workmanship and establish standards by which the Work will be judged.

§ 3.12.4 Shop Drawings, Product Data, Samples and similar submittals are not Contract Documents. Their purpose is to demonstrate the way by which the Contractor proposes to conform to the information given and the design concept expressed in the Contract Documents for those portions of the Work for which the Contract Documents require submittals. Review by the Architect is subject to the limitations of Section 4.2.7. Informational submittals upon which the Architect is not expected to take responsive action may be so identified in the Contract Documents. Submittals that are not required by the Contract Documents may be returned by the Architect without action.

§ 3.12.5 The Contractor shall review for compliance with the Contract Documents, approve and submit to the Architect Shop Drawings, Product Data, Samples and similar submittals required by the Contract Documents in accordance with the submittal schedule approved by the Architect or, in the absence of an approved submittal schedule, with reasonable promptness and in such sequence as to cause no delay in the Work or in the activities of the Owner or of separate contractors.

§ 3.12.6 By submitting Shop Drawings, Product Data, Samples and similar submittals, the Contractor represents to the Owner and Architect that the Contractor has (1) reviewed and approved them, (2) determined and verified materials, field measurements and field construction criteria related thereto, or will do so and (3) checked and coordinated the information contained within such submittals with the requirements of the Work and of the Contract Documents.

§ 3.12.7 The Contractor shall perform no portion of the Work for which the Contract Documents require submittal and review of Shop Drawings, Product Data, Samples or similar submittals until the respective submittal has been approved by the Architect.

§ 3.12.8 The Work shall be in accordance with approved submittals except that the Contractor shall not be relieved of responsibility for deviations from requirements of the Contract Documents by the Architect's approval of Shop Drawings, Product Data, Samples or similar submittals unless the Contractor has specifically informed the Architect in writing of such deviation at the time of submittal and (1) the Architect has given written approval to the specific deviation as a minor change in the Work, or (2) a Change Order or Construction Change Directive has been issued authorizing the deviation. The Contractor shall not be relieved of responsibility for errors or omissions in Shop Drawings, Product Data, Samples or similar submittals by the Architect's approval thereof.

§ 3.12.9 The Contractor shall direct specific attention, in writing or on resubmitted Shop Drawings, Product Data, Samples or similar submittals, to revisions other than those requested by the Architect on previous submittals. In the absence of such written notice, the Architect's approval of a resubmission shall not apply to such revisions.

§ 3.12.10 The Contractor shall not be required to provide professional services that constitute the practice of architecture or engineering unless such services are specifically required by the Contract Documents for a portion of the Work or unless the Contractor needs to provide such services in order to carry out the Contractor's responsibilities for construction means, methods, techniques, sequences and procedures. The Contractor shall not be required to provide professional services in violation of applicable law. If professional design services or certifications by a design professional related to systems, materials or equipment are specifically required of the Contractor by the Contract Documents, the Owner and the Architect will specify all performance and design criteria that such services must satisfy. The Contractor shall cause such services or certifications to be provided by a properly licensed design professional, whose signature and seal shall appear on all drawings, calculations, specifications, certifications, Shop Drawings and other submittals prepared by such professional. Shop Drawings and other submittals related to the Work designed or certified by such professional, if prepared by others, shall bear such professional's written approval when submitted to the Architect. The Owner and the Architect shall be entitled to rely upon the adequacy, accuracy and

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completeness of the services, certifications and approvals performed or provided by such design professionals, provided the Owner and Architect have specified to the Contractor all performance and design criteria that such services must satisfy. Pursuant to this Section 3.12.10, the Architect will review, approve or take other appropriate action on submittals only for the limited purpose of checking for conformance with information given and the design concept expressed in the Contract Documents. The Contractor shall not be responsible for the adequacy of the performance and design criteria specified in the Contract Documents.

§ 3.13 USE OF SITE

The Contractor shall confine operations at the site to areas permitted by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities and the Contract Documents and shall not unreasonably encumber the site with materials or equipment.

§ 3.14 CUTTING AND PATCHING

§ 3.14.1 The Contractor shall be responsible for cutting, fitting or patching required to complete the Work or to make its parts fit together properly. All areas requiring cutting, fitting and patching shall be restored to the condition existing prior to the cutting, fitting and patching, unless otherwise required by the Contract Documents.

§ 3.14.2 The Contractor shall not damage or endanger a portion of the Work or fully or partially completed construction of the Owner or separate contractors by cutting, patching or otherwise altering such construction, or by excavation. The Contractor shall not cut or otherwise alter such construction by the Owner or a separate contractor except with written consent of the Owner and of such separate contractor; such consent shall not be unreasonably withheld. The Contractor shall not unreasonably withhold from the Owner or a separate contractor the Contractor's consent to cutting or otherwise altering the Work.

§ 3.15 CLEANING UP

§ 3.15.1 The Contractor shall keep the premises and surrounding area free from accumulation of waste materials or rubbish caused by operations under the Contract. At completion of the Work, the Contractor shall remove waste materials, rubbish, the Contractor's tools, construction equipment, machinery and surplus materials from and about the Project.

§ 3.15.2 If the Contractor fails to clean up as provided in the Contract Documents, the Owner may do so and Owner shall be entitled to reimbursement from the Contractor.

§ 3.16 ACCESS TO WORK

The Contractor shall provide the Owner and Architect access to the Work in preparation and progress wherever located.

§ 3.17 ROYALTIES, PATENTS AND COPYRIGHTS

The Contractor shall pay all royalties and license fees. The Contractor shall defend suits or claims for infringement of copyrights and patent rights and shall hold the Owner and Architect harmless from loss on account thereof, but shall not be responsible for such defense or loss when a particular design, process or product of a particular manufacturer or manufacturers is required by the Contract Documents, or where the copyright violations are contained in Drawings, Specifications or other documents prepared by the Owner or Architect. However, if the Contractor has reason to believe that the required design, process or product is an infringement of a copyright or a patent, the Contractor shall be responsible for such loss unless such information is promptly furnished to the Architect.

§ 3.18 INDEMNIFICATION

§ 3.18.1 To the fullest extent permitted by law the Contractor shall indemnify and hold harmless the Owner, Architect, Architect's consultants, and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting from performance of the Work, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent acts or omissions of the Contractor, a Subcontractor, anyone directly or indirectly employed by them or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to negate, abridge, or reduce other rights or obligations of indemnity that would otherwise exist as to a party or person described in this Section 3.18.

§ 3.18.2 In claims against any person or entity indemnified under this Section 3.18 by an employee of the Contractor, a Subcontractor, anyone directly or indirectly employed by them or anyone for whose acts they may be liable, the indemnification obligation under Section 3.18.1 shall not be limited by a limitation on amount or type of damages, compensation or benefits payable by or for the Contractor or a Subcontractor under workers' compensation acts, disability benefit acts or other employee benefit acts.

ARTICLE 4 ARCHITECT

§ 4.1 GENERAL

§ 4.1.1 The Owner shall retain an architect lawfully licensed to practice architecture or an entity lawfully practicing architecture in the jurisdiction where the Project is located. That person or entity is identified as the Architect in the Agreement and is referred to throughout the Contract Documents as if singular in number.

§ 4.1.2 Duties, responsibilities and limitations of authority of the Architect as set forth in the Contract Documents shall not be restricted, modified or extended without written consent of the Owner, Contractor and Architect. Consent shall not be unreasonably withheld.

§ 4.1.3 If the employment of the Architect is terminated, the Owner shall employ a successor architect as to whom the Contractor has no reasonable objection and whose status under the Contract Documents shall be that of the Architect.

§ 4.2 ADMINISTRATION OF THE CONTRACT

§ 4.2.1 The Architect will provide administration of the Contract as described in the Contract Documents and will be an Owner's representative during construction until the date the Architect issues the final Certificate for Payment. The Architect will have authority to act on behalf of the Owner only to the extent provided in the Contract Documents.

§ 4.2.2 The Architect will visit the site at intervals appropriate to the stage of construction, or as otherwise agreed with the Owner, to become generally familiar with the progress and quality of the portion of the Work completed, and to determine in general if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the Contract Documents. However, the Architect will not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. The Architect will not have control over, charge of, or responsibility for, the construction means, methods, techniques, sequences or procedures, or for the safety precautions and programs in connection with the Work, since these are solely the Contractor's rights and responsibilities under the Contract Documents, except as provided in Section 3.3.1.

§ 4.2.3 On the basis of the site visits, the Architect will keep the Owner reasonably informed about the progress and quality of the portion of the Work completed, and report to the Owner (1) known deviations from the Contract Documents and from the most recent construction schedule submitted by the Contractor, and (2) defects and deficiencies observed in the Work. The Architect will not be responsible for the Contractor's failure to perform the Work in accordance with the requirements of the Contract Documents. The Architect will not have control over or charge of and will not be responsible for acts or omissions of the Contractor, Subcontractors, or their agents or employees, or any other persons or entities performing portions of the Work.

§ 4.2.4 COMMUNICATIONS FACILITATING CONTRACT ADMINISTRATION

Except as otherwise provided in the Contract Documents or when direct communications have been specially authorized, the Owner and Contractor shall endeavor to communicate with each other through the Architect about matters arising out of or relating to the Contract. Communications by and with the Architect's consultants shall be through the Architect. Communications by and with Subcontractors and material suppliers shall be through the Contractor. Communications by and with separate contractors shall be through the Owner.

§ 4.2.5 Based on the Architect's evaluations of the Contractor's Applications for Payment, the Architect will review and certify the amounts due the Contractor and will issue Certificates for Payment in such amounts.

§ 4.2.6 The Architect has authority to reject Work that does not conform to the Contract Documents. Whenever the Architect considers it necessary or advisable, the Architect will have authority to require inspection or testing of the Work in accordance with Sections 13.5.2 and 13.5.3, whether or not such Work is fabricated, installed or completed. However, neither this authority of the Architect nor a decision made in good faith either to exercise or not to exercise such authority shall give rise to a duty or responsibility of the Architect to the Contractor, Subcontractors, material and equipment suppliers, their agents or employees, or other persons or entities performing portions of the Work.

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§ 4.2.7 The Architect will review and approve, or take other appropriate action upon, the Contractor's submittals such as Shop Drawings, Product Data and Samples, but only for the limited purpose of checking for conformance with information given and the design concept expressed in the Contract Documents. The Architect's action will be taken in accordance with the submittal schedule approved by the Architect or, in the absence of an approved submittal schedule, with reasonable promptness while allowing sufficient time in the Architect's professional judgment to permit adequate review. Review of such submittals is not conducted for the purpose of determining the accuracy and completeness of other details such as dimensions and quantities, or for substantiating instructions for installation or performance of equipment or systems, all of which remain the responsibility of the Contractor as required by the Contract Documents. The Architect's review of the Contractor's submittals shall not relieve the Contractor of the obligations under Sections 3.3, 3.5 and 3.12. The Architect's review shall not constitute approval of safety precautions or, unless otherwise specifically stated by the Architect, of any construction means, methods, techniques, sequences or procedures. The Architect's approval of a specific item shall not indicate approval of an assembly of which the item is a component.

§ 4.2.8 The Architect will prepare Change Orders and Construction Change Directives, and may authorize minor changes in the Work as provided in Section 7.4. The Architect will investigate and make determinations and recommendations regarding concealed and unknown conditions as provided in Section 3.7.4.

§ 4.2.9 The Architect will conduct inspections to determine the date or dates of Substantial Completion and the date of final completion; issue Certificates of Substantial Completion pursuant to Section 9.8; receive and forward to the Owner, for the Owner's review and records, written warranties and related documents required by the Contract and assembled by the Contractor pursuant to Section 9.10; and issue a final Certificate for Payment pursuant to Section 9.10.

§ 4.2.10 If the Owner and Architect agree, the Architect will provide one or more project representatives to assist in carrying out the Architect's responsibilities at the site. The duties, responsibilities and limitations of authority of such project representatives shall be as set forth in an exhibit to be incorporated in the Contract Documents.

§ 4.2.11 The Architect will interpret and decide matters concerning performance under, and requirements of, the Contract Documents on written request of either the Owner or Contractor. The Architect's response to such requests will be made in writing within any time limits agreed upon or otherwise with reasonable promptness.

§ 4.2.12 Interpretations and decisions of the Architect will be consistent with the intent of, and reasonably inferable from, the Contract Documents and will be in writing or in the form of drawings. When making such interpretations and decisions, the Architect will endeavor to secure faithful performance by both Owner and Contractor, will not show partiality to either and will not be liable for results of interpretations or decisions rendered in good faith.

§ 4.2.13 The Architect's decisions on matters relating to aesthetic effect will be final if consistent with the intent expressed in the Contract Documents.

§ 4.2.14 The Architect will review and respond to requests for information about the Contract Documents. The Architect's response to such requests will be made in writing within any time limits agreed upon or otherwise with reasonable promptness. If appropriate, the Architect will prepare and issue supplemental Drawings and Specifications in response to the requests for information.

ARTICLE 5 SUBCONTRACTORS

§ 5.1 DEFINITIONS

§ 5.1.1 A Subcontractor is a person or entity who has a direct contract with the Contractor to perform a portion of the Work at the site. The term "Subcontractor" is referred to throughout the Contract Documents as if singular in number and means a Subcontractor or an authorized representative of the Subcontractor. The term "Subcontractor" does not include a separate contractor or subcontractors of a separate contractor.

§ 5.1.2 A Sub-subcontractor is a person or entity who has a direct or indirect contract with a Subcontractor to perform a portion of the Work at the site. The term "Sub-subcontractor" is referred to throughout the Contract Documents as if singular in number and means a Sub-subcontractor or an authorized representative of the Sub-subcontractor.

§ 5.2 AWARD OF SUBCONTRACTS AND OTHER CONTRACTS FOR PORTIONS OF THE WORK

§ 5.2.1 Unless otherwise stated in the Contract Documents or the bidding requirements, the Contractor, as soon as practicable after award of the Contract, shall furnish in writing to the Owner through the Architect the names of persons or entities (including those who are to furnish materials or equipment fabricated to a special design) proposed for each principal portion of the Work. The Architect may reply within 14 days to the Contractor in writing stating (1) whether the Owner or the Architect has reasonable objection to any such proposed person or entity or (2) that the Architect requires additional time for review. Failure of the Owner or Architect to reply within the 14-day period shall constitute notice of no reasonable objection.

§ 5.2.2 The Contractor shall not contract with a proposed person or entity to whom the Owner or Architect has made reasonable and timely objection. The Contractor shall not be required to contract with anyone to whom the Contractor has made reasonable objection.

§ 5.2.3 If the Owner or Architect has reasonable objection to a person or entity proposed by the Contractor, the Contractor shall propose another to whom the Owner or Architect has no reasonable objection. If the proposed but rejected Subcontractor was reasonably capable of performing the Work, the Contract Sum and Contract Time shall be increased or decreased by the difference, if any, occasioned by such change, and an appropriate Change Order shall be issued before commencement of the substitute Subcontractor's Work. However, no increase in the Contract Sum or Contract Time shall be allowed for such change unless the Contractor has acted promptly and responsively in submitting names as required.

§ 5.2.4 The Contractor shall not substitute a Subcontractor, person or entity previously selected if the Owner or Architect makes reasonable objection to such substitution.

§ 5.3 SUBCONTRACTUAL RELATIONS

By appropriate agreement, written where legally required for validity, the Contractor shall require each Subcontractor, to the extent of the Work to be performed by the Subcontractor, to be bound to the Contractor by terms of the Contract Documents, and to assume toward the Contractor all the obligations and responsibilities, including the responsibility for safety of the Subcontractor's Work, which the Contractor, by these Documents, assumes toward the Owner and Architect. Each subcontract agreement shall preserve and protect the rights of the Owner and Architect under the Contract Documents with respect to the Work to be performed by the Subcontractor so that subcontracting thereof will not prejudice such rights, and shall allow to the Subcontractor, unless specifically provided otherwise in the subcontract agreement, the benefit of all rights, remedies and redress against the Contractor that the Contractor, by the Contract Documents, has against the Owner. Where appropriate, the Contractor shall require each Subcontractor to enter into similar agreements with Sub-subcontractors. The Contractor shall make available to each proposed Subcontractor, prior to the execution of the subcontract agreement, copies of the Contract Documents to which the Subcontractor will be bound, and, upon written request of the Subcontractor, identify to the Subcontractor terms and conditions of the proposed subcontract agreement that may be at variance with the Contract Documents. Subcontractors will similarly make copies of applicable portions of such documents available to their respective proposed Sub-subcontractors.

§ 5.4 CONTINGENT ASSIGNMENT OF SUBCONTRACTS

§ 5.4.1 Each subcontract agreement for a portion of the Work is assigned by the Contractor to the Owner, provided that

- .1 assignment is effective only after termination of the Contract by the Owner for cause pursuant to Section 14.2 and only for those subcontract agreements that the Owner accepts by notifying the Subcontractor and Contractor in writing; and
- .2 assignment is subject to the prior rights of the surety, if any, obligated under bond relating to the Contract.

When the Owner accepts the assignment of a subcontract agreement, the Owner assumes the Contractor's rights and obligations under the subcontract.

§ 5.4.2 Upon such assignment, if the Work has been suspended for more than 30 days, the Subcontractor's compensation shall be equitably adjusted for increases in cost resulting from the suspension.

§ 5.4.3 Upon such assignment to the Owner under this Section 5.4, the Owner may further assign the subcontract to a successor contractor or other entity. If the Owner assigns the subcontract to a successor contractor or other entity, the

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Owner shall nevertheless remain legally responsible for all of the successor contractor's obligations under the subcontract.

ARTICLE 6 CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS

§ 6.1 OWNER'S RIGHT TO PERFORM CONSTRUCTION AND TO AWARD SEPARATE CONTRACTS

§ 6.1.1 The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces, and to award separate contracts in connection with other portions of the Project or other construction or operations on the site under Conditions of the Contract identical or substantially similar to these including those portions related to insurance and waiver of subrogation. If the Contractor claims that delay or additional cost is involved because of such action by the Owner, the Contractor shall make such Claim as provided in Article 15.

§ 6.1.2 When separate contracts are awarded for different portions of the Project or other construction or operations on the site, the term "Contractor" in the Contract Documents in each case shall mean the Contractor who executes each separate Owner-Contractor Agreement.

§ 6.1.3 The Owner shall provide for coordination of the activities of the Owner's own forces and of each separate contractor with the Work of the Contractor, who shall cooperate with them. The Contractor shall participate with other separate contractors and the Owner in reviewing their construction schedules. The Contractor shall make any revisions to the construction schedule deemed necessary after a joint review and mutual agreement. The construction schedules shall then constitute the schedules to be used by the Contractor, separate contractors and the Owner until subsequently revised.

§ 6.1.4 Unless otherwise provided in the Contract Documents, when the Owner performs construction or operations related to the Project with the Owner's own forces, the Owner shall be deemed to be subject to the same obligations and to have the same rights that apply to the Contractor under the Conditions of the Contract, including, without excluding others, those stated in Article 3, this Article 6 and Articles 10, 11 and 12.

§ 6.2 MUTUAL RESPONSIBILITY

§ 6.2.1 The Contractor shall afford the Owner and separate contractors reasonable opportunity for introduction and storage of their materials and equipment and performance of their activities, and shall connect and coordinate the Contractor's construction and operations with theirs as required by the Contract Documents.

§ 6.2.2 If part of the Contractor's Work depends for proper execution or results upon construction or operations by the Owner or a separate contractor, the Contractor shall, prior to proceeding with that portion of the Work, promptly report to the Architect apparent discrepancies or defects in such other construction that would render it unsuitable for such proper execution and results. Failure of the Contractor so to report shall constitute an acknowledgment that the Owner's or separate contractor's completed or partially completed construction is fit and proper to receive the Contractor's Work, except as to defects not then reasonably discoverable.

§ 6.2.3 The Contractor shall reimburse the Owner for costs the Owner incurs that are payable to a separate contractor because of the Contractor's delays, improperly timed activities or defective construction. The Owner shall be responsible to the Contractor for costs the Contractor incurs because of a separate contractor's delays, improperly timed activities, damage to the Work or defective construction.

§ 6.2.4 The Contractor shall promptly remedy damage the Contractor wrongfully causes to completed or partially completed construction or to property of the Owner or separate contractors as provided in Section 10.2.5.

§ 6.2.5 The Owner and each separate contractor shall have the same responsibilities for cutting and patching as are described for the Contractor in Section 3.14.

§ 6.3 OWNER'S RIGHT TO CLEAN UP

If a dispute arises among the Contractor, separate contractors and the Owner as to the responsibility under their respective contracts for maintaining the premises and surrounding area free from waste materials and rubbish, the Owner may clean up and the Architect will allocate the cost among those responsible.

ARTICLE 7 CHANGES IN THE WORK

§ 7.1 GENERAL

§ 7.1.1 Changes in the Work may be accomplished after execution of the Contract, and without invalidating the Contract, by Change Order, Construction Change Directive or order for a minor change in the Work, subject to the limitations stated in this Article 7 and elsewhere in the Contract Documents.

§ 7.1.2 A Change Order shall be based upon agreement among the Owner, Contractor and Architect; a Construction Change Directive requires agreement by the Owner and Architect and may or may not be agreed to by the Contractor; an order for a minor change in the Work may be issued by the Architect alone.

§ 7.1.3 Changes in the Work shall be performed under applicable provisions of the Contract Documents, and the Contractor shall proceed promptly, unless otherwise provided in the Change Order, Construction Change Directive or order for a minor change in the Work.

§ 7.2 CHANGE ORDERS

§ 7.2.1 A Change Order is a written instrument prepared by the Architect and signed by the Owner, Contractor and Architect stating their agreement upon all of the following:

- .1 The change in the Work;
- .2 The amount of the adjustment, if any, in the Contract Sum; and
- .3 The extent of the adjustment, if any, in the Contract Time.

§ 7.3 CONSTRUCTION CHANGE DIRECTIVES

§ 7.3.1 A Construction Change Directive is a written order prepared by the Architect and signed by the Owner and Architect, directing a change in the Work prior to agreement on adjustment, if any, in the Contract Sum or Contract Time, or both. The Owner may by Construction Change Directive, without invalidating the Contract, order changes in the Work within the general scope of the Contract consisting of additions, deletions or other revisions, the Contract Sum and Contract Time being adjusted accordingly.

§ 7.3.2 A Construction Change Directive shall be used in the absence of total agreement on the terms of a Change Order.

§ 7.3.3 If the Construction Change Directive provides for an adjustment to the Contract Sum, the adjustment shall be based on one of the following methods:

- .1 Mutual acceptance of a lump sum properly itemized and supported by sufficient substantiating data to permit evaluation;
- .2 Unit prices stated in the Contract Documents or subsequently agreed upon;
- .3 Cost to be determined in a manner agreed upon by the parties and a mutually acceptable fixed or percentage fee; or
- .4 As provided in Section 7.3.7.

§ 7.3.4 If unit prices are stated in the Contract Documents or subsequently agreed upon, and if quantities originally contemplated are materially changed in a proposed Change Order or Construction Change Directive so that application of such unit prices to quantities of Work proposed will cause substantial inequity to the Owner or Contractor, the applicable unit prices shall be equitably adjusted.

§ 7.3.5 Upon receipt of a Construction Change Directive, the Contractor shall promptly proceed with the change in the Work involved and advise the Architect of the Contractor's agreement or disagreement with the method, if any, provided in the Construction Change Directive for determining the proposed adjustment in the Contract Sum or Contract Time.

§ 7.3.6 A Construction Change Directive signed by the Contractor indicates the Contractor's agreement therewith, including adjustment in Contract Sum and Contract Time or the method for determining them. Such agreement shall be effective immediately and shall be recorded as a Change Order.

§ 7.3.7 If the Contractor does not respond promptly or disagrees with the method for adjustment in the Contract Sum, the Architect shall determine the method and the adjustment on the basis of reasonable expenditures and savings of those performing the Work attributable to the change, including, in case of an increase in the Contract Sum, an amount

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for overhead and profit as set forth in the Agreement, or if no such amount is set forth in the Agreement, a reasonable amount. In such case, and also under Section 7.3.3.3, the Contractor shall keep and present, in such form as the Architect may prescribe, an itemized accounting together with appropriate supporting data. Unless otherwise provided in the Contract Documents, costs for the purposes of this Section 7.3.7 shall be limited to the following:

- .1 Costs of labor, including social security, old age and unemployment insurance, fringe benefits required by agreement or custom, and workers' compensation insurance;
- .2 Costs of materials, supplies and equipment, including cost of transportation, whether incorporated or consumed;
- .3 Rental costs of machinery and equipment, exclusive of hand tools, whether rented from the Contractor or others;
- .4 Costs of premiums for all bonds and insurance, permit fees, and sales, use or similar taxes related to the Work; and
- .5 Additional costs of supervision and field office personnel directly attributable to the change.

§ 7.3.8 The amount of credit to be allowed by the Contractor to the Owner for a deletion or change that results in a net decrease in the Contract Sum shall be actual net cost as confirmed by the Architect. When both additions and credits covering related Work or substitutions are involved in a change, the allowance for overhead and profit shall be figured on the basis of net increase, if any, with respect to that change.

§ 7.3.9 Pending final determination of the total cost of a Construction Change Directive to the Owner, the Contractor may request payment for Work completed under the Construction Change Directive in Applications for Payment. The Architect will make an interim determination for purposes of monthly certification for payment for those costs and certify for payment the amount that the Architect determines, in the Architect's professional judgment, to be reasonably justified. The Architect's interim determination of cost shall adjust the Contract Sum on the same basis as a Change Order, subject to the right of either party to disagree and assert a Claim in accordance with Article 15.

§ 7.3.10 When the Owner and Contractor agree with a determination made by the Architect concerning the adjustments in the Contract Sum and Contract Time, or otherwise reach agreement upon the adjustments, such agreement shall be effective immediately and the Architect will prepare a Change Order. Change Orders may be issued for all or any part of a Construction Change Directive.

§ 7.4 MINOR CHANGES IN THE WORK

The Architect has authority to order minor changes in the Work not involving adjustment in the Contract Sum or extension of the Contract Time and not inconsistent with the intent of the Contract Documents. Such changes will be effected by written order signed by the Architect and shall be binding on the Owner and Contractor.

ARTICLE 8 TIME

§ 8.1 DEFINITIONS

§ 8.1.1 Unless otherwise provided, Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work.

§ 8.1.2 The date of commencement of the Work is the date established in the Agreement.

§ 8.1.3 The date of Substantial Completion is the date certified by the Architect in accordance with Section 9.8.

§ 8.1.4 The term "day" as used in the Contract Documents shall mean calendar day unless otherwise specifically defined.

§ 8.2 PROGRESS AND COMPLETION

§ 8.2.1 Time limits stated in the Contract Documents are of the essence of the Contract. By executing the Agreement the Contractor confirms that the Contract Time is a reasonable period for performing the Work.

§ 8.2.2 The Contractor shall not knowingly, except by agreement or instruction of the Owner in writing, prematurely commence operations on the site or elsewhere prior to the effective date of insurance required by Article 11 to be furnished by the Contractor and Owner. The date of commencement of the Work shall not be changed by the effective date of such insurance.

§ 8.2.3 The Contractor shall proceed expeditiously with adequate forces and shall achieve Substantial Completion within the Contract Time.

§ 8.3 DELAYS AND EXTENSIONS OF TIME

§ 8.3.1 If the Contractor is delayed at any time in the commencement or progress of the Work by an act or neglect of the Owner or Architect, or of an employee of either, or of a separate contractor employed by the Owner; or by changes ordered in the Work; or by labor disputes, fire, unusual delay in deliveries, unavoidable casualties or other causes beyond the Contractor's control; or by delay authorized by the Owner pending ~~mediation and arbitration~~; mediation; or by other causes that the Architect determines may justify delay, then the Contract Time shall be extended by Change Order for such reasonable time as the Architect may determine.

§ 8.3.2 Claims relating to time shall be made in accordance with applicable provisions of Article 15.

§ 8.3.3 This Section 8.3 does not preclude recovery of damages for delay by either party under other provisions of the Contract Documents.

ARTICLE 9 PAYMENTS AND COMPLETION

§ 9.1 CONTRACT SUM

The Contract Sum is stated in the Agreement and, including authorized adjustments, is the total amount payable by the Owner to the Contractor for performance of the Work under the Contract Documents.

§ 9.2 SCHEDULE OF VALUES

Where the Contract is based on a stipulated sum or Guaranteed Maximum Price, the Contractor shall submit to the Architect, before the first Application for Payment, a schedule of values allocating the entire Contract Sum to the various portions of the Work and prepared in such form and supported by such data to substantiate its accuracy as the Architect may require. This schedule, unless objected to by the Architect, shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 9.3 APPLICATIONS FOR PAYMENT

§ 9.3.1 At least ten days before the date established for each progress payment, the Contractor shall submit to the Architect an itemized Application for Payment prepared in accordance with the schedule of values, if required under Section 9.2, for completed portions of the Work. Such application shall be notarized, if required, and supported by such data substantiating the Contractor's right to payment as the Owner or Architect may require, such as copies of requisitions from Subcontractors and material suppliers, and shall reflect retainage if provided for in the Contract Documents.

§ 9.3.1.1 As provided in Section 7.3.9, such applications may include requests for payment on account of changes in the Work that have been properly authorized by Construction Change Directives, or by interim determinations of the Architect, but not yet included in Change Orders.

§ 9.3.1.2 Applications for Payment shall not include requests for payment for portions of the Work for which the Contractor does not intend to pay a Subcontractor or material supplier, unless such Work has been performed by others whom the Contractor intends to pay.

§ 9.3.2 Unless otherwise provided in the Contract Documents, payments shall be made on account of materials and equipment delivered and suitably stored at the site for subsequent incorporation in the Work. If approved in advance by the Owner, payment may similarly be made for materials and equipment suitably stored off the site at a location agreed upon in writing. Payment for materials and equipment stored on or off the site shall be conditioned upon compliance by the Contractor with procedures satisfactory to the Owner to establish the Owner's title to such materials and equipment or otherwise protect the Owner's interest, and shall include the costs of applicable insurance, storage and transportation to the site for such materials and equipment stored off the site.

§ 9.3.3 The Contractor warrants that title to all Work covered by an Application for Payment will pass to the Owner no later than the time of payment. The Contractor further warrants that upon submittal of an Application for Payment all Work for which Certificates for Payment have been previously issued and payments received from the Owner shall, to the best of the Contractor's knowledge, information and belief, be free and clear of liens, claims, security interests or

encumbrances in favor of the Contractor, Subcontractors, material suppliers, or other persons or entities making a claim by reason of having provided labor, materials and equipment relating to the Work.

§ 9.4 CERTIFICATES FOR PAYMENT

§ 9.4.1 The Architect will, within seven days after receipt of the Contractor's Application for Payment, either issue to the Owner a Certificate for Payment, with a copy to the Contractor, for such amount as the Architect determines is properly due, or notify the Contractor and Owner in writing of the Architect's reasons for withholding certification in whole or in part as provided in Section 9.5.1.

§ 9.4.2 The issuance of a Certificate for Payment will constitute a representation by the Architect to the Owner, based on the Architect's evaluation of the Work and the data comprising the Application for Payment, that, to the best of the Architect's knowledge, information and belief, the Work has progressed to the point indicated and that the quality of the Work is in accordance with the Contract Documents. The foregoing representations are subject to an evaluation of the Work for conformance with the Contract Documents upon Substantial Completion, to results of subsequent tests and inspections, to correction of minor deviations from the Contract Documents prior to completion and to specific qualifications expressed by the Architect. The issuance of a Certificate for Payment will further constitute a representation that the Contractor is entitled to payment in the amount certified. However, the issuance of a Certificate for Payment will not be a representation that the Architect has (1) made exhaustive or continuous on-site inspections to check the quality or quantity of the Work, (2) reviewed construction means, methods, techniques, sequences or procedures, (3) reviewed copies of requisitions received from Subcontractors and material suppliers and other data requested by the Owner to substantiate the Contractor's right to payment, or (4) made examination to ascertain how or for what purpose the Contractor has used money previously paid on account of the Contract Sum.

§ 9.5 DECISIONS TO WITHHOLD CERTIFICATION

§ 9.5.1 The Architect may withhold a Certificate for Payment in whole or in part, to the extent reasonably necessary to protect the Owner, if in the Architect's opinion the representations to the Owner required by Section 9.4.2 cannot be made. If the Architect is unable to certify payment in the amount of the Application, the Architect will notify the Contractor and Owner as provided in Section 9.4.1. If the Contractor and Architect cannot agree on a revised amount, the Architect will promptly issue a Certificate for Payment for the amount for which the Architect is able to make such representations to the Owner. The Architect may also withhold a Certificate for Payment or, because of subsequently discovered evidence, may nullify the whole or a part of a Certificate for Payment previously issued, to such extent as may be necessary in the Architect's opinion to protect the Owner from loss for which the Contractor is responsible, including loss resulting from acts and omissions described in Section 3.3.2, because of

- .1 defective Work not remedied;
- .2 third party claims filed or reasonable evidence indicating probable filing of such claims unless security acceptable to the Owner is provided by the Contractor;
- .3 failure of the Contractor to make payments properly to Subcontractors or for labor, materials or equipment;
- .4 reasonable evidence that the Work cannot be completed for the unpaid balance of the Contract Sum;
- .5 damage to the Owner or a separate contractor;
- .6 reasonable evidence that the Work will not be completed within the Contract Time, and that the unpaid balance would not be adequate to cover actual or liquidated damages for the anticipated delay; or
- .7 repeated failure to carry out the Work in accordance with the Contract Documents.

§ 9.5.2 When the above reasons for withholding certification are removed, certification will be made for amounts previously withheld.

§ 9.5.3 If the Architect withholds certification for payment under Section 9.5.1.3, the Owner may, at its sole option, issue joint checks to the Contractor and to any Subcontractor or material or equipment suppliers to whom the Contractor failed to make payment for Work properly performed or material or equipment suitably delivered. If the Owner makes payments by joint check, the Owner shall notify the Architect and the Architect will reflect such payment on the next Certificate for Payment.

§ 9.6 PROGRESS PAYMENTS

§ 9.6.1 After the Architect has issued a Certificate for Payment, the Owner shall make payment in the manner and within the time provided in the Contract Documents, and shall so notify the Architect.

§ 9.6.2 The Contractor shall pay each Subcontractor no later than seven days after receipt of payment from the Owner the amount to which the Subcontractor is entitled, reflecting percentages actually retained from payments to the Contractor on account of the Subcontractor's portion of the Work. The Contractor shall, by appropriate agreement with each Subcontractor, require each Subcontractor to make payments to Sub-subcontractors in a similar manner.

§ 9.6.3 The Architect will, on request, furnish to a Subcontractor, if practicable, information regarding percentages of completion or amounts applied for by the Contractor and action taken thereon by the Architect and Owner on account of portions of the Work done by such Subcontractor.

§ 9.6.4 The Owner has the right to request written evidence from the Contractor that the Contractor has properly paid Subcontractors and material and equipment suppliers amounts paid by the Owner to the Contractor for subcontracted Work. If the Contractor fails to furnish such evidence within seven days, the Owner shall have the right to contact Subcontractors to ascertain whether they have been properly paid. Neither the Owner nor Architect shall have an obligation to pay or to see to the payment of money to a Subcontractor, except as may otherwise be required by law.

§ 9.6.5 Contractor payments to material and equipment suppliers shall be treated in a manner similar to that provided in Sections 9.6.2, 9.6.3 and 9.6.4.

§ 9.6.6 A Certificate for Payment, a progress payment, or partial or entire use or occupancy of the Project by the Owner shall not constitute acceptance of Work not in accordance with the Contract Documents.

§ 9.6.7 Unless the Contractor provides the Owner with a payment bond in the full penal sum of the Contract Sum, payments received by the Contractor for Work properly performed by Subcontractors and suppliers shall be held by the Contractor for those Subcontractors or suppliers who performed Work or furnished materials, or both, under contract with the Contractor for which payment was made by the Owner. Nothing contained herein shall require money to be placed in a separate account and not commingled with money of the Contractor, shall create any fiduciary liability or tort liability on the part of the Contractor for breach of trust or shall entitle any person or entity to an award of punitive damages against the Contractor for breach of the requirements of this provision.

§ 9.7 FAILURE OF PAYMENT

If the Architect does not issue a Certificate for Payment, through no fault of the Contractor, within seven days after receipt of the Contractor's Application for Payment, or if the Owner does not pay the Contractor within seven days after the date established in the Contract Documents the amount certified by the Architect or awarded by binding dispute resolution, then the Contractor may, upon seven additional days' written notice to the Owner and Architect, stop the Work until payment of the amount owing has been received. The Contract Time shall be extended appropriately and the Contract Sum shall be increased by the amount of the Contractor's reasonable costs of shut-down, delay and start-up, plus interest as provided for in the Contract Documents.

§ 9.8 SUBSTANTIAL COMPLETION

§ 9.8.1 Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. Because the finished condition of the addition portion of the project, known and referred to as "the shell" is an exterior enclosure only and not suitable for occupancy or its ultimate intended use, "substantial completion" for the shell shall be "the stage when the parties agree that the work is substantially complete in accordance with the Contract Documents."

§ 9.8.2 When the Contractor considers that the Work, or a portion thereof which the Owner agrees to accept separately, is substantially complete, the Contractor shall prepare and submit to the Architect a comprehensive list of items to be completed or corrected prior to final payment. Failure to include an item on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

§ 9.8.3 Upon receipt of the Contractor's list, the Architect will make an inspection to determine whether the Work or designated portion thereof is substantially complete. If the Architect's inspection discloses any item, whether or not included on the Contractor's list, which is not sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work or designated portion thereof for its intended use, the Contractor shall, before issuance of the Certificate of Substantial Completion, complete or correct such item upon notification by the

Architect. In such case, the Contractor shall then submit a request for another inspection by the Architect to determine Substantial Completion.

§ 9.8.4 When the Work or designated portion thereof is substantially complete, the Architect will prepare a Certificate of Substantial Completion that shall establish the date of Substantial Completion, shall establish responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work and insurance, and shall fix the time within which the Contractor shall finish all items on the list accompanying the Certificate. Warranties required by the Contract Documents shall commence on the date of Substantial Completion of the Work or designated portion thereof unless otherwise provided in the Certificate of Substantial Completion.

§ 9.8.5 The Certificate of Substantial Completion shall be submitted to the Owner and Contractor for their written acceptance of responsibilities assigned to them in such Certificate. Upon such acceptance and consent of surety, if any, the Owner shall make payment of retainage applying to such Work or designated portion thereof. Such payment shall be adjusted for Work that is incomplete or not in accordance with the requirements of the Contract Documents.

§ 9.9 PARTIAL OCCUPANCY OR USE

§ 9.9.1 The Owner may occupy or use any completed or partially completed portion of the Work at any stage when such portion is designated by separate agreement with the Contractor, provided such occupancy or use is consented to by the insurer as required under Section 11.3.1.5 and authorized by public authorities having jurisdiction over the Project. Such partial occupancy or use may commence whether or not the portion is substantially complete, provided the Owner and Contractor have accepted in writing the responsibilities assigned to each of them for payments, retainage, if any, security, maintenance, heat, utilities, damage to the Work and insurance, and have agreed in writing concerning the period for correction of the Work and commencement of warranties required by the Contract Documents. When the Contractor considers a portion substantially complete, the Contractor shall prepare and submit a list to the Architect as provided under Section 9.8.2. Consent of the Contractor to partial occupancy or use shall not be unreasonably withheld. The stage of the progress of the Work shall be determined by written agreement between the Owner and Contractor or, if no agreement is reached, by decision of the Architect.

§ 9.9.2 Immediately prior to such partial occupancy or use, the Owner, Contractor and Architect shall jointly inspect the area to be occupied or portion of the Work to be used in order to determine and record the condition of the Work.

§ 9.9.3 Unless otherwise agreed upon, partial occupancy or use of a portion or portions of the Work shall not constitute acceptance of Work not complying with the requirements of the Contract Documents.

§ 9.10 FINAL COMPLETION AND FINAL PAYMENT

§ 9.10.1 Upon receipt of the Contractor's written notice that the Work is ready for final inspection and acceptance and upon receipt of a final Application for Payment, the Architect will promptly make such inspection and, when the Architect finds the Work acceptable under the Contract Documents and the Contract fully performed, the Architect will promptly issue a final Certificate for Payment stating that to the best of the Architect's knowledge, information and belief, and on the basis of the Architect's on-site visits and inspections, the Work has been completed in accordance with terms and conditions of the Contract Documents and that the entire balance found to be due the Contractor and noted in the final Certificate is due and payable. The Architect's final Certificate for Payment will constitute a further representation that conditions listed in Section 9.10.2 as precedent to the Contractor's being entitled to final payment have been fulfilled.

§ 9.10.2 Neither final payment nor any remaining retained percentage shall become due until the Contractor submits to the Architect (1) an affidavit that payrolls, bills for materials and equipment, and other indebtedness connected with the Work for which the Owner or the Owner's property might be responsible or encumbered (less amounts withheld by Owner) have been paid or otherwise satisfied, (2) a certificate evidencing that insurance required by the Contract Documents to remain in force after final payment is currently in effect and will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to the Owner, (3) a written statement that the Contractor knows of no substantial reason that the insurance will not be renewable to cover the period required by the Contract Documents, (4) consent of surety, if any, to final payment and (5), if required by the Owner, other data establishing payment or satisfaction of obligations, such as receipts, releases and waivers of liens, claims, security interests or encumbrances arising out of the Contract, to the extent and in such form as may be designated by the Owner. If a Subcontractor refuses to furnish a release or waiver required by the Owner, the Contractor may furnish a bond satisfactory to the Owner to indemnify the Owner against such lien. If such lien remains unsatisfied after payments are

made, the Contractor shall refund to the Owner all money that the Owner may be compelled to pay in discharging such lien, including all costs and reasonable attorneys' fees.

§ 9.10.3 If, after Substantial Completion of the Work, final completion thereof is materially delayed through no fault of the Contractor or by issuance of Change Orders affecting final completion, and the Architect so confirms, the Owner shall, upon application by the Contractor and certification by the Architect, and without terminating the Contract, make payment of the balance due for that portion of the Work fully completed and accepted. If the remaining balance for Work not fully completed or corrected is less than retainage stipulated in the Contract Documents, and if bonds have been furnished, the written consent of surety to payment of the balance due for that portion of the Work fully completed and accepted shall be submitted by the Contractor to the Architect prior to certification of such payment. Such payment shall be made under terms and conditions governing final payment, except that it shall not constitute a waiver of claims.

§ 9.10.4 The making of final payment shall constitute a waiver of Claims by the Owner except those arising from

- .1 liens, Claims, security interests or encumbrances arising out of the Contract and unsettled;
- .2 failure of the Work to comply with the requirements of the Contract Documents; or
- .3 terms of special warranties required by the Contract Documents.

§ 9.10.5 Acceptance of final payment by the Contractor, a Subcontractor or material supplier shall constitute a waiver of claims by that payee except those previously made in writing and identified by that payee as unsettled at the time of final Application for Payment.

ARTICLE 10 PROTECTION OF PERSONS AND PROPERTY

§ 10.1 SAFETY PRECAUTIONS AND PROGRAMS

The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the performance of the Contract.

§ 10.2 SAFETY OF PERSONS AND PROPERTY

§ 10.2.1 The Contractor shall take reasonable precautions for safety of, and shall provide reasonable protection to prevent damage, injury or loss to

- .1 employees on the Work and other persons who may be affected thereby;
- .2 the Work and materials and equipment to be incorporated therein, whether in storage on or off the site, under care, custody or control of the Contractor or the Contractor's Subcontractors or Sub-subcontractors; and
- .3 other property at the site or adjacent thereto, such as trees, shrubs, lawns, walks, pavements, roadways, structures and utilities not designated for removal, relocation or replacement in the course of construction.

§ 10.2.2 The Contractor shall comply with and give notices required by applicable laws, statutes, ordinances, codes, rules and regulations, and lawful orders of public authorities bearing on safety of persons or property or their protection from damage, injury or loss.

§ 10.2.3 The Contractor shall erect and maintain, as required by existing conditions and performance of the Contract, reasonable safeguards for safety and protection, including posting danger signs and other warnings against hazards, promulgating safety regulations and notifying owners and users of adjacent sites and utilities.

§ 10.2.4 When use or storage of explosives or other hazardous materials or equipment or unusual methods are necessary for execution of the Work, the Contractor shall exercise utmost care and carry on such activities under supervision of properly qualified personnel.

§ 10.2.5 The Contractor shall promptly remedy damage and loss (other than damage or loss insured under property insurance required by the Contract Documents) to property referred to in Sections 10.2.1.2 and 10.2.1.3 caused in whole or in part by the Contractor, a Subcontractor, a Sub-subcontractor, or anyone directly or indirectly employed by any of them, or by anyone for whose acts they may be liable and for which the Contractor is responsible under Sections 10.2.1.2 and 10.2.1.3, except damage or loss attributable to acts or omissions of the Owner or Architect or anyone directly or indirectly employed by either of them, or by anyone for whose acts either of them may be liable, and not

attributable to the fault or negligence of the Contractor. The foregoing obligations of the Contractor are in addition to the Contractor's obligations under Section 3.18.

§ 10.2.6 The Contractor shall designate a responsible member of the Contractor's organization at the site whose duty shall be the prevention of accidents. This person shall be the Contractor's superintendent unless otherwise designated by the Contractor in writing to the Owner and Architect.

§ 10.2.7 The Contractor shall not permit any part of the construction or site to be loaded so as to cause damage or create an unsafe condition.

§ 10.2.8 INJURY OR DAMAGE TO PERSON OR PROPERTY

If either party suffers injury or damage to person or property because of an act or omission of the other party, or of others for whose acts such party is legally responsible, written notice of such injury or damage, whether or not insured, shall be given to the other party within a reasonable time not exceeding 21 days after discovery. The notice shall provide sufficient detail to enable the other party to investigate the matter.

§ 10.3 HAZARDOUS MATERIALS

§ 10.3.1 The Contractor is responsible for compliance with any requirements included in the Contract Documents regarding hazardous materials. If the Contractor encounters a hazardous material or substance not addressed in the Contract Documents and if reasonable precautions will be inadequate to prevent foreseeable bodily injury or death to persons resulting from a material or substance, including but not limited to asbestos or polychlorinated biphenyl (PCB), encountered on the site by the Contractor, the Contractor shall, upon recognizing the condition, immediately stop Work in the affected area and report the condition to the Owner and Architect in writing.

§ 10.3.2 Upon receipt of the Contractor's written notice, the Owner shall obtain the services of a licensed laboratory to verify the presence or absence of the material or substance reported by the Contractor and, in the event such material or substance is found to be present, to cause it to be rendered harmless. Unless otherwise required by the Contract Documents, the Owner shall furnish in writing to the Contractor and Architect the names and qualifications of persons or entities who are to perform tests verifying the presence or absence of such material or substance or who are to perform the task of removal or safe containment of such material or substance. The Contractor and the Architect will promptly reply to the Owner in writing stating whether or not either has reasonable objection to the persons or entities proposed by the Owner. If either the Contractor or Architect has an objection to a person or entity proposed by the Owner, the Owner shall propose another to whom the Contractor and the Architect have no reasonable objection. When the material or substance has been rendered harmless, Work in the affected area shall resume upon written agreement of the Owner and Contractor. By Change Order, the Contract Time shall be extended appropriately and the Contract Sum shall be increased in the amount of the Contractor's reasonable additional costs of shut-down, delay and start-up.

§ 10.3.3 To the fullest extent permitted by law, the Owner shall indemnify and hold harmless the Contractor, Subcontractors, Architect, Architect's consultants and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting from performance of the Work in the affected area if in fact the material or substance presents the risk of bodily injury or death as described in Section 10.3.1 and has not been rendered harmless, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself), except to the extent that such damage, loss or expense is due to the fault or negligence of the party seeking indemnity.

§ 10.3.4 The Owner shall not be responsible under this Section 10.3 for materials or substances the Contractor brings to the site unless such materials or substances are required by the Contract Documents. The Owner shall be responsible for materials or substances required by the Contract Documents, except to the extent of the Contractor's fault or negligence in the use and handling of such materials or substances.

§ 10.3.5 The Contractor shall indemnify the Owner for the cost and expense the Owner incurs (1) for remediation of a material or substance the Contractor brings to the site and negligently handles, or (2) where the Contractor fails to perform its obligations under Section 10.3.1, except to the extent that the cost and expense are due to the Owner's fault or negligence.

§ 10.3.6 If, without negligence on the part of the Contractor, the Contractor is held liable by a government agency for the cost of remediation of a hazardous material or substance solely by reason of performing Work as required by the Contract Documents, the Owner shall indemnify the Contractor for all cost and expense thereby incurred.

§ 10.4 EMERGENCIES

In an emergency affecting safety of persons or property, the Contractor shall act, at the Contractor's discretion, to prevent threatened damage, injury or loss. Additional compensation or extension of time claimed by the Contractor on account of an emergency shall be determined as provided in Article 15 and Article 7.

ARTICLE 11 INSURANCE AND BONDS

§ 11.1 CONTRACTOR'S LIABILITY INSURANCE

§ 11.1.1 The Contractor shall purchase from and maintain in a company or companies lawfully authorized to do business in the jurisdiction in which the Project is located such insurance as will protect the Contractor from claims set forth below which may arise out of or result from the Contractor's operations and completed operations under the Contract and for which the Contractor may be legally liable, whether such operations be by the Contractor or by a Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable:

- .1 Claims under workers' compensation, disability benefit and other similar employee benefit acts that are applicable to the Work to be performed;
- .2 Claims for damages because of bodily injury, occupational sickness or disease, or death of the Contractor's employees;
- .3 Claims for damages because of bodily injury, sickness or disease, or death of any person other than the Contractor's employees;
- .4 Claims for damages insured by usual personal injury liability coverage;
- .5 Claims for damages, other than to the Work itself, because of injury to or destruction of tangible property, including loss of use resulting therefrom;
- .6 Claims for damages because of bodily injury, death of a person or property damage arising out of ownership, maintenance or use of a motor vehicle;
- .7 Claims for bodily injury or property damage arising out of completed operations; and
- .8 Claims involving contractual liability insurance applicable to the Contractor's obligations under Section 3.18.

§ 11.1.2 The insurance required by Section 11.1.1 shall be written for not less than limits of liability specified in the Contract Documents or required by law, whichever coverage is greater. Coverages, whether written on an occurrence or claims-made basis, shall be maintained without interruption from the date of commencement of the Work until the date of final payment and termination of any coverage required to be maintained after final payment, and, with respect to the Contractor's completed operations coverage, until the expiration of the period for correction of Work or for such other period for maintenance of completed operations coverage as specified in the Contract Documents.

§ 11.1.3 Certificates of insurance acceptable to the Owner shall be filed with the Owner prior to commencement of the Work and thereafter upon renewal or replacement of each required policy of insurance. These certificates and the insurance policies required by this Section 11.1 shall contain a provision that coverages afforded under the policies will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to the Owner. An additional certificate evidencing continuation of liability coverage, including coverage for completed operations, shall be submitted with the final Application for Payment as required by Section 9.10.2 and thereafter upon renewal or replacement of such coverage until the expiration of the time required by Section 11.1.2. Information concerning reduction of coverage on account of revised limits or claims paid under the General Aggregate, or both, shall be furnished by the Contractor with reasonable promptness.

§ 11.1.4 The Contractor shall cause the commercial liability coverage required by the Contract Documents to include (1) the Owner, the Architect and the Architect's consultants as additional insureds for claims caused in whole or in part by the Contractor's negligent acts or omissions during the Contractor's operations; and (2) the Owner as an additional insured for claims caused in whole or in part by the Contractor's negligent acts or omissions during the Contractor's completed operations.

§ 11.2 OWNER'S LIABILITY INSURANCE

The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.

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§ 11.3 PROPERTY INSURANCE

§ 11.3.1 Unless otherwise provided, the Owner-The Contractor shall purchase and maintain, in a company or companies lawfully authorized to do business in the jurisdiction in which the Project is located, property insurance written on a builder's risk "all-risk" or equivalent policy form in the amount of the initial Contract Sum, plus value of subsequent Contract Modifications and cost of materials supplied or installed by others, comprising total value for the entire Project at the site on a replacement cost basis without optional deductibles. Such property insurance shall be maintained, unless otherwise provided in the Contract Documents or otherwise agreed in writing by all persons and entities who are beneficiaries of such insurance, until final payment has been made as provided in Section 9.10 or until no person or entity other than the Owner has an insurable interest in the property required by this Section 11.3 to be covered, whichever is later. This insurance shall include interests of the Owner, the Contractor, Subcontractors and Sub-subcontractors in the Project.

§ 11.3.1.1 Property insurance shall be on an "all-risk" or equivalent policy form and shall include, without limitation, insurance against the perils of fire (with extended coverage) and physical loss or damage including, without duplication of coverage, theft, vandalism, malicious mischief, collapse, earthquake, flood, windstorm, falsework, testing and startup, temporary buildings and debris removal including demolition occasioned by enforcement of any applicable legal requirements, and shall cover reasonable compensation for Architect's and Contractor's services and expenses required as a result of such insured loss.

~~§ 11.3.1.2 If the Owner does not intend to purchase such property insurance required by the Contract and with all of the coverages in the amount described above, the Owner shall so inform the Contractor in writing prior to commencement of the Work. The Contractor may then effect insurance that will protect the interests of the Contractor, Subcontractors and Sub-subcontractors in the Work, and by appropriate Change Order the cost thereof shall be charged to the Owner. If the Contractor is damaged by the failure or neglect of the Owner to purchase or maintain insurance as described above, without so notifying the Contractor in writing, then the Owner shall bear all reasonable costs properly attributable thereto.~~

§ 11.3.1.3 If the property insurance requires deductibles, the Owner shall pay costs not covered because of such deductibles.

§ 11.3.1.4 This property insurance shall cover portions of the Work stored off the site, and also portions of the Work in transit.

§ 11.3.1.5 Partial occupancy or use in accordance with Section 9.9 shall not commence until the insurance company or companies providing property insurance have consented to such partial occupancy or use by endorsement or otherwise. The Owner and the Contractor shall take reasonable steps to obtain consent of the insurance company or companies and shall, without mutual written consent, take no action with respect to partial occupancy or use that would cause cancellation, lapse or reduction of insurance.

§ 11.3.2 BOILER AND MACHINERY INSURANCE

The Owner shall purchase and maintain boiler and machinery insurance required by the Contract Documents or by law, which shall specifically cover such insured objects during installation and until final acceptance by the Owner; this insurance shall include interests of the Owner, Contractor, Subcontractors and Sub-subcontractors in the Work, and the Owner and Contractor shall be named insureds.

§ 11.3.3 LOSS OF USE INSURANCE

The Owner, at the Owner's option, may purchase and maintain such insurance as will insure the Owner against loss of use of the Owner's property due to fire or other hazards, however caused. The Owner waives all rights of action against the Contractor for loss of use of the Owner's property, including consequential losses due to fire or other hazards however caused.

§ 11.3.4 If the Contractor requests in writing that insurance for risks other than those described herein or other special causes of loss be included in the property insurance policy, the Owner shall, if possible, include such insurance, and the cost thereof shall be charged to the Contractor by appropriate Change Order.

§ 11.3.5 If during the Project construction period the Owner insures properties, real or personal or both, at or adjacent to the site by property insurance under policies separate from those insuring the Project, or if after final payment property insurance is to be provided on the completed Project through a policy or policies other than those insuring the Project during the construction period, the Owner shall waive all rights in accordance with the terms of Section 11.3.7 for damages caused by fire or other causes of loss covered by this separate property insurance. All separate policies shall provide this waiver of subrogation by endorsement or otherwise.

§ 11.3.6 Before an exposure to loss may occur, the Owner shall file with the Contractor a copy of each policy that includes insurance coverages required by this Section 11.3. Each policy shall contain all generally applicable conditions, definitions, exclusions and endorsements related to this Project. Each policy shall contain a provision that the policy will not be canceled or allowed to expire, and that its limits will not be reduced, until at least 30 days' prior written notice has been given to the Contractor.

§ 11.3.7 WAIVERS OF SUBROGATION

The Owner and Contractor waive all rights against (1) each other and any of their subcontractors, sub-subcontractors, agents and employees, each of the other, and (2) the Architect, Architect's consultants, separate contractors described in Article 6, if any, and any of their subcontractors, sub-subcontractors, agents and employees, for damages caused by fire or other causes of loss to the extent covered by property insurance obtained pursuant to this Section 11.3 or other property insurance applicable to the Work, except such rights as they have to proceeds of such insurance held by the Owner as fiduciary. The Owner or Contractor, as appropriate, shall require of the Architect, Architect's consultants, separate contractors described in Article 6, if any, and the subcontractors, sub-subcontractors, agents and employees of any of them, by appropriate agreements, written where legally required for validity, similar waivers each in favor of other parties enumerated herein. The policies shall provide such waivers of subrogation by endorsement or otherwise. A waiver of subrogation shall be effective as to a person or entity even though that person or entity would otherwise have a duty of indemnification, contractual or otherwise, did not pay the insurance premium directly or indirectly, and whether or not the person or entity had an insurable interest in the property damaged.

§ 11.3.8 A loss insured under the Owner's property insurance shall be adjusted by the Owner as fiduciary and made payable to the Owner as fiduciary for the insureds, as their interests may appear, subject to requirements of any applicable mortgagee clause and of Section 11.3.10. The Contractor shall pay Subcontractors their just shares of insurance proceeds received by the Contractor, and by appropriate agreements, written where legally required for validity, shall require Subcontractors to make payments to their Sub-subcontractors in similar manner.

§ 11.3.9 If required in writing by a party in interest, the Owner as fiduciary shall, upon occurrence of an insured loss, give bond for proper performance of the Owner's duties. The cost of required bonds shall be charged against proceeds received as fiduciary. The Owner shall deposit in a separate account proceeds so received, which the Owner shall distribute in accordance with such agreement as the parties in interest may reach, or as determined in accordance with the method of binding dispute resolution selected in the Agreement between the Owner and Contractor. If after such loss no other special agreement is made and unless the Owner terminates the Contract for convenience, replacement of damaged property shall be performed by the Contractor after notification of a Change in the Work in accordance with Article 7.

§ 11.3.10 The Owner as fiduciary shall have power to adjust and settle a loss with insurers unless one of the parties in interest shall object in writing within five days after occurrence of loss to the Owner's exercise of this power; if such objection is made, the dispute shall be resolved in the manner selected by the Owner and Contractor as the method of binding dispute resolution in the Agreement. ~~If the Owner and Contractor have selected arbitration as the method of binding dispute resolution, the Owner as fiduciary shall make settlement with insurers or, in the case of a dispute over distribution of insurance proceeds, in accordance with the directions of the arbitrators. Agreement~~

§ 11.4 PERFORMANCE BOND AND PAYMENT BOND

§ 11.4.1 The Owner shall have the right to require the Contractor to furnish bonds covering faithful performance of the Contract and payment of obligations arising thereunder as stipulated in bidding requirements or specifically required in the Contract Documents on the date of execution of the Contract.

§ 11.4.2 Upon the request of any person or entity appearing to be a potential beneficiary of bonds covering payment of obligations arising under the Contract, the Contractor shall promptly furnish a copy of the bonds or shall authorize a copy to be furnished.

ARTICLE 12 UNCOVERING AND CORRECTION OF WORK

§ 12.1 UNCOVERING OF WORK

§ 12.1.1 If a portion of the Work is covered contrary to the Architect's request or to requirements specifically expressed in the Contract Documents, it must, if requested in writing by the Architect, be uncovered for the Architect's examination and be replaced at the Contractor's expense without change in the Contract Time.

§ 12.1.2 If a portion of the Work has been covered that the Architect has not specifically requested to examine prior to its being covered, the Architect may request to see such Work and it shall be uncovered by the Contractor. If such Work is in accordance with the Contract Documents, costs of uncovering and replacement shall, by appropriate Change Order, be at the Owner's expense. If such Work is not in accordance with the Contract Documents, such costs and the cost of correction shall be at the Contractor's expense unless the condition was caused by the Owner or a separate contractor in which event the Owner shall be responsible for payment of such costs.

§ 12.2 CORRECTION OF WORK

§ 12.2.1 BEFORE OR AFTER SUBSTANTIAL COMPLETION

The Contractor shall promptly correct Work rejected by the Architect or failing to conform to the requirements of the Contract Documents, whether discovered before or after Substantial Completion and whether or not fabricated, installed or completed. Costs of correcting such rejected Work, including additional testing and inspections, the cost of uncovering and replacement, and compensation for the Architect's services and expenses made necessary thereby, shall be at the Contractor's expense.

§ 12.2.2 AFTER SUBSTANTIAL COMPLETION

§ 12.2.2.1 In addition to the Contractor's obligations under Section 3.5, if, within one year after the date of Substantial Completion of the Work or designated portion thereof or after the date for commencement of warranties established under Section 9.9.1, or by terms of an applicable special warranty required by the Contract Documents, any of the Work is found to be not in accordance with the requirements of the Contract Documents, the Contractor shall correct it promptly after receipt of written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition. The Owner shall give such notice promptly after discovery of the condition. During the one-year period for correction of Work, if the Owner fails to notify the Contractor and give the Contractor an opportunity to make the correction, the Owner waives the rights to require correction by the Contractor and to make a claim for breach of warranty. If the Contractor fails to correct nonconforming Work within a reasonable time during that period after receipt of notice from the Owner or Architect, the Owner may correct it in accordance with Section 2.4.

§ 12.2.2.2 The one-year period for correction of Work shall be extended with respect to portions of Work first performed after Substantial Completion by the period of time between Substantial Completion and the actual completion of that portion of the Work.

§ 12.2.2.3 The one-year period for correction of Work shall not be extended by corrective Work performed by the Contractor pursuant to this Section 12.2.

§ 12.2.3 The Contractor shall remove from the site portions of the Work that are not in accordance with the requirements of the Contract Documents and are neither corrected by the Contractor nor accepted by the Owner.

§ 12.2.4 The Contractor shall bear the cost of correcting destroyed or damaged construction, whether completed or partially completed, of the Owner or separate contractors caused by the Contractor's correction or removal of Work that is not in accordance with the requirements of the Contract Documents.

§ 12.2.5 Nothing contained in this Section 12.2 shall be construed to establish a period of limitation with respect to other obligations the Contractor has under the Contract Documents. Establishment of the one-year period for correction of Work as described in Section 12.2.2 relates only to the specific obligation of the Contractor to correct the Work, and has no relationship to the time within which the obligation to comply with the Contract Documents may be sought to be enforced, nor to the time within which proceedings may be commenced to establish the Contractor's liability with respect to the Contractor's obligations other than specifically to correct the Work.

§ 12.3 ACCEPTANCE OF NONCONFORMING WORK

If the Owner prefers to accept Work that is not in accordance with the requirements of the Contract Documents, the Owner may do so instead of requiring its removal and correction, in which case the Contract Sum will be reduced as appropriate and equitable. Such adjustment shall be effected whether or not final payment has been made.

ARTICLE 13 MISCELLANEOUS PROVISIONS

§ 13.1 GOVERNING LAW

The Contract shall be governed by the law of the place where the Project is located ~~except that, if the parties have selected arbitration as the method of binding dispute resolution, the Federal Arbitration Act shall govern Section 15.4.~~

located.

§ 13.2 SUCCESSORS AND ASSIGNS

§ 13.2.1 The Owner and Contractor respectively bind themselves, their partners, successors, assigns and legal representatives to covenants, agreements and obligations contained in the Contract Documents. Except as provided in Section 13.2.2, neither party to the Contract shall assign the Contract as a whole without written consent of the other. If either party attempts to make such an assignment without such consent, that party shall nevertheless remain legally responsible for all obligations under the Contract.

§ 13.2.2 The Owner may, without consent of the Contractor, assign the Contract to a lender providing construction financing for the Project, if the lender assumes the Owner's rights and obligations under the Contract Documents. The Contractor shall execute all consents reasonably required to facilitate such assignment.

§ 13.3 WRITTEN NOTICE

Written notice shall be deemed to have been duly served if delivered in person to the individual, to a member of the firm or entity, or to an officer of the corporation for which it was intended; or if delivered at, or sent by registered or certified mail or by courier service providing proof of delivery to, the last business address known to the party giving notice.

§ 13.4 RIGHTS AND REMEDIES

§ 13.4.1 Duties and obligations imposed by the Contract Documents and rights and remedies available thereunder shall be in addition to and not a limitation of duties, obligations, rights and remedies otherwise imposed or available by law.

§ 13.4.2 No action or failure to act by the Owner, Architect or Contractor shall constitute a waiver of a right or duty afforded them under the Contract, nor shall such action or failure to act constitute approval of or acquiescence in a breach there under, except as may be specifically agreed in writing.

§ 13.5 TESTS AND INSPECTIONS

§ 13.5.1 Tests, inspections and approvals of portions of the Work shall be made as required by the Contract Documents and by applicable laws, statutes, ordinances, codes, rules and regulations or lawful orders of public authorities. Unless otherwise provided, the Contractor shall make arrangements for such tests, inspections and approvals with an independent testing laboratory or entity acceptable to the Owner, or with the appropriate public authority, and shall bear all related costs of tests, inspections and approvals. The Contractor shall give the Architect timely notice of when and where tests and inspections are to be made so that the Architect may be present for such procedures. The Owner shall bear costs of (1) tests, inspections or approvals that do not become requirements until after bids are received or negotiations concluded, and (2) tests, inspections or approvals where building codes or applicable laws or regulations prohibit the Owner from delegating their cost to the Contractor.

§ 13.5.2 If the Architect, Owner or public authorities having jurisdiction determine that portions of the Work require additional testing, inspection or approval not included under Section 13.5.1, the Architect will, upon written authorization from the Owner, instruct the Contractor to make arrangements for such additional testing, inspection or approval by an entity acceptable to the Owner, and the Contractor shall give timely notice to the Architect of when and where tests and inspections are to be made so that the Architect may be present for such procedures. Such costs, except as provided in Section 13.5.3, shall be at the Owner's expense.

§ 13.5.3 If such procedures for testing, inspection or approval under Sections 13.5.1 and 13.5.2 reveal failure of the portions of the Work to comply with requirements established by the Contract Documents, all costs made necessary by

such failure including those of repeated procedures and compensation for the Architect's services and expenses shall be at the Contractor's expense.

§ 13.5.4 Required certificates of testing, inspection or approval shall, unless otherwise required by the Contract Documents, be secured by the Contractor and promptly delivered to the Architect.

§ 13.5.5 If the Architect is to observe tests, inspections or approvals required by the Contract Documents, the Architect will do so promptly and, where practicable, at the normal place of testing.

§ 13.5.6 Tests or inspections conducted pursuant to the Contract Documents shall be made promptly to avoid unreasonable delay in the Work.

§ 13.6 INTEREST

Payments due and unpaid under the Contract Documents shall bear interest from the date payment is due at such rate as the parties may agree upon in writing or, in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

§ 13.7 TIME LIMITS ON CLAIMS

The Owner and Contractor shall commence all claims and causes of action, whether in contract, tort, breach of warranty or otherwise, against the other arising out of or related to the Contract in accordance with the requirements of the final dispute resolution method selected in the Agreement within the time period specified by applicable law, but in any case not more than 10 years after the date of Substantial Completion of the Work. The Owner and Contractor waive all claims and causes of action not commenced in accordance with this Section 13.7.

ARTICLE 14 TERMINATION OR SUSPENSION OF THE CONTRACT

§ 14.1 TERMINATION BY THE CONTRACTOR

§ 14.1.1 The Contractor may terminate the Contract if the Work is stopped for a period of 30 consecutive days through no act or fault of the Contractor or a Subcontractor, Sub-subcontractor or their agents or employees or any other persons or entities performing portions of the Work under direct or indirect contract with the Contractor, for any of the following reasons:

- .1 Issuance of an order of a court or other public authority having jurisdiction that requires all Work to be stopped;
- .2 An act of government, such as a declaration of national emergency that requires all Work to be stopped;
- .3 Because the Architect has not issued a Certificate for Payment and has not notified the Contractor of the reason for withholding certification as provided in Section 9.4.1, or because the Owner has not made payment on a Certificate for Payment within the time stated in the Contract Documents; or
- .4 The Owner has failed to furnish to the Contractor promptly, upon the Contractor's request, reasonable evidence as required by Section 2.2.1.

§ 14.1.2 The Contractor may terminate the Contract if, through no act or fault of the Contractor or a Subcontractor, Sub-subcontractor or their agents or employees or any other persons or entities performing portions of the Work under direct or indirect contract with the Contractor, repeated suspensions, delays or interruptions of the entire Work by the Owner as described in Section 14.3 constitute in the aggregate more than 100 percent of the total number of days scheduled for completion, or 120 days in any 365-day period, whichever is less.

§ 14.1.3 If one of the reasons described in Section 14.1.1 or 14.1.2 exists, the Contractor may, upon seven days' written notice to the Owner and Architect, terminate the Contract and recover from the Owner payment for Work executed, including reasonable overhead and profit, costs incurred by reason of such termination, and damages.

§ 14.1.4 If the Work is stopped for a period of 60 consecutive days through no act or fault of the Contractor or a Subcontractor or their agents or employees or any other persons performing portions of the Work under contract with the Contractor because the Owner has repeatedly failed to fulfill the Owner's obligations under the Contract Documents with respect to matters important to the progress of the Work, the Contractor may, upon seven additional days' written notice to the Owner and the Architect, terminate the Contract and recover from the Owner as provided in Section 14.1.3.

§ 14.2 TERMINATION BY THE OWNER FOR CAUSE

§ 14.2.1 The Owner may terminate the Contract if the Contractor

- .1 repeatedly refuses or fails to supply enough properly skilled workers or proper materials;
- .2 fails to make payment to Subcontractors for materials or labor in accordance with the respective agreements between the Contractor and the Subcontractors;
- .3 repeatedly disregards applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of a public authority; or
- .4 otherwise is guilty of substantial breach of a provision of the Contract Documents.

§ 14.2.2 When any of the above reasons exist, the Owner, upon certification by the Initial Decision Maker that sufficient cause exists to justify such action, may without prejudice to any other rights or remedies of the Owner and after giving the Contractor and the Contractor's surety, if any, seven days' written notice, terminate employment of the Contractor and may, subject to any prior rights of the surety:

- .1 Exclude the Contractor from the site and take possession of all materials, equipment, tools, and construction equipment and machinery thereon owned by the Contractor;
- .2 Accept assignment of subcontracts pursuant to Section 5.4; and
- .3 Finish the Work by whatever reasonable method the Owner may deem expedient. Upon written request of the Contractor, the Owner shall furnish to the Contractor a detailed accounting of the costs incurred by the Owner in finishing the Work.

§ 14.2.3 When the Owner terminates the Contract for one of the reasons stated in Section 14.2.1, the Contractor shall not be entitled to receive further payment until the Work is finished.

§ 14.2.4 If the unpaid balance of the Contract Sum exceeds costs of finishing the Work, including compensation for the Architect's services and expenses made necessary thereby, and other damages incurred by the Owner and not expressly waived, such excess shall be paid to the Contractor. If such costs and damages exceed the unpaid balance, the Contractor shall pay the difference to the Owner. The amount to be paid to the Contractor or Owner, as the case may be, shall be certified by the Initial Decision Maker, upon application, and this obligation for payment shall survive termination of the Contract.

§ 14.3 SUSPENSION BY THE OWNER FOR CONVENIENCE

§ 14.3.1 The Owner may, without cause, order the Contractor in writing to suspend, delay or interrupt the Work in whole or in part for such period of time as the Owner may determine.

§ 14.3.2 The Contract Sum and Contract Time shall be adjusted for increases in the cost and time caused by suspension, delay or interruption as described in Section 14.3.1. Adjustment of the Contract Sum shall include profit. No adjustment shall be made to the extent

- .1 that performance is, was or would have been so suspended, delayed or interrupted by another cause for which the Contractor is responsible; or
- .2 that an equitable adjustment is made or denied under another provision of the Contract.

§ 14.4 TERMINATION BY THE OWNER FOR CONVENIENCE

§ 14.4.1 The Owner may, at any time, terminate the Contract for the Owner's convenience and without cause.

§ 14.4.2 Upon receipt of written notice from the Owner of such termination for the Owner's convenience, the Contractor shall

- .1 cease operations as directed by the Owner in the notice;
- .2 take actions necessary, or that the Owner may direct, for the protection and preservation of the Work; and
- .3 except for Work directed to be performed prior to the effective date of termination stated in the notice, terminate all existing subcontracts and purchase orders and enter into no further subcontracts and purchase orders.

§ 14.4.3 In case of such termination for the Owner's convenience, the Contractor shall be entitled to receive payment for Work executed, and costs incurred by reason of such termination, along with reasonable overhead and profit on the Work not executed.

ARTICLE 15 CLAIMS AND DISPUTES

§ 15.1 CLAIMS

§ 15.1.1 DEFINITION

A Claim is a demand or assertion by one of the parties seeking, as a matter of right, payment of money, or other relief with respect to the terms of the Contract. The term "Claim" also includes other disputes and matters in question between the Owner and Contractor arising out of or relating to the Contract. The responsibility to substantiate Claims shall rest with the party making the Claim.

§ 15.1.2 NOTICE OF CLAIMS

Claims by either the Owner or Contractor must be initiated by written notice to the other party and to the Initial Decision Maker with a copy sent to the Architect, if the Architect is not serving as the Initial Decision Maker. Claims by either party must be initiated within 21 days after occurrence of the event giving rise to such Claim or within 21 days after the claimant first recognizes the condition giving rise to the Claim, whichever is later.

§ 15.1.3 CONTINUING CONTRACT PERFORMANCE

Pending final resolution of a Claim, except as otherwise agreed in writing or as provided in Section 9.7 and Article 14, the Contractor shall proceed diligently with performance of the Contract and the Owner shall continue to make payments in accordance with the Contract Documents. The Architect will prepare Change Orders and issue Certificates for Payment in accordance with the decisions of the Initial Decision Maker.

§ 15.1.4 CLAIMS FOR ADDITIONAL COST

If the Contractor wishes to make a Claim for an increase in the Contract Sum, written notice as provided herein shall be given before proceeding to execute the Work. Prior notice is not required for Claims relating to an emergency endangering life or property arising under Section 10.4.

§ 15.1.5 CLAIMS FOR ADDITIONAL TIME

§ 15.1.5.1 If the Contractor wishes to make a Claim for an increase in the Contract Time, written notice as provided herein shall be given. The Contractor's Claim shall include an estimate of cost and of probable effect of delay on progress of the Work. In the case of a continuing delay, only one Claim is necessary.

§ 15.1.5.2 If adverse weather conditions are the basis for a Claim for additional time, such Claim shall be documented by data substantiating that weather conditions were abnormal for the period of time, could not have been reasonably anticipated and had an adverse effect on the scheduled construction.

§ 15.1.6 CLAIMS FOR CONSEQUENTIAL DAMAGES

The Contractor and Owner waive Claims against each other for consequential damages arising out of or relating to this Contract. This mutual waiver includes

- .1 damages incurred by the Owner for rental expenses, for losses of use, income, profit, financing, business and reputation, and for loss of management or employee productivity or of the services of such persons; and
- .2 damages incurred by the Contractor for principal office expenses including the compensation of personnel stationed there, for losses of financing, business and reputation, and for loss of profit except anticipated profit arising directly from the Work.

This mutual waiver is applicable, without limitation, to all consequential damages due to either party's termination in accordance with Article 14. Nothing contained in this Section 15.1.6 shall be deemed to preclude an award of liquidated damages, when applicable, in accordance with the requirements of the Contract Documents.

§ 15.2 INITIAL DECISION

§ 15.2.1 Claims, excluding those arising under Sections 10.3, 10.4, 11.3.9, and 11.3.10, shall be referred to the Initial Decision Maker for initial decision. The Architect will serve as the Initial Decision Maker, unless otherwise indicated in the Agreement. Except for those Claims excluded by this Section 15.2.1, an initial decision shall be required as a condition precedent to mediation of any Claim arising prior to the date final payment is due, unless 30 days have passed after the Claim has been referred to the Initial Decision Maker with no decision having been rendered. Unless the Initial Decision Maker and all affected parties agree, the Initial Decision Maker will not decide disputes between the Contractor and persons or entities other than the Owner.

§ 15.2.2 The Initial Decision Maker will review Claims and within ten days of the receipt of a Claim take one or more of the following actions: (1) request additional supporting data from the claimant or a response with supporting data from the other party, (2) reject the Claim in whole or in part, (3) approve the Claim, (4) suggest a compromise, or (5) advise the parties that the Initial Decision Maker is unable to resolve the Claim if the Initial Decision Maker lacks sufficient information to evaluate the merits of the Claim or if the Initial Decision Maker concludes that, in the Initial Decision Maker's sole discretion, it would be inappropriate for the Initial Decision Maker to resolve the Claim.

§ 15.2.3 In evaluating Claims, the Initial Decision Maker may, but shall not be obligated to, consult with or seek information from either party or from persons with special knowledge or expertise who may assist the Initial Decision Maker in rendering a decision. The Initial Decision Maker may request the Owner to authorize retention of such persons at the Owner's expense.

§ 15.2.4 If the Initial Decision Maker requests a party to provide a response to a Claim or to furnish additional supporting data, such party shall respond, within ten days after receipt of such request, and shall either (1) provide a response on the requested supporting data, (2) advise the Initial Decision Maker when the response or supporting data will be furnished or (3) advise the Initial Decision Maker that no supporting data will be furnished. Upon receipt of the response or supporting data, if any, the Initial Decision Maker will either reject or approve the Claim in whole or in part.

§ 15.2.5 The Initial Decision Maker will render an initial decision approving or rejecting the Claim, or indicating that the Initial Decision Maker is unable to resolve the Claim. This initial decision shall (1) be in writing; (2) state the reasons therefor; and (3) notify the parties and the Architect, if the Architect is not serving as the Initial Decision Maker, of any change in the Contract Sum or Contract Time or both. The initial decision shall be final and binding on the parties but subject to mediation and, if the parties fail to resolve their dispute through mediation, to binding dispute resolution.

§ 15.2.6 Either party may file for mediation of an initial decision at any time, subject to the terms of Section 15.2.6.1.

§ 15.2.6.1 Either party may, within 30 days from the date of an initial decision, demand in writing that the other party file for mediation within 60 days of the initial decision. If such a demand is made and the party receiving the demand fails to file for mediation within the time required, then both parties waive their rights to mediate or pursue binding dispute resolution proceedings with respect to the initial decision.

§ 15.2.7 In the event of a Claim against the Contractor, the Owner may, but is not obligated to, notify the surety, if any, of the nature and amount of the Claim. If the Claim relates to a possibility of a Contractor's default, the Owner may, but is not obligated to, notify the surety and request the surety's assistance in resolving the controversy.

§ 15.2.8 If a Claim relates to or is the subject of a mechanic's lien, the party asserting such Claim may proceed in accordance with applicable law to comply with the lien notice or filing deadlines.

§ 15.3 MEDIATION

§ 15.3.1 Claims, disputes, or other matters in controversy arising out of or related to the Contract except those waived as provided for in Sections 9.10.4, 9.10.5, and 15.1.6 shall be subject to mediation as a condition precedent to binding dispute resolution.

§ 15.3.2 The parties shall endeavor to resolve their Claims by mediation which, unless the parties mutually agree otherwise, shall be administered by the American Arbitration Association in accordance with its Construction Industry Mediation Procedures in effect on the date of the Agreement. A request for mediation shall be made in writing, delivered to the other party to the Contract, and filed with the person or entity administering the mediation. The request may be made concurrently with the filing of binding dispute resolution proceedings but, in such event, mediation shall proceed in advance of binding dispute resolution proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. ~~If an arbitration is stayed pursuant to this Section 15.3.2, the parties may nonetheless proceed to the selection of the arbitrator(s) and agree upon a schedule for later proceedings.~~
order

§ 15.3.3 The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.

§ 15.4 ARBITRATION

§ 15.4.1 If the parties have selected arbitration as the method for binding dispute resolution in the Agreement, any Claim subject to, but not resolved by, mediation shall be subject to arbitration which, unless the parties mutually agree otherwise, shall be administered by the American Arbitration Association in accordance with its Construction Industry Arbitration Rules in effect on the date of the Agreement. A demand for arbitration shall be made in writing, delivered to the other party to the Contract, and filed with the person or entity administering the arbitration. The party filing a notice of demand for arbitration must assert in the demand all Claims then known to that party on which arbitration is permitted to be demanded.

§ 15.4.1.1 A demand for arbitration shall be made no earlier than concurrently with the filing of a request for mediation, but in no event shall it be made after the date when the institution of legal or equitable proceedings based on the Claim would be barred by the applicable statute of limitations. For statute of limitations purposes, receipt of a written demand for arbitration by the person or entity administering the arbitration shall constitute the institution of legal or equitable proceedings based on the Claim.

§ 15.4.2 The award rendered by the arbitrator or arbitrators shall be final, and judgment may be entered upon it in accordance with applicable law in any court having jurisdiction thereof.

§ 15.4.3 The foregoing agreement to arbitrate and other agreements to arbitrate with an additional person or entity duly consented to by parties to the Agreement shall be specifically enforceable under applicable law in any court having jurisdiction thereof.

§ 15.4.4 CONSOLIDATION OR JOINDER

§ 15.4.4.1 Either party, at its sole discretion, may consolidate an arbitration conducted under this Agreement with any other arbitration to which it is a party provided that (1) the arbitration agreement governing the other arbitration permits consolidation, (2) the arbitrations to be consolidated substantially involve common questions of law or fact, and (3) the arbitrations employ materially similar procedural rules and methods for selecting arbitrator(s).

§ 15.4.4.2 Either party, at its sole discretion, may include by joinder persons or entities substantially involved in a common question of law or fact whose presence is required if complete relief is to be accorded in arbitration, provided that the party sought to be joined consents in writing to such joinder. Consent to arbitration involving an additional person or entity shall not constitute consent to arbitration of any claim, dispute or other matter in question not described in the written consent.

§ 15.4.4.3 The Owner and Contractor grant to any person or entity made a party to an arbitration conducted under this Section 15.4, whether by joinder or consolidation, the same rights of joinder and consolidation as the Owner and Contractor under this Agreement.

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02 26 60	HAZARDOUS SOILS ASSESSMENT
02 31 00	GEOTECHNICAL EVALUATION AND SUBSURFACE EXPLORATION
02 41 19	SELECTIVE DEMOLITION

DIVISION 03 – CONCRETE

03 30 00	CAST-IN-PLACE CONCRETE
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DIVISION 04 – MASONRY

04 01 10	MASONRY CLEANING
04 20 00	UNIT MASONRY

DIVISION 05 – METALS

05 12 00	STRUCTURAL STEEL FRAMING
05 12 13	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING
05 31 00	STEEL DECKING
05 40 00	COLD-FORMED METAL FRAMING
05 50 00	METAL FABRICATIONS
05 51 13	METAL PAN STAIRS
05 52 13	PIPE AND TUBE RAILINGS
05 73 00	DECORATIVE METAL RAILINGS
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06 10 53	MISCELLANEOUS ROUGH CARPENTRY
06 16 00	SHEATHING
06 20 23	INTERIOR FINISH CARPENTRY
06 64 00	PLASTIC PANELING

DIVISION 07 – THERMAL AND MOISTURE PROTECTION

07 13 26	SELF-ADHERING SHEET WATERPROOFING
07 21 00	THERMAL INSULATION
07 24 19	WATER-DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM
07 27 26	FLUID-APPLIED MEMBRANE AIR BARRIERS
07 42 13.23	METAL COMPOSITE MATERIAL WALL PANELS
07 53 16	CHLOROSULFONATE-POLYETHYLENE (CSPE) ROOFING
07 54 23	THERMOPLASTIC POLYOLEFIN (TPO) ROOFING
07 62 00	SHEET METAL FLASHING AND TRIM
07 71 00	ROOF SPECIALTIES
07 71 29	MANUFACTURED ROOF EXPANSION JOINTS
07 72 00	ROOF ACCESSORIES
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07 84 46	FIRE-RESISTIVE JOINT SYSTEMS
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09 22 16	NON-STRUCTURAL METAL FRAMING
09 22 26.13	BARRIER CEILING SUSPENSION SYSTEMS
09 29 00	GYPSUM BOARD
09 30 13	TILING
09 51 13	ACOUSTICAL PANEL CEILINGS
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09 65 13	RESILIENT BASE AND ACCESSORIES
09 65 16	RESILIENT SHEET FLOORING
09 68 00	CARPETING
	CARPET CONTROL DIAGRAM
09 74 13	WOOD VENEER WALLCOVERING
09 84 33	SOUND-ABSORBING WALL UNITS
09 91 23	INTERIOR PAINTING
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09 94 13	TEXTURED FINISHING
09 96 66	WATER VAPOR EMISSION CONTROL SYSTEMS
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10 28 00	TOILET AND BATH ACCESSORIES
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10 51 43	WIRE MESH STORAGE LOCKERS

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11 61 33	ACOUSTIC DRAPERY

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12 24 00	ROLLER WINDOW SHADES
12 32 00	MANUFACTURED CASEWORK
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DIVISION 14 – CONVEYING EQUIPMENT
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VOLUME 2

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21 05 17 SLEEVES AND SLEEVE SEALS FOR FIRE-SUPPRESSION PIPING
21 05 18 ESCUTCHEONS FOR FIRE-SUPPRESSION PIPING
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23 05 48	NOISE AND VIBRATION CONTROL FOR HVAC SYSTEMS
23 05 53	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT
23 05 93	TESTING, ADJUSTING, AND BALANCING FOR HVAC
23 06 90	EQUIPMENT SOUND POWER/PRESSURE LEVEL LIMITS
23 07 13	DUCT INSULATION
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23 07 19	HVAC PIPING INSULATION
23 09 00	INSTRUMENTATION AND CONTROL FOR HVAC
23 09 13	VARIABLE FREQUENCY DRIVES
23 11 23	FACILITY NATURAL-GAS PIPING
23 21 13	HYDRONIC PIPING
23 21 23	HYDRONIC PUMPS
23 23 00	REFRIGERANT PIPING
23 25 00	HVAC WATER TREATMENT
23 31 13	METAL DUCTS
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23 33 00	AIR DUCT ACCESSORIES
23 33 19	DUCT SOUND ATTENUATORS
23 33 53	DUCT LINERS
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23 34 23	HVAC POWER VENTILATORS
23 36 00	AIR TERMINAL UNITS
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23 41 00	PARTICULATE AIR FILTRATION
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23 74 13	PACKAGED, OUTDOOR, CENTRAL-STATION AIR-HANDLING UNITS
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26 01 00	BASIC ELECTRICAL REQUIREMENTS
26 05 00	COMMON WORK RESULTS FOR ELECTRICAL
26 05 19	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES
26 05 26	GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS
26 05 29	HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS
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26 05 43	UNDERGROUND DUCTS AND RACEWAYS FOR ELECTRICAL SYSTEMS
26 05 44	SLEEVES AND SLEEVE SEALS FOR ELECTRICAL RACEWAYS AND CABLING
26 05 48	VIBRATION AND SEISMIC CONTROLS FOR ELECTRICAL SYSTEMS
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26 05 73	POWER SYSTEM STUDY
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26 27 26	WIRING DEVICES
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26 28 17	COMPANY SWITCHES
26 29 13	ENCLOSED CONTROLLERS
26 29 23	VARIABLE-FREQUENCY MOTOR CONTROLLERS
26 33 23	CENTRAL BATTERY EQUIPMENT
26 43 13	SURGE PROTECTION
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27 05 00	COMMON WORK RESULTS FOR COMMUNICATIONS
27 05 26	GROUNDING AND BONDING FOR COMMUNICATIONS SYSTEMS
27 05 28	PATHWAYS FOR COMMUNICATIONS SYSTEMS
27 11 00	COMMUNICATION EQUIPMENT ROOM FITTINGS
27 13 00	COMMUNICATION BACKBONE CABLING
27 15 00	COMMUNICATION HORIZONTAL CABLING
27 41 16	INTEGRATED AUDIOVISUAL SYSTEMS
27 99 99	COMMUNICATIONS APPENDIX

DIVISION 28 – ELECTRONIC SAFETY AND SECURITY

28 05 00	COMMON WORK RESULTS FOR ELECTRONIC SAFETY AND SECURITY
28 31 00	FIRE DETECTION AND ALARM

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NOT USED

Attachment C
Avalon Theatre, Phase 1 Addition & Remodel
Addendums

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Addendum 1	dated 3/11/13
Addendum 2	dated 3/21/13
Addendum 3	dated 3/25/13

Attachment D
Avalon Theatre, Phase 1 Addition & Remodel
Supplemental Information- Option "B"
Shell Only of the Addition and Finish
Documents Dated 2/26/13, Issued 4/19/13

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The Project Bid Amounts exceeded available funding. The City of Grand Junction and FCI Constructors worked together to revise the project scope to get within an acceptable budget. Chamberlin Architects, the local affiliate architect of Westlake Reed Leskosky, issued the following documents refining the project scope to keep all the base bid work intact in the existing theater (except for revisions to the existing stair in the front lobby) and revising the Addition portion to be the shell only and not (under this bid) suitable for occupancy.

<u>PAGE</u>	<u>DESCRIPTION</u>
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OPTION B (Previously Labeled Option 5)

AE-101	BASEMENT PLAN
AE-102	FIRST FLOOR PLAN
AE-103	MEZZANINE FLOOR PLAN
AE-104	UPPER MEZZANINE FLOOR PLAN
AE-105	ROOF PLAN

MECHANICAL

MH-101	MECHANICAL PLAN – BASEMENT
MH-102	MECHANICAL PLAN – FIRST FLOOR
MH-103	MECHANICAL PLAN – MEZZANINE
MH-104	MECHANICAL PLAN – UPPER MEZZANINE
MH-105	MECHANICAL PLAN – ROOF
MP-101	MECHANICAL PIPING PLAN – BASEMENT
MP-102	MECHANICAL PIPING PLAN – FIRST FLOOR
MP-103	MECHANICAL PIPING PLAN – MEZZANINE
MP-104	MECHANICAL PIPING PLAN – UPPER MEZZANINE
MP-105	MECHANICAL PIPING PLAN – ROOF

PLUMBING

PL-100	BASEMENT WASTE AND VENT PLAN
PL-101	FIRST FLOOR WASTE AND VENT PLAN
PL-102	SECOND FLOOR WASTE AND VENT PLAN
PL-103	THIRD FLOOR WASTE AND VENT PLAN
PL-104	ROOF STORM DRAINAGE PLAN
PL-200	BASEMENT DOMESTIC WATER PLAN
PL-201	FIRST FLOOR DOMESTIC WATER PLAN
PL-202	SECOND FLOOR DOMESTIC WATER PLAN
PL-203	THIRD FLOOR DOMESTIC WATER PLAN

FIRE PROTECTION

FP-100	BASEMENT FIRE PROTECTION PLAN
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Attachment D
Avalon Theatre, Phase 1 Addition & Remodel
Supplemental Information- Option "B"
Shell Only of the Addition and Finish
Documents Dated 2/26/13, Issued 4/19/13

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FP-101	FIRST FLOOR FIRE PROTECTION PLAN
FP-102	SECOND FLOOR FIRE PROTECTION PLAN
FP-103	THIRD FLOOR FIRE PROTECTION PLAN

ELECTRICAL

Grand Valley Electrical Solutions, L.L.C. Narrative on Electrical scope changes dated April 19, 2013, The last paragraph labeled Option 5 (now called option B), and additional information dated May 6, 2013.

The Project Manual and Project drawings will be further refined in the future to reflect the revised scope of work. In addition, the form of contract between FCI and the City of Grand Junction is changed from the "hard bid" format originally included in the Contract Documents to a "Cost of the Work plus a Fee with a Guaranteed Maximum Price" format utilizing the AIA Document A133 -2009, Standard Form of Agreement Between Owner and Construction Manager as Constructor and the AIA Document A201-2007, General Conditions of the Contract for Construction. Both documents will be modified as appropriate for this project and as agreed to by the parties.

Due to this change in contracting format, there are portions of Division 00 and Division 01 of the Project Manual that are inappropriate and incorrect. Revisions to these divisions are forthcoming and will be adopted by Change Order as agreed to by the parties.

The contract scope of work is further defined by Attachment E, "Cost and Scope Adjustments to the Original Bid", dated May 16, 2013, which is the detailed estimate of costs associated with the Option B scope and includes a list of adjustments to the project scope. Inclusion of this estimate is to clarify assumptions made by FCI and the scope of work given the preliminary nature of the documents referenced above. Inclusion of this estimate does not create a line item cost guarantee.

END OF ATTACHMENT D

ATTACHMENT E

PROJECT:

**AVALON THEATER – ADDITION & RENOVATIONS
PROJECT**

GRAND JUNCTION, CO

PREPARED FOR:

**CITY OF GRAND JUNCTION
GRAND JUNCTION DOWNTOWN DEVELOPMENT AUTHORITY
AVALON THEATER FOUNDATION**

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID – *OPTION "B"*

May 16, 2013

PREPARED BY: FCI CONSTRUCTORS, INC.

FCI Constructors, Inc.

Date:

May 16, 2013

Project:

AVALON THEATER - ADDITION & RENOVATIONS

GRAND JUNCTION, CO

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID -

NEW CONSTR. -

RENOVATION -

5/16/2013

DESCRIPTION	TOTAL SF	-	NOTES
	TOTAL COST	COST/SF	
010000 GENERAL CONDITIONS	\$ 290,298		
310000 SITE WORK	\$ 102,353		
020000 SITEWORK - BUILDING	\$ 190,418		
030000 CONCRETE	\$ 261,831		
040000 MASONRY	\$ 268,365		
050000 METALS	\$ 619,201		
060000 WOOD & PLASTICS	\$ 170,318		
070000 THERMAL & MOISTURE PROTECTION	\$ 331,930		
080000 DOORS & WINDOWS	\$ 312,360		
090000 FINISHES	\$ 454,057		
100000 SPECIALTIES	\$ 2,712		
110000 EQUIPMENT	\$ 29,423		
120000 FURNISHINGS	\$ 161,940		
130000 SPECIAL CONSTRUCTION	\$ -		
140000 CONVEYING SYSTEMS	\$ -		
210000 FIRE PROTECTION	\$ 147,600		
220000 PLUMBING	\$ 351,111		
230000 HVAC	\$ 893,780		
260000 ELECTRICAL	\$ 657,802		
27/280000 SPECIAL SYSTEMS	\$ 123,046		
SUBTOTAL - DIRECT COST	\$ 5,368,543		
PRECONSTRUCTION FEE	\$ -		0.00%
BUILDERS RISK INSURANCE	\$ 5,079		
GENERAL LIABILITY INSURANCE	\$ 25,080		0.40%
PROPERTY SURVEY	\$ -		BY OWNER
SOILS INVESTIGATION/GEOTECHNICAL ENGINEERING	\$ -		BY OWNER
MATERIALS TESTING / INSPECTION	\$ -		BY OWNER
PLANNING APPLICATIONS/PERMIT/PLAN REVIEW FEES	\$ -		BY OWNER
BUILDING PERMIT	\$ -		BY OWNER
UTILITY TAP FEES	\$ -		BY OWNER
ARCHITECTURAL DESIGN & ENGINEERING (C/S/M&E)	\$ -		BY OWNER
OWNER CONTINGENCY	\$ -		BY OWNER
FCI PAYMENT/PERFORMANCE BOND	\$ 37,957		1-YR WARRANTY
FCI CONSTRUCTION PHASE FEE	\$ 326,200		6.00%
SUBTOTAL ESTIMATED CONSTRUCTION COST	\$ 5,762,859		
010000 BID ALLOWANCES/OWNER CONTINGENCIES	\$ 200,000		FORCE ACCOUNT
	\$ 50,000		CONTAMINATED SOILS- PETROLEUM
	\$ 25,000		CONTAMINATED SOILS- MILL TAILINGS
SUBTOTAL	\$ 6,037,859		
ORIGINAL BID AMOUNT	\$ 7,178,785	\$ 1,140,926	DELTA
PROPOSED CM/GC CONTINGENCY	\$ 231,921		
TOTAL ESTIMATED CONSTRUCTION COST	\$ 6,269,780	OPTION "B"	

FCI Constructors, Inc.

May 16, 2013

Date:

Project:

**AVALON THEATER - ADDITION & RENOVATIONS PROJECT
GRAND JUNCTION, CO**

ADJUSTMENTS TO THEATER BUILDING ADDITION INCORPORATED INTO OPTION "B"-

Selective demolition- deleted removal of existing Lobby stair to Mezzanine.
Masonry- deleted brick veneer at south elevation & replace with stucco (to match remainder of wall).
Masonry - Infill window opening 1H at east wall of Multi-purpose Room 106.
Interior stairs - deleted Stair A.
Interior ornamental glass railings- deleted at Stair A and Mezzanine 200 balcony.
Metals - deleted Interior metal fabrications.
Millwork/casework - deleted interior casework, Concessions casework, lavatory counters.
Added foundation dampproofing & insulation (not previously shown on bid documents).
Revised air & moisture barrier at exterior walls to "Tyvek" type material (from spray-applied membrane).
Interior sound batts in partitions - deleted.
Exterior wall copings - revised EIFS coping material to break metal material.
Interior doors frames & hardware- deleted.
Interior windows & glazing- deleted.
Interior finishes (drywall, acoustic ceilings, ceramic tile, painting)- deleted.
Toilet room partitions & specialties - deleted.
Storage Lockers- deleted.
Fire extinguishers & cabinets-deleted.
Window treatments- deleted.
Elevator- deleted.
Wheelchair lift-deleted.
Fire sprinklers - revised to all upright heads (no finished ceilings).
Plumbing- interior plumbing deleted.
HVAC- deleted interior build out-added back unit heaters.
Electrical- deleted interior buildin out.
AV-deleted building out in MP room 106.

VALUE ANALYSIS - EXISTING THEATER INCLUDED

Loose chairs (existing auditorium)-deleted.
Tiered seating (Mezzanine only)- revise flooring from engineered wood to carpeting.

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
 BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"
 SF 0

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
020000 SITE WORK				
022110 SITE DEMOLITION	SKYLINE CONTRACTING			
ORIGINAL BID*****	LS	1.00	\$	90,273
REMOVE CONC LOADING PLATFORM	SF	683.00	\$	INCLUDED
REMOVE CONCRETE WALKS-NORTH	SF	1,200.00	\$	INCLUDED
REMOVE CONCRETE WALKS-EAST	SF	510.00	\$	INCLUDED
REMOVE CONCRETE WALKS-WEST	SF	972.00	\$	INCLUDED
REMOVE CONC CURB & GUTER	LF	205.00	\$	INCLUDED
REMOVE ASPHALT PAVEMENT	SF	4,441.00	\$	INCLUDED
SAW CUT ALLEY PAVEMENT	LF	170.00	\$	1,815
REMOVE ALLEY CONC PAVING	SF	425.00	\$	574
REMOVE DONOR BRICK PAVING & SALVAGE	SF	100.00	\$	500
REMOVE & SALVAGE TRASH CAN	LS	1.00	\$	BY OWNER
REMOVE PARKING METERS	EA	4.00	\$	BY OWNER
REMOVE EXISTING POLE FIXTURES-SALVAGE	EA	5.00	\$	INCLUDED
REMOVE LIGHT POLE FOUNDATIONS	EA	5.00	\$	INCLUDED
REMOVE EXISTING ARTWORK	EA	-	\$	BY OWNER
REMOVE & SALVAGE BENCHES	EA	2.00	\$	BY OWNER
REMOVE & SALVAGE TREE GRATES	EA	1.00	\$	54
REMOVE TREES	EA	4.00	\$	800
TOTAL - SITE DEMOLITION			\$	93,816
022210 EXCAV. & BACKFILL & COMPACT	SKYLINE CONTRACTING			
EXCAVATE FOR BASEMENT	CY	1,100.00	\$	INCLUDED
BASEMENT SPOILS REMOVAL	SF	1,100.00	\$	INCLUDED
BASEMENT WALLS BACKFILL	CY	834.00	\$	INCLUDED
EXCAVATE FOUNDATIONS -MACHINE	LS	1.00	\$	INCLUDED
BACKFILL FOUNDATIONS- IMPORT MAT'L	LS	1.00	\$	INCLUDED
BACKFILL FOUNDATIONS- PROCESSED NATIVE MAT'L	LS	1.00	\$	INCLUDED
DISPOSE EXCESS MATERIAL	LS	1.00	\$	INCLUDED
PLACE/COMPACT DRAINAGE FILL UNDER SLABS ON GRADE- 6" TH	CY	395.53	\$	INCLUDED
10 MIL VAPOR BARRIER	SF	6,526.30	\$	2,937
PLACE/COMPACT DRAINAGE FILL UNDER SLABS ON GRADE- 4" TH	CY	134.18	\$	INCLUDED
PLACE/COMPACT DRAINAGE FILL	CY	8.53	\$	INCLUDED
PLACE/COMPACT DRAINAGE FILL	CY	9.80	\$	INCLUDED
TOTAL - EXCAVATION, BACKFILL & COMPACT			\$	2,937
312550 CONCRETE SIDEWALKS	M&M CONCRETE/FCI CONSTRUCTORS			
CONCRETE WALKS	RI	6.00	\$ 124.45	INCLUDED
CONCRETE STAIRS	SF	1,965.00	\$ 8.60	INCLUDED
CONCRETE SIDEWALKS	SF	121.00	\$ 0.13	INCLUDED
SIDEWALK W/TURNED DOWN EDGES-24"	SF	480.00	\$ 3.73	INCLUDED
CONCRETE CURB & GUTTER	LF	37.00	\$ 3.67	INCLUDED
SLAB PATCH- 8" TH AT ALLEYS	SF	525.00	\$ 0.90	INCLUDED
CURING COMPOUND	SF	2,566.00	\$ 0.36	INCLUDED
CONCRETE CURBS AT WALKS	LF	83.00	\$ 0.24	INCLUDED
RE-INSTALL DONOR BRICK PAVING	SF	100.00	\$ 5.00	500
SUBTOTAL- SIDEWALKS			\$	500
312650 STORM SEWER				
STORM DAINAGE SYSTEM	LS	1.00	\$	EXCLUDED
SUBTOTAL- STORM SEWER			\$	-

FCI Cost Worksheet

May 18, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
 BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"
 SF 0

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
020000 SITE WORK				
312860 SANITARY SEWER				
6" SANITARY PIPING	LF	8.00	\$ 3.50	LF INCLUDED
SANITARY SEWER TIE-IN-WEST ALLEY	EA	1.00	\$ 2,500.00	EA \$ 2,500
CUT & PATCH EXISTING ALLEY PAVEMENT	SF	80.00	\$ 1,600.00	SF \$ 1,600
SUBTOTAL- SANITARY SEWER				\$ 4,100
312865 WATER SERVICE				
WET TAP-6" INTO 8"	EA	1.00	\$ -	EA INCLUDED
DRILL NEW HOLE IN EX FDN WALL	EA	1.00	\$ 1,000.00	EA \$ 1,000
SUBTOTAL- WATER SERVICE				\$ 1,000
020000 SITE WORK (BUILDING) - TOTALS				\$ 102,353

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
020000 SITE WORK (BUILDING)				
021120 SELECTIVE DEMOLITION				
ORIGINAL BID *****	ORION ENVIRONMENTAL	LS	1.00 \$ 81,318.00	LS \$ 81,318
INTERIOR SELECTIVE DEMOLITION		LS	1.00 \$ -	LS INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
EXISTING MEZZANINE LOBBY STAIR	DELETE	LS	(1.00) \$ -	LS \$ (3,600)
TOTAL - SELECTIVE DEMOLITION				\$ 77,818
025120 HELICAL PIER FOUNDATIONS	FLATTOPS STEEL PIERING			
ORIGINAL BID *****	42" AVG DEPTH	LS	1.00 \$ -	LS \$ -
HELICAL PIERS	42" AVG DEPTH	EA	73.00 \$ 1,500.00	EA \$ 109,300
IN LINE TORSION LOAD TEST		LS	1.00 \$ -	LS \$ 2,000
TOTAL - HELICAL PIER FOUNDATIONS				\$ 111,300
025920 FOUNDATION UNDERPINNING	FCI CONSTRUCTORS			
ORIGINAL BID *****	2 LOCATIONS-CONCRETE	LS	1.00 \$ 1,300.00	LS \$ 1,300
FOUNDATION UNDERPINNING	PER PLAN NOTE 5 -S101	LS	1.00 \$ 1,300.00	LS INCLUDED
TOTAL - FOUNDATION UNDERPINNING				\$ 1,300
026150 FOUNDATION DRAINAGE SYSTEM	SKYLINE CONTRACTING			
PERIMETER FOUNDATION DRAINS- 4" PERF PIPING		LF	128.00 \$ 16.00	LF INCLUDED
UNDERSLAB DRAINS- 4" PERF PIPING	N/A-EXCLUDED	LF	- \$ 16.00	LF \$ -
TOTAL - FOUNDATION DRAINAGE SYSTEM				\$ -
020000 SITE WORK (BUILDING) - TOTALS				\$ 190,418

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
 BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL	TOTAL
030000 CONCRETE					
033200 CAST-IN-PLACE CONCRETE					
M&M CONCRETE/FCI CONSTRUCTORS					
ORIGINAL BID AMOUNT*****				\$	258,931
PIER CAPS					
FORM/STRIP PIER CAPS	SF	475.00	\$ 5.44	SF	INCLUDED
SET COLUMN ANCHOR BOLTS	SETS	8.00	\$ 46.00	SETS	INCLUDED
GROUT COLUMN BASE PLATES	EA	8.00	\$ 32.77	EA	INCLUDED
REBAR TO PIER CAPS	TN	1.02	\$ 1,380.00	TN	INCLUDED
CONCRETE TO PIER CAPS	CY	25.52	\$ 123.50	CY	INCLUDED
SUBTOTAL- PIER CAPS				\$	258,931
GRADE BEAMS					
1ST FLOOR					
FORM/STRIP GRADE BEAMS	SF	1,956.00	\$ 5.31	SF	INCLUDED
FORM/STRIP SLAB SHELF-GRADE BEAMS	LF	-	\$ 4.07	LF	\$ -
CARTON/VOID FORMS UNDER GRADE BMS	LF	-	\$ 6.67	LF	\$ -
SET COLUMN ANCHOR BOLTS	SETS	1.00	\$ 46.00	SETS	INCLUDED
GROUT COLUMN BASE PLATES	EA	1.00	\$ 32.77	EA	INCLUDED
REBAR TO GRADE BEAMS	TN	4.56	\$ 1,456.00	TN	INCLUDED
POINT & PATCH GRADE BEAMS	SF	978.00	\$ 0.58	SF	INCLUDED
CONCRETE TO GRADE BEAMS	CY	76.07	\$ 120.80	CY	INCLUDED
SUBTOTAL- GRADE BEAMS				\$	-
GRADE BEAMS				\$ -	CY
BASEMENT					
FORM/STRIP GRADE BEAMS	SF	777.00	\$ 5.31	SF	INCLUDED
CARTON/VOID FORMS UNDER GRADE BMS	LF	-	\$ 6.67	LF	\$ -
REBAR TO GRADE BEAMS	TN	1.81	\$ 1,456.00	TN	INCLUDED
POINT & PATCH GRADE BEAMS	SF	388.50	\$ 0.58	SF	INCLUDED
CONCRETE TO GRADE BEAMS	CY	30.22	\$ 120.80	CY	INCLUDED
SUBTOTAL- GRADE BEAMS				\$	-
PERIMETER RETAINING WALLS				\$ -	CY
12" THICK WALLS					
FORM/STRIP RETAINING WALLS	SF	3,192.00	\$ 6.96	SF	INCLUDED
REBAR TO RETAINING WALLS	TN	3.82	\$ 1,521.00	TN	INCLUDED
POINT & PATCH RETAINING WALLS	SF	1,596.00	\$ 0.46	SF	INCLUDED
CONCRETE TO RETAINING WALLS	CY	72.98	\$ 159.55	CY	INCLUDED
SUBTOTAL- RETAINING WALLS				\$	-
ELEVATOR PIT SLAB					
FORM/STRIP PIT SLAB EDGES	SF	96.00	\$ 4.80	SF	INCLUDED
SHEAR KEY-PIT SLAB	LF	36.00	\$ 1.80	LF	INCLUDED
WATERSTOP-BAR TYPE-PIT SLAB	LF	36.00	\$ 3.65	LF	INCLUDED
REBAR TO PIT SLAB	TN	0.36	\$ 1,456.00	TN	INCLUDED
FINISH ELEVATOR PIT SLAB	SF	144.00	\$ 0.45	SF	INCLUDED
CURE & PROTECT ELEVATOR PIT SLAB	SF	144.00	\$ 0.37	SF	INCLUDED
CONCRETE TO ELEVATOR PIT SLAB	CY	11.20	\$ 123.50	CY	INCLUDED
SUBTOTAL- ELEVATOR PIT SLAB				\$	-
ELEVATOR PIT WALLS					
FORM/STRIP PIT WALLS	SF	240.00	\$ 6.00	SF	INCLUDED
SHEAR KEYWAY-ELEV PIT WALLS	LF	36.00	\$ 2.20	LF	INCLUDED
WATERSTOP-PIT WALLS	LF	36.00	\$ 4.32	LF	INCLUDED
REBAR TO PIT WALLS	TN	0.24	\$ 1,570.00	TN	INCLUDED
POINT/PATCH WALLS	SF	120.00	\$ 0.46	SF	INCLUDED
CONCRETE TO PIT WALLS	CY	4.70	\$ 137.00	CY	INCLUDED
SUBTOTAL- ELEVATOR PIT WALLS				\$	-
			\$ -	CY	

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
030000 CONCRETE				
033200 CAST-IN-PLACE CONCRETE				
M&M CONCRETE/FCI CONSTRUCTORS				
SLABS ON GRADE				
BASEMENT				
CONCRETE TO SLAB ON GRADE	5" TH / NON-STRUCTURAL	CY	8.02 \$	151.45 CY INCLUDED
ADD FOR MOSTURE BARRIER ADMIXTURE	N/A-EXCLUDED	CY	- \$	68.00 CY \$ -
FINE GRADE SUBGRADE		SF	491.00 \$	0.30 SF INCLUDED
CONSTRUCTION JOINTS		LF	- \$	3.73 LF \$ -
EDGE FORMS- 9"	DOOR OPENINGS/FLR OPENINGS	LF	- \$	5.29 LF \$ -
RECESSED EDGE FORMS		LF	- \$	4.45 LF \$ -
REBAR TO SLAB ON GRADE- #4'S AT 18" OC		TN	0.22 \$	1,521.00 TN INCLUDED
WIRE MESH REINF- 6X6/W2.9/2.9	N/A-SEE REBAR ABOVE	SF	- \$	0.43 SF \$ -
CONTROL JOINTS- SAWN/CAULKED		LF	63.83 \$	1.85 LF INCLUDED
TROWEL FINISH SLAB ON GRADE		SF	491.00 \$	0.55 SF INCLUDED
CURE & PROTECT SLAB ON GRADE		SF	491.00 \$	0.44 SF INCLUDED
PERIMETER JOINT FILLER - 5" X 1/2"		LF	135.00 \$	3.98 LF INCLUDED
FORM COLUMN POCKETS		EA	- \$	38.00 EA \$ -
GROUT COLUMN POCKETS		EA	- \$	29.80 EA \$ -
SUBTOTAL- SLABS ON GRADE				\$ -
			\$ -	
SLABS ON GRADE				
1ST FLOOR				
CONCRETE TO SLAB ON GRADE	5" TH / NON-STRUCTURAL	CY	88.87 \$	151.45 CY INCLUDED
ADD FOR MOSTURE BARRIER ADMIXTURE	N/A-EXCLUDED	CY	- \$	68.00 CY \$ -
FINE GRADE SUBGRADE		SF	5,441.00 \$	0.30 SF INCLUDED
CONSTRUCTION JOINTS		LF	- \$	3.73 LF \$ -
EDGE FORMS- 9"	DOOR OPENINGS/FLR OPENINGS	LF	- \$	5.29 LF \$ -
RECESSED EDGE FORMS		LF	198.00 \$	4.45 LF INCLUDED
REBAR TO SLAB ON GRADE- #4'S AT 18" OC	N/A-SEE WWF BELOW	TN	0.22 \$	1,521.00 TN INCLUDED
WIRE MESH REINF- 6X6/W2.9/2.9		SF	5,985.10 \$	0.43 SF INCLUDED
CONTROL JOINTS- SAWN/CAULKED		LF	707.33 \$	1.85 LF INCLUDED
TROWEL FINISH SLAB ON GRADE		SF	5,441.00 \$	0.55 SF INCLUDED
CURE & PROTECT SLAB ON GRADE		SF	5,441.00 \$	0.44 SF INCLUDED
PERIMETER JOINT FILLER - 5" X 1/2"		LF	314.00 \$	3.98 LF INCLUDED
FORM COLUMN POCKETS		EA	9.00 \$	38.00 EA INCLUDED
GROUT COLUMN POCKETS		EA	9.00 \$	29.80 EA INCLUDED
SUBTOTAL- SLABS ON GRADE				\$ -
			\$ -	
SLABS ON METAL DECKING				
MEZZ/UPPER MEZZ				
CONCRETE TO SLABS ON DECK	LIGHT WT MATERIAL	CY	159.07 \$	188.50 CY INCLUDED
ADD FOR MOSTURE BARRIER ADMIXTURE	N/A-EXCLUDED	CY	- \$	68.00 CY \$ -
RECESSED EDGE FORMS		LF	503.00 \$	4.45 LF INCLUDED
WIRE MESH REINF- 6X6/W2.9		SF	9,449.00 \$	0.60 SF INCLUDED
REBAR TO SLABS ON DECK	SUPPLEMENTAL REINF	TN	0.86 \$	1,456.00 TN INCLUDED
WELDED REBARS- TO POUR STOP		EA	33.00 \$	46.00 EA INCLUDED
TROWEL FINISH SLABS ON DECK		SF	8,590.00 \$	0.51 SF INCLUDED
CURE & PROTECT SLABS ON DECK		SF	8,590.00 \$	0.26 SF INCLUDED
SUBTOTAL- SLABS ON METAL DECKING				\$ -
			\$ -	
SLABS ON METAL DECKING				
ROOF SLAB				
CONCRETE TO SLABS ON DECK	NORMAL WT MAT'L	CY	73.22 \$	123.50 CY INCLUDED
EDGE FORMS- 6"	N/A-SEE GAGE MTL POUR STOP	LF	- \$	5.29 LF \$ -
WIRE MESH REINF- 6X6/W2.9		SF	3,570.60 \$	0.60 SF INCLUDED
REBAR TO SLABS ON DECK	N/A	TN	- \$	1,456.00 TN \$ -
TROWEL FINISH SLABS ON DECK		SF	3,246.00 \$	0.51 SF INCLUDED
CURE & PROTECT SLABS ON DECK		SF	3,246.00 \$	0.26 SF INCLUDED
SUBTOTAL- SLABS ON METAL DECKING				\$ -
			\$ -	
SLABS ON METAL DECKING				
TOPPING SLABS OVER WPGF				
CONCRETE TO SLABS ON DECK	LIGHT WT MATERIAL	CY	4.88 \$	188.50 CY INCLUDED

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
EDGE FORMS- 6" N/A-SEE GAGE MTL POUR STOP	LF	-	\$ 5.29	LF \$ -
WIRE MESH REINF.- 6X6/W2.0	SF	811.80	\$ 0.58	SF INCLUDED
REBAR TO SLABS ON DECK N/A	TN	-	\$ 1,456.00	TN \$ -
TROWEL FINISH SLABS ON DECK	SF	738.00	\$ 0.51	SF INCLUDED
CURE & PROTECT SLABS ON DECK	SF	738.00	\$ 0.26	SF INCLUDED
SUBTOTAL- SLABS ON METAL DECKING			\$ -	SF \$ -
030000 CONCRETE				
033200 CAST-IN-PLACE CONCRETE				
SLABS ON METAL DECKING				
M&M CONCRETE/FCI CONSTRUCTORS				
TOPPING SLABS OVER INSUL				
CONCRETE TO SLABS ON DECK LIGHT WT MATERIAL	CY	7.50	\$ 188.50	CY INCLUDED
EDGE FORMS- 10"	LF	115.00	\$ 5.29	LF INCLUDED
WIRE MESH REINF.- 6X6/W2.0	SF	976.80	\$ 0.58	SF INCLUDED
REBAR TO SLABS ON DECK N/A	TN	-	\$ 1,456.00	TN \$ -
TROWEL FINISH SLABS ON DECK	SF	888.00	\$ 0.51	SF INCLUDED
CURE & PROTECT SLABS ON DECK	SF	888.00	\$ 0.26	SF INCLUDED
SUBTOTAL- SLABS ON METAL DECKING			\$ -	SF \$ -
SLABS ON METAL DECKING				
ENTRY FROST SLABS				
CONCRETE TO SLABS ON DECK NORMAL WT MAT'L	CY	2.07	\$ 188.50	CY INCLUDED
EDGE FORMS- 8"	LF	38.00	\$ 5.29	LF INCLUDED
WIRE MESH REINF.- 6X6/W2.0	SF	88.00	\$ 0.58	SF INCLUDED
REBAR TO SLABS ON DECK N/A	TN	-	\$ 1,456.00	TN \$ -
TROWEL FINISH SLABS ON DECK	SF	80.00	\$ 0.51	SF INCLUDED
CURE & PROTECT SLABS ON DECK	SF	80.00	\$ 0.26	SF INCLUDED
SUBTOTAL- SLABS ON METAL DECKING			\$ -	SF \$ -
METAL PAN STAIR FILL				
CONCRETE TO METAL PAN STAIRS	CY	4.81	\$ 168.00	CY INCLUDED
WIRE MESH REINF.- 6X6/W2.1	SF	544.50	\$ 0.96	SF INCLUDED
FINISH MTL PAN STAIR TREADS/PLATFORMS	SF	495.00	\$ 1.20	SF INCLUDED
CURE & PROTECT METAL STAIR PANS/PLATFORMS	SF	495.00	\$ 0.55	SF INCLUDED
SUBTOTAL- METAL PAN STAIR FILL			\$ -	SF \$ -
KNEE WALLS				
ROOF TERRACE				
FORM/STRIP STEM WALLS	SF	144.00	\$ 6.00	SF INCLUDED
REBAR TO STEM WALLS	TN	0.16	\$ 1,445.00	TN INCLUDED
POINT & PATCH STEM WALLS	SF	72.00	\$ 0.58	SF INCLUDED
CONCRETE TO STEM WALLS	CY	1.40	\$ 155.50	CY INCLUDED
SUBTOTAL- KNEE WALLS			\$ -	SF \$ -
GRADE BEAMS				
ENTRY FROST WALLS				
FORM/STRIP GRADE BEAMS	SF	21.00	\$ 5.31	SF INCLUDED
REBAR TO GRADE BEAMS	TN	0.04	\$ 1,506.00	TN INCLUDED
POINT & PATCH GRADE BEAMS	SF	10.50	\$ 0.58	SF INCLUDED
CONCRETE TO GRADE BEAMS	CY	0.83	\$ 156.80	CY INCLUDED
SUBTOTAL- GRADE BEAMS			\$ -	CY \$ -
MEP EQUIPMENT PADS/MISC CONCRETE				
HOUSEKEEPING PADS	LS	1.00	\$ 1,000.00	LS \$ 1,000
GROUT ELEVATOR SILLS	EA	4.00	\$ 100.00	EA \$ 400
SUBTOTAL- MEP EQUIPMENT PADS/MISC CONCRETE			\$ -	\$ 1,400
SLABS ON GRADE				
SLAB PATCH-BASEMENT				
CONCRETE TO SLAB ON GRADE 4" TH / NON-STRUCTURAL	CY	0.78	\$ 182.50	CY INCLUDED
FINE GRADE SUBGRADE	SF	48.00	\$ 0.30	SF INCLUDED

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
 CITY OF GRAND JUNCTION
 BASE BID MEDICAL OFFICE BUILDING FACILITY

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL	TOTAL
REBAR TO SLAB ON GRADE	TN	0.02	\$ 1,521.00	TN	INCLUDED
DRILL & GROUT DOWELS	EA	19.00	\$ 21.33	EA	INCLUDED
CONTROL JOINTS- SAWN/CAULKED	LF	6.24	\$ 1.85	LF	INCLUDED
TROWEL FINISH SLAB ON GRADE	SF	48.00	\$ 1.05	SF	INCLUDED
CURE & PROTECT SLAB ON GRADE	SF	48.00	\$ 0.73	SF	INCLUDED
SUBTOTAL- SLABS ON GRADE				\$	-
030000 CONCRETE					
033200 CAST-IN-PLACE CONCRETE					
M&M CONCRETE/FCI CONSTRUCTORS					
SLABS ON GRADE					
TOPPING SLABS OVER INSUL					
CONCRETE TO SLABS ON GRADE	CY	73.45	\$ 188.50	CY	INCLUDED
EDGE FORMS- 4"	LF	8.00	\$ 5.29	LF	INCLUDED
EDGE FORMS- 8"	LF	149.00	\$ 5.29	LF	INCLUDED
WIRE MESH REINF.- 6X6/W2.0	SF	-	\$ 0.58	SF	\$ -
REBAR TO SLABS ON GRADE	TN	2.39	\$ 1,456.00	TN	INCLUDED
TROWEL FINISH SLABS ON GRADE	SF	5,231.00	\$ 0.51	SF	INCLUDED
CURE & PROTECT SLABS ON GRADE	SF	5,231.00	\$ 0.26	SF	INCLUDED
SUBTOTAL- SLABS ON GRADE				\$	-
MISCELLANEOUS MATERIALS					
NEW BUILDING ADDITION					
HD FOAM BOARD INSULATION- 8" THICK	SF	888.00	\$ 5.50	SF	INCLUDED
MISCELLANEOUS - SEALANTS, EXPANSION FILLER	LS	1.00	\$ 500.00	LS	INCLUDED
EXISTING BUILDING REMODEL					
HD FOAM BOARD INSULATION- 2.5" THICK AVG	SF	5,231.00	\$ -	SF	INCLUDED
MISCELLANEOUS - SEALANTS, EXPANSION FILLER	LS	1.00	\$ -	LS	INCLUDED
REBAR ALLOWANCE	LS	1.00	\$ -	LS	\$ 1,500
SUBTOTAL- MISCELLANEOUS MATERIALS				\$	1,500
CONCRETE PUMPING / HOISTING					
CONCRETE PUMP	DYS	10.00	\$ 1,784.00	DYS	INCLUDED
FORKLIFT	MO	2.00	\$ 2,700.00	MO	INCLUDED
MOBILE BOOM TRUCK	WKS	0.60	\$ 8,000.00	WKS	INCLUDED
REINFORCING STEEL DELIVERY CHARGES	LS	1.00	\$ 2,000.00	LS	INCLUDED
DUMPSTERS	PULLS	-	\$ 650.00	PULLS	\$ -
WEATHER PROTECTION	LS	-	\$ 5,000.00	LS	\$ -
SUBTOTAL- CONCRETE PUMPING/HOISTING				\$	-
SUBTOTAL- CAST-IN-PLACE CONCRETE				\$	261,831
030000 CONCRETE - TOTALS				\$	261,831

FCI Cost Worksheet

Project: **AVALON THEATER - ADDITION & RENOVATIONS PROJ**
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

	DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL	TOTAL	
040000	MASONRY						
044210	UNIT MASONRY						
	ORIGINAL BID AMOUNT*****	MARKLEY CONSTRUCTION			\$	274,079	
	12" SMOOTH FACE NW CMU WALLS- REINFORCED*****	SF	14,146.00				
	12" HOLLOW CMU	PC	13,191.90	\$ 11.64	PC	INCLUDED	
	12" BOND BEAM CMU	PC	3,076.00	\$ 11.74	PC	INCLUDED	
	MORTAR	CY	29.82	\$ 300.00	CY	INCLUDED	
	ADD FOR VERTICAL REINF. STEEL-12" PTNS (#6 @ 24" OC)- 2.0#/SF	LB	28,292.00	\$ 0.77	LB	INCLUDED	
	ADD FOR GROUTING 12" WALLS.	SF	14,146.00	\$ 1.30	SF	INCLUDED	
	SCAFFOLDING	SF	14,146.00	\$ 0.80	SF	INCLUDED	
	TOOL JOINTS	SF	14,146.00	\$ 0.15	SF	INCLUDED	
	12" DUROWALL REINFORCING- 16" OC	LF	11,316.80	\$ 0.28	LF	INCLUDED	
	BOND BEAM REINF. STEEL- 2 #5'S	LB	10,230.97	\$ 0.60	LB	INCLUDED	
	8" SMOOTH FACE NW CMU WALLS- REINFORCED*****	SF	5,600.00				
	8" HOLLOW CMU	PC	5,247.00	\$ 7.76	PC	INCLUDED	
	8" BOND BEAM CMU	PC	1,193.00	\$ 7.91	PC	INCLUDED	
	MORTAR	CY	11.81	\$ 300.00	CY	INCLUDED	
	ADD FOR VERTICAL REINF. STEEL-12" PTNS (#6 @ 24" OC)- 2.0#/SF	LB	11,200.00	\$ 0.77	LB	INCLUDED	
	ADD FOR GROUTING 12" WALLS.	SF	5,600.00	\$ 1.10	SF	INCLUDED	
	SCAFFOLDING	SF	5,600.00	\$ 0.80	SF	INCLUDED	
	TOOL JOINTS	SF	5,600.00	\$ 0.15	SF	INCLUDED	
	12" DUROWALL REINFORCING- 16" OC	LF	4,480.00	\$ 0.28	LF	INCLUDED	
	BOND BEAM REINF. STEEL- 2 #5'S	LB	3,967.99	\$ 0.60	LB	INCLUDED	
	EXTERIOR BRICK WALL VENEER****	SOUTH WALL VENEER	SF	592.00			
	EXTERIOR 4" BRICK WALL VENEER- STANDARD 2.25 X 4 X 16	RUNNING BOND	PC	2,368.00	\$ 2.81	PC	INCLUDED
	BASE/THRU-WALL FLASHING	FABRIC MEMBRANE	LF	59.00	\$ 4.75	LF	INCLUDED
	BRICK MORTAR-COLORED	CY	0.68	\$ 350.00	CY	INCLUDED	
	SCAFFOLD EXTERIOR WALLS	SF	592.00	\$ 1.35	SF	INCLUDED	
	TOOL JOINTS	SF	592.00	\$ 0.45	SF	INCLUDED	
	WASHDOWN BRICK	SF	592.00	\$ 0.60	SF	INCLUDED	
	BRICK ANCHORS- 1/ 4 SF OF WALL AREA	GALVANIZED	EA	148.00	\$ 2.85	EA	INCLUDED
	MASONRY CONTROL JTS	LF	-	\$ 7.50	LF	\$ -	
	OPTION "B" SCOPE & PRICE ADJUSTMENTS**						
	12" SMOOTH FACE NW CMU WALLS- REINFORCED*****	INFILL WINDOW AT EAST WALL RM 106	SF	149.28			
ADD	12" HOLLOW CMU	PC	135.58	\$ 11.64	PC	\$ 2,250	
ADD	12" BOND BEAM CMU	PC	36.09	\$ 11.74	PC	INCLUDED	
ADD	MORTAR	CY	0.31	\$ 300.00	CY	INCLUDED	
	ADD FOR VERTICAL REINF. STEEL-12" PTNS (#6 @ 24" OC)- 2.0#/SF	LB	298.56	\$ 0.42	LB	\$ 125	
ADD	ADD FOR GROUTING 12" WALLS.	SF	149.28	\$ 1.10	SF	INCLUDED	
ADD	SCAFFOLDING	SF	149.28	\$ 0.80	SF	INCLUDED	
ADD	TOOL JOINTS	SF	149.28	\$ 0.15	SF	INCLUDED	
ADD	12" DUROWALL REINFORCING- 16" OC	LF	119.42	\$ 0.28	LF	INCLUDED	
ADD	BOND BEAM REINF. STEEL- 2 #5'S	LB	120.04	\$ 0.42	LB	\$ 50	
				\$ 16.25	SF		
DELETE	EXTERIOR BRICK WALL VENEER****	DELETE SOUTH WALL VENEER	SF	(592.00)			
DELETE	EXTERIOR 4" BRICK WALL VENEER- STANDARD 2.25 X 4 X 16	RUNNING BOND	PC	(2,368.00)	\$ 2.81	PC	\$ (8,140)
DELETE	BASE/THRU-WALL FLASHING	FABRIC MEMBRANE	LF	(59.00)	\$ 4.75	LF	INCLUDED
DELETE	BRICK MORTAR-COLORED	CY	(0.68)	\$ 350.00	CY	INCLUDED	
DELETE	SCAFFOLD EXTERIOR WALLS	SF	(592.00)	\$ 1.35	SF	INCLUDED	
DELETE	TOOL JOINTS	SF	(592.00)	\$ 0.45	SF	INCLUDED	
DELETE	WASHDOWN BRICK	SF	(592.00)	\$ 0.60	SF	INCLUDED	
DELETE	BRICK ANCHORS- 1/ 4 SF OF WALL AREA	GALVANIZED	EA	(148.00)	\$ 2.85	EA	INCLUDED
DELETE	MASONRY CONTROL JTS	LF	-	\$ 7.50	LF	\$ -	
	INFILL EXISTING WALL OPENINGS	EA	2.00	\$ -	EA	INCLUDED	
	SUBTOTAL- UNIT MASONRY				\$	268,365	

FCI Cost Worksheet

May 18, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJ
CITY OF GRAND JUNCTION**COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"**

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
040000 MASONRY - TOTALS			\$	268,365

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJ
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
050000 METALS				
051200 STRUCTURAL STEEL				
ORIGINAL BID AMOUNT*****	ROCKY MOUNTAIN STEEL		\$	495,203
NEW ADDITION SCOPE*****		LS 1.00	\$ - LS \$	-
PIPE STEEL COLUMNS	INT/PERIM COLUMNS	TNS 1.82	\$ 2,200.00 TNS	INCLUDED
WIDE FLANGE COLUMNS	INT/PERIM COLUMNS	TNS 5.86	\$ 2,100.00 TNS	INCLUDED
WF FLOOR/ROOF FRAMING		TNS 50.56	\$ 2,060.00 TNS	INCLUDED
PERIM BENT PLATE POUR STOPS-2ND FLR		TNS 5.30	\$ 2,000.00 TNS	INCLUDED
PERIMETER DECK SUPPORT ANGLES-ROOF		TNS 5.91	\$ 2,100.00 TNS	INCLUDED
MOMENT CONNECTIONS- FULL PEN WELDS		EA 24.00	\$ 340.00 EA	INCLUDED
SHEAR STUDS		EA 1,776.00	\$ 3.18 EA	INCLUDED
AES STEEL + UPGRADED PRIMER PAINT- EXPOSED STEEL	N/A-EXCLUDED	SF -	\$ - SF \$	-
CRANE PADS/LEVELING		LS -	\$ 5,000.00 LS \$	-
STRUCTURAL STEEL/JOIST ERECTION		DY 36.00	\$ 4,730.00 DY	INCLUDED
STRUCTURAL STEEL/JOIST ERECTION	ADD'L CRANE TIME FOR MASONRY SEQUENCING	MO 1.00	\$ 15,000.00 MO	INCLUDED
RENOVATIONS SCOPE*****		LS 1.00	\$ - LS \$	-
MC CHANNEL LINTEL-EX WALL NEW OPENING	MC10X8.4	LF 52.00	\$ 26.67 LF	INCLUDED
MC CHANNEL LINTEL-EX WALL NEW OPENING	MC8X8.5	LF 10.00	\$ 26.67 LF	INCLUDED
MC CHANNEL LINTEL-EX WALL NEW OPENING	MC12X14.5	LF 10.00	\$ 37.50 LF	INCLUDED
BALCONY FASCIA FRAMING	TS/ANGLE FRAMING	TNS 2.09	\$ 4,450.00 TNS	INCLUDED
BALCONY FASCIA FRAMING	STIFFENER PLS-WELD TO EX STEEL	EA 36.00	\$ 235.00 EA	INCLUDED
CATWALK & ACOUS REFLECTOR SUPPORT STEEL	WF FRAMING-SUSPENDED	TNS 1.91	\$ 6,550.00 TNS	INCLUDED
CATWALK & ACOUS REFLECTOR SUPPORT STEEL	CONNECTIONS TO EX STEEL	EA 32.00	\$ 272.50 EA	INCLUDED
CATWALK & ACOUS REFLECTOR SUPPORT STEEL	CONNECTIONS TO EX BRICK	EA 8.00	\$ 257.50 EA	INCLUDED
CATWALK SYSTEM FRAMING		TNS 8.28	\$ 5,950.00 TNS	INCLUDED
CATWALK SYSTEM-FLOOR PLATE		SF 245.00	\$ 24.38 SF	INCLUDED
CATWALK STAIRS		RI 12.00	\$ 560.00 RI	INCLUDED
CATWALK- PIPE STEEL HANDRAILS	2-LINE RAILINGS	LF 203.00	\$ 45.38 LF	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
ROOF TOP SCREEN WALL ASSEMBLY	BID ALT #13	LS 1.00	\$ 47,645.00 LS \$	47,645
SUBTOTAL- STRUCTURAL STEEL			\$	542,848
052100 STEEL JOISTS				
OPEN WEB STEEL JOIST FRAMING-ROOF	N/A-EXCLUDED	TNS -	\$ 1,400.00 TNS	INCLUDED
SUBTOTAL- STEEL JOISTS			\$	-
053100 METAL DECKING				
FLOOR DECK - 2.0" 20 GA- G60 COATING	ROCKY MOUNTAIN STEEL	SF 12,816.10	\$ 2.11 SF	INCLUDED
ROOF DECK - 3.0" 20 GA- PAINTED COATING	UPPER ROOF	SF 1,738.00	\$ 2.33 SF	INCLUDED
ROOF DECK - 3.0" 20 GA- PAINTED COATING	EAST CANOPY	SF 55.00	\$ 2.36 SF	INCLUDED
SUBTOTAL- METAL DECKING			\$	-

FCI Cost Worksheet

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 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJ
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
050000 METALS				
055010 MISCELLANEOUS METALS				
ROCKY MOUNTAIN STEEL				
NEW ADDITION SCOPE*****	LS	1.00	\$ -	LS \$ -
STEEL PAN STAIR- STAIR A	RI	55.00	\$ 880.00	RI INCLUDED
STEEL PAN STAIRS - B THRU E	RI	95.00	\$ 560.00	RI INCLUDED
ROOF TOP SHIPS' LADDERS & CROSSOVER PLATFORMS	EA	2.00	\$ 8,240.00	EA INCLUDED
BAR GRATING CEILINGS	SF	397.00	\$ 30.75	SF INCLUDED
ELEVATOR SILL ANGLES	EA	4.00	\$ 212.50	EA INCLUDED
ELEVATOR PIT LADDER	EA	1.00	\$ 730.00	EA INCLUDED
ELEVATOR PIT SUMP FRAME & COVER	EA	1.00	\$ 730.00	EA INCLUDED
WALL MOUNTED RAILINGS- RAMPS	LF	229.00	\$ 22.00	LF INCLUDED
PERFORATED STEEL PANEL FASCIA	LS	1.00	\$ 200.00	LS \$ 200
IN-WALL COUNTERTOP SUPPORTS	LS	1.00	\$ 1,330.00	LS \$ 1,330
RENOVATIONS SCOPE*****	LS	1.00	\$ -	LS \$ -
WALL MOUNTED LADDER W/SAFETY CAGE	LF	37.00	\$ 137.50	LF INCLUDED
IN-FLOOR CABLE PIPE PASS	LF	72.00	\$ 1,730.64	LF \$ 1,731
PAINTED SHEET METAL CHANNEL FASCIA	LF	75.00	\$ 20.36	LF \$ 1,527
HANDRAIL SUPPORT ASSEMBLIES	EA	24.00	\$ 200.00	EA INCLUDED
TUBE STEEL LIGHT BAR ASSEMBLY	LF	67.00	\$ 85.00	LF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
BAR GRATING CEILINGS	SF	(142.00)	\$ -	SF \$ (1,475)
ELEVATOR SILL ANGLES	EA	(4.00)	\$ 212.50	EA \$ (975)
ELEVATOR PIT LADDER	EA	(1.00)	\$ 730.00	EA INCLUDED
ELEVATOR PIT SUMP FRAME & COVER	EA	(1.00)	\$ 730.00	EA INCLUDED
ROOF MOUNTED SHIPS LADDER CROSS-OVER	EA	(1.00)	\$ 22.00	EA \$ (7,700)
WALL MOUNTED RAILINGS- RAMPS	LF	(229.00)	\$ 22.00	LF \$ (4,800)
IN-WALL COUNTERTOP SUPPORTS	LS	(1.00)	\$ 1,330.00	LS \$ (1,330)
SUBTOTAL- MISCELLANEOUS METALS			\$	(11,492)
058110 ORNAMENTAL METALS				
LIVERS BRONZE				
ORIGINAL BID AMOUNT*****	LS	1.00	\$ -	LS \$ 189,150
GLASS RAILING SYSTEM	LF	202.00	\$ -	LF INCLUDED
GLASS RAILING SYSTEM	LS	20.50	\$ -	LS INCLUDED
GLASS RAILING SYSTEM	LF	34.00	\$ -	LF INCLUDED
GLASS RAILING SYSTEM	LF	7.00	\$ -	LF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
GLASS RAILING SYSTEM	LF	(34.00)	\$ -	LF \$ (18,722)
TEMPORARY RAILING SYSTEM	LF	34.00	\$ -	LF \$ 1,700
GLASS RAILING SYSTEM	LF	202.00	\$ -	LF \$ (31,283)
SS/GLASS RAILING SYSTEM	LF	202.00	\$ -	LF \$ (25,000)
SUBTOTAL- ORNAMENTAL METALS			\$	87,845
050000 METALS - TOTALS			\$	619,201

FCI Cost Worksheet

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 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
 CITY OF GRAND JUNCTION

 COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"
 SF 0

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
060000 WOOD & PLASTICS				
061100 ROUGH CARPENTRY				
NEW ADDITION SCOPE*****				
ROOF BLOCKING				
WOOD SHIM - 1" X 4" TREATED	ACM COPING SHIMS	LF	62.70 \$	1.41 LF \$ 2,930
WOOD BLOCKING - 2" X 2" TREATED	CW PARAPET NAILERS	LF	8.00 \$	1.41 LF INCLUDED
WOOD BLOCKING - 2" X 4" TREATED	RTU CURB NAILERS	LF	165.00 \$	2.10 LF INCLUDED
WOOD BLOCKING - 2" X 6" TREATED	ROOF HATCH	LF	79.20 \$	2.30 LF INCLUDED
WOOD BLOCKING - 2" X 6" TREATED	ROOF PERIMETER	LF	567.60 \$	2.30 LF INCLUDED
WOOD BLOCKING - 2" X 6" TREATED	EIFS TO BRICK FLASHING NAILER	LF	82.70 \$	3.04 LF INCLUDED
WOOD BLOCKING - 2" X 8" TREATED	CW COPINGS	LF	103.40 \$	2.74 LF INCLUDED
PLYWOOD COPINGS- 3/4" EXTER-CUT TO 16" W	ACM COPINGS	LF	68.40 \$	3.77 LF INCLUDED
FASTENERS/ROUGH HARDWARE		LS	1.00 \$	100.00 LS INCLUDED
LABOR BURDEN		LS	1.00 \$	- LS \$ 689
RENOVATIONS SCOPE*****		LS	1.00 \$	- LS \$ -
ROOF OPENING INFILL				
INFILL EX ROOF OPENINGS		SF	450.00 \$	- SF \$ 4,122
LOBBY FLOOR INFILL				
PLYWOOD FLOOR DECKING-3/4" T & G	LOBBY FLOOR	SF	162.00 \$	1.49 SF \$ 848
FR WOOD LEDGER- 2" X 12" EXP BOLTED TO BRICK	WALL LEDGERS	LF	20.00 \$	5.51 LF INCLUDED
TJI FLOOR JOISTS- 11 7/8"	FLOOR JOISTS	LF	132.00 \$	2.87 LF INCLUDED
SIMPSON JOIST HANGERS		EA	18.00 \$	3.75 EA INCLUDED
ADHESIVES & FASTENERS		LS	1.00 \$	50.00 LS INCLUDED
LABOR BURDEN		LS	1.00 \$	- LS \$ 245
PROJECTOR ENCLOSURE				
PLYWOOD FLOOR DECKING-3/4" T & G		SF	20.00 \$	1.49 SF \$ 1,739
WOOD BRIDGING/BRACING - 2" X 8" FR TRTD		LF	57.20 \$	3.46 LF \$ -
WOOD PLATES - 2" X 4" FR TRTD		LF	10.00 \$	2.31 LF \$ -
MICROLAM BEAMS - 7.25"		LF	200.00 \$	5.92 LF \$ -
SIMPSON JOIST HANGERS		EA	68.00 \$	3.75 EA \$ -
ADHESIVES & FASTENERS		LS	1.00 \$	50.00 LS \$ -
LABOR BURDEN		LS	1.00 \$	- LS \$ 590
MEZZANINE RE-BUILD				
PLYWOOD FLOOR DECKING-3/4" T & G	HORIZONTAL	SF	3,873.60 \$	2.49 SF \$ 82,046
PLYWOOD FLOOR DECKING-1/2" T & G	VERTICAL	SF	1,342.50 \$	1.82 SF \$ -
MICROLAM BEAMS - 11.25"		LF	462.00 \$	5.75 LF \$ -
WOOD BRIDGING/BRACING - 2" X 4" FR TRTD		LF	1,938.20 \$	2.46 LF \$ -
WOOD FRAMING - 2" X 6" FR TRTD	RISERS	LF	1,961.30 \$	2.11 LF \$ -
WOOD FRAMING - 2" X 6" FR TRTD	BRACES	LF	2,278.10 \$	2.21 LF \$ -
WOOD FRAMING - 2" X 6" FR TRTD	CLEETS	LF	895.40 \$	2.21 LF \$ -
WOOD FRAMING - 2" X 8" FR TRTD	TREADS	LF	2,975.50 \$	2.99 LF \$ -
WOOD FRAMING - 2" X 8" FR TRTD	LEDGERS	LF	569.80 \$	2.99 LF \$ -
WOOD FRAMING - 2" X 12" RAKED JOISTS-FR TRTD	SLOPED FLOOR JOISTS	LF	1,142.40 \$	3.98 LF \$ 5,650
WOOD FRAMING - 2" X 12" FR TRTD	LEDGERS	LF	244.20 \$	4.23 LF \$ -
WOOD BRIDGING/BRACING - 2" X 12" FR TRTD		LF	568.80 \$	4.23 LF \$ -
D-RING ANCHORS	FLOOR MTD	EA	18.00 \$	46.54 EA \$ -
SIMPSON HARDWARE		EA	350.00 \$	2.25 EA \$ -
ADHESIVES & FASTENERS		LS	1.00 \$	1,500.00 LS \$ -
MEZZANINE- INTERMEDIATE STEPS		EA	28.00 \$	- EA \$ 1,316
MEZZANINE- WOOD STAIR UNITS		EA	4.00 \$	- EA \$ 3,928
LABOR BURDEN		LS	1.00 \$	- LS \$ 15,429
ABOVE CEILING BLOCKING				
WOOD NAILERS - 2" X 4" FR TRTD	EDGE BLOCKING FOR HVAC SLOT DIFFUSERS	LF	248.40 \$	3.31 LF \$ 821
WOOD NAILERS - 2" X 4" FR TRTD	EDGE BLOCKING FOR HVAC ROUND DIFFUSERS	LF	165.60 \$	3.31 LF \$ 548
LABOR BURDEN		LS	1.00 \$	- LS \$ 413
STAGE FLOOR EXTENSION		SF	368.00 \$	- SF \$ 6,005
STEPPED SEATING PLATFORMS-1ST FLOOR		LS	1.00 \$	- LS \$ 5,753
IN-WALL BACKING FOR SPECIATIES		LS	1.00 \$	- LS \$ 403
ADD FOR FSC CERTIFIED LUMBER	N/A-EXCLUDED	LS	- \$	9,414.44 LS \$ -

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"
SF 0

DESCRIPTION		UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
SUBTOTAL- ROUGH CARPENTRY				\$	103,454
064200	MILLWORK				
	ORIGINAL BID AMOUNT*****				
	NEW ADDITION SCOPE*****				
	TICKETING COUNTER- STAINLESS	LF	8.00	\$	INCLUDED
	TICKETING WORK COUNTERS-PLAS LAM	LF	16.00	\$	INCLUDED
	BASE CABINETS-TICKETING	LF	1.50	\$	INCLUDED
	LAVATORY COUNTERS-SOLID SURF	LF	28.00	\$	INCLUDED
	CONCESSIONS COUNTER-STAINLESS	LF	36.00	\$	INCLUDED
	CONCESSIONS TRANSACTION COUNTER-QUARTZ	LF	36.00	\$	INCLUDED
	BASE CABINETS-CONCESSIONS	LF	5.00	\$	INCLUDED
	DRESSING RM COUNTER-PLAS LAM	LF	4.00	\$	INCLUDED
	OPEN FRONT SHELF UNIT-PLAS LAM	LF	4.00	\$	INCLUDED
	COAT RACK & SHELF-PLAS LAM	LF	3.50	\$	INCLUDED
	TACKABLE WALL PANELS- DRSSNG COUNTER	SF	6.00	\$	INCLUDED
	CONTROL RM COUNTER-PLAS LAM	LF	8.00	\$	INCLUDED
	LOBBY BENCH -W/ BACK	LF	-	\$	INCLUDED
	LOBBY BENCH	LF	-	\$	INCLUDED
	SOUND BOOTH COUNTER- PLAS LAM	LF	18.00	\$	INCLUDED
	WOOD BASE TRIM-1" X 5.5"	LF	288.20	\$	INCLUDED
	WOOD DOOR FRAMES-HARDWOOD	EA	21.00	\$	INCLUDED
	RENOVATIONS SCOPE*****	LS	1.00	\$	-
	WOOD TRIM-1.5" X 3.5" STAGE EDGE	LF	60.00	\$	INCLUDED
	WOOD PANELING-REPLACEMENT FOR ACOUS PANELS	SF	480.00	\$	INCLUDED
	WOOD PANELING-STAGE FRONT (FRT PLYWOOD)	LF	100.00	\$	INCLUDED
	WOOD TRIM- WINDOW CASING-1" X 10"-HARDWOOD	LF	8.00	\$	INCLUDED
	WOOD TRIM- WINDOW CASING-1" X 4"-HARDWOOD	LF	20.00	\$	INCLUDED
	WOOD PARTITION CAPS- 1" X 2"-AUD BACK WALL	LF	32.00	\$	INCLUDED
	WOOD PARTITION CAPS- 1" X 6"	LF	288.20	\$	INCLUDED
	WOOD CEILING TRIM- 1" X 6"	LF	277.20	\$	2,843
	WOOD CEILING TRIM- 1" X 12"	LF	70.40	\$	1,131
	WOOD HANDRAILS- 1.5"	LF	165.60	\$	INCLUDED
	WOOD HANDRAILS-WALL MOUNTING HW	EA	40.00	\$	INCLUDED
	WOOD HANDRAILINGS-2" DIA-ISLE STAIRS	EA	24.00	\$	INCLUDED
	WOOD HANDRAIL SUPPORTS-STL ANGLE FBO-ISLES	EA	24.00	\$	1,450
	LAYOUT	HRS	80.00	\$	3,520
	OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
	MILLWORK, WOOD TRIM	LS	(1.00)	\$	(76,100)
	SUBTOTAL- MILLWORK			\$	66,863
060000	WOOD & PLASTICS - TOTALS			\$	170,318

FCI Cost Worksheet

Project: **AVALON THEATER - ADDITION & RENOVATIONS PROJECT**
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
070000 THERMAL & MOISTURE PROTECTION				
070160 DAMPPROOFING				
ORIGINAL BID AMOUNT*****			\$	-
NEW ADDITION SCOPE*****				
DAMPPROOF GRADE BEAMS - W/PROTECTION BD NONE SHOWN- BUDGET ADJUSTMENT	SF	480.00	\$ 1.05 SF	\$ 504
PERIMETER FOUNDATION INSULATION- 2" TH NONE SHOWN- BUDGET ADJUSTMENT	SF	320.00	\$ 1.93 SF	\$ 616
SUBTOTAL- DAMPPROOFING			\$	1,120
070180 WATERPROOFING				
SUMMIT SEALANTS				
ORIGINAL BID AMOUNT*****			\$	9,101
NEW ADDITION SCOPE*****				
WATERPROOF ELEVATOR PITS SHEET APPLIED MEMBRANE + DRAINAGE BOARD	SF	120.00	\$ 5.92 SF	INCLUDED
WATERPROOF BASEMENT WALLS SHEET APPLIED MEMBRANE + DRAINAGE BOARD	SF	851.00	\$ 5.92 SF	INCLUDED
WATER PROOF- EXTER BALCONY DECK 4/AE512	SF	132.00	\$ 6.60 SF	INCLUDED
SUBTOTAL- WATERPROOFING			\$	9,101
071950 AIR & MOISTURE BARRIERS				
DIV 7 SERVICES				
ORIGINAL BID AMOUNT*****			\$	23,967
NEW ADDITION SCOPE*****				
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
RAIN SCREEN MOISTURE BARRIER SYSTEM- APPLIED TO EXTERIOR SHEATHING	SF	12,712.00	\$ 1.94 SF	INCLUDED
RAIN SCREEN MOISTURE BARRIER SYSTEM- APPLIED TO EXTERIOR SHEATHING REVISE TO TYVEK-SEE BELOW	SF	(12,712.00)	\$ 1.94 SF	\$ (23,967)
AIR BARRIER- TO EXTER WALLS MASONRY/STONE SIMILAR TO TYVEK	SF	13,983.20	\$ 0.73 SF	\$ 10,208
SUBTOTAL- AIR & MOISTURE BARRIERS			\$	10,208
070210 BUILDING INSULATION				
ACCURATE INSULATION				
ORIGINAL BID AMOUNT*****			\$	10,122
NEW ADDITION SCOPE*****				
PERIMETER FOUNDATION INSULATION- 2" TH- UNDER SLAB N/A-EXCLUDED	SF	-	\$ 1.45 SF	\$ -
R30 BATT INSULATION TO EXTERIOR WALLS	SF	-	\$ 0.68 SF	INCLUDED
R30 BATT INSULATION TO EXTERIOR SOFFITS	SF	-	\$ 0.68 SF	INCLUDED
R23 BATT INSULATION TO EXTERIOR WALLS	SF	-	\$ 0.68 SF	INCLUDED
R19 BATT INSULATION TO EXTERIOR WALLS	SF	-	\$ 0.94 SF	INCLUDED
ACOUSTIC INSULATION TO WALLS-3.5" INTERIOR PARTIONS	SF	-	\$ 0.59 SF	INCLUDED
ACOUSTIC INSULATION TO WALLS-2.5" INTERIOR PARTIONS	SF	-	\$ 0.59 SF	INCLUDED
SPRAY-APPLIED INSULATION- CLOSED CELL- R?? - NO SPEC EXTERIOR BALCONY SOFFIT-ABOVE BAR GRATINGS	SF	142.00	\$ 1.85 SF	INCLUDED
BATT INSULATION-2" DUCT INSUL ABOVE WOOD CEILINGS	SF	998.00	\$ 1.73 SF	\$ 2,755
ACOUSTIC INSULATION TO WALLS-3.5" PROJECTOR ENCLOSURE	SF	68.00	\$ 0.59 SF	\$ 92
2" TH RIGID INSULATION -CAVITY WALL BEH BRICK VENEER	SF	592.00	\$ 1.87 SF	\$ 1,105
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
INTERIOR SOUND BATT INSULATION DELETE	LS	(1.00)	\$	(2,552)
SUBTOTAL- BUILDING INSULATION			\$	11,523
072700 FIRESTOPPING				
FCI CONSTRUCTORS				
FIRE STOPPING WALLS/FLOORS	LS	1.00	\$ 2,500.00 LS	\$ 2,500
SUBTOTAL- FIRESTOPPING			\$	2,500

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
070000 THERMAL & MOISTURE PROTECTION				
074200 STUCCO PLASTER/EIFS				
QUALITY STUCCO WEST				
ORIGINAL BID AMOUNT*****				\$ 22,875
NEW ADDITION SCOPE*****				
STUCCO EIFS WALLS	SF	2,574.00	\$ 8.33	SF INCLUDED
STUCCO EIFS WALL VENEER	FINISH SKIM COAT ONLY	SF	783.00	\$ 8.33 SF INCLUDED
STUCCO EIFS SOFFITS	FINISH SKIM COAT ONLY	SF	509.00	\$ 8.33 SF INCLUDED
STUCCO EIFS SOFFITS	W/0.50" INSULATION	SF	56.00	\$ 8.33 SF INCLUDED
STUCCO EIFS SOFFITS	W/2.00" INSULATION	SF	40.00	\$ 8.33 SF INCLUDED
CONTINUOUS SOFFIT VENTS	EIFS SOFFITS	LF	65.00	\$ 8.33 LF \$ 993
EIFS COPINGS		LF	118.00	\$ 52.50 LF INCLUDED
EIFS SYSTEM FLASHING TRANSITIONS TO DISSIMILAR MATERIALS		LF	58.00	\$ - LF \$ 234
ACOUSTIC PLASTER CEILINGS	CHANGED TO SPRAY ACOUSTIC	SF	1,114.00	\$ 8.33 SF INCLUDED
RENOVATIONS SCOPE*****		LS	1.00	\$ - LS \$ -
PATCH EXISTING PLASTER	PATCH AUDITORIUM SIDEWALLS	EA	24.00	\$ - EA \$ 1,080
PATCH EXISTING PLASTER	PATCH AUDITORIUM CEILINGS	EA	136.00	\$ - EA \$ 13,600
PATCH EXISTING PLASTER	PATCH AUDITORIUM CEILINGS-FOR DEMO ACCESS	EA	2.00	\$ - EA \$ 700
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
STUCCO EIFS WALLS	SOUTH ELEVATION- ILO BRICK	SF	592.00	\$ 8.33 SF \$ 4,914
EIFS COPINGS	DELETE	LF	(118.00)	\$ 52.50 LF \$ (4,250)
SUBTOTAL- STUCCO PLASTER/EIFS				\$ 39,945
074510 METAL WALL PANELS				
ENGINEERED WALL SYSTEMS				
ORIGINAL BID AMOUNT*****				\$ 133,400
NEW ADDITION SCOPE*****				
ACM WALL PANELS		SF	3,712.00	\$ 52.50 SF INCLUDED
ACM WALL PANELS	FASCIA PANELS	SF	315.00	\$ 52.50 SF INCLUDED
ACM WALL PANELS	JAMB/HEAD/SILL RETURNS	LF	60.00	\$ 52.50 LF INCLUDED
ACM WALL PANELS	WALL COPINGS	LF	58.00	\$ 52.50 LF INCLUDED
2" TH RIGID INSULATION + ZEE FURRING	BEHIND WALL PANELS	SF	4,027.00	\$ 1.87 SF \$ 18,250
SUBTOTAL- METAL WALL PANELS				\$ 151,650
075010 MEMBRANE ROOFING & FLASHING				
ALL STEEL ROOFING				
ORIGINAL BID AMOUNT*****				\$ 74,335
NEW ADDITION SCOPE*****				
LOW SLOPE ROOFING*****				
MAIN BUILDING ROOF				
TPO ROOF MEMBRANE- 60 MIL TH		SF	6,828.00	\$ 1.49 SF INCLUDED
ROOF INSULATION- R 30 (UN-TAPERED)		SF	6,828.00	\$ 3.25 SF INCLUDED
ROOF INSULATION- ADD FOR TAPERED CRICKETS		SF	6,828.00	\$ 3.65 SF INCLUDED
VAPOR BARRIER		SF	6,828.00	\$ 0.24 SF INCLUDED
GYPSUM BD UNDERLAYMENT-1/2" TH		SF	6,828.00	\$ 0.82 SF INCLUDED
ROOF COVER BOARD- 0.50" TH-DENSE DECK/GLASS MAT		SF	6,828.00	\$ 1.33 SF INCLUDED
PERIMETER FLASHING- MEMBRANE MATERIAL		SF	-	\$ 3.67 SF INCLUDED
MISC FLASHING- MEMBRANE-ROOF OPENINGS		SF	-	\$ 3.67 SF INCLUDED
ROOF WALKWAY PADS		SF	-	\$ 4.00 SF INCLUDED
FLASH ROOF DRAINS/OVERFLOW DRAINS		EA	12.00	\$ 109.70 EA INCLUDED
THRU-WALL SCUPPERS-PAINTED STEEL		EA	-	\$ 185.00 EA \$ -

FCI Cost Worksheet

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 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
 CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
070000 THERMAL & MOISTURE PROTECTION				
075010 MEMBRANE ROOFING & FLASHING				
DOWNSPOUTS- PAINTED STEEL	N/A-EXCLUDED	LF	- \$ 12.00 LF \$	-
PERIMETER COPING - PREFIN GALV STEEL- BREAK METAL FORMED	ELEVATOR BULKHEAD	LF	36.00 \$ 15.33 LF	INCLUDED
ROOF EXPANSION JOINTS		LF	105.00 \$ 12.00 LF	INCLUDED
LOW SLOPE ROOFING*****	ENTRY CANOPY ROOFS	SF	50.00 \$	-
TPO ROOF MEMBRANE- 60 MIL TH		SF	50.00 \$ 1.49 SF	INCLUDED
ROOF INSULATION- R 10 (UN-TAPERED)		SF	50.00 \$ 1.83 SF	INCLUDED
ROOF INSULATION- ADD FOR TAPERED CRICKETS	N/A-EXCLUDED	SF	- \$ 3.65 SF \$	-
VAPOR BARRIER		SF	- \$ 0.24 SF	INCLUDED
GYP SUM BD UNDERLAYMENT-5/8" TH	N/A-EXCLUDED	SF	- \$ 0.97 SF \$	-
ROOF COVER BOARD- 0.50" TH-DENSE DECK/GLASS MAT		SF	50.00 \$ 1.33 SF	INCLUDED
PERIMETER FLASHING- MEMBRANE MATERIAL		SF	- \$ 3.67 SF	INCLUDED
MISC FLASHING- MEMBRANE-ROOF OPENINGS		SF	10.00 \$ 3.67 SF	INCLUDED
FLASH ROOF DRAINS/OVERFLOW DRAINS		EA	1.00 \$ 109.70 EA	INCLUDED
PERIMETER GRAVELSTOPS - PREFIN GALV STEEL- BREAK METAL FORMED		LF	- \$ 15.33 LF \$	-
RENOVATIONS SCOPE*****		LS	1.00 \$ - LS \$	-
PATCH EXISTING THEATER ROOFING	CSPE ROOF MEMBRANE	SF	450.00 \$ 3.67 SF	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
PERIMETER GRAVELSTOPS - PREFIN GALV STEEL- BREAK METAL FORMED	REPLACES EIFS COPINGS	LF	118.00 \$ 19.33 LF \$	2,281
SUBTOTAL- MEMBRANE ROOFING		SF	6,878.00 \$ 11.22 SF	76,616
078250 ROOF ACCESSORIES				
SPECIALTIES CONTRACTING				
NEW ADDITION SCOPE*****				
ROOF ACCESS HATCH + LADDER UP POST		EA	1.00 \$ 940.00 EA \$	940
LABOR ROOF ACCESS HATCH + LADDER UP POST		EA	1.00 \$ 241.92 EA \$	242
SUBTOTAL- ROOF ACCESSORIES				1,182
078010 APPLIED FIREPROOFING				
SPRAY-APPLIED FIREPROOFING	N/A-EXCLUDED	SF	- \$ 3.70 SF \$	-
MISC PATCHING/REPAIRS	N/A-EXCLUDED	LS	- \$ - LS \$	-
INTUMESCENT PAINT-ON FIREPROOFING	N/A-EXCLUDED	SF	- \$ 7.70 SF \$	-
SUBTOTAL- APPLIED FIREPROOFING				-
079100 CAULKING & SEALANTS				
SUMMIT SEALANTS				
ORIGINAL BID AMOUNT*****				10,224
CAULKING		SF	- \$ 0.44 SF \$	-
ACOUSTICAL SEALANTS	NOT COVERED BY SPECIFIC TRADES	LS	1.00 \$ 5,000.00 LS \$	5,000
SUBTOTAL- CAULKING & SEALANTS				15,224
079250 EXPANSION CONTROL				
ORIGINAL BID AMOUNT*****	FCI CONSTRUCTORS			10,000
EXPANSION JOINT ASSEMBLIES	EXTERIOR WALLS	LF	42.00 \$ - LF \$	-

FCI Cost Worksheet

Project: **AVALON THEATER - ADDITION & RENOVATIONS PROJECT**
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION			UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL		TOTAL
	EXPANSION JOINT ASSEMBLIES	CEILINGS	LF	42.00	\$	-	LF \$ -
	EXPANSION JOINT ASSEMBLIES	FLOORS	LF	183.00	\$	-	LF \$ -
	EXPANSION JOINT ASSEMBLIES	FLOORS	LF	183.00	\$	-	LF \$ -
LABOR	EXPANSION JOINT ASSEMBLIES	INSTALLATION	LS	1.00	\$	2,861.04	LS \$ 2,861
	SUBTOTAL- EXPANSION CONTROL						\$ 12,861
	070000 THERMAL & MOISTURE PROTECTION - TOTALS						\$ 331,930

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
080000 DOORS & WINDOWS				
081140 METAL DOORS & FRAMES				
MCKINNEY DOOR				
ORIGINAL BID AMOUNT*****			\$	148,010
HM DOORS & FRAMES- FURNISH & DELIVER- FOB JOBSITE	LS	1.00	\$ -	INCLUDED
HM DOOR FRAMES	EA	46.00	\$ -	11,182
HM DOORS-3' X 7'2"-16 GA/GALVANIZED-FLUSH LAYOUT	EA	46.00	\$ -	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**	HRS	-	\$ 46.00	-
HM DOORS & FRAMES- FURNISH & DELIVER- FOB JOBSITE	LS	(1.00)	\$ -	(48,000)
HM DOOR FRAMES	EA	(32.00)	\$ -	(1,600)
HM DOORS-3' X 7'2"-16 GA/GALVANIZED-FLUSH	EA	(32.00)	\$ -	(4,480)
SUBTOTAL- HOLLOW METAL DOORS & FRAMES			\$	105,112
082160 WOOD DOORS				
MCKINNEY DOOR				
WOOD DOORS-FURNISH & DELIVER- FOB JOBSITE	LS	1.00	\$ -	INCLUDED
SOLID CORE WOOD DRS- WOOD VENEER-3' X 7'	EA	10.00	\$ -	INCLUDED
SOLID CORE WOOD DRS- WOOD VENEER-3' X 7'10.5"	EA	24.00	\$ -	INCLUDED
SUBTOTAL- WOOD DOORS			\$	-
083110 ACCESS DOORS				
FCI CONSTRUCTORS				
ACCESS DOORS-WALL MOUNTED	EA	2.00	\$ 225.48	451
SUBTOTAL- ACCESS DOORS			\$	451
084510 ALUMINUM WINDOWS				
BRATTON WINDOW				
ORIGINAL BID AMOUNT*****			\$	221,228
NEW ADDITION SCOPE*****				
TICKETING WINDOW- EXTERIOR W/ DEAL TRAY	EA	1.00	\$ 35.29	INCLUDED
TICKETING WINDOW- INTERIOR W/ DEAL TRAY	EA	1.00	\$ 35.29	INCLUDED
INTERIOR WINDOW TYPE 1	EA	1.00	\$ 35.29	INCLUDED
INTERIOR WINDOW TYPE 2	EA	1.00	\$ 1,460.00	INCLUDED
PROJECTOR WINDOW-FIXED OPTIC GLASS	EA	1.00	\$ 1,460.00	INCLUDED
GLASS STOREFRONT DOORS	EA	12.00	\$ 1,600.00	INCLUDED
ALUMINUM DOOR HARDWARE	EA	12.00	\$ 1,600.00	INCLUDED
AUTOMATIC DOOR OPERATORS	EA	-	\$ 1,250.00	INCLUDED
TEMP WINDOW ENCLOSURES-RHINO CLOTH	SF	-	\$ 0.76	-
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
TICKETING WINDOW- INTERIOR W/ DEAL TRAY	EA	(1.00)	\$ -	(3,320)
INTERIOR WINDOW TYPE 2	EA	(1.00)	\$ -	(743)
SUBTOTAL- ALUMINUM WINDOWS			\$	217,165
087210 FINISH HARDWARE				
MCKINNEY DOOR				
DOOR HARDWARE- DOOR LEAFS (LABOR W/ DOOR INSTALLATION)	EA	34.00	\$ 560.00	INCLUDED
DOOR HARDWARE- DOOR LEAFS (LABOR W/ DOOR INSTALLATION)	EA	46.00	\$ 560.00	INCLUDED
KNOX BOX	EA	1.00	\$ 696.00	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
DOOR HARDWARE- DOOR LEAFS (LABOR W/ DOOR INSTALLATION)	EA	-	\$ 560.00	INCLUDED
SUBTOTAL- FINISH HARDWARE			\$	-

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
 CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
080000 DOORS & WINDOWS				
088110 GLASS & GLAZING				
NEW ADDITION SCOPE*****				
INTERIOR GLAZING	FRAMELESS MIRRORS	SF	161.00 \$	14.65 SF INCLUDED
0.75" LAMINATED SAFETY GLASS	ROOM 106	SF	160.00 \$	24.00 SF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
INTERIOR GLAZING	FRAMELESS MIRRORS-DELETE	SF	(161.00) \$	14.65 SF \$ (1,196)
0.75" LAMINATED SAFETY GLASS	ROOM 106-DELETE	SF	(160.00) \$	24.00 SF INCLUDED
SUBTOTAL- GLASS & GLAZING				\$ (1,196)
089900 ALUMINUM CURTAINWALL SYSTEM				
NEW ADDITION SCOPE*****				
BUTT GLAZED CURTAINWALL SYSTEM	TYP 8.5" DEEP EXTRUSIONS	SF	4,192.00 \$	65.30 SF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
BUTT GLAZED WINDOW WALL- TYP 1H	DELETE	SF	(160.00) \$	14.65 SF \$ (9,172)
SUBTOTAL- ALUMINUM CURTAINWALL SYSTEM				\$ (9,172)
080000 DOORS & WINDOWS - TOTALS			\$	312,360

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
 CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
090000 FINISHES				
092510 DRYWALL & METAL SUPPORT FRAMING				
SUPERIOR DRYWALL				
ORIGINAL BID AMOUNT*****			\$	342,184
EXTERIOR WALLS- 6" STUDS*****	SF	-		
6" METAL TRACK - T & B	16 GA TRACK	LF	- \$ 3.90	LF INCLUDED
6" METAL STUD FRAMING- ASSUME 16 GA/16" OC		LF	- \$ 4.12	LF INCLUDED
U CHANNEL BRIDGING	16 GA COLD FORMED CHANNEL	LF	- \$ 2.20	LF INCLUDED
2 1/2" INSULATION TO EXTERIOR WALLS	THERMAX BOARD OR EQUAL	SF	- \$ 2.62	SF INCLUDED
SPRAY INSULATION TO EXTERIOR WALLS	SEE DIV 070000	SF	- \$ 0.82	SF INCLUDED
VAPOR BARRIER TO EXTERIOR WALLS- 6 MIL POLY	N/A-SEE SPRAY FOAM INSULATION	SF	- \$ 0.23	SF INCLUDED
EXTERIOR WALL SHEATHING- DENSEGLASS SHING		SF	- \$ 1.67	SF INCLUDED
BUILDING WRAP TO EXTERIOR WALLS	SEE DIV 070000	SF	- \$ 0.53	SF INCLUDED
5/8" DW TO EXTERIOR WALLS- INTERIOR SIDE		SF	- \$ 0.87	SF INCLUDED
TAPE & FINISH DW		SF	- \$ 0.52	SF INCLUDED
SCAFFOLD EXTERIOR WALLS		SF	- \$ 1.00	SF INCLUDED
INTERIOR PARTITIONS- PER SCHEDULE		LS	1.00 \$ -	LS INCLUDED
TEMPORARY HEAT FOR INTERIORS WORK		LS	- \$ 20,000.00	LS \$ -
ENGINEERED SHOP DRAWINGS		LS	- \$ 8,000.00	LS \$ -
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
GYP BOARD CEILINGS	DELETE	SF	(2,368.00) \$ 5.00	\$ (11,840)
M/S & GYPSUM BOARD PARTITIONS	DELETE	LS	(1.00) \$ 15,000.00	\$ (15,000)
SUBTOTAL- DRYWALL & METAL SUPPORT FRAMING			\$	315,344
093120 CERAMIC TILE				
FLOORZ INC				
ORIGINAL BID AMOUNT*****			\$	199,958
NEW ADDITION SCOPE*****				
PORCELAIN CERAMIC FLOOR TILE- THIN SET	LOBBIES/TOILET ROOMS	SF	4,734.00 \$ 13.08	SF INCLUDED
CERAMIC TILE BASE- COVED- ADHESIVE SET	LOBBIES/TOILET ROOMS	LF	757.00 \$ 13.15	LF INCLUDED
CERAMIC WALL TILE - ADHESIVE SET - CEILING HT	TOILET ROOMS	SF	3,337.00 \$ 9.75	SF INCLUDED
ADD FOR ANTI-FRACTURE MEMBRANE	LOBBIES/TOILET ROOMS	SF	4,734.00 \$ 2.85	SF INCLUDED
PORCELAIN CERAMIC FLOOR TILE- MUD SET	GRAND STAIR-TREADS/PLATFORM	SF	608.00 \$ 15.75	SF INCLUDED
PORCELAIN CERAMIC FLOOR TILE- MUD SET	EXTERIOR BALCONY	SF	132.00 \$ 15.75	SF INCLUDED
ADD FOR EPOXY MORTAR & GROUT	N/A-EXCLUDED	SF	- \$ 3.40	SF \$ -
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
CERAMIC TILE WORK- DELETE		LS	(1.00) \$ 13.08	LS \$ (158,798)
SUBTOTAL- CERAMIC TILE			\$	41,160
095110 ACOUSTICAL CEILINGS				
SUPERIOR DRYWALL				
NEW ADDITION SCOPE*****				
ACT CEILINGS- 2' X 2'- EXPOSED TEE GRID- DIRECT HUNG FROM STRUCT.	AM1	SF	2,280.00 \$ 3.44	SF INCLUDED
ACT CEILINGS- 2' X 4'- EXPOSED TEE GRID- DIRECT HUNG FROM STRUCT.	AM2	SF	- \$ 3.05	SF INCLUDED
WOOD CEILING SYSTEM - LINEAR	AP1	SF	1,079.00 \$ 38.00	SF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
ACOUSTICAL & WOOD CEILINGS	DELETE	LS	(2.00) \$	(48,000)
SUBTOTAL- ACOUSTICAL CEILINGS			\$	(48,000)
095815 ACOUSTICAL TREATMENT				
FCI CONSTRUCTORS				
RENOVATIONS SCOPE*****		LS	1.00 \$ -	LS \$ 18,463
ACOUSTIC WALL PANELS	EX AUDITORIUM	SF	851.00 \$ 30.00	SF INCLUDED
SUBTOTAL- ACOUSTICAL TREATMENT			\$	18,463
095840 SPRAY-APPLIED ACOUSTICAL TREATMENT				
FCI CONSTRUCTORS				
NEW ADDITION SCOPE*****		LS	1.00 \$ -	LS \$ -
SPRAY APPLIED ACOUSTICAL CEILINGS		SF	1,094.00 \$ 6.00	SF \$ 6,564

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
SUBTOTAL- SPRAY-APPLIED ACOUSTICAL TREATMENT			\$	6,564
090000 FINISHES				
096550 RESILIENT FLOOR & BASE				
NEW ADDITION SCOPE*****				
4" H RUBBER BASE-COVED	LF	1,584.00	\$ 1.55	LF INCLUDED
RESILIENT SHEET FLOORING	SF	83.00	\$ 8.67	SF INCLUDED
FLOOR PREP- ALLOW 25%	SF	-	\$ 0.65	SF \$ -
SPECIAL FLOOR PREP/TREATMENT- ADVANCED				
MOISTURE CONTROL	N/A-EXCLUDED	SF	-	\$ 0.75 SF \$ -
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
4" H RUBBER BASE-COVED	DELETE	LF	(1.00)	\$ 1.55 LF INCLUDED
SUBTOTAL- RESILIENT FLOORING			\$	-
096785 WOOD FLOORING				
RENOVATIONS SCOPE*****				
ENGINEERED WOOD FLOORING	SF	2,873.00	\$ -	SF \$ 24,421
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
ENGINEERED WOOD FLOORING	DELETE-BID ALTERNATE #22	SF	(2,873.00)	\$ - SF \$ (24,421)
CARPETING- 2' X 2' TILES- DIRECT GLUEDOWN-	ADD-BID ALTERNATE #22	LS	(1.00)	\$ - LS \$ 14,835
SUBTOTAL- WOOD FLOORING			\$	14,835
096815 CARPET				
RENOVATIONS SCOPE*****				
CARPETING- 2' X 2' TILES- DIRECT GLUEDOWN-	SY	386.11	\$ -	SY INCLUDED
NEW ADDITION SCOPE*****				
CARPETING- 2' X 2' TILES- DIRECT GLUEDOWN-	SY	386.11	\$ -	SY INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
CARPETING- 2' X 2' TILES- DIRECT GLUEDOWN-	DELETE	LS	(1.00)	\$ - LS INCLUDED
SUBTOTAL- CARPET			\$	-
099010 PAINTING & WALLCOVERING				
ORIGINAL BID AMOUNT*****			\$	130,891
PAINT DRYWALL PTNS- LATEX-SINGLE COLOR	SF	-	\$ 0.80	SF INCLUDED
WOOD VENEER WALLCOVERING	LOBBY	SF	500.00	\$ 1.48 SF INCLUDED
WOOD VENEER WALLCOVERING	AUDITORIUM	SF	1,544.00	\$ 1.48 SF INCLUDED
WOOD VENEER WALLCOVERING	AUDITORIUM-ACOUS REFLECTOR	SF	770.00	\$ 1.48 SF INCLUDED
EPOXY PAINT TO DRYWALL PTNS		SF	-	\$ 1.49 SF INCLUDED
CONCRETE FLOOR SEALER- CLEAR		SF	-	\$ 0.72 SF INCLUDED
PAINT EXPOSED STEEL STRUCTURE		SF	-	\$ 1.50 SF INCLUDED
PAINT DRYWALL CEILINGS - LATEX-SINGLE COLOR	INTERIOR CLGS	SF	-	\$ 0.80 SF INCLUDED
PAINT DRYWALL CEILINGS FASCIAS/CEILING				
BULKHEADS- LATEX-SINGLE COLOR		SF	-	\$ 0.80 SF INCLUDED
SEALER/GRAFTITI GUARD- EXTERIOR STONE/BRICK & STUCCO	N/A-EXCLUDED	SF	-	\$ 1.25 SF INCLUDED
PAINT HM DOOR FRAMES		EA	-	\$ 42.50 EA INCLUDED
PAINT HM DOORS		EA	-	\$ 31.50 EA INCLUDED
STAIN/SEAL WOOD DOORS		EA	-	\$ 43.50 EA INCLUDED
STAIN/SEAL WOOD DOOR FRAMES		EA	-	\$ 43.50 EA INCLUDED
STAIN/SEAL WOOD BASE MOULDING		LF	-	\$ 43.50 LF INCLUDED
PAINT STEEL PAN STAIR RISERS/STRINGERS		RI	-	\$ 42.50 RI INCLUDED
PAINT INTERIOR RAMP RAILINGS		LF	-	\$ 5.50 LF INCLUDED
PAINT EXPOSED STEEL STRUCTURE		SF	-	\$ 5.50 SF INCLUDED
TOUCH UP PAINTING		HR	-	\$ 42.00 HR \$ -
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
PAINTING-WALLS, HM, STEEL HANDRAILS, STAIRS	LS	(1.00)	\$	(25,000)

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
SUBTOTAL- PAINTING & WALLCOVERING				\$ 105,691
090000 FINISHES - TOTALS				\$ 454,057

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PRC
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
100000 SPECIALTIES				
101500 TOILET PARTITIONS				
ORIGINAL BID AMOUNT*****				\$ 24,630
NEW ADDITION SCOPE*****				
TOILET PTNS- FLR MTD/OH BRACED- SOLID PHENOLIC PLASTIC	EA	10.00	\$ 920.00	EA INCLUDED
TOILET PTNS-HC- FLR MTD/OH BRACED- SOLID PHENOLIC PLASTIC	EA	4.00	\$ 1,040.00	EA INCLUDED
URINAL SCREENS-CEILING HUNG-SOLID PHENOLIC PLASTIC	EA	2.00	\$ 235.00	EA INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
TOILET PTNS & TOILET ACCESSORIES	LS	(1.00)	\$ 920.00	LS \$ (24,630)
SUBTOTAL- TOILET PARTITIONS				\$ -
102600 WALL & CORNER PROTECTION				
NEW ADDITION SCOPE*****				
FRP WALL PANELS	SF	640.00	\$ 6.78	SF \$ 4,340
RENOVATIONS SCOPE*****	LS	1.00	\$ 2.75	LS
ACROVYN WALL PANELS- WALL PLATING	SF	360.00	\$ 7.53	SF \$ 2,712
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
FRP WALL PANELS	SF	(640.00)	\$ 6.78	SF \$ (4,340)
SUBTOTAL- WALL & CORNER PROTECTION				\$ 2,712
105210 LOCKERS				
ORIGINAL BID AMOUNT*****				\$ 2,150
NEW ADDITION SCOPE*****				
WIRE MESH STORAGE LOCKERS-PRE FINISHES STEEL	EA	2.00	\$ -	EA INCLUDED
WIRE MESH STORAGE LOCKERS-PRE FINISHES STEEL	EA	2.00	\$ 120.96	EA \$ 242
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
WIRE MESH STORAGE LOCKERS-PRE FINISHES STEEL	EA	(2.00)	\$ -	EA \$ (2,150)
WIRE MESH STORAGE LOCKERS-PRE FINISHES STEEL	EA	(2.00)	\$ 120.96	EA \$ (242)
SUBTOTAL- LOCKERS				\$ -
105220 FIRE EXTINGUISHERS & CABS				
NEW ADDITION SCOPE*****				
FIRE EXTINGUISHERS	EA	4.00	\$ 65.00	EA \$ 260
FIRE EXTINGUISHER CABINETS- PTD STEEL CABINET, DOOR & TRIM	EA	4.00	\$ 120.00	EA \$ 480
FIRE EXTINGUISHERS	EA	4.00	\$ 13.71	EA \$ 55
FIRE EXTINGUISHER CABINETS- PTD STEEL CABINET, DOOR & TRIM	EA	4.00	\$ 30.24	EA \$ 121
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
FIRE EXTINGUISHERS	EA	(4.00)	\$ 65.00	EA \$ (260)
FIRE EXTINGUISHER CABINETS- PTD STEEL CABINET, DOOR & TRIM	EA	(4.00)	\$ 120.00	EA \$ (480)
FIRE EXTINGUISHERS	EA	(4.00)	\$ 13.71	EA \$ (55)
FIRE EXTINGUISHER CABINETS- PTD STEEL CABINET, DOOR & TRIM	EA	(4.00)	\$ 30.24	EA \$ (121)
SUBTOTAL- FIRE EXTINGUISHERS & CABINETS				\$ -

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRC
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
100000 SPECIALTIES				
108010 TOILET ROOM ACCESSORIES				
TOILET PAPER HOLDER	EA	-	\$ 75.00 EA	INCLUDED
HANDICAP GRAB BARS- SS 36/42"	EA	-	\$ 105.00 EA	INCLUDED
LIQUID SOAP DISPENSER	EA	-	\$ 70.00 EA	INCLUDED
SEAT COVER DISPENSER	EA	-	\$ 62.00 EA	INCLUDED
PAPER TOWEL DISPENSER	EA	-	\$ 70.00 EA	INCLUDED
SANITARY NAPKIN DISPENSER	EA	-	\$ 208.00 EA	INCLUDED
SANITARY NAPKIN DISPOSAL	EA	-	\$ 73.00 EA	INCLUDED
FRAMED MIRROR-24" X 36"	EA	-	\$ 292.00 EA	\$ -
DIAPER CHANGING STATION	EA	-	\$ 240.00 EA	INCLUDED
ELECTRIC HAND DRYER	EA	-	\$ 510.00 EA	\$ -
PAPER TOWEL DISPENSER/WASTE RECEPT	EA	-	\$ 495.00 EA	INCLUDED
JANITOR'S MOP RACK	EA	-	\$ 155.00 EA	INCLUDED
UNDERCOUNTER LAV GUARD	EA	-	\$ 69.30 EA	\$ -
FOLD DOWN SHOWER SEATS	EA	-	\$ 275.00 EA	INCLUDED
TOWEL BARS	EA	-	\$ 66.00 EA	INCLUDED
SHOWER CURTAIN RODS	EA	-	\$ 60.00 EA	INCLUDED
SHOWER CURTAINS	EA	-	\$ 85.00 EA	INCLUDED
CLOTHES HOOKS	EA	-	\$ 28.00 EA	INCLUDED
SUBTOTAL- TOILET ROOM ACCESSORIES				\$ -
100000 SPECIALTIES - TOTALS				
				\$ 2,712

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PRO
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
110000 EQUIPMENT				
116133 ACOUSTIC STAGE DRAPES				
ORIGINAL BID AMOUNT*****			\$	29,423
RENOVATIONS SCOPE*****	LS	1.00	\$	-
ACOUSTIC DRAPES	EA	2.00	\$	-
			EA	\$
SUBTOTAL- ACOUSTIC STAGE DRAPES			\$	29,423
110000 EQUIPMENT - TOTALS			\$	29,423

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PRO.
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
120000 FURNISHINGS				
126140 FIXED SEATING				
NORCON COLORADO				
ORIGINAL BID AMOUNT*****			\$	160,004
RENOVATIONS SCOPE*****	LS	1.00	\$ -	-
FIXED AUDITORIUM SEATING	EA	1,022.00	\$ 16.25	INCLUDED
LOOSE SEATING FABRIC- 50 YDS-MAHARAM	EA	58.00	\$ 16.25	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
FABRIC FOR LOOSE CHARIS	EA	(58.00)	\$ 14.20	(824)
SUBTOTAL- FIXED SEATING			\$	159,180
126250 LOOSE SEATING				
ANDREU WORLD				
ORIGINAL BID AMOUNT*****			\$	27,864
RENOVATIONS SCOPE*****	LS	1.00	\$ -	-
LOOSE CHAIRS- H/C COMPANION SEATS	EA	58.00	\$ -	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
LOOSE CHAIRS- H/C COMPANION SEATS	EA	(58.00)	\$ -	(27,864)
SUBTOTAL- LOOSE SEATING			\$	-
124840 FLOOR MATS AND FRAMES				
N/A-EXCLUDED				
ENTRY MAT- CARPET WALKOFF MAT	SF	-	\$ 16.25	-
SUBTOTAL- FLOOR MATS			\$	-
124910 WINDOW TREATMENTS				
AMBASSADOR BLINDS				
ORIGINAL BID AMOUNT*****			\$	6,390
NEW ADDITION SCOPE*****				
MECHO SHADES-ELECTRICALLY OPER	SF	160.00	\$ -	INCLUDED
MECHO SHADES-MANUALLY OPER	SF	30.00	\$ -	INCLUDED
RENOVATIONS SCOPE*****	LS	1.00	\$ -	-
MECHO SHADES-MANUALLY OPER	SF	138.00	\$ 20.00	2,760
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
INTERIOR WINDOW SHADES	LS	1.00	\$	(6,390)
SUBTOTAL- WINDOW TREATMENTS			\$	2,760
120000 FURNISHINGS - TOTALS			\$	161,940

FCI Cost Worksheet

May 16, 2013

 Project: AVALON THEATER - ADDITION & RENOVATIONS PRO.
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
140000 CONVEYING SYSTEMS				
142010 ELEVATORS				
OTIS ELEVATOR				
ORIGINAL BID*****	EA	1.00	\$ 115,000.00	115,000
GEARLESS TRACTION UNIT				
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
ELEVATOR - 3 STOP/4 OPENING TRACTION UNIT- 150 FPM / 3500 # CAPACITY	EA	(1.00)	\$ 115,000.00	(115,000)
CAB FINISH ALLOWANCE	LS	-	\$ 10,000.00	INCLUDED
ADD FOR BATTERY RETURN UNIT	LS	1.00	\$ 1,900.00	INCLUDED
ADD FOR CARD READER OPERATION	LS	-	\$ -	-
N/A- EXCLUDED				
SUBTOTAL- ELEVATORS			\$	-
			#DIV/0!	SF
144510 WHEELCHAIR LIFTS				
COLORADO CUSTOM LIFT				
ORIGINAL BID*****	EA	1.00	\$ 29,130.00	29,130
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
WHEELCHAIR LIFT	EA	(1.00)	\$ 29,130.00	(29,130)
OPTION 5 REDUCTION				
SUBTOTAL- WHEELCHAIR LIFTS			\$	-
			#DIV/0!	SF
140000 CONVEYING SYSTEMS - TOTALS			\$	-

FCI Cost Worksheet

May 16, 2013

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
210000 FIRE SUPPRESSION SYSTEMS				
215300 FIRE PROTECTION WORK				
FIRE SPRINKLERS - WET PIPE SYSTEM-ORIGINAL BID*****	LS	1.00	\$ 156,500.00	LS \$ 156,500
FIRE SPRINKLERS - WET PIPE SYSTEM	SF	1.00	\$ -	SF INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
FIRE SPRINKLERS - WET PIPE SYSTEM	LS	(1.00)	\$ 8,900.00	LS \$ (8,900)
OPTION 5 ADJUSTMENT (UPRIGHT / EXPOSED HEADS)				
DRY PIPE SYSTEMS- ROOF OVERHANGS/CANOPIES	SF	-	\$ 3.50	SF INCLUDED
BOOSTER PUMP - NIC	LS	-	\$ -	LS \$ -
EXCLUDED				
SUBTOTAL- FIRE PROTECTION WORK				\$ 147,600
210000 FIRE SUPPRESSION SYSTEMS - TOTALS				\$ 147,800

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
22/230000 MECHANICAL				
224100 PLUMBING				
ORIGINAL BID AMOUNT*****				\$ 487,240
PLUMBING- FIXTURES / EQUIPMENT / DOMESTIC /				
STORM / WASTE / VENT	SF	-	\$ 14.85	SF INCLUDED
HVAC MECHANICAL PIPING & INSULATION	SF	-	\$ -	SF INCLUDED
OPTION #5 SCOPE & PRICE ADJUSTMENTS**				
INTERIOR PIPING, FIXTURES, EQUIPMENT, INSULATION	LS	1.00	\$ -	(118,129)
SUBTOTAL- PLUMBING				\$ 351,111
230000 HVAC				
AIR TECH MECHANICAL				
ORIGINAL BID AMOUNT*****				\$ 1,015,455
HVAC- EQUIPMENT / CONTROLS / PIPING / SHT				
METAL / DIFFUSERS / INSULATION	SF	-	\$ 25.50	SF INCLUDED
HVAC CONTROLS	LS	1.00	\$ -	LS INCLUDED
TEST & BALANCE	LS	1.00	\$ -	LS INCLUDED
COORDINATION DRAWINGS	LS	1.00	\$ -	LS \$ -
HVAC CONTROLS	LS	1.00	\$ -	LS INCLUDED
SHEET METAL - DUCTED RETURN	LS	1.00	\$ -	LS INCLUDED
HYDRONIC SNOW MELT SYSTEM	SF	-	\$ -	SF \$ -
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
INTERIOR SHEET METAL, GRD'S, CONTROLS, EQUIPMENT,	LS	1.00	\$ -	(121,675)
SUBTOTAL- HVAC				\$ 893,780
22/230000 MECHANICAL - TOTALS				\$ 1,244,891

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJ
CITY OF GRAND JUNCTION

May 16, 2013

COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE	TOTAL
260000 ELECTRICAL				
261100 ELECTRICAL WORK				
ORIGINAL BID AMOUNT*****				\$ 880,922
TEMP LIGHT & POWER	SF	-	\$ -	SF INCLUDED
SECONDARY SERVICE	LS	1.00	\$ -	LS INCLUDED
EMERGENCY GENERATOR - 150 KW	LS	-	\$ -	LS INCLUDED
MOTOR & EQUIPMENT CONNECTIONS	LS	1.00	\$ -	LS INCLUDED
POWER DISTRIBUTION/BRANCH POWER	LS	1.00	\$ -	LS INCLUDED
LIGHTING- FIXTURE ALLOWANCE	LS	1.00	\$ -	LS INCLUDED
LIGHTING- FIXTURE INSTALL	LS	1.00	\$ -	LS INCLUDED
LIGHTING CONTROLS	LS	1.00	\$ -	LS INCLUDED
TRIM OUT/FINAL CONNECTIONS	LS	1.00	\$ -	LS INCLUDED
FIRE ALARM SYSTEM	LS	1.00	\$ -	LS INCLUDED
SITE LIGHTING/POWER	LS	1.00	\$ -	LS INCLUDED
DATA/COMMUNICATIONS- ROUGH IN ONLY	LS	1.00	\$ -	LS INCLUDED
ACCESS CONTROL- CONDUIT/WIRE	LS	1.00	\$ -	LS INCLUDED
SECURITY SYSTEM- ROUGH IN ONLY	LS	1.00	\$ -	LS INCLUDED
AV SYSTEM- ROUGH IN ONLY	LS	1.00	\$ -	LS INCLUDED
STATE ELECTRICAL PERMIT	LS	1.00	\$ -	LS INCLUDED
HEAT TAPING EXTERIOR SURFACES	LS	1.00	\$ -	LS EXCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
INTERIOR LIGHTING, CONDUIT, WIRE, DEVICES, FA	LS	1.00	\$ -	(223,120)
SUBTOTAL- ELECTRICAL				\$ 657,802
260000 ELECTRICAL - TOTALS				\$ 657,802

FCI Cost Worksheet

Project: AVALON THEATER - ADDITION & RENOVATIONS PROJECT
CITY OF GRAND JUNCTION

May 16, 2013
COST & SCOPE ADJUSTMENTS TO ORIGINAL BID - OPTION "B"

DESCRIPTION	UNIT OF MEASURE	QUANTITY	UNIT PRICE TOTAL	TOTAL
270000/ 280000 SPECIAL SYSTEMS				
271000 COMMUNICATIONS & DATA SYSTEMS				
WIRING & CABLE- INCL TERMINATIONS	N/A-EXCLUDED	SF	- \$ 2.50 SF	\$ -
WIRE MANAGEMENT SYSTEM- CABLE TRAYS		LS	- \$ - LS	\$ -
SUBTOTAL- COMMUNICATIONS & DATA SYSTEMS				\$ -
274100 AUDIO VISUAL SYSTEM				
AV EXERTS				
ORIGINAL BID AMOUNT*****				\$ 138,796
WIRING & CABLE		LS	1.00 \$ - LS	INCLUDED
EQUIPMENT		LS	- \$ - LS	INCLUDED
DEVICES		LS	- \$ - LS	INCLUDED
OPTION "B" SCOPE & PRICE ADJUSTMENTS**				
AV CABLING, TRANSMITTERS, VIDEO BOXES		LS	1.00	\$ (15,750)
SUBTOTAL- AUDIO VISUAL SYSTEM				\$ 123,046
281100 SECURITY SYSTEM				
WIRING & CABLE	N/A-EXCLUDED	LS	- \$ - LS	\$ -
EQUIPMENT	N/A-EXCLUDED	LS	- \$ - LS	\$ -
DEVICES	N/A-EXCLUDED	LS	- \$ - LS	\$ -
SUBTOTAL- SECURITY SYSTEM				\$ -
281115 ACCESS CONTROL SYSTEM				
WIRING & CABLE	N/A-EXCLUDED	LS	- \$ - LS	\$ -
EQUIPMENT	N/A-EXCLUDED	LS	- \$ - LS	\$ -
DEVICES	N/A-EXCLUDED	LS	- \$ - LS	\$ -
SUBTOTAL- ACCESS CONTROL SYSTEM				\$ -
270000 SPECIAL SYSTEMS - TOTALS				\$ 123,046

PAYMENT BOND

KNOW ALL MEN BY THESE PRESENTS, that we, the undersigned _____
FCI Constructors, Inc. _____, a Corporation _____ organized
under the laws of the State of CO _____, hereinafter referred to as the
"Contractor" and Western Surety Company _____
_____, a corporation organized under the laws of the State of SD _____
_____, and authorized and licensed to transact business in the State of Colorado,
hereinafter referred to as the "Surety," are held and firmly bound unto the City of Grand
Junction, Colorado, hereinafter referred to as the "City," in the penal sum of _____
Six Million Two Hundred Sixty Nine Thousand Seven Hundred Eighty and 00/100
_____ dollars (\$ 6,269,780.00 _____), lawful money of the United
States of America, for the payment of which sum the Contractor and Surety bind
themselves and their heirs, executors, administrators, successors and assigns, jointly
and severally, firmly by these presents.

WHEREAS, the above Contractor has on the 22nd day of July,
2013, entered into a written contract with the City for furnishing all labor, materials,
equipment, tools, superintendence, and other facilities and accessories for the
construction of Avalon Theatre, Phase 1 Addition & Remodel _____
_____ (the "Project") and Contract No. 10-13-025, if appropriate, in
accordance with the Contract, Special Conditions, Special Provisions, General Contract
Conditions, Contract Drawings, Specifications and all other Contract Documents
therefor which are incorporated herein by reference and made a part hereof, and are
herein referred to as the "Contract".

NOW, THEREFORE, the condition of this payment bond obligation is such that if
the Contractor shall at all times promptly make payments of all amounts lawfully due to
all persons supplying or furnishing it or its subcontractors with labor, materials, rental
machinery, tools or equipment, used or performed in the prosecution of work provided
for in the above Contract and shall indemnify and save harmless the City to the extent
of any and all payments in connection with the carrying out of such Contract which the
City may be required to make under the law, and for all losses, damages, expenses,
costs, and attorneys' fees incurred by the City resulting from the failure of the
Contractor to make the payments discussed above, then this obligation shall be null
and void, otherwise, it shall remain in full force and effect.

PROVIDE FURTHER, that the said Surety, for value received, hereby stipulates and agrees that any and all changes in the Contract Documents, or compliance or noncompliance with the formalities in the Contract for making such changes shall not affect the Surety's obligations under this bond and the Surety hereby waives notice of any such changes. Further, Contractor and Surety acknowledge that the penal sum of this bond shall increase or decrease in accordance with approved changes to the Contract Documents without obtaining the Surety's consent up to a maximum of 20 percent of the penal sum. Any additional increases in the penal sum shall require the Surety's consent.

IN WITNESS WHEREOF, said Contractor and said Surety have executed these presents as of this 22nd day of July, 2013.

CONTRACTOR: FCI Constructors, Inc.

By: Ed Forsman

Title: President

ATTEST:

Cecil Hanks
Secretary

SURETY: Western Surety Company

By: Mary E. Hanks

Title: Mary E. Hanks, Attorney-in-Fact

(Accompany this Bond with the attorney-in-fact's authority from the surety to execute this Bond, certified to include the date of the Bond.)

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS, that we, the undersigned FCI Constructors, Inc., a Corporation organized under the laws of the State of CO, hereinafter referred to as the "Contractor" and Western Surety Company, a corporation organized under the laws of the State of SD, and authorized and licensed to transact business in the State of Colorado, hereinafter referred to as the "Surety," are held and firmly bound unto the City of Grand Junction, Colorado, hereinafter referred to as the "City", in the penal sum of Six Million Two Hundred Sixty Nine Thousand Seven Hundred Eighty and 00/100 dollars (\$ 6,269,780.00), lawful money of the United States of America, for the payment of which sum the Contractor and Surety bind themselves and their heirs, executors, administrators, successors and assigns, jointly and severally by these presents.

WHEREAS, the above Contractor has on the 22nd day of July, 2013, entered into a written contract with the City for furnishing all labor, materials, equipment, tools, superintendence, and other facilities and accessories for the construction of Avalon Theatre, Phase 1 Addition & Remodel (the "Project") and Contract No. 10-13-025, if appropriate, in accordance with the Contract, Special Conditions, Special Provisions, General Contract Conditions, Contract Drawings, Specifications and all other Contract Documents therefor which are incorporated herein by reference and made a part hereof, and are herein referred to as the "Contract".

NOW, THEREFORE, the conditions of this performance bond are such that if the Contractor:

1. Promptly and faithfully observes, abides by and performs each and every covenant, condition and part of said Contract, including, but not limited to, its warranty provisions, in the time and manner prescribed in the Contract, and
2. Pays the City all losses, damages (liquidated or actual, including, but not limited to, damages caused by delays in performance of the Contract), expenses, costs and attorneys' fees, that the City sustains resulting from
3. any breach or default by the Contractor under the Contract,

2013

then this bond is void; otherwise, it shall remain in full force and effect.

IN ADDITION, if said Contractor fails to duly pay for any labor, materials, team hire, sustenance, provisions, provender, or any other supplies used or consumed by said Contractor or its subcontractors in its performance of the Work contracted to be done or fails to pay any person who supplies rental machinery, tools, or equipment, all amounts due as the result of the use of such machinery, tools or equipment in the prosecution of the work, the Surety shall pay the same in an amount not exceeding the amount of this obligation, together with interest at the rate of eight percent per annum.

PROVIDED FURTHER, that the said Surety, for value received, hereby stipulates and agrees that any and all changes in the Contract or compliance or noncompliance with the formalities in the Contract for making such changes shall not affect the Surety's obligations under this bond and the Surety hereby waives notice of any such changes. Further, Contractor and Surety acknowledge that the penal sum of this bond shall increase in accordance with approved changes to the Contract Documents without obtaining the Surety's consent up to a maximum of 20 percent of the penal sum. Any additional increases in the penal sum shall require the Surety's consent.

IN WITNESS WHEREOF, said Contractor and said Surety have executed these presents as of this 22nd day of July, 2013.

CONTRACTOR: FCI Constructors, Inc.

By: [Signature]

Title: President

ATTEST: [Signature]

Secretary

SURETY: Western Surety Company

By: [Signature]

Title: Mary E. Hanks, Attorney-in-Fact

(Accompany this Bond with the attorney-in-fact's authority from the surety to execute this Bond, certified to include the date of the Bond.)

Western Surety Company

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Douglas C Baesler, Kristin L Salazar, Cory Clauss, Mary E Hanks, Individually

of Denver, CO, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 18th day of June, 2013.



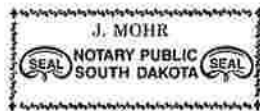
WESTERN SURETY COMPANY

Paul T. Bruflat
Paul T. Bruflat, Vice President

State of South Dakota }
County of Minnehaha } ss

On this 18th day of June, 2013, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires
June 23, 2015



J. Mohr
J. Mohr, Notary Public

CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 22nd day of July, 2013.



WESTERN SURETY COMPANY

L. Nelson
L. Nelson, Assistant Secretary



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
7/19/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Van Gilder Insurance Corp. 1515 Wynkoop, Suite 200 Denver CO 80202	CONTACT NAME: PHONE (A/C, No., Ext): 303-837-8500 FAX (A/C, No): 303-831-5295 E-MAIL ADDRESS: contractors@vgic.com
INSURED FCI Constructors, Inc. PO Box 1767 Grand Junction CO 81502	INSURER(S) AFFORDING COVERAGE INSURER A: Arch Insurance Company INSURER B: National Union Fire Ins. Co. (AIG) INSURER C: INSURER D: INSURER E: INSURER F:
	NAIC # 11150

COVERAGES

CERTIFICATE NUMBER: 1078410111

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC	Y	Y	ZAGLB9159400	10/1/2012	10/1/2013	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$100,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	Y	Y	ZACAT9141300	10/1/2012	10/1/2013	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$10,000			BE023544856	10/1/2012	10/1/2013	EACH OCCURRENCE \$25,000,000 AGGREGATE \$25,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y	N/A	ZAWCI9276000	10/1/2012	10/1/2013	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$1,000,000 E.L. DISEASE - EA EMPLOYEE \$1,000,000 E.L. DISEASE - POLICY LIMIT \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

RE: Avalon Theatre, Phase 1 Addition & Remodel, project # 10-13-025
As required by written contract or written agreement, City of Grand Junction is included as Additional Insured for ongoing operations under the General Liability and Designated Insured under the Automobile Liability. Blanket Waiver of Subrogation applies to General Liability, Automobile Liability and Workers Compensation.

CERTIFICATE HOLDERCity of Grand Junction
250 N. 5th St.
Grand Junction CO 81502**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



EVIDENCE OF PROPERTY INSURANCE

DATE (MM/DD/YYYY)
7/19/2013

THIS EVIDENCE OF PROPERTY INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE ADDITIONAL INTEREST NAMED BELOW. THIS EVIDENCE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS EVIDENCE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE ADDITIONAL INTEREST.

AGENCY Van Gilder Insurance Corp. 1515 Wynkoop, Suite 200 Denver, CO 80202		PHONE (A/C, No, Ext): 303-837-8500	COMPANY Travelers Indemnity Company	
FAX (A/C, No): 303-831-5295	E-MAIL ADDRESS:			
CODE:	SUB CODE:			
AGENCY CUSTOMER ID #:				
INSURED FCI Constructors, Inc. PO Box 1767 Grand Junction, CO 81502			LOAN NUMBER	POLICY NUMBER QT660142D8844TIL12
EFFECTIVE DATE 10/1/2012		EXPIRATION DATE 10/1/2013		<input type="checkbox"/> CONTINUED UNTIL <input type="checkbox"/> TERMINATED IF CHECKED
THIS REPLACES PRIOR EVIDENCE DATED:				

PROPERTY INFORMATION

LOCATION/DESCRIPTION

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS EVIDENCE OF PROPERTY INSURANCE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COVERAGE INFORMATION

COVERAGE / PERILS / FORMS	AMOUNT OF INSURANCE	DEDUCTIBLE
Builder's Risk - Special Form-Reporting Form		
Fire Resistive	50,000,000	10,000
Frame/ Joisted Masonry	10,000,000	10,000
Flood & Earth Movement, sub limit	10,000,000	25,000


REMARKS (Including Special Conditions)

RE:Avalon Theatre, Phase 1 Addition & Remodel, project # 10-13-025
As required by written contract or written agreement, City of Grand Junction is included as Additional Insured Interest .

CANCELLATION

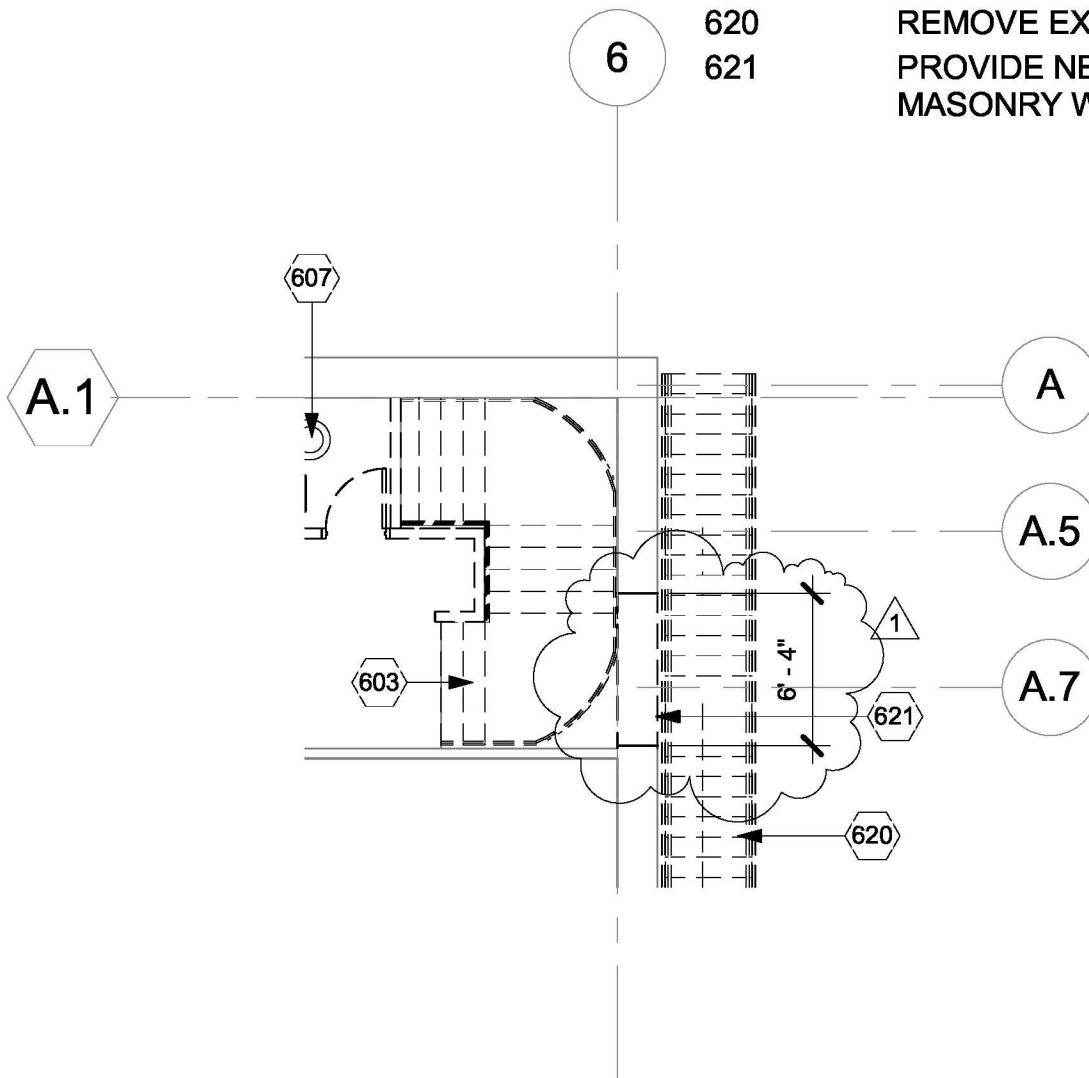
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

ADDITIONAL INTEREST

NAME AND ADDRESS City of Grand Junction 250 N. 5th St. Grand Junction CO 81502	<input type="checkbox"/> MORTGAGEE	<input type="checkbox"/> ADDITIONAL INSURED
	<input type="checkbox"/> LOSS PAYEE	
	LOAN #	
	AUTHORIZED REPRESENTATIVE 	

Keynote Legend

603	REMOVE STAIR
604	REMOVE EXISTING WALL
607	REMOVE PLUMBING FIXTURES & ACCESSORIES
620	REMOVE EXISTING EXTERIOR STAIR
621	PROVIDE NEW OPENING IN MASONRY WALL, SEE STRUCTURAL



1

MEZZANINE DEMOLITION PLAN

1/8" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date

03/11/13

Westlake Reed Leskosky

Ref. Drawing No.

1/AD 102

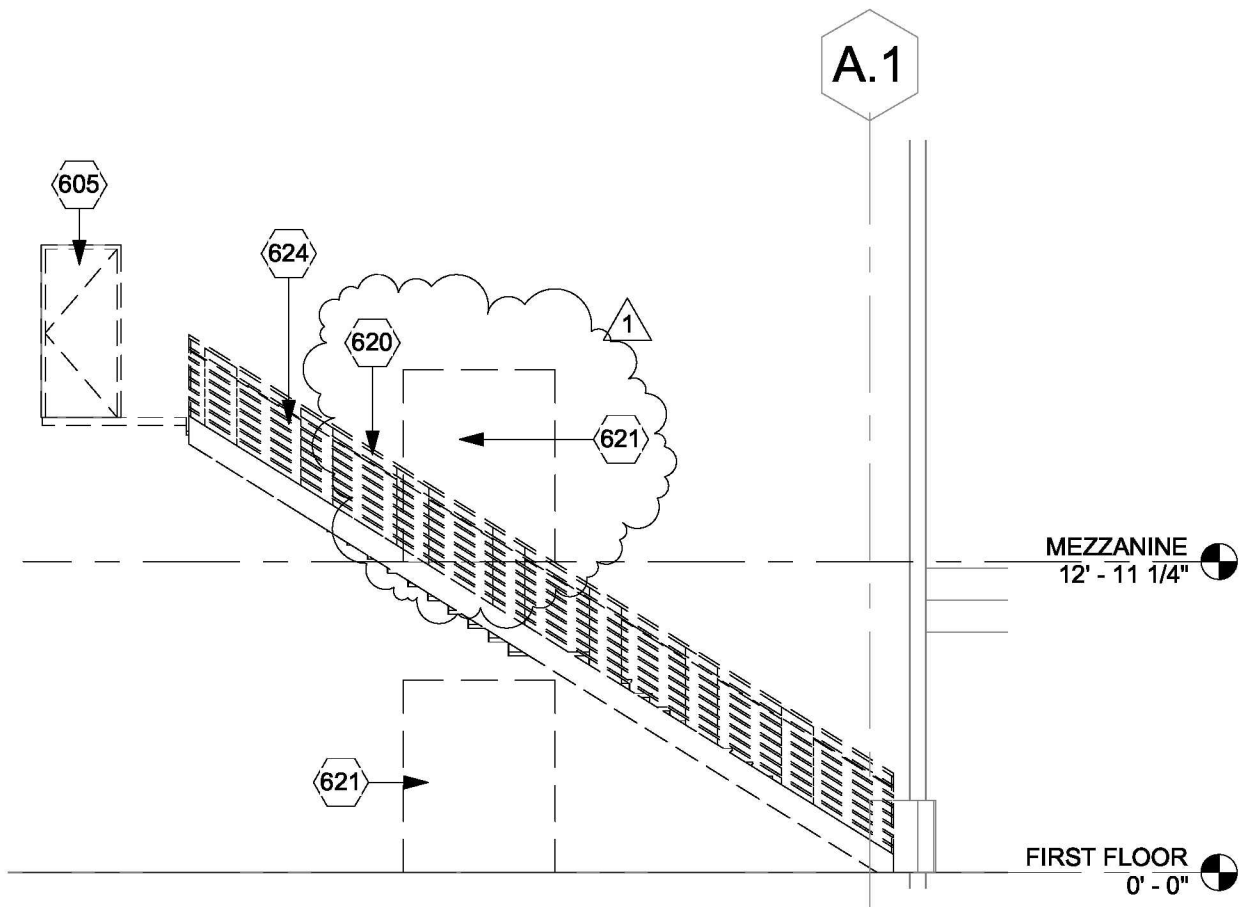
One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.

SK-001

Keynote Legend

- 605 REMOVE DOOR
- 620 REMOVE EXISTING EXTERIOR STAIR
- 621 PROVIDE NEW OPENING IN MASONRY WALL, SEE STRUCTURAL
- 624 WHERE STAIR IS REMOVED, PATCH ANY RESULTING HOLES IN MASONRY TO MATCH ADJACENT CONSTRUCTION



1

EAST ELEVATION DEMOLITION

1/8" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date
03/11/13

Westlake Reed Leskosky

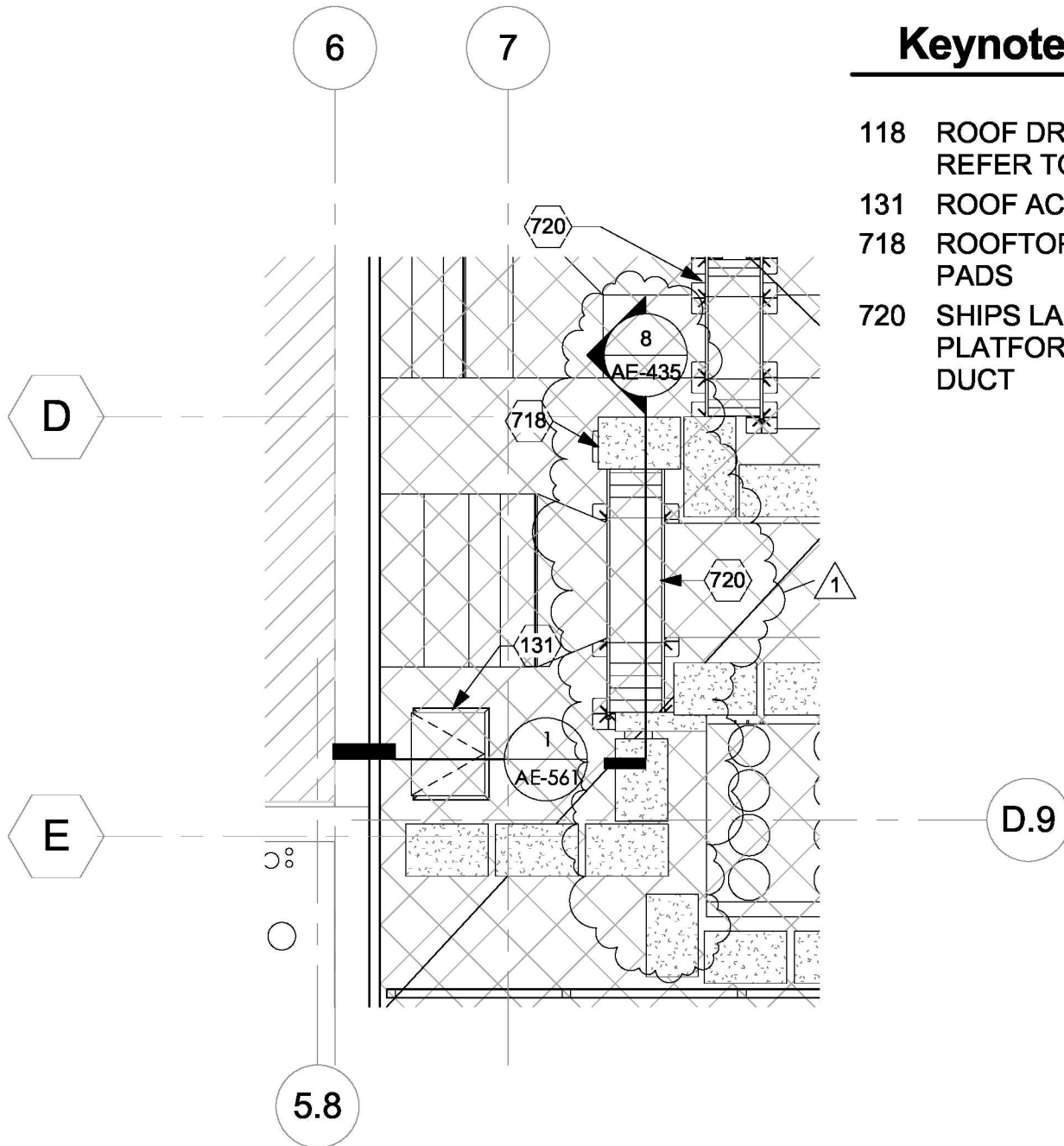
Ref. Drawing No.
1/AD 201

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-002

Keynote Legend

- 118 ROOF DRAIN, TYP., REFER TO PLUMBING
- 131 ROOF ACCESS HATCH
- 718 ROOFTOP WALKWAY PADS
- 720 SHIPS LADDER AND PLATFORM OVERR DUCT



1

ROOF PLAN

1/8" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

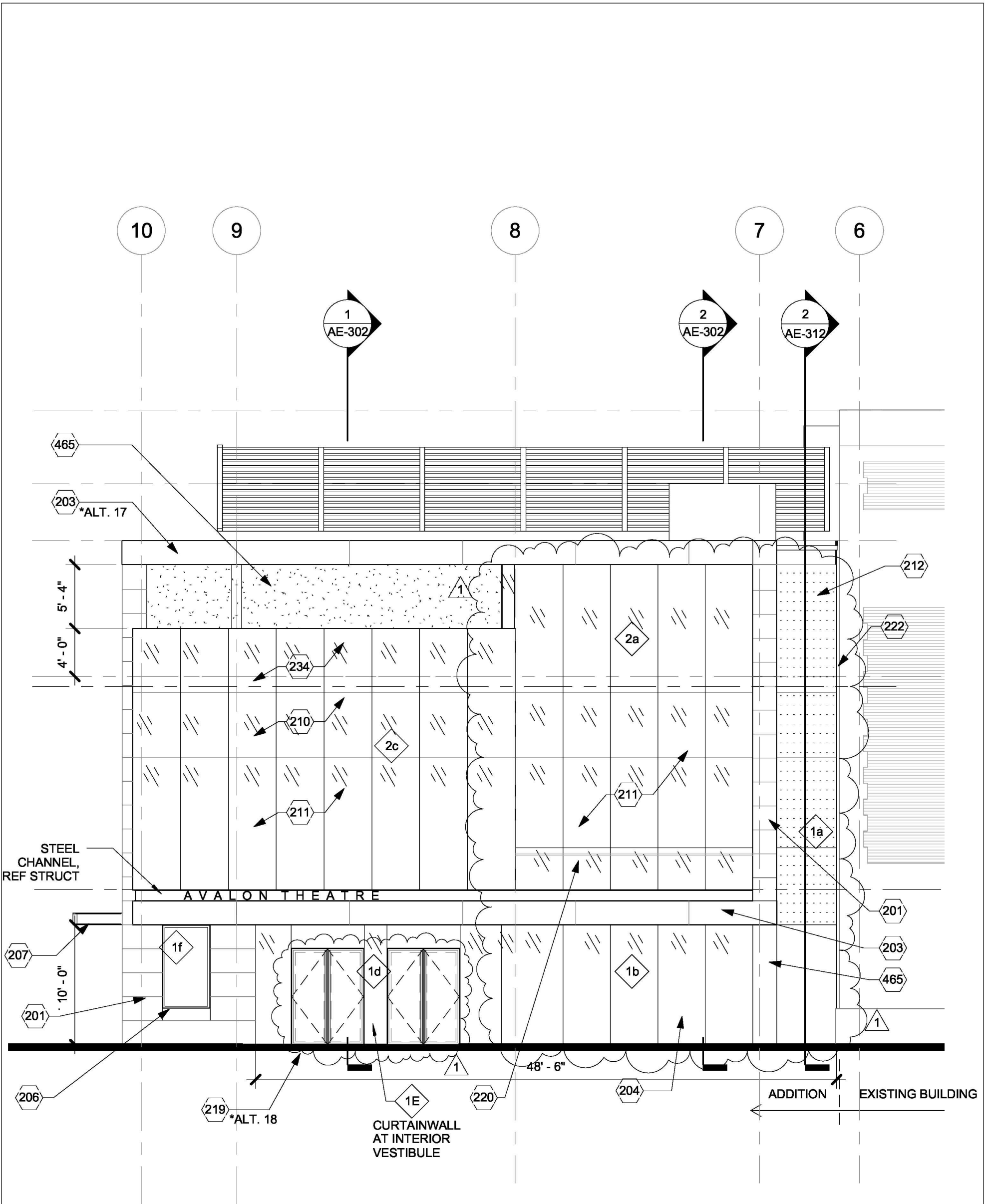
Date
03/11/13

Westlake Reed Leskosky

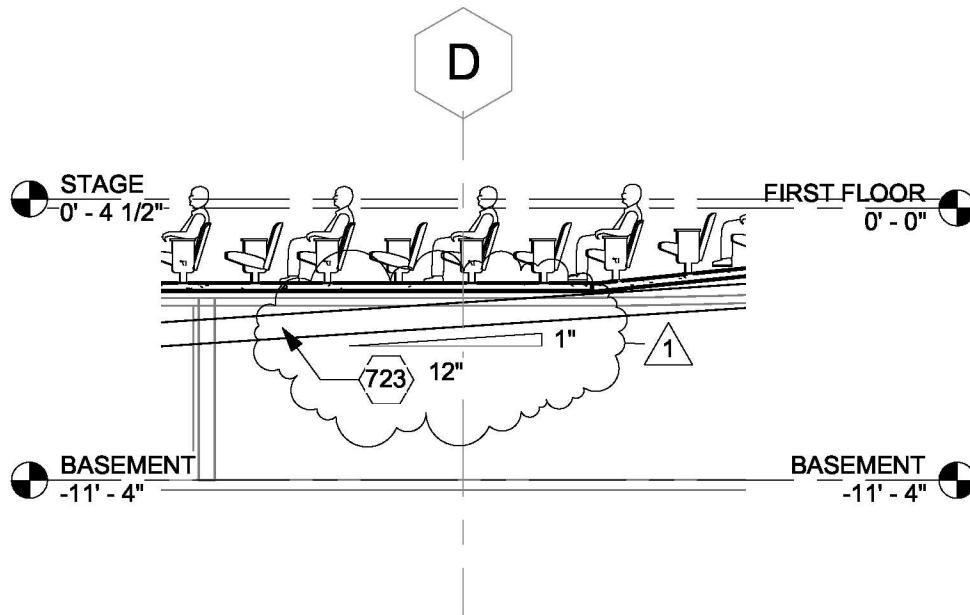
Ref. Drawing No.
1/AE-105

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-003



	Avalon Theatre COMMISSION # 12036.00	Addition and Renovation	Addendum No. 1
			Date 03/11/13
	Westlake Reed Leskosky One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		Ref. Drawing No. 1/AE-202
			Sketch No. SK-005



1 Building Section

1/8" = 1'-0"

Keynote Legend

723 12" DIA. PIPE CABLE PASS

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

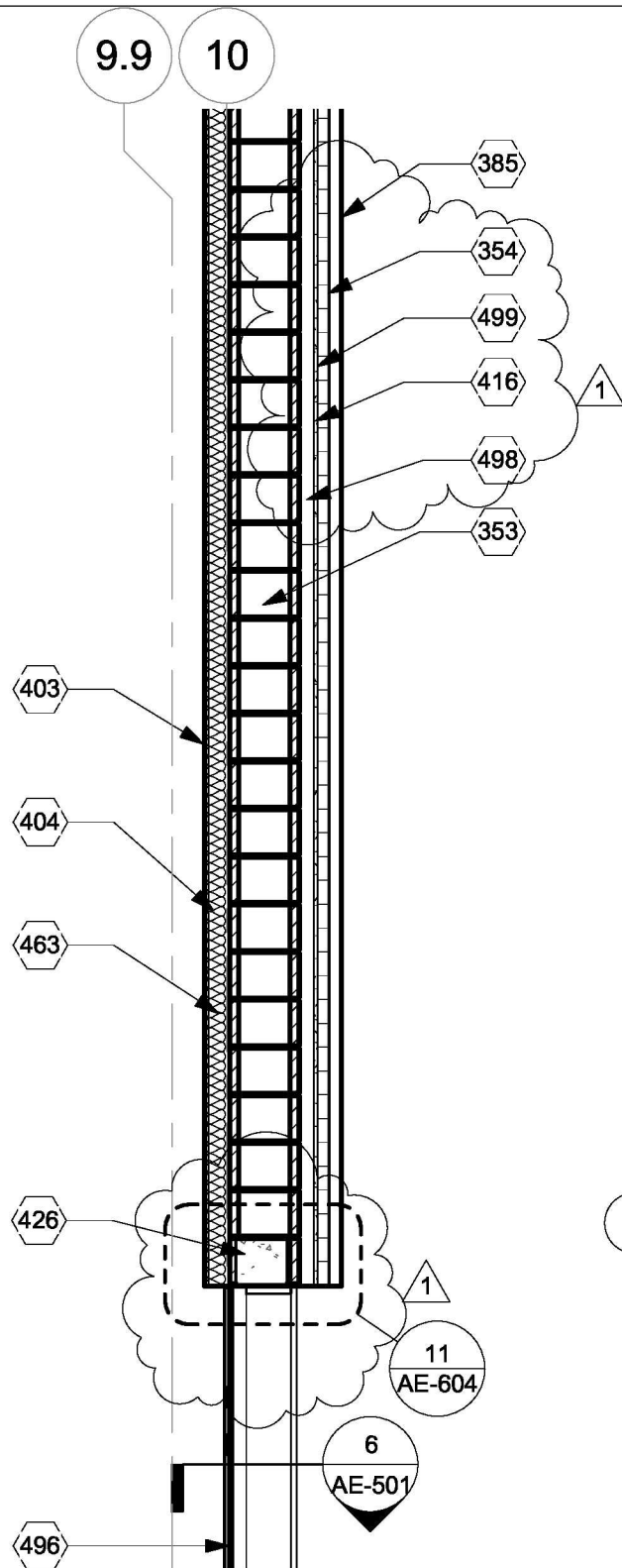
Date
03/11/13

Westlake Reed Leskosky

Ref. Drawing No.
1/AE-301

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-006



Keynote Legend

463

R-13 BATT INSULATION

498

2 1/2" METAL FRAMING AT 16" OC AND
BEHIND EA METAL PANEL ATTACHMENT.

499

WEATHER BARRIER

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date

03/11/13

Westlake Reed Leskosky

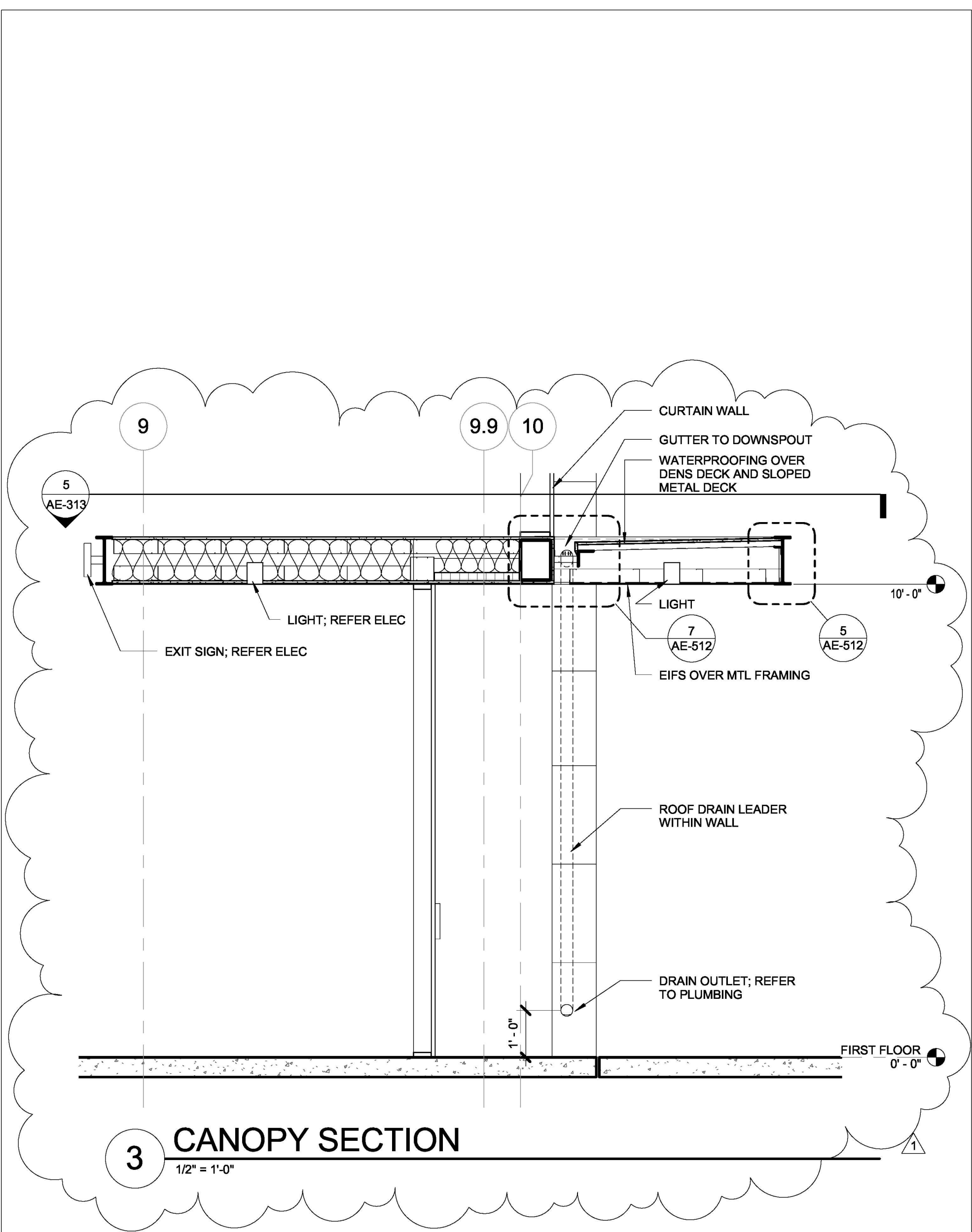
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2/AE-313

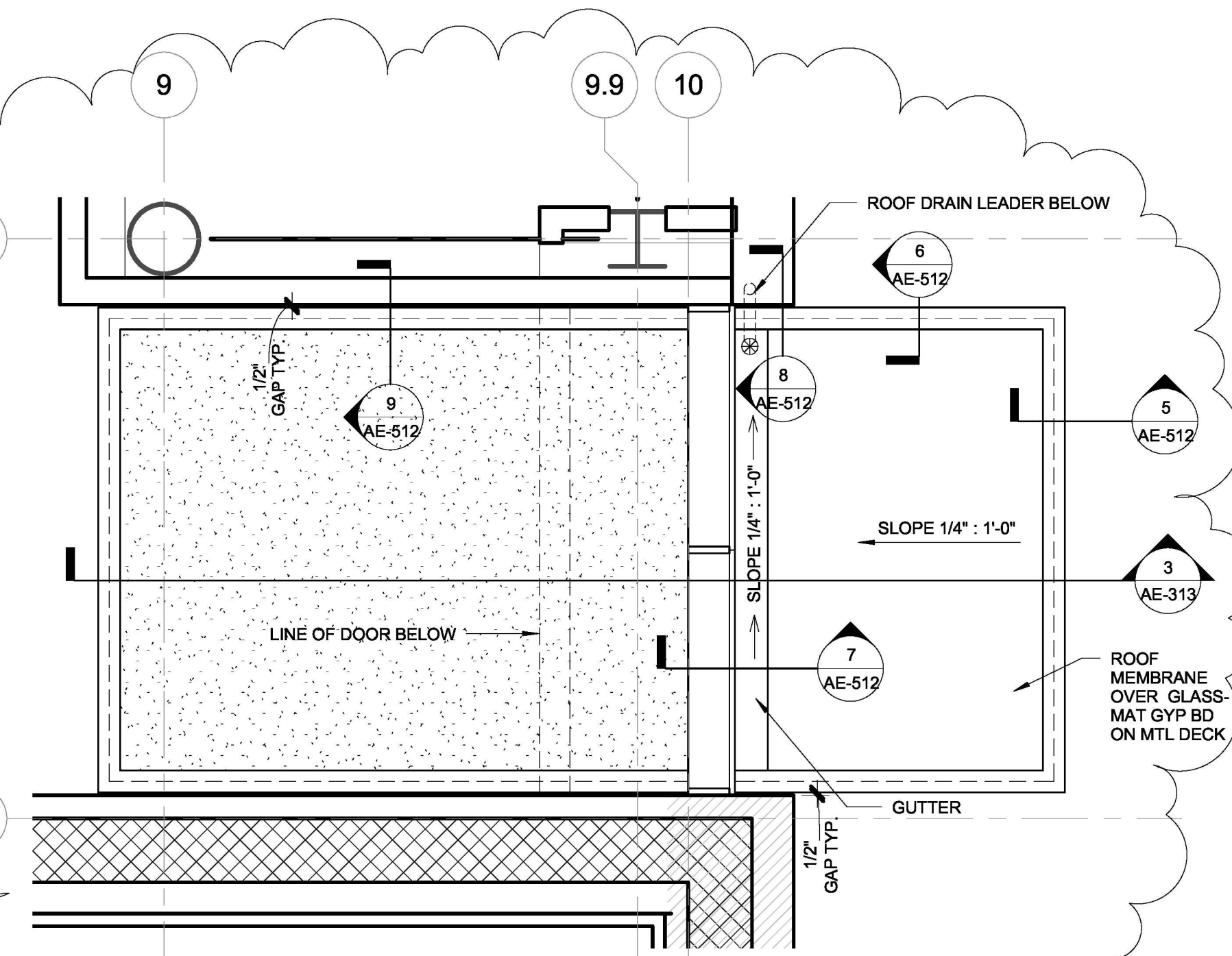
One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.

SK-007



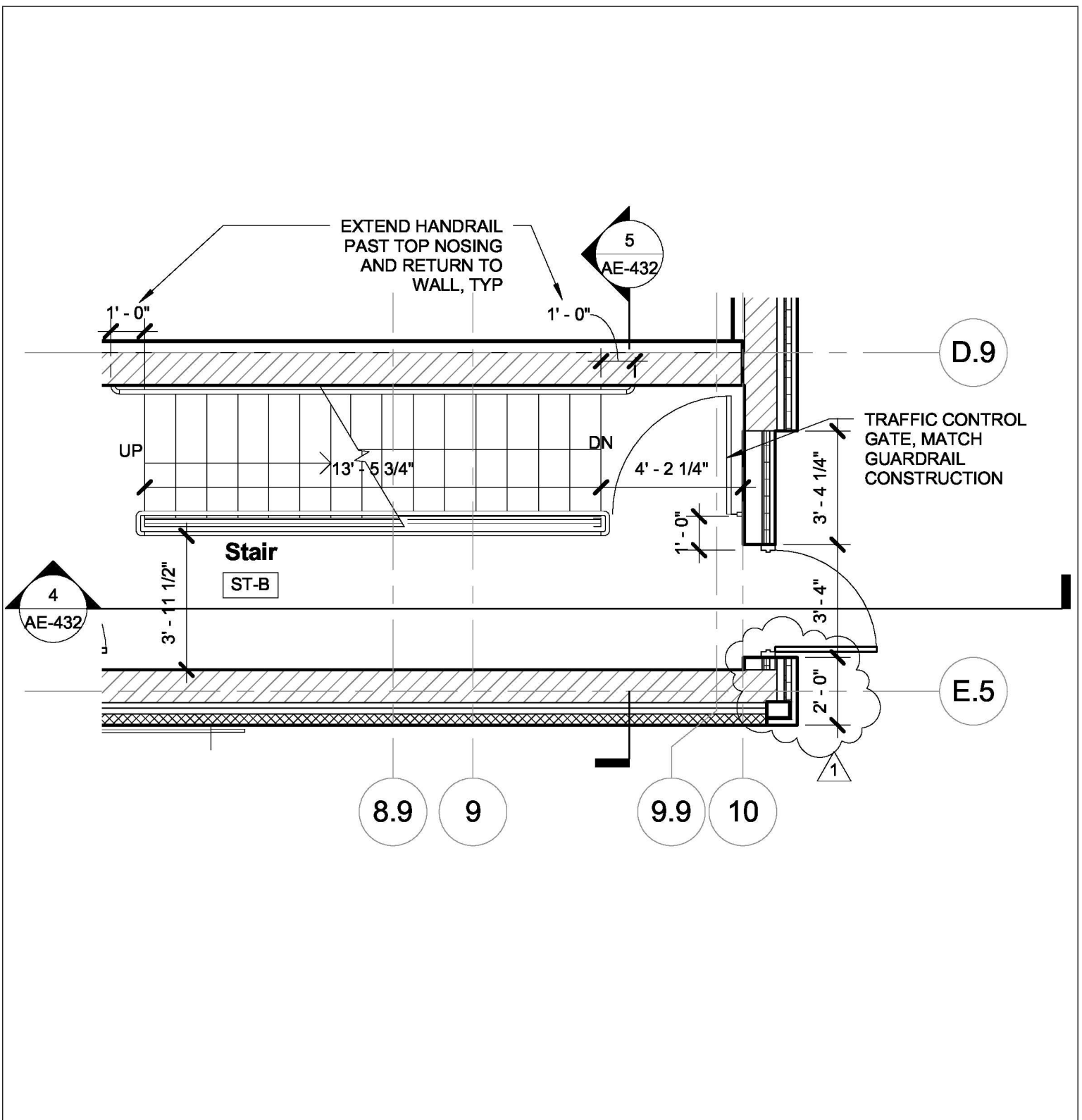
	Avalon Theatre COMMISSION # 12036.00	Addition and Renovation	Addendum No. 1
			Date 03/11/13
	Westlake Reed Leskosky One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		Ref. Drawing No. 3/AE-313
			Sketch No. SK-008



5 CANOPY PLAN
1/2" = 1'-0"

	Avalon Theatre COMMISSION # 12036.00	Addition and Renovation	Addendum No. 1
			Date 03/11/13
	Westlake Reed Leskosky		Ref. Drawing No. 5/AE-313
			Sketch No. SK-009

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451



Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

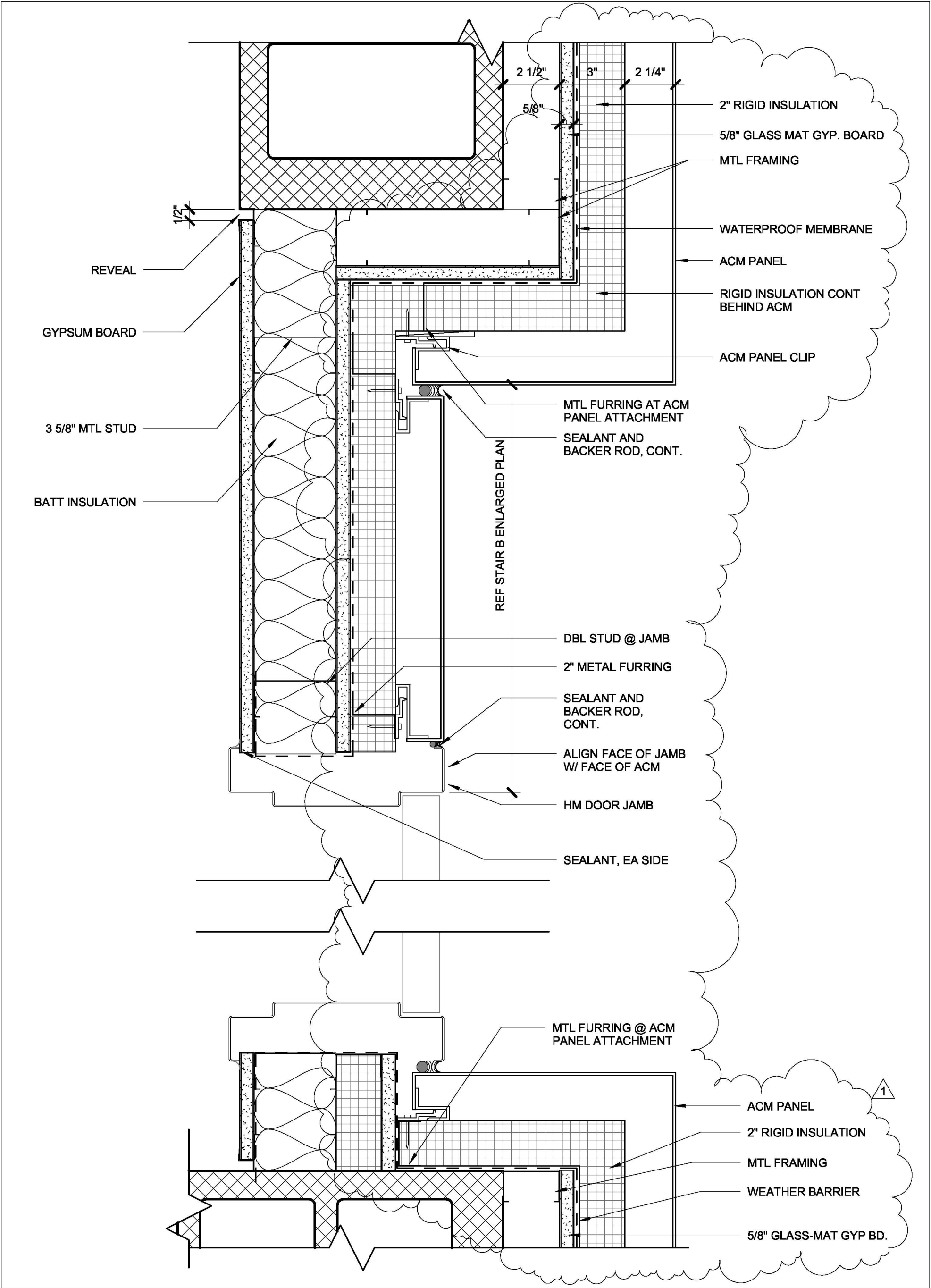
Date
03/11/13

Westlake Reed Leskosky

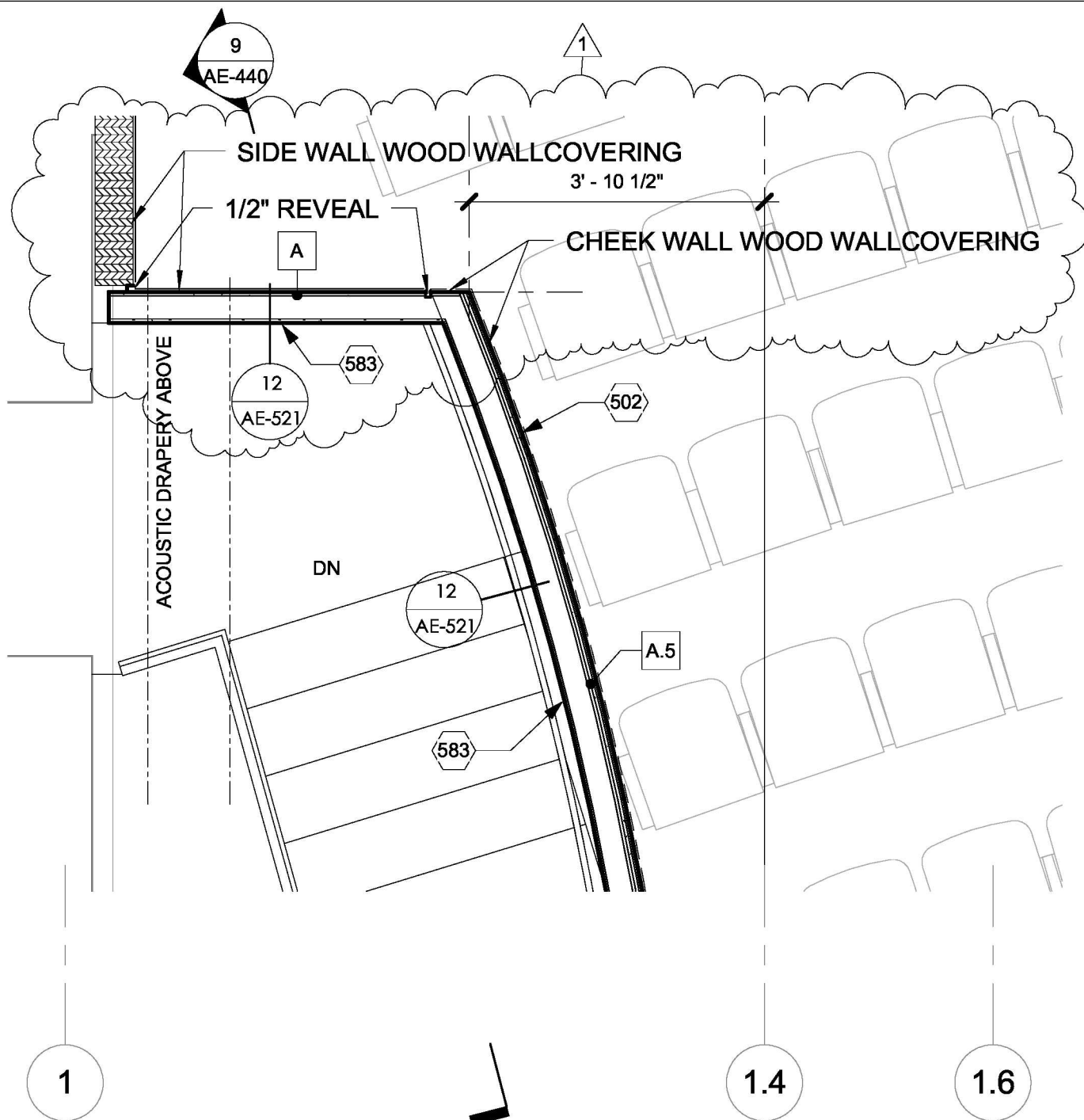
Ref. Drawing No.
1/AE-432

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-010



<div>Avalon Theatre</div> <div>COMMISSION # 12036.00</div>	Addition and Renovation	Addendum No. 1
		<div>Date</div> <div>03/11/13</div>
	Westlake Reed Leskosky	<div>Ref. Drawing No.</div> <div>1/AE-502</div>
		<div>Sketch No.</div> <div>SK-011</div>
<div>One East Camelback Road, Suite 690</div> <div>Phoenix, Arizona 85012</div> <div>602 212-0451</div>		



1

1.4

1.6

3

Plan Detail at Auditorium Walls

1/2" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

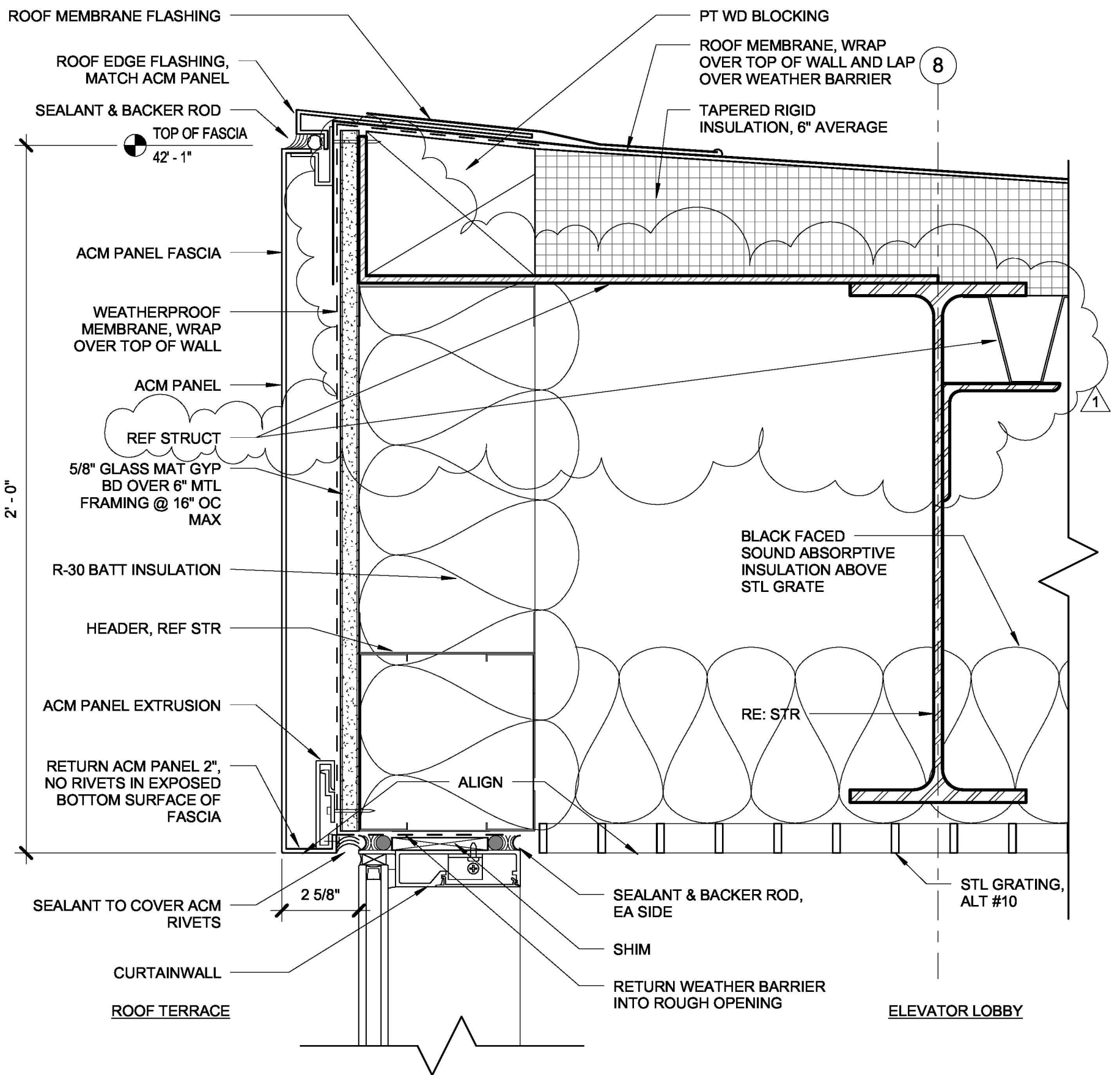
Date
03/11/13

Westlake Reed Leskosky

Ref. Drawing No.
3/ AE-503

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-012



Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

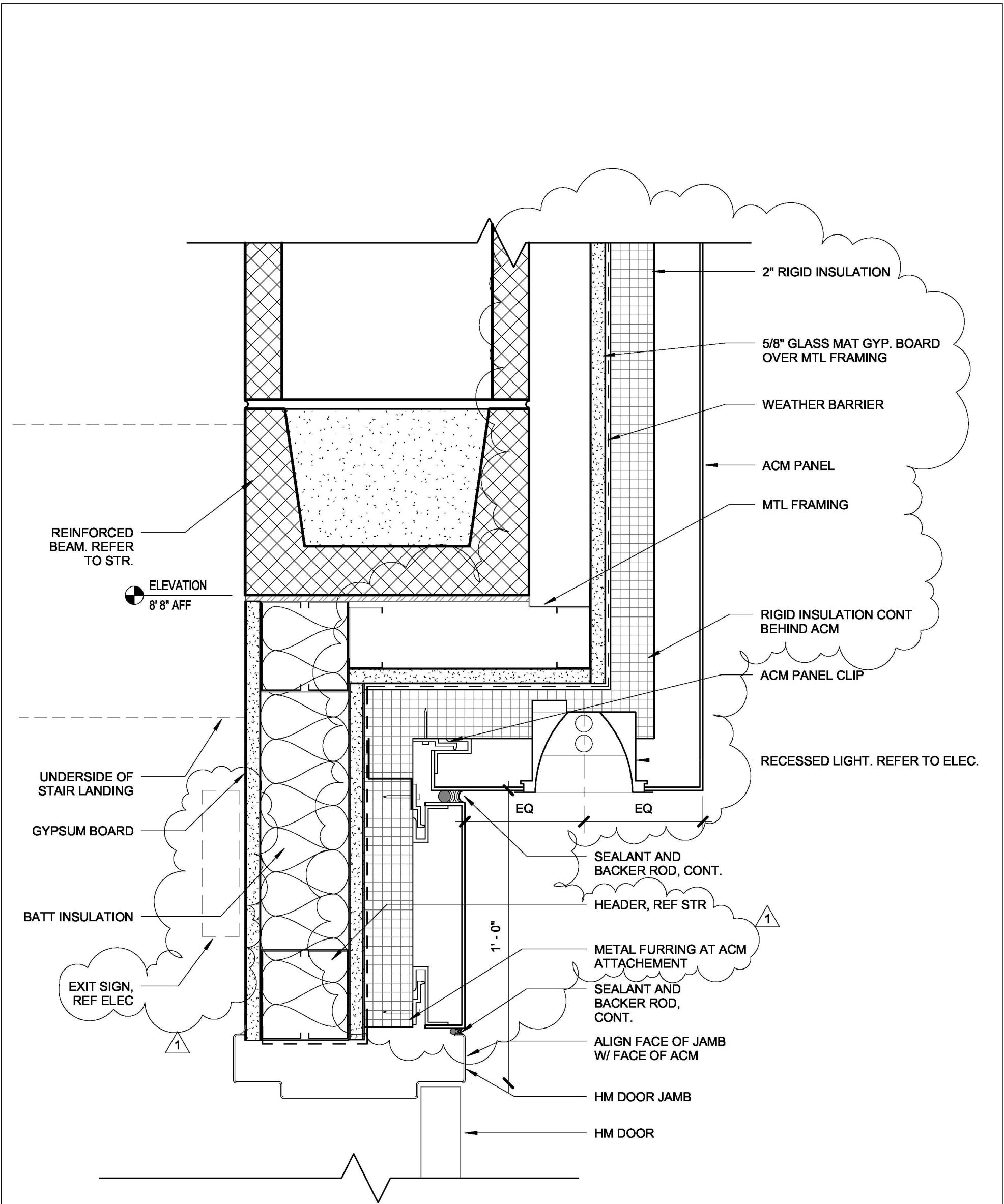
Date
03/11/13

Westlake Reed Leskosky

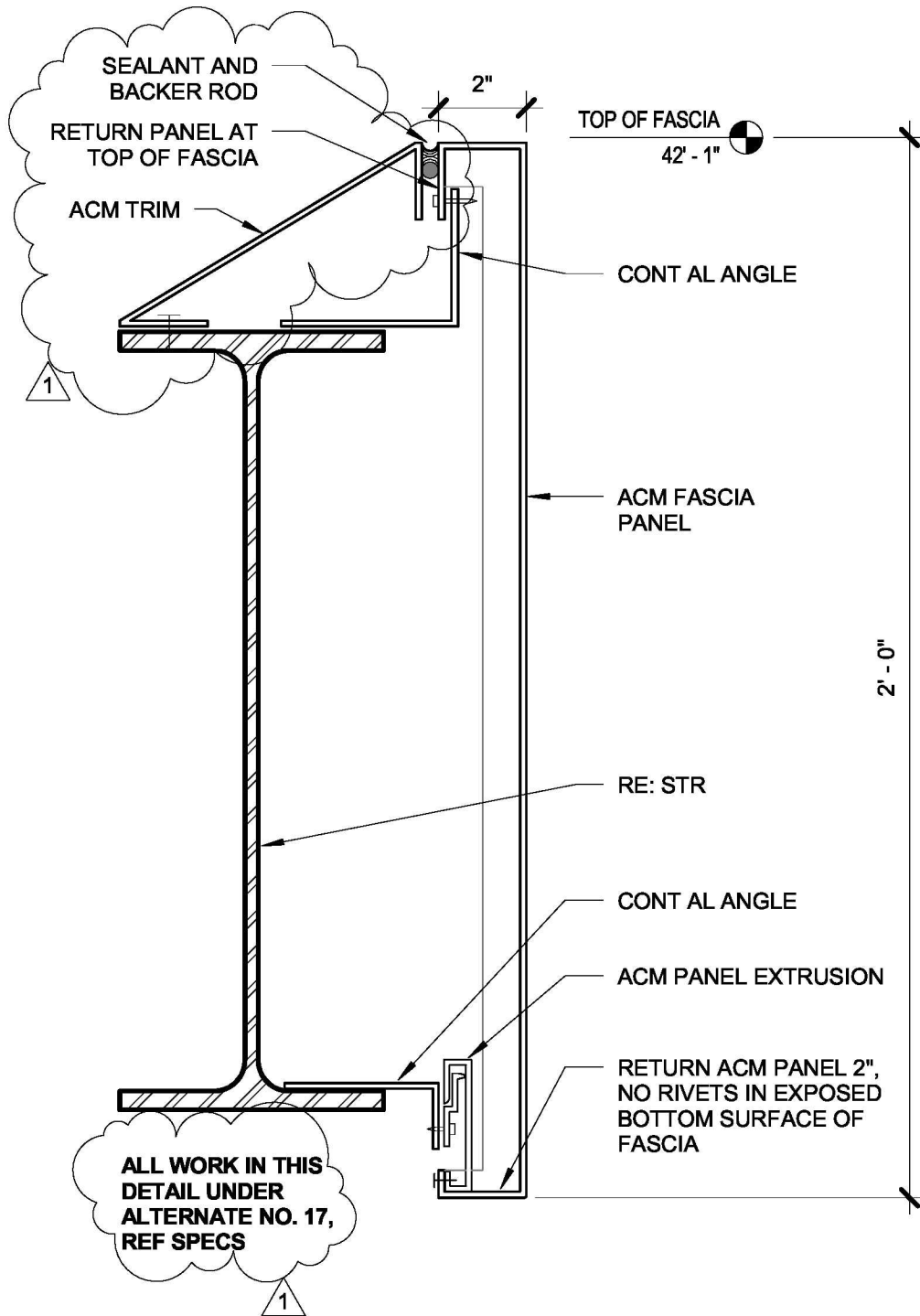
Ref. Drawing No.
1/AE-511

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-013



	Avalon Theatre COMMISSION # 12036.00	Addition and Renovation	Addendum No. 1
			Date 03/11/13
	Westlake Reed Leskosky One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		Ref. Drawing No. 2/AE-511
			Sketch No. SK-014



Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

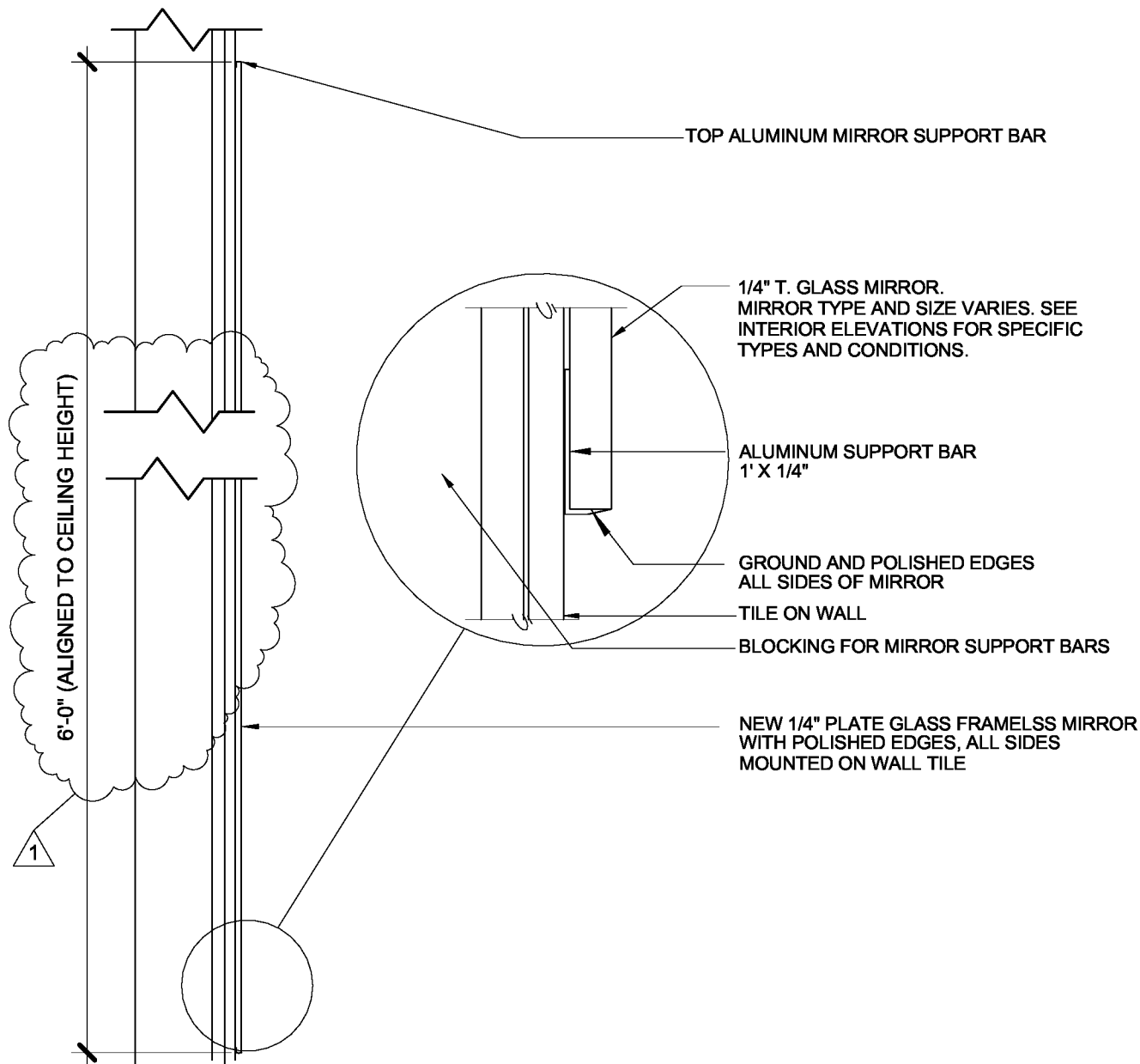
Date
03/11/13

Westlake Reed Leskosky

Ref. Drawing No.
5/AE-511

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-015



8

SINK DETAIL

1 1/2" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date

03/11/13

Westlake Reed Leskosky

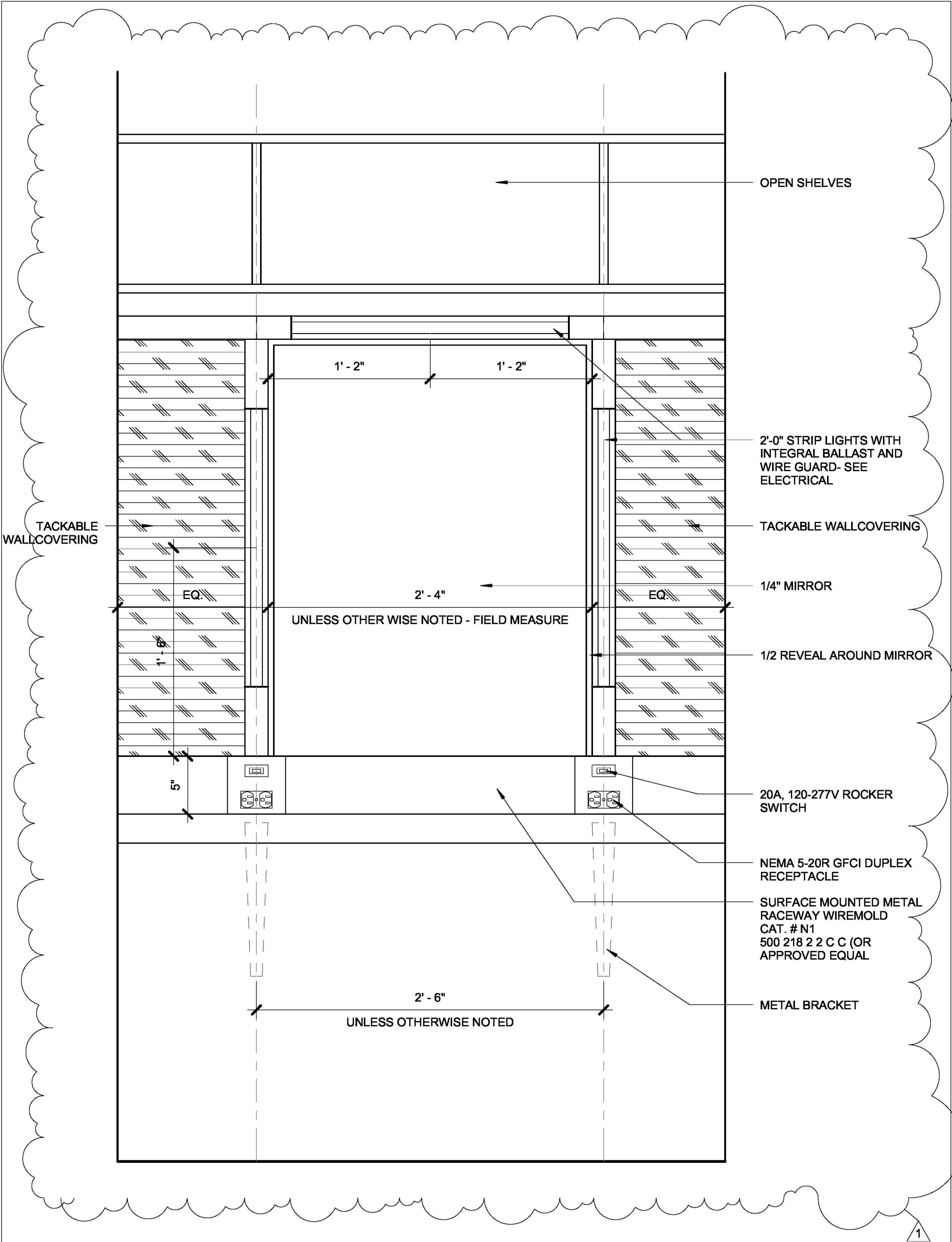
Ref. Drawing No.

8/ AE-521

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.

SK-016



2

MAKEUP COUNTER ELEVATION

1 1/2" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date
03/11/13

Westlake Reed Leskosky

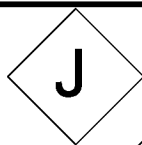
Ref. Drawing No.

2/AE-522

Sketch No.

SK-017

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451



1 HR. RATED (UL DESIGN NO. U493), NON-BEARING PLUMBING PARTITION- DOUBLE ROW OF 3 5/8" MTL. STUDS W/ 5/8" GYP. BD. EACH SIDE TO STRUCTURE ABOVE. CROSS BRACING REQ'D TO SUPPORT LATERAL LOADS ON WALL.



NON-FIRE RATED, BEARING CMU PARTITION- 12" CONCRETE BLOCK (11 5/8" WIDE), GROUTED SOLID. ONE SIDE: 5/8" GYP. BD. OVER 3 5/8" MTL. STUDS @ 1'-4" O.C.



NON-FIRE RATED, BEARING CMU PARTITION- 12" CONCRETE BLOCK (11 5/8" WIDE), GROUTED SOLID. BOTH SIDES: 5/8" GYP. BD. OVER 3 5/8" MTL. STUDS @ 1'-4" O.C. SOUND ATTENUATION BATT, FULL HEIGHT.

1



NON-FIRE RATED, BEARING CMU PARTITION- 12" CONCRETE BLOCK (11 5/8" WIDE), GROUTED SOLID. LOBBY SIDE: 5/8" GYP. BD. OVER 3 5/8" MTL. STUDS @ 1'-4" O.C. SOUND ATTENUATION BATT, FULL HEIGHT . ROOM SIDE: 5/8" GYP. BD. OVER 2 1/2" STUDS @ 1'-4" O.C. SOUND ATTENUATION BATT, FULL HEIGHT.

1

PARTITION TYPES

1 1/2" = 1'-0"

Avalon Theatre

COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date

03/11/13

Westlake Reed Leskosky

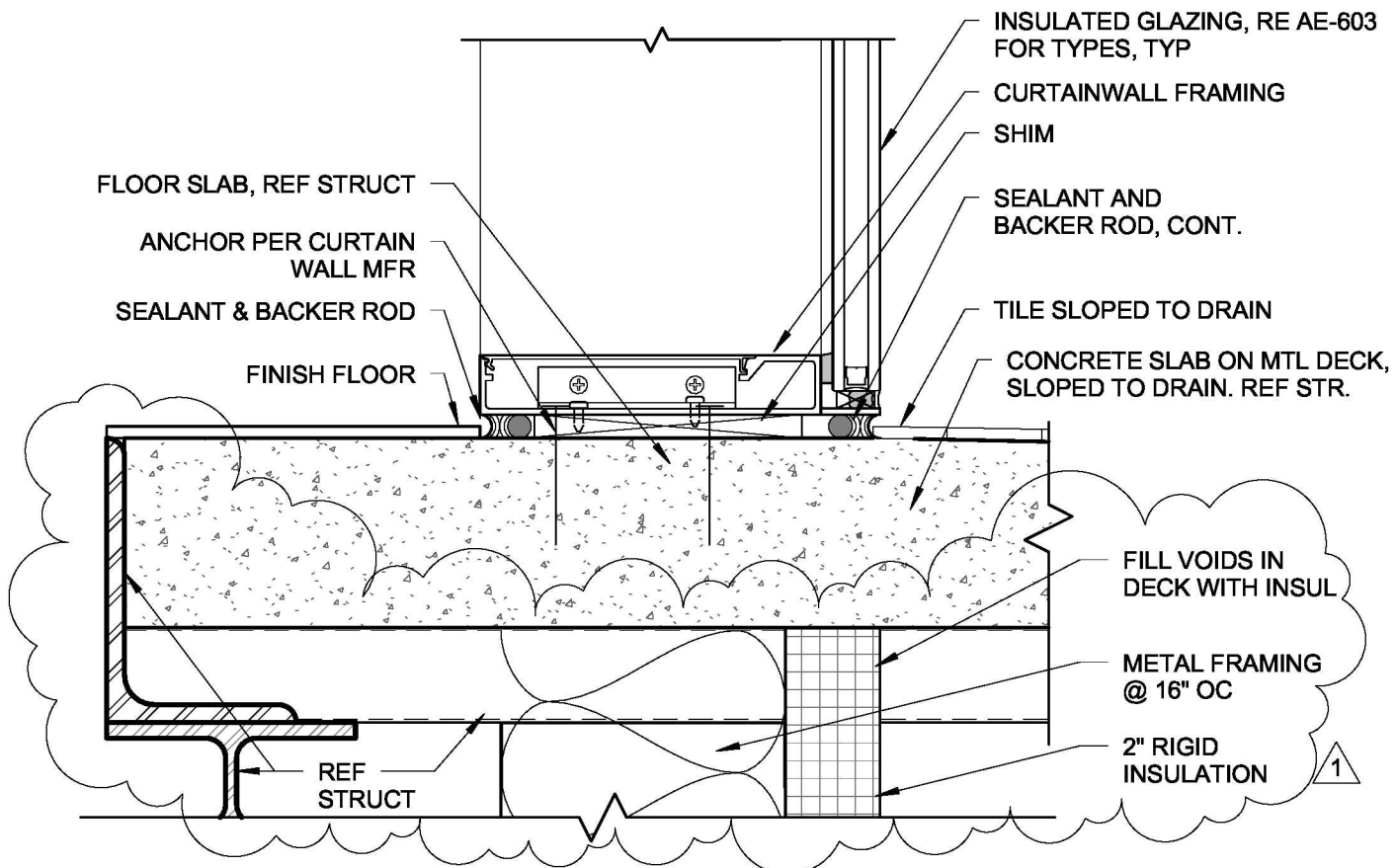
Ref. Drawing No.

1/AE-611

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

Sketch No.

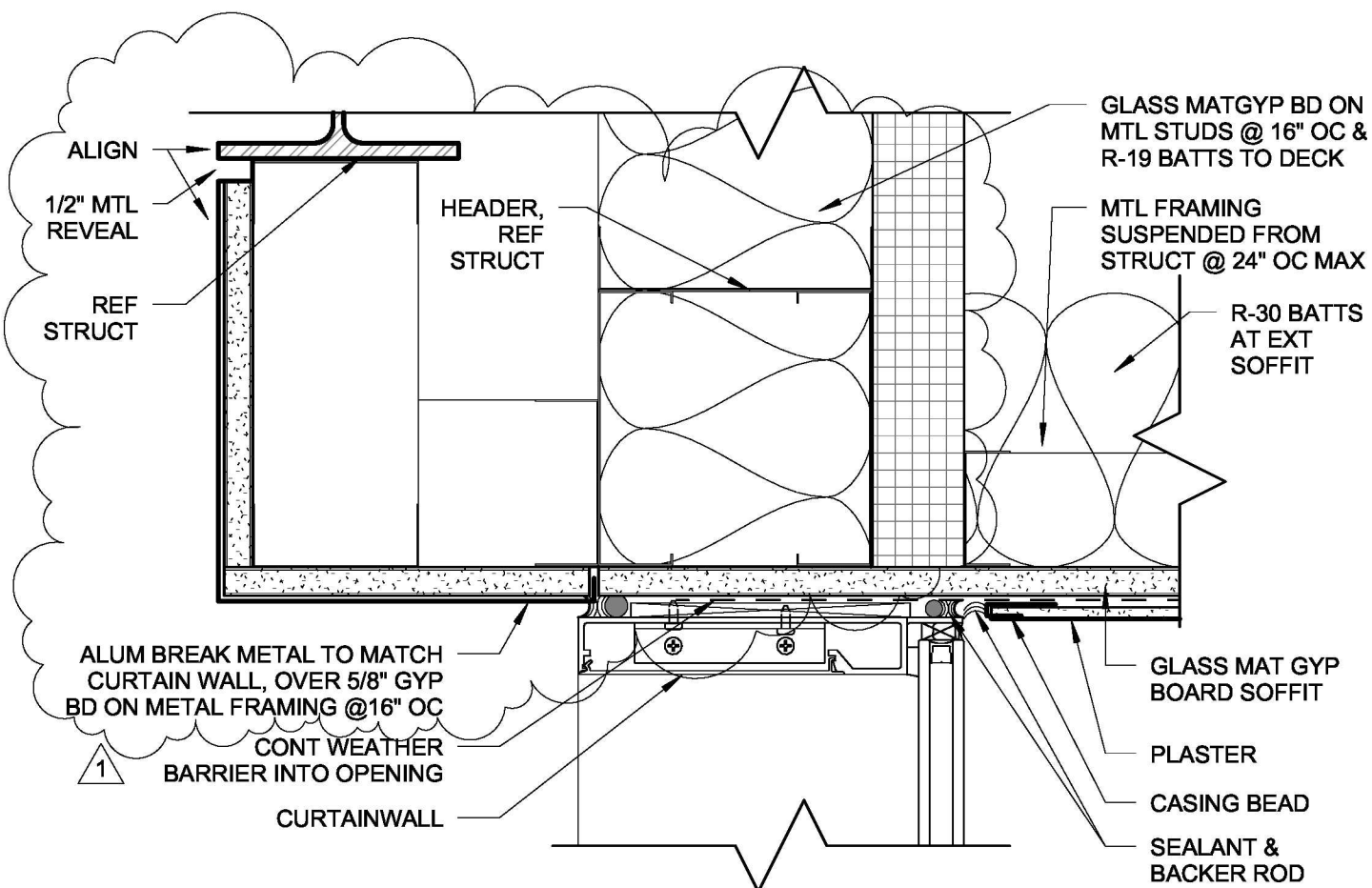
SK-018



9

CURTAINWALL SILL AT MEZZ BALCONY

3" = 1'-0"



8

CURTAINWALL HEAD BELOW MEZZ BALCONY

3" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 1

Date
03/11/13

Westlake Reed Leskosky

Ref. Drawing No.
AE-605

One East Camelback Road, Suite 690
Phoenix, Arizona 85012
602 212-0451

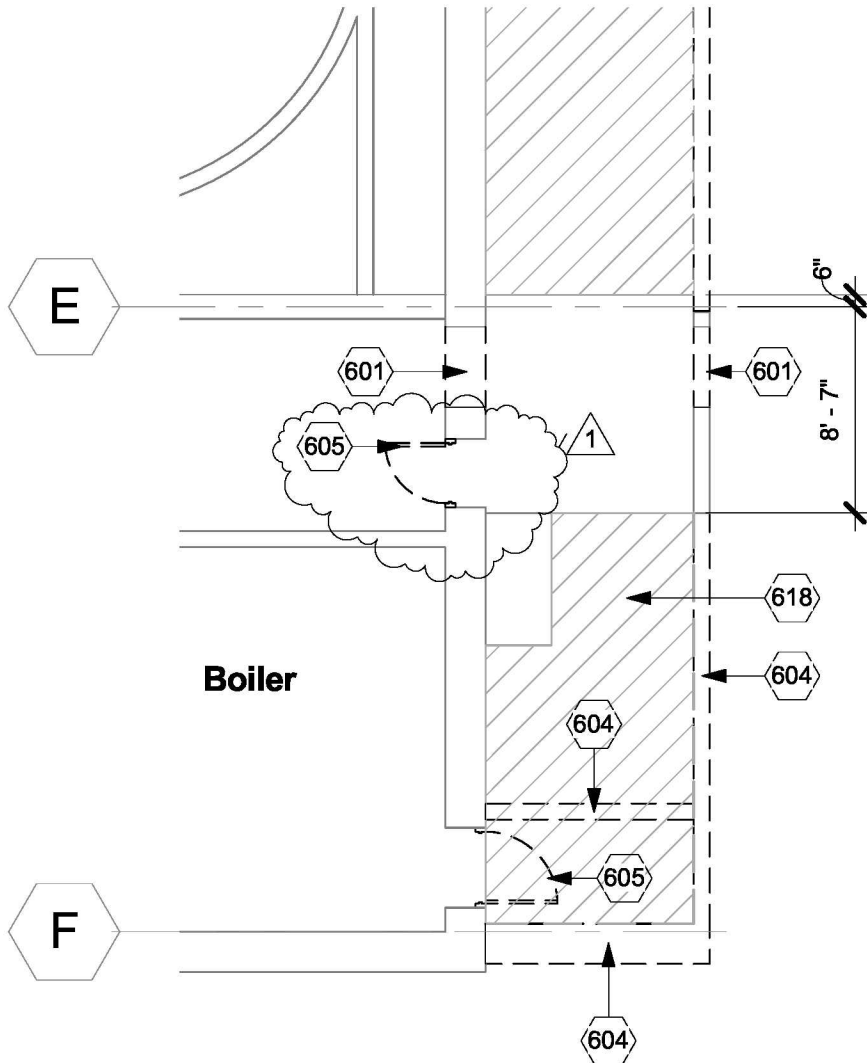
Sketch No.
SK-019

601 PROVIDE NEW OPENING IN
EXISTING WALL

604 REMOVE EXISTING WALL

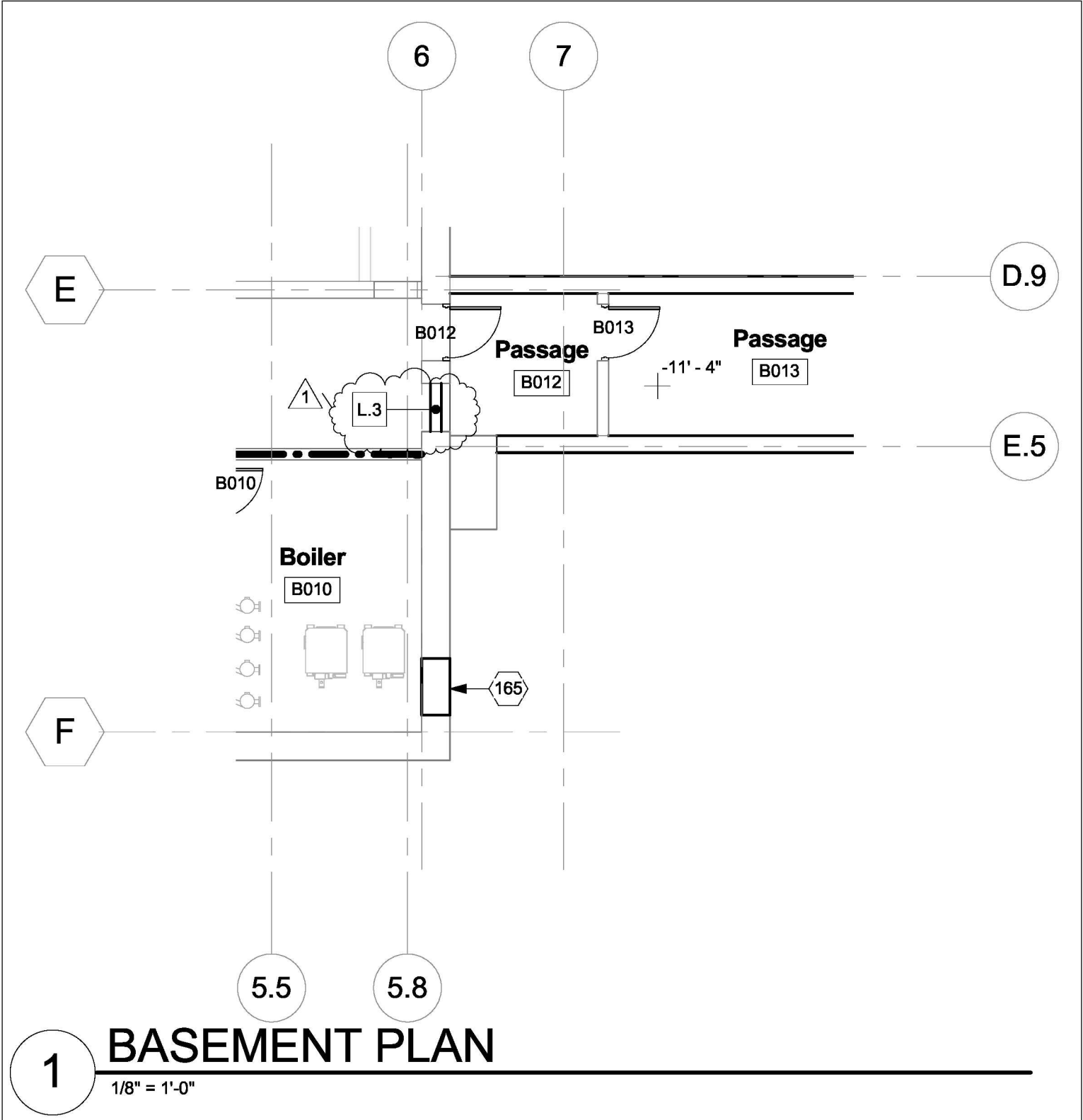
605 REMOVE DOOR

618 REMOVE EXISTING SLAB
AND EXCAVATE FOR NEW
LOADING DOCK
FOUNDATION. SEE
STRUCTURAL.



BASEMENT DEMOLITION PLAN

$$1/8'' = 1'-0''$$
Sketch No.
SK-020



1	BASEMENT PLAN	
	1/8" = 1'-0"	
	Avalon Theatre COMMISSION # 12036.00	Addendum No. 1
		Date 03/11/13
	Westlake Reed Leskosky One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451	Ref. Drawing No. 1/AE-101
		Sketch No. SK-021

ADDENDUM NO. 01
TO THE
PROJECT MANUAL AND DRAWINGS
FOR

City of Grand Junction, Colorado – Avalon Theatre
Phase 1 Addition and Renovation
WRL Commission No. 12036.00

Prepared by:
WESTLAKE REED LESKOSKY
One East Camelback Road, Suite 690
Phoenix, Arizona 85012

The Drawings and Project Manual for the above named Project, dated February 26, 2013, are modified, amended, and supplemented as set forth in this Addendum and shall be taken into account in preparing Bids. This Addendum shall become part of the Contract Documents.

Wherein this Addendum is in conflict with the Specifications and Drawings, the requirements of this Addendum shall govern.

ITEM NO. 1 – REVISIONS TO BIDDING REQUIREMENTS

- A. The following Bidding Documents are revised and re-issued with this Addendum:
 - 1. Bid Form
- B. The following Bidding Documents are revised as indicated. The Documents are not re-issued with this Addendum:
 - 1. Add the following: “25. The City will pay for building permits, utility tap fees, and plant investment fees. The Bidder has investigated all other required fees, permits, and regulatory requirements of authorities having jurisdiction and has properly included in the submitted bid the cost of such fees, permits, and requirements not otherwise indicated as provided by Owner.”

ITEM NO. 2 – REVISIONS TO THE PROJECT MANUAL

- A. The following Specification Sections are revised and re-issued with this Addendum:
 - 1. Section 011000 – “Summary”
 - 2. Section 012300 – “Alternates”
 - 3. Section 022660 – “Hazardous Soils Assessment”
 - 4. Section 057300 – “Decorative Metal Railings”
 - 5. Section 072726 – “Fluid-Applied Membrane Air Barriers”
 - 6. Section 077200 – “Roof Accessories”
 - 7. Section 079500 – “Expansion Control”
- B. The following Specification Sections are revised as indicated. The Sections are not re-issued with this Addendum:
 - 1. Section 012100 – “Allowances”:
 - a. Revise paragraph 3.3 A.1 to read: “This allowance includes material cost, receiving, handling, and Contractor overhead and profit.”

- b. Revise paragraph 3.3 B to read: "Allowance No. 2: Lump-Sum Allowance: Include the sum of \$25,000 for mitigation and removal of radioactive mill tailings as dictated by local, state and federal guidelines."
2. Section 022623 – "Asbestos Assessment": Fixed footer to match the section title and number
3. Section 096813 – "Carpeting"
 - a. Revise Paragraph 2.4 A #2 to read: CPT1: Grid Overlay ER3 RS, 24"x24". Color: 1010250-001-00 Blythe Theatre.
4. Section 098433 – "Sound-Absorbing Wall Units": Add the following to Article 2.3 Fabrication, D. Facing Material:

"4. Fabric: Subject to compliance with requirements, provide Acoustic Panel Fabric by Guilford of Maine, or approved equal.

 - a. Style: FR701; Color: Red; 2100-799."
5. Section 126113 – "Upholstered Fixed Auditorium Seating":
 - a. Revise paragraph 2.1 A to add: "rear mount plastic cupholders"
 - b. Revise paragraph 2.4 C to add: "5. Provide black, rear mount cupholders mounted to the back of each middle standard."

ITEM NO. 3 – REVISIONS TO STRUCTURAL DRAWINGS

A. The following Structural Drawings are issued for the first time with this Addendum:

1. S-301 Masonry Wall Elevations
2. S-302 Masonry Wall Elevations
3. S-303 Masonry Wall Elevations
4. S-530 Stair Elevation & Details

B. The following Structural Drawings are revised and reissued with this Addendum:

1. S-001 Structural General Notes
2. S-503 Typical Foundation Sections
3. S-103 Mezzanine Framing Plan
4. S-104 Upper Mezzanine Framing Plan
5. S-105 Roof Framing Plan
6. S-511 Typ Steel Sections & Details
7. S-513 Steel Sections & Details
8. S-520 Masonry Tables & Typical Details

ITEM NO. 4 – REVISIONS TO ARCHITECTURAL DRAWINGS

A. The following Architectural Drawings are issued for the first time with this Addendum:

1. AE-125 Enlarged Reflected Ceiling Plans.
2. AE-552 RCP Details

B. The following Architectural Drawings are revised and reissued with this Addendum:

1. AE-102 First Floor Plan
2. AE-103 Mezzanine Floor Plan
3. AE-104 Upper Mezzanine Floor Plan
4. AE-122 First Floor Reflected Ceiling Plan
5. AE-123 Mezzanine Reflected Ceiling Plan
6. AE-419 Interior Elevations Theater
7. AE-422 Interior Elevations
8. AE-423 Interior Elevations Multi Purpose Room

- 9. AE-424 Interior Elevations
- 10. AE-435 Enlarged Ramp Plans and Sections
- 11. AE-437 Enlarged Toilet Room Plans & Elevations
- 12. AE-438 Enlarged Toilet Plans & Elevations
- 13. AE-439 Enlarged Toilet Plans & Elevations
- 14. AE-440 Enlarged Auditorium Stair Plans & Sections
- 15. AE-501 Plan Details
- 16. AE-504 Interior Details
- 17. AE-512 Section Details
- 18. AE-531 Details
- 19. AE-532 Details
- 20. AE-551 RCP Details
- 21. AE-604 Window & Curtain Wall Details

C. The following Architectural Sketches are issued with this Addendum:

- 1. SK-001 Change 1/AD-102 – Mezzanine Demolition Plan
- 2. SK-002 Change 1/AD-201 – Demolition East Elevation
- 3. SK-003 Change 1/AE-105 –Roof Plan
- 4. SK-004 Change 1/AE-201 - East Elevation
- 5. SK-005 Change 1/AE-202 - North Elevation
- 6. SK-006 Change 1/AE-301 - Add slope tag.
- 7. SK-007 Change Detail 2/AE-313 WALL SECTION 2 as shown.
- 8. SK-008 Add Detail 3/AE-313 CANOPY SECTION
- 9. SK-009 Add Detail 5/AE-313 CANOPY PLAN
- 10. SK-010 Change 1/AE-432 - Enlarged Plan Stair B – First Floor
- 11. SK-011 Change 1/AE-502 - Alcove Plan Detail at STB Door
- 12. SK-012 Change 3/AE-503 - Plan Detail at Auditorium Walls
- 13. SK-013 Change 1/AE-511 - Header at East Wall of Upper Elevator Lobby
- 14. SK-014 Change 2/AE-511- Alcove Section Detail at STB Door
- 15. SK-015 Change 5/AE-511 - Metal Panel Fascia at Open Canopy
- 16. SK-016 Change 8/AE-521 - Sink Detail
- 17. SK-017 Change 2/AE-522 - Makeup Counter Elevation
- 18. SK-018 Change AE-611 - Wall Type K
- 19. SK-019 Change 8/AE-605 Curtainwall Head Below Mezz Balcony
and 9/AE-605 Curtainwall Sill at Mezz Balcony
- 20. SK-020 Change 1/AD-101 – Basement Demolition Plan
- 21. SK-021 Change 1/AE-101 – Basement Floor Plan

D. The following Architectural Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

- 1. AE-401: Row 3 in Section 2 Label to read “15”
- 2. AE-433: Detail #2, Elevator A:
 - i. Delete Keynote 455 and add note: “SUMP WITH REMOTE PUMP, SEE PLUMBING.”
 - ii. Delete Keynote 489 and add note: “2100 LB CAB”
- 3. AE-601: Door Schedule: Revise Door 127 Height to 7’-10.5”

ITEM NO. 5 – REVISIONS TO PLUMBING DRAWINGS

A. The following Mechanical Drawings are revised and reissued with this Addendum:

- 1. PL-101 First Floor Waste & Vent
- 2. PL-102 Second Floor Waste & Vent
- 3. PL-103 Third Floor Waste & Vent

4. PL-901 Plumbing Schematics

ITEM NO. 6 – REVISIONS TO MECHANICAL DRAWINGS

B. The following Mechanical Drawings are issued for the first time with this Addendum:

1. M-301 Mechanical Sections
2. M-302 Mechanical Sections
3. M-303 Mechanical Sections
4. M-304 Mechanical Sections

C. The following Mechanical Drawings are revised and reissued with this Addendum:

1. MH-102 Mechanical Plan – First Floor
2. MH-103 Mechanical Plan - Mezzanine
3. MH-104 Mechanical Plan – Upper Mezzanine
4. M-602 Mechanical Schedules

D. The following Mechanical Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. MD-101 Mechanical Plan – Basement – Demo. Added West side ducting to be demoed. Added notes for (2) existing boilers to be removed by others.

ITEM NO. 7 – REVISIONS TO ELECTRICAL DRAWINGS

A. The following Electrical Drawings are revised and reissued with this Addendum:

1. EL-102 First Floor Lighting Plan
2. EL-103 Mezzanine Lighting Plan
3. EL-104 Upper Mezzanine Lighting Plan
4. EP-101 Basement Power Plan
5. EP-102 First Floor Power Plan
6. EP-103 Mezzanine Power Plan
7. EP-104 Upper Mezzanine Power Plan
8. EY-102 First Floor Fire Alarm Plan
9. EY-103 Mezzanine Fire Alarm Plan
10. EY-104 Upper Mezzanine Fire Alarm Plan
11. E-401 Enlarged Power Plans
12. E-501 Electrical Details
13. E-504 Electrical Details
14. E-506 Electrical Details
15. E-602 Electrical One Line Diagram
16. E-611 Luminaire Schedule
17. E-612 Mechanical Equipment Connection Schedule

ITEM NO. 8 – REVISIONS TO AUDIO VISUAL DRAWINGS

A. The following Audio Visual Drawings are revised and reissued with this Addendum:

1. TA-101 First Floor AV Wiring Device Plan
2. TA-631 Conduit Riser Diagram
3. TA-632 Conduit Riser Diagram

END OF ADDENDUM NO. 01

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
ISSUED FOR PERMIT

ADDENDUM #1 – MARCH 11, 2013

BID FORM

Date: _____

PROPOSAL FOR: CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE, PHASE 1 ADDITION AND RENOVATION

SUBMITTED BY:

BIDDER

STREET ADDRESS

CITY, STATE, ZIP CODE

PHONE (Area and Number)

DELIVER TO: Office of the City Clerk
City Hall
250 North Fifth Street
Grand Junction, Colorado 81501

BID DUE DATE: March 26, 2013, until 2:00 p.m., local time.

Having fully examined the Bidding Documents, and all Addenda thereto, prepared by

Westlake Reed Leskosky
One East Camelback Road
Suite 690
Phoenix, Arizona 85012
Tel: (602) 212-0451
Fax: (602) 212-1020

and having inspected the site and the conditions affecting the Work, the undersigned proposes and agrees to furnish all material and perform all labor required to complete the Work for the amounts stated below:

BASE BID

Total Base Bid for the Sum of:

_____ DOLLARS (\$_____)

Attach Statement of Values that provide a breakdown of the bid amount by Project Manual divisions. Provide multiple line items for principal material and subcontract amounts in excess of five percent of the Contract Sum.

ADDENDUM #1 – MARCH 11, 2013

ALTERNATES

Enter the amount to be ADDED TO or DEDUCTED FROM the BASE BID if the Alternate is accepted. If there is no charge for Work under an Alternate, mark NO CHANGE. Refer to Section 012300 - Alternates for description of the Alternates. Owner reserves the right to select any or all Alternates.

ALTERNATE NO. 1: Company Switch.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 2: Donor Wall.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 3: Owner-occupied site.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4A: Duct Liner at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4B: Fabric-wrapped panels at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 5: Fabric Scrim at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 6: Angled Walls at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ADDENDUM #1 – MARCH 11, 2013

ALTERNATE NO. 7: Main Theater Hearing Loop System.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 8: Multipurpose Room Hearing Loop System.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 9: ~~Wood Bench at Mezzanine Lobby~~ REMOVED.

~~ADD ____ DEDUCT ____ NO CHANGE ____.~~

~~Sum of _____ DOLLARS(\$ _____)~~

~~ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate. (ADD 1)~~

ALTERNATE NO. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 11: Infill West and East Doors of Auditorium at Gridline 1.1.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 12: Gypsum Board Enclosure at New Catwalk.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 13: Rooftop Screen Wall.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 14: Tile Flooring at Mezzanine Lobby 200.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ADDENDUM #1 – MARCH 11, 2013

ALTERNATE NO. 15: Platforms at Upper Mezzanine 219.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16A: Fixed Seating Upgrades.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16B: Auditorium Side Wall Paneling.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 17: Roof Terrace Steel Canopy.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 18: Entry Doors at Vestibule and Lobby.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 19: Door 106 at Multipurpose Room.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

PERFORMANCE BOND AND PAYMENT BOND

Amount to be added to the Base Bid for Performance Bond and Payment Bond as required by the Owner.

_____ DOLLARS (\$ _____)

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ALLOWANCES

The undersigned Bidder certifies that Base Bid submission includes those allowances described in the Contract Documents and scheduled in Section 012100 "Allowances."

FORCE ACCOUNT

Include ~~\$30,000~~ **\$200,000** lump-sum account to be used as a Force Account. Force Account work will be authorized by City's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. These expenses are not included in the Drawings or Specifications and are necessary to accomplish the scope of this contract. Force Account Authorization will be directed by the City through an approved form.
(ADD 1)

SUBSTITUTIONS

Bidder is cautioned to Bid on the materials, products, construction, and equipment included in the Bidding Documents and Addenda. Requests for substitutions which have not been approved in an Addendum shall be entered on the "Substitution Request Form" and submitted with the Bid. Substitutions will not be permitted after award of Contract.

TIME OF COMPLETION

The undersigned agrees to substantially complete the Work within 310 calendar days from Notice to Proceed.

LIST OF SUBCONTRACTORS

The Bidder acknowledges that a complete list of Subcontractors is required to be submitted with this Bid Form. At a minimum, list all subcontractors or sub-subcontractors for the following trade categories:

Carpentry _____

Cabinetry _____

Custom Stainless Steel _____

Doors and Frames _____

Door Hardware _____

Metal Studs, Drywall, Insulation _____

Acoustical Suspended Ceilings _____

Flooring _____

Painting _____

Window Treatments _____

Heating, Ventilating and Air-Conditioning _____

Plumbing _____

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Pipe-Fitting _____

Fire Protection (Sprinklers) _____

Electrical _____

Fire Alarm _____

ADDENDUM

Bidder acknowledges receipt of the following Addenda:

Addendum No.	_____	Dated	_____
Addendum No.	_____	Dated	_____
Addendum No.	_____	Dated	_____

ACCEPTANCE OF BIDS

Owner reserves the right to accept or reject any or all Bids, or parts thereof, to waive any informalities in the Bidding, or to award the Contract to other than the lowest Bidder.

The undersigned agrees that his/her Bid may be accepted by the Owner at any time within sixty (60) days from date of opening of the Bids.

DATE _____ BIDDER _____

BY _____

TITLE _____

TYPE OF BUSINESS _____

OFFICIAL ADDRESS

(Street Address)

(City, State, Zip Code)

END OF BID FORM

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SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Project information.
 - 2. Work covered by Contract Documents.
 - 3. Work by Owner.
 - 4. Access to site.
 - 5. Coordination with occupants.
 - 6. Work restrictions.
 - 7. Specification and drawing conventions.
- B. Related Requirements:
 - 1. Section 01 50 00 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 PROJECT INFORMATION

- A. Project Identification: Avalon Theatre, Phase 1 Addition and Renovation.
 - 1. Project Location: 645 Main Street, Grand Junction, Colorado 81501.
- B. Owner: City of Grand Junction Colorado.
 - 1. Owner's Representatives:
 - a. Lee Cooper, 970.256.4155, leec@gjcity.org
 - b. Jim Shanks, 970.201.1340, jimshanks_7@msn.com
- C. Architect/Engineers: Westlake Reed Leskosky.
 - 1. Address: One East Camelback Road, Suite 690, Phoenix, Arizona 85012
 - 2. Contact: Richard Sourbrine, rsour@wrldesign.com, 602.212.0451.
- D. Architect's Consultants: The Architect has retained the following design professionals who have prepared designated portions of the Contract Documents:
 - 1. Associate Architect: Chamberlin Architects, 970.242.6804.
 - 2. Interior Design: Blythe Group + Co., 970.242.1058.
 - 3. Civil Engineer: Austin Civil Group, Inc., 970.242.7540.
 - 4. Landscape Architect: Clavonne, Roberts & Associates, Inc., 970.241.0745.
 - 5. Acoustician: Kirkegaard Associates, 303.442.1705.
 - 6. Associate Structural Engineer: Lindauer Dunn, Inc., 970.241.0900.

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1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and consists of the following:
 - 1. Project consists of a new addition and renovation to the existing Avalon Theater. The new multi-story addition includes Lobby, Box Office, Concessions, Restrooms and a new Multi-purpose Room. Renovation work includes re-raking the existing Audience Chamber main floor, reconfiguring the Upper Mezzanine seating level and extending it into the existing projection booth space, replacing all seating throughout, new acoustical treatment, new cheek walls, new catwalk at lighting position, new forestage reflector at proscenium, and new AV equipment. Site work is limited to re-grading and new hardscape surrounding the new addition.
- B. Type of Contract:
 - 1. Project will be constructed under a single prime contract.

1.5 WORK BY OWNER

- A. General: Cooperate fully with Owner so work may be carried out smoothly, without interfering with or delaying work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.
- B. Preceding Work: Owner will perform the following construction operations at Project site. Those operations are scheduled to be substantially complete before work under this Contract begins.
 - 1. Owner will contract with an Asbestos Abatement contractor to abate the boiler in the existing building. This Work will occur either prior to or concurrent with the Phase 1 Addition and Renovation project.

1.6 ACCESS TO SITE

- A. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Use of Site: Limit use of Project site to work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - 1. Limits: Limit site disturbance, including earthwork and clearing of vegetation, to **actual construction area and areas required for utility hook-ups. 40 10 feet (12.2 3 m) beyond building perimeter; 10 feet (3 m) beyond surface walkways, patios, surface parking, and utilities less than 12 inches (300 mm) in diameter; 15 feet (4.5 m) beyond primary roadway curbs and main utility branch trenches; and 25 feet (7.6 m) beyond constructed areas with permeable surfaces (such as pervious paving areas, stormwater detention facilities, and playing fields) that require additional staging areas in order to limit compaction in the constructed area. (ADD 1)**
 - 2. Driveways, Walkways and Entrances: Keep driveways, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
 - c. **Schedule deliveries to minimize the use of the adjacent alley by construction operations. Alley required to remain clear and available to public traffic.**
 - 3. **Existing parking lot south of Avalon Theatre is available for construction material staging. Repair damage caused by construction operations. (ADD 1)**

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- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.

1.7 COORDINATION WITH OCCUPANTS

- A. ~~Full Owner Occupancy: Owner will occupy site and existing building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.~~**
- ~~1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.~~**
 - ~~2. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.~~**
 - ~~3. Existing Building will continue to be used for theater performances up until the last couple of months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner.~~**
- B. Partial Owner Occupancy: Contractor shall have full use of Project site for construction operations during construction period with the exception of theater performances on May 3, 2013, May 6, 2013 and May 15, 2013.**
- 1. Beyond those dates, Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All other theater performances will be suspended until the project is complete.**
 - 2. On dates indicated above, maintain existing exits unless otherwise indicated.**
 - 3. On dates indicated above, maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction. (ADD 1)**

1.8 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.**
- 1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.**
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours as indicated in the City of Grand Junction General Contract Conditions.**
- 1. Comply with all City ordinances including those for noise restrictions.**
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:**
- 1. Notify Owner not less than two days in advance of proposed utility interruptions.**
 - 2. Obtain Owner's written permission before proceeding with utility interruptions.**
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.**
- 1. Notify Owner not less than two days in advance of proposed disruptive operations.**

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2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Nonsmoking Building: Smoking is not permitted within the building or within 15 feet of entrances, operable windows, or outdoor-air intakes, unless otherwise allowed by local ordinances.
- F. City Events Coordination: Contractor will need to coordinate Work with the Downtown Development Authority to accommodate all city events along Main Street.
 1. Contact: Harry Weiss, 970.256.4134.

1.9 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 2. Abbreviations: Materials and products are identified by abbreviations published as part of the U.S. National CAD Standard and scheduled on Drawings.
 3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01 10 00

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SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

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3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Company Switch.
1. Base Bid: No work.
 2. Alternate: Provide new 200 Amp company switch at stage, refer to Drawings for location. New conduit and wire to be routed to existing distribution board in basement as specified in Section 26 28 17 "Company Switches."
- B. Alternate No. 2: Donor Wall.
1. Base Bid: No Work.
 2. Alternate: Provide glass donor wall as detailed on Detail 8 on Sheet AE-503.
- C. Alternate No. 3: Owner-occupied site.
1. Base Bid: Work Restrictions and required Coordination with Occupants as specified in Section 01 10 00 "Summary."
 2. Alternate: **~~Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All theater performances will be suspended until the project is complete.~~** Existing Building will continue to be used for theater performances up until the last four months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated. (ADD 1)
- D. Alternate No. 4A: Duct liner at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fixed duct liner over gypsum board at walls of Multipurpose Room, as indicated on Drawings.
- E. Alternate No. 4B: Fabric-wrapped panels at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fabric wrapped panels over gypsum board at walls of Multipurpose Rooms, as indicated on Drawings.
- F. Alternate No. 5: Fabric Scrim at Multipurpose Room.
1. Base Bid: No work.
 2. Alternate: Where rigid duct liner is provided on walls of Multipurpose Room 106, provide fixed, sheer fabric scrim over the duct liner. Fabric to be approved by Architect. Match Rose Brand fabric, Sharktooth 8/2 Scrim, Color Black.
- G. Alternate No. 6: Angled Walls at Multipurpose Room.
1. Base Bid: Provide walls as shown on Drawings, not angled.
 2. Alternate: Provide gypsum board wall, below 9' AFF, at an inward angle of 6 inches as indicated on Drawings.
- H. Alternate No. 7: Main Theater Hearing Loop System.
1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 2. Alternate: Provide a phased array hearing loop system for the main theater and balcony to ensure even signal coverage throughout the space as well as reduce any overspill to the adjacent multipurpose room. The phased array involves a master and slave loop configuration. Score the concrete with a wet cut prior to room finish and seat installation and lay loop wires in the grooves. Provide two Univox SLS loop amplifiers, one for the main floor and one for the balcony. Size

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each amplifier for the area covered. Caulk the floor with a concrete self-leveling caulk after wiring is complete. Rack space and power supply for the two amplifiers will be provided by the Avalon with 3ru per amplifier. Each amplifier will require a balanced line XLR connection from an Audio Out on the processor or mixer in the audio system, provided by the Avalon.

- I. Alternate No. 8: Multipurpose Room Hearing Loop System.
 - 1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 - 2. Alternate: Provide a phased array hearing loop system for the multi-purpose room to attain a balanced system that reduces overspill, tilt level drop, high frequency loss and interference. Score the concrete floor with a wet cut for a master and slave loop configuration prior to installing the room finishes and floor coverings. Lay loop wire in the grooves and connected to a Univox SLS amplifier sized for the room. Fill grooves with a self-leveling concrete caulk. Rack space and power supply for the amplifier will be supplied by the Avalon with 3ru necessary. The amplifier will require a balanced line XLR connection for an Audio Out on the processor or mixer in the room
- ~~J. Alternate No. 9: **Wood Bench at Mezzanine Lobby. REMOVED**~~
 - ~~1. **Base Bid: No Work.**~~
 - ~~2. **Alternate: Provide wood bench as indicated on Drawings. (ADD 1)**~~
- K. Alternate No. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.
 - 1. Base Bid: Provide metal bar grating panel ceiling at ceiling of Exterior Balcony 200A only.
 - 2. Alternate: At Terrace Lobby 300 and exterior ceiling south of Terrace Lobby 300, provide metal grating ceiling system as indicated on drawings.
- L. Alternate No. 11: Infill West and East doors of Auditorium at Gridline 1.1.
 - 1. Base Bid: West and East doors of Auditorium at gridline 1.1 are to remain, new wood wainscot to run in front of doors.
 - 2. Alternate: West and East doors of Auditorium at gridline 1.1 are to be removed. Infill openings with masonry to match adjacent construction as indicated on drawings.
- M. Alternate No. 12: Gypsum Board Enclosure at New Catwalk.
 - 1. Base Bid: No Work
 - 2. Alternate: At new catwalk, provide gypsum board wall and ceiling enclosure as indicated on Drawings.
- N. Alternate No. 13: Rooftop Screen Wall.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide rooftop screen wall as indicated on Drawings.
- O. Alternate No. 14: Tile Flooring at Mezzanine Lobby 200.
 - 1. Base Bid: Provide only carpet flooring at Mezzanine Lobby 200.
 - 2. Alternate: Provide carpet and tile at Mezzanine Lobby 200, as indicated on Drawings.
- P. Alternate No. 15: Platforms at Upper Mezzanine 219.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide platforms at rear of Upper Mezzanine 219 as indicated on Drawings.
- Q. Alternate No. 16A: Fixed Seating Upgrades.
 - 1. Base Bid: Provide black plastic seat backs, bottoms and arm rests at fixed seating. Upholstery to be red velour as specified.
 - 2. Alternate: Provide wood seat back and arm rests. Upholstery to be equal to Maharam Abacus 007 Festive. 14 oz./yard, 54" wide.

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- R. Alternate No. 16B: Auditorium Side Wall Paneling.
1. Base Bid: Maintain existing wood paneling at side walls of Auditorium 118. Provide wood veneer paneling to match existing where doors are removed. Remove existing acoustical panels and replace with wood veneer paneling to match existing.
 2. Alternate: Remove existing wood paneling at side walls of Auditorium 118. Provide new wood wainscot paneling and electrical and AV changes as indicated in Drawings and Specifications.
- S. Alternate No. 17: Roof Terrace Steel Canopy.
1. Base Bid: Provide connections for future roof terrace canopy steel only. Connections are to be covered fully, not exposed.
 2. Alternate: Provide complete steel canopy at roof terrace.
- T. Alternate No. 18: Entry Doors at Vestibule and Lobby.
1. Base Bid: Doors 101A, 101B, 101C, 101D, and 101E to be 8' high with 2' glass transom above. Provide CRL panic hardware.
 2. Alternate: Doors 101A, 101B, 101C, 101D, and 101E to be 10' high with no transom. Provide standard egress panic hardware.
- U. Alternate No. 19: Door 106 at Multipurpose Room.
1. Base Bid: Door 106 ~~is to be a double door, two 4' wide x 9' high swinging leaves, STC 50 minimum~~ is to be provided as scheduled in the door schedule. (ADD 1)
 2. Alternate: Door 106 is to be a motorized vertical lift door as shown on Detail 1 on Sheet AE-503.

END OF SECTION 01 23 00

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SECTION 02 26 60 – HAZARDOUS SOILS ASSESSMENT

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This section includes:
 - 1. **Attached document:** Health and Safety Plan, Fuel Tank Removal, dated February 22, 2013.
 - 2. **Reference information regarding Radioactive Mill Tailings. (ADD 1)**

1.3 HAZARDOUS SOILS ASSESSMENT

- A. This document with its referenced attachments is for reference only. It is made available for Bidder's convenience and information, but are not a warranty of the existing conditions. This Document and its attachments are not part of the Contract Documents.

1.4 CONTRACTOR'S USE OF EXISTING CONDITIONS INFORMATION

- A. The documents are not part of the Contract Documents.
- B. The documents are not guaranteed by the Architect to be complete or accurate.
- C. The documents are available as a courtesy for the Contractor.
- D. The documents may be used by the Contractor at the Contractor's sole risk and judgment.

1.5 ADDITIONAL ASSESSMENTS

- A. The Contractor may obtain additional Existing Conditions Assessment and may perform selective exploratory investigation by making a specific written request to the Architect. Obtain Architect's written preapproval.

1.6 RADIOACTIVE MILL TAILINGS

- A. **Materials Contaminated with Radioactive Mill Tailings:** In the 1940s, 50s, and 60s radioactive uranium mill tailings were used in the Grand Junction area as bedding and backfill material for construction of pipelines, building foundations, parking lots, sidewalks, and roadways.
 - 1. When radioactive mill tailings are found in, under or adjacent to pipe, asphalt pavement, concrete or other materials designated for removal, the Contractor shall contact the Colorado Department of Public Health and Environment (CDPHE), Radiation and Hazardous Waste Division (phone: 970.248.7164) for material characterization.
 - 2. If the radioactive level of the contaminated material exceeds the threshold level, as determined by the CDPHE representative, the material shall be either decontaminated in

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- accordance with CDPHE requirements, or transported to the designated radioactive materials containment facility located at the City Shops, 333 West Avenue for disposal.
3. Prior to loading, all concrete, pipe and other materials contaminated with mill tailings shall be broken into pieces, which are no greater than six feet in any dimension.
 4. The Contractor shall take all necessary precautions to separate uncontaminated materials from those that have been contaminated with mill tailings.
 5. Prior to transporting radioactive mill tailings or other materials contaminated with mill tailings, the transporter shall make arrangements with the City Construction Inspector or call the City Construction Engineering Office (phone: 970.244.1453) to make arrangements for opening and closing the radioactive materials containment facility.
 6. Trucks used to haul uranium mill tailings and other radioactive materials shall be prepared to prevent spillage.
 - a. Tailgate diapers shall be used on truck tailgates that are not leak proof.
 - b. Tailgate diapers shall be 6-mil or thicker polyethylene and shall cover the entire tailgate and 4 feet back on the sides and bottom of the bed.
 - c. Each load shall be covered with a bedcover made of canvas, or other approved material, and shall be securely tied down.
 - d. After dumping the material at the designated containment site, the bed of each truck shall be swept or washed out to remove all remaining radioactive material.
 7. Each truck driver hauling radioactive mill tailings or materials contaminated with mill tailings shall have in his possession a document listing the name and address of the transporter, a description of the radioactive materials being transported, the address or location where the radioactive materials came from and the address of the destination (City Shops, 333 West Avenue). (ADD 1)

END OF SECTION 02 26 60

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SECTION 05 73 00 - DECORATIVE METAL RAILINGS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. U-shaped aisle railing with wood cap.
 - 2. **Illuminated decorative railings. (ADD 1)**

1.3 DEFINITIONS

- A. Railings: Guards, handrails, and similar devices used for protection of occupants at open-sided floor areas and for pedestrian guidance and support, visual separation, or wall protection.

1.4 COORDINATION AND SCHEDULING

- A. Coordinate selection of shop primers with topcoats to be applied over them. Comply with paint and coating manufacturers' written instructions to ensure that shop primers and topcoats are compatible.
- B. Coordinate installation of anchorages for railings. Furnish setting drawings, templates, and directions for installing anchorages, including anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver items to Project site in time for installation.

1.5 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.

1.6 ACTION SUBMITTALS

- A. Product Data: For the following:
 - 1. Manufacturer's product lines of railings assembled from standard components.
- B. Shop Drawings: Include plans, elevations, sections, and attachment details.
 - 1. **For illuminated railings, include wiring diagrams and roughing-in details. (ADD 1)**
- C. Samples for Verification: For each type of exposed finish required.
 - 1. Welded connections.

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2. Assembled Samples of railing systems, made from full-size components, including top rail, post, handrail, and infill. Show method of finishing members at intersections. Samples need not be full height.

1.7 INFORMATIONAL SUBMITTALS

- A. Welding certificates.
- B. Product Test Reports: Based on evaluation of comprehensive tests performed by a qualified testing agency, according to ASTM E 894 and ASTM E 935.
- C. Preconstruction test reports.
- D. Evaluation Reports: For post-installed anchors, from ICC-ES.
- E. Welding Qualifications: Qualify procedures and personnel according to the following:
 1. AWS D1.1/D1.1M, "Structural Welding Code - Steel."

1.8 FIELD CONDITIONS

- A. Field Measurements: Verify actual locations of walls and other construction contiguous with railings by field measurements before fabrication and indicate measurements on Shop Drawings.

PART 2 - PRODUCTS

- A. **Illuminated Decorative Railings:**
 1. **Basis-of-Design Product: Subject to compliance with requirements, provide Cooper LuxRail or comparable product by one of the following:**
 - a. CR Laurence Company.
 - b. HDI Railing Systems.
 - c. Or Approved Equal. (ADD 1)
- B. Source Limitations: Obtain each type of railing from single source from single manufacturer.
- C. Product Options: Information on Drawings and in Specifications establishes requirements for system's aesthetic effects and performance characteristics. Aesthetic effects are indicated by dimensions, arrangements, alignment, and profiles of components and assemblies as they relate to sightlines, to one another, and to adjoining construction. Performance characteristics are indicated by criteria subject to verification by one or more methods, including structural analysis, preconstruction testing, field testing, and in-service performance.
 1. Do not modify intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If modifications are proposed, submit comprehensive explanatory data to Architect for review.

2.2 PERFORMANCE REQUIREMENTS

- A. General: In engineering railings to withstand structural loads indicated, determine allowable design working stresses of railing materials based on the following:
 1. **Stainless Steel: 60 percent of minimum yield strength. (ADD 1)**

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2. Steel: 72 percent of minimum yield strength.

B. Structural Performance: Railings, including attachment to building construction, shall withstand the effects of gravity loads and the following loads and stresses within limits and under conditions indicated:

1. Handrails and Top Rails of Guards:

- a. Uniform load of 50 lbf/ft. (0.73 kN/m) applied in any direction.
- b. Concentrated load of 200 lbf (0.89 kN) applied in any direction.
- c. Uniform and concentrated loads need not be assumed to act concurrently.

C. Thermal Movements: Allow for thermal movements from ambient and surface temperature changes acting on exterior railings by preventing buckling, opening of joints, overstressing of components, failure of connections, and other detrimental effects.

1. Temperature Change: 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

2.3 METALS, GENERAL

A. Metal Surfaces, General: Provide materials with smooth surfaces, without seam marks, roller marks, rolled trade names, stains, discolorations, or blemishes.

B. Brackets, Flanges, and Anchors: Same metal and finish as supported rails unless otherwise indicated.

1. Provide either formed- or cast-metal brackets with predrilled hole for exposed bolt anchorage.

2.4 STAINLESS STEEL

A. Tubing: ASTM A 554, Grade MT 316 .

B. Pipe: ASTM A 312/A 312M, Grade TP 316 .

C. Castings: ASTM A 743/A 743M, Grade CF 8M or CF 3M. (ADD 1)

2.5 STEEL AND IRON

A. Bars: Hot-rolled, carbon steel complying with ASTM A 29/A 29M, Grade 1010.

B. Plates, Shapes, and Bars: ASTM A 36/A 36M.

2.6 FASTENERS

A. Fastener Materials: Unless otherwise indicated, provide the following:

1. **Stainless-Steel Components: Type 316 stainless-steel fasteners. (ADD 1)**

2. Uncoated Steel Components: Plated-steel fasteners complying with ASTM B 633, Class Fe/Zn 25 for electrodeposited zinc coating where concealed; Type 304 stainless-steel fasteners where exposed.

3. Galvanized-Steel Components: Plated-steel fasteners complying with ASTM B 633, Class Fe/Zn 25 for electrodeposited zinc coating.

4. Dissimilar Metals: Type 304 stainless-steel fasteners.

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- B. Fasteners for Anchoring to Other Construction: Select fasteners of type, grade, and class required to produce connections suitable for anchoring railings to other types of construction indicated and capable of withstanding design loads.
- C. Provide concealed fasteners for interconnecting railing components and for attaching railings to other work unless exposed fasteners are unavoidable.

2.7 MISCELLANEOUS MATERIALS

- A. Wood Rails: Clear, straight-grained hardwood rails secured to metal subrail.
 - 1. Finish and Species: Match wood in auditorium. Refer to Division 06 Section "Interior Finish Carpentry."
- B. **Electrical Components: Provide internal, LED light fixtures and electrical components, required as part of illuminated railings, that comply with NFPA 70, are listed and labeled by a qualified testing agency as defined in NFPA 70, and are marked for intended location and application. (ADD 1)**
- C. Welding Rods and Bare Electrodes: Select according to AWS specifications for metal alloy welded.
- D. Shop Primers: Provide primers that comply with Division 09 Finish sections

2.8 FABRICATION

- A. General: Fabricate railings to comply with requirements indicated for design, dimensions, member sizes and spacing, details, finish, and anchorage, but not less than that required to support structural loads.
- B. Assemble railings in the shop to greatest extent possible to minimize field splicing and assembly. Disassemble units only as necessary for shipping and handling limitations. Clearly mark units for reassembly and coordinated installation. Use connections that maintain structural value of joined pieces.
- C. Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges to a radius of approximately 1/32 inch (1 mm) unless otherwise indicated. Remove sharp or rough areas on exposed surfaces.
- D. Form work true to line and level with accurate angles and surfaces.
- E. Fabricate connections that will be exposed to weather in a manner to exclude water. Provide weep holes where water may accumulate. Locate weep holes in inconspicuous locations.
- F. Cut, reinforce, drill, and tap as indicated to receive finish hardware, screws, and similar items.
- G. Welded Connections: Cope components at connections to provide close fit, or use fittings designed for this purpose. Weld all around at connections, including at fittings.
 - 1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
 - 2. Obtain fusion without undercut or overlap.
 - 3. Remove flux immediately.
 - 4. At exposed connections, finish exposed welds to comply with NOMMA's "Voluntary Joint Finish Standards" for Type 1 welds; no evidence of a welded joint.

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- H. Bend members in jigs to produce uniform curvature for each configuration required; maintain cross section of member throughout entire bend without buckling, twisting, cracking, or otherwise deforming exposed surfaces of components.
- I. Provide inserts and other anchorage devices for connecting railings to concrete or masonry work. Fabricate anchorage devices capable of withstanding loads imposed by railings. Coordinate anchorage devices with supporting structure.

2.9 ILLUMINATED RAILINGS

- A. **General: Comply with requirements in this Section for aluminum railings with welded connections.**
- B. **Illuminated Units: Provide internal illumination using concealed, internally wired LED fixture system to illuminate walking surfaces adjacent to railings without light leaks. Make provisions for servicing and for concealed connection to electric service. Coordinate electrical characteristics with those of the power supply provided.**
 - 1. **Refer to Division 26 sections. (ADD 1)**

2.10 GENERAL FINISH REQUIREMENTS

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" recommendations for applying and designating finishes.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipment.
- C. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.
- D. Provide exposed fasteners with finish matching appearance, including color and texture, of railings.

2.11 STAINLESS-STEEL FINISHES

- A. **Surface Preparation: Remove tool and die marks and stretch lines, or blend into finish.**
- B. **Polished Finishes: Grind and polish surfaces to produce uniform finish, free of cross scratches.**
 - 1. **Run grain of directional finishes with long dimension of each piece.**
- C. **Directional Satin Finish: No. 4. (ADD 1)**

2.12 STEEL AND IRON FINISHES

- A. For nongalvanized-steel railings, provide nongalvanized ferrous-metal fittings, brackets, fasteners, and sleeves, but galvanize anchors to be embedded in exterior concrete or masonry.

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PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine plaster and gypsum board assemblies, where reinforced to receive anchors, to verify that locations of concealed reinforcements have been clearly marked for Installer. Locate reinforcements and mark locations if not already done.

3.2 INSTALLATION, GENERAL

- A. Fit exposed connections together to form tight, hairline joints.
- B. Perform cutting, drilling, and fitting required for installing railings. Set railings accurately in location, alignment, and elevation; measured from established lines and levels and free of rack.
 - 1. Do not weld, cut, or abrade surfaces of railing components that have been coated or finished after fabrication and that are intended for field connection by mechanical or other means without further cutting or fitting.
 - 2. Set posts plumb within a tolerance of 1/16 inch in 3 feet (2 mm in 1 m).
 - 3. Align rails so variations from level for horizontal members and variations from parallel with rake of steps and ramps for sloping members do not exceed 1/4 inch in 12 feet (5 mm in 3 m).
- C. Control of Corrosion: Prevent galvanic action and other forms of corrosion by insulating metals and other materials from direct contact with incompatible materials.
- D. Adjust railings before anchoring to ensure matching alignment at abutting joints.
- E. Fastening to In-Place Construction: Use anchorage devices and fasteners where necessary for securing railings and for properly transferring loads to in-place construction.

3.3 RAILING CONNECTIONS

- A. Welded Connections: Use fully welded joints for permanently connecting railing components. Comply with requirements for welded connections in "Fabrication" Article whether welding is performed in the shop or in the field.

3.4 CLEANING

- A. Clean wood rails by wiping with a damp cloth and then wiping dry.

3.5 PROTECTION

- A. Protect finishes of railings from damage during construction period with temporary protective coverings approved by railing manufacturer. Remove protective coverings at time of Substantial Completion.
- B. Restore finishes damaged during installation and construction period so no evidence remains of correction work. Return items that cannot be refinished in the field to the shop; make required alterations and refinish entire unit, or provide new units.

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
ISSUED FOR PERMIT

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END OF SECTION 05 73 00

ADDENDUM #1 – MARCH 11, 2013

SECTION 07 27 26 - FLUID-APPLIED MEMBRANE AIR BARRIERS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes fluid-applied, ~~vapor-retarding~~ **vapor-permeable** membrane air barriers. **(ADD 1)**
- B. Related Requirements:
 - 1. Section 061600 "Sheathing" for wall sheathings and wall sheathing joint-and-penetration treatments.

1.3 DEFINITIONS

- A. Air-Barrier Material: A primary element that provides a continuous barrier to the movement of air.
- B. Air-Barrier Accessory: A transitional component of the air barrier that provides continuity.
- C. Air-Barrier Assembly: The collection of air-barrier materials and accessory materials applied to an opaque wall, including joints and junctions to abutting construction, to control air movement through the wall.

1.4 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.
 - 1. Review air-barrier requirements and installation, special details, mockups, air-leakage and bond testing, air-barrier protection, and work scheduling that covers air barriers.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Include manufacturer's written instructions for evaluating, preparing, and treating substrate; technical data; and tested physical and performance properties of products.
- B. Shop Drawings: For air-barrier assemblies.
 - 1. Show locations and extent of air barrier. Include details for substrate joints and cracks, counterflashing strips, penetrations, inside and outside corners, terminations, and tie-ins with adjoining construction.
 - 2. Include details of interfaces with other materials that form part of air barrier.

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1.6 INFORMATIONAL SUBMITTALS

- A. **Qualification Data:** For Installer. Include list of ABAA-certified installers and supervisors employed by the Installer, who work on Project.
- B. **Product Certificates:** From air-barrier manufacturer, certifying compatibility of air barriers and accessory materials with Project materials that connect to or that come in contact with the barrier.
- C. **Product Test Reports:** For each air-barrier assembly, for tests performed by a qualified testing agency.

1.7 QUALITY ASSURANCE

- A. **Installer Qualifications:** An entity that employs installers and supervisors who are trained and approved by manufacturer.
 - 1. Installer shall be licensed by ABAA according to ABAA's Quality Assurance Program and shall employ ABAA-certified installers and supervisors on Project.
- B. **Mockups:** Build mockups to set quality standards for materials and execution.
 - 1. Build integrated mockups of exterior wall assembly as shown on Drawings, incorporating backup wall construction, external cladding, window, storefront, door frame and sill, insulation, ties and other penetrations, and flashing to demonstrate surface preparation, crack and joint treatment, application of air barriers, and sealing of gaps, terminations, and penetrations of air-barrier assembly.
 - a. Coordinate construction of mockups to permit inspection by Owner's testing agency of air barrier before external insulation and cladding are installed.
 - b. If Architect determines mockups do not comply with requirements, reconstruct mockups and apply air barrier until mockups are approved.
 - 2. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
 - 3. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Remove and replace liquid materials that cannot be applied within their stated shelf life.
- B. Protect stored materials from direct sunlight.

1.9 FIELD CONDITIONS

- A. **Environmental Limitations:** Apply air barrier within the range of ambient and substrate temperatures recommended by air-barrier manufacturer.
 - 1. Protect substrates from environmental conditions that affect air-barrier performance.
 - 2. Do not apply air barrier to a damp or wet substrate or during snow, rain, fog, or mist.

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PART 2 - PRODUCTS

2.1 MATERIALS, GENERAL

- A. Source Limitations: Obtain primary air-barrier materials and air-barrier accessories from single source from single manufacturer.
- B. VOC Content: 250 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24) and complying with VOC content limits of authorities having jurisdiction.

2.2 PERFORMANCE REQUIREMENTS

- A. General: Air barrier shall be capable of performing as a continuous vapor-~~retarding~~ permeable air barrier. Air-barrier assemblies shall be capable of accommodating substrate movement and of sealing substrate expansion and control joints, construction material changes, penetrations, and transitions at perimeter conditions without deterioration and air leakage exceeding specified limits. **(ADD 1)**
- B. Air-Barrier Assembly Air Leakage: Maximum 0.04 cfm/sq. ft. of surface area at 1.57 lbf/sq. ft. (0.2 L/s x sq. m of surface area at 75 Pa), when tested according to ASTM E 283 or ASTM E 783.

2.3 ~~VAPOR-RETARDING MEMBRANE AIR BARRIER~~

- ~~A. Fluid-Applied, Vapor-Retarding Membrane Air Barrier: Elastomeric, modified bituminous or synthetic polymer membrane.~~
 - ~~1. Products: Subject to compliance with requirements, provide one of the following:~~
 - ~~a. Elastomeric, Modified Bituminous Membrane:~~
 - ~~1) Carlisle Coatings & Waterproofing Inc.; Barriseal R or Barriseal S.~~
 - ~~2) Meadows, W. R., Inc.; Air-Shield LM.~~
 - ~~3) Tremco Incorporated, an RPM company; ExoAir 120SP/R.~~
 - ~~4) Or Approved Equal.~~
 - ~~b. Synthetic Polymer Membrane:~~
 - ~~1) Grace, W. R., & Co. Conn.; Perm-A-Barrier Liquid.~~
 - ~~2) Henry Company; Air-Bloc 32.~~
 - ~~3) Rubber Polymer Corporation, Inc.; Rub-R-Wall Airtight.~~
 - ~~4) Or Approved Equal.~~
 - ~~2. Physical and Performance Properties:~~
 - ~~a. Air Permeance: Maximum 0.004 cfm/sq. ft. of surface area at 1.57-lbf/sq. ft. (0.02 L/s x sq. m of surface area at 75-Pa) pressure difference; ASTM E 2178.~~
 - ~~b. Vapor Permeance: Maximum 0.1 perm (5.8 ng/Pa x s x sq. m); ASTM E 96/E 96M.~~
 - ~~c. Ultimate Elongation: Minimum 500 percent; ASTM D 412, Die C. (ADD 1)~~

2.4 VAPOR-PERMEABLE MEMBRANE AIR-BARRIER

- A. Fluid-Applied, Vapor-Permeable Membrane Air Barrier: Elastomeric, modified bituminous or synthetic polymer membrane.
 - 1. Products: Subject to compliance with requirements, provide one of the following:
 - a. Elastomeric, Modified Bituminous Membrane:
 - 1) Henry Company; Air-Bloc 07.
 - 2) Meadows, W. R., Inc.; Air-Shield LMP.

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- 3) Tremco Incorporated, an RPM company; ExoAir 220R.
 - 4) Or Approved Equal.
 - b. Synthetic Polymer Membrane:
 - 1) Carlisle Coatings & Waterproofing Inc.; Barritech VP.
 - 2) Grace, W. R., & Co. - Conn.; Perm-A-Barrier VP.
 - 3) Tremco Incorporated, an RPM company; ExoAir 230.
 - 4) Or Approved Equal.
- 2. Physical and Performance Properties:
 - a. Air Permeance: Maximum 0.004 cfm/sq. ft. of surface area at 1.57-lbf/sq. ft. (0.02 L/s x sq. m of surface area at 75-Pa) pressure difference; ASTM E 2178.
 - b. Vapor Permeance: Minimum 5.5 perms (320 ng/Pa x s x sq. m); ASTM E 96/E 96M.
 - c. Ultimate Elongation: Minimum 200 percent; ASTM D 412, Die C. (ADD 1)

2.5 ACCESSORY MATERIALS

- A. General: Accessory materials recommended by air-barrier manufacturer to produce a complete air-barrier assembly and compatible with primary air-barrier material.
- B. Primer: Liquid primer recommended for substrate by air-barrier material manufacturer.
- C. Counterflashing Strip: Modified bituminous, 40-mil- (1.0-mm-) thick, self-adhering sheet consisting of 32 mils (0.8 mm) of rubberized asphalt laminated to an 8-mil- (0.2-mm-) thick, cross-laminated polyethylene film with release liner backing.
- D. Butyl Strip: Vapor retarding, 30 to 40 mils (0.76 to 1.0 mm) thick, self-adhering; polyethylene-film-reinforced top surface laminated to layer of butyl adhesive with release liner backing.
- E. Joint Reinforcing Strip: Air-barrier manufacturer's glass-fiber-mesh tape.
- F. Substrate-Patching Membrane: Manufacturer's standard trowel-grade substrate filler.
- G. Adhesive and Tape: Air-barrier manufacturer's standard adhesive and pressure-sensitive adhesive tape.
- H. Sprayed Polyurethane Foam Sealant: One- or two-component, foamed-in-place, polyurethane foam sealant, 1.5- to 2.0-lb/cu. ft (24- to 32-kg/cu. m) density; flame-spread index of 25 or less according to ASTM E 162; with primer and noncorrosive substrate cleaner recommended by foam sealant manufacturer.
- I. Adhesive-Coated Transition Strip: Vapor-permeable, 17-mil- (0.43-mm-) thick, self-adhering strip consisting of an adhesive coating over a permeable laminate with a permeance value of 37 perms (2145 ng/Pa x s x sq. m).
- J. Elastomeric Flashing Sheet: ASTM D 2000, minimum 50- to 65-mil- (1.3- to 1.6-mm-) thick, cured sheet neoprene with manufacturer-recommended contact adhesives and lap sealant with stainless-steel termination bars and fasteners.
- K. Joint Sealant: ASTM C 920, single-component, neutral-curing silicone; Class 100/50 (low modulus), Grade NS, Use NT related to exposure, and, as applicable to joint substrates indicated, Use O. Comply with Section 079200 "Joint Sealants."
- L. Termination Mastic: Air-barrier manufacturer's standard cold fluid-applied elastomeric liquid; trowel grade.

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PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements and other conditions affecting performance of the Work.
 - 1. Verify that substrates are sound and free of oil, grease, dirt, excess mortar, or other contaminants.
 - 2. Verify that concrete has cured and aged for minimum time period recommended by air-barrier manufacturer.
 - 3. Verify that concrete is visibly dry and free of moisture. Test for capillary moisture by plastic sheet method according to ASTM D 4263.
 - 4. Verify that masonry joints are flush and completely filled with mortar.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 SURFACE PREPARATION

- A. Clean, prepare, treat, and seal substrate according to manufacturer's written instructions. Provide clean, dust-free, and dry substrate for air-barrier application.
- B. Mask off adjoining surfaces not covered by air barrier to prevent spillage and overspray affecting other construction.
- C. Remove grease, oil, bitumen, form-release agents, paints, curing compounds, and other penetrating contaminants or film-forming coatings from concrete.
- D. Remove fins, ridges, mortar, and other projections and fill honeycomb, aggregate pockets, holes, and other voids in concrete with substrate-patching membrane.
- E. Remove excess mortar from masonry ties, shelf angles, and other obstructions.
- F. At changes in substrate plane, apply sealant or termination mastic beads at sharp corners and edges to form a smooth transition from one plane to another.
- G. Cover gaps in substrate plane and form a smooth transition from one substrate plane to another with stainless-steel sheet mechanically fastened to structural framing to provide continuous support for air barrier.

3.3 JOINT TREATMENT

- A. Concrete and Masonry: Prepare, treat, rout, and fill joints and cracks in substrate according to ASTM C 1193 and air-barrier manufacturer's written instructions. Remove dust and dirt from joints and cracks complying with ASTM D 4258 before coating surfaces.
 - 1. Prime substrate and apply a single thickness of air-barrier manufacturer's recommended preparation coat extending a minimum of 3 inches (75 mm) along each side of joints and cracks. Apply a double thickness of fluid air-barrier material and embed a joint reinforcing strip in preparation coat.
- B. Gypsum Sheathing: Fill joints greater than 1/4 inch (6 mm) with sealant according to ASTM C 1193 and air-barrier manufacturer's written instructions. Apply first layer of fluid air-barrier material at joints. Tape

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joints with joint reinforcing strip after first layer is dry. Apply a second layer of fluid air-barrier material over joint reinforcing strip.

3.4 TRANSITION STRIP INSTALLATION

- A. General: Install strips, transition strips, and accessory materials according to air-barrier manufacturer's written instructions to form a seal with adjacent construction and maintain a continuous air barrier.
 - 1. Coordinate the installation of air barrier with installation of roofing membrane and base flashing to ensure continuity of air barrier with roofing membrane.
 - 2. Install butyl strip on roofing membrane or base flashing so that a minimum of 3 inches (75 mm) of coverage is achieved over each substrate.
- B. Apply primer to substrates at required rate and allow it to dry. Limit priming to areas that will be covered by fluid air-barrier material on same day. Reprime areas exposed for more than 24 hours.
- C. Connect and seal exterior wall air-barrier material continuously to roofing-membrane air barrier, concrete below-grade structures, floor-to-floor construction, exterior glazing and window systems, glazed curtain-wall systems, storefront systems, exterior louvers, exterior door framing, and other construction used in exterior wall openings, using accessory materials.
- D. At end of each working day, seal top edge of strips and transition strips to substrate with termination mastic.
- E. Apply joint sealants forming part of air-barrier assembly within manufacturer's recommended application temperature ranges. Consult manufacturer when sealant cannot be applied within these temperature ranges.
- F. Wall Openings: Prime concealed, perimeter frame surfaces of windows, curtain walls, storefronts, and doors. Apply transition strip so that a minimum of 3 inches (75 mm) of coverage is achieved over each substrate. Maintain 3 inches (75 mm) of full contact over firm bearing to perimeter frames with not less than 1 inch (25 mm) of full contact.
- G. Fill gaps in perimeter frame surfaces of windows, curtain walls, storefronts, and doors, and miscellaneous penetrations of air-barrier material with foam sealant.
- H. Seal strips and transition strips around masonry reinforcing or ties and penetrations with termination mastic.
- I. Seal top of through-wall flashings to air barrier with an additional 6-inch- (150-mm-) wide, counterflashing strip.
- J. Seal exposed edges of strips at seams, cuts, penetrations, and terminations not concealed by metal counterflashings or ending in reglets with termination mastic.
- K. Repair punctures, voids, and deficient lapped seams in strips and transition strips. Slit and flatten fishmouths and blisters. Patch with transition strips extending 6 inches (150 mm) beyond repaired areas in strip direction.

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3.5 FLUID AIR-BARRIER MEMBRANE INSTALLATION

- A. General: Apply fluid air-barrier material to form a seal with strips and transition strips and to achieve a continuous air barrier according to air-barrier manufacturer's written instructions. Apply fluid air-barrier material within manufacturer's recommended application temperature ranges.
 - 1. Apply primer to substrates at required rate and allow it to dry.
 - 2. Limit priming to areas that will be covered by fluid air-barrier material on same day. Reprime areas exposed for more than 24 hours.
 - 3. Prime glass-fiber-surfaced gypsum sheathing with number of prime coats needed to achieve required bond, with adequate drying time between coats.
- B. Membrane Air Barriers: Apply a continuous unbroken air-barrier membrane to substrates according to the following thickness. Apply air-barrier membrane in full contact around protrusions such as masonry ties.
 - 1. ~~Vapor-Retarding Membrane Air Barrier: Total dry film thickness as recommended in writing by manufacturer to meet performance requirements, but not less than 40-mil (1.0-mm) dry film thickness, applied in one coat.~~
 - 2. Vapor-Permeable Membrane Air Barrier: Total dry film thickness as recommended in writing by manufacturer to meet performance requirements, but not less than 40-mil (1.0-mm) dry film thickness, applied in one or more equal coats. (ADD 1)
- C. Apply strip and transition strip a minimum of 1 inch (25 mm) onto cured air-barrier material or strip and transition strip over cured air-barrier material overlapping 3 inches (75 mm) onto each surface according to air-barrier manufacturer's written instructions.
- D. Do not cover air barrier until it has been tested and inspected by Owner's testing agency.
- E. Correct deficiencies in or remove air barrier that does not comply with requirements; repair substrates and reapply air-barrier components.

3.6 CLEANING AND PROTECTION

- A. Protect air-barrier system from damage during application and remainder of construction period, according to manufacturer's written instructions.
 - 1. Protect air barrier from exposure to UV light and harmful weather exposure as required by manufacturer. If exposed to these conditions for more than ~~{30} {60}~~ <Insert number> 60 days, remove and replace air barrier or install additional, full-thickness, air-barrier application after repairing and preparing the overexposed membrane according to air-barrier manufacturer's written instructions. (ADD 1)
 - 2. Protect air barrier from contact with incompatible materials and sealants not approved by air-barrier manufacturer.
- B. Clean spills, stains, and soiling from construction that would be exposed in the completed work using cleaning agents and procedures recommended by manufacturer of affected construction.
- C. Remove masking materials after installation.

END OF SECTION 07 27 26

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SECTION 07 72 00 - ROOF ACCESSORIES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Roof hatches.
 - 2. **Roof walkways. (ADD 1)**
- B. Related Sections:
 - 1. Section 05 50 00 "Metal Fabrications" for metal vertical ladders, ships' ladders, and stairs for access to roof hatches.
 - 2. Section 07 62 00 "Sheet Metal Flashing and Trim" for shop- and field-formed metal flashing, roof-drainage systems, roof expansion-joint covers, and miscellaneous sheet metal trim and accessories.
 - 3. Section 07 71 00 "Roof Specialties" for manufactured fasciae, copings, gravel stops, gutters and downspouts, and counterflashing.
 - 4. Section 07 71 29 "Manufactured Roof Expansion Joints" for manufactured roof expansion-joint covers.

1.3 PERFORMANCE REQUIREMENTS

- A. General Performance: Roof accessories shall withstand exposure to weather and resist thermally induced movement without failure, rattling, leaking, or fastener disengagement due to defective manufacture, fabrication, installation, or other defects in construction.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of roof accessory indicated. Include construction details, material descriptions, dimensions of individual components and profiles, and finishes.
- B. Shop Drawings: For roof accessories. Include plans, elevations, keyed details, and attachments to other work. Indicate dimensions, loadings, and special conditions. Distinguish between plant- and field-assembled work.
- C. Samples: For each exposed product and for each color and texture specified, prepared on Samples of size to adequately show color.

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1.5 INFORMATIONAL SUBMITTALS

- A. Coordination Drawings: Roof plans, drawn to scale, and coordinating penetrations and roof-mounted items. Show the following:
 - 1. Size and location of roof accessories specified in this Section.
 - 2. Method of attaching roof accessories to roof or building structure.
 - 3. Other roof-mounted items including mechanical and electrical equipment, ductwork, piping, and conduit.
 - 4. Required clearances.
- B. Warranty: Sample of special warranty.

1.6 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For roof accessories to include in operation and maintenance manuals.

1.7 COORDINATION

- A. Coordinate layout and installation of roof accessories with roofing membrane and base flashing and interfacing and adjoining construction to provide a leakproof, weathertight, secure, and noncorrosive installation.
- B. Coordinate dimensions with rough-in information or Shop Drawings of equipment to be supported.

1.8 WARRANTY

- A. Special Warranty on Painted Finishes: Manufacturer's standard form in which manufacturer agrees to repair finishes or replace roof accessories that show evidence of deterioration of factory-applied finishes within specified warranty period.
 - 1. Fluoropolymer Finish: Deterioration includes, but is not limited to, the following:
 - a. Color fading more than 5 Hunter units when tested according to ASTM D 2244.
 - b. Chalking in excess of a No. 8 rating when tested according to ASTM D 4214.
 - c. Cracking, checking, peeling, or failure of paint to adhere to bare metal.
 - 2. Finish Warranty Period: 10 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 METAL MATERIALS

- A. Zinc-Coated (Galvanized) Steel Sheet: ASTM A 653/A 653M, G90 (Z275) coating designation.
 - 1. Exposed Coil-Coated Finish: Prepainted by the coil-coating process to comply with ASTM A 755/A 755M. Prepare, pretreat, and apply coating to exposed metal surfaces to comply with coating and resin manufacturers' written instructions.
 - a. Two-Coat Fluoropolymer Finish: AAMA 621. System consisting of primer and fluoropolymer color topcoat containing not less than 70 percent PVDF resin by weight.
 - 2. Concealed Finish: Pretreat with manufacturer's standard white or light-colored acrylic or polyester-backer finish consisting of prime coat and wash coat, with a minimum total dry film thickness of 0.5 mil (0.013 mm).

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- B. Steel Shapes: ASTM A 36/A 36M, hot-dip galvanized according to ASTM A 123/A 123M unless otherwise indicated.
- C. Steel Tube: ASTM A 500, round tube.
- D. Galvanized-Steel Tube: ASTM A 500, round tube, hot-dip galvanized according to ASTM A 123/A 123M.
- E. Steel Pipe: ASTM A 53/A 53M, galvanized.

2.2 MISCELLANEOUS MATERIALS

- A. General: Provide materials and types of fasteners, protective coatings, sealants, and other miscellaneous items required by manufacturer for a complete installation.
- B. Cellulosic-Fiber Board Insulation: ASTM C 208, Type II, Grade 1, thickness as indicated.
- C. Glass-Fiber Board Insulation: ASTM C 726, thickness as indicated.
- D. Wood Nailers: Softwood lumber, pressure treated with waterborne preservatives for aboveground use, acceptable to authorities having jurisdiction, and complying with AWPA C2; not less than 1-1/2 inches (38 mm) thick.
- E. Underlayment:
 - 1. Felt: ASTM D 226, Type II (No. 30), asphalt-saturated organic felt, nonperforated.
 - 2. Polyethylene Sheet: 6-mil- (0.15-mm-) thick polyethylene sheet complying with ASTM D 4397.
 - 3. Slip Sheet: Building paper, 3-lb/100 sq. ft. (0.16-kg/sq. m) minimum, rosin sized.
- F. Fasteners: Roof accessory manufacturer's recommended fasteners suitable for application and metals being fastened. Match finish of exposed fasteners with finish of material being fastened. Provide nonremovable fastener heads to exterior exposed fasteners. Furnish the following unless otherwise indicated:
 - 1. Fasteners for Zinc-Coated or Aluminum-Zinc Alloy-Coated Steel: Series 300 stainless steel or hot-dip zinc-coated steel according to ASTM A 153/A 153M or ASTM F 2329.
- G. Gaskets: Manufacturer's standard tubular or fingered design of neoprene, EPDM, PVC, or silicone or a flat design of foam rubber, sponge neoprene, or cork.
- H. Elastomeric Sealant: ASTM C 920, elastomeric silicone polymer sealant as recommended by roof accessory manufacturer for installation indicated; low modulus; of type, grade, class, and use classifications required to seal joints and remain watertight.
- I. Butyl Sealant: ASTM C 1311, single-component, solvent-release butyl rubber sealant; polyisobutylene plasticized; heavy bodied for expansion joints with limited movement.
- J. Asphalt Roofing Cement: ASTM D 4586, asbestos free, of consistency required for application.

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2.3 ROOF HATCH

- A. **Roof Hatches:** Metal roof-hatch units with lids and insulated single-walled curbs, welded or mechanically fastened and sealed corner joints, continuous lid-to-curb counterflashing and weathertight perimeter gasketing, and integrally formed deck-mounting flange at perimeter bottom.
 - 1. **Manufacturers:** Subject to compliance with requirements, provide products by one of the following:
 - a. Babcock-Davis.
 - b. Bilco Company (The).
 - c. J. L. Industries, Inc.
 - d. Nystrom.
 - e. Or Approved Equal.
- B. **Type and Size:** Single-leaf lid, 36 by 36 inches.
- C. **Loads:** Minimum 40-lbf/sq. ft. (1.9-kPa) external live load and 20-lbf/sq. ft. (0.95-kPa) internal uplift load.
- D. **Hatch Material:** Zinc-coated (galvanized) steel sheet, 0.079 inch (2.01 mm) thick.
 - 1. **Finish:** Two-coat fluoropolymer.
 - 2. **Color:** As selected by Architect from manufacturer's full range.
- E. **Construction:**
 - 1. **Insulation:** Cellulosic-fiber or glass-fiber board.
 - 2. **Hatch Lid:** Opaque, insulated, and double walled, with manufacturer's standard metal liner of same material and finish as outer metal lid.
 - 3. **Curb Liner:** Manufacturer's standard, of same material and finish as metal curb.
 - 4. **Fabricate curbs** to minimum height of 12 inches (300 mm) unless otherwise indicated.
- F. **Hardware:** Galvanized-steel spring latch with turn handles, butt- or pintle-type hinge system, and padlock hasps inside and outside.
 - 1. Provide two-point latch on lids larger than 84 inches (2130 mm).
 - 2. Provide remote-control operation.

2.4 ROOF WALKWAYS

- A. **Roof Walkway:** Metal planking formed from multiple C-shaped channels with upper surface punched in serrated diamond or rectangular shapes to produce raised slip-resistant surface and drainage holes. Provide support framing, brackets, connectors, nosings, and other accessories and components needed for complete installation. Include step units or stairs of similar construction for changes in elevation. Equip with safety railings that are acceptable to authorities having jurisdiction, where height of walkway or stairs requires them.
 - 1. **Manufacturers:** Subject to compliance with requirements, provide products by one of the following:
 - a. GS Metals Corp.
 - b. Miro Industries, Inc.
 - c. PHP Systems/Design.
 - d. Unistrut Corporation.
 - e. Or Approved Equal.
 - 2. **Walkway Dimensions:** As indicated.
 - 3. **Metal Material:** 0.108-inch- (2.74-mm-) thick zinc-coated (galvanized) steel sheet.
 - 4. **Support Stands:** Manufacturer's standard, with protective pads compatible with roofing material.

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5. Finish: Manufacturer's standard. (ADD 1)

2.5 GENERAL FINISH REQUIREMENTS

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, to verify actual locations, dimensions, and other conditions affecting performance of the Work.
- B. Verify that substrate is sound, dry, smooth, clean, sloped for drainage, and securely anchored.
- C. Verify dimensions of roof openings for roof accessories.
- D. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. General: Install roof accessories according to manufacturer's written instructions.
 - 1. Install roof accessories level, plumb, true to line and elevation, and without warping, jogs in alignment, excessive oil canning, buckling, or tool marks.
 - 2. Anchor roof accessories securely in place so they are capable of resisting indicated loads.
 - 3. Use fasteners, separators, sealants, and other miscellaneous items as required to complete installation of roof accessories and fit them to substrates.
 - 4. Install roof accessories to resist exposure to weather without failing, rattling, leaking, or loosening of fasteners and seals.
- B. Metal Protection: Protect metals against galvanic action by separating dissimilar metals from contact with each other or with corrosive substrates by painting contact surfaces with bituminous coating or by other permanent separation as recommended by manufacturer.
 - 1. Underlayment: Where installing roof accessories directly on cementitious or wood substrates, install a course of felt underlayment and cover with a slip sheet, or install a course of polyethylene sheet.
 - 2. Bed flanges in thick coat of asphalt roofing cement where required by manufacturers of roof accessories for waterproof performance.
- C. Roof-Hatch Installation:
 - 1. Install roof hatch so top surface of hatch curb is level.
 - 2. Verify that roof hatch operates properly. Clean, lubricate, and adjust operating mechanism and hardware.
 - 3. Attach safety railing system to roof-hatch curb.

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4. Attach ladder-assist post according to manufacturer's written instructions.

D. Roof Walkway Installation:

1. Verify that locations of access and servicing points for roof-mounted equipment are served by locations of roof walkways.
2. Install roof walkway support pads prior to placement of roof walkway support stands onto low-slope roofing. (ADD 1)

- E. Seal joints with elastomeric or butyl sealant as required by roof accessory manufacturer.

3.3 REPAIR AND CLEANING

- A. Galvanized Surfaces: Clean field welds, bolted connections, and abraded areas and repair galvanizing according to ASTM A 780.
- B. Clean exposed surfaces according to manufacturer's written instructions.
- C. Clean off excess sealants.
- D. Replace roof accessories that have been damaged or that cannot be successfully repaired by finish touchup or similar minor repair procedures.

END OF SECTION 07 72 00

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SECTION 07 95 00 - EXPANSION CONTROL

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Interior **and exterior** expansion control systems. **(ADD 1)**
 - ~~2. Exterior wall expansion control systems. (ADD 1)~~
- B. Related Requirements:
 - 1. Section 07 71 29 "Manufactured Roof Expansion Joints" for factory-fabricated roof expansion control.
 - 2. Section 07 84 46 "Fire-Resistive Joint Systems" for liquid-applied joint sealants in fire-resistive building joints.
 - 3. Section 07 92 00 "Joint Sealants" for liquid-applied joint sealants and for elastomeric sealants without metal frames.

1.3 ACTION SUBMITTALS

- A. Shop Drawings: For each expansion control system specified. Include plans, elevations, sections, details, splices, blockout requirement, attachments to other work, and line diagrams showing entire route of each expansion control system. Where expansion control systems change planes, provide isometric or clearly detailed drawing depicting how components interconnect.
- B. Samples for Initial Selection: For each type of expansion control system indicated.
 - 1. Include manufacturer's color charts showing the full range of colors and finishes available for each exposed metal and elastomeric seal material.
- C. Samples for Verification: For each type of expansion control system indicated, full width by 6 inches (150 mm) long in size.
- D. Product Schedule: Prepared by or under the supervision of the supplier. Include the following information in tabular form:
 - 1. Manufacturer and model number for each expansion control system.
 - 2. Expansion control system location cross-referenced to Drawings.
 - 3. Nominal joint width.
 - 4. Movement capability.
 - 5. Classification as thermal or seismic.
 - 6. Materials, colors, and finishes.
 - 7. Product options.
 - 8. Fire-resistance ratings.

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1.4 INFORMATIONAL SUBMITTALS

- A. Product Test Reports: For each fire barrier provided as part of an expansion control system, for tests performed by a qualified testing agency.

PART 2 - PRODUCTS

2.1 SYSTEM DESCRIPTION

- A. General: Provide expansion control systems of design, basic profile, materials, and operation indicated. Provide units with capability to accommodate variations in adjacent surfaces.
1. Furnish units in longest practicable lengths to minimize field splicing. Install with hairline mitered corners where expansion control systems change direction or abut other materials.
 2. Include factory-fabricated closure materials and transition pieces, T-joints, corners, curbs, cross-connections, and other accessories as required to provide continuous expansion control systems.
- B. Coordination: Coordinate installation of exterior wall expansion control systems with roof expansion control systems to ensure that wall transitions are watertight. Roof expansion joint assemblies are specified elsewhere.

2.2 PERFORMANCE REQUIREMENTS

- A. Fire-Resistance Ratings: Where indicated, provide expansion control systems with fire barriers identical to those of systems tested for fire resistance per UL 2079 or ASTM E 1966 by a testing and inspecting agency acceptable to authorities having jurisdiction.
1. Hose Stream Test: Wall-to-wall and wall-to-ceiling systems shall be subjected to hose stream testing.
- B. Seismic Performance: Expansion control systems shall withstand the effects of earthquake motions determined according to ASCE/SEI 7.
1. The term "withstand" means "the system will remain in place without separation of any parts when subjected to the seismic forces specified."
 2. Component Importance Factor is 1.0.

2.3 ~~INTERIOR EXPANSION CONTROL SYSTEMS~~

- ~~A. Source Limitations: Obtain expansion control systems from single source from single manufacturer.~~

~~B. Floor-to-Floor:~~

~~1. Design Criteria:~~

- ~~a. Nominal Joint Width: As indicated on Drawings.~~
- ~~b. Movement Capability: 25 percent/+75 percent.~~
- ~~c. Type of Movement: As indicated on Drawings.~~
- ~~d. Load Capacity:~~
 - ~~1) Uniform Load: 150 lb/sq. ft. (732 kg/sq. m).~~
 - ~~2) Concentrated Load: 2000 lb (907 kg).~~
 - ~~3) Maximum Deflection: 0.5 inch (13 mm).~~

c. ~~Fire Resistance Rating: Provide expansion control system and fire barrier assembly with a rating not less than that of adjacent construction.~~

2. ~~Type: Cover plate.~~

a. ~~Cover Plate Design: Plain.~~

b. ~~Metal: Aluminum.~~

1) ~~Finish: Clear anodic, Class I.~~

c. ~~Seal Material: Manufacturer's standard.~~

C. ~~Floor-to-Wall:~~

1. ~~Design Criteria:~~

a. ~~Nominal Joint Width: As indicated on Drawings.~~

b. ~~Movement Capability: 25 percent/+75 percent.~~

c. ~~Type of Movement: As indicated on Drawings.~~

d. ~~Fire Resistance Rating: Provide expansion control system and fire barrier assembly with a rating not less than that of adjacent construction.~~

2. ~~Type: Cover plate.~~

a. ~~Cover Plate Design: Plain.~~

b. ~~Metal: Aluminum.~~

1) ~~Finish: Clear anodic, Class I.~~

c. ~~Seal Material: Manufacturer's standard.~~

D. ~~Wall-to-Wall:~~

1. ~~Design Criteria:~~

a. ~~Nominal Joint Width: As indicated on Drawings.~~

b. ~~Movement Capability: 25 percent/+75 percent.~~

c. ~~Type of Movement: As indicated on Drawings.~~

d. ~~Fire Resistance Rating: Provide expansion control system and fire barrier assembly with a rating not less than that of adjacent construction.~~

2. ~~Type: Cover plate.~~

a. ~~Metal: Aluminum.~~

1) ~~Finish: Clear anodic, Class I.~~

b. ~~Seal Material: Manufacturer's standard.~~

E. ~~Wall-to-Ceiling:~~

1. ~~Design Criteria:~~

a. ~~Nominal Joint Width: As indicated on Drawings.~~

b. ~~Movement Capability: 25 percent/+75 percent.~~

c. ~~Type of Movement: As indicated on Drawings.~~

d. ~~Fire Resistance Rating: Provide expansion control system and fire barrier assembly with a rating not less than that of adjacent construction.~~

2. ~~Type: Elastomeric seal.~~

a. ~~Seal Material: Manufacturer's standard.~~

1) ~~Color: As selected by Architect from manufacturer's full range. (ADD 1)~~

A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:

- 1. Balco, Inc.**
- 2. Construction Specialties, Inc.**
- 3. EMSEAL Corporation.**
- 4. Tremco Incorporated.**
- 5. Or Approved Equal. (ADD 1)**

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- B. Source Limitations: Obtain expansion control systems from single source from single manufacturer.
- C. ~~Wall-to-Wall All Locations, Unless Otherwise Indicated:~~ (ADD 1)
1. Design Criteria:
 - a. Nominal Joint Width: As indicated on Drawings.
 - b. Movement Capability: ~~-25 -50 percent/+75 +50percent.~~ (ADD 1)
 - c. Type of Movement: As indicated on Drawings.
 - d. Fire-Resistance Rating: Provide expansion control system and fire-barrier assembly with a rating not less than that of adjacent construction.
 2. ~~Type: Cover plate.~~
 - a. ~~Metal: Aluminum.~~
 - 1) ~~Finish: Clear anodic, Class I.~~
 3. ~~Type: Flat seal.~~
 - a. ~~Metal: Aluminum.~~
 - b. ~~Seal Material: Manufacturer's standard.~~
 - 1) ~~Color: As selected by Architect from manufacturer's full range.~~
 4. Type: Preformed cellular foam.
 - a. Foam Material: Silicone pre-coated, preformed, pre-compressed, self-expanding, sealant system.
 - b. Provide unified hybrid sealant system that includes factory-applied, low-modulus silicone and a backing of acrylic-impregnated expanding foam.
 - 1) Color: As selected by Architect from manufacturer's full range. (ADD 1)

2.5 MATERIALS

- A. ~~Aluminum: ASTM B 221 (ASTM B 221M), Alloy 6063-T5 for extrusions; ASTM B 209 (ASTM B 209M), Alloy 6061-T6 for sheet and plate.~~
1. ~~Apply manufacturer's standard protective coating on aluminum surfaces to be placed in contact with cementitious materials.~~ (ADD 1)
- B. Elastomeric Seals: ASTM E 1783; preformed elastomeric membranes or extrusions to be installed in metal frames.
- C. Compression Seals: ASTM E 1612; preformed elastomeric extrusions having an internal baffle system and designed to function under compression.
- D. Cellular Foam Seals: Extruded, compressible foam designed to function under compression. (ADD 1)
- E. Fire Barriers: Any material or material combination, when fire tested after cycling, designated to resist the passage of flame and hot gases through a movement joint and to meet performance criteria for required fire-resistance rating.
- F. ~~Nonmetallic, Shrinkage-Resistant Grout: ASTM C 1107/C 1107M, factory packaged, nonmetallic aggregate grout, noncorrosive, nonstaining, mixed with water to consistency suitable for application and a 30-minute working time.~~ (ADD 1)
- G. ~~Accessories: Manufacturer's standard anchors, clips, fasteners, set screws, spacers, and other accessories compatible with material in contact, as indicated or required for complete installations.~~ (ADD 1)

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2.6 — GENERAL FINISH REQUIREMENTS

- ~~A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.~~
- ~~B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.~~
- ~~C. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast. (ADD 1)~~

2.7 — ALUMINUM FINISHES

- ~~A. Clear Anodic Finish: AAMA 611, AA-M12C22A41, Class I, 0.018 mm or thicker. (ADD 1)~~

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine surfaces where expansion control systems will be installed for installation tolerances and other conditions affecting performance of work.
 - 1. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Prepare substrates according to expansion control system manufacturer's written instructions.
- B. Coordinate and furnish anchorages, setting drawings, and instructions for installing expansion control systems. Provide fasteners of metal, type, and size to suit type of construction indicated and to provide for secure attachment of expansion control systems.
- C. Cast-In Frames: Coordinate and furnish frames to be cast into concrete.

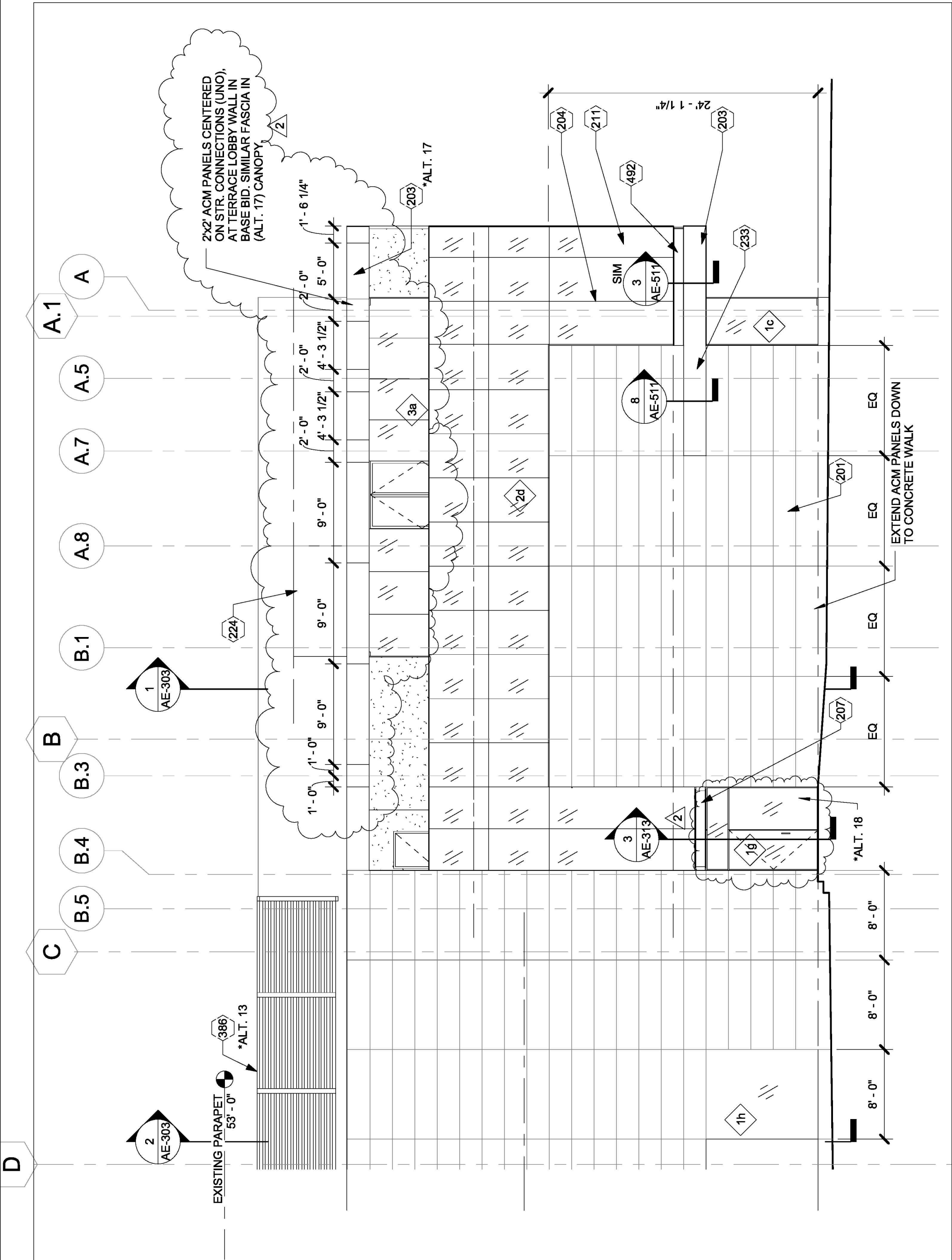
3.3 INSTALLATION

- A. Comply with manufacturer's written instructions for storing, handling, and installing expansion control systems and materials unless more stringent requirements are indicated.
- ~~B. Metal Frames: Perform cutting, drilling, and fitting required to install expansion control systems.
 - 1. Install in true alignment and proper relationship to joints and adjoining finished surfaces measured from established lines and levels.
 - 2. Adjust for differences between actual structural gap and nominal design gap due to ambient temperature at time of installation. Notify Architect where discrepancies occur that will affect proper expansion control system installation and performance.
 - 3. Cut and fit ends to accommodate thermal expansion and contraction of metal without buckling of frames.~~

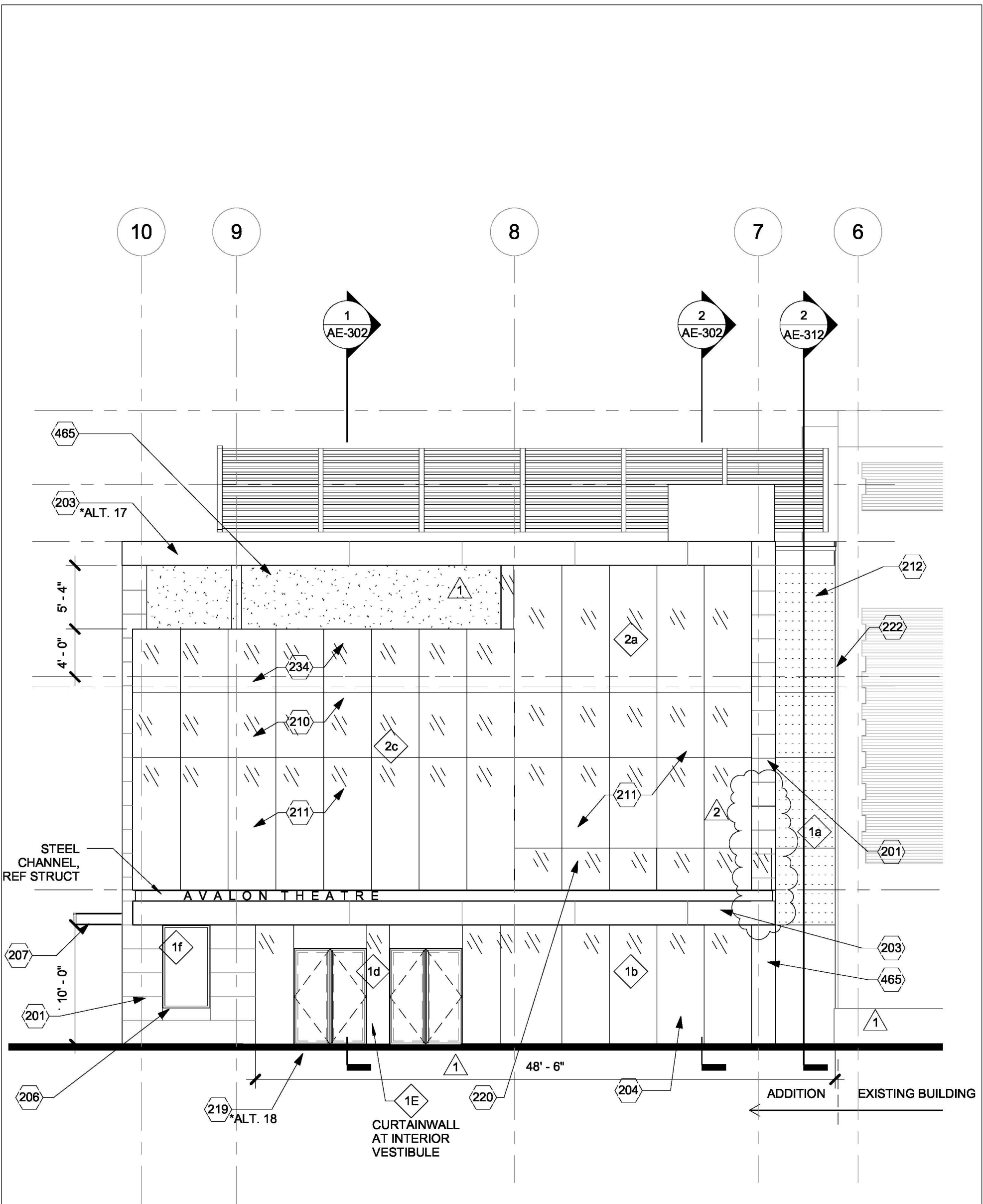
ADDENDUM #1 – MARCH 11, 2013

- ~~4. Repair or grout blockout as required for continuous frame support using nonmetallic, shrinkage-resistant grout.~~
 - ~~5. Install frames in continuous contact with adjacent surfaces.~~
 - ~~a. Shimming is not permitted.~~
 - ~~6. Locate anchors at interval recommended by manufacturer, but not less than 3 inches (75 mm) from each end and not more than 24 inches (600 mm) o.c.~~
- C. ~~Seals in Metal Frames: Install elastomeric seals and membranes in frames to comply with manufacturer's written instructions. Install with minimum number of end joints.~~**
- ~~1. Provide in continuous lengths for straight sections.~~
 - ~~2. Seal transitions according to manufacturer's written instructions. Vulcanize or heat-weld field-spliced joints as recommended by manufacturer.~~
 - ~~3. Installation: Mechanically lock seals into frames or adhere to frames with adhesive or pressure-sensitive tape as recommended by manufacturer. (ADD 1)~~
- D. Compression Seals: Apply adhesive or lubricant adhesive as recommended by manufacturer to both {frame interfaces} {sides of slabs} before installing compression seals. (ADD 1)
- E. Foam Seals: Install with adhesive recommended by manufacturer.
- F. ~~Epoxy Bonded Seals: Pressurize seal for time period and to pressure recommended by manufacturer. Do not overpressurize. (ADD 1)~~**
- G. Terminate exposed ends of expansion control systems with field- or factory-fabricated termination devices.
- H. Fire-Resistance-Rated Assemblies: Coordinate installation of expansion control system materials and associated work so complete assemblies comply with assembly performance requirements.
1. Fire Barriers: Install fire barriers to provide continuous, uninterrupted fire resistance throughout length of joint, including transitions and field splices.
- 3.4 PROTECTION
- A. Do not remove protective covering until finish work in adjacent areas is complete. When protective covering is removed, clean exposed metal surfaces to comply with manufacturer's written instructions.
 - B. Protect the installation from damage by work of other Sections. Where necessary due to heavy construction traffic, remove and properly store cover plates or seals and install temporary protection over expansion control systems. Reinstall cover plates or seals prior to Substantial Completion of the Work.

END OF SECTION 07 95 00

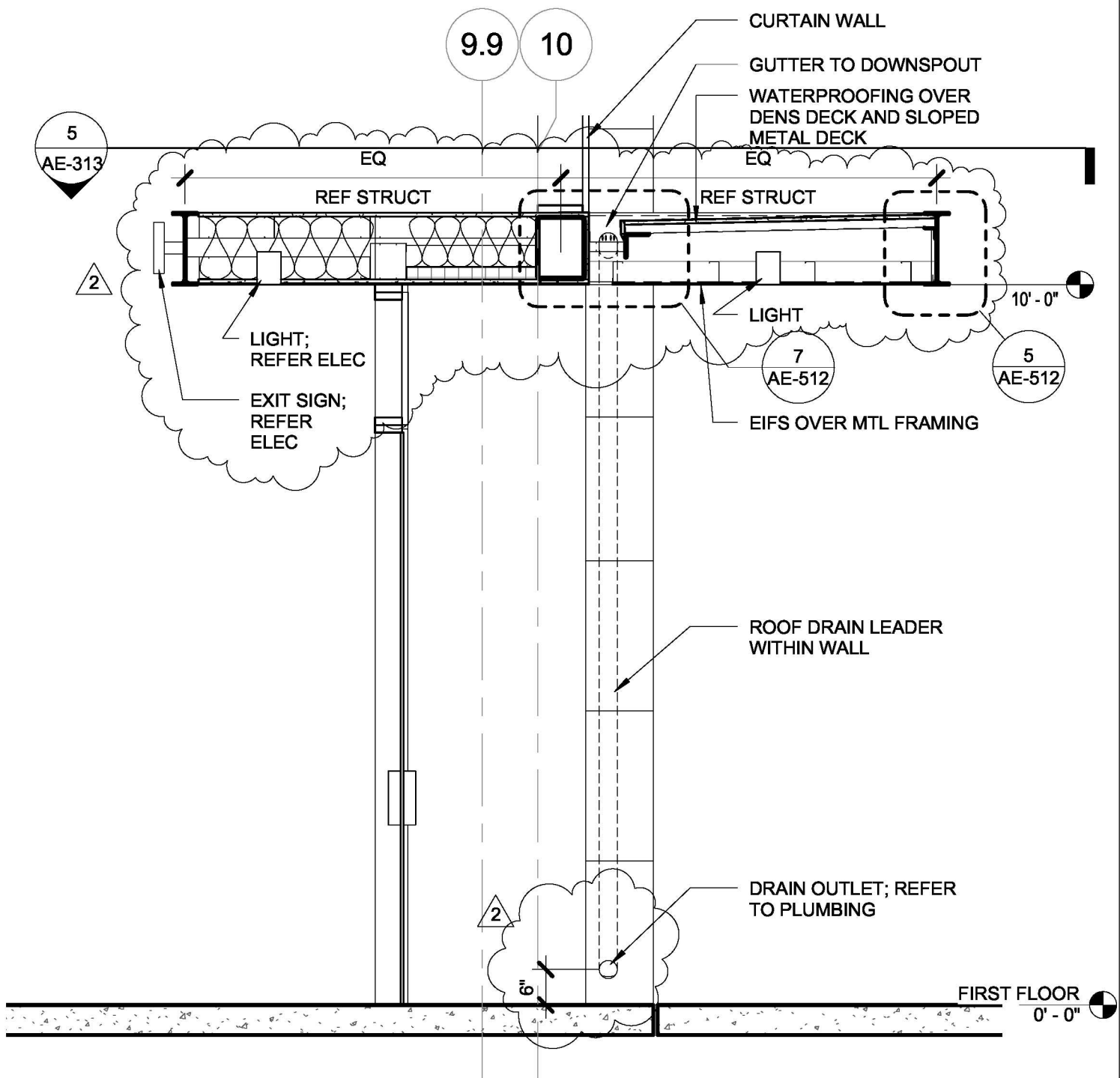


Avalon Theatre COMMISSION # 12036.00	Addition and Renovation		Addendum No. 2	
			Date	03/21/13
	Westlake Reed Leskosky		Ref. Drawing No.	1/AE-201
	One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		Sketch No.	SK-025



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			Date 03/21/13
	Westlake Reed Leskosky		Ref. Drawing No. 1/AE-202
			Sketch No. SK-026

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Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

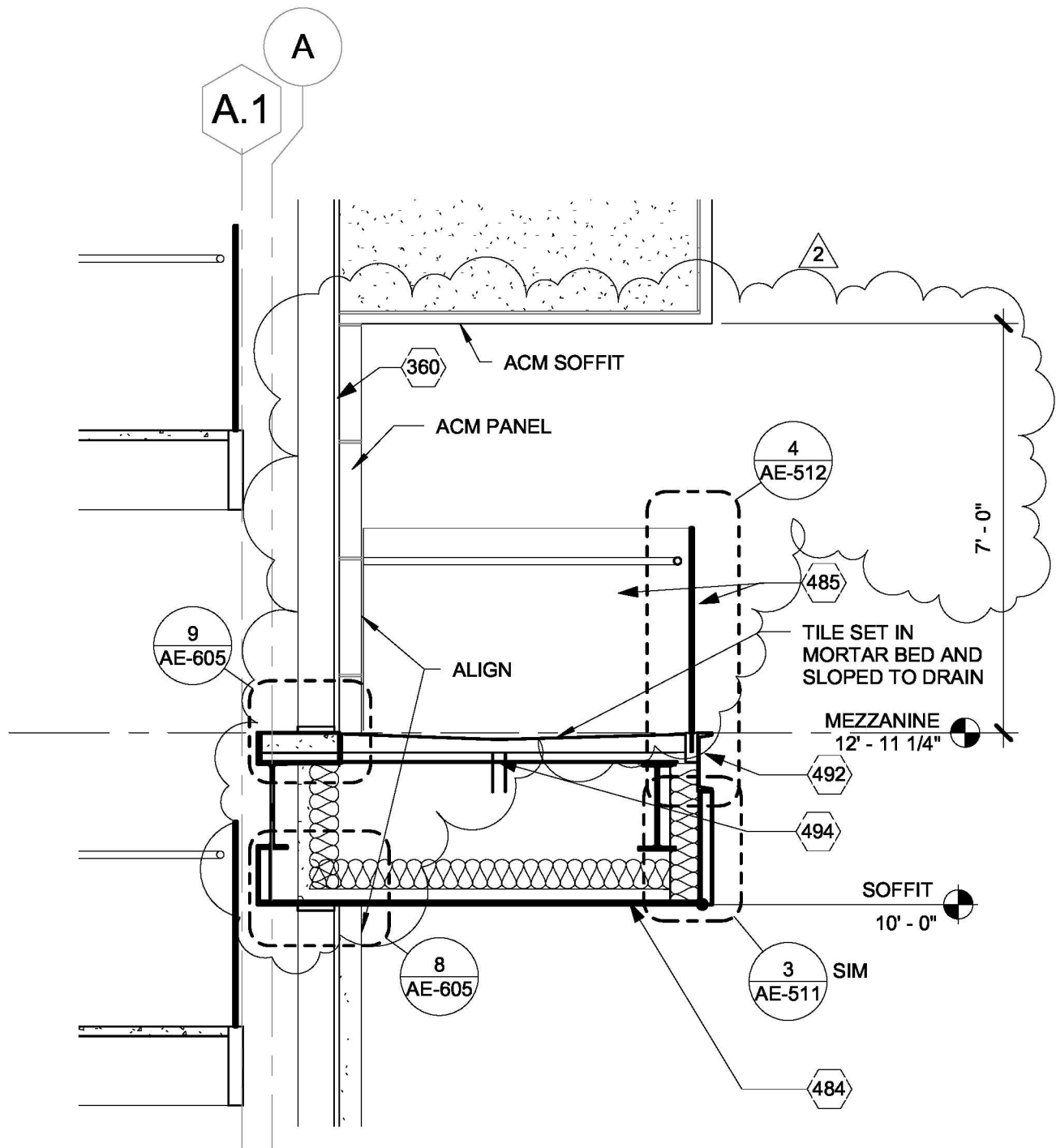
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3/AE-313

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Sketch No.
SK-027



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Addendum No. 2

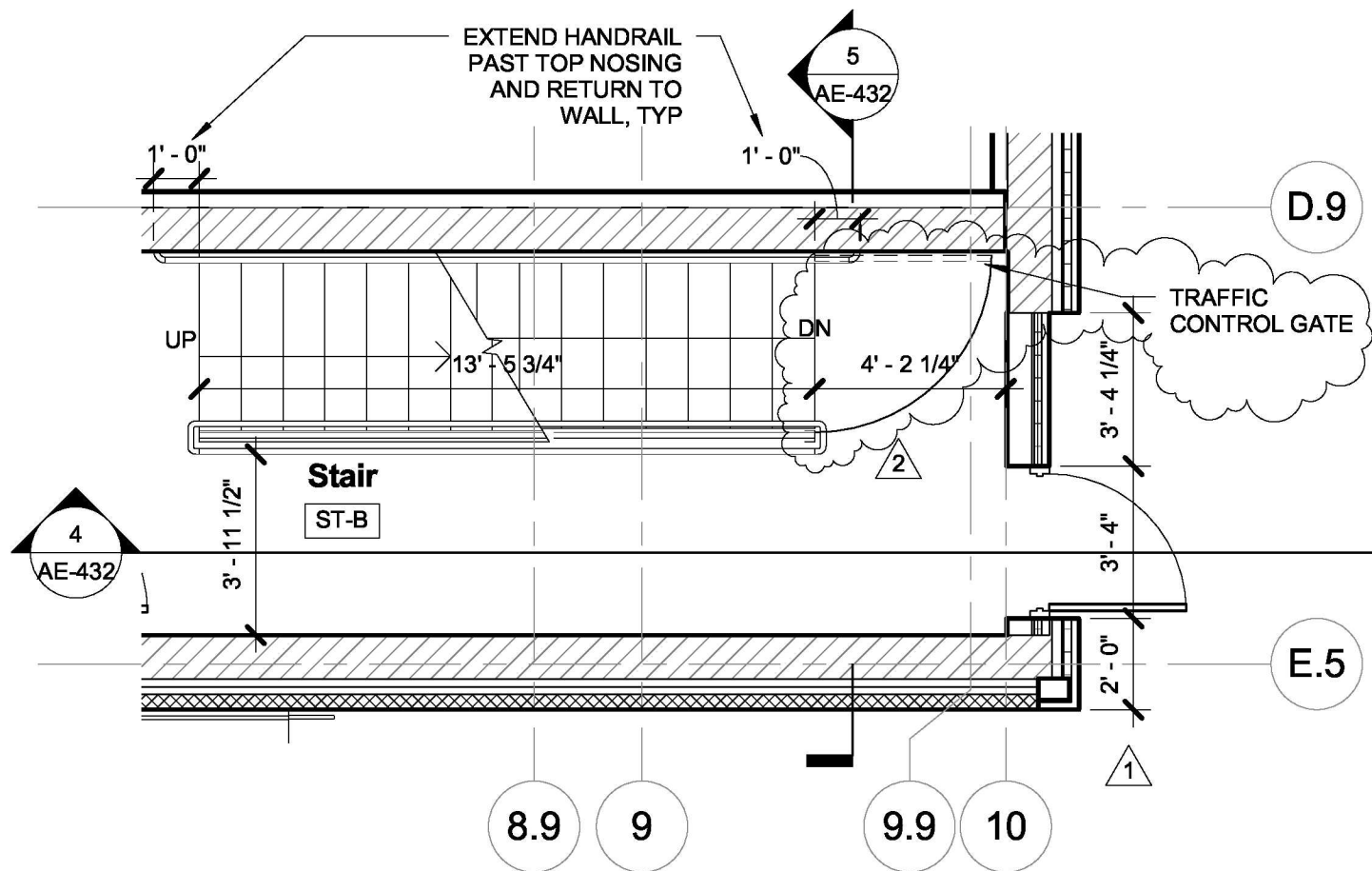
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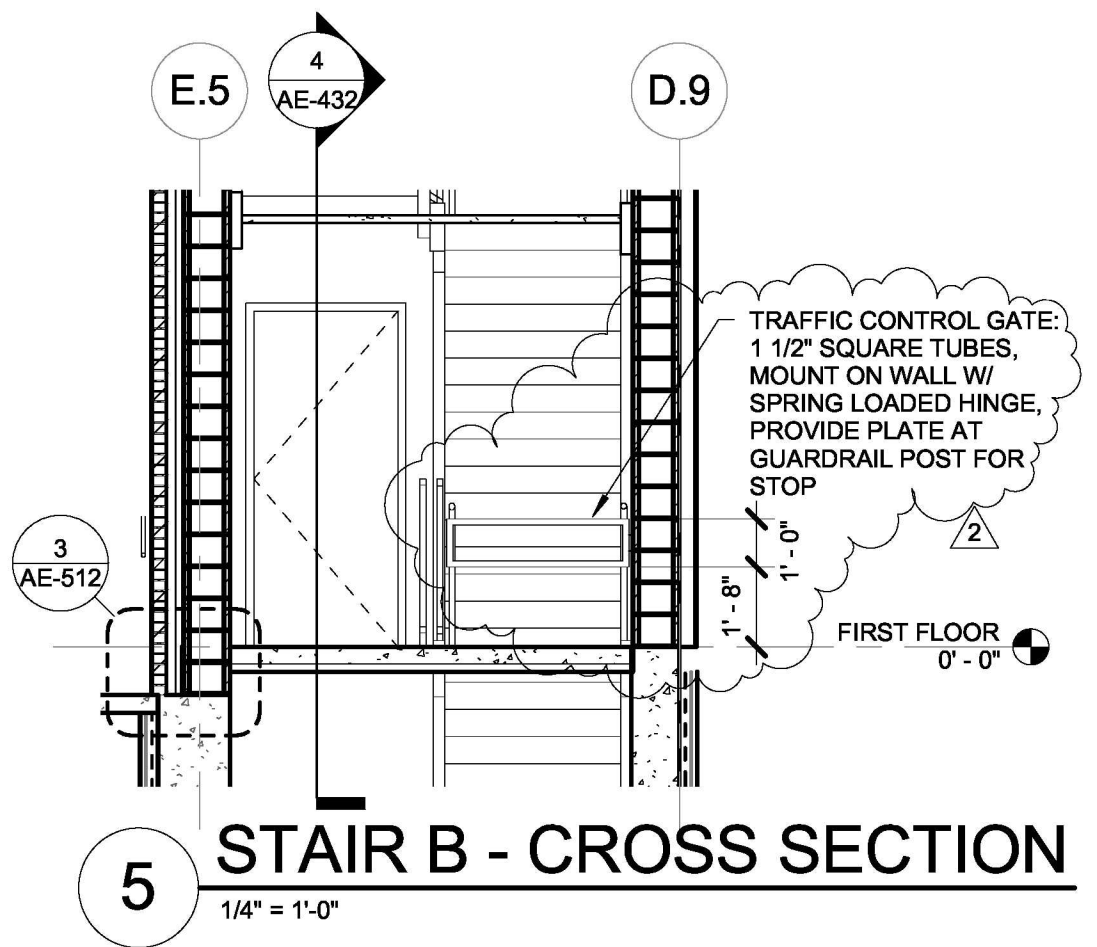
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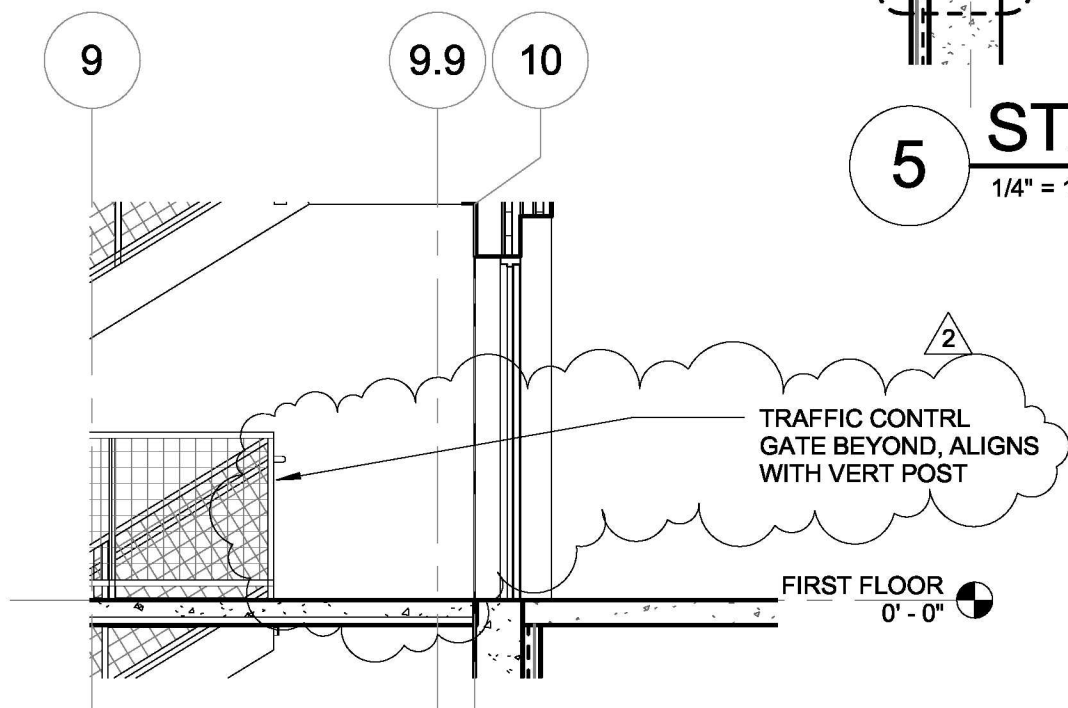
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1 ENLARGED PLAN STAIR B - FIRST FLOOR
1/4" = 1'-0"



5 STAIR B - CROSS SECTION
1/4" = 1'-0"



4 STAIR B - SECTION
1/4" = 1'-0"

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

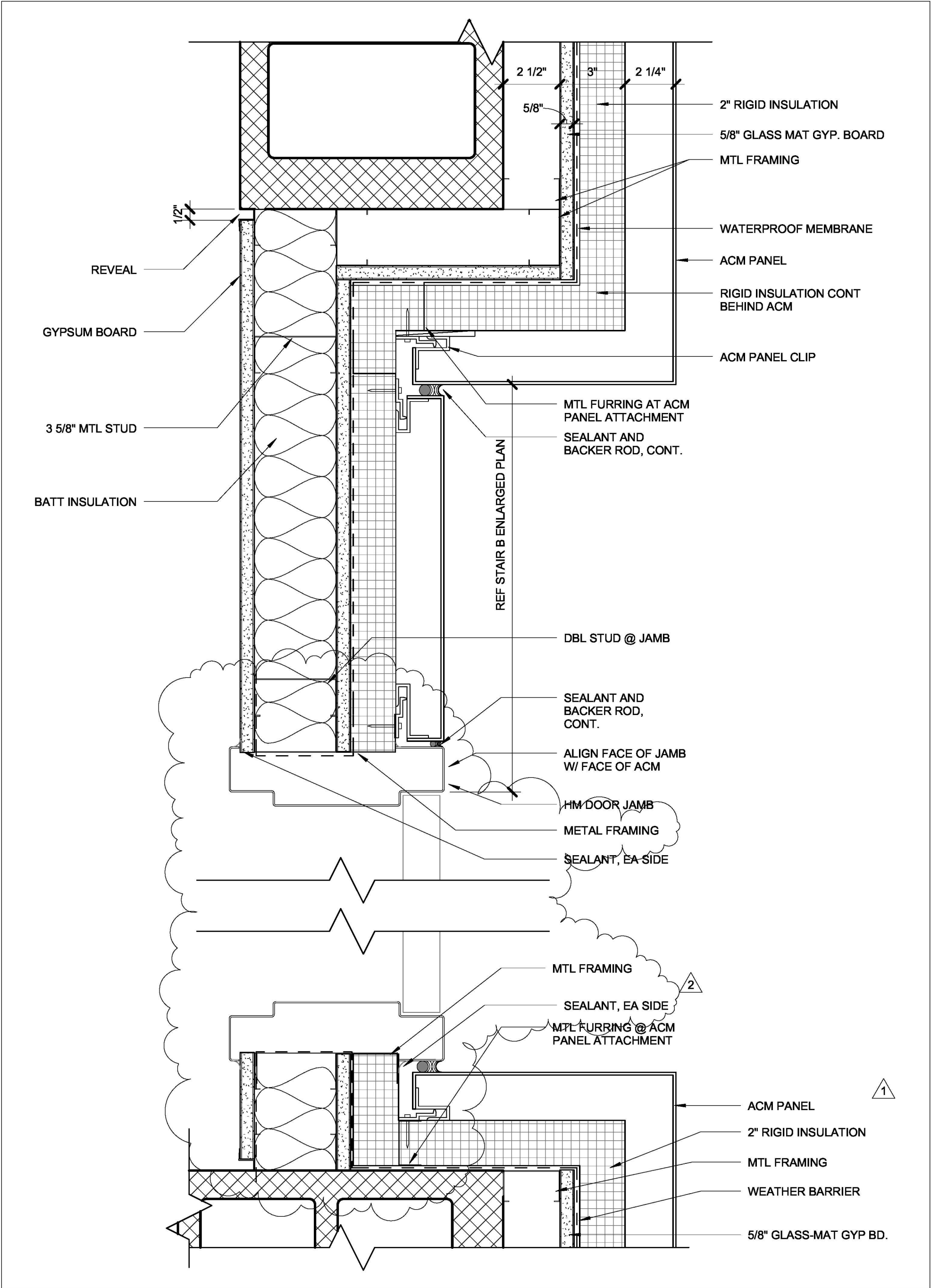
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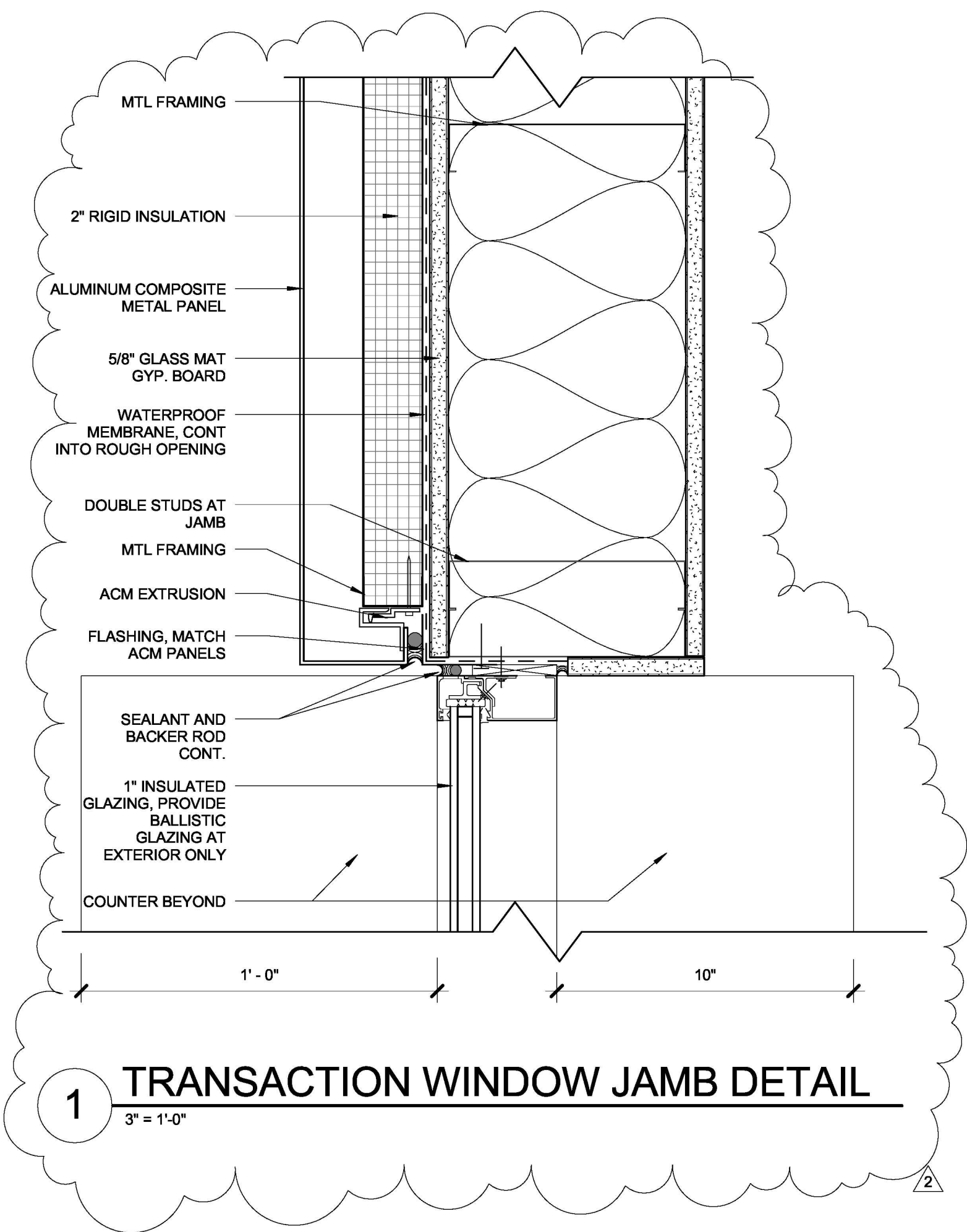
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Sketch No.
SK-029



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			Date 03/21/13
	Westlake Reed Leskosky One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		Ref. Drawing No. 1/AE-502
			Sketch No. SK-030



1

TRANSACTION WINDOW JAMB DETAIL

3" = 1'-0"

2

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

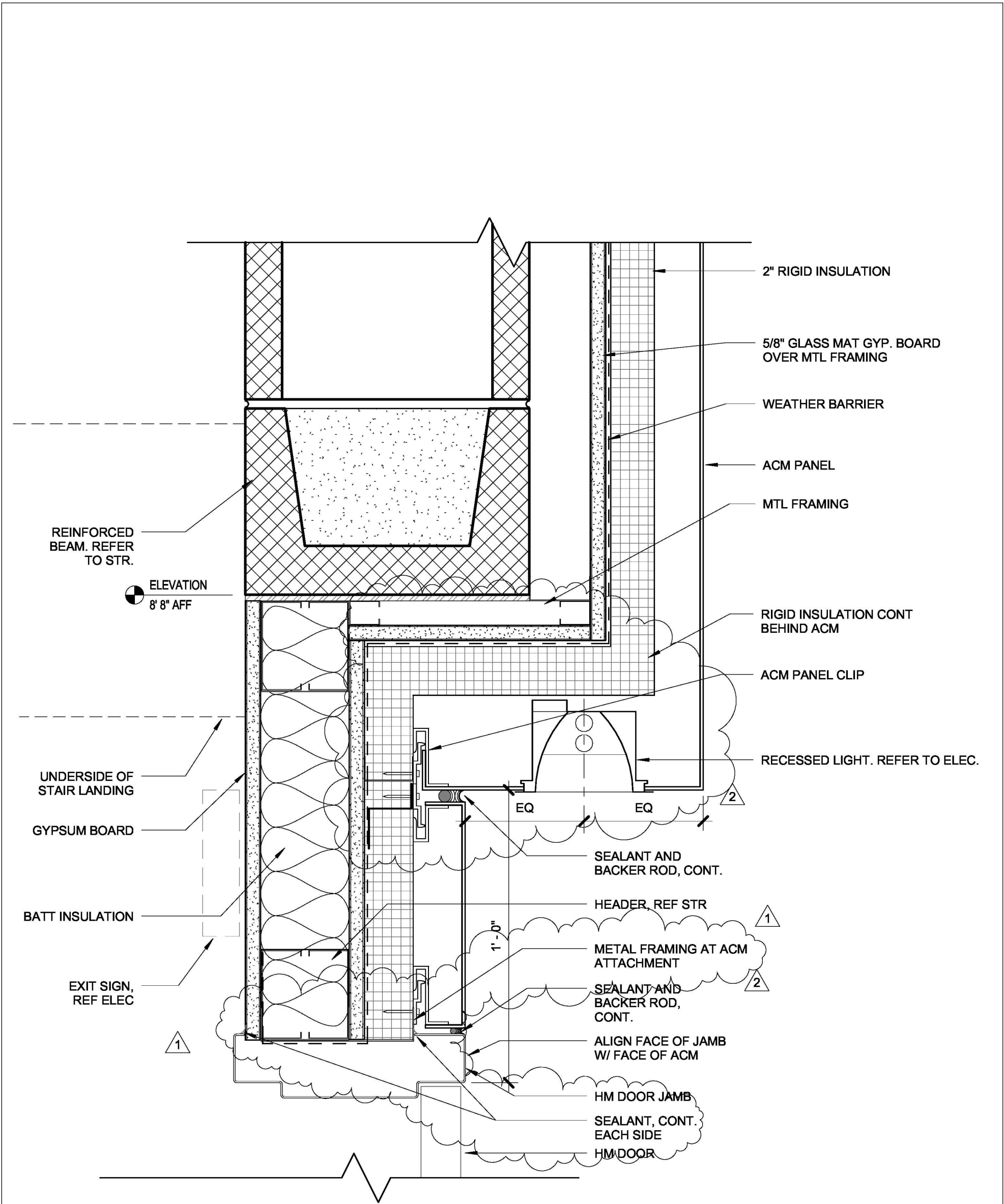
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Westlake Reed Leskosky

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2/AE-502

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Sketch No.
SK-031



Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

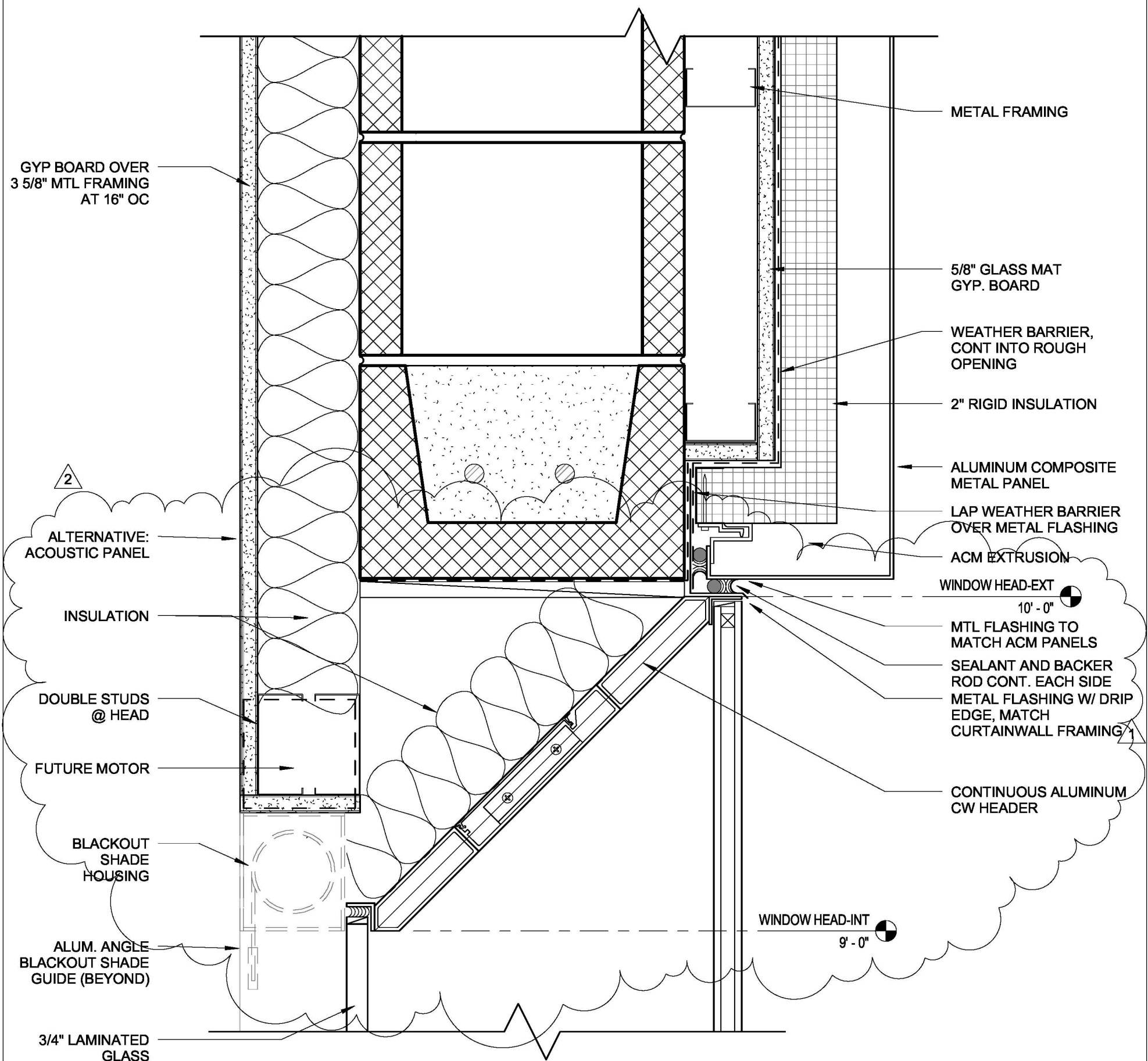
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Westlake Reed Leskosky

Ref. Drawing No.
2/AE-511

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602 212-0451

Sketch No.
SK-032



Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

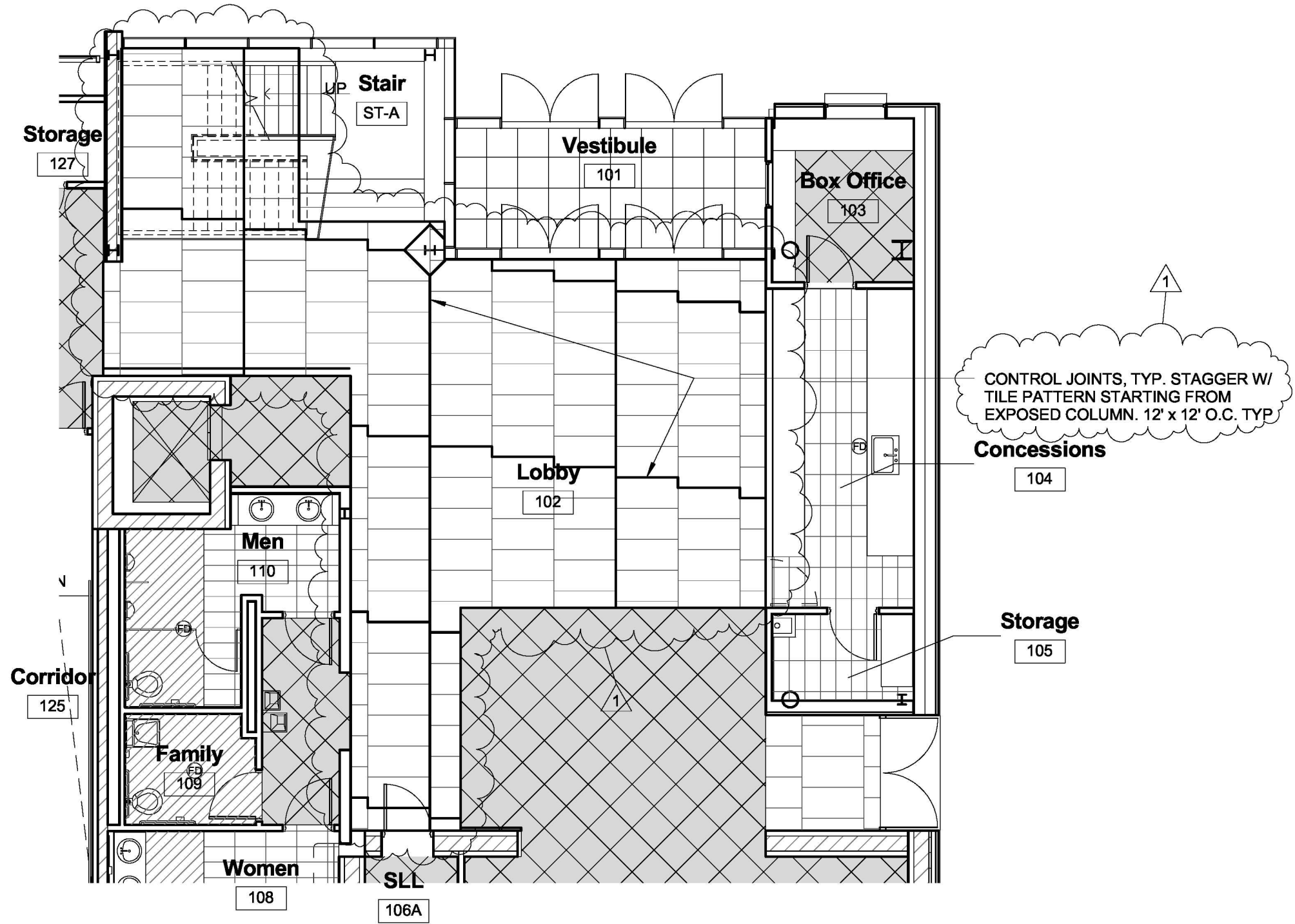
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03/21/13

Westlake Reed Leskosky

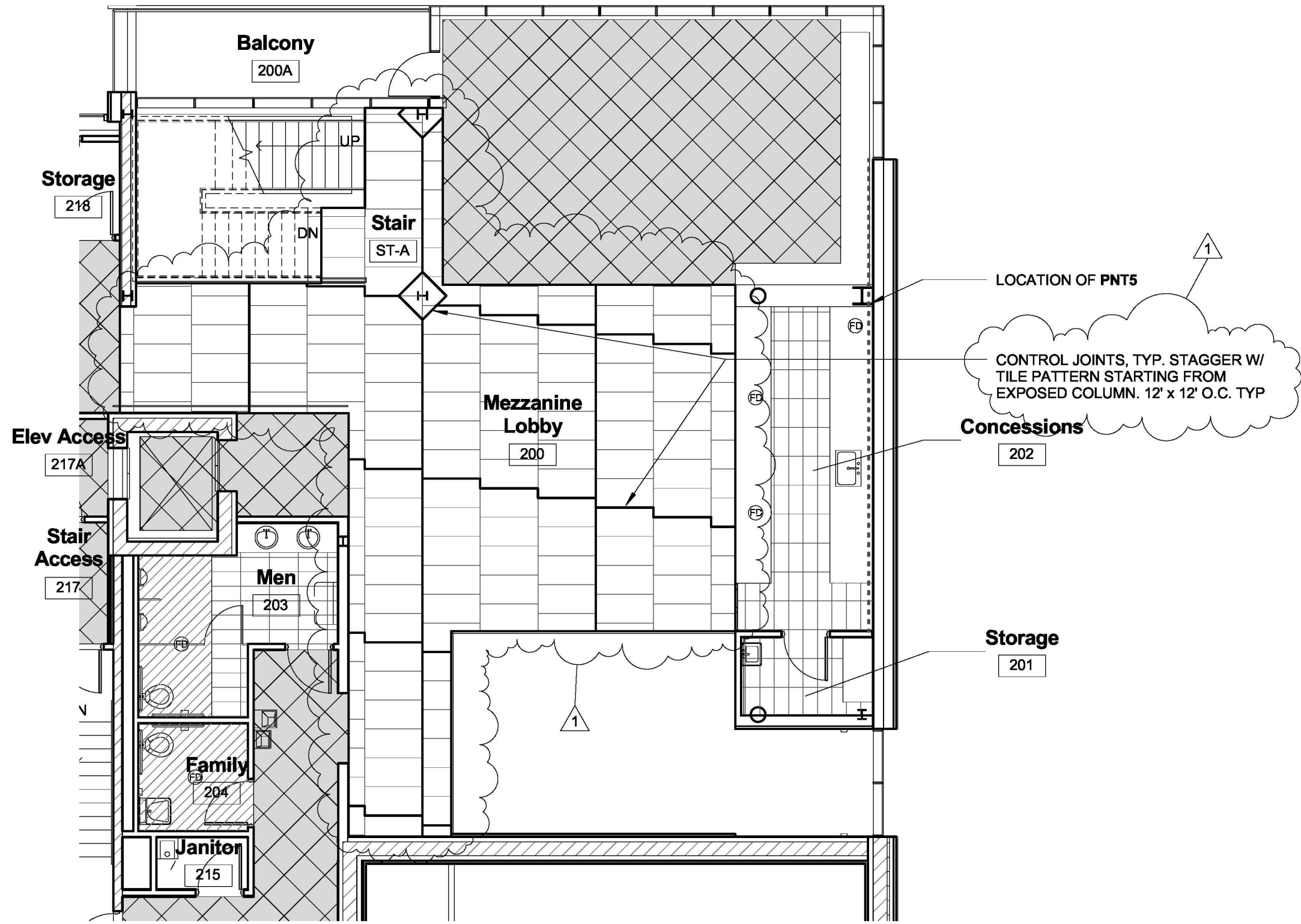
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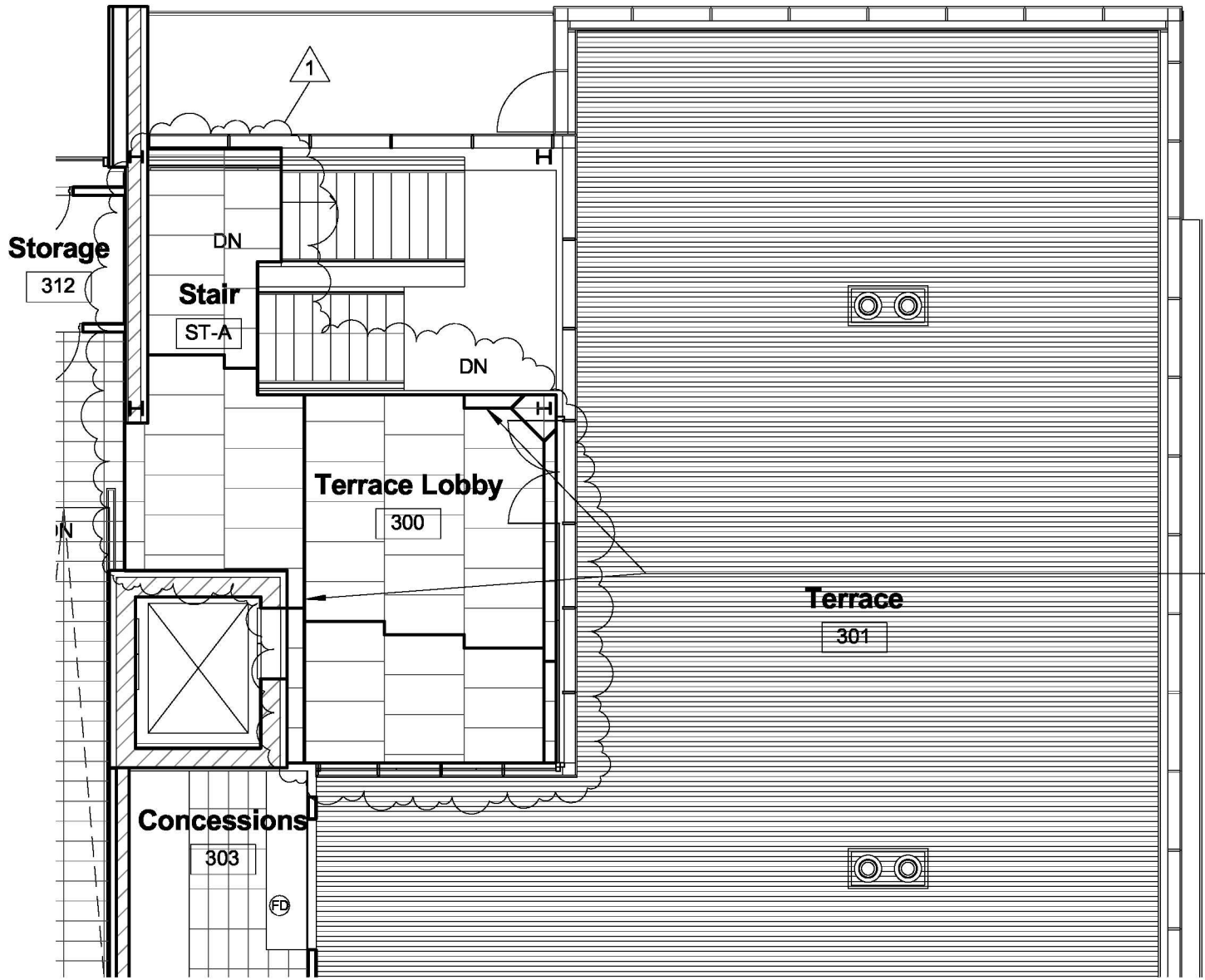
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<div>Avalon Theatre</div> <div>COMMISSION # 12036.00</div>	<div>Addition and Renovation</div>	Addendum No. 2	
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		Ref. Drawing No.	1/IF-102
		Sketch No.	SK-022
<div>Westlake Reed Leskosky</div> <div>One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602.212-0451</div>			



	Avalon Theatre COMMISSION # 12036.00	Addition and Renovation	Addendum No. 2
			Date 03/21/13
	Westlake Reed Leskosky	Ref. Drawing No. 1/IF-103	
			Sketch No. SK-023
	One East Camelback Road, Suite 690 Phoenix, Arizona 85012 602 212-0451		



1

CONTROL JOINTS, TYP. STAGGER W/
TILE PATTERN STARTING FROM
EXPOSED COLUMN. 12' x 12' O.C. TYP

Avalon Theatre
COMMISSION # 12036.00

Addition and Renovation

Addendum No. 2

Date
03/21/13

Westlake Reed Leskosky

Ref. Drawing No.
1/IF-104

One East Camelback Road, Suite 680
Phoenix, Arizona 85012
602 212-0451

Sketch No.
SK-024

ADDENDUM NO. 02
TO THE
PROJECT MANUAL AND DRAWINGS
FOR

City of Grand Junction, Colorado – Avalon Theatre
Phase 1 Addition and Renovation
WRL Commission No. 12036.00

Prepared by:
WESTLAKE REED LESKOSKY
One East Camelback Road, Suite 690
Phoenix, Arizona 85012

The Drawings and Project Manual for the above named Project, dated February 26, 2013, are modified, amended, and supplemented as set forth in this Addendum and shall be taken into account in preparing Bids. This Addendum shall become part of the Contract Documents.

Wherein this Addendum is in conflict with the Specifications and Drawings, the requirements of this Addendum shall govern.

ITEM NO. 1 – REVISIONS TO BIDDING REQUIREMENTS

A. The following Bidding Documents are revised and re-issued with this Addendum:

1. Bid Form

ITEM NO. 2 – REVISIONS TO THE PROJECT MANUAL

B. The following Specification Sections are issued for the first time with this Addendum:

1. Section 097200 – “Wall Coverings.”
2. Section 098316 – “Acoustical Finish System.”
3. Section 312000 – “Earth Moving.”

C. The following Specification Sections are revised and re-issued with this Addendum:

1. Section 012300 – “Alternates.”
2. Section 062023 – “Interior Finish Carpentry.”
3. Section 093013 – “Tiling.”
4. Division 09 - “Room Finish Schedule.”

D. The following Specification Sections are revised as indicated. The Sections are not re-issued with this Addendum:

1. Section 042000 – “Unit Masonry”
 - a. Revise paragraph 2.2 B.1 to read: “Unit Compressive Strength: Provide units with minimum average net-area compressive strength of 1900 psi.”
2. Section 085653 – “Security Windows”
 - a. Revise paragraph 2.3 F to read: “Glazing and Glazing Materials: Comply with requirements in Section 088000 “Glazing.” Refer to Glass Type GL-7.”

ITEM NO. 3 – REVISIONS TO STRUCTURAL EXISTING DRAWINGS

A. The following Structural Drawings are revised and reissued with this Addendum:

1. SE-001 General Notes & Details
2. SE-101 Foundation & Main Floor Framing Plans
3. SE-102 Mezzanine Lobby & Lower Mezzanine Framing Plans

ITEM NO. 4 – REVISIONS TO STRUCTURAL DRAWINGS

B. The following Structural Drawings are revised and reissued with this Addendum:

1. S-101 Basement Foundation Plan
2. S-102 First Floor Foundation & Framing Plan
3. S-104 Upper Mezzanine Framing Plan
4. S-301 Masonry Wall Elevations
5. S-530 Stair Elevation & Details

ITEM NO. 5 – REVISIONS TO ARCHITECTURAL DRAWINGS

A. The following Architectural Drawings are revised and reissued with this Addendum:

1. AD-102 Mezzanine And Upper Mezzanine Demolition Plans
2. AE-102 First Floor Plan
3. AE-103 Mezzanine Floor Plan
4. AE-104 Upper Mezzanine Floor Plan
5. AE-105 Roof Plan
6. AE-122 First Floor Reflected Ceiling Plan
7. AE-312 Wall Sections
8. AE-422 Interior Elevations
9. AE-423 Interior Elevations Multi Purpose Room
10. AE-431 Enlarged Stair Plans & Sections.
11. AE-434 Enlarged Ramp Plans & Sections
12. AE-437 Enlarged Toilet Room Plans & Elevations
13. AE-438 Enlarged Toilet Room Plans & Elevations
14. AE-503 Interior Details
15. AE-504 Interior Details
16. AE-505 Interior Details
17. AE-601 Door & Window Schedules
18. AE-603 Glazing Types

B. The following Architectural Sketches are issued with this Addendum:

1. SK-025 DETAIL 1/AE-201
2. SK-026 DETAIL 1/AE-202
3. SK-027 DETAIL 3/AE-313
4. SK-028 DETAIL 4/AE-313
5. SK-029 DETAILS 1,4,5/AE-432
6. SK-030 DETAIL 1/AE-502
7. SK-031 DETAIL 2/AE-502
8. SK-032 DETAIL 2/AE-511
9. SK-033 DETAIL 11/AE-604

C. The following Architectural Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. AD-101 - Add Demolition General Note: "Remove, salvage and return to Owner all existing name plates on existing seats"

2. AE-521 – Omit Detail #13.
3. AE-532 – Omit Detail #16.
4. AE-611 - PARTITION TYPES – Wall Type L2 –Change 1 hr fire rated to 2hr fire rated.
5. ALL CURTAIN WALL DETAILS AND CURTAIN WALL SYSTEM - In lieu of 4 sided structural silicon system, provide captured head, sill, and vertical mullions. The intermediate horizontals will remain as drawn.

ITEM NO. 6 – REVISIONS TO INTERIORS DRAWINGS

A. The following Interiors Sketches are issued with this Addendum:

1. SK-022 DETAIL 1/IF-102
2. SK-023 DETAIL 1/IF-103
3. SK-024 DETAIL 1/IF-104

ITEM NO. 7 – REVISIONS TO FIRE PROTECTION DRAWINGS

A. The following Fire Protection Drawings are revised and reissued with this Addendum:

1. FP-100 Basement Fire Protection Plan

B. The following Fire Protection Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. FP-100: Called out type of heads to be located on north side of basement.
2. FP-100: Removal and relocation of low hanging fire protection pipe.

ITEM NO. 8 – REVISIONS TO PLUMBING DRAWINGS

A. The following Plumbing Drawings are revised and reissued with this Addendum:

1. P-001 Plumbing Legend Abbreviations & Schedules
2. PL-100 Basement Waste & Vent Plan
3. PL-101 First Floor Waste & Vent Plan
4. PL-102 Second Floor Waste & Vent Plan
5. PL-302 Plumbing Details
6. PL-901 Plumbing Schematics

B. The following Plumbing Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. P-100: Sewage Ejector Schedule updated to reflect addition of SEP-2.
2. PL-100: Sewage Ejector (SEP-2) added for French Drains.
3. PL-101: Elevator sump pump terminated in alley as opposed to mop sink.
4. PL-101: SEP-2 terminated in alley w/ lambs tongue.
5. PL-101: Terminate new roof drain from canopy on the east side of the building at finished grade w/ lambs tongue.
6. PL-102: Added roof drain to canopy on the east side of the building.
7. PL-102: Waste line from elevator sump pump routed in ceiling space to south side of building.
8. PL-302: Added detail for SEP-2.

ITEM NO. 9 – REVISIONS TO MECHANICAL DRAWINGS

A. The following Mechanical Drawings are issued for the first time with this Addendum:

1. M-305

B. The following Mechanical Drawings are revised and reissued with this Addendum:

1. MH-102
2. MH-103
3. MH-104
4. MH-105
5. MP-102
6. MP-103
7. M-601

ITEM NO. 10 – REVISIONS TO ELECTRICAL DRAWINGS

A. The following Electrical Drawings are revised and reissued with this Addendum:

- | | |
|-----------|------------------------------------------|
| 1. EL-102 | First Floor Lighting Plan |
| 2. EL-103 | Mezzanine Lighting Plan |
| 3. EL-104 | Upper Mezzanine Lighting Plan |
| 4. EP-102 | First Floor Power Plan |
| 5. EP-103 | Mezzanine Power Plan |
| 6. E-401 | Enlarged Power Plans |
| 7. E-611 | Luminaire Schedule |
| 8. E-612 | Mechanical Equipment Connection Schedule |
| 9. E-632 | Electrical Panel Schedules |

ITEM NO. 11 – QUESTIONS FROM BIDDERS

Attached as Separate Document.

END OF ADDENDUM NO. 02

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
ISSUED FOR PERMIT

ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #2 – MARCH 21, 2013

BID FORM

Date: _____

PROPOSAL FOR: CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE, PHASE 1 ADDITION AND RENOVATION

SUBMITTED BY: _____
BIDDER

STREET ADDRESS

CITY, STATE, ZIP CODE

PHONE (Area and Number)

DELIVER TO: Office of the City Clerk
City Hall
250 North Fifth Street
Grand Junction, Colorado 81501

BID DUE DATE: March ~~26~~ 28, 2013, until 2:00 p.m., local time. **(ADD 2)**

Having fully examined the Bidding Documents, and all Addenda thereto, prepared by

Westlake Reed Leskosky
One East Camelback Road
Suite 690
Phoenix, Arizona 85012
Tel: (602) 212-0451
Fax: (602) 212-1020

and having inspected the site and the conditions affecting the Work, the undersigned proposes and agrees to furnish all material and perform all labor required to complete the Work for the amounts stated below:

BASE BID

Total Base Bid for the Sum of:

_____ DOLLARS (\$_____)

Attach Statement of Values that provide a breakdown of the bid amount by Project Manual divisions. Provide multiple line items for principal material and subcontract amounts in excess of five percent of the Contract Sum.

ALTERNATES

Enter the amount to be ADDED TO or DEDUCTED FROM the BASE BID if the Alternate is accepted. If there is no charge for Work under an Alternate, mark NO CHANGE. Refer to Section 012300 - Alternates for description of the Alternates. Owner reserves the right to select any or all Alternates.

ALTERNATE NO. 1: Company Switch.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 2: Donor Wall.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 3: Owner-occupied site.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4A: Duct Liner at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4B: Fabric-wrapped panels at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 5: Fabric Scrim at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 6: Angled Walls at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.
Sum of _____ DOLLARS(\$ _____)
ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ADDENDUM #1 – MARCH 11, 2013
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ALTERNATE NO. 7: Main Theater Hearing Loop System.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 8: Multipurpose Room Hearing Loop System.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 9: ~~Wood Bench at Mezzanine Lobby~~ REMOVED.

~~ADD ____ DEDUCT ____ NO CHANGE ____.~~

~~Sum of _____ DOLLARS(\$ _____)~~

~~ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate. (ADD 1)~~

ALTERNATE NO. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 11: Infill West and East Doors of Auditorium at Gridline 1.1.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 12: Gypsum Board Enclosure at New Catwalk.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 13: Rooftop Screen Wall.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 14: Tile Flooring at Mezzanine Lobby 200.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ADDENDUM #1 – MARCH 11, 2013
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ALTERNATE NO. 15: Platforms at Upper Mezzanine 219.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16A: Fixed Seating Upgrades.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16B: Auditorium Side Wall Paneling.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 17: Roof Terrace Steel Canopy.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 18: Entry Doors at Vestibule and Lobby.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 19: Door 106 at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 20: Aluminum Feeders.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate. (ADD 2)

ALTERNATE NO. 21: Duct Velocity Increase.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate. (ADD 2)

PERFORMANCE BOND AND PAYMENT BOND

Amount to be added to the Base Bid for Performance Bond and Payment Bond as required by the Owner.

_____ DOLLARS (\$ _____)

ALLOWANCES

The undersigned Bidder certifies that Base Bid submission includes those allowances described in the Contract Documents and scheduled in Section 012100 "Allowances."

FORCE ACCOUNT

Include ~~\$30,000~~ **\$200,000** lump-sum account to be used as a Force Account. Force Account work will be authorized by City's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. These expenses are not included in the Drawings or Specifications and are necessary to accomplish the scope of this contract. Force Account Authorization will be directed by the City through an approved form.
(ADD 1)

SUBSTITUTIONS

Bidder is cautioned to Bid on the materials, products, construction, and equipment included in the Bidding Documents and Addenda. Requests for substitutions which have not been approved in an Addendum shall be entered on the "Substitution Request Form" and submitted with the Bid. Substitutions will not be permitted after award of Contract.

TIME OF COMPLETION

The undersigned agrees to substantially complete the Work within 310 calendar days from Notice to Proceed.

LIST OF SUBCONTRACTORS

The Bidder acknowledges that a complete list of Subcontractors is required to be submitted with this Bid Form. At a minimum, list all subcontractors or sub-subcontractors for the following trade categories:

Carpentry _____

Cabinetry _____

Custom Stainless Steel _____

Doors and Frames _____

Door Hardware _____

Metal Studs, Drywall, Insulation _____

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FEBRUARY 26, 2013
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Acoustical Suspended Ceilings _____

Flooring _____

Painting _____

Window Treatments _____

Heating, Ventilating and Air-Conditioning _____

Plumbing _____

Pipe-Fitting _____

Fire Protection (Sprinklers) _____

Electrical _____

Fire Alarm _____

ADDENDUM

Bidder acknowledges receipt of the following Addenda:

Addendum No.	_____	Dated	_____
Addendum No.	_____	Dated	_____
Addendum No.	_____	Dated	_____

ACCEPTANCE OF BIDS

Owner reserves the right to accept or reject any or all Bids, or parts thereof, to waive any informalities in the Bidding, or to award the Contract to other than the lowest Bidder.

The undersigned agrees that his/her Bid may be accepted by the Owner at any time within sixty (60) days from date of opening of the Bids.

DATE _____ BIDDER _____

BY _____

TITLE _____

TYPE OF BUSINESS _____

OFFICIAL ADDRESS

(Street Address)

(City, State, Zip Code)

END OF BID FORM

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Company Switch.
1. Base Bid: No work.
 2. Alternate: Provide new 200 Amp company switch at stage, refer to Drawings for location. New conduit and wire to be routed to existing distribution board in basement as specified in Section 26 28 17 "Company Switches."
- B. Alternate No. 2: Donor Wall.
1. Base Bid: No Work.
 2. Alternate: Provide glass donor wall as detailed on Detail 8 on Sheet AE-503.
- C. Alternate No. 3: Owner-occupied site.
1. Base Bid: Work Restrictions and required Coordination with Occupants as specified in Section 01 10 00 "Summary."
 2. Alternate: ~~Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All theater performances will be suspended until the project is complete.~~ Existing Building will continue to be used for theater performances up until the last four months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated. (ADD 1)
- D. Alternate No. 4A: Duct liner at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fixed duct liner over gypsum board at walls of Multipurpose Room, as indicated on Drawings.
- E. Alternate No. 4B: Fabric-wrapped panels at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fabric wrapped panels over gypsum board at walls of Multipurpose Rooms, as indicated on Drawings.
- F. Alternate No. 5: Fabric Scrim at Multipurpose Room.
1. Base Bid: No work.
 2. Alternate: Where rigid duct liner is provided on walls of Multipurpose Room 106, provide fixed, sheer fabric scrim over the duct liner. Fabric to be approved by Architect. Match Rose Brand fabric, Sharktooth 8/2 Scrim, Color Black.
- G. Alternate No. 6: Angled Walls at Multipurpose Room.
1. Base Bid: Provide walls as shown on Drawings, not angled.
 2. Alternate: Provide gypsum board wall, below 9' AFF, at an inward angle of 6 inches as indicated on Drawings.
- H. Alternate No. 7: Main Theater Hearing Loop System.
1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 2. Alternate: Provide a phased array hearing loop system for the main theater and balcony to ensure even signal coverage throughout the space as well as reduce any overspill to the adjacent multipurpose room. The phased array involves a master and slave loop configuration. Score the concrete with a wet cut prior to room finish and seat installation and lay loop wires in the grooves. Provide two Univox SLS loop amplifiers, one for the main floor and one for the balcony. Size

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each amplifier for the area covered. Caulk the floor with a concrete self-leveling caulk after wiring is complete. Rack space and power supply for the two amplifiers will be provided by the Avalon with 3ru per amplifier. Each amplifier will require a balanced line XLR connection from an Audio Out on the processor or mixer in the audio system, provided by the Avalon.

- I. Alternate No. 8: Multipurpose Room Hearing Loop System.
 - 1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 - 2. Alternate: Provide a phased array hearing loop system for the multi-purpose room to attain a balanced system that reduces overspill, tilt level drop, high frequency loss and interference. Score the concrete floor with a wet cut for a master and slave loop configuration prior to installing the room finishes and floor coverings. Lay loop wire in the grooves and connected to a Univox SLS amplifier sized for the room. Fill grooves with a self-leveling concrete caulk. Rack space and power supply for the amplifier will be supplied by the Avalon with 3ru necessary. The amplifier will require a balanced line XLR connection for an Audio Out on the processor or mixer in the room
- J. Alternate No. 9: ~~Wood Bench at Mezzanine Lobby.~~ REMOVED
 - 1. ~~Base Bid: No Work.~~
 - 2. ~~Alternate: Provide wood bench as indicated on Drawings.~~ (ADD 1)
- K. Alternate No. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.
 - 1. Base Bid: Provide metal bar grating panel ceiling at ceiling of Exterior Balcony 200A only.
 - 2. Alternate: At Terrace Lobby 300 and exterior ceiling south of Terrace Lobby 300, provide metal grating ceiling system as indicated on drawings.
- L. Alternate No. 11: Infill West and East doors of Auditorium at Gridline 1.1.
 - 1. Base Bid: West and East doors of Auditorium at gridline 1.1 are to remain, new wood wainscot to run in front of doors.
 - 2. Alternate: West and East doors of Auditorium at gridline 1.1 are to be removed. Infill openings with masonry to match adjacent construction as indicated on drawings.
- M. Alternate No. 12: Gypsum Board Enclosure at New Catwalk.
 - 1. Base Bid: No Work
 - 2. Alternate: At new catwalk, provide gypsum board wall and ceiling enclosure as indicated on Drawings.
- N. Alternate No. 13: Rooftop Screen Wall.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide rooftop screen wall as indicated on Drawings.
- O. Alternate No. 14: Tile Flooring at Mezzanine Lobby 200.
 - 1. Base Bid: Provide only carpet flooring at Mezzanine Lobby 200.
 - 2. Alternate: Provide carpet and tile at Mezzanine Lobby 200, as indicated on Drawings.
- P. Alternate No. 15: Platforms at Upper Mezzanine 219.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide platforms at rear of Upper Mezzanine 219 as indicated on Drawings.
- Q. Alternate No. 16A: Fixed Seating Upgrades.
 - 1. Base Bid: Provide black plastic seat backs, bottoms and arm rests at fixed seating. Upholstery to be red velour as specified.
 - 2. Alternate: Provide wood seat back and arm rests. Upholstery to be equal to Maharam Abacus 007 Festive. 14 oz./yard, 54" wide.

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- R. Alternate No. 16B: Auditorium Side Wall Paneling.
1. Base Bid: Maintain existing wood paneling at side walls of Auditorium 118. Provide wood veneer paneling to match existing where doors are removed. Remove existing acoustical panels and replace with wood veneer paneling to match existing.
 2. Alternate: Remove existing wood paneling at side walls of Auditorium 118. Provide new wood wainscot paneling and electrical and AV changes as indicated in Drawings and Specifications.
- S. Alternate No. 17: Roof Terrace Steel Canopy.
1. Base Bid: Provide connections for future roof terrace canopy steel only. Connections are to be covered fully, not exposed.
 2. Alternate: Provide complete steel canopy at roof terrace.
- T. Alternate No. 18: Entry Doors at Vestibule and Lobby.
1. Base Bid: Doors 101A, 101B, 101C, 101D, and 101E to be 8' high with 2' glass transom above. Provide CRL panic hardware.
 2. Alternate: Doors 101A, 101B, 101C, 101D, and 101E to be 10' high with no transom. Provide standard egress panic hardware.
- U. Alternate No. 19: Door 106 at Multipurpose Room.
1. Base Bid: Door 106 is to be a double door, two 4' wide x 9' high swinging leaves, STC 50 minimum is to be provided as scheduled in the door schedule. (ADD 1)
 2. Alternate: Door 106 is to be a motorized vertical lift door as shown on Detail 1 on Sheet AE-503.
- V. Alternate No. 20: Aluminum Feeders
1. Base Bid: Install all feeders as copper conductors as indicated on the Drawings.
 2. Alternate: Provide aluminum conductors, size #1/0 AWG and larger in lieu of copper. See Section 260100 for additional requirements when aluminum conductors are used. (ADD 2)
- W. Alternate No. 21: Duct Velocity Increase
1. Base Bid: Provide duct velocity at 750 fpm for main supply and return ducts within the audience chamber space, as indicated on the documents.
 2. Alternate: Provide duct velocity at 1200 fpm for main supply and return ducts. Reduce the size of the main supply and return ducts, the number of branch ducts routed through the trusses, and the amount of duct liner as required. (ADD 2)

END OF SECTION 01 23 00

ADDENDUM #2 – MARCH 21, 2013

SECTION 06 20 23 - INTERIOR FINISH CARPENTRY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Interior trim.
 - ~~2. Interior wainscot paneling.~~
 - ~~3. Bench seat. (ADD 2)~~
- B. Related Requirements:
 - 1. Section 06 10 53 "Miscellaneous Rough Carpentry" for furring, blocking, and other carpentry work not exposed to view.

1.3 DEFINITIONS

- A. MDF: Medium-density fiberboard.
- B. MDO: Plywood with a medium-density overlay on the face.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of process and factory-fabricated product. Indicate component materials, dimensions, profiles, textures, and colors and include construction and application details.
 - 1. Include data for fire-retardant treatment from chemical-treatment manufacturer and certification by treating plant that treated materials comply with requirements.
 - 2. For products receiving a waterborne treatment, include statement that moisture content of treated materials was reduced before shipment to Project site to levels specified.
 - 3. Include copies of warranties from chemical-treatment manufacturers for each type of treatment.
- B. Samples for Verification:
 - 1. For each species and cut of lumber and panel products with non-factory-applied finish, with 1/2 of exposed surface finished, 50 sq. in. (300 sq. cm) for lumber and 8 by 10 inches (200 by 250 mm) for panels.
 - 2. For each finish system and color of lumber and panel products with factory-applied finish, 50 sq. in. (300 sq. cm) for lumber and 8 by 10 inches (200 by 250 mm) for panels.

1.5 INFORMATIONAL SUBMITTALS

- A. Evaluation Reports: For fire-retardant-treated wood, from ICC-ES.

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- B. Sample Warranty: For manufacturer's warranty.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Stack lumber, plywood, and other panels flat with spacers between each bundle to provide air circulation. Protect materials from weather by covering with waterproof sheeting, securely anchored. Provide for air circulation around stacks and under coverings.
- B. Deliver interior finish carpentry materials only when environmental conditions meet requirements specified for installation areas. If interior finish carpentry materials must be stored in other than installation areas, store only where environmental conditions meet requirements specified for installation areas.

1.7 FIELD CONDITIONS

- A. Environmental Limitations: Do not deliver or install interior finish carpentry materials until building is enclosed and weatherproof, wet work in space is completed and nominally dry, and HVAC system is operating and maintaining temperature and relative humidity at occupancy levels during the remainder of the construction period.
- B. Do not install finish carpentry materials that are wet, moisture damaged, or mold damaged.
1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

PART 2 - PRODUCTS

2.1 MATERIALS, GENERAL

- A. Lumber: DOC PS 20 and the following grading rules:
1. NeLMA: Northeastern Lumber Manufacturers' Association, "Standard Grading Rules for Northeastern Lumber."
 2. NHLA: National Hardwood Lumber Association, "Rules for the Measurement and Inspection of Hardwood & Cypress."
 3. NLGA: National Lumber Grades Authority, "Standard Grading Rules for Canadian Lumber."
 4. SPIB: The Southern Pine Inspection Bureau, "Standard Grading Rules for Southern Pine Lumber."
 5. WCLIB: West Coast Lumber Inspection Bureau, Standard No. 17, "Grading Rules for West Coast Lumber."
 6. WWPA: Western Wood Products Association, "Western Lumber Grading Rules."
- B. Factory mark each piece of lumber with grade stamp of inspection agency indicating grade, species, moisture content at time of surfacing, and mill.
- ~~1. For exposed lumber, mark grade stamp on end or back of each piece[, or omit grade stamp and provide certificates of grade compliance issued by inspection agency]. (ADD 2)~~**
- C. Softwood Plywood: DOC PS 1.

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D. Hardboard: AHA A135.4.

~~E. MDF: ANSI A208.2, [Grade 130] <Insert grade>[, made with binder containing no urea-formaldehyde resin].~~

~~F. Particleboard: ANSI A208.1, [Grade M-2] [Grade M-2 Exterior Glue] [Grade M-2, made with binder containing no urea-formaldehyde resin].~~

~~G. Melamine-Faced Particleboard: Particleboard complying with ANSI A208.1, Grade M-2, finished on both faces with thermally fused, melamine-impregnated decorative paper and complying with requirements of NEMA LD3, Grade VGL, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.~~

~~1. Color: [White] [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range] <Insert color>. (ADD 2)~~

2.2 FIRE RETARDANT-TREATED MATERIALS

~~A. General: For applications indicated, use materials complying with requirements in this article that are acceptable to authorities having jurisdiction, and comply with testing requirements; testing by a qualified testing agency.~~

~~B. Fire Retardant-Treated Lumber and Plywood by Pressure Process: Products with a flame-spread index of 25 or less when tested according to ASTM E 84, with no evidence of significant progressive combustion when the test is extended an additional 20 minutes, and with the flame front not extending more than 10.5 feet (3.2 m) beyond the centerline of the burners at any time during the test.~~

~~1. Kiln-dry lumber and plywood after treatment to a maximum moisture content of 19 and 15 percent respectively.~~

~~C. For exposed items indicated to receive a stained or natural finish, use [organic resin] chemical formulations that do not contain colorants, and provide materials that do not have marks from spacer sticks on exposed face.~~

~~D. Do not use material that does not comply with requirements for untreated material or is warped or discolored.~~

~~E. Identify fire-retardant-treated wood with appropriate classification marking of testing and inspecting agency acceptable to authorities having jurisdiction.~~

~~1. For exposed lumber indicated to receive a stained or natural finish, [mark end or back of each piece] [or] [omit marking and provide certificates of treatment compliance issued by inspection agency].~~

~~F. Application: [Where indicated] [All interior lumber and plywood] <Insert application>. (ADD 2)~~

2.3 INTERIOR TRIM

~~A. Softwood Lumber Trim for Transparent Finish (Stain or Clear Finish):~~

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1. ~~Species and Grade: Eastern white pine, [C Select] [D Select] [Finish or 1 Common] [Premium or 2 Common]; NeLMA or NLGA.~~
 2. ~~Species and Grade: Idaho white, lodgepole, ponderosa, radiata, or sugar pine; [C Select (Choice)] [D Select (Quality)] [1 Common (Colonial)] [2 Common (Sterling)]; NLGA or WHPA.~~
 3. ~~Species and Grade: Eastern white, Idaho white, lodgepole, ponderosa, radiata, or sugar pine; [C Select (Choice)] [D Select (Quality)] [Finish or 1 Common (Colonial)] [Premium or 2 Common (Sterling)]; NeLMA, NLGA, or WHPA.~~
 4. ~~Species and Grade: White woods, [C Select] [D Select] [1 Common] [2 Common]; WHPA.~~
 5. ~~Species and Grade: Douglas fir-larch or Douglas fir south, [Superior or C & Btr] [Prime or D] finish; NLGA, WCLIB, or WHPA.~~
 6. ~~Species and Grade: Southern pine, [B & B] [C & Btr] finish; SPIB.~~
 7. ~~Species and Grade: Western red cedar, [Clear Heart] [Grade A] [Grade B]; NLGA, WCLIB, or WHPA.~~
 8. ~~Maximum Moisture Content: [19] [15] percent [with at least 85 percent of shipment at 12 percent or less].~~
 9. ~~Finger Jointing: [Allowed] [Not allowed].~~
 10. ~~Face Surface: [Surfaced (smooth)] [Saw textured]. (ADD 2)~~
- B. Hardwood Lumber Trim for Transparent Finish (Stain or Clear Finish):
1. Species and Grade: ~~[Red oak] [White maple] [Alder] [Aspen, basswood, cottonwood, sap gum, sycamore, white maple, or yellow poplar] <Insert species>~~; ~~[Clear] [A Finish] [B Finish]; NHLA.~~
 2. Maximum Moisture Content: ~~[13] [10] [9] <Insert value>~~ percent.
 3. Finger Jointing: Not allowed.
 4. Gluing for Width: ~~[Allowed] [Not allowed] [Use for lumber trim wider than 6 inches (150 mm)].~~
 5. Veneered Material: ~~[Allowed] [Not allowed] [Use for lumber trim wider than 6 inches (150 mm)].~~
 6. Face Surface: ~~[Surfaced (smooth)] [Saw textured]. (ADD 2)~~
 7. Matching: Selected for compatible grain and color.
 8. Location: Within the existing theater.
- C. Lumber Trim for Opaque Finish (Painted Finish):
1. Species and Grade: Idaho white, lodgepole, ponderosa, radiata, or sugar pine; D Select (Quality); NLGA or WHPA.
 2. Maximum Moisture Content: 10 percent.
 3. Finger Jointing: Allowed.
 4. Face Surface: Surfaced (smooth). (ADD 2)
- D. ~~Softwood Moldings for Transparent Finish (Stain or Clear Finish): WMMPA WM 4, N-grade wood moldings. Made to patterns included in WMMPA WM 12.~~
1. ~~Species: [Eastern white, Idaho white, lodgepole, ponderosa, radiata, or sugar pine] [Southern pine] [Western red cedar] [Douglas fir] <Insert species>.~~
 2. ~~Maximum Moisture Content: 15 percent with at least 85 percent of shipment at 12 percent or less.~~
 3. ~~Finger Jointing: Not allowed.~~
 4. ~~Matching: Selected for compatible grain and color.~~
 5. ~~Base Pattern: [WM 623, 9/16 by 3 1/4 inch (14 by 83 mm) ogee] [WM 713, 9/16 by 3 1/4 inch (14 by 83 mm) ranch] [WM 753, 9/16 by 3 1/4 inch (14 by 83 mm) beaded edge] [WM 620, 9/16 by 4 1/4 inch (14 by 108 mm) ogee] [WM 750, 9/16 by 4 1/4 inch (14 by 108 mm) beaded edge] base.~~

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6. ~~Shoe Mold Pattern: [WM 129, 7/16-by-11/16-inch (11-by-17-mm) quarter-round] [WM 126, 1/2-by-3/4-inch (13-by-19-mm) quarter-round] [WM 131, 1/2-by-3/4-inch (13-by-19-mm) ogee] shoe mold.~~
7. ~~Casing Pattern: [WM 327, 11/16-by-2 1/4-inch (17-by-57-mm) clamshell] [WM 366, 11/16-by-2 1/4-inch (17-by-57-mm) featheredge] [WM 376, 11/16-by-2 1/4-inch (17-by-57-mm) beaded-edge] casing.~~
8. ~~Mull-Casing Pattern: [WM 957, 3/8-by-1 3/4-inch (9.5-by-44-mm) beaded-edge] [WM 973, 3/8-by-1 3/4-inch (9.5-by-44-mm) bullnose] [WM 983, 3/8-by-1 3/4-inch (9.5-by-44-mm) featheredge] casing.~~
9. ~~Stop Pattern: [WM 856, 3/8-by-1 3/8-inch (9.5-by-35-mm) ranch] [WM 946, 3/8-by-1 3/8-inch (9.5-by-35-mm) ogee] [WM 886, 3/8-by-1 3/8-inch (9.5-by-35-mm) bullnose] stop.~~
10. ~~Chair Rail Pattern: WM 297, 11/16-by-3-inch (17-by-76-mm) chair rail.~~

E. ~~Hardwood Moldings for Transparent Finish (Stain or Clear Finish): WMMPA HWM 2, N-grade wood moldings made to patterns included in WMMPA HWM 1.~~

1. ~~Species: [Red oak] [White maple] [Aspen, basswood, cottonwood, sap gum, sycamore, white maple, or yellow poplar] <Insert species>.~~
2. ~~Kiln-dried softwood or MDF, with exposed surfaces veneered with species indicated, may be used in lieu of solid wood.~~
3. ~~Maximum Moisture Content: 9 percent.~~
4. ~~Finger Jointing: Not allowed.~~
5. ~~Matching: Selected for compatible grain and color.~~
6. ~~Base Pattern: [HWM 633, 7/16-by-3 1/4-inch (11-by-83-mm) ogee] [HWM 713, 7/16-by-3 1/4-inch (11-by-83-mm) ranch] [HWM 753, 7/16-by-3 1/4-inch (11-by-83-mm) beaded-edge] [WM 620, 7/16-by-4 1/4-inch (11-by-108-mm) ogee] base.~~
7. ~~Shoe Mold Pattern: [HWM 129, 7/16-by-11/16-inch (11-by-17-mm) quarter-round] [HWM 126, 1/2-by-3/4-inch (13-by-19-mm) quarter-round] [HWM 131, 1/2-by-3/4-inch (13-by-19-mm) ogee] shoe mold.~~
8. ~~Casing Pattern: [HWM 328, 1/2-by-2 1/4-inch (13-by-57-mm) clamshell] [HWM 366, 1/2-by-2 1/4-inch (13-by-57-mm) featheredge] [HWM 376, 1/2-by-2 1/4-inch (13-by-57-mm) beaded-edge] casing.~~
9. ~~Mull-Casing Pattern: [HWM 989, 3/16-by-2-inch (5-by-51-mm) square-edge] [HWM 988, 3/8-by-1 1/2-inch (9.5-by-38-mm) featheredge] [HWM 987, 3/8-by-2-inch (9.5-by-51-mm) featheredge] casing.~~
10. ~~Stop Pattern: [HWM 856, 3/8-by-1 3/8-inch (9.5-by-35-mm) ranch] [HWM 946, 3/8-by-1 3/8-inch (9.5-by-35-mm) ogee] [HWM 886, 3/8-by-1 3/8-inch (9.5-by-35-mm) bullnose] stop.~~
11. ~~Chair Rail Pattern: HWM 297, 11/16-by-3-inch (17-by-76-mm) chair rail. (ADD 2)~~

2.4 ~~PANELING~~

A. ~~Hardwood Veneer Plywood Paneling: Manufacturer's stock hardwood plywood panels complying with HPVA HP-1[, made without urea-formaldehyde adhesive].~~

1. ~~Manufacturers: Subject to compliance with requirements, [provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:~~
2. ~~Basis of Design Product: Subject to compliance with requirements, provide [product indicated] <Insert manufacturer's name; product name or designation> or comparable product by one of the following:~~
 - a. ~~Chesapeake Hardwood Products, Inc.~~

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- b. ~~Georgia-Pacific Corp.~~
- c. ~~Holland Southwest International.~~
- d. ~~<Insert manufacturer's name>.~~

- 3. ~~Face Veneer Species and Cut: [Rotary-cut white birch] [Plain-sliced red oak] [Plain-sliced hickory] <Insert species and cut>.~~
- 4. ~~Veneer Matching: [Random-match] [Selected for similar color and grain].~~
- 5. ~~Backing Veneer Species: [Same species as face veneer] [Any hardwood compatible with face species].~~
- 6. ~~Construction: Veneer core.~~
- 7. ~~Thickness: [1/8 inch (3.2 mm)] [5/32 inch (4 mm)] [5 mm] [1/4 inch (6.4 mm)] [5/16 inch (7.9 mm)] [7/16 inch (11 mm)].~~
- 8. ~~Panel Size: [48 by 96 inches (1219 by 2438 mm)] [48 by 120 inches (1219 by 3048 mm)].~~
- 9. ~~Panel Size: [1200 by 2400 mm] [1200 by 3000 mm].~~
- 10. ~~Glue Bond: Type II (interior).~~
- 11. ~~Face Pattern: Manufacturer's standard [V] [channel]-grooved pattern, with grooves at edges, center, and third points of panels, and at other locations to provide pattern resembling random-width boards.~~
- 12. ~~Finish: [Manufacturer's standard, transparent, UV-resistant, protective finish] [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range].~~

B. ~~Hardboard Paneling: Interior factory-finished hardboard paneling complying with AHA 135.5.~~

- 1. ~~Manufacturers: Subject to compliance with requirements, [provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:~~
- 2. ~~Basis of Design Product: Subject to compliance with requirements, provide [product indicated] <Insert manufacturer's name; product name or designation> or comparable product by one of the following:~~
 - a. ~~Chesapeake Hardwood Products, Inc.~~
 - b. ~~Georgia-Pacific Corp.~~
 - c. ~~Marlite.~~
 - d. ~~<Insert manufacturer's name>.~~
- 3. ~~Thickness: [1/8 inch (3.2 mm)] [5/32 inch (4 mm)] [1/4 inch (6.4 mm)].~~
- 4. ~~Finish: [Class I] [Class II].~~
- 5. ~~Surface Burning Characteristics: As follows, tested according to ASTM E 84:~~
 - a. ~~Flame Spread Index: 25 or less.~~
 - b. ~~Smoke Developed Index: 450 or less.~~
- 6. ~~Colors, Textures, and Patterns: [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range]. (ADD 2)~~

2.5 MISCELLANEOUS MATERIALS

- A. Fasteners for Interior Finish Carpentry: Nails, screws, and other anchoring devices of type, size, material, and finish required for application indicated to provide secure attachment, concealed where possible.

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- B. Glue: Aliphatic-resin, polyurethane, or resorcinol wood glue recommended by manufacturer for general carpentry use.
 - 1. Wood glue shall have a VOC content of 30 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- C. Installation Adhesive for Foam Plastic Moldings: Product recommended for indicated use by foam plastic molding manufacturer.
 - 1. Adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- D. Paneling Adhesive: Comply with paneling manufacturer's written recommendations for adhesives.
 - 1. Adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- E. Multipurpose Construction Adhesive: Formulation complying with ASTM D 3498 that is recommended for indicated use by adhesive manufacturer.
 - 1. Adhesive shall have a VOC content of 70 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).

2.6 FABRICATION

- A. Back out or kerf backs of the following members except those with ends exposed in finished work:
 - 1. Interior standing and running trim except shoe and crown molds.
 - 2. Wood-board paneling.
- B. Ease edges of lumber less than 1 inch (25 mm) in nominal thickness to 1/16-inch (1.5-mm) radius and edges of lumber 1 inch (25 mm) or more in nominal thickness to 1/8-inch (3-mm) radius.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance.
- B. Examine finish carpentry materials before installation. Reject materials that are wet, moisture damaged, and mold damaged.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Clean substrates of projections and substances detrimental to application.
- B. Before installing interior finish carpentry, condition materials to average prevailing humidity in installation areas for a minimum of 24 hours unless longer conditioning is recommended by manufacturer.

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3.3 INSTALLATION, GENERAL

- A. Do not use materials that are unsound, warped, improperly treated or finished, inadequately seasoned, too small to fabricate with proper jointing arrangements, or with defective surfaces, sizes, or patterns.
- B. Install interior finish carpentry level, plumb, true, and aligned with adjacent materials. Use concealed shims where necessary for alignment.
 - 1. Scribe and cut interior finish carpentry to fit adjoining work. Refinish and seal cuts as recommended by manufacturer.
 - 2. Where face fastening is unavoidable, countersink fasteners, fill surface flush, and sand unless otherwise indicated.
 - 3. Install to tolerance of 1/8 inch in 96 inches (3 mm in 2438 mm) for level and plumb. Install adjoining interior finish carpentry with 1/32-inch (0.8-mm) maximum offset for flush installation and 1/16-inch (1.5-mm) maximum offset for reveal installation.
 - 4. Install stairs with no more than 3/16-inch (4.7-mm) variation between adjacent treads and risers and with no more than 3/8-inch (9.5-mm) variation between largest and smallest treads and risers within each flight.
 - 5. Coordinate interior finish carpentry with materials and systems in or adjacent to it. Provide cutouts for mechanical and electrical items that penetrate interior finish carpentry.

3.4 STANDING AND RUNNING TRIM INSTALLATION

- A. Install with minimum number of joints practical, using full-length pieces from maximum lengths of lumber available. Do not use pieces less than 24 inches (610 mm) long, except where necessary. Stagger joints in adjacent and related standing and running trim. ~~{Cope}~~ ~~{Miter}~~ at returns, miter at outside corners, and cope at inside corners to produce tight-fitting joints with full-surface contact throughout length of joint. Use scarf joints for end-to-end joints. Plane backs of casings to provide uniform thickness across joints where necessary for alignment. **(ADD 2)**
 - 1. Match color and grain pattern of trim for transparent finish (stain or clear finish) across joints.
 - 2. Install trim after gypsum-board joint finishing operations are completed.
 - 3. Install without splitting; drill pilot holes before fastening where necessary to prevent splitting. Fasten to prevent movement or warping. Countersink fastener heads on exposed carpentry work and fill holes.

3.5 ~~PANELING INSTALLATION~~

- ~~A. **Plywood Paneling:** Select and arrange panels on each wall to minimize noticeable variations in grain character and color between adjacent panels. Leave 1/4-inch (6-mm) gap to be covered with trim at top, bottom, and openings. Install with uniform tight joints between panels.~~
 - ~~1. **Attach panels to supports with manufacturer's recommended panel adhesive and fasteners. Space fasteners and adhesive as recommended by panel manufacturer.**~~
 - ~~2. **Conceal fasteners to greatest practical extent.**~~
 - ~~3. **Arrange panels with grooves and joints over supports. Fasten to supports with nails of type and at spacing recommended by panel manufacturer. Use fasteners with prefinished heads matching groove color.**~~
- ~~B. **Hardboard Paneling:** Install according to manufacturer's written recommendations. Leave 1/4-inch (6-mm) gap to be covered with trim at top, bottom, and openings. Butt adjacent panels with moderate contact. Use fasteners with prefinished heads matching paneling color.~~
 - ~~1. **Wood Stud or Furring Substrate:** Install with 1-inch (25-mm) annular-ring shank hardboard nails.~~

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- ~~2. Plaster or Gypsum Board Substrate: Install with 1 5/8 inch (41 mm) annular-ring shank hardboard nails.~~
- ~~3. Nailing: Space nails 4 inches (100 mm) o.c. at panel perimeter and 8 inches (200 mm) o.c. at intermediate supports unless otherwise required by manufacturer.~~

~~C. Board Paneling: Install according to manufacturer's written instructions. Arrange in random-width pattern suggested by manufacturer unless boards or planks are of uniform width.~~

- ~~1. Install in full lengths without end joints.~~
- ~~2. Stagger end joints in random pattern to uniformly distribute joints on each wall.~~
- ~~3. Install with uniform end joints with only end-matched (tongue-and-groove) joints within each field of paneling.~~
- ~~4. Install with uniform end joints. Locate end joints only over furring or blocking.~~
- ~~5. Select and arrange boards on each wall to minimize noticeable variations in grain character and color between adjacent boards. Install with uniform tight joints between boards.~~
- ~~6. Fasten paneling by face nailing, setting nails, and filling over nail heads.~~
- ~~7. Fasten paneling with trim screws, set below face and filled.~~
- ~~8. Fasten paneling by blind nailing through tongues.~~
- ~~9. Fasten paneling with paneling system manufacturer's concealed clips.~~
- ~~10. Fasten paneling to gypsum wallboard with panel adhesive. (ADD 2)~~

3.6 ADJUSTING

- A. Replace interior finish carpentry that is damaged or does not comply with requirements. Interior finish carpentry may be repaired or refinished if work complies with requirements and shows no evidence of repair or refinishing. Adjust joinery for uniform appearance.

3.7 CLEANING

- A. Clean interior finish carpentry on exposed and semiexposed surfaces. Restore damaged or soiled areas and touch up factory-applied finishes, if any.

3.8 PROTECTION

- A. Protect installed products from damage from weather and other causes during construction.
- B. Remove and replace finish carpentry materials that are wet, moisture damaged, and mold damaged.
 1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 06 20 23

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SECTION 09 30 13 - TILING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Porcelain Tile
 - 2. Gypsum tile glass-mat backing panels.
 - 3. Transition strips.
 - 4. Mastics.
 - 5. Waterproof membrane.
 - 5.6. Crack isolation membrane.**
- B. Related Sections:
 - 1. Division 7- Section Joint Sealants for sealing of expansion, contraction, control, and isolation joints in tile surfaces.
 - 2. Division 7 – Section Waterproofing.

1.3 DEFINITIONS

- A. General: Definitions in the ANSI A108 series of tile installation standards and in ANSI A137.1 apply to Work of this Section unless otherwise specified.
- B. ANSI A108 Series: ANSI A108.01, ANSI A108.02, ANSI A108.1A, ANSI A108.1B, ANSI A108.1C, ANSI A108.4, ANSI A108.5, ANSI A108.6, ANSI A108.8, ANSI A108.9, ANSI A108.10, ANSI A108.11, ANSI A108.12, ANSI A108.13, ANSI A108.14, ANSI A108.15, ANSI A108.16, and ANSI A108.17, which are contained in "American National Standard Specifications for Installation of Ceramic Tile."
- C. Provide tiled walls adjacent to toilets/urinals per IBC 1210.2.
- D. Tile Council of North America (TCNA), current edition.
- E. Module Size: Actual tile size plus joint width indicated.
- F. Face Size: Actual tile size, excluding spacer lugs.

1.4 SUBMITTALS

- A. Product Data: For each type of product indicated.

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- B. Shop Drawings: provide drawing indicating expansion and control joints.
- C. Samples for Verification:
 - 1. Full-size units of each type and composition of tile and for each color and finish required.
 - 2. Full-size units of each type of trim and accessory for each color and finish required.
 - 3. Metal edge strips in 6-inch lengths.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match and are from same production runs as products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Tile and Trim Units: Furnish quantity of full-size units equal to 3 percent of amount installed for each type, composition, color, pattern, and size indicated.

1.6 QUALITY ASSURANCE

- A. Source Limitations for Tile: Obtain tile of each type and color or finish from one source or producer.
 - 1. Obtain tile of each type and color or finish from same production run and of consistent quality in appearance and physical properties for each contiguous area.
- B. Source Limitations for Setting and Grouting Materials: Obtain ingredients of a uniform quality for each mortar, adhesive, and grout component from one manufacturer and each aggregate from one source or producer.
- C. Source Limitations for Other Products: Obtain each of the following products specified in this Section from a single manufacturer for each product:
 - 1. Joint sealants.
 - 2. Gypsum tile glass-mat backer units.
- D. Preinstallation Conference: Conduct conference at Project site with Architect present.
 - 1. Review requirements in ANSI A108.01 for substrates and for preparation by other trades.
- E. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Build mockup of each type of floor tile installation.
 - 2. Build mockup of each type of wall tile installation.
 - 3. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver and store packaged materials in original containers with seals unbroken and labels intact until time of use. Comply with requirements in ANSI A137.1 for labeling tile packages.
- B. Store tile and cementitious materials on elevated platforms, under cover, and in a dry location.
- C. Store aggregates where grading and other required characteristics can be maintained and contamination can be avoided.
- D. Store liquid materials in unopened containers and protected from freezing.

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- E. Handle tile that has temporary protective coating on exposed surfaces to prevent coated surfaces from contacting backs or edges of other units. If coating does contact bonding surfaces of tile, remove coating from bonding surfaces before setting tile.

1.8 PROJECT CONDITIONS

- A. Environmental Limitations: Do not install tile until construction in spaces is complete and ambient temperature and humidity conditions are maintained at the levels indicated in referenced standards and manufacturer's written instructions.

PART 2 - PRODUCTS

2.1 PRODUCTS, GENERAL

- A. ANSI Ceramic Tile Standard: Provide tile that complies with ANSI A137.1 for types, compositions, and other characteristics indicated.
- B. ANSI Standards for Tile Installation Materials: Provide materials complying with ANSI A108.02, ANSI standards referenced in other Part 2 articles, ANSI standards referenced by TCNA installation methods specified in tile installation schedules, and other requirements specified.
- C. Factory Blending: For tile exhibiting color variations within ranges, blend tile in factory and package so tile units taken from one package show same range in colors as those taken from other packages and match approved Samples.
- D. Mounting: For factory-mounted tile, provide back- or edge-mounted tile assemblies as standard with manufacturer unless otherwise indicated.
 - 1. Where tile is indicated for installation in wet areas, do not use back- or edge-mounted tile assemblies unless tile manufacturer specifies in writing that this type of mounting is suitable for installation indicated and has a record of successful in-service performance.
- E. Factory-Applied Temporary Protective Coating: Where indicated under tile type, protect exposed surfaces of tile against adherence of mortar and grout by pre-coating with continuous film of petroleum paraffin wax, applied hot. Do not coat unexposed tile surfaces.

2.2 TILE PRODUCTS

- A. Tile Type PT: Unglazed porcelain tile.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide tile by the following:
 - a. Ergon, style: Stone Project. (303) 319-4293.
 - b. Or approved equal.
 - 2. Composition: Porcelain.
 - 3. Face Size:
 - a. 23-5/8" x 47-1/4" tile.
 - b. 6-5/16" x 11-13/16" cove tile.
 - c. 11-13/16" x 23-5/8" deco strip tile.
 - d. 11-13/16" x 15-3/4" mosaic tile on a sheet.
 - e. 3-3/8" x 23-5/8" surface bullnose tile.
 - f. Inside corner cove piece.

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- g. Outside corner cove piece.
- 4. Thickness: 1/4 inch, approximate.
- 5. Face: Flamed with square edges.
- 6. Cove base: install using flush detail per TCNA most current edition.
- 7. Sanded Grout Color: Custom Building Products color to be selected.
- 8. Water absorption: less than 5% per ASTM C373.

2.3 GLASS-MAT TILE BACKING PANELS

- A. Glass-Mat, Water-Resistant Backing Board with Water-Resistant Coating: ASTM C 1178/C 1178M.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide G-P Gypsum Corporation; "DensShield Tile Backer" or an approved equal product by another manufacturer. Provide at all shower locations.
 - 2. Core: 5/8 inch Type X.
 - 3. Long Edges: Square.

2.4 THRESHOLDS

- A. Schluter®-SCHIENE
 - 1. Material and Finish: AE - Satin Anodized Aluminum
 - 2.

Transition From:	To:	Schluter Model	Schluter Finish	Strip is installed below this flooring
SV	PT	RENO-U-EBU100	Brushed stainless steel	PT
PT	PT	JOLLY-ANIGB100	Brushed nickel anodized aluminum	Either
PT	SV	RENO-U-AEU 150	Satin anodized aluminum	PT
PT	CPT	RENO-TK-EBTK 125	Brushed stainless steel	PT
PT	SC	RENO-RAMP-AERP-125 B65	Satin anodized aluminum	PT

- B. Height as required.

2.5 SETTING MATERIALS

- A. Dry-Set Portland Cement Mortar (Thin Set): ANSI A118.1.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. MAPEI Corporation Ultraflex LFT.
 - 2. For wall applications, provide mortar that complies with requirements for nonsagging mortar in addition to the other requirements in ANSI A118.1.
- B. Urethane Waterproofing, **Crack Isolation Membrane**, and Tile-Setting Adhesive: One-part, liquid-applied urethane, with a VOC content of 65 g/L or less when calculated according to 40 CFR 59,

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Subpart D (EPA Method 24), in a consistency suitable for trowel application and intended for use as both waterproofing and tile-setting adhesive in a two-step process.

1. Subject to compliance with requirements, provide the following:
 - a. Mapei Corporation MapelasticAquaDefense.
 - b. Combine with Mapei reinforcing fabric or Mapeband cove roll and drain flash.
 - c. Install at toilet room floors above grade.

2.6 GROUT MATERIALS

- A. Polymer-Modified Tile Grout: ANSI A118.7.
 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Mapei polymer modified sanded grout Keracolor S.
 - b. **Apply penetrating sealer at shower floor and walls.**
- B. All grout must have VOC limits under 65 g/L.

2.7 MASTICS

- A. Cold-weather mastic:
 1. Mapei Kerapoxy Cold-Weather Formula, Part B.
- B. Wall and tile adhesive:
 1. Mapei Type 1 Professional grade.

2.8 CAULK

- A. Acrylic caulk:
 1. Keracaulk S sanded acrylic caulk for use with sanded grout.

2.9 CRACK ISOLATION MEMBRANE

- A. Uncoupling membrane at all floor tile **except where waterproof membrane is specified.**
 1. ~~Schluter DITRA~~ **Mapei Mapeguard 2.**

2.10 MISCELLANEOUS MATERIALS

- A. Trowelable Underlayments and Patching Compounds: Latex-modified, portland cement-based formulation provided or approved by manufacturer of tile-setting materials for installations indicated.
- B. Grout sealer:
 1. Miracle Sealants 511 Sealant with Mira Matte on porcelain tile.
- C. Tile Cleaner: A neutral cleaner capable of removing soil and residue without harming tile and grout surfaces, specifically approved for materials and installations indicated by tile and grout manufacturers.

2.11 MIXING MORTARS AND GROUT

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- A. Mix mortars and grouts to comply with referenced standards and mortar and grout manufacturers' written instructions.
- B. Add materials, water, and additives in accurate proportions.
- C. Obtain and use type of mixing equipment, mixer speeds, mixing containers, mixing time, and other procedures to produce mortars and grouts of uniform quality with optimum performance characteristics for installations indicated.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions where tile will be installed, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of installed tile.
 - 1. Verify that substrates for setting tile are firm, dry, clean, free of coatings that are incompatible with tile-setting materials including curing compounds and other substances that contain soap, wax, oil, or silicone; and comply with flatness tolerances required by ANSI A108.01 for installations indicated.
 - 2. Verify that concrete substrates for tile floors installed with adhesives bonded mortar bed or thin-set mortar comply with surface finish requirements in ANSI A108.01 for installations indicated.
 - a. Verify that surfaces that received a steel trowel finish have been mechanically scarified.
 - b. Verify that protrusions, bumps, and ridges have been removed by sanding or grinding.
 - 3. Verify that installation of grounds, anchors, recessed frames, electrical and mechanical units of work, and similar items located in or behind tile has been completed.
 - 4. Verify that joints and cracks in tile substrates are coordinated with tile joint locations; if not coordinated, adjust joint locations in consultation with Architect.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Fill cracks, holes, and depressions in concrete substrates for tile floors installed with adhesives or thin-set mortar with trowelable leveling and patching compound specifically recommended by tile-setting material manufacturer.
- B. Where indicated, prepare substrates to receive waterproofing by applying a reinforced mortar bed that complies with ANSI A108.1A and is sloped 1/4 inch per foot toward drains.
- C. Blending: For tile exhibiting color variations, verify that tile has been factory blended and packaged so tile units taken from one package show same range of colors as those taken from other packages and match approved Samples. If not factory blended, either return to manufacturer or blend tiles at Project site before installing.
- D. Field-Applied Temporary Protective Coating: If indicated under tile type or needed to prevent grout from staining or adhering to exposed tile surfaces, pre-coat them with continuous film of temporary protective coating, taking care not to coat unexposed tile surfaces.

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3.3 TILE INSTALLATION

- A. Comply with TCNA's "Handbook for Ceramic Tile Installation" for TCNA installation methods specified in tile installation schedules. Comply with parts of the ANSI A108 Series "Specifications for Installation of Ceramic Tile" that are referenced in TCNA installation methods, specified in tile installation schedules, and apply to types of setting and grouting materials used.
- B. Extend tile work into recesses and under or behind equipment and fixtures to form complete covering without interruptions unless otherwise indicated. Terminate work neatly at obstructions, edges, and corners without disrupting pattern or joint alignments.
- C. Accurately form intersections and returns. Perform cutting and drilling of tile without marring visible surfaces. Carefully grind cut edges of tile abutting trim, finish, or built-in items for straight aligned joints. Fit tile closely to electrical outlets, piping, fixtures, and other penetrations so plates, collars, or covers overlap tile.
- D. Jointing Pattern: Lay tile in brick-pattern indicated. Unless otherwise indicated, lay out tile work and center tile fields in both directions in each space or on each wall area. Lay out tile work to minimize the use of pieces that are less than half of a tile. Provide uniform joint widths unless otherwise indicated.
 - 1. Lay porcelain tile (PT) in patterns indicated on drawings with a 1/3 overlap layout.
 - 2. Where adjoining tiles on floor, base, walls, or trim are specified or indicated to be same size, align joints.
- E. Joint Widths: Unless otherwise indicated, install tile with the following joint widths:
 - 1. Porcelain Tile: 1/8 inch.
- F. Lay out wall tile heights to dimensions indicated.
- G. Install surface bullnose at the top of every tiled wall.
- H. Install inside and outside corner cove pieces.
- I. Exposed tile edges that do not have factory finished eased surfaces shall be smoothly ground. Architect shall approve sample prior to installation.
- J. Expansion Joints: Provide expansion joints and other sealant-filled joints, including control, contraction, and isolation joints, where required by TCNA. Form joints during installation of setting materials, mortar beds, and tile. Do not saw-cut joints after installing tiles.
 - 1. Where expansion joints occur in concrete substrates, locate joints in tile surfaces directly above them.
 - 2. Prepare joints and apply sealants to comply with requirements in Division 7 Section "Joint Sealants."
 - 3. Provide 3/16" control joints within the tile pattern, ~~minimum of 12' x 12' area. Do not cut tiles to install the control joint.~~ **per drawings SK-022 thru SK-024.**
 - 4. Provide 1/4" control joint at the perimeter.
- K. Grout Sealer: Apply grout sealer to cementitious grout joints in tile floors according to grout-sealer manufacturer's written instructions. As soon as grout sealer has penetrated grout joints, remove excess sealer and sealer from tile faces by wiping with soft cloth.
- L. Install tile over ~~gypsum~~ **glass-mat tile** backer panels in showers and wet areas including sink and toilet walls.

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- M. Install tile over crack isolation membrane ~~where tile area exceeds 1000 square feet~~ at all tile flooring and control or expansion joints are indicated.
- N. Install tile over combination waterproof/crack isolation adhesive on all conditions above grade. Install reinforcing cove fabric at the intersection of wall/floor and at floor drains.
- O. Use proper trowel:mortar:tile size ratio per TCNA most current issue.
- P. Minimize cutting of large format tiles around floor drains. The design intent of the use/location of PT4 is to be centered on floor drains to prevent/minimize cutting of large format tiles.

3.4 TILE BACKING PANEL INSTALLATION

- A. Install fiberglass-mat backer units and treat joints according to ~~ANSI A108.11~~ **ASTM C1178** and manufacturer's written instructions for type of application indicated. Use latex-portland cement mortar for bonding material unless otherwise directed in manufacturer's written instructions.

3.5 MOVEMENT JOINTS

- A. Install movement joints according to Method EJ171 – Contraction Joint.
 - 1. Saw cut control joints in slab directly below sealant and back-up material.

3.6 CLEANING AND PROTECTING

- A. Cleaning: On completion of placement and grouting, clean all tile surfaces so they are free of foreign matter.
 - 1. Remove epoxy and latex-portland cement grout residue from tile as soon as possible.
 - 2. Clean grout smears and haze from tile according to tile and grout manufacturer's written instructions but no sooner than 10 days after installation. Use only cleaners recommended by tile and grout manufacturers and only after determining that cleaners are safe to use by testing on samples of tile and other surfaces to be cleaned. Protect metal surfaces and plumbing fixtures from effects of cleaning. Flush surfaces with clean water before and after cleaning.
 - 3. Remove temporary protective coating by method recommended by coating manufacturer and that is acceptable to tile and grout manufacturer. Trap and remove coating to prevent drain clogging.
- B. Protect installed tile work with kraft paper or other heavy covering during construction period to prevent staining, damage, and wear. If recommended by tile manufacturer, apply coat of neutral protective cleaner to completed tile walls and floors.
- C. Prohibit foot and wheel traffic from tiled floors for at least seven days after grouting is completed.
- D. Before final inspection, remove protective coverings and rinse neutral protective cleaner from tile surfaces.

3.7 INTERIOR TILE INSTALLATION SCHEDULE

- A. Interior Wall Installations, Metal Studs or Furring:
 - 1. Tile Installation TCNA W243: Thin-set mortar on gypsum board.
 - a. Thin-Set Mortar: Latex- portland cement mortar.

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- b. Grout. Install according to ANSI A108.10:
 - 1) Sanded grout.
 - c. Gypsum Board: ASTM C36 and GA-216.
 - d. Tile: ANSI A108.5.
 - B. Interior Wall Installations, Metal Studs or Furring in wet areas, including showers, sink, and toilet fixture/urinal walls:
 - 1. Tile Installation TCNA ~~W243~~**W245**: Thin-set mortar on gypsum board tile glass-mat backer unit.
 - a. Thin-Set Mortar: Latex- portland cement mortar.
 - b. Grout. Install according to ANSI A108.10:
 - 1) Sanded grout.
 - c. Gypsum tile glass-mat tile backer unit: ASTM C1178.
 - C. Interior Floor Installations, Thin-set mortar on concrete subfloor slab on grade **with crack isolation membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F413~~**F125A**-07: thin-set mortar on concrete subfloor.
 - 2. **Grout: Install according to ANSI A108.20:**
 - a. **Sanded grout.**
 - 3. **Crack Isolation Membrane: ANSI A118.21.**
 - 4. **Reference structural drawings S-102 thru S-104 for slab depression locations and depth. The design intent at slab depressions is:**
 - a. **Tile shall be level with all adjacent dissimilar floor finishes.**
 - b. **Tile shall slope to drain at all drain conditions.**
 - D. Interior Floor Installations, Thin-set mortar on concrete subfloor slab above grade **with crack isolation membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F422~~**F125A**-07: thin-set mortar on above grade concrete subfloor.
 - a. **Grout. Install according to ANSI A108.10:**
 - 1) **Sanded grout.**
 - ~~1-2.~~ **Crack Isolation Membrane: ANSI A118.21.**
 - 3. Use manufacturer's designated mortar and grout for above grade concrete subfloors.
 - E. Interior Floor Installations, Thin-set mortar on concrete subfloor slab above grade **with combination crack isolation and waterproof membrane membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F122~~**F122**-07: thin-set mortar on above grade concrete subfloor.
 - 2. **Waterproof Membrane: ANSI A118.10.**
 - a. **Grout. Install according to ANSI A108.10:**
 - 1) **Sanded grout.**
 - 3. **Use manufacturer's designated mortar and grout for above grade concrete subfloors.**
 - 4. **Use at all above grade drain conditions including toilets and concession areas.**
 - 5. **Reference structural drawings S-102 thru S-104 for slab depression locations and depth.**
- 3.8 SCHEDULE OF TILE:
- A. PT: Ergon Stone Project Falda Naturale 98670R white, 23-5/8" x 47-1/4".
 - B. PT1: Ergon Stone Project Falda Naturale 98678R grey, 23-5/8" x 47-1/4".
 - C. PT2: Ergon Stone Project Falda Naturale 89670 white, 6-5/16" x 11-13/16" cove.
 - D. PT3: Ergon Stone Project Falda Naturale M63660 white, 11-13/16" x 23-5/8" deco strip.

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- E. PT4: Ergon Stone Project Falda Naturale I30678 grey, 11-13/16" x 15-3/4" mosaic sheet.
- F. PT5: Ergon Stone Project Falda Naturale 89678 grey, 6-5/16" x 11-13/16" cove.
- G. PT6: Ergon Stone Project Falda Naturale M63668 grey, 11-13/16" x 23-5/8" deco strip.
- H. PT7: Ergon Stone Project Falda Naturale 88660R, white, 3-3/8" x 23-5/8" surface bullnose.
- I. PT8: Ergon Stone Project Falda Naturale 63670R white, 11-3/16" x 23-5/8".

END OF SECTION 09 30 13

SECTION 09 72 00 - WALL COVERINGS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.**

1.2 SUMMARY

- A. Section Includes:**
 - 1. Tackable wall covering.**

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.**
 - 1. Include data on physical characteristics, durability, fade resistance, and fire-test-response characteristics.**
- B. Samples: For each type of wall covering and for each color, pattern, texture, and finish specified, 8.5 x 11 inches in size.**

1.4 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For wall coverings to include in maintenance manuals.**

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Test-Response Characteristics: As determined by testing identical wall coverings applied with identical adhesives to substrates according to test method indicated below by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.**
 - 1. Surface-Burning Characteristics: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.**
 - a. Flame-Spread Index: 25 or less.**
 - b. Smoke-Developed Index: 450 or less.**

2.2 TACKABLE WALL COVERING

- A. Basis-of-Design Product: Subject to compliance with requirements, provide Walltalkers Tac-Wall or comparable product.**
- B. Description: Provide products in rolls from same production run and complying with the following:**
 - 1. Type II, Medium Duty products.**
- C. Gauge: 1/4" (6mm).**
- D. Width: 47 inches.**
- E. Colors, Textures, and Patterns: Sandalwood.**

2.3 TACKABLE WALL-COVERING INSTALLATION

- A. Comply with wall-covering manufacturers' written installation instructions applicable to products and applications indicated.**
- B. Cut wall-covering strips in roll number sequence. Change the roll numbers at partition breaks and corners.**
- C. Install strips in same order as cut from roll.**
 - 1. For solid-color, even-texture, or random-match wall coverings, reverse every other strip.**
- D. Install wall covering without lifted or curling edges and without visible shrinkage.**
- E. Install seams vertical and plumb at least 6 inches (150 mm) from outside corners and 6 inches (150 mm) from inside corners unless a change of pattern or color exists at corner. Horizontal seams are not permitted.**
- F. Trim edges and seams for color uniformity, pattern match, and tight closure. Butt seams without overlaps or gaps between strips.**
- G. Fully bond wall covering to substrate. Remove air bubbles, wrinkles, blisters, and other defects.**

2.4 CLEANING

- A. Remove excess adhesive at seams, perimeter edges, and adjacent surfaces.**
- B. Use cleaning methods recommended in writing by wall-covering manufacturer.**
- C. Replace strips that cannot be cleaned.**

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- D. Reinstall hardware and hardware accessories, electrical plates and covers, light fixture trims, and similar items.**

END OF SECTION 09 72 00

SECTION 09 83 16 – ACOUSTICAL FINISH SYSTEM

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Spray-applied acoustic ceiling finish system.
- B. Related Sections:
 - 1. Section 092900 "Gypsum Board" for gypsum board substrate.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Manufacturer's certification.
- C. Written certification indicating that the materials contain no asbestos, fiberglass or other man-made mineral fibers.
- D. Samples: 12 inch square sample showing the finish and color on the specified substrate.

1.4 QUALITY ASSURANCE

- A. Manufacturer's Qualifications: ISO 9001:2008 Certified.
- B. Fire-Test-Response Characteristics: Provide acoustical finish system meeting the following as determined by testing identical products by UL or another testing and inspecting agency acceptable to authorities having jurisdiction:
 - 1. Surface-Burning Characteristics: As determined by testing per ASTM E 84.
- C. Mockups: Install mockups of at least 100 sq. ft. (9 sq. m) in surface area to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Use the same tools and techniques to be used for the actual application.
 - 2. Simulate finished lighting conditions for review of mockups.
 - 3. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver in original, unopened containers bearing name of manufacturer and product identification.

- B. Store materials dry, off ground and under cover.
- C. Protect liquid adhesive, sealers, and additives from freezing.

1.6 PROJECT CONDITIONS

- A. Room Temperatures: Maintain temperatures at not less than 55 deg F (13 deg C) or greater than 80 deg F (27 deg C) for at least seven days before application, continuously during application, and for seven days after finish system has set or until plaster has dried.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Subject to compliance with requirements, provide products by the following:
 - 1. International Cellulose Corporation, SonaKrete Acoustical Finish System
 - 2. Or Approved Equal.

2.2 MISCELLANEOUS MATERIALS

- A. Water for Mixing and Finishing: Potable and free of substances capable of affecting set or of damaging materials.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates for compliance with requirements and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.
- C. Gypsum Board substrates require a minimum level 3 finish.

3.2 PREPARATION

- A. Protect adjacent work from soiling, spattering, moisture deterioration, and other harmful effects caused by finish system application.
- B. Coordinate the installation of acoustic finish with work of other trades.

3.3 APPLICATION

- A. Install to thickness indicated.
- B. Install according to manufacturer's written instructions.

- C. After achieving the required thickness and while still wet, float the material to match the approved field sample.
- D. Cure the material with continuous natural or mechanical ventilation.

3.4 PROTECTION

- A. Remove temporary protection and enclosure of other work. Protect finished installation until Substantial Completion.

END OF SECTION 098316

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ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	
B001	Corridor	CPT1	RB	PNT	PNT	PNT	PNT	EXISTING	-	
B002	Men's Restroom	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B003	Women's Restroom	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B004	Janitors Closet	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B005	Stair Access	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B006	Existing Basement	--	--	PNT	PNT	PNT	PNT	EXP	--	
B007	Electrical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B008	Electrical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B009	Future Stair	--	--	--	--	--	--	--	--	
B010	Boiler	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B011	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B012	Passage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B013	Mechanical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
101	Vestibule	PT	-	GL	AL	GL	GL	GB	PNT	
102	Lobby	PT/CPT1	WD	PNT	PNT	PNT3	PNT	SAP/AP1/EXP/GB	PNT1/--/--/PNT	REF. INTERIOR ELEVATIONS FOR WOOD PANEL LOCATION.
103	Box Office	CPT1	RB	PNT	PNT	PNT	PNT	AM1	--	
104	Concessions	PT	PT2	PNT	PNT5	PNT	--	GB	PNT	PNT5 SHALL BE EPOXY
105	Storage	SC	RB	PNT2/FRP	PNT2	PNT2	PNT2/FRP	AM1	--	
106	Multi-Purpose Room	CPT1	WD	PNT	PNT	PNT	PNT	AP/GB	--	
106A	SLL	CPT1	WD	FAA	FAA	FAA	FAA	GB	PNT	
106B	Storage	SV	RB	PNT3	PNT3	PNT3	PNT3	EXP	--	
107	Dressing Room	CPT	RB	PNT	PNT	PNT	PNT	AM1	--	Note 6
107A	Toilet	PT4	PT2	PT3/PT6/PNT2	PNT2	PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
108	Women	PT4/PT8	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
109	Family	PT4	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
110	Men	PT4/PT8	PT2	PT3/PT6/PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
117	Stage	PNT8	-	PNT7	PNT7	PNT7	-	REF		NEW PORTIONS OF STAGE SHALL BE PAINTED TO MATCH EXISTING. REFER TO DRAWINGS FOR EXTENT/TYPE OF FINISH.
118	Auditorium	SC/CPT	WD	WW/PNT6	WW/PNT6	WW/PNT6	WW/PNT6	EXISTING	PNT6	
118A	SLL	CPT	WD	FAA	FAA	FAA	FAA	EXP	--	FAA TO 8'-0" A.F.F./ PNT6 ABOVE
118B	SLL	SC	RB	DL	DL	DL	DL	EXP	--	
119	Lobby	CPT1	WD	PNT	PNT	PNT	PNT	EXISTING	PNT	CEILING PATCHING REQUIRED
120	Concessions	PT	PT2	PNT	PNT	PNT5	PNT	GB	PNT1	NO NEW FINISHES IN ADJACENT STORAGE ROOM. PNT5 SHALL BE EPOXY.
121	Tickets	CPT1	RB	PNT	PNT	PNT	PNT	EXISTING	--	
122	Toilet	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
123	SLL	CPT	WD	FAA	FAA	FAA	FAA	GB	PNT6	
125	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	AM1	--	
126	SLL	CPT	WD	FAA	FAA	FAA	FAA	GB	PNT6	
127	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
129	Sound Booth	SC	RB	PNT6	PNT6	PNT6	PNT6	EXISTING	PNT6	FIXED ACOUSTICAL ABSORPTION PER INTERIOR ELEVATIONS
200	Mezzanine Lobby	PT/CPT1	WD	PNT	PNT	PNT3	PNT	SAP/AP1/EXP/GB	PNT1/--/--/PNT	REF. INTERIOR ELEVATIONS FOR WOOD PANEL LOCATION.
201	Storage	PT	PT2	PNT2/FRP	PNT2	PNT2	PNT2/FRP	GB	PNT2	
202	Concessions	PT	PT2	PNT	PNT5	PNT	PNT	EXP	--	PNT5 SHALL BE EPOXY
203	Men	PT8/PT4	PT2	PT3/PT6/PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
204	Family	PT	PT2	PT3/PT6/PNT2	PNT2	PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
205	Women	PT8/PT4	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.

ADDENDUM #2 - MARCH 21, 2013

ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	
206	Control Booth	SC	RB	PNT10	PNT10	PNT10	PNT10	AM3	—	
207	Storage	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	PNT1	
212	Mezzanine Lobby	CPT1	WD	PNT	PNT	PNT	PNT	GB	PNT	
214	Lower Mezzanine	WF/CPT	WD	PNT/FAA	PNT	PNT	PNT	EXISTING /NEW ACOUSTICAL DRAPE	—	REF. DRAWINGS FOR HIGH IMPACT WALL COVERING LOCATIONS
215	Janitor	SC	RB	PNT2/FRP	PNT2	PNT2	PNT2/FRP	EXP	—	
216	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
217	Stair Access	CPT1	WD	PNT2	PNT2	PNT2	PNT2	GB	PNT2	
217A	Elevator Access	CPT1	WD	PNT2	PNT2	PNT2	PNT2	GB	PNT2	
218	Storage	SC	RB	PNT2	PNT2	PNT2	PNT2	AP	PNT2	
219	Upper Mezzanine	WF/CPT	WD	PNT/FAA	PNT	PNT	PNT	EXISTING /NEW GB/NEW ACOUSTICAL DRAPE	—	FAA @ UPPER MEZZANINE, NORTH WALL. REF. QT DRAWINGS. REF. AE-124 FOR CEILING FINISHES.
300	Terrace Lobby	PT	WD	PNT	PNT	PNT	PNT	METAL BAR CEILING W/DL ABOVE	—	CEILING IS METAL BAR GRATING WITH SPRAY APPLIED ABSORPTION ABOVE. REF. DRAWINGS FOR DETAILS.
303	Concessions	PT	PT2	PNT2	PNT2	PNT2	PNT5	AM2	—	PNT5 SHALL BE EPOXY
304	Toilet	PT4	PT2	PNT2	PT3/PNT2	PT3/PNT2	PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
305	Toilet	PT4	PT2	PT3/PNT2	PNT2	PNT2	PT3/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
306	IT	SC	RB	PNT2	PNT2	PNT2	PNT2	GB/EXP	PNT/--	
307	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
308	SLL	SC	RB	DL	DL	DL	DL	DL	—	DL FULL HEIGHT, PINNED TO STRUCTURE ABOVE
309	AV	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
310	Dimmer	SC	RB	PNT2	PNT2	PNT2	PNT2	GB/EXP	PNT/--	
311	Corridor	SC	RB	PNT	PNT	PNT	PNT	GB	PNT1	
312	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	—	
316	Janitor	SC	RB	PNT2/FRP	PNT2/FRP	PNT2/FRP	PNT2/FRP	EXP	—	
318	Elev. Equip.	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-A	Stair A	PT	--	GL	PNT	PNT	PNT	EXP	—	
ST-B	Stair B	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-C	Stair C	-	-	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-E	Stair E	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-F	Stair F	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-J	Stair J	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-K	Stair K	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	

ADDENDUM #2 - MARCH 21, 2013

ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	

LEGEND	(refer to specification sections for legend abbreviations)
AM1	2' x 2' mineral fiber
AM2	2' X 4' fiberglass, black
AP	Acoustical plaster - spray applied
AP1	Wood panel ceiling
CPT	6' carpet sheet goods
CPT1	Carpet tile
DL	Duct liner, black
FAA	Fixed acoustical absorption
FRP	Fiberglass reinforced panel
GB	Gypsum board
GL	Glass
HWC	High impact wall covering
PT	Porcelain tile
PT1 - PT8	Porcelain tile

LEGEND	(refer to specification sections for legend abbreviations)
PNT	Paint
PNT1-10	Paint
REF	Reflector
RB	Rubber base
SAP	Sound absorbing acoustical plaster
SC	Stained
SV	Sheet Vinyl
WD	Wood wainscot
WF	Wood floor
WW	Wood wainscot

General Notes

1	Refer to reflected ceiling plans for location/extent of ceiling types and ceiling heights. AP1 shall have acoustical spray ceiling above.
2	Refer to drawings and interior elevations for location of finishes, wood wainscot, wood veneer panels, reflectors, and fixed acoustical absorption
3	Exposed steel columns shall be PNT-9. Reference specifications.
4	Refer to drawings for finishes on stage cheek walls and reflector.
5	Refer to drawings and interior elevations for clarification/extent of finishes.
6	Reference specification Section 09 72 00 for tackable wall covering at makeup counter.

SECTION 312000 - EARTH MOVING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

- 1. Preparing subgrades for slabs-on-grade.
 - 2. Excavating and backfilling for buildings and structures.

- B. Related Sections:

- 1. Section 013233 "Photographic Documentation" for recording preexcavation and earth moving progress.
 - 2. Section 015000 "Temporary Facilities and Controls" for temporary controls, utilities, and support facilities; also for temporary site fencing if not in another Section.
 - 3. Section 033000 "Cast-in-Place Concrete" for granular course if placed over vapor retarder and beneath the slab-on-grade.

1.3 DEFINITIONS

- A. Borrow Soil: Satisfactory soil imported from off-site for use as fill or backfill.
- B. Drainage Course: Aggregate layer supporting the slab-on-grade that also minimizes upward capillary flow of pore water.
- C. Excavation: Removal of material encountered above subgrade elevations and to lines and dimensions indicated.
 - 1. Authorized Additional Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions as directed by Architect. Authorized additional excavation and replacement material will be paid for according to Contract provisions for changes in the Work.
 - 2. Bulk Excavation: Excavation more than 10 feet (3 m) in width and more than 30 feet (9 m) in length.
 - 3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation.
- D. Fill: Soil materials used to raise existing grades.

- E. Rock: Rock material in beds, ledges, unstratified masses, conglomerate deposits, and boulders of rock material 3/4 cu. yd. (0.57 cu. m) or more in volume that exceed a standard penetration resistance of 100 blows/2 inches (97 blows/50 mm) when tested by a geotechnical testing agency, according to ASTM D 1586.
- F. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appurtenances, or other man-made stationary features constructed above or below the ground surface.
- G. Subgrade: Uppermost surface of an excavation or the top surface of a fill or backfill immediately below subbase, drainage fill, drainage course, or topsoil materials.
- H. Utilities: On-site underground pipes, conduits, ducts, and cables, as well as underground services within buildings.

1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For qualified testing agency.
- B. Material Test Reports: For each on-site and borrow soil material proposed for fill and backfill as follows:
- C. Preexcavation Photographs or Videotape: Show existing conditions of adjoining construction and site improvements, including finish surfaces, that might be misconstrued as damage caused by earth moving operations. Submit before earth moving begins.

1.5 QUALITY ASSURANCE

- A. Geotechnical Testing Agency Qualifications: Qualified according to ASTM E 329 and ASTM D 3740 for testing indicated.
- B. Preexcavation Conference: Conduct conference at Project site.

1.6 PROJECT CONDITIONS

- A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during earth moving operations.
 - 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
 - 2. Provide alternate routes around closed or obstructed traffic ways if required by Owner or authorities having jurisdiction.
- B. Improvements on Adjoining Property: Authority for performing earth moving indicated on property adjoining Owner's property will be obtained by Owner before award of Contract.
 - 1. Do not proceed with work on adjoining property until directed by Architect.

- C. Utility Locator Service: Notify utility locator service for area where Project is located before beginning earth moving operations.
- D. Do not commence earth moving operations until temporary erosion- and sedimentation-control measures, specified in Section 015000 "Temporary Facilities and Controls," are in place.

PART 2 - PRODUCTS

2.1 SOIL MATERIALS

- A. General: Provide borrow soil materials when sufficient satisfactory soil materials are not available from excavations.
- B. Subbase Material: In accordance with Geotechnical Report.
- C. Engineered Fill: In accordance with Geotechnical Report.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout, and other hazards created by earth moving operations.
- B. Protect and maintain erosion and sedimentation controls during earth moving operations.
- C. Protect subgrades and foundation soils from freezing temperatures and frost. Remove temporary protection before placing subsequent materials.

3.2 DEWATERING

- A. Prevent surface water and ground water from entering excavations, from ponding on prepared subgrades, and from flooding Project site and surrounding area.
- B. Protect subgrades from softening, undermining, washout, and damage by rain or water accumulation.
 - 1. Reroute surface water runoff away from excavated areas. Do not allow water to accumulate in excavations. Do not use excavated trenches as temporary drainage ditches.

3.3 EXCAVATION FOR STRUCTURES

- A. Excavate to indicated elevations and dimensions within a tolerance of plus or minus 1 inch (25 mm). If applicable, extend excavations a sufficient distance from structures for placing and removing concrete formwork, for installing services and other construction, and for inspections.
 - 1. Excavations for Footings and Foundations: Do not disturb bottom of excavation. Excavate by hand to final grade just before placing concrete reinforcement. Trim bottoms to required lines and grades to leave solid base to receive other work.
 - 2. Pile Foundations: Stop excavations 6 to 12 inches (150 to 300 mm) above bottom of pile cap before piles are placed. After piles have been driven, remove loose and displaced material. Excavate to final grade, leaving solid base to receive concrete pile caps.

3.4 SUBGRADE INSPECTION

- A. Notify Geotechnical Engineer when excavations have reached required subgrade.
- B. If Geotechnical Engineer determines that unsatisfactory soil is present, continue excavation and replace with compacted backfill or fill material as directed.
- C. Authorized additional excavation and replacement material will be paid for according to Contract provisions for changes in the Work.
- D. Reconstruct subgrades damaged by freezing temperatures, frost, rain, accumulated water, or construction activities, as directed by Architect, without additional compensation.

3.5 UNAUTHORIZED EXCAVATION

- A. Fill unauthorized excavation under foundations or wall footings by extending bottom elevation of concrete foundation or footing to excavation bottom, without altering top elevation. Lean concrete fill, with 28-day compressive strength of 2500 psi (17.2 MPa), may be used when approved by Architect.
 - 1. Fill unauthorized excavations under other construction, pipe, or conduit as directed by Architect.

3.6 STORAGE OF SOIL MATERIALS

- A. Stockpile borrow soil materials and excavated satisfactory soil materials without intermixing. Place, grade, and shape stockpiles to drain surface water. Cover to prevent windblown dust.
 - 1. Stockpile soil materials away from edge of excavations. Do not store within drip line of remaining trees.

3.7 BACKFILL

- A. Place and compact backfill in excavations promptly, but not before completing the following:

1. Construction below finish grade including, where applicable, subdrainage, dampproofing, waterproofing, and perimeter insulation.
2. Surveying locations of underground utilities for Record Documents.
3. Testing and inspecting underground utilities.
4. Removing concrete formwork.
5. Removing trash and debris.
6. Removing temporary shoring and bracing, and sheeting.
7. Installing permanent or temporary horizontal bracing on horizontally supported walls.

- B. Place backfill on subgrades free of mud, frost, snow, or ice.

3.8 SOIL FILL

- A. Plow, scarify, bench, or break up sloped surfaces steeper than 1 vertical to 4 horizontal so fill material will bond with existing material.
- B. Place and compact fill material in layers to required elevations as follows:
1. Under grass and planted areas, use satisfactory soil material.
 2. Under walks and pavements, use satisfactory soil material.
 3. Under steps and ramps, use engineered fill.
 4. Under building slabs, use engineered fill.
 5. Under footings and foundations, use engineered fill.
- C. Place soil fill on subgrades free of mud, frost, snow, or ice.

3.9 SOIL MOISTURE CONTROL

- A. Uniformly moisten or aerate subgrade and each subsequent fill or backfill soil layer before compaction to within 2 percent of optimum moisture content.
1. Do not place backfill or fill soil material on surfaces that are muddy, frozen, or contain frost or ice.
 2. Remove and replace, or scarify and air dry, otherwise satisfactory soil material that exceeds optimum moisture content by 2 percent and is too wet to compact to specified dry unit weight.

3.10 COMPACTION OF SOIL BACKFILLS AND FILLS

- A. Place backfill and fill soil materials in accordance with Geotechnical Report.

3.11 FIELD QUALITY CONTROL

- A. Special Inspections: Owner will engage a qualified special inspector to perform the following special inspections:

1. Determine prior to placement of fill that site has been prepared in compliance with requirements.
 2. Determine that fill material and maximum lift thickness comply with requirements.
 3. Determine, at the required frequency, that in-place density of compacted fill complies with requirements.
- B. Testing Agency: Owner will engage a qualified geotechnical engineering testing agency to perform tests and inspections.
- C. Allow testing agency to inspect and test subgrades and each fill or backfill layer. Proceed with subsequent earth moving only after test results for previously completed work comply with requirements.
- D. Footing Subgrade: At footing subgrades, at least one test of each soil stratum will be performed to verify design bearing capacities. Subsequent verification and approval of other footing subgrades may be based on a visual comparison of subgrade with tested subgrade when approved by Architect.
- E. Testing agency will test compaction of soils in place according to ASTM D 1556, ASTM D 2167, ASTM D 2922, and ASTM D 2937, as applicable. Tests will be performed at the following locations and frequencies:
1. Building Slab Areas: At subgrade and at each compacted fill and backfill layer, at least one test for every 2000 sq. ft. (186 sq. m) or less of paved area or building slab, but in no case fewer than three tests.
 2. Foundation Wall Backfill: At each compacted backfill layer, at least one test for every 100 feet (30 m) or less of wall length, but no fewer than two tests.
- F. When testing agency reports that subgrades, fills, or backfills have not achieved degree of compaction specified, scarify and moisten or aerate, or remove and replace soil materials to depth required; recompact and retest until specified compaction is obtained.

3.12 PROTECTION

- A. Protecting Graded Areas: Protect newly graded areas from traffic, freezing, and erosion. Keep free of trash and debris.
- B. Repair and reestablish grades to specified tolerances where completed or partially completed surfaces become eroded, rutted, settled, or where they lose compaction due to subsequent construction operations or weather conditions.
1. Scarify or remove and replace soil material to depth as directed by Architect; reshape and recompact.
- C. Where settling occurs before Project correction period elapses, remove finished surfacing, backfill with additional soil material, compact, and reconstruct surfacing.
1. Restore appearance, quality, and condition of finished surfacing to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

3.13 DISPOSAL OF SURPLUS AND WASTE MATERIALS

- A. Remove surplus satisfactory soil and waste materials, including unsatisfactory soil, trash, and debris, and legally dispose of them off Owner's property.
- B. Transport surplus satisfactory soil to designated storage areas on Owner's property. Stockpile or spread soil as directed by Architect.
 - 1. Remove waste materials, including unsatisfactory soil, trash, and debris, and legally dispose of them off Owner's property.

END OF SECTION 312000

No.	Date Received	Question	Response
1	3/8/2013	Specification 051200 indicates the Structural Steel Fabricator and Installer are to be AISC Certified. There are currently only 3 Certified Steel Fabricators and 1 Certified Installer in western Colorado. Will this requirement be waived for this project?	The AISC Certification requirement is not waived for the Structural Steel Fabricator, but is waived for the Structural Steel Installer.
2	3/8/2013	Division 31 Excavation is missing from the Project Documents. Please provide.	This will be reflected in Addendum No. 2
3	3/8/2013	The Contract Documents reference Liquidated Damages (Article 73.III) but the amount is not specified. Please clarify if Liquidated Damages are to be a part of the Contract and if so, how are they to be calculated.	Liquidated Damages are required at an amount of \$1,000/day.
4	3/8/2013	I don't see any Division 1 LEED requirements - See Section 230913 (Variable Freq. Drives) calls for LEED reporting requirements. Verify if Project has any LEED requirements at all.	LEED is not required on this project.
5	3/8/2013	Duct Cleaning - Existing Ductwork is noted to be retained at the Main Lobby and above the Stage area. Confirm this is the only intended (outright) duct cleaning requirement.	Duct cleaning of existing duct is not required.
6	3/8/2013	Project Elevation is 4,588.61 ASL. Engineering schedules comment on 5,000' and 5,500' ASL de-ratings. Do they mean to be that far off?	Use Project Elevation 4,588.61 ASL
7	3/8/2013	Will a sump pit be formed/poured into elevator shaft pit (Details 1A & 1B - S-503)? There is a Key Note 455 referenced on sheet AE-433, however that Key Note does not exist.	Yes. A sump pit is required in the elevator shaft pit. The correction has been made on Addendum #2.
8	3/8/2013	The requirement to support all piping, ductwork, refrigerant lines, (as well as electrical conduit, fire protection lines, etc.) from walls and not stage structure (Key Note #1 - PL-100) might suggest one COMMON trapeze support section in this area.	This note is intended to limit hanging any equipment, piping, ductwork, etc. from ceiling in these rooms below the stage for acoustic isolation purposes. This equipment, piping, ductwork, etc... is to be wall and/or floor supported only.
9	3/8/2013	Division 33 Utilities is missing from the Project Documents. Please provide.	See S-1 for City Utility Contact information
10	3/8/2013	FP-100 and PL-200 indicate the existing 4" water service is to be replaced with a 6" service, however the Civil drawings do not this work. Please clarify.	The existing fire line connection is a 6" and is just reduced at the building to a 4"
11	3/8/2013	The Elevator Pit requires a Weil #1413 sump pump, that eventually drains into the Janitor's mop sink basin at Janitor's 215. This device is NOT an oil-separator device required by code (you cannot pump oil into the sanitary sewer system). Engineer should change specification to an oil-separator device.	Oil minder system that shuts down the pump and alarms when oil is detected has been added in this Addendum #2.
12	3/8/2013	Specification 042000 Part 2.2 B.1 specifies a CMU with 2800 psi average. ASTM standard is 1900psi. The block will need to be specifically manufactured to get to these strengths and doing so adds to the cost.	CMU is to be 1900 PSI minimum net compressive strength. This will be shown in Addendum No. 2
13	3/12/2013	Summary Section 011000.1.7.A Full Owner Occupancy – What is the intent of this requirement? I.e. It will be impossible to maintain emergency egress from the existing Mezzanine and Auditorium during construction of the addition.	This requirement has been removed and is shown in Addendum No. 1
14	3/12/2013	Section 015000.3.2.I Lighting – Is a lighted Project Identification sign required?	A lighted Project Identification sign is not required.
15	3/12/2013	Are stairs E & F constructed of steel or wood?	The stairs are constructed of wood.
16	3/12/2013	Please provide information for the canopy at Door 101E.	Provided in Addendum No. 1
17	3/12/2013	Please provide size information for the steel channel (Keynote 492) as shown on elevations 1/AE-201 and 1/AE-202.	The channel is C12x20.7 - Please see structural framing plans.
18	3/12/2013 Pre-Bid Mtg.	Are the screw piles supposed to have a corrosion protection applied?	Corrosion protection is not required.
19	3/12/2013 Pre-Bid Mtg.	Are "As-Built" drawings available for review of existing Avalon structure?	As-Built drawings of the existing structure are extremely limited and would not be useful for the Bid Phase. However, they will be made available to the winning bidder for the Construction Phase.

No.	Date Received	Question	Response
20	3/12/2013 Pre-Bid Mtg.	Contractor's Project Insurance: Should the contractor's insurance cover the value of the Avalon Theatre building?	Yes.
21	3/12/2013 Pre-Bid Mtg.	Does the Contractor need to cover under his insurance the Owner supplied materials/equipment that the Contractor will install for the Owner?	Yes, the Contractor shall have insurance that covers the value of the Owner supplied materials/equipment.
22	3/12/2013 Pre-Bid Mtg.	Can the Owner identify the minimum deductible on the Builders Risk Insurance?	The minimum deductible on the Contractor's Builders Risk Insurance that the Owner is willing to accept is \$50,000.00.
23	3/12/2013 Pre-Bid Mtg.	Who is responsible for paying the building permit fee?	Per Addendum #1, the Owner will be paying for the building permit fees.
24	3/12/2013 Pre-Bid Mtg.	Is the Avalon Project tax exempt?	Yes, the Avalon Theatre Project is tax exempt and the Owner can provide the tax exempt number to the Contractor once a construction contract has been awarded.
25	3/13/2013	In reviewing your TYPES B1, B2, B3 lighting fixtures which are specified as Gotham with DMX control with Philips/Selecon as an Equal – along with a review of the drawings, we see a potential conflict. While the fixture schedule calls for these TYPES to have DMX control, the drawings are showing 0 – 10 volt control for these fixture types.	The DMX call-out for the B type fixtures has been removed in Addendum #2 and instead the 0-10V dimming has been listed.
26	3/13/2013	In lieu of a UL 1008 Emergency Transfer panel, we would propose providing a Strand A21 Dimmer Rack, fed with EM power for the EM house light circuits. Upon loss of normal power, the Emergency EM A21 panel would drive the EM fixtures to full. Because of the required additional relay for the 0 – 10 house lights, the dedicated EM panel and Phase Loss Panel is a more efficient method of providing EM lighting. We might also offer the Lutron DM dimming option on the house lights which would simplify the installation to a 2 wire house light system as an equal to the 0 – 10 option. Please note, the 0 – 10 dimming options and reverse phase DM Lutron options are not 1% dimming range solutions. In order to provide 1% dimming range Lutron 3 drivers will be required. If full range is required, DMX drivers as provided by the Philips house light will be required.	We cannot power the House Dimmer rack with EM power. The amount of EM power is minimal. It is provided by a lighting inverter system that is the smallest we can get away with for the project.
27	3/14/2013	Civil work / Site Demolition – we respectfully request that an existing conditions plan and site demolition plan be developed so as to clearly define the limits of removals of existing site improvements as well as maintaining the required interfaces with existing construction to remain.	An existing conditions plan is unavailable. Site verification or GIS map: http://arcgis-fs.ci.grandjct.co.us/gis_map_external/index.html?map=citymap are available.
28	3/14/2013	Civil drawing G-1 – please clarify replacement of concrete walks at north side of proposed addition. The note on the drawing simply states “ match existing”. Some of the existing concrete flatwork is standard grey concrete while other areas are colored and textured. Please clarify the specific requirements for exterior concrete flatwork – i.e limits of each color and texture.	Standard concrete walks are acceptable. Note scribed concrete pattern on S-1 to match lobby tile pattern.
29	3/14/2013	Civil work – if the existing sculpture artwork is to be re-installed by the City, it should be noted if there are any requirements in this contract scope of work for foundations or block outs on the exterior site pavements.	All work related to Sculpture Artwork (including removal, storage, foundations, reinstallation, etc...) is Not in Contract.
30	3/14/2013	Civil work – is existing asphalt pavement directly east of the proposed loading dock to remain or is it to be replaced with asphalt? Concrete paving? Please clarify.	Existing is to remain. Only walk shown immediately next to building is new work.
31	3/14/2013	Civil work – there are 2 sets of concrete stairs on grade noted at the pedestrian walk along the east wall of the proposed addition. Please provide detailing of stair construction.	Stairs are typical slab on grade concrete stairs. See Planning department typical details.
32	3/14/2013	Specification section 042000-section 2.3, B.6- face brick size is noted as Emperor – 15 9/16" long. This sized brick does not match the existing brick on the original theater walls. Please confirm that this is correct.	Brick Size confirmed. Color to match existing theater brick.

No.	Date Received	Question	Response
33	3/14/2013	Specification section 051200- section 1.8 A & B – both fabricator and erector qualifications require AISC certification. Can this requirement be waived? It will otherwise severely restrict the number of local and western CO firms that can bid the project.	Please see response to Question 1 above.
34	3/14/2013	Drawing AE-102- south wall of rooms 106 & 107 are noted as Type L.3 (8" CMU). Per drawing S-102, these walls are indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
35	3/14/2013	Drawing AE-102 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-102, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
36	3/14/2013	Drawing AE-102 – door to Stair B- please clarify door tag #.	Door is STB-1. Door tag reflected in Addendum No. 2
37	3/14/2013	Drawing AE-102 – Plan Note 113 indicates that the Base Bid scope of door opening 106 requires a pair- 4' x 9' doors. Please provide drawing the depicts the Base Bid scope as opposed to the Alternate (#19). Also, notation of drawing AE-601 calls for the Base Bid doors to be a pair of 5' x 9' doors. Please clarify.	The base bid door will be reflected in Addendum No. 2
38	3/14/2013	Drawing AE-601- please provide door, frame & hardware requirements for Base Bid door opening 106.	The base bid door will be reflected in Addendum No. 2
39	3/14/2013	Drawing AE-601 – Interior Window Schedule – sizes for Window Types 1 and 2 are reversed. Please correct schedule.	This change will be reflected in Addendum No. 2
40	3/14/2013	Drawing AE-601- Door opening 307A – the door is noted as an aluminum flush panel door type A and an aluminum door frame. However the details referenced for door frame jamb and head are for HM frame construction. Please clarify door, frame, and HW requirements for this opening.	This change will be reflected in Addendum No. 2
41	3/14/2013	Drawing AE-601- door opening 106B- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
42	3/14/2013	Drawing AE-601- door opening 101E- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
43	3/14/2013	Drawing AE-601 –door openings STB-1B and STB-3- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
44	3/14/2013	Drawing AE-103- door opening to north exterior balcony- please clarify door opening tag #.	This change will be reflected in Addendum No. 2
45	3/14/2013	Drawing AE-103- south wall of room 106 is noted as Type L.3 (8" CMU). Per drawing S-103, this wall is indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
46	3/14/2013	Drawing AE-103 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-103, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
47	3/14/2013	Drawing AE-104 – door at Stair B- please clarify door tag #.	This change will be reflected in Addendum No. 2
48	3/14/2013	Drawing AE-104- south wall of room 106 is noted as Type L.3 (8" CMU). Per drawing S-104, this wall is indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
49	3/14/2013	Drawing AE-104 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-104, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
50	3/14/2013	Drawing AE-105- south parapet wall of elevator override walls- appears to be a thru-wall scupper but is not identified nor detailed. Also is a downspout required? Please clarify.	This change will be reflected in Addendum No. 2
51	3/14/2013	Drawing AE-121 – rooms B007 and B010 indicate "Barrier Ceiling". What does this term mean? From site visit at pre-bid, it did not appear there was enough floor to structure above clearance for any kind of ceiling system. Please clarify.	See 11/AE-534. This ceiling is intended for sound control and allows no penetrations.

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52	3/14/2013	Drawing AE-302 – Building Section 2- section reference at elevator shaft notes 3/AE313. This appears to be incorrect and should be 3/AE343. Please confirm.	Drawing AE-302 – Building Section 2- section reference at elevator shaft notes 3/AE313. This tag should reference 2/AE433.
53	3/14/2013	Drawing AE-303 – Building Section 1 – section detail references at roof terrace canopy edges reference 6/AE314 and 1/AE314. This appears to be incorrect and should be 6/AE511 and 3/AE313. Please confirm.	Drawing AE-303 – Building Section 1 – section detail references at roof terrace canopy edges reference 6/AE314 and 1/AE314. These tags should be 6/AE511 and 1/AE313 respectively.
54	3/14/2013	Drawing AE-312 – Plan Note 360 notes that CW framing is 8". Per drawing AE-603, CW mullion framing is 8.5". Please clarify.	CW framing system is 8.5"
55	3/14/2013	Drawing AE-312 – Plan Note 497 call for 6" CW mullion framing. Per drawing AE-603 the W mullion framing is 5.5". Please clarify.	This change will be reflected in Addendum No. 2
56	3/14/2013	Drawing AE-312 – Wall Section 3 – top of CMU wall detail (4/AE-562) call for an EIFS coping assembly. However, the EIFS wall veneer terminates at the ceiling line below. Please clarify coping and adjacent top of wall detailing.	EIFS wall veneer continues to coping per detail. The ceiling line is incorrectly drawn.
57	3/14/2013	Drawing AE-312- Plan Note 467 – where does this note apply?	Plan Note 467 does not apply and has been omitted in Addendum #2.
58	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306.	
59	3/14/2013	1. Actual usage of suggested pathways, 1 – 3" conduit for projected 28 horizontal cables (Siemon fill Ratio for 3" conduit with 2 bends is 33 Cat 6A cables, 50% fill) and 1 – 3" conduit for Backbone feeder cable from existing POP/Demarc.	
60	3/14/2013	2. Concern: no conduits for Optimum or Century Link (if requested in the future) for feed cables to from basement Entrance Facility (EF) to room 306, usually these need to be dedicated pathways and home run.	We currently have (2) 4" conduit from MDF to 5" outside of building are provided for future city connection. Refer to sheets TE-201 (elevation #3), TE-401 (Callout #1), TE-901 and TE-902. Add (1) additional 3" conduit from EF in existing theatre basement to MDF in new theatre for a total of (3) 3" conduit, this will allow one extended demarc. The design intent was for all demarks to be in the EF.
61	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306. What is the requested pair count for the backbone feed cable from basement to MDF? No details on planning sheet at this time, if this is required or requested or pair count.	Sheet TE-601 Technology backbone riser calls out for 200 pair Cat 5e and (12) Cat 6A.
62	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306, at cross section 7 & E. Request an additional penetration and short sleeve into the pull box located in basement passage room B012 to reduce the overall cable length for any cables located on the east side of basement for horizontal cable runs.	Add (1) additional 3" conduit for horizontal cables in east side of basement
63	3/14/2013	RMTD requests additional information on Sheets TE-102, 103, 104, 105 Avalon WAPs located in the stage area?	
64	3/14/2013	1. What design has been developed for pathways to feed back to the Wire trays on the east side? No additional details for conduits or supports are on the plans at this time.	The intent is to use J-hooks and conduit as indicted on sheet TE-501 WAP details, and refer to specifications for proper cable support.
65	3/14/2013	Per Sheet TE-101, RMTD requests additional information on voice circuits for the FACP in room B007?	
66	3/14/2013	1. Currently only data cabling is requested in this room, other than a single wall mount location in the south west corner.	Provide (2) voice circuits to each FACP.
67	3/14/2013	RMTD requests additional information, per Sheet TE-401, 4 post open rack indicates 2 vertical wire managers, will this be provided by Avalon/others along with 4 post rack?	

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68	3/14/2013	1. If not, RMTD needs to know the brand and model of 4 post rack that Avalon/others will be providing to order the proper vertical wire managers.	No, the 4-post open rack and (2) vertical wire management is in the construction cost budget, refer to specifications for approved manufacturers. Item #12 (lockable enclosure) is provided by the city to be installed by contractor.
69	3/14/2013	RMTD requests additional information, per Sheet TE-201 Wall Elevation 3, a 3/4"X48"X48" AC Fire Retardant Plywood for Century Link Backboard will be installed which is mounted on a standoff design.	
70	3/14/2013	1. Request that the Plywood backboard be extended to span the entire length on this wall to accommodate the additional cabling that will be mounted/routed on this wall. Category 6A cable has a diameter of .31 which does not allow for the cables to route within the 89 style standoff, which are used for the termination of the horizontal voice and Backbone feeder cables, for the 66 style blocks. The "Furred" backboard is designed to allow cable penetration thru the plywood and the metal 66 block backboard, which increases the available space for the voice horizontal cross-connect. The "furred" wall also produces the ability to later add additional new cables without disturbing the existing cables and possibly disconnecting any phone in use. Please visit Fire Station 1 for an example of a non-furred wall, and see Fire Admin for a Furred Wall. Not only is the installation more efficient, this design creates a professional appearance and ascetically pleasing appearance.	Extend the plywood to cover the entire wall, this backboard is for City use,. Anything outside of City utilities must be approved by Richard White.
71	3/15/2013	Drawing AE-440 – new mezzanine stairs – what are they made of? How are they attached to adjacent construction? Please provide detailing of tread, riser, and stringer construction.	The stairs are wood framed and tie into wood framed walls shown on SE drawings.
72	3/15/2013	Drawing SE-102- infill of demolished stair opening in existing Lobby – floor joist infill framing and attachment of ledgers to existing walls is noted. However, what type of, and how many layer(s) of floor decking is required?	See plywood nailing schedule on sheet SE-001
73	3/15/2013	Drawing AE-312 – wall section #2 appears to be incomplete-missing materials identification, Plan Note #'s, references to larger scale details. Please clarify.	This change will be reflected in Addendum No. 2
74	3/15/2013	Drawing AE-431 – bottom landing of Stair A is indicated as a solid mass of concrete in section #5. Please provide detailing for this item of work.	Bottom landing to be bid as typical concrete construction for depth shown.
75	3/15/2013	Drawing AE-436 – a Toilet Room Accessories Legend is provided on this drawing sheet however the Legend Designations for each of the accessory items is not used on the enlarged Toilet Room Plans & Interior Elevations on drawings on AE-437, AE-438, and AE-439. Further complicating the issue, is that the Toilet Accessory schedule in spec section 102800 uses yet a different item designation number for each accessory item than the Legend on AE-436. Additionally, interior elevations are provided for the interior of HC stalls but not the standard stalls. Therefore the specific accessory requirements within the standard stalls are not known. Please clarify.	This change will be reflected in Addendum No. 2
76	3/18/2013	Will the bid date be postponed?	Yes. Bids must be received prior to 2 pm local time, March 28, 2013.
77	3/18/2013	Prequalification – The documents indicate that Contractors submitting bids must be prequalified with the City. If a joint venture is submitting a bid, do one or all of the JV entities need to be prequalified or does the JV entity need to be prequalified?	In the event of a JV, each partner would have to be separately prequalified with the City. They would not however have to be jointly qualified.
78	3/18/2013	Please provide construction details for the exterior ramps and loading dock.	Ramps are typical slab on grade concrete ramps. See Planning department typical details.
79	3/18/2013	Is the loading dock supported on screw piles?	No.
80	3/18/2013	Is a Frost Wall required at the loading dock?	No.
81	3/18/2013	What reinforcing is required at the loading dock walls?	All opening and voids in walls supporting the existing loading dock are to be infilled with masonry.

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82	3/18/2013	Are Frost Walls required at the ramps on Grid Line 10?	Yes.
83	3/18/2013	If Frost Walls are required, are the slabs to be constructed similar to 9/S-501 or are they to be on grade?	Slab on Grade. Follow Section A on G-1
84	3/18/2013	The Frost Wall shown on S-102 at Vestibule 101 is much smaller than required at Doors 101A & 101B (See AE-102).	Frost slabs are to be at minimum the width of the door swing path and should follow the sidewalk joining patterns shown on architectural and civil drawings.
85	3/18/2013	There is demolition that is not shown on the Civil, AD, PD, MD or ED drawings. Since we are to "Bid the Documents", how are we to account for the additional work that will be required? Examples include:	
86	3/18/2013	How much of the existing slab on grade will be required to be removed at the Auditorium to facilitate the re-raking of the floor?	See SE-101. Contractor to field verify to comply with new slab requirements.
87	3/18/2013	The ceiling at the upper mezzanine (existing Control Room) is not indicated to be removed yet will have to be removed to accommodate the new ceiling shown on the RCP.	This change will be reflected in Addendum No. 2
88	3/18/2013	The existing ductwork above the auditorium ceiling is scheduled to be removed and new ductwork installed. The note for the RCP (AE-124) indicates this ceiling is to remain in place. Given the amount of work that is to happen above the ceiling for multiple trades, shouldn't it be indicated to be removed, replaced and details provided for the construction assembly of the ceiling?	The ceiling is intended to remain in place. The rear and front portions are removed in demolition and provide access to the ceiling area.
89	3/18/2013	Plan calls out Arcadia C-Wall as basis of design with Kawneer as an or-equal. Will Kawneer "Glass Wall" be acceptable?	Kawneer "Clear Wall" is acceptable.
90	3/18/2013	Balcony Rail AE-103 Grid line "C" & Key note #198 – Will this be curved or can it be straight?	Straight is acceptable.
91	3/18/2013	What is the construction material of the perforated window jamb as shown in 6/AE-501 and 11/AE604? Is this an integral part of the window system?	The requirement for perforations has been omitted. The jamb and head are integral to the curtainwall system.
92	3/18/2013	Should the helical pile material be quoted as plain steel as well as galvanized?	Galvanized.
93	3/18/2013	Sheet S-503 Pile cap table; are we accommodating all of our pile capacities on the assumed load of 50Tons max.?	Design pile capacity is 50 Tons max. Pile capacity derived from soils report dated April, 27, 2012.
94	3/18/2013	Sheet S-101 Plan note #5; It seems as though these two screw piles are incorporated into GB 1 & 2 but calls for underpinning, are there additional piers here?	Concrete underpinning required for existing foundations that are undermined by new construction of grade beams. Screw piles are not required in at these locations.
95	3/18/2013	Sheet S-101 Plan note #5; Can you provide assumed connection details and loading criteria for the underpinning on these 2 points of intersection?	Contractor to provide proposed underpinning method and details to E.O.R. for review.
96	3/18/2013	Sheet S-001 section 5.7 labeled twice in this section	correction noted.
97	3/18/2013	Sheet S-001 section 5.7.D submittals: Please clarify; is the installation date for each pile, and type, make & model?	Section 5.7.D should read: PILE INSTALLATION EQUIPMENT-DATE: INCLUDING, TYPE, MAKE AND MODEL
98	3/18/2013	Sheet S-001 section 5.9 Engineer of record? Is this Westlake Reed Leskosky or my own provided engineer?	E.O.R. for WRL Structural Drawings is WRL.
99	3/18/2013	There are no New Construction Brackets indicated on the dwgs. Should they be included or is there a plan to either plate the top of the helical pile shaft or fill with concrete?	Brackets and filling of pile shafts with concrete are to be provided as part of the 'delegated design' of the piles for design loadings indicated on the drawings.
100	3/18/2013	S-503 – Elevator Mat Detail	
101	3/18/2013	1. Do we assume that the 4 piles indicated are to be battered?	Piles may be battered if they accommodate all loading criteria indicated on drawings.
102	3/18/2013	2. Is the 20 kip shear load per pile or pile group total service load?	20 kip base shear service load is for pile group.
103	3/18/2013	3. Does the concrete mat foundation take any of the shear loads through passive soil resistance?	Minimal.
104	3/18/2013	S-503 – Grade Beam Table	

No.	Date Received	Question	Response
105	3/18/2013	1. Column 3 under Service Loads – The loads given appear to be the axial loads but the column header says “Base Shear for Batter Piles” – Are the loads indicated for GB 1,2,6,7,8,9, Shear loads or Axial Compression Service loads?	Loads given under "BASE SHEAR FOR BATTERED PILES (KIPS)" are shear loads.
106	3/18/2013	2. If these are shear loads, are these individual pile or group loads?	Shear Loads indicated are pile group loads.
107	3/18/2013	3. Does the grade beam absorb any of the base shear by passive soil resistance?	Minimal.
108	3/18/2013	4. Note: 1 states that the Base Shears are applied parallel to grade beams along shear walls.	Correct.
109	3/18/2013	5. GB-2 shows a stated spacing of 4' which would not allow for much battering if any. Please advise.	Screw pile installation contractor to provide solution as part of 'delegated design'.
110	3/18/2013	Load Testing: If pile load testing is required, please clarify the following:	Load testing will be required for screw pile Contractor to establish screw pile allowable loads.
111	3/18/2013	1. Would test/s be performed on sacrificial pile/s?	Test piles meeting approval criteria in item 112 below may be used in the building foundations system.
112	3/18/2013	2. If so, what is the maximum test load required?	Approval Criteria: Allowable load shall be the load acting on the test pile when the lesser of the following criteria are met, divided by a factor of safety of 2: 1. Net settlement of not more than 0.01 inch/ton (0.25 mm/907 kg) of test load. 2. Total settlement exceeds the pile elastic compression by 0.15 inch (4 mm). 3. A plunging failure or sharp break in the load settlement curve.
113	3/18/2013	3. What is an acceptable deflection criteria?	See item 112 above.
114	3/18/2013	4. If testing was performed on production pile/s, what percentage of load is required during the test?... And what is the deflection criteria at that load?	See item 112 above.
115	3/18/2013	Assumed screw pile depths: With a maximum bore test depth at 27.5'; Is the 42' screw pile depth assumed based on past installation experience in the downtown area?	Per the report, "it is anticipated that the screw piles/helical piers will reach refusal within 5 to 15 feet of the top of the gravel and cobble layer." The variable penetration into the gravel and cobble stratum is based upon Huddleston-Berry's past experience with high capacity screw piles in the vicinity of the site. 27 feet (cobble bearing stratum depth) plus 15 feet equals 42 feet potential pile length.
116	3/18/2013	Is the screw pile installation contractor required to provide their own engineering firm and supply stamped construction drawings specific to their product?	Yes, as part of the 'delegated design' of the screw piles the Contractor shall provide a complete, engineered screw pile system that conforms to the loading requirements outlined in the contract documents and complies to all applicable design codes including 2012 IBC Section 1810 Deep Foundations. The screw pile design and shall be signed and sealed by a qualified professional engineer responsible for their preparation.
117	3/18/2013	Specification section 093013 Ceramic Tile calls for thin set installation application for floor tile with polymer modified grout & grout joint sealer (topically applied). Detail 16/AE532 requires the following: mud set installation application with epoxy joint grout over a "precast slab". Please clarify the installation, setting bed, and joint grout requirements for the shower floor as well as all other ceramic floor tile applications for the project.	Detail 16/AE532 has been omitted. Follow Spec section 093013.
118	3/18/2013	Detail 6A/AE532 – Cable Pass Vault- please provide detailing of vault construction – dimensions for footings, slab & walls, reinforcing requirements for footings, slab, and walls, extent of floor repair to installation of vault.	Vault construction is intended to be design/build after verification of existing slab location and extent of demolition.
119	3/18/2013	Interior Elevation 6/AE421 contains reference to section 13/AE521. This detail reference appears to be incorrect and should be 6/AE521. Please confirm.	Confirmed.

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120	3/18/2013	Drawing AE-521, Detail 13 – Base Cabinet section – notations on this detail read “Reception Desk is Maple Veneer” and “Reception Desk has no toe-kick and Maple veneer base”. Please clarify where this section and notations apply.	Detail 13 has been omitted. This change will be reflected on Addendum No. 2
121	3/18/2013	Drawing AE-522 – Interior elevation for Make-up Counter (issued under Addendum #1) – Tackable wall panels were added on each side of the make-up mirror. Please clarify product specifications for this new material.	Specifications for Tackable Wall Panels will be shown in Addendum No. 2
122	3/18/2013	Drawing AE-104 – Plan Note 722 – Rigid Sheet Wall Covering (also noted on 12/AE532 as Rigid Sheet Wall Protection) – this material does not appear to be addressed in the project specifications. Please provide specifications for material and installation requirements.	The Specification section for these products is 06 64 00 "Plastic Paneling (FRP and RSW)"
123	3/18/2013	Specification section 097413 Wood Veneer Wall Covering – there appears to be a number of the same items of work addressed in both this spec section as well as 062023, with specific regards to side wall paneling in Auditorium 118, Stage (curved) Cheek walls, & suspended reflector above the stage. It is not clear which product is to be used and where. Please clarify.	This change will be reflected in Addendum No. 2
124	3/18/2013	Drawing AE-422 – wood paneling depicted on Interior Elevation #4 on south wall of Lobby 102 (as well as wall section 4/AE504) – the wall veneer material is noted as “wood wallcovering”. This location is not addressed in the schedule of locations noted in either spec section 062023 or 097413. Please clarify which product is to be used as well as the species of wood required for this location.	following spec section 097413 for this location. Match to stage cheek wall product.
125	3/18/2013	Drawing AE-440- revised (per Add #1) detail #14 Handrail Connection Details – material notes for the hand rails have been revised to “clear finished wood or painted steel”. All of the wall mounted handrails on this drawing sheet are tagged with Plan Note 704 indicating wood handrail material. Please clarify the intent of the revision to the material notation of wood or steel.	The railings in corridors 125, 216, and 307 are painted steel. These railings should follow detail #14. See sheets AE-434, 435.
126	3/18/2013	Drawing AE-422, detail #5 – Plan Note 819 identifies “Perforated Steel Panel, Painted” – is this the material that is noted in specification section 055000, page 7? How is this piece of sheet metal supported and attached to adjacent construction? Also, the detail cut taken at this location (13/AE551) appears to be incorrect. Please clarify.	Detail #5 on AE-422 should reference #12/AE-551. Specification Section 055000 2.12 applies to detail 12/AE-551. Specification Section 055000 2.13 applies to detail 13/AE-551.
127	3/18/2013	Drawing AE-531, detail #8 – there is a notation regarding “Cont. Perforated Metal Panel” - is this the material that is noted in specification section 055000, page 7? How is this piece of sheet metal supported and attached to adjacent construction? What are the adjacent ½” reveals made of? Please clarify.	Specification Section 055000 2.12 applies to detail 8/AE-531. The reveals are bent into the panel similar to 12/AE-551.
128	3/18/2013	Drawings SE-201 (detail “D”) and SE-203 (detail 1) – these details appear to address the same exact location – the front row & edge of the mezzanine re-construction. It appears that 1/SE203 applies only at 4 foot centers (spacing of D-ring anchors). Please confirm.	One section is the typical balcony edge condition and the other is the steel bracing to support the light rail and the D-Ring anchors
129	3/18/2013	Drawing AE-532, detail #5 – HSS 4 x 4 TS posts are indicated with 8’ on center spacing. Per Drawings SE-102 & SE-230, these posts appear to be spaced 4’ on center. Please clarify.	Please follow Drawings SE-102 & SE-230. Use 4’ on Center spacing.
130	3/18/2013	Detail 5/AE532 notes 6” metal stud framing in Auditorium Mezzanine balcony wall. Per D/SE201 the stud framing within this wall are wood. Please clarify.	Please Follow D/SE201 for framing. Use wood framing.

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131	3/18/2013	Details 10 & 12/AE532 note mezzanine pony walls with metal stud framing (as well as metal hat channels at #10). Per details 4 & 5/SE201, these walls are framed with 2x6 wood. Please clarify.	Please Follow 4&5/SE201 for framing. Use wood framing.
132	3/18/2013	Existing AV equipment: please provide detailed list of all AV equipment and responsibility Matrix defining the responsibility for: relocated/installed, salvaged and turned over to Owner, demolished, etc.	WRL does not have a detailed list, the TA drawings indicate equipment which is to be relocated / installed, salvaged and turned over, and demolished.
133	3/18/2013	Existing AV equipment- doe any existing equipment need to be refurbished? Please clarify.	It is up to the AV contractor to verify, test, and refurbish/replace any equipment that may be damaged.
134	3/18/2013	Existing AV equipment –please clarify who is responsible for the temporary storage of existing equipment to be re-used/relocated.	The AV Contractor.
135	3/18/2013	AV equipment item OPPO BDP-95 has been discontinued. Is OPPO BDO-105 an acceptable alternative? Please clarify.	The BDP-105 is an acceptable alternative.
136	3/18/2013	Exterior ticketing window at Box Office 103 – exterior elevation 1/AE202 and Window Type 1F (8/AE603) do not show the speaker unit nor an intermediate horizontal mullion as indicated by 1/AE512. Please clarify.	1/AE512 governs. Window is to include speaker unit and horizontal mullion.
137	3/18/2013	Interior ticketing window at Box Office 103 – what type of glazing is required for this window unit? Is a speaker required? Please clarify.	See 7/AE532.
138	3/18/2013	The specification indicate the requirement for thermally-broken Arcadia MS362T doors. The door details on AE604 indicate non-thermally broken doors. Please clarify.	The doors are non-thermally broken
139	3/18/2013	Drawing AE-603- frame 1H – the glazed lights in the opening are both well over 50 sf (approx. 72 sf each). This size of glass will preclude the glass manufacturer from issuing a warranty. Allowing for 3 sections of glass in this opening will enable the glass to be warranted. Please review and clarify.	3 equal sections of glass in this opening are acceptable. All other details for construction of Frame 1H apply.
140	3/18/2013	Drawing AE-604 – section 11 – the head detail for CW 1H – “perforated window head” – please clarify- what is this? Are the CW 1H jams, sill and intermediate vertical mullions “perforated”? Please clarify.	The requirement for perforations has been omitted. See addendum No. 2 for revised Head detail.
141	3/18/2013	Drawing AE-603- frame 1H – the section cut taken at the jamb (8/AE501) appears to be incorrect. Please review and clarify.	The section cut should reference 6/AE-501
142	3/19/2013	On sheet E-611 Luminaire Schedule I could not find the following fixture types: C1E, C1AE, C3E, C5, C5E, D6E, AND J1. Fixture type ME is fed off the inverter so we are using type M fixtures and wiring to the inverter.	C1E, C1A, C3 – part of the 12’ linear C1 fixture with a battery pack. Shown on the drawings and in the description on the Fixture Schedule states “90 MINUTE EMERGENCY BATTERY IN 4’ SECTION REFER TO PLAN DRAWINGS. C5 should be C4 C5E is a C4 with 90 minute battery, D6E is a type D6 with battery back-up. J1 shown on the Upper Mezz should be type L1
143	3/19/2013	Sheets ES-101, S-102, and AE-435 there is reference to LED hand rail lighting. Is electrical to provide and install the handrail as described in details 5 and 7 on sheet AE-435 with bends and posts pre-fabricated?	Electrical to provide and install the LED handrail as a complete assembly.
144	3/19/2013	Spec section 051200, section 1.2, B.1- make reference to specification section 051213 Architecturally Exposed Structural Steel Framing. This section of the specifications was no issued as part of the bid documents. Please clarify if this section will be issued and address the specific scope of structural steel to be fabricated and erected in accordance with AESS requirements.	This section was issued with the bid documents. Please verify receipt of full set of documents.
145	3/19/2013	Drawing S-105- please clarify the specific scope work required for the base bid versus that required by Bid Alternate #17. What finish is required for the roof terrace steel?	The Terrace steel canopy is Bid Alternate 17. The base bid is the roof construction minus the terrace steel canopy.

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146	3/19/2013	Drawing AE-435, detail #8 was issued by Addendum #1. Please identify specific details for construction of the roof cross-over stairs (i.e. sizes of framing, spacing, tread and walk surfaces, etc.)	The roof crossover stair is intended to be Design/Build. Verify sizes and location of ductwork to provide working clearances in crossover.
147	3/19/2013	Drawing AE-301, Plan Note 723 – 12" diameter cable pass pipe – what wall thickness of pipe is required? Please clarify.	Piping typical of sub-grade installations is adequate. Glue joints to prevent water intrusion.
148	3/19/2013	Drawing S-503 – Grade Beam Table, GB1, GB2, GB6, GB7, GB8, and GB9 indicate Base Shear Values- are these values for the grade beams or for the individual piles? Please clarify.	Base shear values listed in Grade Beam table are per pile group.
149	3/19/2013	Drawing AE-302, Building Section 2 – Detail section reference taken between E.5 and E.6 notes 2/AE313. This detail reference appears to be incorrect. Please clarify.	The detail reference is incorrect. Please see Elevation 2/AE-202 and plan details 2,3/AE-501
150	3/19/2013	Specification section 042000, Section 2.2, B.1- 2800 psi compressive strength is specified for concrete masonry units. The normal per ASTM is 1900 psi. Please confirm this is correct at 2800 psi.	This change will be reflected in Addendum No. 2.
151	3/19/2013	Specification section 042000, Section 2.2, B.2- the concrete masonry units are specified as normal weight material. These units are much heavier than lightweight concrete masonry units and will negatively affect production and therefore cost to install. Can lightweight cmu be used? Please review	Use normal weight as specified.
152	3/19/2013	The project site is approximately 4600 ft ASL. Engineering Schedules refer to 5000 and 5500 ASL de-ratings. Please review and clarify.	Use Project Elevation 4,588.61 ASL
153	3/19/2013	The current documents call for a Weil #1413 sump pump in the elevator pit. It is shown to drain into the Janitor's closet (215) mop sink. By code you cannot pump oil into the sanitary sewer system. Please review and clarify.	Oil minder system that shuts down the pump and alarms when oil is detected has been added in this Addendum #2.
154	3/19/2013	Specification section 122400, page4 Section 2.2B calls out an Electroshade Electro/3 DoubleShade #20 Regular Roll with Fascia, wall mounted. The head detail for window 1H on 11/AE604 shows a single shade with reverse roll. Please clarify which is correct.	Spec Section 122400 is correct.
155	3/19/2013	Please confirm that the existing Theater will be closed after May 15 th until construction is complete.	The owner occupied site requirement has been omitted. The contractor will have full access to the site.
156	3/19/2013	The ticket window at box office 103 to the exterior shows a window with insulated glass, calls it out as ballistic rated, and shows it with a speaker. The exterior elevation and window type 1F do not show a horizontal or a speaker in the window. Which of these are correct?	Follow detail 1/AE-512 for specific construction and relevant spec sections.
157	3/19/2013	The window from office 103 to the vestibule is also called out as a ticket window but does not say what the glass type is or if it is to have a speaker. What is it to be?	Follow detail 7/AE-532 for interior ticket window. This window has a speaker frame. See glazing type in spec section adjusted in Addendum No. 2
158	3/19/2013	The specifications call for Arcadia MS362T thermally broken doors open for 1" insulated glass. Door sections show a non thermally broken door leaf with the glazing surface applied. Which are we to go with?	The doors are not required to be thermally broken.
159	3/19/2013	Frame 1H called for a "12" perforated frame system".	
160	3/19/2013	1. This window shows two lights of glass that are well over the 50 square foot limit for warranty on insulated units. Can these be split into 3 units?	3 equal units are acceptable.
161	3/19/2013	2. What is a "perforated framing system"?	Perforations have been omitted. This is a typical jamb condition.
162	3/19/2013	3. We will assume that AE501/8 is an incorrect section of this window?	Detail reference is incorrect. Follow 6/AE-501
163	3/19/2013	4. What happens at the joint between the two lights of glass?	reference typical curtain wall details, 15/AE-604
164	3/19/2013	On drawing S-503 base shears are shown for 6 grade beams in the Grade Beam (GB) Table. Are the shear values listed per pile or per total grade beam?	Base Shear values listed in Grade Beam table are per pile group.

No.	Date Received	Question	Response
165	3/19/2013	Can you please clarify how the force account value and the two allowances are to be handled, do all of these dollar amounts need to be included in our base bid total? Or are they outside of the base bid?	Force account and allowances are to be included in the Base Bid amount.
166	3/19/2013	The specifications detail the use of the existing HVAC systems might be available for use during construction with the City's approval, please advise if there will be available.	Existing HVAC systems will be available for use during construction.
167	3/19/2013	Is the contractor responsible for utility costs during construction, power, gas, water, etc.? Can the City provide average utility costs for the existing building for budgeting purposes, electric and heating costs?	Contractor is required for all utility costs during construction.
168	3/19/2013	Does this project carry liquidated damages and what is the value of the LD's?	See Item 3 above.
169	3/19/2013	Is there a floor flatness and finished floor level spec or tolerance? Are these required for the concrete on metal deck as well, there is significant concern with being able to achieve FF and FFL tolerances on a structure that deflects as loaded.	Standard ACI tolerances and per manufacturer spec apply.
170	3/19/2013	The spec mentions a 7 day wet cure for concrete floors, is this applicable to this project and will it be required on all floor slabs?	Yes. Requirement confirmed.
171	3/19/2013	Base bid for opening 106 door schedule calls for a pair of 5' doors and the legend notes on AE-102 and details on AE-504 call them to be a pair of 4' doors, please clarify.	Shown in Addendum No. 2
172	3/19/2013	The building sections reference details on sheet AE-314, the bid documents do not contain a sheet AE-314 please advise.	The detail reference is incorrect. Please see wall sections on AE-312, and AE-313
173	3/19/2013	Will the Owner provide sets of construction documents to the awarded GC for this project?	Owner will provide electronic PDF versions of the documents and Contractor is responsible for printing hard sets as needed for construction.
174	3/19/2013	Alt 16B details the auditorium lighting is to be replaced along with the wood paneling, etc. for the base bid does the existing lighting remain as is? Re-lamp or any other work to the existing fixtures?	Existing is to remain in base bid.
175	3/19/2013	Please provide the specification on the sound absorbing acoustical plaster assembly and the spray applied acoustical material. (Is this the same as the texture finishing in the spec?)	Spec provided in Addendum No. 2
176	3/19/2013	When referencing the spec for the wood veneer wall covering and the wood paneling in div 6 20 33, both indicate each material to be installed in the same locations. Please clarify.	This change will be reflected in Addendum No. 2
177	3/19/2013	Structural refers to architectural for details on the foam infill and concrete topping in the auditorium, the only info we can locate is section 1 on AE-301 and associated details. We need specifications on the foam, PSI or PSF, joints, transitions from foam to concrete as it tappers, etc.	100psi rigid insulation is acceptable
178	3/19/2013	We have heard through the subs that the low voltage voice and data scope will be carried directly by the City, please advise.	Correct. Voice/Data cabling and cable trays will be by Owner and NIC.
179	3/19/2013	Are there any other owner supplied or furnished scopes in this project?	All Owner supplied scopes are indicated in document unless otherwise noted.
180	3/19/2013	Please provide the life safety plan for the existing building configuration; this will be critical information for determining how to address Alt 3 and egress out the east side of the building during construction of the addition.	Owner occupied site requirements have been omitted.
181	3/19/2013	The ticket window at box office 103 to the exterior shows a window with insulated glass, calls it out as ballistic rated, and shows it with a speaker. The exterior elevation and window type 1F do not show a horizontal or a speaker in the window. Which of these are correct?	Follow detail 1/AE-512 for specific construction and relevant spec sections.
182	3/19/2013	The window from office 103 to the vestibule is also called out as a ticket window but does not say what the glass type is or if it is to have a speaker. What is it to be?	Follow detail 7/AE-532 for interior ticket window. This window has a speaker frame. See glazing type in spec section adjusted in Addendum No. 2

No.	Date Received	Question	Response
183	3/19/2013	The specifications call for Arcadia MS362T thermally broken doors open for 1" insulated glass. Door sections show a non thermally broken door leaf with the glazing surface applied. Which are we to go with?	The doors are non-thermally broken
184	3/19/2013	Frame 1H called for a "12" perforated frame system".	Perforations have been omitted. This is a typical jamb condition.
185	3/19/2013	1. This window shows two lights of glass that are well over the 50 square foot limit for warranty on insulated units. Can these be split into 3 units?	3 equal units are acceptable.
186	3/19/2013	2. What is a "perforated framing system"?	Perforations have been omitted. This is a typical jamb condition.
187	3/19/2013	3. We will assume that AE501/8 is an incorrect section of this window?	Detail reference is incorrect. Follow 6/AE-501
188	3/19/2013	4. What happens at the joint between the two lights of glass?	see typical curtain wall details
189	3/19/2013	Sheet S001, note 19 requires slabs to be poured in strips...in view of the small slab areas on this project, please confirm that we can pour each level in one pour rather than breaking these small pours into smaller strip pours?	Note 19/S-001 pertains to slabs on grade. For slab on deck, see detail 5/S-512.
190	3/19/2013	Note 5 on Sheet S101 calls out underpinning - is a detail available?	Contractor to provide proposed underpinning method and details to E.O.R. for review.
191	3/19/2013	Two lines are placed under the existing auditorium floor slab (12" pipe on AE102, and waste and vent lines on PL 101). Can these lines be backfilled up to existing slab level without concrete floor patch installed - since the existing floor will be to allow this grade to tie in smoothly? Can a detail be provided of topping slab to existing slab transition area?	Plumbing lines can be backfilled with the replacing of the original slab omitted in areas where there is a topping slab.
192	3/19/2013	Sheet SE-101 calls out 4" slab with #3 at 12" for infills, but Sheet SE-001 calls out 5" slab with #4 at 16" ...which governs?	SE-101 governs
193	3/19/2013	Detail 12 on S-501 requires constuction joints at 30' on center maximum - will this requirement be relaxed for the tunnel wall pours shown on sheet S-101 (we would like to pour the basement walls without joints)?	Provide construction joints per detail 12/S-501.
194			
195			
196			
197			

ADDENDUM NO. 02
TO THE
PROJECT MANUAL AND DRAWINGS
FOR

City of Grand Junction, Colorado – Avalon Theatre
Phase 1 Addition and Renovation
WRL Commission No. 12036.00

Prepared by:
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Phoenix, Arizona 85012

The Drawings and Project Manual for the above named Project, dated February 26, 2013, are modified, amended, and supplemented as set forth in this Addendum and shall be taken into account in preparing Bids. This Addendum shall become part of the Contract Documents.

Wherein this Addendum is in conflict with the Specifications and Drawings, the requirements of this Addendum shall govern.

ITEM NO. 1 – REVISIONS TO THE PROJECT MANUAL

- A. The following Specification Sections are issued for the first time with this Addendum:
 - 1. Section 097200 – “Wall Coverings.”
 - 2. Section 098316 – “Acoustical Finish System.”
 - 3. Section 312000 – “Earth Moving.”
- B. The following Specification Sections are revised and re-issued with this Addendum:
 - 1. Section 012300 – “Alternates.”
 - 2. Section 062023 – “Interior Finish Carpentry.”
 - 3. Section 093013 – “Tiling.”
 - 4. Division 09 - “Room Finish Schedule.”
- C. The following Specification Sections are revised as indicated. The Sections are not re-issued with this Addendum:
 - 1. Section 042000 – “Unit Masonry”
 - a. Revise paragraph 2.2 B.1 to read: “Unit Compressive Strength: Provide units with minimum average net-area compressive strength of 1900 psi.”
 - 2. Section 085653 – “Security Windows”
 - a. Revise paragraph 2.3 F to read: “Glazing and Glazing Materials: Comply with requirements in Section 088000 “Glazing.” Refer to Glass Type GL-7.”

ITEM NO. 2 – REVISIONS TO STRUCTURAL EXISTING DRAWINGS

- A. The following Structural Drawings are revised and reissued with this Addendum:
 - 1. SE-001 General Notes & Details
 - 2. SE-101 Foundation & Main Floor Framing Plans
 - 3. SE-102 Mezzanine Lobby & Lower Mezzanine Framing Plans

ITEM NO. 3 – REVISIONS TO STRUCTURAL DRAWINGS

B. The following Structural Drawings are revised and reissued with this Addendum:

1. S-101 Basement Foundation Plan
2. S-102 First Floor Foundation & Framing Plan
3. S-104 Upper Mezzanine Framing Plan
4. S-301 Masonry Wall Elevations
5. S-530 Stair Elevation & Details

ITEM NO. 4 – REVISIONS TO ARCHITECTURAL DRAWINGS

A. The following Architectural Drawings are revised and reissued with this Addendum:

1. AD-102 Mezzanine And Upper Mezzanine Demolition Plans
2. AE-102 First Floor Plan
3. AE-103 Mezzanine Floor Plan
4. AE-104 Upper Mezzanine Floor Plan
5. AE-105 Roof Plan
6. AE-122 First Floor Reflected Ceiling Plan
7. AE-312 Wall Sections
8. AE-422 Interior Elevations
9. AE-423 Interior Elevations Multi Purpose Room
10. AE-431 Enlarged Stair Plans & Sections.
11. AE-434 Enlarged Ramp Plans & Sections
12. AE-437 Enlarged Toilet Room Plans & Elevations
13. AE-438 Enlarged Toilet Room Plans & Elevations
14. AE-503 Interior Details
15. AE-504 Interior Details
16. AE-505 Interior Details
17. AE-601 Door & Window Schedules
18. AE-603 Glazing Types

B. The following Architectural Sketches are issued with this Addendum:

1. SK-025 DETAIL 1/AE-201
2. SK-026 DETAIL 1/AE-202
3. SK-027 DETAIL 3/AE-313
4. SK-028 DETAIL 4/AE-313
5. SK-029 DETAILS 1,4,5/AE-432
6. SK-030 DETAIL 1/AE-502
7. SK-031 DETAIL 2/AE-502
8. SK-032 DETAIL 2/AE-511
9. SK-033 DETAIL 11/AE-604

C. The following Architectural Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. AD-101 - Add Demolition General Note: "Remove, salvage and return to Owner all existing name plates on existing seats"
2. AE-521 – Omit Detail #13.
3. AE-532 – Omit Detail #16.
4. AE-611 - PARTITION TYPES – Wall Type L2 –Change 1 hr fire rated to 2hr fire rated.

5. ALL CURTAIN WALL DETAILS AND CURTAIN WALL SYSTEM - In lieu of 4 sided structural silicon system, provide captured head, sill, and vertical mullions. The intermediate horizontals will remain as drawn.

ITEM NO. 5 – REVISIONS TO INTERIORS DRAWINGS

- A. The following Interiors Sketches are issued with this Addendum:

1. SK-022 DETAIL 1/IF-102
2. SK-023 DETAIL 1/IF-103
3. SK-024 DETAIL 1/IF-104

ITEM NO. 6 – REVISIONS TO FIRE PROTECTION DRAWINGS

- A. The following Fire Protection Drawings are revised and reissued with this Addendum:

1. FP-100 Basement Fire Protection Plan

- B. The following Fire Protection Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. FP-100: Called out type of heads to be located on north side of basement.
2. FP-100: Removal and relocation of low hanging fire protection pipe.

ITEM NO. 7 – REVISIONS TO PLUMBING DRAWINGS

- A. The following Plumbing Drawings are revised and reissued with this Addendum:

1. P-001 Plumbing Legend Abbreviations & Schedules
2. PL-100 Basement Waste & Vent Plan
3. PL-101 First Floor Waste & Vent Plan
4. PL-102 Second Floor Waste & Vent Plan
5. PL-302 Plumbing Details
6. PL-901 Plumbing Schematics

- B. The following Plumbing Drawings are revised as indicated. The Drawings are not reissued with this Addendum:

1. P-100: Sewage Ejector Schedule updated to reflect addition of SEP-2.
2. PL-100: Sewage Ejector (SEP-2) added for French Drains.
3. PL-101: Elevator sump pump terminated in alley as opposed to mop sink.
4. PL-101: SEP-2 terminated in alley w/ lambs tongue.
5. PL-101: Terminate new roof drain from canopy on the east side of the building at finished grade w/ lambs tongue.
6. PL-102: Added roof drain to canopy on the east side of the building.
7. PL-102: Waste line from elevator sump pump routed in ceiling space to south side of building.
8. PL-302: Added detail for SEP-2.

ITEM NO. 8 – REVISIONS TO MECHANICAL DRAWINGS

- A. The following Mechanical Drawings are issued for the first time with this Addendum:

1. M-305

- B. The following Mechanical Drawings are revised and reissued with this Addendum:

1. MH-102
2. MH-103
3. MH-104
4. MH-105
5. MP-102
6. MP-103
7. M-601

ITEM NO. 9 – REVISIONS TO ELECTRICAL DRAWINGS

A. The following Electrical Drawings are revised and reissued with this Addendum:

- | | | |
|----|--------|------------------------------------------|
| 1. | EL-102 | First Floor Lighting Plan |
| 2. | EL-103 | Mezzanine Lighting Plan |
| 3. | EL-104 | Upper Mezzanine Lighting Plan |
| 4. | EP-102 | First Floor Power Plan |
| 5. | EP-103 | Mezzanine Power Plan |
| 6. | E-401 | Enlarged Power Plans |
| 7. | E-611 | Luminaire Schedule |
| 8. | E-612 | Mechanical Equipment Connection Schedule |
| 9. | E-632 | Electrical Panel Schedules |

ITEM NO. 10 – QUESTIONS FROM BIDDERS

Attached as Separate Document.

END OF ADDENDUM NO. 02

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Company Switch.
1. Base Bid: No work.
 2. Alternate: Provide new 200 Amp company switch at stage, refer to Drawings for location. New conduit and wire to be routed to existing distribution board in basement as specified in Section 26 28 17 "Company Switches."
- B. Alternate No. 2: Donor Wall.
1. Base Bid: No Work.
 2. Alternate: Provide glass donor wall as detailed on Detail 8 on Sheet AE-503.
- C. Alternate No. 3: Owner-occupied site.
1. Base Bid: Work Restrictions and required Coordination with Occupants as specified in Section 01 10 00 "Summary."
 2. Alternate: ~~Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All theater performances will be suspended until the project is complete.~~ Existing Building will continue to be used for theater performances up until the last four months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated. (ADD 1)
- D. Alternate No. 4A: Duct liner at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fixed duct liner over gypsum board at walls of Multipurpose Room, as indicated on Drawings.
- E. Alternate No. 4B: Fabric-wrapped panels at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fabric wrapped panels over gypsum board at walls of Multipurpose Rooms, as indicated on Drawings.
- F. Alternate No. 5: Fabric Scrim at Multipurpose Room.
1. Base Bid: No work.
 2. Alternate: Where rigid duct liner is provided on walls of Multipurpose Room 106, provide fixed, sheer fabric scrim over the duct liner. Fabric to be approved by Architect. Match Rose Brand fabric, Sharktooth 8/2 Scrim, Color Black.
- G. Alternate No. 6: Angled Walls at Multipurpose Room.
1. Base Bid: Provide walls as shown on Drawings, not angled.
 2. Alternate: Provide gypsum board wall, below 9' AFF, at an inward angle of 6 inches as indicated on Drawings.
- H. Alternate No. 7: Main Theater Hearing Loop System.
1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 2. Alternate: Provide a phased array hearing loop system for the main theater and balcony to ensure even signal coverage throughout the space as well as reduce any overspill to the adjacent multipurpose room. The phased array involves a master and slave loop configuration. Score the concrete with a wet cut prior to room finish and seat installation and lay loop wires in the grooves. Provide two Univox SLS loop amplifiers, one for the main floor and one for the balcony. Size

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each amplifier for the area covered. Caulk the floor with a concrete self-leveling caulk after wiring is complete. Rack space and power supply for the two amplifiers will be provided by the Avalon with 3ru per amplifier. Each amplifier will require a balanced line XLR connection from an Audio Out on the processor or mixer in the audio system, provided by the Avalon.

- I. Alternate No. 8: Multipurpose Room Hearing Loop System.
 - 1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 - 2. Alternate: Provide a phased array hearing loop system for the multi-purpose room to attain a balanced system that reduces overspill, tilt level drop, high frequency loss and interference. Score the concrete floor with a wet cut for a master and slave loop configuration prior to installing the room finishes and floor coverings. Lay loop wire in the grooves and connected to a Univox SLS amplifier sized for the room. Fill grooves with a self-leveling concrete caulk. Rack space and power supply for the amplifier will be supplied by the Avalon with 3ru necessary. The amplifier will require a balanced line XLR connection for an Audio Out on the processor or mixer in the room
- J. Alternate No. 9: ~~Wood Bench at Mezzanine Lobby.~~ REMOVED
 - 1. ~~Base Bid: No Work.~~
 - 2. ~~Alternate: Provide wood bench as indicated on Drawings.~~ (ADD 1)
- K. Alternate No. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.
 - 1. Base Bid: Provide metal bar grating panel ceiling at ceiling of Exterior Balcony 200A only.
 - 2. Alternate: At Terrace Lobby 300 and exterior ceiling south of Terrace Lobby 300, provide metal grating ceiling system as indicated on drawings.
- L. Alternate No. 11: Infill West and East doors of Auditorium at Gridline 1.1.
 - 1. Base Bid: West and East doors of Auditorium at gridline 1.1 are to remain, new wood wainscot to run in front of doors.
 - 2. Alternate: West and East doors of Auditorium at gridline 1.1 are to be removed. Infill openings with masonry to match adjacent construction as indicated on drawings.
- M. Alternate No. 12: Gypsum Board Enclosure at New Catwalk.
 - 1. Base Bid: No Work
 - 2. Alternate: At new catwalk, provide gypsum board wall and ceiling enclosure as indicated on Drawings.
- N. Alternate No. 13: Rooftop Screen Wall.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide rooftop screen wall as indicated on Drawings.
- O. Alternate No. 14: Tile Flooring at Mezzanine Lobby 200.
 - 1. Base Bid: Provide only carpet flooring at Mezzanine Lobby 200.
 - 2. Alternate: Provide carpet and tile at Mezzanine Lobby 200, as indicated on Drawings.
- P. Alternate No. 15: Platforms at Upper Mezzanine 219.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide platforms at rear of Upper Mezzanine 219 as indicated on Drawings.
- Q. Alternate No. 16A: Fixed Seating Upgrades.
 - 1. Base Bid: Provide black plastic seat backs, bottoms and arm rests at fixed seating. Upholstery to be red velour as specified.
 - 2. Alternate: Provide wood seat back and arm rests. Upholstery to be equal to Maharam Abacus 007 Festive. 14 oz./yard, 54" wide.

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- R. Alternate No. 16B: Auditorium Side Wall Paneling.
1. Base Bid: Maintain existing wood paneling at side walls of Auditorium 118. Provide wood veneer paneling to match existing where doors are removed. Remove existing acoustical panels and replace with wood veneer paneling to match existing.
 2. Alternate: Remove existing wood paneling at side walls of Auditorium 118. Provide new wood wainscot paneling and electrical and AV changes as indicated in Drawings and Specifications.
- S. Alternate No. 17: Roof Terrace Steel Canopy.
1. Base Bid: Provide connections for future roof terrace canopy steel only. Connections are to be covered fully, not exposed.
 2. Alternate: Provide complete steel canopy at roof terrace.
- T. Alternate No. 18: Entry Doors at Vestibule and Lobby.
1. Base Bid: Doors 101A, 101B, 101C, 101D, and 101E to be 8' high with 2' glass transom above. Provide CRL panic hardware.
 2. Alternate: Doors 101A, 101B, 101C, 101D, and 101E to be 10' high with no transom. Provide standard egress panic hardware.
- U. Alternate No. 19: Door 106 at Multipurpose Room.
1. Base Bid: Door 106 is to be a double door, two 4' wide x 9' high swinging leaves, STC 50 minimum is to be provided as scheduled in the door schedule. (ADD 1)
 2. Alternate: Door 106 is to be a motorized vertical lift door as shown on Detail 1 on Sheet AE-503.
- V. Alternate No. 20: Aluminum Feeders
1. Base Bid: Install all feeders as copper conductors as indicated on the Drawings.
 2. Alternate: Provide aluminum conductors, size #1/0 AWG and larger in lieu of copper. See Section 260100 for additional requirements when aluminum conductors are used. (ADD 2)
- W. Alternate No. 21: Duct Velocity Increase
1. Base Bid: Provide duct velocity at 750 fpm for main supply and return ducts within the audience chamber space, as indicated on the documents.
 2. Alternate: Provide duct velocity at 1200 fpm for main supply and return ducts. Reduce the size of the main supply and return ducts, the number of branch ducts routed through the trusses, and the amount of duct liner as required. (ADD 2)

END OF SECTION 01 23 00

ADDENDUM #2 – MARCH 21, 2013

SECTION 06 20 23 - INTERIOR FINISH CARPENTRY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Interior trim.
 - ~~2. Interior wainscot paneling.~~
 - ~~3. Bench seat. (ADD 2)~~
- B. Related Requirements:
 - 1. Section 06 10 53 "Miscellaneous Rough Carpentry" for furring, blocking, and other carpentry work not exposed to view.

1.3 DEFINITIONS

- A. MDF: Medium-density fiberboard.
- B. MDO: Plywood with a medium-density overlay on the face.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of process and factory-fabricated product. Indicate component materials, dimensions, profiles, textures, and colors and include construction and application details.
 - 1. Include data for fire-retardant treatment from chemical-treatment manufacturer and certification by treating plant that treated materials comply with requirements.
 - 2. For products receiving a waterborne treatment, include statement that moisture content of treated materials was reduced before shipment to Project site to levels specified.
 - 3. Include copies of warranties from chemical-treatment manufacturers for each type of treatment.
- B. Samples for Verification:
 - 1. For each species and cut of lumber and panel products with non-factory-applied finish, with 1/2 of exposed surface finished, 50 sq. in. (300 sq. cm) for lumber and 8 by 10 inches (200 by 250 mm) for panels.
 - 2. For each finish system and color of lumber and panel products with factory-applied finish, 50 sq. in. (300 sq. cm) for lumber and 8 by 10 inches (200 by 250 mm) for panels.

1.5 INFORMATIONAL SUBMITTALS

- A. Evaluation Reports: For fire-retardant-treated wood, from ICC-ES.

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- B. Sample Warranty: For manufacturer's warranty.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Stack lumber, plywood, and other panels flat with spacers between each bundle to provide air circulation. Protect materials from weather by covering with waterproof sheeting, securely anchored. Provide for air circulation around stacks and under coverings.
- B. Deliver interior finish carpentry materials only when environmental conditions meet requirements specified for installation areas. If interior finish carpentry materials must be stored in other than installation areas, store only where environmental conditions meet requirements specified for installation areas.

1.7 FIELD CONDITIONS

- A. Environmental Limitations: Do not deliver or install interior finish carpentry materials until building is enclosed and weatherproof, wet work in space is completed and nominally dry, and HVAC system is operating and maintaining temperature and relative humidity at occupancy levels during the remainder of the construction period.
- B. Do not install finish carpentry materials that are wet, moisture damaged, or mold damaged.
1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

PART 2 - PRODUCTS

2.1 MATERIALS, GENERAL

- A. Lumber: DOC PS 20 and the following grading rules:
1. NeLMA: Northeastern Lumber Manufacturers' Association, "Standard Grading Rules for Northeastern Lumber."
 2. NHLA: National Hardwood Lumber Association, "Rules for the Measurement and Inspection of Hardwood & Cypress."
 3. NLGA: National Lumber Grades Authority, "Standard Grading Rules for Canadian Lumber."
 4. SPIB: The Southern Pine Inspection Bureau, "Standard Grading Rules for Southern Pine Lumber."
 5. WCLIB: West Coast Lumber Inspection Bureau, Standard No. 17, "Grading Rules for West Coast Lumber."
 6. WWPA: Western Wood Products Association, "Western Lumber Grading Rules."
- B. Factory mark each piece of lumber with grade stamp of inspection agency indicating grade, species, moisture content at time of surfacing, and mill.
- ~~1. For exposed lumber, mark grade stamp on end or back of each piece[, or omit grade stamp and provide certificates of grade compliance issued by inspection agency]. (ADD 2)~~**
- C. Softwood Plywood: DOC PS 1.

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D. Hardboard: AHA A135.4.

~~E. MDF: ANSI A208.2, [Grade 130] <Insert grade>[, made with binder containing no urea-formaldehyde resin].~~

~~F. Particleboard: ANSI A208.1, [Grade M-2] [Grade M-2 Exterior Glue] [Grade M-2, made with binder containing no urea-formaldehyde resin].~~

~~G. Melamine-Faced Particleboard: Particleboard complying with ANSI A208.1, Grade M-2, finished on both faces with thermally fused, melamine-impregnated decorative paper and complying with requirements of NEMA LD3, Grade VGL, for test methods 3.3, 3.4, 3.6, 3.8, and 3.10.~~

~~1. Color: [White] [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range] <Insert color>. (ADD 2)~~

2.2 FIRE RETARDANT-TREATED MATERIALS

~~A. General: For applications indicated, use materials complying with requirements in this article that are acceptable to authorities having jurisdiction, and comply with testing requirements; testing by a qualified testing agency.~~

~~B. Fire Retardant-Treated Lumber and Plywood by Pressure Process: Products with a flame-spread index of 25 or less when tested according to ASTM E 84, with no evidence of significant progressive combustion when the test is extended an additional 20 minutes, and with the flame front not extending more than 10.5 feet (3.2 m) beyond the centerline of the burners at any time during the test.~~

~~1. Kiln-dry lumber and plywood after treatment to a maximum moisture content of 19 and 15 percent respectively.~~

~~C. For exposed items indicated to receive a stained or natural finish, use [organic resin] chemical formulations that do not contain colorants, and provide materials that do not have marks from spacer sticks on exposed face.~~

~~D. Do not use material that does not comply with requirements for untreated material or is warped or discolored.~~

~~E. Identify fire-retardant-treated wood with appropriate classification marking of testing and inspecting agency acceptable to authorities having jurisdiction.~~

~~1. For exposed lumber indicated to receive a stained or natural finish, [mark end or back of each piece] [or] [omit marking and provide certificates of treatment compliance issued by inspection agency].~~

~~F. Application: [Where indicated] [All interior lumber and plywood] <Insert application>. (ADD 2)~~

2.3 INTERIOR TRIM

~~A. Softwood Lumber Trim for Transparent Finish (Stain or Clear Finish):~~

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1. ~~Species and Grade: Eastern white pine, [C Select] [D Select] [Finish or 1 Common] [Premium or 2 Common]; NeLMA or NLGA.~~
 2. ~~Species and Grade: Idaho white, lodgepole, ponderosa, radiata, or sugar pine; [C Select (Choice)] [D Select (Quality)] [1 Common (Colonial)] [2 Common (Sterling)]; NLGA or WHPA.~~
 3. ~~Species and Grade: Eastern white, Idaho white, lodgepole, ponderosa, radiata, or sugar pine; [C Select (Choice)] [D Select (Quality)] [Finish or 1 Common (Colonial)] [Premium or 2 Common (Sterling)]; NeLMA, NLGA, or WHPA.~~
 4. ~~Species and Grade: White woods, [C Select] [D Select] [1 Common] [2 Common]; WHPA.~~
 5. ~~Species and Grade: Douglas fir-larch or Douglas fir south, [Superior or C & Btr] [Prime or D] finish; NLGA, WCLIB, or WHPA.~~
 6. ~~Species and Grade: Southern pine, [B & B] [C & Btr] finish; SPIB.~~
 7. ~~Species and Grade: Western red cedar, [Clear Heart] [Grade A] [Grade B]; NLGA, WCLIB, or WHPA.~~
 8. ~~Maximum Moisture Content: [19] [15] percent [with at least 85 percent of shipment at 12 percent or less].~~
 9. ~~Finger Jointing: [Allowed] [Not allowed].~~
 10. ~~Face Surface: [Surfaced (smooth)] [Saw textured]. (ADD 2)~~
- B. Hardwood Lumber Trim for Transparent Finish (Stain or Clear Finish):
1. Species and Grade: ~~[Red oak] [White maple] [Alder] [Aspen, basswood, cottonwood, sap gum, sycamore, white maple, or yellow poplar] <Insert species>~~; ~~[Clear] [A Finish] [B Finish]; NHLA.~~
 2. Maximum Moisture Content: ~~[13] [10] [9] <Insert value>~~ percent.
 3. Finger Jointing: Not allowed.
 4. Gluing for Width: ~~[Allowed] [Not allowed] [Use for lumber trim wider than 6 inches (150 mm)].~~
 5. Veneered Material: ~~[Allowed] [Not allowed] [Use for lumber trim wider than 6 inches (150 mm)].~~
 6. Face Surface: ~~[Surfaced (smooth)] [Saw textured]. (ADD 2)~~
 7. Matching: Selected for compatible grain and color.
 8. Location: Within the existing theater.
- C. Lumber Trim for Opaque Finish (Painted Finish):
1. Species and Grade: Idaho white, lodgepole, ponderosa, radiata, or sugar pine; D Select (Quality); NLGA or WHPA.
 2. Maximum Moisture Content: 10 percent.
 3. Finger Jointing: Allowed.
 4. Face Surface: Surfaced (smooth). (ADD 2)
- D. ~~Softwood Moldings for Transparent Finish (Stain or Clear Finish): WMMPA WM 4, N-grade wood moldings. Made to patterns included in WMMPA WM 12.~~
1. ~~Species: [Eastern white, Idaho white, lodgepole, ponderosa, radiata, or sugar pine] [Southern pine] [Western red cedar] [Douglas fir] <Insert species>.~~
 2. ~~Maximum Moisture Content: 15 percent with at least 85 percent of shipment at 12 percent or less.~~
 3. ~~Finger Jointing: Not allowed.~~
 4. ~~Matching: Selected for compatible grain and color.~~
 5. ~~Base Pattern: [WM 623, 9/16 by 3 1/4 inch (14 by 83 mm) ogee] [WM 713, 9/16 by 3 1/4 inch (14 by 83 mm) ranch] [WM 753, 9/16 by 3 1/4 inch (14 by 83 mm) beaded edge] [WM 620, 9/16 by 4 1/4 inch (14 by 108 mm) ogee] [WM 750, 9/16 by 4 1/4 inch (14 by 108 mm) beaded edge] base.~~

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6. ~~Shoe Mold Pattern: [WM 129, 7/16-by-11/16-inch (11-by-17-mm) quarter-round] [WM 126, 1/2-by-3/4-inch (13-by-19-mm) quarter-round] [WM 131, 1/2-by-3/4-inch (13-by-19-mm) ogee] shoe mold.~~
7. ~~Casing Pattern: [WM 327, 11/16-by-2 1/4-inch (17-by-57-mm) clamshell] [WM 366, 11/16-by-2 1/4-inch (17-by-57-mm) featheredge] [WM 376, 11/16-by-2 1/4-inch (17-by-57-mm) beaded-edge] casing.~~
8. ~~Mull-Casing Pattern: [WM 957, 3/8-by-1 3/4-inch (9.5-by-44-mm) beaded-edge] [WM 973, 3/8-by-1 3/4-inch (9.5-by-44-mm) bullnose] [WM 983, 3/8-by-1 3/4-inch (9.5-by-44-mm) featheredge] casing.~~
9. ~~Stop Pattern: [WM 856, 3/8-by-1 3/8-inch (9.5-by-35-mm) ranch] [WM 946, 3/8-by-1 3/8-inch (9.5-by-35-mm) ogee] [WM 886, 3/8-by-1 3/8-inch (9.5-by-35-mm) bullnose] stop.~~
10. ~~Chair Rail Pattern: WM 297, 11/16-by-3-inch (17-by-76-mm) chair rail.~~

E. ~~Hardwood Moldings for Transparent Finish (Stain or Clear Finish): WMMPA HWM 2, N-grade wood moldings made to patterns included in WMMPA HWM 1.~~

1. ~~Species: [Red oak] [White maple] [Aspen, basswood, cottonwood, sap gum, sycamore, white maple, or yellow poplar] <Insert species>.~~
2. ~~Kiln-dried softwood or MDF, with exposed surfaces veneered with species indicated, may be used in lieu of solid wood.~~
3. ~~Maximum Moisture Content: 9 percent.~~
4. ~~Finger Jointing: Not allowed.~~
5. ~~Matching: Selected for compatible grain and color.~~
6. ~~Base Pattern: [HWM 633, 7/16-by-3 1/4-inch (11-by-83-mm) ogee] [HWM 713, 7/16-by-3 1/4-inch (11-by-83-mm) ranch] [HWM 753, 7/16-by-3 1/4-inch (11-by-83-mm) beaded-edge] [WM 620, 7/16-by-4 1/4-inch (11-by-108-mm) ogee] base.~~
7. ~~Shoe Mold Pattern: [HWM 129, 7/16-by-11/16-inch (11-by-17-mm) quarter-round] [HWM 126, 1/2-by-3/4-inch (13-by-19-mm) quarter-round] [HWM 131, 1/2-by-3/4-inch (13-by-19-mm) ogee] shoe mold.~~
8. ~~Casing Pattern: [HWM 328, 1/2-by-2 1/4-inch (13-by-57-mm) clamshell] [HWM 366, 1/2-by-2 1/4-inch (13-by-57-mm) featheredge] [HWM 376, 1/2-by-2 1/4-inch (13-by-57-mm) beaded-edge] casing.~~
9. ~~Mull-Casing Pattern: [HWM 989, 3/16-by-2-inch (5-by-51-mm) square-edge] [HWM 988, 3/8-by-1 1/2-inch (9.5-by-38-mm) featheredge] [HWM 987, 3/8-by-2-inch (9.5-by-51-mm) featheredge] casing.~~
10. ~~Stop Pattern: [HWM 856, 3/8-by-1 3/8-inch (9.5-by-35-mm) ranch] [HWM 946, 3/8-by-1 3/8-inch (9.5-by-35-mm) ogee] [HWM 886, 3/8-by-1 3/8-inch (9.5-by-35-mm) bullnose] stop.~~
11. ~~Chair Rail Pattern: HWM 297, 11/16-by-3-inch (17-by-76-mm) chair rail. (ADD 2)~~

2.4 ~~PANELING~~

A. ~~Hardwood Veneer Plywood Paneling: Manufacturer's stock hardwood plywood panels complying with HPVA HP-1[, made without urea-formaldehyde adhesive].~~

1. ~~Manufacturers: Subject to compliance with requirements, [provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:~~
2. ~~Basis of Design Product: Subject to compliance with requirements, provide [product indicated] <Insert manufacturer's name; product name or designation> or comparable product by one of the following:~~
 - a. ~~Chesapeake Hardwood Products, Inc.~~

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- b. ~~Georgia-Pacific Corp.~~
- c. ~~Holland Southwest International.~~
- d. ~~<Insert manufacturer's name>.~~

- 3. ~~Face Veneer Species and Cut: [Rotary-cut white birch] [Plain-sliced red oak] [Plain-sliced hickory] <Insert species and cut>.~~
- 4. ~~Veneer Matching: [Random-match] [Selected for similar color and grain].~~
- 5. ~~Backing Veneer Species: [Same species as face veneer] [Any hardwood compatible with face species].~~
- 6. ~~Construction: Veneer core.~~
- 7. ~~Thickness: [1/8 inch (3.2 mm)] [5/32 inch (4 mm)] [5 mm] [1/4 inch (6.4 mm)] [5/16 inch (7.9 mm)] [7/16 inch (11 mm)].~~
- 8. ~~Panel Size: [48 by 96 inches (1219 by 2438 mm)] [48 by 120 inches (1219 by 3048 mm)].~~
- 9. ~~Panel Size: [1200 by 2400 mm] [1200 by 3000 mm].~~
- 10. ~~Glue Bond: Type II (interior).~~
- 11. ~~Face Pattern: Manufacturer's standard [V] [channel]-grooved pattern, with grooves at edges, center, and third points of panels, and at other locations to provide pattern resembling random-width boards.~~
- 12. ~~Finish: [Manufacturer's standard, transparent, UV-resistant, protective finish] [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range].~~

B. ~~Hardboard Paneling: Interior factory-finished hardboard paneling complying with AHA 135.5.~~

- 1. ~~Manufacturers: Subject to compliance with requirements, [provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:~~
- 2. ~~Basis of Design Product: Subject to compliance with requirements, provide [product indicated] <Insert manufacturer's name; product name or designation> or comparable product by one of the following:~~
 - a. ~~Chesapeake Hardwood Products, Inc.~~
 - b. ~~Georgia-Pacific Corp.~~
 - c. ~~Marlite.~~
 - d. ~~<Insert manufacturer's name>.~~
- 3. ~~Thickness: [1/8 inch (3.2 mm)] [5/32 inch (4 mm)] [1/4 inch (6.4 mm)].~~
- 4. ~~Finish: [Class I] [Class II].~~
- 5. ~~Surface Burning Characteristics: As follows, tested according to ASTM E 84:~~
 - a. ~~Flame Spread Index: 25 or less.~~
 - b. ~~Smoke Developed Index: 450 or less.~~
- 6. ~~Colors, Textures, and Patterns: [As indicated by manufacturer's designations] [Match Architect's samples] [As selected by Architect from manufacturer's full range]. (ADD 2)~~

2.5 MISCELLANEOUS MATERIALS

- A. Fasteners for Interior Finish Carpentry: Nails, screws, and other anchoring devices of type, size, material, and finish required for application indicated to provide secure attachment, concealed where possible.

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- B. Glue: Aliphatic-resin, polyurethane, or resorcinol wood glue recommended by manufacturer for general carpentry use.
 - 1. Wood glue shall have a VOC content of 30 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- C. Installation Adhesive for Foam Plastic Moldings: Product recommended for indicated use by foam plastic molding manufacturer.
 - 1. Adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- D. Paneling Adhesive: Comply with paneling manufacturer's written recommendations for adhesives.
 - 1. Adhesive shall have a VOC content of 50 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- E. Multipurpose Construction Adhesive: Formulation complying with ASTM D 3498 that is recommended for indicated use by adhesive manufacturer.
 - 1. Adhesive shall have a VOC content of 70 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).

2.6 FABRICATION

- A. Back out or kerf backs of the following members except those with ends exposed in finished work:
 - 1. Interior standing and running trim except shoe and crown molds.
 - 2. Wood-board paneling.
- B. Ease edges of lumber less than 1 inch (25 mm) in nominal thickness to 1/16-inch (1.5-mm) radius and edges of lumber 1 inch (25 mm) or more in nominal thickness to 1/8-inch (3-mm) radius.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance.
- B. Examine finish carpentry materials before installation. Reject materials that are wet, moisture damaged, and mold damaged.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Clean substrates of projections and substances detrimental to application.
- B. Before installing interior finish carpentry, condition materials to average prevailing humidity in installation areas for a minimum of 24 hours unless longer conditioning is recommended by manufacturer.

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3.3 INSTALLATION, GENERAL

- A. Do not use materials that are unsound, warped, improperly treated or finished, inadequately seasoned, too small to fabricate with proper jointing arrangements, or with defective surfaces, sizes, or patterns.
- B. Install interior finish carpentry level, plumb, true, and aligned with adjacent materials. Use concealed shims where necessary for alignment.
 - 1. Scribe and cut interior finish carpentry to fit adjoining work. Refinish and seal cuts as recommended by manufacturer.
 - 2. Where face fastening is unavoidable, countersink fasteners, fill surface flush, and sand unless otherwise indicated.
 - 3. Install to tolerance of 1/8 inch in 96 inches (3 mm in 2438 mm) for level and plumb. Install adjoining interior finish carpentry with 1/32-inch (0.8-mm) maximum offset for flush installation and 1/16-inch (1.5-mm) maximum offset for reveal installation.
 - 4. Install stairs with no more than 3/16-inch (4.7-mm) variation between adjacent treads and risers and with no more than 3/8-inch (9.5-mm) variation between largest and smallest treads and risers within each flight.
 - 5. Coordinate interior finish carpentry with materials and systems in or adjacent to it. Provide cutouts for mechanical and electrical items that penetrate interior finish carpentry.

3.4 STANDING AND RUNNING TRIM INSTALLATION

- A. Install with minimum number of joints practical, using full-length pieces from maximum lengths of lumber available. Do not use pieces less than 24 inches (610 mm) long, except where necessary. Stagger joints in adjacent and related standing and running trim. ~~{Cope}~~ ~~{Miter}~~ at returns, miter at outside corners, and cope at inside corners to produce tight-fitting joints with full-surface contact throughout length of joint. Use scarf joints for end-to-end joints. Plane backs of casings to provide uniform thickness across joints where necessary for alignment. **(ADD 2)**
 - 1. Match color and grain pattern of trim for transparent finish (stain or clear finish) across joints.
 - 2. Install trim after gypsum-board joint finishing operations are completed.
 - 3. Install without splitting; drill pilot holes before fastening where necessary to prevent splitting. Fasten to prevent movement or warping. Countersink fastener heads on exposed carpentry work and fill holes.

3.5 ~~PANELING INSTALLATION~~

- ~~A. **Plywood Paneling:** Select and arrange panels on each wall to minimize noticeable variations in grain character and color between adjacent panels. Leave 1/4-inch (6-mm) gap to be covered with trim at top, bottom, and openings. Install with uniform tight joints between panels.~~
 - ~~1. **Attach panels to supports with manufacturer's recommended panel adhesive and fasteners. Space fasteners and adhesive as recommended by panel manufacturer.**~~
 - ~~2. **Conceal fasteners to greatest practical extent.**~~
 - ~~3. **Arrange panels with grooves and joints over supports. Fasten to supports with nails of type and at spacing recommended by panel manufacturer. Use fasteners with prefinished heads matching groove color.**~~
- ~~B. **Hardboard Paneling:** Install according to manufacturer's written recommendations. Leave 1/4-inch (6-mm) gap to be covered with trim at top, bottom, and openings. Butt adjacent panels with moderate contact. Use fasteners with prefinished heads matching paneling color.~~
 - ~~1. **Wood Stud or Furring Substrate:** Install with 1-inch (25-mm) annular-ring shank hardboard nails.~~

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- ~~2. Plaster or Gypsum Board Substrate: Install with 1 5/8 inch (41 mm) annular-ring shank hardboard nails.~~
- ~~3. Nailing: Space nails 4 inches (100 mm) o.c. at panel perimeter and 8 inches (200 mm) o.c. at intermediate supports unless otherwise required by manufacturer.~~

~~C. Board Paneling: Install according to manufacturer's written instructions. Arrange in random-width pattern suggested by manufacturer unless boards or planks are of uniform width.~~

- ~~1. Install in full lengths without end joints.~~
- ~~2. Stagger end joints in random pattern to uniformly distribute joints on each wall.~~
- ~~3. Install with uniform end joints with only end-matched (tongue-and-groove) joints within each field of paneling.~~
- ~~4. Install with uniform end joints. Locate end joints only over furring or blocking.~~
- ~~5. Select and arrange boards on each wall to minimize noticeable variations in grain character and color between adjacent boards. Install with uniform tight joints between boards.~~
- ~~6. Fasten paneling by face nailing, setting nails, and filling over nail heads.~~
- ~~7. Fasten paneling with trim screws, set below face and filled.~~
- ~~8. Fasten paneling by blind nailing through tongues.~~
- ~~9. Fasten paneling with paneling system manufacturer's concealed clips.~~
- ~~10. Fasten paneling to gypsum wallboard with panel adhesive. (ADD 2)~~

3.6 ADJUSTING

- A. Replace interior finish carpentry that is damaged or does not comply with requirements. Interior finish carpentry may be repaired or refinished if work complies with requirements and shows no evidence of repair or refinishing. Adjust joinery for uniform appearance.

3.7 CLEANING

- A. Clean interior finish carpentry on exposed and semiexposed surfaces. Restore damaged or soiled areas and touch up factory-applied finishes, if any.

3.8 PROTECTION

- A. Protect installed products from damage from weather and other causes during construction.
- B. Remove and replace finish carpentry materials that are wet, moisture damaged, and mold damaged.
 1. Indications that materials are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
 2. Indications that materials are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 06 20 23

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SECTION 09 30 13 - TILING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Porcelain Tile
 - 2. Gypsum tile glass-mat backing panels.
 - 3. Transition strips.
 - 4. Mastics.
 - 5. Waterproof membrane.
 - 5.6. Crack isolation membrane.**
- B. Related Sections:
 - 1. Division 7- Section Joint Sealants for sealing of expansion, contraction, control, and isolation joints in tile surfaces.
 - 2. Division 7 – Section Waterproofing.

1.3 DEFINITIONS

- A. General: Definitions in the ANSI A108 series of tile installation standards and in ANSI A137.1 apply to Work of this Section unless otherwise specified.
- B. ANSI A108 Series: ANSI A108.01, ANSI A108.02, ANSI A108.1A, ANSI A108.1B, ANSI A108.1C, ANSI A108.4, ANSI A108.5, ANSI A108.6, ANSI A108.8, ANSI A108.9, ANSI A108.10, ANSI A108.11, ANSI A108.12, ANSI A108.13, ANSI A108.14, ANSI A108.15, ANSI A108.16, and ANSI A108.17, which are contained in "American National Standard Specifications for Installation of Ceramic Tile."
- C. Provide tiled walls adjacent to toilets/urinals per IBC 1210.2.
- D. Tile Council of North America (TCNA), current edition.
- E. Module Size: Actual tile size plus joint width indicated.
- F. Face Size: Actual tile size, excluding spacer lugs.

1.4 SUBMITTALS

- A. Product Data: For each type of product indicated.

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- B. Shop Drawings: provide drawing indicating expansion and control joints.
- C. Samples for Verification:
 - 1. Full-size units of each type and composition of tile and for each color and finish required.
 - 2. Full-size units of each type of trim and accessory for each color and finish required.
 - 3. Metal edge strips in 6-inch lengths.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match and are from same production runs as products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Tile and Trim Units: Furnish quantity of full-size units equal to 3 percent of amount installed for each type, composition, color, pattern, and size indicated.

1.6 QUALITY ASSURANCE

- A. Source Limitations for Tile: Obtain tile of each type and color or finish from one source or producer.
 - 1. Obtain tile of each type and color or finish from same production run and of consistent quality in appearance and physical properties for each contiguous area.
- B. Source Limitations for Setting and Grouting Materials: Obtain ingredients of a uniform quality for each mortar, adhesive, and grout component from one manufacturer and each aggregate from one source or producer.
- C. Source Limitations for Other Products: Obtain each of the following products specified in this Section from a single manufacturer for each product:
 - 1. Joint sealants.
 - 2. Gypsum tile glass-mat backer units.
- D. Preinstallation Conference: Conduct conference at Project site with Architect present.
 - 1. Review requirements in ANSI A108.01 for substrates and for preparation by other trades.
- E. Mockups: Build mockups to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Build mockup of each type of floor tile installation.
 - 2. Build mockup of each type of wall tile installation.
 - 3. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver and store packaged materials in original containers with seals unbroken and labels intact until time of use. Comply with requirements in ANSI A137.1 for labeling tile packages.
- B. Store tile and cementitious materials on elevated platforms, under cover, and in a dry location.
- C. Store aggregates where grading and other required characteristics can be maintained and contamination can be avoided.
- D. Store liquid materials in unopened containers and protected from freezing.

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- E. Handle tile that has temporary protective coating on exposed surfaces to prevent coated surfaces from contacting backs or edges of other units. If coating does contact bonding surfaces of tile, remove coating from bonding surfaces before setting tile.

1.8 PROJECT CONDITIONS

- A. Environmental Limitations: Do not install tile until construction in spaces is complete and ambient temperature and humidity conditions are maintained at the levels indicated in referenced standards and manufacturer's written instructions.

PART 2 - PRODUCTS

2.1 PRODUCTS, GENERAL

- A. ANSI Ceramic Tile Standard: Provide tile that complies with ANSI A137.1 for types, compositions, and other characteristics indicated.
- B. ANSI Standards for Tile Installation Materials: Provide materials complying with ANSI A108.02, ANSI standards referenced in other Part 2 articles, ANSI standards referenced by TCNA installation methods specified in tile installation schedules, and other requirements specified.
- C. Factory Blending: For tile exhibiting color variations within ranges, blend tile in factory and package so tile units taken from one package show same range in colors as those taken from other packages and match approved Samples.
- D. Mounting: For factory-mounted tile, provide back- or edge-mounted tile assemblies as standard with manufacturer unless otherwise indicated.
 - 1. Where tile is indicated for installation in wet areas, do not use back- or edge-mounted tile assemblies unless tile manufacturer specifies in writing that this type of mounting is suitable for installation indicated and has a record of successful in-service performance.
- E. Factory-Applied Temporary Protective Coating: Where indicated under tile type, protect exposed surfaces of tile against adherence of mortar and grout by pre-coating with continuous film of petroleum paraffin wax, applied hot. Do not coat unexposed tile surfaces.

2.2 TILE PRODUCTS

- A. Tile Type PT: Unglazed porcelain tile.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide tile by the following:
 - a. Ergon, style: Stone Project. (303) 319-4293.
 - b. Or approved equal.
 - 2. Composition: Porcelain.
 - 3. Face Size:
 - a. 23-5/8" x 47-1/4" tile.
 - b. 6-5/16" x 11-13/16" cove tile.
 - c. 11-13/16" x 23-5/8" deco strip tile.
 - d. 11-13/16" x 15-3/4" mosaic tile on a sheet.
 - e. 3-3/8" x 23-5/8" surface bullnose tile.
 - f. Inside corner cove piece.

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- g. Outside corner cove piece.
4. Thickness: 1/4 inch, approximate.
5. Face: Flamed with square edges.
6. Cove base: install using flush detail per TCNA most current edition.
7. Sanded Grout Color: Custom Building Products color to be selected.
8. Water absorption: less than 5% per ASTM C373.

2.3 GLASS-MAT TILE BACKING PANELS

- A. Glass-Mat, Water-Resistant Backing Board with Water-Resistant Coating: ASTM C 1178/C 1178M.
 1. Basis-of-Design Product: Subject to compliance with requirements, provide G-P Gypsum Corporation; "DensShield Tile Backer" or an approved equal product by another manufacturer. Provide at all shower locations.
 2. Core: 5/8 inch Type X.
 3. Long Edges: Square.

2.4 THRESHOLDS

- A. Schluter®-SCHIENE
 1. Material and Finish: AE - Satin Anodized Aluminum
 - 2.

Transition From:	To:	Schluter Model	Schluter Finish	Strip is installed below this flooring
SV	PT	RENO-U-EBU100	Brushed stainless steel	PT
PT	PT	JOLLY-ANIGB100	Brushed nickel anodized aluminum	Either
PT	SV	RENO-U-AEU 150	Satin anodized aluminum	PT
PT	CPT	RENO-TK-EBTK 125	Brushed stainless steel	PT
PT	SC	RENO-RAMP-AERP-125 B65	Satin anodized aluminum	PT

- B. Height as required.

2.5 SETTING MATERIALS

- A. Dry-Set Portland Cement Mortar (Thin Set): ANSI A118.1.
 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. MAPEI Corporation Ultraflex LFT.
 2. For wall applications, provide mortar that complies with requirements for nonsagging mortar in addition to the other requirements in ANSI A118.1.
- B. Urethane Waterproofing, **Crack Isolation Membrane**, and Tile-Setting Adhesive: One-part, liquid-applied urethane, with a VOC content of 65 g/L or less when calculated according to 40 CFR 59,

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Subpart D (EPA Method 24), in a consistency suitable for trowel application and intended for use as both waterproofing and tile-setting adhesive in a two-step process.

1. Subject to compliance with requirements, provide the following:
 - a. Mapei Corporation MapelasticAquaDefense.
 - b. Combine with Mapei reinforcing fabric or Mapeband cove roll and drain flash.
 - c. Install at toilet room floors above grade.

2.6 GROUT MATERIALS

- A. Polymer-Modified Tile Grout: ANSI A118.7.
 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Mapei polymer modified sanded grout Keracolor S.
 - b. **Apply penetrating sealer at shower floor and walls.**
- B. All grout must have VOC limits under 65 g/L.

2.7 MASTICS

- A. Cold-weather mastic:
 1. Mapei Kerapoxy Cold-Weather Formula, Part B.
- B. Wall and tile adhesive:
 1. Mapei Type 1 Professional grade.

2.8 CAULK

- A. Acrylic caulk:
 1. Keracaulk S sanded acrylic caulk for use with sanded grout.

2.9 CRACK ISOLATION MEMBRANE

- A. Uncoupling membrane at all floor tile **except where waterproof membrane is specified.**
 1. ~~Schluter DITRA~~ **Mapei Mapeguard 2.**

2.10 MISCELLANEOUS MATERIALS

- A. Trowelable Underlayments and Patching Compounds: Latex-modified, portland cement-based formulation provided or approved by manufacturer of tile-setting materials for installations indicated.
- B. Grout sealer:
 1. Miracle Sealants 511 Sealant with Mira Matte on porcelain tile.
- C. Tile Cleaner: A neutral cleaner capable of removing soil and residue without harming tile and grout surfaces, specifically approved for materials and installations indicated by tile and grout manufacturers.

2.11 MIXING MORTARS AND GROUT

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- A. Mix mortars and grouts to comply with referenced standards and mortar and grout manufacturers' written instructions.
- B. Add materials, water, and additives in accurate proportions.
- C. Obtain and use type of mixing equipment, mixer speeds, mixing containers, mixing time, and other procedures to produce mortars and grouts of uniform quality with optimum performance characteristics for installations indicated.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions where tile will be installed, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of installed tile.
 - 1. Verify that substrates for setting tile are firm, dry, clean, free of coatings that are incompatible with tile-setting materials including curing compounds and other substances that contain soap, wax, oil, or silicone; and comply with flatness tolerances required by ANSI A108.01 for installations indicated.
 - 2. Verify that concrete substrates for tile floors installed with adhesives bonded mortar bed or thin-set mortar comply with surface finish requirements in ANSI A108.01 for installations indicated.
 - a. Verify that surfaces that received a steel trowel finish have been mechanically scarified.
 - b. Verify that protrusions, bumps, and ridges have been removed by sanding or grinding.
 - 3. Verify that installation of grounds, anchors, recessed frames, electrical and mechanical units of work, and similar items located in or behind tile has been completed.
 - 4. Verify that joints and cracks in tile substrates are coordinated with tile joint locations; if not coordinated, adjust joint locations in consultation with Architect.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Fill cracks, holes, and depressions in concrete substrates for tile floors installed with adhesives or thin-set mortar with trowelable leveling and patching compound specifically recommended by tile-setting material manufacturer.
- B. Where indicated, prepare substrates to receive waterproofing by applying a reinforced mortar bed that complies with ANSI A108.1A and is sloped 1/4 inch per foot toward drains.
- C. Blending: For tile exhibiting color variations, verify that tile has been factory blended and packaged so tile units taken from one package show same range of colors as those taken from other packages and match approved Samples. If not factory blended, either return to manufacturer or blend tiles at Project site before installing.
- D. Field-Applied Temporary Protective Coating: If indicated under tile type or needed to prevent grout from staining or adhering to exposed tile surfaces, pre-coat them with continuous film of temporary protective coating, taking care not to coat unexposed tile surfaces.

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3.3 TILE INSTALLATION

- A. Comply with TCNA's "Handbook for Ceramic Tile Installation" for TCNA installation methods specified in tile installation schedules. Comply with parts of the ANSI A108 Series "Specifications for Installation of Ceramic Tile" that are referenced in TCNA installation methods, specified in tile installation schedules, and apply to types of setting and grouting materials used.
- B. Extend tile work into recesses and under or behind equipment and fixtures to form complete covering without interruptions unless otherwise indicated. Terminate work neatly at obstructions, edges, and corners without disrupting pattern or joint alignments.
- C. Accurately form intersections and returns. Perform cutting and drilling of tile without marring visible surfaces. Carefully grind cut edges of tile abutting trim, finish, or built-in items for straight aligned joints. Fit tile closely to electrical outlets, piping, fixtures, and other penetrations so plates, collars, or covers overlap tile.
- D. Jointing Pattern: Lay tile in brick-pattern indicated. Unless otherwise indicated, lay out tile work and center tile fields in both directions in each space or on each wall area. Lay out tile work to minimize the use of pieces that are less than half of a tile. Provide uniform joint widths unless otherwise indicated.
 - 1. Lay porcelain tile (PT) in patterns indicated on drawings with a 1/3 overlap layout.
 - 2. Where adjoining tiles on floor, base, walls, or trim are specified or indicated to be same size, align joints.
- E. Joint Widths: Unless otherwise indicated, install tile with the following joint widths:
 - 1. Porcelain Tile: 1/8 inch.
- F. Lay out wall tile heights to dimensions indicated.
- G. Install surface bullnose at the top of every tiled wall.
- H. Install inside and outside corner cove pieces.
- I. Exposed tile edges that do not have factory finished eased surfaces shall be smoothly ground. Architect shall approve sample prior to installation.
- J. Expansion Joints: Provide expansion joints and other sealant-filled joints, including control, contraction, and isolation joints, where required by TCNA. Form joints during installation of setting materials, mortar beds, and tile. Do not saw-cut joints after installing tiles.
 - 1. Where expansion joints occur in concrete substrates, locate joints in tile surfaces directly above them.
 - 2. Prepare joints and apply sealants to comply with requirements in Division 7 Section "Joint Sealants."
 - 3. Provide 3/16" control joints within the tile pattern, ~~minimum of 12' x 12' area. Do not cut tiles to install the control joint.~~ **per drawings SK-022 thru SK-024.**
 - 4. Provide 1/4" control joint at the perimeter.
- K. Grout Sealer: Apply grout sealer to cementitious grout joints in tile floors according to grout-sealer manufacturer's written instructions. As soon as grout sealer has penetrated grout joints, remove excess sealer and sealer from tile faces by wiping with soft cloth.
- L. Install tile over ~~gypsum~~ **glass-mat tile** backer panels in showers and wet areas including sink and toilet walls.

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- M. Install tile over crack isolation membrane ~~where tile area exceeds 1000 square feet~~ at all tile flooring and control or expansion joints are indicated.
- N. Install tile over combination waterproof/crack isolation adhesive on all conditions above grade. Install reinforcing cove fabric at the intersection of wall/floor and at floor drains.
- O. Use proper trowel:mortar:tile size ratio per TCNA most current issue.
- P. Minimize cutting of large format tiles around floor drains. The design intent of the use/location of PT4 is to be centered on floor drains to prevent/minimize cutting of large format tiles.

3.4 TILE BACKING PANEL INSTALLATION

- A. Install fiberglass-mat backer units and treat joints according to ~~ANSI A108.11~~ **ASTM C1178** and manufacturer's written instructions for type of application indicated. Use latex-portland cement mortar for bonding material unless otherwise directed in manufacturer's written instructions.

3.5 MOVEMENT JOINTS

- A. Install movement joints according to Method EJ171 – Contraction Joint.
 - 1. Saw cut control joints in slab directly below sealant and back-up material.

3.6 CLEANING AND PROTECTING

- A. Cleaning: On completion of placement and grouting, clean all tile surfaces so they are free of foreign matter.
 - 1. Remove epoxy and latex-portland cement grout residue from tile as soon as possible.
 - 2. Clean grout smears and haze from tile according to tile and grout manufacturer's written instructions but no sooner than 10 days after installation. Use only cleaners recommended by tile and grout manufacturers and only after determining that cleaners are safe to use by testing on samples of tile and other surfaces to be cleaned. Protect metal surfaces and plumbing fixtures from effects of cleaning. Flush surfaces with clean water before and after cleaning.
 - 3. Remove temporary protective coating by method recommended by coating manufacturer and that is acceptable to tile and grout manufacturer. Trap and remove coating to prevent drain clogging.
- B. Protect installed tile work with kraft paper or other heavy covering during construction period to prevent staining, damage, and wear. If recommended by tile manufacturer, apply coat of neutral protective cleaner to completed tile walls and floors.
- C. Prohibit foot and wheel traffic from tiled floors for at least seven days after grouting is completed.
- D. Before final inspection, remove protective coverings and rinse neutral protective cleaner from tile surfaces.

3.7 INTERIOR TILE INSTALLATION SCHEDULE

- A. Interior Wall Installations, Metal Studs or Furring:
 - 1. Tile Installation TCNA W243: Thin-set mortar on gypsum board.
 - a. Thin-Set Mortar: Latex- portland cement mortar.

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- b. Grout. Install according to ANSI A108.10:
 - 1) Sanded grout.
 - c. Gypsum Board: ASTM C36 and GA-216.
 - d. Tile: ANSI A108.5.
 - B. Interior Wall Installations, Metal Studs or Furring in wet areas, including showers, sink, and toilet fixture/urinal walls:
 - 1. Tile Installation TCNA ~~W243~~**W245**: Thin-set mortar on gypsum board tile glass-mat backer unit.
 - a. Thin-Set Mortar: Latex- portland cement mortar.
 - b. Grout. Install according to ANSI A108.10:
 - 1) Sanded grout.
 - c. Gypsum tile glass-mat tile backer unit: ASTM C1178.
 - C. Interior Floor Installations, Thin-set mortar on concrete subfloor slab on grade **with crack isolation membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F413~~**F125A**-07: thin-set mortar on concrete subfloor.
 - 2. **Grout: Install according to ANSI A108.20:**
 - a. **Sanded grout.**
 - 3. **Crack Isolation Membrane: ANSI A118.21.**
 - 4. **Reference structural drawings S-102 thru S-104 for slab depression locations and depth. The design intent at slab depressions is:**
 - a. **Tile shall be level with all adjacent dissimilar floor finishes.**
 - b. **Tile shall slope to drain at all drain conditions.**
 - D. Interior Floor Installations, Thin-set mortar on concrete subfloor slab above grade **with crack isolation membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F422~~**F125A**-07: thin-set mortar on above grade concrete subfloor.
 - a. **Grout. Install according to ANSI A108.10:**
 - 1) **Sanded grout.**
 - ~~1-2.~~ **Crack Isolation Membrane: ANSI A118.21.**
 - 3. Use manufacturer's designated mortar and grout for above grade concrete subfloors.
 - E. Interior Floor Installations, Thin-set mortar on concrete subfloor slab above grade **with combination crack isolation and waterproof membrane membrane, full coverage**:
 - 1. Tile Installation TCNA ~~F122~~**F122**-07: thin-set mortar on above grade concrete subfloor.
 - 2. **Waterproof Membrane: ANSI A118.10.**
 - a. **Grout. Install according to ANSI A108.10:**
 - 1) **Sanded grout.**
 - 3. **Use manufacturer's designated mortar and grout for above grade concrete subfloors.**
 - 4. **Use at all above grade drain conditions including toilets and concession areas.**
 - 5. **Reference structural drawings S-102 thru S-104 for slab depression locations and depth.**
- 3.8 SCHEDULE OF TILE:
- A. PT: Ergon Stone Project Falda Naturale 98670R white, 23-5/8" x 47-1/4".
 - B. PT1: Ergon Stone Project Falda Naturale 98678R grey, 23-5/8" x 47-1/4".
 - C. PT2: Ergon Stone Project Falda Naturale 89670 white, 6-5/16" x 11-13/16" cove.
 - D. PT3: Ergon Stone Project Falda Naturale M63660 white, 11-13/16" x 23-5/8" deco strip.

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- E. PT4: Ergon Stone Project Falda Naturale I30678 grey, 11-13/16" x 15-3/4" mosaic sheet.
- F. PT5: Ergon Stone Project Falda Naturale 89678 grey, 6-5/16" x 11-13/16" cove.
- G. PT6: Ergon Stone Project Falda Naturale M63668 grey, 11-13/16" x 23-5/8" deco strip.
- H. PT7: Ergon Stone Project Falda Naturale 88660R, white, 3-3/8" x 23-5/8" surface bullnose.
- I. PT8: Ergon Stone Project Falda Naturale 63670R white, 11-3/16" x 23-5/8".

END OF SECTION 09 30 13

SECTION 09 72 00 - WALL COVERINGS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.**

1.2 SUMMARY

- A. Section Includes:**
 - 1. Tackable wall covering.**

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.**
 - 1. Include data on physical characteristics, durability, fade resistance, and fire-test-response characteristics.**
- B. Samples: For each type of wall covering and for each color, pattern, texture, and finish specified, 8.5 x 11 inches in size.**

1.4 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For wall coverings to include in maintenance manuals.**

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Test-Response Characteristics: As determined by testing identical wall coverings applied with identical adhesives to substrates according to test method indicated below by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.**
 - 1. Surface-Burning Characteristics: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.**
 - a. Flame-Spread Index: 25 or less.**
 - b. Smoke-Developed Index: 450 or less.**

2.2 TACKABLE WALL COVERING

- A. Basis-of-Design Product: Subject to compliance with requirements, provide Walltalkers Tac-Wall or comparable product.**
- B. Description: Provide products in rolls from same production run and complying with the following:**
 - 1. Type II, Medium Duty products.**
- C. Gauge: 1/4" (6mm).**
- D. Width: 47 inches.**
- E. Colors, Textures, and Patterns: Sandalwood.**

2.3 TACKABLE WALL-COVERING INSTALLATION

- A. Comply with wall-covering manufacturers' written installation instructions applicable to products and applications indicated.**
- B. Cut wall-covering strips in roll number sequence. Change the roll numbers at partition breaks and corners.**
- C. Install strips in same order as cut from roll.**
 - 1. For solid-color, even-texture, or random-match wall coverings, reverse every other strip.**
- D. Install wall covering without lifted or curling edges and without visible shrinkage.**
- E. Install seams vertical and plumb at least 6 inches (150 mm) from outside corners and 6 inches (150 mm) from inside corners unless a change of pattern or color exists at corner. Horizontal seams are not permitted.**
- F. Trim edges and seams for color uniformity, pattern match, and tight closure. Butt seams without overlaps or gaps between strips.**
- G. Fully bond wall covering to substrate. Remove air bubbles, wrinkles, blisters, and other defects.**

2.4 CLEANING

- A. Remove excess adhesive at seams, perimeter edges, and adjacent surfaces.**
- B. Use cleaning methods recommended in writing by wall-covering manufacturer.**
- C. Replace strips that cannot be cleaned.**

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- D. Reinstall hardware and hardware accessories, electrical plates and covers, light fixture trims, and similar items.**

END OF SECTION 09 72 00

SECTION 09 83 16 – ACOUSTICAL FINISH SYSTEM

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Spray-applied acoustic ceiling finish system.
- B. Related Sections:
 - 1. Section 092900 "Gypsum Board" for gypsum board substrate.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Manufacturer's certification.
- C. Written certification indicating that the materials contain no asbestos, fiberglass or other man-made mineral fibers.
- D. Samples: 12 inch square sample showing the finish and color on the specified substrate.

1.4 QUALITY ASSURANCE

- A. Manufacturer's Qualifications: ISO 9001:2008 Certified.
- B. Fire-Test-Response Characteristics: Provide acoustical finish system meeting the following as determined by testing identical products by UL or another testing and inspecting agency acceptable to authorities having jurisdiction:
 - 1. Surface-Burning Characteristics: As determined by testing per ASTM E 84.
- C. Mockups: Install mockups of at least 100 sq. ft. (9 sq. m) in surface area to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Use the same tools and techniques to be used for the actual application.
 - 2. Simulate finished lighting conditions for review of mockups.
 - 3. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver in original, unopened containers bearing name of manufacturer and product identification.

- B. Store materials dry, off ground and under cover.
- C. Protect liquid adhesive, sealers, and additives from freezing.

1.6 PROJECT CONDITIONS

- A. Room Temperatures: Maintain temperatures at not less than 55 deg F (13 deg C) or greater than 80 deg F (27 deg C) for at least seven days before application, continuously during application, and for seven days after finish system has set or until plaster has dried.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Subject to compliance with requirements, provide products by the following:
 - 1. International Cellulose Corporation, SonaKrete Acoustical Finish System
 - 2. Or Approved Equal.

2.2 MISCELLANEOUS MATERIALS

- A. Water for Mixing and Finishing: Potable and free of substances capable of affecting set or of damaging materials.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates for compliance with requirements and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.
- C. Gypsum Board substrates require a minimum level 3 finish.

3.2 PREPARATION

- A. Protect adjacent work from soiling, spattering, moisture deterioration, and other harmful effects caused by finish system application.
- B. Coordinate the installation of acoustic finish with work of other trades.

3.3 APPLICATION

- A. Install to thickness indicated.
- B. Install according to manufacturer's written instructions.

- C. After achieving the required thickness and while still wet, float the material to match the approved field sample.
- D. Cure the material with continuous natural or mechanical ventilation.

3.4 PROTECTION

- A. Remove temporary protection and enclosure of other work. Protect finished installation until Substantial Completion.

END OF SECTION 098316

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ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	
B001	Corridor	CPT1	RB	PNT	PNT	PNT	PNT	EXISTING	-	
B002	Men's Restroom	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B003	Women's Restroom	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B004	Janitors Closet	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
B005	Stair Access	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B006	Existing Basement	--	--	PNT	PNT	PNT	PNT	EXP	--	
B007	Electrical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B008	Electrical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B009	Future Stair	--	--	--	--	--	--	--	--	
B010	Boiler	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B011	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B012	Passage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
B013	Mechanical	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
101	Vestibule	PT	-	GL	AL	GL	GL	GB	PNT	
102	Lobby	PT/CPT1	WD	PNT	PNT	PNT3	PNT	SAP/AP1/EXP/GB	PNT1/--/--/PNT	REF. INTERIOR ELEVATIONS FOR WOOD PANEL LOCATION.
103	Box Office	CPT1	RB	PNT	PNT	PNT	PNT	AM1	--	
104	Concessions	PT	PT2	PNT	PNT5	PNT	--	GB	PNT	PNT5 SHALL BE EPOXY
105	Storage	SC	RB	PNT2/FRP	PNT2	PNT2	PNT2/FRP	AM1	--	
106	Multi-Purpose Room	CPT1	WD	PNT	PNT	PNT	PNT	AP/GB	--	
106A	SLL	CPT1	WD	FAA	FAA	FAA	FAA	GB	PNT	
106B	Storage	SV	RB	PNT3	PNT3	PNT3	PNT3	EXP	--	
107	Dressing Room	CPT	RB	PNT	PNT	PNT	PNT	AM1	--	Note 6
107A	Toilet	PT4	PT2	PT3/PT6/PNT2	PNT2	PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
108	Women	PT4/PT8	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
109	Family	PT4	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
110	Men	PT4/PT8	PT2	PT3/PT6/PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
117	Stage	PNT8	-	PNT7	PNT7	PNT7	-	REF		NEW PORTIONS OF STAGE SHALL BE PAINTED TO MATCH EXISTING. REFER TO DRAWINGS FOR EXTENT/TYPE OF FINISH.
118	Auditorium	SC/CPT	WD	WW/PNT6	WW/PNT6	WW/PNT6	WW/PNT6	EXISTING	PNT6	
118A	SLL	CPT	WD	FAA	FAA	FAA	FAA	EXP	--	FAA TO 8'-0" A.F.F./ PNT6 ABOVE
118B	SLL	SC	RB	DL	DL	DL	DL	EXP	--	
119	Lobby	CPT1	WD	PNT	PNT	PNT	PNT	EXISTING	PNT	CEILING PATCHING REQUIRED
120	Concessions	PT	PT2	PNT	PNT	PNT5	PNT	GB	PNT1	NO NEW FINISHES IN ADJACENT STORAGE ROOM. PNT5 SHALL BE EPOXY.
121	Tickets	CPT1	RB	PNT	PNT	PNT	PNT	EXISTING	--	
122	Toilet	-	-	-	-	-	-	-	-	EXISTING, NO NEW FINISHES.
123	SLL	CPT	WD	FAA	FAA	FAA	FAA	GB	PNT6	
125	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	AM1	--	
126	SLL	CPT	WD	FAA	FAA	FAA	FAA	GB	PNT6	
127	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	--	
129	Sound Booth	SC	RB	PNT6	PNT6	PNT6	PNT6	EXISTING	PNT6	FIXED ACOUSTICAL ABSORPTION PER INTERIOR ELEVATIONS
200	Mezzanine Lobby	PT/CPT1	WD	PNT	PNT	PNT3	PNT	SAP/AP1/EXP/GB	PNT1/--/--/PNT	REF. INTERIOR ELEVATIONS FOR WOOD PANEL LOCATION.
201	Storage	PT	PT2	PNT2/FRP	PNT2	PNT2	PNT2/FRP	GB	PNT2	
202	Concessions	PT	PT2	PNT	PNT5	PNT	PNT	EXP	--	PNT5 SHALL BE EPOXY
203	Men	PT8/PT4	PT2	PT3/PT6/PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
204	Family	PT	PT2	PT3/PT6/PNT2	PNT2	PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
205	Women	PT8/PT4	PT2	PNT2	PNT2	PT3/PT6/PNT2	PT3/PT6/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.

ADDENDUM #2 - MARCH 21, 2013

ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	
206	Control Booth	SC	RB	PNT10	PNT10	PNT10	PNT10	AM3	—	
207	Storage	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	PNT1	
212	Mezzanine Lobby	CPT1	WD	PNT	PNT	PNT	PNT	GB	PNT	
214	Lower Mezzanine	WF/CPT	WD	PNT/FAA	PNT	PNT	PNT	EXISTING /NEW ACOUSTICAL DRAPE	—	REF. DRAWINGS FOR HIGH IMPACT WALL COVERING LOCATIONS
215	Janitor	SC	RB	PNT2/FRP	PNT2	PNT2	PNT2/FRP	EXP	—	
216	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
217	Stair Access	CPT1	WD	PNT2	PNT2	PNT2	PNT2	GB	PNT2	
217A	Elevator Access	CPT1	WD	PNT2	PNT2	PNT2	PNT2	GB	PNT2	
218	Storage	SC	RB	PNT2	PNT2	PNT2	PNT2	AP	PNT2	
219	Upper Mezzanine	WF/CPT	WD	PNT/FAA	PNT	PNT	PNT	EXISTING /NEW GB/NEW ACOUSTICAL DRAPE	—	FAA @ UPPER MEZZANINE, NORTH WALL. REF. QT DRAWINGS. REF. AE-124 FOR CEILING FINISHES.
300	Terrace Lobby	PT	WD	PNT	PNT	PNT	PNT	METAL BAR CEILING W/DL ABOVE	—	CEILING IS METAL BAR GRATING WITH SPRAY APPLIED ABSORPTION ABOVE. REF. DRAWINGS FOR DETAILS.
303	Concessions	PT	PT2	PNT2	PNT2	PNT2	PNT5	AM2	—	PNT5 SHALL BE EPOXY
304	Toilet	PT4	PT2	PNT2	PT3/PNT2	PT3/PNT2	PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
305	Toilet	PT4	PT2	PT3/PNT2	PNT2	PNT2	PT3/PNT2	GB	PNT2	TILE TO 7'0" AFF/PNT2 ABOVE. REF. INTERIOR ELEVATIONS.
306	IT	SC	RB	PNT2	PNT2	PNT2	PNT2	GB/EXP	PNT/--	
307	Corridor	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
308	SLL	SC	RB	DL	DL	DL	DL	DL	—	DL FULL HEIGHT, PINNED TO STRUCTURE ABOVE
309	AV	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
310	Dimmer	SC	RB	PNT2	PNT2	PNT2	PNT2	GB/EXP	PNT/--	
311	Corridor	SC	RB	PNT	PNT	PNT	PNT	GB	PNT1	
312	Storage	SC	RB	PNT	PNT	PNT	PNT	EXP	—	
316	Janitor	SC	RB	PNT2/FRP	PNT2/FRP	PNT2/FRP	PNT2/FRP	EXP	—	
318	Elev. Equip.	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-A	Stair A	PT	--	GL	PNT	PNT	PNT	EXP	—	
ST-B	Stair B	SC	RB	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-C	Stair C	-	-	PNT2	PNT2	PNT2	PNT2	EXP	—	
ST-E	Stair E	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-F	Stair F	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-J	Stair J	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	
ST-K	Stair K	CPT	WD	PNT	PNT	PNT	PNT	GB	PNT	

ADDENDUM #2 - MARCH 21, 2013

ROOM FINISH SCHEDULE										
ROOM		FLOOR		WALLS				CEILING		COMMENTS
NUMBER	NAME	FINISH	BASE	NORTH	EAST	SOUTH	WEST	MATERIAL	FINISH	

LEGEND	(refer to specification sections for legend abbreviations)
AM1	2' x 2' mineral fiber
AM2	2' X 4' fiberglass, black
AP	Acoustical plaster - spray applied
AP1	Wood panel ceiling
CPT	6' carpet sheet goods
CPT1	Carpet tile
DL	Duct liner, black
FAA	Fixed acoustical absorption
FRP	Fiberglass reinforced panel
GB	Gypsum board
GL	Glass
HWC	High impact wall covering
PT	Porcelain tile
PT1 - PT8	Porcelain tile

LEGEND	(refer to specification sections for legend abbreviations)
PNT	Paint
PNT1-10	Paint
REF	Reflector
RB	Rubber base
SAP	Sound absorbing acoustical plaster
SC	Stained
SV	Sheet Vinyl
WD	Wood wainscot
WF	Wood floor
WW	Wood wainscot

General Notes

1	Refer to reflected ceiling plans for location/extent of ceiling types and ceiling heights. AP1 shall have acoustical spray ceiling above.
2	Refer to drawings and interior elevations for location of finishes, wood wainscot, wood veneer panels, reflectors, and fixed acoustical absorption
3	Exposed steel columns shall be PNT-9. Reference specifications.
4	Refer to drawings for finishes on stage cheek walls and reflector.
5	Refer to drawings and interior elevations for clarification/extent of finishes.
6	Reference specification Section 09 72 00 for tackable wall covering at makeup counter.

SECTION 312000 - EARTH MOVING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:

- 1. Preparing subgrades for slabs-on-grade.
 - 2. Excavating and backfilling for buildings and structures.

- B. Related Sections:

- 1. Section 013233 "Photographic Documentation" for recording preexcavation and earth moving progress.
 - 2. Section 015000 "Temporary Facilities and Controls" for temporary controls, utilities, and support facilities; also for temporary site fencing if not in another Section.
 - 3. Section 033000 "Cast-in-Place Concrete" for granular course if placed over vapor retarder and beneath the slab-on-grade.

1.3 DEFINITIONS

- A. Borrow Soil: Satisfactory soil imported from off-site for use as fill or backfill.
- B. Drainage Course: Aggregate layer supporting the slab-on-grade that also minimizes upward capillary flow of pore water.
- C. Excavation: Removal of material encountered above subgrade elevations and to lines and dimensions indicated.
 - 1. Authorized Additional Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions as directed by Architect. Authorized additional excavation and replacement material will be paid for according to Contract provisions for changes in the Work.
 - 2. Bulk Excavation: Excavation more than 10 feet (3 m) in width and more than 30 feet (9 m) in length.
 - 3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation.
- D. Fill: Soil materials used to raise existing grades.

- E. Rock: Rock material in beds, ledges, unstratified masses, conglomerate deposits, and boulders of rock material 3/4 cu. yd. (0.57 cu. m) or more in volume that exceed a standard penetration resistance of 100 blows/2 inches (97 blows/50 mm) when tested by a geotechnical testing agency, according to ASTM D 1586.
- F. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appurtenances, or other man-made stationary features constructed above or below the ground surface.
- G. Subgrade: Uppermost surface of an excavation or the top surface of a fill or backfill immediately below subbase, drainage fill, drainage course, or topsoil materials.
- H. Utilities: On-site underground pipes, conduits, ducts, and cables, as well as underground services within buildings.

1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For qualified testing agency.
- B. Material Test Reports: For each on-site and borrow soil material proposed for fill and backfill as follows:
- C. Preexcavation Photographs or Videotape: Show existing conditions of adjoining construction and site improvements, including finish surfaces, that might be misconstrued as damage caused by earth moving operations. Submit before earth moving begins.

1.5 QUALITY ASSURANCE

- A. Geotechnical Testing Agency Qualifications: Qualified according to ASTM E 329 and ASTM D 3740 for testing indicated.
- B. Preexcavation Conference: Conduct conference at Project site.

1.6 PROJECT CONDITIONS

- A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during earth moving operations.
 - 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
 - 2. Provide alternate routes around closed or obstructed traffic ways if required by Owner or authorities having jurisdiction.
- B. Improvements on Adjoining Property: Authority for performing earth moving indicated on property adjoining Owner's property will be obtained by Owner before award of Contract.
 - 1. Do not proceed with work on adjoining property until directed by Architect.

- C. Utility Locator Service: Notify utility locator service for area where Project is located before beginning earth moving operations.
- D. Do not commence earth moving operations until temporary erosion- and sedimentation-control measures, specified in Section 015000 "Temporary Facilities and Controls," are in place.

PART 2 - PRODUCTS

2.1 SOIL MATERIALS

- A. General: Provide borrow soil materials when sufficient satisfactory soil materials are not available from excavations.
- B. Subbase Material: In accordance with Geotechnical Report.
- C. Engineered Fill: In accordance with Geotechnical Report.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout, and other hazards created by earth moving operations.
- B. Protect and maintain erosion and sedimentation controls during earth moving operations.
- C. Protect subgrades and foundation soils from freezing temperatures and frost. Remove temporary protection before placing subsequent materials.

3.2 DEWATERING

- A. Prevent surface water and ground water from entering excavations, from ponding on prepared subgrades, and from flooding Project site and surrounding area.
- B. Protect subgrades from softening, undermining, washout, and damage by rain or water accumulation.
 - 1. Reroute surface water runoff away from excavated areas. Do not allow water to accumulate in excavations. Do not use excavated trenches as temporary drainage ditches.

3.3 EXCAVATION FOR STRUCTURES

- A. Excavate to indicated elevations and dimensions within a tolerance of plus or minus 1 inch (25 mm). If applicable, extend excavations a sufficient distance from structures for placing and removing concrete formwork, for installing services and other construction, and for inspections.
 - 1. Excavations for Footings and Foundations: Do not disturb bottom of excavation. Excavate by hand to final grade just before placing concrete reinforcement. Trim bottoms to required lines and grades to leave solid base to receive other work.
 - 2. Pile Foundations: Stop excavations 6 to 12 inches (150 to 300 mm) above bottom of pile cap before piles are placed. After piles have been driven, remove loose and displaced material. Excavate to final grade, leaving solid base to receive concrete pile caps.

3.4 SUBGRADE INSPECTION

- A. Notify Geotechnical Engineer when excavations have reached required subgrade.
- B. If Geotechnical Engineer determines that unsatisfactory soil is present, continue excavation and replace with compacted backfill or fill material as directed.
- C. Authorized additional excavation and replacement material will be paid for according to Contract provisions for changes in the Work.
- D. Reconstruct subgrades damaged by freezing temperatures, frost, rain, accumulated water, or construction activities, as directed by Architect, without additional compensation.

3.5 UNAUTHORIZED EXCAVATION

- A. Fill unauthorized excavation under foundations or wall footings by extending bottom elevation of concrete foundation or footing to excavation bottom, without altering top elevation. Lean concrete fill, with 28-day compressive strength of 2500 psi (17.2 MPa), may be used when approved by Architect.
 - 1. Fill unauthorized excavations under other construction, pipe, or conduit as directed by Architect.

3.6 STORAGE OF SOIL MATERIALS

- A. Stockpile borrow soil materials and excavated satisfactory soil materials without intermixing. Place, grade, and shape stockpiles to drain surface water. Cover to prevent windblown dust.
 - 1. Stockpile soil materials away from edge of excavations. Do not store within drip line of remaining trees.

3.7 BACKFILL

- A. Place and compact backfill in excavations promptly, but not before completing the following:

1. Construction below finish grade including, where applicable, subdrainage, dampproofing, waterproofing, and perimeter insulation.
2. Surveying locations of underground utilities for Record Documents.
3. Testing and inspecting underground utilities.
4. Removing concrete formwork.
5. Removing trash and debris.
6. Removing temporary shoring and bracing, and sheeting.
7. Installing permanent or temporary horizontal bracing on horizontally supported walls.

- B. Place backfill on subgrades free of mud, frost, snow, or ice.

3.8 SOIL FILL

- A. Plow, scarify, bench, or break up sloped surfaces steeper than 1 vertical to 4 horizontal so fill material will bond with existing material.
- B. Place and compact fill material in layers to required elevations as follows:
1. Under grass and planted areas, use satisfactory soil material.
 2. Under walks and pavements, use satisfactory soil material.
 3. Under steps and ramps, use engineered fill.
 4. Under building slabs, use engineered fill.
 5. Under footings and foundations, use engineered fill.
- C. Place soil fill on subgrades free of mud, frost, snow, or ice.

3.9 SOIL MOISTURE CONTROL

- A. Uniformly moisten or aerate subgrade and each subsequent fill or backfill soil layer before compaction to within 2 percent of optimum moisture content.
1. Do not place backfill or fill soil material on surfaces that are muddy, frozen, or contain frost or ice.
 2. Remove and replace, or scarify and air dry, otherwise satisfactory soil material that exceeds optimum moisture content by 2 percent and is too wet to compact to specified dry unit weight.

3.10 COMPACTION OF SOIL BACKFILLS AND FILLS

- A. Place backfill and fill soil materials in accordance with Geotechnical Report.

3.11 FIELD QUALITY CONTROL

- A. Special Inspections: Owner will engage a qualified special inspector to perform the following special inspections:

1. Determine prior to placement of fill that site has been prepared in compliance with requirements.
 2. Determine that fill material and maximum lift thickness comply with requirements.
 3. Determine, at the required frequency, that in-place density of compacted fill complies with requirements.
- B. Testing Agency: Owner will engage a qualified geotechnical engineering testing agency to perform tests and inspections.
- C. Allow testing agency to inspect and test subgrades and each fill or backfill layer. Proceed with subsequent earth moving only after test results for previously completed work comply with requirements.
- D. Footing Subgrade: At footing subgrades, at least one test of each soil stratum will be performed to verify design bearing capacities. Subsequent verification and approval of other footing subgrades may be based on a visual comparison of subgrade with tested subgrade when approved by Architect.
- E. Testing agency will test compaction of soils in place according to ASTM D 1556, ASTM D 2167, ASTM D 2922, and ASTM D 2937, as applicable. Tests will be performed at the following locations and frequencies:
1. Building Slab Areas: At subgrade and at each compacted fill and backfill layer, at least one test for every 2000 sq. ft. (186 sq. m) or less of paved area or building slab, but in no case fewer than three tests.
 2. Foundation Wall Backfill: At each compacted backfill layer, at least one test for every 100 feet (30 m) or less of wall length, but no fewer than two tests.
- F. When testing agency reports that subgrades, fills, or backfills have not achieved degree of compaction specified, scarify and moisten or aerate, or remove and replace soil materials to depth required; recompact and retest until specified compaction is obtained.

3.12 PROTECTION

- A. Protecting Graded Areas: Protect newly graded areas from traffic, freezing, and erosion. Keep free of trash and debris.
- B. Repair and reestablish grades to specified tolerances where completed or partially completed surfaces become eroded, rutted, settled, or where they lose compaction due to subsequent construction operations or weather conditions.
1. Scarify or remove and replace soil material to depth as directed by Architect; reshape and recompact.
- C. Where settling occurs before Project correction period elapses, remove finished surfacing, backfill with additional soil material, compact, and reconstruct surfacing.
1. Restore appearance, quality, and condition of finished surfacing to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

3.13 DISPOSAL OF SURPLUS AND WASTE MATERIALS

- A. Remove surplus satisfactory soil and waste materials, including unsatisfactory soil, trash, and debris, and legally dispose of them off Owner's property.
- B. Transport surplus satisfactory soil to designated storage areas on Owner's property. Stockpile or spread soil as directed by Architect.
 - 1. Remove waste materials, including unsatisfactory soil, trash, and debris, and legally dispose of them off Owner's property.

END OF SECTION 312000

No.	Date Received	Question	Response
1	3/8/2013	Specification 051200 indicates the Structural Steel Fabricator and Installer are to be AISC Certified. There are currently only 3 Certified Steel Fabricators and 1 Certified Installer in western Colorado. Will this requirement be waived for this project?	The AISC Certification requirement is not waived for the Structural Steel Fabricator, but is waived for the Structural Steel Installer.
2	3/8/2013	Division 31 Excavation is missing from the Project Documents. Please provide.	This will be reflected in Addendum No. 2
3	3/8/2013	The Contract Documents reference Liquidated Damages (Article 73.III) but the amount is not specified. Please clarify if Liquidated Damages are to be a part of the Contract and if so, how are they to be calculated.	Liquidated Damages are required at an amount of \$1,000/day.
4	3/8/2013	I don't see any Division 1 LEED requirements - See Section 230913 (Variable Freq. Drives) calls for LEED reporting requirements. Verify if Project has any LEED requirements at all.	LEED is not required on this project.
5	3/8/2013	Duct Cleaning - Existing Ductwork is noted to be retained at the Main Lobby and above the Stage area. Confirm this is the only intended (outright) duct cleaning requirement.	Duct cleaning of existing duct is not required.
6	3/8/2013	Project Elevation is 4,588.61 ASL. Engineering schedules comment on 5,000' and 5,500' ASL de-ratings. Do they mean to be that far off?	Use Project Elevation 4,588.61 ASL
7	3/8/2013	Will a sump pit be formed/poured into elevator shaft pit (Details 1A & 1B - S-503)? There is a Key Note 455 referenced on sheet AE-433, however that Key Note does not exist.	Yes. A sump pit is required in the elevator shaft pit. The correction has been made on Addendum #2.
8	3/8/2013	The requirement to support all piping, ductwork, refrigerant lines, (as well as electrical conduit, fire protection lines, etc.) from walls and not stage structure (Key Note #1 - PL-100) might suggest one COMMON trapeze support section in this area.	This note is intended to limit hanging any equipment, piping, ductwork, etc. from ceiling in these rooms below the stage for acoustic isolation purposes. This equipment, piping, ductwork, etc... is to be wall and/or floor supported only.
9	3/8/2013	Division 33 Utilities is missing from the Project Documents. Please provide.	See S-1 for City Utility Contact information
10	3/8/2013	FP-100 and PL-200 indicate the existing 4" water service is to be replaced with a 6" service, however the Civil drawings do not this work. Please clarify.	The existing fire line connection is a 6" and is just reduced at the building to a 4"
11	3/8/2013	The Elevator Pit requires a Weil #1413 sump pump, that eventually drains into the Janitor's mop sink basin at Janitor's 215. This device is NOT an oil-separator device required by code (you cannot pump oil into the sanitary sewer system). Engineer should change specification to an oil-separator device.	Oil minder system that shuts down the pump and alarms when oil is detected has been added in this Addendum #2.
12	3/8/2013	Specification 042000 Part 2.2 B.1 specifies a CMU with 2800 psi average. ASTM standard is 1900psi. The block will need to be specifically manufactured to get to these strengths and doing so adds to the cost.	CMU is to be 1900 PSI minimum net compressive strength. This will be shown in Addendum No. 2
13	3/12/2013	Summary Section 011000.1.7.A Full Owner Occupancy – What is the intent of this requirement? I.e. It will be impossible to maintain emergency egress from the existing Mezzanine and Auditorium during construction of the addition.	This requirement has been removed and is shown in Addendum No. 1
14	3/12/2013	Section 015000.3.2.I Lighting – Is a lighted Project Identification sign required?	A lighted Project Identification sign is not required.
15	3/12/2013	Are stairs E & F constructed of steel or wood?	The stairs are constructed of wood.
16	3/12/2013	Please provide information for the canopy at Door 101E.	Provided in Addendum No. 1
17	3/12/2013	Please provide size information for the steel channel (Keynote 492) as shown on elevations 1/AE-201 and 1/AE-202.	The channel is C12x20.7 - Please see structural framing plans.
18	3/12/2013 Pre-Bid Mtg.	Are the screw piles supposed to have a corrosion protection applied?	Corrosion protection is not required.
19	3/12/2013 Pre-Bid Mtg.	Are "As-Built" drawings available for review of existing Avalon structure?	As-Built drawings of the existing structure are extremely limited and would not be useful for the Bid Phase. However, they will be made available to the winning bidder for the Construction Phase.

No.	Date Received	Question	Response
20	3/12/2013 Pre-Bid Mtg.	Contractor's Project Insurance: Should the contractor's insurance cover the value of the Avalon Theatre building?	Yes.
21	3/12/2013 Pre-Bid Mtg.	Does the Contractor need to cover under his insurance the Owner supplied materials/equipment that the Contractor will install for the Owner?	Yes, the Contractor shall have insurance that covers the value of the Owner supplied materials/equipment.
22	3/12/2013 Pre-Bid Mtg.	Can the Owner identify the minimum deductible on the Builders Risk Insurance?	The minimum deductible on the Contractor's Builders Risk Insurance that the Owner is willing to accept is \$50,000.00.
23	3/12/2013 Pre-Bid Mtg.	Who is responsible for paying the building permit fee?	Per Addendum #1, the Owner will be paying for the building permit fees.
24	3/12/2013 Pre-Bid Mtg.	Is the Avalon Project tax exempt?	Yes, the Avalon Theatre Project is tax exempt and the Owner can provide the tax exempt number to the Contractor once a construction contract has been awarded.
25	3/13/2013	In reviewing your TYPES B1, B2, B3 lighting fixtures which are specified as Gotham with DMX control with Philips/Selecon as an Equal – along with a review of the drawings, we see a potential conflict. While the fixture schedule calls for these TYPES to have DMX control, the drawings are showing 0 – 10 volt control for these fixture types.	The DMX call-out for the B type fixtures has been removed in Addendum #2 and instead the 0-10V dimming has been listed.
26	3/13/2013	In lieu of a UL 1008 Emergency Transfer panel, we would propose providing a Strand A21 Dimmer Rack, fed with EM power for the EM house light circuits. Upon loss of normal power, the Emergency EM A21 panel would drive the EM fixtures to full. Because of the required additional relay for the 0 – 10 house lights, the dedicated EM panel and Phase Loss Panel is a more efficient method of providing EM lighting. We might also offer the Lutron DM dimming option on the house lights which would simplify the installation to a 2 wire house light system as an equal to the 0 – 10 option. Please note, the 0 – 10 dimming options and reverse phase DM Lutron options are not 1% dimming range solutions. In order to provide 1% dimming range Lutron 3 drivers will be required. If full range is required, DMX drivers as provided by the Philips house light will be required.	We cannot power the House Dimmer rack with EM power. The amount of EM power is minimal. It is provided by a lighting inverter system that is the smallest we can get away with for the project.
27	3/14/2013	Civil work / Site Demolition – we respectfully request that an existing conditions plan and site demolition plan be developed so as to clearly define the limits of removals of existing site improvements as well as maintaining the required interfaces with existing construction to remain.	An existing conditions plan is unavailable. Site verification or GIS map: http://arcgis-fs.ci.grandjct.co.us/gis_map_external/index.html?map=citymap are available.
28	3/14/2013	Civil drawing G-1 – please clarify replacement of concrete walks at north side of proposed addition. The note on the drawing simply states “ match existing”. Some of the existing concrete flatwork is standard grey concrete while other areas are colored and textured. Please clarify the specific requirements for exterior concrete flatwork – i.e limits of each color and texture.	Standard concrete walks are acceptable. Note scribed concrete pattern on S-1 to match lobby tile pattern.
29	3/14/2013	Civil work – if the existing sculpture artwork is to be re-installed by the City, it should be noted if there are any requirements in this contract scope of work for foundations or block outs on the exterior site pavements.	All work related to Sculpture Artwork (including removal, storage, foundations, reinstallation, etc...) is Not in Contract.
30	3/14/2013	Civil work – is existing asphalt pavement directly east of the proposed loading dock to remain or is it to be replaced with asphalt? Concrete paving? Please clarify.	Existing is to remain. Only walk shown immediately next to building is new work.
31	3/14/2013	Civil work – there are 2 sets of concrete stairs on grade noted at the pedestrian walk along the east wall of the proposed addition. Please provide detailing of stair construction.	Stairs are typical slab on grade concrete stairs. See Planning department typical details.
32	3/14/2013	Specification section 042000-section 2.3, B.6- face brick size is noted as Emperor – 15 9/16” long. This sized brick does not match the existing brick on the original theater walls. Please confirm that this is correct.	Brick Size confirmed. Color to match existing theater brick.

No.	Date Received	Question	Response
33	3/14/2013	Specification section 051200- section 1.8 A & B – both fabricator and erector qualifications require AISC certification. Can this requirement be waived? It will otherwise severely restrict the number of local and western CO firms that can bid the project.	Please see response to Question 1 above.
34	3/14/2013	Drawing AE-102- south wall of rooms 106 & 107 are noted as Type L.3 (8" CMU). Per drawing S-102, these walls are indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
35	3/14/2013	Drawing AE-102 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-102, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
36	3/14/2013	Drawing AE-102 – door to Stair B- please clarify door tag #.	Door is STB-1. Door tag reflected in Addendum No. 2
37	3/14/2013	Drawing AE-102 – Plan Note 113 indicates that the Base Bid scope of door opening 106 requires a pair- 4' x 9' doors. Please provide drawing the depicts the Base Bid scope as opposed to the Alternate (#19). Also, notation of drawing AE-601 calls for the Base Bid doors to be a pair of 5' x 9' doors. Please clarify.	The base bid door will be reflected in Addendum No. 2
38	3/14/2013	Drawing AE-601- please provide door, frame & hardware requirements for Base Bid door opening 106.	The base bid door will be reflected in Addendum No. 2
39	3/14/2013	Drawing AE-601 – Interior Window Schedule – sizes for Window Types 1 and 2 are reversed. Please correct schedule.	This change will be reflected in Addendum No. 2
40	3/14/2013	Drawing AE-601- Door opening 307A – the door is noted as an aluminum flush panel door type A and an aluminum door frame. However the details referenced for door frame jamb and head are for HM frame construction. Please clarify door, frame, and HW requirements for this opening.	This change will be reflected in Addendum No. 2
41	3/14/2013	Drawing AE-601- door opening 106B- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
42	3/14/2013	Drawing AE-601- door opening 101E- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
43	3/14/2013	Drawing AE-601 –door openings STB-1B and STB-3- please clarify door, frame & HW requirements.	This change will be reflected in Addendum No. 2
44	3/14/2013	Drawing AE-103- door opening to north exterior balcony- please clarify door opening tag #.	This change will be reflected in Addendum No. 2
45	3/14/2013	Drawing AE-103- south wall of room 106 is noted as Type L.3 (8" CMU). Per drawing S-103, this wall is indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
46	3/14/2013	Drawing AE-103 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-103, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
47	3/14/2013	Drawing AE-104 – door at Stair B- please clarify door tag #.	This change will be reflected in Addendum No. 2
48	3/14/2013	Drawing AE-104- south wall of room 106 is noted as Type L.3 (8" CMU). Per drawing S-104, this wall is indicated as 12" thick CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
49	3/14/2013	Drawing AE-104 – elevator shaft walls are noted as partition type L.3 (8" CMU). Per drawing S-104, the elevator shaft walls are 12" CMU. Please clarify.	The CMU should be 12". The wall type should be changed to L2. This will be reflected in Addendum No. 2
50	3/14/2013	Drawing AE-105- south parapet wall of elevator override walls- appears to be a thru-wall scupper but is not identified nor detailed. Also is a downspout required? Please clarify.	This change will be reflected in Addendum No. 2
51	3/14/2013	Drawing AE-121 – rooms B007 and B010 indicate "Barrier Ceiling". What does this term mean? From site visit at pre-bid, it did not appear there was enough floor to structure above clearance for any kind of ceiling system. Please clarify.	See 11/AE-534. This ceiling is intended for sound control and allows no penetrations.

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52	3/14/2013	Drawing AE-302 – Building Section 2- section reference at elevator shaft notes 3/AE313. This appears to be incorrect and should be 3/AE343. Please confirm.	Drawing AE-302 – Building Section 2- section reference at elevator shaft notes 3/AE313. This tag should reference 2/AE433.
53	3/14/2013	Drawing AE-303 – Building Section 1 – section detail references at roof terrace canopy edges reference 6/AE314 and 1/AE314. This appears to be incorrect and should be 6/AE511 and 3/AE313. Please confirm.	Drawing AE-303 – Building Section 1 – section detail references at roof terrace canopy edges reference 6/AE314 and 1/AE314. These tags should be 6/AE511 and 1/AE313 respectively.
54	3/14/2013	Drawing AE-312 – Plan Note 360 notes that CW framing is 8". Per drawing AE-603, CW mullion framing is 8.5". Please clarify.	CW framing system is 8.5"
55	3/14/2013	Drawing AE-312 – Plan Note 497 call for 6" CW mullion framing. Per drawing AE-603 the W mullion framing is 5.5". Please clarify.	This change will be reflected in Addendum No. 2
56	3/14/2013	Drawing AE-312 – Wall Section 3 – top of CMU wall detail (4/AE-562) call for an EIFS coping assembly. However, the EIFS wall veneer terminates at the ceiling line below. Please clarify coping and adjacent top of wall detailing.	EIFS wall veneer continues to coping per detail. The ceiling line is incorrectly drawn.
57	3/14/2013	Drawing AE-312- Plan Note 467 – where does this note apply?	Plan Note 467 does not apply and has been omitted in Addendum #2.
58	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306.	
59	3/14/2013	1. Actual usage of suggested pathways, 1 – 3" conduit for projected 28 horizontal cables (Siemon fill Ratio for 3" conduit with 2 bends is 33 Cat 6A cables, 50% fill) and 1 – 3" conduit for Backbone feeder cable from existing POP/Demarc.	
60	3/14/2013	2. Concern: no conduits for Optimum or Century Link (if requested in the future) for feed cables to from basement Entrance Facility (EF) to room 306, usually these need to be dedicated pathways and home run.	We currently have (2) 4" conduit from MDF to 5" outside of building are provided for future city connection. Refer to sheets TE-201 (elevation #3), TE-401 (Callout #1), TE-901 and TE-902. Add (1) additional 3" conduit from EF in existing theatre basement to MDF in new theatre for a total of (3) 3" conduit, this will allow one extended demarc. The design intent was for all demarks to be in the EF.
61	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306. What is the requested pair count for the backbone feed cable from basement to MDF? No details on planning sheet at this time, if this is required or requested or pair count.	Sheet TE-601 Technology backbone riser calls out for 200 pair Cat 5e and (12) Cat 6A.
62	3/14/2013	RMTD requests additional information, per Sheet TE-101 (2) 3" Conduit for Backbone extension to new telecommunications room # 306, at cross section 7 & E. Request an additional penetration and short sleeve into the pull box located in basement passage room B012 to reduce the overall cable length for any cables located on the east side of basement for horizontal cable runs.	Add (1) additional 3" conduit for horizontal cables in east side of basement
63	3/14/2013	RMTD requests additional information on Sheets TE-102, 103, 104, 105 Avalon WAPs located in the stage area?	
64	3/14/2013	1. What design has been developed for pathways to feed back to the Wire trays on the east side? No additional details for conduits or supports are on the plans at this time.	The intent is to use J-hooks and conduit as indicted on sheet TE-501 WAP details, and refer to specifications for proper cable support.
65	3/14/2013	Per Sheet TE-101, RMTD requests additional information on voice circuits for the FACP in room B007?	
66	3/14/2013	1. Currently only data cabling is requested in this room, other than a single wall mount location in the south west corner.	Provide (2) voice circuits to each FACP.
67	3/14/2013	RMTD requests additional information, per Sheet TE-401, 4 post open rack indicates 2 vertical wire managers, will this be provided by Avalon/others along with 4 post rack?	

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68	3/14/2013	1. If not, RMTD needs to know the brand and model of 4 post rack that Avalon/others will be providing to order the proper vertical wire managers.	No, the 4-post open rack and (2) vertical wire management is in the construction cost budget, refer to specifications for approved manufacturers. Item #12 (lockable enclosure) is provided by the city to be installed by contractor.
69	3/14/2013	RMTD requests additional information, per Sheet TE-201 Wall Elevation 3, a 3/4"X48"X48" AC Fire Retardant Plywood for Century Link Backboard will be installed which is mounted on a standoff design.	
70	3/14/2013	1. Request that the Plywood backboard be extended to span the entire length on this wall to accommodate the additional cabling that will be mounted/routed on this wall. Category 6A cable has a diameter of .31 which does not allow for the cables to route within the 89 style standoff, which are used for the termination of the horizontal voice and Backbone feeder cables, for the 66 style blocks. The "Furred" backboard is designed to allow cable penetration thru the plywood and the metal 66 block backboard, which increases the available space for the voice horizontal cross-connect. The "furred" wall also produces the ability to later add additional new cables without disturbing the existing cables and possibly disconnecting any phone in use. Please visit Fire Station 1 for an example of a non-furred wall, and see Fire Admin for a Furred Wall. Not only is the installation more efficient, this design creates a professional appearance and aesthetically pleasing appearance.	Extend the plywood to cover the entire wall, this backboard is for City use,. Anything outside of City utilities must be approved by Richard White.
71	3/15/2013	Drawing AE-440 – new mezzanine stairs – what are they made of? How are they attached to adjacent construction? Please provide detailing of tread, riser, and stringer construction.	The stairs are wood framed and tie into wood framed walls shown on SE drawings.
72	3/15/2013	Drawing SE-102- infill of demolished stair opening in existing Lobby – floor joist infill framing and attachment of ledgers to existing walls is noted. However, what type of, and how many layer(s) of floor decking is required?	See plywood nailing schedule on sheet SE-001
73	3/15/2013	Drawing AE-312 – wall section #2 appears to be incomplete-missing materials identification, Plan Note #'s, references to larger scale details. Please clarify.	This change will be reflected in Addendum No. 2
74	3/15/2013	Drawing AE-431 – bottom landing of Stair A is indicated as a solid mass of concrete in section #5. Please provide detailing for this item of work.	Bottom landing to be bid as typical concrete construction for depth shown.
75	3/15/2013	Drawing AE-436 – a Toilet Room Accessories Legend is provided on this drawing sheet however the Legend Designations for each of the accessory items is not used on the enlarged Toilet Room Plans & Interior Elevations on drawings on AE-437, AE-438, and AE-439. Further complicating the issue, is that the Toilet Accessory schedule in spec section 102800 uses yet a different item designation number for each accessory item than the Legend on AE-436. Additionally, interior elevations are provided for the interior of HC stalls but not the standard stalls. Therefore the specific accessory requirements within the standard stalls are not known. Please clarify.	This change will be reflected in Addendum No. 2
76	3/18/2013	Will the bid date be postponed?	Yes. Bids must be received prior to 2 pm local time, March 28, 2013.
77	3/18/2013	Prequalification – The documents indicate that Contractors submitting bids must be prequalified with the City. If a joint venture is submitting a bid, do one or all of the JV entities need to be prequalified or does the JV entity need to be prequalified?	In the event of a JV, each partner would have to be separately prequalified with the City. They would not however have to be jointly qualified.
78	3/18/2013	Please provide construction details for the exterior ramps and loading dock.	Ramps are typical slab on grade concrete ramps. See Planning department typical details.
79	3/18/2013	Is the loading dock supported on screw piles?	No.
80	3/18/2013	Is a Frost Wall required at the loading dock?	No.
81	3/18/2013	What reinforcing is required at the loading dock walls?	All opening and voids in walls supporting the existing loading dock are to be infilled with masonry.

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82	3/18/2013	Are Frost Walls required at the ramps on Grid Line 10?	Yes.
83	3/18/2013	If Frost Walls are required, are the slabs to be constructed similar to 9/S-501 or are they to be on grade?	Slab on Grade. Follow Section A on G-1
84	3/18/2013	The Frost Wall shown on S-102 at Vestibule 101 is much smaller than required at Doors 101A & 101B (See AE-102).	Frost slabs are to be at minimum the width of the door swing path and should follow the sidewalk joining patterns shown on architectural and civil drawings.
85	3/18/2013	There is demolition that is not shown on the Civil, AD, PD, MD or ED drawings. Since we are to "Bid the Documents", how are we to account for the additional work that will be required? Examples include:	
86	3/18/2013	How much of the existing slab on grade will be required to be removed at the Auditorium to facilitate the re-raking of the floor?	See SE-101. Contractor to field verify to comply with new slab requirements.
87	3/18/2013	The ceiling at the upper mezzanine (existing Control Room) is not indicated to be removed yet will have to be removed to accommodate the new ceiling shown on the RCP.	This change will be reflected in Addendum No. 2
88	3/18/2013	The existing ductwork above the auditorium ceiling is scheduled to be removed and new ductwork installed. The note for the RCP (AE-124) indicates this ceiling is to remain in place. Given the amount of work that is to happen above the ceiling for multiple trades, shouldn't it be indicated to be removed, replaced and details provided for the construction assembly of the ceiling?	The ceiling is intended to remain in place. The rear and front portions are removed in demolition and provide access to the ceiling area.
89	3/18/2013	Plan calls out Arcadia C-Wall as basis of design with Kawneer as an or-equal. Will Kawneer "Glass Wall" be acceptable?	Kawneer "Clear Wall" is acceptable.
90	3/18/2013	Balcony Rail AE-103 Grid line "C" & Key note #198 – Will this be curved or can it be straight?	Straight is acceptable.
91	3/18/2013	What is the construction material of the perforated window jamb as shown in 6/AE-501 and 11/AE604? Is this an integral part of the window system?	The requirement for perforations has been omitted. The jamb and head are integral to the curtainwall system.
92	3/18/2013	Should the helical pile material be quoted as plain steel as well as galvanized?	Galvanized.
93	3/18/2013	Sheet S-503 Pile cap table; are we accommodating all of our pile capacities on the assumed load of 50Tons max.?	Design pile capacity is 50 Tons max. Pile capacity derived from soils report dated April, 27, 2012.
94	3/18/2013	Sheet S-101 Plan note #5; It seems as though these two screw piles are incorporated into GB 1 & 2 but calls for underpinning, are there additional piers here?	Concrete underpinning required for existing foundations that are undermined by new construction of grade beams. Screw piles are not required in at these locations.
95	3/18/2013	Sheet S-101 Plan note #5; Can you provide assumed connection details and loading criteria for the underpinning on these 2 points of intersection?	Contractor to provide proposed underpinning method and details to E.O.R. for review.
96	3/18/2013	Sheet S-001 section 5.7 labeled twice in this section	correction noted.
97	3/18/2013	Sheet S-001 section 5.7.D submittals: Please clarify; is the installation date for each pile, and type, make & model?	Section 5.7.D should read: PILE INSTALLATION EQUIPMENT-DATE: INCLUDING, TYPE, MAKE AND MODEL
98	3/18/2013	Sheet S-001 section 5.9 Engineer of record? Is this Westlake Reed Leskosky or my own provided engineer?	E.O.R. for WRL Structural Drawings is WRL.
99	3/18/2013	There are no New Construction Brackets indicated on the dwgs. Should they be included or is there a plan to either plate the top of the helical pile shaft or fill with concrete?	Brackets and filling of pile shafts with concrete are to be provided as part of the 'delegated design' of the piles for design loadings indicated on the drawings.
100	3/18/2013	S-503 – Elevator Mat Detail	
101	3/18/2013	1. Do we assume that the 4 piles indicated are to be battered?	Piles may be battered if they accommodate all loading criteria indicated on drawings.
102	3/18/2013	2. Is the 20 kip shear load per pile or pile group total service load?	20 kip base shear service load is for pile group.
103	3/18/2013	3. Does the concrete mat foundation take any of the shear loads through passive soil resistance?	Minimal.
104	3/18/2013	S-503 – Grade Beam Table	

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105	3/18/2013	1. Column 3 under Service Loads – The loads given appear to be the axial loads but the column header says “Base Shear for Batter Piles” – Are the loads indicated for GB 1,2,6,7,8,9, Shear loads or Axial Compression Service loads?	Loads given under "BASE SHEAR FOR BATTERED PILES (KIPS)" are shear loads.
106	3/18/2013	2. If these are shear loads, are these individual pile or group loads?	Shear Loads indicated are pile group loads.
107	3/18/2013	3. Does the grade beam absorb any of the base shear by passive soil resistance?	Minimal.
108	3/18/2013	4. Note: 1 states that the Base Shears are applied parallel to grade beams along shear walls.	Correct.
109	3/18/2013	5. GB-2 shows a stated spacing of 4' which would not allow for much battering if any. Please advise.	Screw pile installation contractor to provide solution as part of 'delegated design'.
110	3/18/2013	Load Testing: If pile load testing is required, please clarify the following:	Load testing will be required for screw pile Contractor to establish screw pile allowable loads.
111	3/18/2013	1. Would test/s be performed on sacrificial pile/s?	Test piles meeting approval criteria in item 112 below may be used in the building foundations system.
112	3/18/2013	2. If so, what is the maximum test load required?	Approval Criteria: Allowable load shall be the load acting on the test pile when the lesser of the following criteria are met, divided by a factor of safety of 2: 1. Net settlement of not more than 0.01 inch/ton (0.25 mm/907 kg) of test load. 2. Total settlement exceeds the pile elastic compression by 0.15 inch (4 mm). 3. A plunging failure or sharp break in the load settlement curve.
113	3/18/2013	3. What is an acceptable deflection criteria?	See item 112 above.
114	3/18/2013	4. If testing was performed on production pile/s, what percentage of load is required during the test?... And what is the deflection criteria at that load?	See item 112 above.
115	3/18/2013	Assumed screw pile depths: With a maximum bore test depth at 27.5'; Is the 42' screw pile depth assumed based on past installation experience in the downtown area?	Per the report, "it is anticipated that the screw piles/helical piers will reach refusal within 5 to 15 feet of the top of the gravel and cobble layer." The variable penetration into the gravel and cobble stratum is based upon Huddleston-Berry's past experience with high capacity screw piles in the vicinity of the site. 27 feet (cobble bearing stratum depth) plus 15 feet equals 42 feet potential pile length.
116	3/18/2013	Is the screw pile installation contractor required to provide their own engineering firm and supply stamped construction drawings specific to their product?	Yes, as part of the 'delegated design' of the screw piles the Contractor shall provide a complete, engineered screw pile system that conforms to the loading requirements outlined in the contract documents and complies to all applicable design codes including 2012 IBC Section 1810 Deep Foundations. The screw pile design and shall be signed and sealed by a qualified professional engineer responsible for their preparation.
117	3/18/2013	Specification section 093013 Ceramic Tile calls for thin set installation application for floor tile with polymer modified grout & grout joint sealer (topically applied). Detail 16/AE532 requires the following: mud set installation application with epoxy joint grout over a "precast slab". Please clarify the installation, setting bed, and joint grout requirements for the shower floor as well as all other ceramic floor tile applications for the project.	Detail 16/AE532 has been omitted. Follow Spec section 093013.
118	3/18/2013	Detail 6A/AE532 – Cable Pass Vault- please provide detailing of vault construction – dimensions for footings, slab & walls, reinforcing requirements for footings, slab, and walls, extent of floor repair to installation of vault.	Vault construction is intended to be design/build after verification of existing slab location and extent of demolition.
119	3/18/2013	Interior Elevation 6/AE421 contains reference to section 13/AE521. This detail reference appears to be incorrect and should be 6/AE521. Please confirm.	Confirmed.

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120	3/18/2013	Drawing AE-521, Detail 13 – Base Cabinet section – notations on this detail read “Reception Desk is Maple Veneer” and “Reception Desk has no toe-kick and Maple veneer base”. Please clarify where this section and notations apply.	Detail 13 has been omitted. This change will be reflected on Addendum No. 2
121	3/18/2013	Drawing AE-522 – Interior elevation for Make-up Counter (issued under Addendum #1) – Tackable wall panels were added on each side of the make-up mirror. Please clarify product specifications for this new material.	Specifications for Tackable Wall Panels will be shown in Addendum No. 2
122	3/18/2013	Drawing AE-104 – Plan Note 722 – Rigid Sheet Wall Covering (also noted on 12/AE532 as Rigid Sheet Wall Protection) – this material does not appear to be addressed in the project specifications. Please provide specifications for material and installation requirements.	The Specification section for these products is 06 64 00 "Plastic Paneling (FRP and RSW)"
123	3/18/2013	Specification section 097413 Wood Veneer Wall Covering – there appears to be a number of the same items of work addressed in both this spec section as well as 062023, with specific regards to side wall paneling in Auditorium 118, Stage (curved) Cheek walls, & suspended reflector above the stage. It is not clear which product is to be used and where. Please clarify.	This change will be reflected in Addendum No. 2
124	3/18/2013	Drawing AE-422 – wood paneling depicted on Interior Elevation #4 on south wall of Lobby 102 (as well as wall section 4/AE504) – the wall veneer material is noted as “wood wallcovering”. This location is not addressed in the schedule of locations noted in either spec section 062023 or 097413. Please clarify which product is to be used as well as the species of wood required for this location.	following spec section 097413 for this location. Match to stage cheek wall product.
125	3/18/2013	Drawing AE-440- revised (per Add #1) detail #14 Handrail Connection Details – material notes for the hand rails have been revised to “clear finished wood or painted steel”. All of the wall mounted handrails on this drawing sheet are tagged with Plan Note 704 indicating wood handrail material. Please clarify the intent of the revision to the material notation of wood or steel.	The railings in corridors 125, 216, and 307 are painted steel. These railings should follow detail #14. See sheets AE-434, 435.
126	3/18/2013	Drawing AE-422, detail #5 – Plan Note 819 identifies “Perforated Steel Panel, Painted” – is this the material that is noted in specification section 055000, page 7? How is this piece of sheet metal supported and attached to adjacent construction? Also, the detail cut taken at this location (13/AE551) appears to be incorrect. Please clarify.	Detail #5 on AE-422 should reference #12/AE-551. Specification Section 055000 2.12 applies to detail 12/AE-551. Specification Section 055000 2.13 applies to detail 13/AE-551.
127	3/18/2013	Drawing AE-531, detail #8 – there is a notation regarding “Cont. Perforated Metal Panel” - is this the material that is noted in specification section 055000, page 7? How is this piece of sheet metal supported and attached to adjacent construction? What are the adjacent ½” reveals made of? Please clarify.	Specification Section 055000 2.12 applies to detail 8/AE-531. The reveals are bent into the panel similar to 12/AE-551.
128	3/18/2013	Drawings SE-201 (detail “D”) and SE-203 (detail 1) – these details appear to address the same exact location – the front row & edge of the mezzanine re-construction. It appears that 1/SE203 applies only at 4 foot centers (spacing of D-ring anchors). Please confirm.	One section is the typical balcony edge condition and the other is the steel bracing to support the light rail and the D-Ring anchors
129	3/18/2013	Drawing AE-532, detail #5 – HSS 4 x 4 TS posts are indicated with 8’ on center spacing. Per Drawings SE-102 & SE-230, these posts appear to be spaced 4’ on center. Please clarify.	Please follow Drawings SE-102 & SE-230. Use 4’ on Center spacing.
130	3/18/2013	Detail 5/AE532 notes 6” metal stud framing in Auditorium Mezzanine balcony wall. Per D/SE201 the stud framing within this wall are wood. Please clarify.	Please Follow D/SE201 for framing. Use wood framing.

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131	3/18/2013	Details 10 & 12/AE532 note mezzanine pony walls with metal stud framing (as well as metal hat channels at #10). Per details 4 & 5/SE201, these walls are framed with 2x6 wood. Please clarify.	Please Follow 4&5/SE201 for framing. Use wood framing.
132	3/18/2013	Existing AV equipment: please provide detailed list of all AV equipment and responsibility Matrix defining the responsibility for: relocated/installed, salvaged and turned over to Owner, demolished, etc.	WRL does not have a detailed list, the TA drawings indicate equipment which is to be relocated / installed, salvaged and turned over, and demolished.
133	3/18/2013	Existing AV equipment- doe any existing equipment need to be refurbished? Please clarify.	It is up to the AV contractor to verify, test, and refurbish/replace any equipment that may be damaged.
134	3/18/2013	Existing AV equipment –please clarify who is responsible for the temporary storage of existing equipment to be re-used/relocated.	The AV Contractor.
135	3/18/2013	AV equipment item OPPO BDP-95 has been discontinued. Is OPPO BDO-105 an acceptable alternative? Please clarify.	The BDP-105 is an acceptable alternative.
136	3/18/2013	Exterior ticketing window at Box Office 103 – exterior elevation 1/AE202 and Window Type 1F (8/AE603) do not show the speaker unit nor an intermediate horizontal mullion as indicated by 1/AE512. Please clarify.	1/AE512 governs. Window is to include speaker unit and horizontal mullion.
137	3/18/2013	Interior ticketing window at Box Office 103 – what type of glazing is required for this window unit? Is a speaker required? Please clarify.	See 7/AE532.
138	3/18/2013	The specification indicate the requirement for thermally-broken Arcadia MS362T doors. The door details on AE604 indicate non-thermally broken doors. Please clarify.	The doors are non-thermally broken
139	3/18/2013	Drawing AE-603- frame 1H – the glazed lights in the opening are both well over 50 sf (approx. 72 sf each). This size of glass will preclude the glass manufacturer from issuing a warranty. Allowing for 3 sections of glass in this opening will enable the glass to be warranted. Please review and clarify.	3 equal sections of glass in this opening are acceptable. All other details for construction of Frame 1H apply.
140	3/18/2013	Drawing AE-604 – section 11 – the head detail for CW 1H – “perforated window head” – please clarify- what is this? Are the CW 1H jams, sill and intermediate vertical mullions “perforated”? Please clarify.	The requirement for perforations has been omitted. See addendum No. 2 for revised Head detail.
141	3/18/2013	Drawing AE-603- frame 1H – the section cut taken at the jamb (8/AE501) appears to be incorrect. Please review and clarify.	The section cut should reference 6/AE-501
142	3/19/2013	On sheet E-611 Luminaire Schedule I could not find the following fixture types: C1E, C1AE, C3E, C5, C5E, D6E, AND J1. Fixture type ME is fed off the inverter so we are using type M fixtures and wiring to the inverter.	C1E, C1A, C3 – part of the 12’ linear C1 fixture with a battery pack. Shown on the drawings and in the description on the Fixture Schedule states “90 MINUTE EMERGENCY BATTERY IN 4’ SECTION REFER TO PLAN DRAWINGS. C5 should be C4 C5E is a C4 with 90 minute battery, D6E is a type D6 with battery back-up. J1 shown on the Upper Mezz should be type L1
143	3/19/2013	Sheets ES-101, S-102, and AE-435 there is reference to LED hand rail lighting. Is electrical to provide and install the handrail as described in details 5 and 7 on sheet AE-435 with bends and posts pre-fabricated?	Electrical to provide and install the LED handrail as a complete assembly.
144	3/19/2013	Spec section 051200, section 1.2, B.1- make reference to specification section 051213 Architecturally Exposed Structural Steel Framing. This section of the specifications was no issued as part of the bid documents. Please clarify if this section will be issued and address the specific scope of structural steel to be fabricated and erected in accordance with AESS requirements.	This section was issued with the bid documents. Please verify receipt of full set of documents.
145	3/19/2013	Drawing S-105- please clarify the specific scope work required for the base bid versus that required by Bid Alternate #17. What finish is required for the roof terrace steel?	The Terrace steel canopy is Bid Alternate 17. The base bid is the roof construction minus the terrace steel canopy.

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146	3/19/2013	Drawing AE-435, detail #8 was issued by Addendum #1. Please identify specific details for construction of the roof cross-over stairs (i.e. sizes of framing, spacing, tread and walk surfaces, etc.)	The roof crossover stair is intended to be Design/Build. Verify sizes and location of ductwork to provide working clearances in crossover.
147	3/19/2013	Drawing AE-301, Plan Note 723 – 12" diameter cable pass pipe – what wall thickness of pipe is required? Please clarify.	Piping typical of sub-grade installations is adequate. Glue joints to prevent water intrusion.
148	3/19/2013	Drawing S-503 – Grade Beam Table, GB1, GB2, GB6, GB7, GB8, and GB9 indicate Base Shear Values- are these values for the grade beams or for the individual piles? Please clarify.	Base shear values listed in Grade Beam table are per pile group.
149	3/19/2013	Drawing AE-302, Building Section 2 – Detail section reference taken between E.5 and E.6 notes 2/AE313. This detail reference appears to be incorrect. Please clarify.	The detail reference is incorrect. Please see Elevation 2/AE-202 and plan details 2,3/AE-501
150	3/19/2013	Specification section 042000, Section 2.2, B.1- 2800 psi compressive strength is specified for concrete masonry units. The normal per ASTM is 1900 psi. Please confirm this is correct at 2800 psi.	This change will be reflected in Addendum No. 2.
151	3/19/2013	Specification section 042000, Section 2.2, B.2- the concrete masonry units are specified as normal weight material. These units are much heavier than lightweight concrete masonry units and will negatively affect production and therefore cost to install. Can lightweight cmu be used? Please review	Use normal weight as specified.
152	3/19/2013	The project site is approximately 4600 ft ASL. Engineering Schedules refer to 5000 and 5500 ASL de-ratings. Please review and clarify.	Use Project Elevation 4,588.61 ASL
153	3/19/2013	The current documents call for a Weil #1413 sump pump in the elevator pit. It is shown to drain into the Janitor's closet (215) mop sink. By code you cannot pump oil into the sanitary sewer system. Please review and clarify.	Oil minder system that shuts down the pump and alarms when oil is detected has been added in this Addendum #2.
154	3/19/2013	Specification section 122400, page4 Section 2.2B calls out an Electroshade Electro/3 DoubleShade #20 Regular Roll with Fascia, wall mounted. The head detail for window 1H on 11/AE604 shows a single shade with reverse roll. Please clarify which is correct.	Spec Section 122400 is correct.
155	3/19/2013	Please confirm that the existing Theater will be closed after May 15 th until construction is complete.	The owner occupied site requirement has been omitted. The contractor will have full access to the site.
156	3/19/2013	The ticket window at box office 103 to the exterior shows a window with insulated glass, calls it out as ballistic rated, and shows it with a speaker. The exterior elevation and window type 1F do not show a horizontal or a speaker in the window. Which of these are correct?	Follow detail 1/AE-512 for specific construction and relevant spec sections.
157	3/19/2013	The window from office 103 to the vestibule is also called out as a ticket window but does not say what the glass type is or if it is to have a speaker. What is it to be?	Follow detail 7/AE-532 for interior ticket window. This window has a speaker frame. See glazing type in spec section adjusted in Addendum No. 2
158	3/19/2013	The specifications call for Arcadia MS362T thermally broken doors open for 1" insulated glass. Door sections show a non thermally broken door leaf with the glazing surface applied. Which are we to go with?	The doors are not required to be thermally broken.
159	3/19/2013	Frame 1H called for a "12" perforated frame system".	
160	3/19/2013	1. This window shows two lights of glass that are well over the 50 square foot limit for warranty on insulated units. Can these be split into 3 units?	3 equal units are acceptable.
161	3/19/2013	2. What is a "perforated framing system"?	Perforations have been omitted. This is a typical jamb condition.
162	3/19/2013	3. We will assume that AE501/8 is an incorrect section of this window?	Detail reference is incorrect. Follow 6/AE-501
163	3/19/2013	4. What happens at the joint between the two lights of glass?	reference typical curtain wall details, 15/AE-604
164	3/19/2013	On drawing S-503 base shears are shown for 6 grade beams in the Grade Beam (GB) Table. Are the shear values listed per pile or per total grade beam?	Base Shear values listed in Grade Beam table are per pile group.

No.	Date Received	Question	Response
165	3/19/2013	Can you please clarify how the force account value and the two allowances are to be handled, do all of these dollar amounts need to be included in our base bid total? Or are they outside of the base bid?	Force account and allowances are to be included in the Base Bid amount.
166	3/19/2013	The specifications detail the use of the existing HVAC systems might be available for use during construction with the City's approval, please advise if there will be available.	Existing HVAC systems will be available for use during construction.
167	3/19/2013	Is the contractor responsible for utility costs during construction, power, gas, water, etc.? Can the City provide average utility costs for the existing building for budgeting purposes, electric and heating costs?	Contractor is required for all utility costs during construction.
168	3/19/2013	Does this project carry liquidated damages and what is the value of the LD's?	See Item 3 above.
169	3/19/2013	Is there a floor flatness and finished floor level spec or tolerance? Are these required for the concrete on metal deck as well, there is significant concern with being able to achieve FF and FFL tolerances on a structure that deflects as loaded.	Standard ACI tolerances and per manufacturer spec apply.
170	3/19/2013	The spec mentions a 7 day wet cure for concrete floors, is this applicable to this project and will it be required on all floor slabs?	Yes. Requirement confirmed.
171	3/19/2013	Base bid for opening 106 door schedule calls for a pair of 5' doors and the legend notes on AE-102 and details on AE-504 call them to be a pair of 4' doors, please clarify.	Shown in Addendum No. 2
172	3/19/2013	The building sections reference details on sheet AE-314, the bid documents do not contain a sheet AE-314 please advise.	The detail reference is incorrect. Please see wall sections on AE-312, and AE-313
173	3/19/2013	Will the Owner provide sets of construction documents to the awarded GC for this project?	Owner will provide electronic PDF versions of the documents and Contractor is responsible for printing hard sets as needed for construction.
174	3/19/2013	Alt 16B details the auditorium lighting is to be replaced along with the wood paneling, etc. for the base bid does the existing lighting remain as is? Re-lamp or any other work to the existing fixtures?	Existing is to remain in base bid.
175	3/19/2013	Please provide the specification on the sound absorbing acoustical plaster assembly and the spray applied acoustical material. (Is this the same as the texture finishing in the spec?)	Spec provided in Addendum No. 2
176	3/19/2013	When referencing the spec for the wood veneer wall covering and the wood paneling in div 6 20 33, both indicate each material to be installed in the same locations. Please clarify.	This change will be reflected in Addendum No. 2
177	3/19/2013	Structural refers to architectural for details on the foam infill and concrete topping in the auditorium, the only info we can locate is section 1 on AE-301 and associated details. We need specifications on the foam, PSI or PSF, joints, transitions from foam to concrete as it tappers, etc.	100psi rigid insulation is acceptable
178	3/19/2013	We have heard through the subs that the low voltage voice and data scope will be carried directly by the City, please advise.	Correct. Voice/Data cabling and cable trays will be by Owner and NIC.
179	3/19/2013	Are there any other owner supplied or furnished scopes in this project?	All Owner supplied scopes are indicated in document unless otherwise noted.
180	3/19/2013	Please provide the life safety plan for the existing building configuration; this will be critical information for determining how to address Alt 3 and egress out the east side of the building during construction of the addition.	Owner occupied site requirements have been omitted.
181	3/19/2013	The ticket window at box office 103 to the exterior shows a window with insulated glass, calls it out as ballistic rated, and shows it with a speaker. The exterior elevation and window type 1F do not show a horizontal or a speaker in the window. Which of these are correct?	Follow detail 1/AE-512 for specific construction and relevant spec sections.
182	3/19/2013	The window from office 103 to the vestibule is also called out as a ticket window but does not say what the glass type is or if it is to have a speaker. What is it to be?	Follow detail 7/AE-532 for interior ticket window. This window has a speaker frame. See glazing type in spec section adjusted in Addendum No. 2

No.	Date Received	Question	Response
183	3/19/2013	The specifications call for Arcadia MS362T thermally broken doors open for 1" insulated glass. Door sections show a non thermally broken door leaf with the glazing surface applied. Which are we to go with?	The doors are non-thermally broken
184	3/19/2013	Frame 1H called for a "12" perforated frame system".	Perforations have been omitted. This is a typical jamb condition.
185	3/19/2013	1. This window shows two lights of glass that are well over the 50 square foot limit for warranty on insulated units. Can these be split into 3 units?	3 equal units are acceptable.
186	3/19/2013	2. What is a "perforated framing system"?	Perforations have been omitted. This is a typical jamb condition.
187	3/19/2013	3. We will assume that AE501/8 is an incorrect section of this window?	Detail reference is incorrect. Follow 6/AE-501
188	3/19/2013	4. What happens at the joint between the two lights of glass?	see typical curtain wall details
189	3/19/2013	Sheet S001, note 19 requires slabs to be poured in strips...in view of the small slab areas on this project, please confirm that we can pour each level in one pour rather than breaking these small pours into smaller strip pours?	Note 19/S-001 pertains to slabs on grade. For slab on deck, see detail 5/S-512.
190	3/19/2013	Note 5 on Sheet S101 calls out underpinning - is a detail available?	Contractor to provide proposed underpinning method and details to E.O.R. for review.
191	3/19/2013	Two lines are placed under the existing auditorium floor slab (12" pipe on AE102, and waste and vent lines on PL 101). Can these lines be backfilled up to existing slab level without concrete floor patch installed - since the existing floor will be to allow this grade to tie in smoothly? Can a detail be provided of topping slab to existing slab transition area?	Plumbing lines can be backfilled with the replacing of the original slab omitted in areas where there is a topping slab.
192	3/19/2013	Sheet SE-101 calls out 4" slab with #3 at 12" for infills, but Sheet SE-001 calls out 5" slab with #4 at 16" ...which governs?	SE-101 governs
193	3/19/2013	Detail 12 on S-501 requires constuction joints at 30' on center maximum - will this requirement be relaxed for the tunnel wall pours shown on sheet S-101 (we would like to pour the basement walls without joints)?	Provide construction joints per detail 12/S-501.
194			
195			
196			
197			

ADDENDUM NO. 03
TO THE
PROJECT MANUAL AND DRAWINGS
FOR

City of Grand Junction, Colorado – Avalon Theatre
Phase 1 Addition and Renovation
WRL Commission No. 12036.00

Prepared by:
WESTLAKE REED LESKOSKY
One East Camelback Road, Suite 690
Phoenix, Arizona 85012

The Drawings and Project Manual for the above named Project, dated February 26, 2013, are modified, amended, and supplemented as set forth in this Addendum and shall be taken into account in preparing Bids. This Addendum shall become part of the Contract Documents.

Wherein this Addendum is in conflict with the Specifications and Drawings, the requirements of this Addendum shall govern.

ITEM NO. 1 – REVISIONS TO BIDDING REQUIREMENTS

A. The following Bidding Documents are revised and re-issued with this Addendum:

1. Bid Form

ITEM NO. 2 – REVISIONS TO THE PROJECT MANUAL

A. The following Specification Sections are revised and re-issued with this Addendum:

1. Section 01100 – “Summary.”
2. Section 012300 – “Alternates.”

ITEM NO. 3 – REVISIONS TO TELECOMMUNICATIONS DRAWINGS

A. The following Telecommunications Drawings are issued for the first time with this Addendum:

1. TE-601 – Telecommunications Riser Diagrams. (This sheet was inadvertently left out of the original document issuance).

END OF ADDENDUM NO. 03

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
ISSUED FOR PERMIT

ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #2 – MARCH 21, 2013
ADDENDUM #3 – MARCH 25, 2013

BID FORM

Date: _____

PROPOSAL FOR: CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE, PHASE 1 ADDITION AND RENOVATION

SUBMITTED BY:

BIDDER

STREET ADDRESS

CITY, STATE, ZIP CODE

PHONE (Area and Number)

DELIVER TO: Office of the City Clerk
City Hall
250 North Fifth Street
Grand Junction, Colorado 81501

BID DUE DATE: March 28, 2013, until 2:00 p.m., local time. (ADD 2)

Having fully examined the Bidding Documents, and all Addenda thereto, prepared by

Westlake Reed Leskosky
One East Camelback Road
Suite 690
Phoenix, Arizona 85012
Tel: (602) 212-0451
Fax: (602) 212-1020

and having inspected the site and the conditions affecting the Work, the undersigned proposes and agrees to furnish all material and perform all labor required to complete the Work for the amounts stated below:

BASE BID

Total Base Bid for the Sum of:

_____ DOLLARS (\$_____)

Attach Statement of Values that provide a breakdown of the bid amount by Project Manual divisions. Provide multiple line items for principal material and subcontract amounts in excess of five percent of the Contract Sum.

ALTERNATES

Enter the amount to be ADDED TO or DEDUCTED FROM the BASE BID if the Alternate is accepted. If there is no charge for Work under an Alternate, mark NO CHANGE. Refer to Section 012300 - Alternates for description of the Alternates. Owner reserves the right to select any or all Alternates.

ALTERNATE NO. 1: Company Switch.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 2: Donor Wall.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 3: ~~Owner-occupied site.~~ REMOVED.

~~ADD ____ DEDUCT ____ NO CHANGE ____.~~

~~Sum of _____ DOLLARS(\$ _____)~~

~~ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate. (ADD 3)~~

ALTERNATE NO. 4A: Duct Liner at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4B: Fabric-wrapped panels at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 5: Fabric Scrim at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 6: Angled Walls at Multipurpose Room.

ADD ____ DEDUCT ____ NO CHANGE ____.

Sum of _____ DOLLARS(\$ _____)

ADD ____ DEDUCT ____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 7: Main Theater Hearing Loop System.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 8: Multipurpose Room Hearing Loop System.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 9: ~~Wood Bench at Mezzanine Lobby~~ REMOVED.

ADD____ DEDUCT____ NO CHANGE____.

____ Sum of _____ DOLLARS(\$ _____)

____ ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 1)

ALTERNATE NO. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 11: Infill West and East Doors of Auditorium at Gridline 1.1.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 12: Gypsum Board Enclosure at New Catwalk.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 13: Rooftop Screen Wall.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 14: Tile Flooring at Mezzanine Lobby 200.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 15: Platforms at Upper Mezzanine 219.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16A: Fixed Seating Upgrades.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16B: Auditorium Side Wall Paneling.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 17: Roof Terrace Steel Canopy.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 18: Entry Doors at Vestibule and Lobby.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 19: Door 106 at Multipurpose Room.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 20: Aluminum Feeders.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 2)

ALTERNATE NO. 21: Duct Velocity Increase.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 2)

ALTERNATE NO. 22: Expand Carpet at Upper and Lower Mezzanine in Audience Chamber.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 23: Expand Carpet Tile at Lobbies 102 and 200.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 24: Painted Gyp. Bd. Wall at Lobbies 102 and 200.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 25: Painted Gyp. Bd. Ceiling at Lobby 200.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 26: Stainless Steel Cable Rail System.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 27: Shell Space at Upper Mezzanine of Addition.

ADD____ DEDUCT____ NO CHANGE____.

Sum of _____ DOLLARS(\$ _____)

ADD____ DEDUCT____ calendar days to adjust the Contract Time for this alternate. (ADD 3)

PERFORMANCE BOND AND PAYMENT BOND

Amount to be added to the Base Bid for Performance Bond and Payment Bond as required by the Owner.

_____ DOLLARS (\$_____)

ALLOWANCES

The undersigned Bidder certifies that Base Bid submission includes those allowances described in the Contract Documents and scheduled in Section 012100 "Allowances."

FORCE ACCOUNT

Include ~~\$30,000~~ **\$200,000** lump-sum account to be used as a Force Account. Force Account work will be authorized by City's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. These expenses are not included in the Drawings or Specifications and are necessary to accomplish the scope of this contract. Force Account Authorization will be directed by the City through an approved form.
(ADD 1)

SUBSTITUTIONS

Bidder is cautioned to Bid on the materials, products, construction, and equipment included in the Bidding Documents and Addenda. Requests for substitutions which have not been approved in an Addendum shall be entered on the "Substitution Request Form" and submitted with the Bid. Substitutions will not be permitted after award of Contract.

TIME OF COMPLETION

The undersigned agrees to substantially complete the Work within 310 calendar days from Notice to Proceed.

LIST OF SUBCONTRACTORS

The Bidder acknowledges that a complete list of Subcontractors is required to be submitted with this Bid Form. At a minimum, list all subcontractors or sub-subcontractors for the following trade categories:

Carpentry _____

Cabinetry _____

Custom Stainless Steel _____

Doors and Frames _____

Door Hardware _____

Metal Studs, Drywall, Insulation _____

Acoustical Suspended Ceilings _____

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
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ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #2 – MARCH 21, 2013
ADDENDUM #3 – MARCH 25, 2013

Flooring _____

Painting _____

Window Treatments _____

Heating, Ventilating and Air-Conditioning _____

Plumbing _____

Pipe-Fitting _____

Fire Protection (Sprinklers) _____

Electrical _____

Fire Alarm _____

ADDENDUM

Bidder acknowledges receipt of the following Addenda:

Addendum No. _____	Dated _____
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

ACCEPTANCE OF BIDS

Owner reserves the right to accept or reject any or all Bids, or parts thereof, to waive any informalities in the Bidding, or to award the Contract to other than the lowest Bidder.

The undersigned agrees that his/her Bid may be accepted by the Owner at any time within sixty (60) days from date of opening of the Bids.

DATE _____ BIDDER _____

BY _____

TITLE _____

TYPE OF BUSINESS _____

OFFICIAL ADDRESS

(Street Address)

(City, State, Zip Code)

END OF BID FORM

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Project information.
 - 2. Work covered by Contract Documents.
 - 3. Work by Owner.
 - 4. Access to site.
 - 5. Coordination with occupants.
 - 6. Work restrictions.
 - 7. Specification and drawing conventions.
- B. Related Requirements:
 - 1. Section 01 50 00 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 PROJECT INFORMATION

- A. Project Identification: Avalon Theatre, Phase 1 Addition and Renovation.
 - 1. Project Location: 645 Main Street, Grand Junction, Colorado 81501.
- B. Owner: City of Grand Junction Colorado.
 - 1. Owner's Representatives:
 - a. Lee Cooper, 970.256.4155, leec@gjcity.org
 - b. Jim Shanks, 970.201.1340, jimshanks_7@msn.com
- C. Architect/Engineers: Westlake Reed Leskosky.
 - 1. Address: One East Camelback Road, Suite 690, Phoenix, Arizona 85012
 - 2. Contact: Richard Sourbrine, rsour@wrl.design.com, 602.212.0451.
- D. Architect's Consultants: The Architect has retained the following design professionals who have prepared designated portions of the Contract Documents:
 - 1. Associate Architect: Chamberlin Architects, 970.242.6804.
 - 2. Interior Design: Blythe Group + Co., 970.242.1058.
 - 3. Civil Engineer: Austin Civil Group, Inc., 970.242.7540.
 - 4. Landscape Architect: Clavonne, Roberts & Associates, Inc., 970.241.0745.
 - 5. Acoustician: Kirkegaard Associates, 303.442.1705.
 - 6. Associate Structural Engineer: Lindauer Dunn, Inc., 970.241.0900.

1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and consists of the following:
 - 1. Project consists of a new addition and renovation to the existing Avalon Theater. The new multi-story addition includes Lobby, Box Office, Concessions, Restrooms and a new Multi-purpose Room. Renovation work includes re-raking the existing Audience Chamber main floor, reconfiguring the Upper Mezzanine seating level and extending it into the existing projection booth space, replacing all seating throughout, new acoustical treatment, new cheek walls, new catwalk at lighting position, new forestage reflector at proscenium, and new AV equipment. Site work is limited to re-grading and new hardscape surrounding the new addition.
- B. Type of Contract:
 - 1. Project will be constructed under a single prime contract.

1.5 WORK BY OWNER

- A. General: Cooperate fully with Owner so work may be carried out smoothly, without interfering with or delaying work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.
- B. Preceding Work: Owner will perform the following construction operations at Project site. Those operations are scheduled to be substantially complete before work under this Contract begins.
 - 1. Owner will contract with an Asbestos Abatement contractor to abate the boiler in the existing building. This Work will occur either prior to or concurrent with the Phase 1 Addition and Renovation project.
- C. **Concurrent Work: Owner will perform the following construction operations at Project site. Those operations will be conducted simultaneously with work under this Contract.**
 - 1. **Owner will be providing cable tray installation and low-voltage cabling for Telecommunications and Data installation indicated on TE series documents and specs (ADD 3)**

1.6 ACCESS TO SITE

- A. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Use of Site: Limit use of Project site to work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - 1. Limits: Limit site disturbance, including earthwork and clearing of vegetation, to actual construction area and areas required for utility hook-ups. ~~40-10 feet (12.2-3 m) beyond building perimeter; 10 feet (3 m) beyond surface walkways, patios, surface parking, and utilities less than 12 inches (300 mm) in diameter; 15 feet (4.5 m) beyond primary roadway curbs and main utility branch trenches; and 25 feet (7.6 m) beyond constructed areas with permeable surfaces (such as pervious paving areas, stormwater detention facilities, and playing fields) that require additional staging areas in order to limit compaction in the constructed area. (ADD 1)~~
 - 2. Driveways, Walkways and Entrances: Keep driveways, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.

ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #3 – MARCH 25, 2013

- a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
 - c. Schedule deliveries to minimize the use of the adjacent alley by construction operations. Alley required to remain clear and available to public traffic.
3. Existing parking lot south of Avalon Theatre is available for construction material staging. Repair damage caused by construction operations. (ADD 1)
- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.

1.7 COORDINATION WITH OCCUPANTS

- ~~A. Full Owner Occupancy: Owner will occupy site and existing building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.~~
 - ~~1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.~~
 - ~~2. Notify Owner not less than 72 hours in advance of activities that will affect Owner's operations.~~
 - ~~3. Existing Building will continue to be used for theater performances up until the last couple of months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner. (ADD 3)~~
- B. Partial Owner Occupancy: Contractor shall have full use of Project site for construction operations during construction period with the exception of theater performances on May 3, 2013, May 6, 2013 and May 15, 2013.
 1. Beyond those dates, Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All other theater performances will be suspended until the project is complete.
 2. On dates indicated above, maintain existing exits unless otherwise indicated.
 3. On dates indicated above, maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction. (ADD 1)

1.8 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.
 1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours as indicated in the City of Grand Junction General Contract Conditions.
 1. Comply with all City ordinances including those for noise restrictions.

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- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 - 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 - 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.
 - 1. Notify Owner not less than two days in advance of proposed disruptive operations.
 - 2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Nonsmoking Building: Smoking is not permitted within the building or within 15 feet of entrances, operable windows, or outdoor-air intakes, unless otherwise allowed by local ordinances.
- F. City Events Coordination: Contractor will need to coordinate Work with the Downtown Development Authority to accommodate all city events along Main Street.
 - 1. Contact: Harry Weiss, 970.256.4134.

1.9 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 - 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
 - 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 - 2. Abbreviations: Materials and products are identified by abbreviations published as part of the U.S. National CAD Standard and scheduled on Drawings.
 - 3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01 10 00

SECTION 01 23 00 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #2 – MARCH 21, 2013
ADDENDUM #3 – MARCH 25, 2013

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Company Switch.
1. Base Bid: No work.
 2. Alternate: Provide new 200 Amp company switch at stage, refer to Drawings for location. New conduit and wire to be routed to existing distribution board in basement as specified in Section 26 28 17 "Company Switches."
- B. Alternate No. 2: Donor Wall.
1. Base Bid: No Work.
 2. Alternate: Provide glass donor wall as detailed on Detail 8 on Sheet AE-503.
- C. **Alternate No. 3: Owner-occupied site. REMOVED**
1. ~~Base Bid: Work Restrictions and required Coordination with Occupants as specified in Section 01 10 00 "Summary."~~
 2. ~~Alternate: Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project. Owner will not occupy site during Construction. All theater performances will be suspended until the project is complete. Existing Building will continue to be used for theater performances up until the last four months of construction. Contractor to coordinate construction schedule to limit work in existing building until a time mutually agreed upon with the Owner. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated. (ADD 1) (ADD 3)~~
- D. Alternate No. 4A: Duct liner at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fixed duct liner over gypsum board at walls of Multipurpose Room, as indicated on Drawings.
- E. Alternate No. 4B: Fabric-wrapped panels at Multipurpose Room.
1. Base Bid: Provide gypsum board walls at Multipurpose Room.
 2. Alternate: Provide fabric wrapped panels over gypsum board at walls of Multipurpose Rooms, as indicated on Drawings.
- F. Alternate No. 5: Fabric Scrim at Multipurpose Room.
1. Base Bid: No work.
 2. Alternate: Where rigid duct liner is provided on walls of Multipurpose Room 106, provide fixed, sheer fabric scrim over the duct liner. Fabric to be approved by Architect. Match Rose Brand fabric, Sharktooth 8/2 Scrim, Color Black.
- G. Alternate No. 6: Angled Walls at Multipurpose Room.
1. Base Bid: Provide walls as shown on Drawings, not angled.
 2. Alternate: Provide gypsum board wall, below 9' AFF, at an inward angle of 6 inches as indicated on Drawings.
- H. Alternate No. 7: Main Theater Hearing Loop System.
1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 2. Alternate: Provide a phased array hearing loop system for the main theater and balcony to ensure even signal coverage throughout the space as well as reduce any overspill to the adjacent multipurpose room. The phased array involves a master and slave loop configuration. Score the concrete with a wet cut prior to room finish and seat installation and lay loop wires in the grooves.

ADDENDUM #1 – MARCH 11, 2013

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Provide two Univox SLS loop amplifiers, one for the main floor and one for the balcony. Size each amplifier for the area covered. Caulk the floor with a concrete self-leveling caulk after wiring is complete. Rack space and power supply for the two amplifiers will be provided by the Avalon with 3ru per amplifier. Each amplifier will require a balanced line XLR connection from an Audio Out on the processor or mixer in the audio system, provided by the Avalon.

- I. Alternate No. 8: Multipurpose Room Hearing Loop System.
 - 1. Base Bid: Provide support materials and wiring as indicated on Drawings.
 - 2. Alternate: Provide a phased array hearing loop system for the multi-purpose room to attain a balanced system that reduces overspill, tilt level drop, high frequency loss and interference. Score the concrete floor with a wet cut for a master and slave loop configuration prior to installing the room finishes and floor coverings. Lay loop wire in the grooves and connected to a Univox SLS amplifier sized for the room. Fill grooves with a self-leveling concrete caulk. Rack space and power supply for the amplifier will be supplied by the Avalon with 3ru necessary. The amplifier will require a balanced line XLR connection for an Audio Out on the processor or mixer in the room

- J. ~~Alternate No. 9: Wood Bench at Mezzanine Lobby.~~ REMOVED
 - 1. ~~Base Bid: No Work.~~
 - 2. ~~Alternate: Provide wood bench as indicated on Drawings.~~ (ADD 1)

- K. Alternate No. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.
 - 1. Base Bid: Provide metal bar grating panel ceiling at ceiling of Exterior Balcony 200A only.
 - 2. Alternate: At Terrace Lobby 300 and exterior ceiling south of Terrace Lobby 300, provide metal grating ceiling system as indicated on drawings.

- L. Alternate No. 11: Infill West and East doors of Auditorium at Gridline 1.1.
 - 1. Base Bid: West and East doors of Auditorium at gridline 1.1 are to remain, new wood wainscot to run in front of doors.
 - 2. Alternate: West and East doors of Auditorium at gridline 1.1 are to be removed. Infill openings with masonry to match adjacent construction as indicated on drawings.

- M. Alternate No. 12: Gypsum Board Enclosure at New Catwalk.
 - 1. Base Bid: No Work
 - 2. Alternate: At new catwalk, provide gypsum board wall and ceiling enclosure as indicated on Drawings.

- N. Alternate No. 13: Rooftop Screen Wall.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide rooftop screen wall as indicated on Drawings.

- O. Alternate No. 14: Tile Flooring at Mezzanine Lobby 200.
 - 1. Base Bid: Provide only carpet flooring at Mezzanine Lobby 200.
 - 2. Alternate: Provide carpet and tile at Mezzanine Lobby 200, as indicated on Drawings.

- P. Alternate No. 15: Platforms at Upper Mezzanine 219.
 - 1. Base Bid: No Work.
 - 2. Alternate: Provide platforms at rear of Upper Mezzanine 219 as indicated on Drawings.

- Q. Alternate No. 16A: Fixed Seating Upgrades.
 - 1. Base Bid: Provide black plastic seat backs, bottoms and arm rests at fixed seating. Upholstery to be red velour as specified.

ADDENDUM #1 – MARCH 11, 2013

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2. Alternate: Provide wood seat back and arm rests. Upholstery to be equal to Maharam Abacus 007 Festive. 14 oz./yard, 54" wide.
- R. Alternate No. 16B: Auditorium Side Wall Paneling.
1. Base Bid: Maintain existing wood paneling at side walls of Auditorium 118. Provide wood veneer paneling to match existing where doors are removed. Remove existing acoustical panels and replace with wood veneer paneling to match existing.
 2. Alternate: Remove existing wood paneling at side walls of Auditorium 118. Provide new wood wainscot paneling and electrical and AV changes as indicated in Drawings and Specifications.
- S. Alternate No. 17: Roof Terrace Steel Canopy.
1. Base Bid: Provide connections for future roof terrace canopy steel only. Connections are to be covered fully, not exposed.
 2. Alternate: Provide complete steel canopy at roof terrace.
- T. Alternate No. 18: Entry Doors at Vestibule and Lobby.
1. Base Bid: Doors 101A, 101B, 101C, 101D, and 101E to be 8' high with 2' glass transom above. Provide CRL panic hardware.
 2. Alternate: Doors 101A, 101B, 101C, 101D, and 101E to be 10' high with no transom. Provide standard egress panic hardware.
- U. Alternate No. 19: Door 106 at Multipurpose Room.
1. Base Bid: Door 106 is to be a double door, two 4' wide x 9' high swinging leaves, STC 50 minimum is to be provided as scheduled in the door schedule. (ADD 1)
 2. Alternate: Door 106 is to be a motorized vertical lift door as shown on Detail 1 on Sheet AE-503.
- V. Alternate No. 20: Aluminum Feeders
1. Base Bid: Install all feeders as copper conductors as indicated on the Drawings.
 2. Alternate: Provide aluminum conductors, size #1/0 AWG and larger in lieu of copper. See Section 260100 for additional requirements when aluminum conductors are used. (ADD 2)
- W. Alternate No. 21: Duct Velocity Increase
1. Base Bid: Provide duct velocity at 750 fpm for main supply and return ducts within the audience chamber space, as indicated on the documents.
 2. Alternate: Provide duct velocity at 1200 fpm for main supply and return ducts. Reduce the size of the main supply and return ducts, the number of branch ducts routed through the trusses, and the amount of duct liner as required. (ADD 2)
- X. **Alternate No. 22: Expand Carpet at Upper and Lower Mezzanine in Audience Chamber**
1. **Base Bid: Install Hardwood Flooring as indicated on the Documents**
 2. **Alternate: Provide carpet CPT throughout entire Upper and Lower Mezzanine in Audience Chamber. (ADD 3)**
- Y. **Alternate No. 23: Expand Carpet Tile at Lobbies 102 and 200**
1. **Base Bid: Provide PT 24"x48" stone tile at Lobbies 102 and 200 as indicated on Documents.**
 2. **Alternate: Provide carper tile CPT1 throughout Lobbies 102 and 200. (ADD 3)**
- Z. **Alternate No. 24: Painted Gyp. Bd. Wall at Lobbies 102 and 200**
1. **Base Bid: Install wood wallcovering at south wall of Lobbies 102 and 200 as indicated on the Documents.**
 2. **Alternate: Provide accent paint over gyp. bd. finish at south wall of Lobbies 102 and 200. (ADD 3)**

ADDENDUM #1 – MARCH 11, 2013
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- AA. Alternate No. 25: Painted Gyp. Bd. Ceiling at Lobby 200**
- 1. Base Bid: Install suspended, perforated wood ceiling panels and insulation at Lobby 200 as indicated on the Documents.**
 - 2. Alternate: Provide painted gyp. bd. ceiling at Lobby 200. (ADD 3)**
- BB. Alternate No. 26: Stainless Steel Cable Rail System**
- 1. Base Bid: Install glass railing systems throughout project at Grand Stair, Mezzanine Exterior Balcony, and around Mezzanine Opening to Below as indicated on the Documents.**
 - 2. Alternate: Provide Stainless Steel Cable Railing system throughout project at Grand Stair, Mezzanine Exterior Balcony, and around Mezzanine Opening to Below. (ADD 3)**
- CC. Alternate No. 27: Shell Space at Upper Mezzanine of Addition**
- 1. Base Bid: Provide build-out of Upper Mezzanine of Addition as indicated on the Documents.**
 - 2. Alternate: Limit build-out of Upper Mezzanine of Addition to completing Terrace Lobby, Corridor, IT Room, Dimmer Room, AV Room and SLL. Provide gyp. bd. and metal stud wall with single 3'-0" x 7'-0" S.C. Wd. Door along gridline 7 to separate Terrace Lobby from Corridor. Omit build-outs of Concessions, Storage, Janitor Room and Restrooms including walls, doors, ceilings, associated fixtures and finishes. Delete Ceiling in Corridor and provide suspended fluorescent strip fixtures. (ADD 3)**

END OF SECTION 01 23 00

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
ISSUED FOR PERMIT

ADDENDUM #1 – MARCH 11, 2013
ADDENDUM #2 – MARCH 21, 2013
ADDENDUM #3 – MARCH 25, 2013

BID FORM

Date: 3/28/13

PROPOSAL FOR: CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE, PHASE 1 ADDITION AND RENOVATION

SUBMITTED BY:

FCI Constructors, Inc

BIDDER

3070 I-70B Bldg. A

STREET ADDRESS

Grand Junction, CO 81504

CITY, STATE, ZIP CODE

970-434-9093

PHONE (Area and Number)

DELIVER TO: Office of the City Clerk
City Hall
250 North Fifth Street
Grand Junction, Colorado 81501

BID DUE DATE: March 28, 2013, until 2:00 p.m., local time. (ADD 2)

Having fully examined the Bidding Documents, and all Addenda thereto, prepared by

Westlake Reed Leskosky
One East Camelback Road
Suite 690
Phoenix, Arizona 85012
Tel: (602) 212-0451
Fax: (602) 212-1020

and having inspected the site and the conditions affecting the Work, the undersigned proposes and agrees to furnish all material and perform all labor required to complete the Work for the amounts stated below:

BASE BID

Total Base Bid for the Sum of:

Seven million one hundred Seventy eight thousand DOLLARS (\$ 7,178,785.00)
Seven hundred eighty five.

Attach Statement of Values that provide a breakdown of the bid amount by Project Manual divisions. Provide multiple line items for principal material and subcontract amounts in excess of five percent of the Contract Sum.

ADDENDUM #1 – MARCH 11, 2013
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ALTERNATES

Enter the amount to be ADDED TO or DEDUCTED FROM the BASE BID if the Alternate is accepted. If there is no charge for Work under an Alternate, mark NO CHANGE. Refer to Section 012300 - Alternates for description of the Alternates. Owner reserves the right to select any or all Alternates.

ALTERNATE NO. 1: Company Switch.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Ten thousand DOLLARS (\$ 10,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 2: Donor Wall.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Twenty six thousand DOLLARS (\$ 26,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 3: ~~Owner-occupied site.~~ REMOVED.

ADD ☐ DEDUCT ☐ NO CHANGE ☐
Sum of _____ DOLLARS (\$ _____)
ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 4A: Duct Liner at Multipurpose Room.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Fifteen thousand DOLLARS (\$ 15,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 4B: Fabric-wrapped panels at Multipurpose Room.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Thirty six thousand DOLLARS (\$ 36,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 5: Fabric Scrim at Multipurpose Room.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Fifty one thousand DOLLARS (\$ 51,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 6: Angled Walls at Multipurpose Room.

ADD ☒ DEDUCT ☐ NO CHANGE ☐
Sum of Two thousand DOLLARS (\$ 2,000.00)
ADD ☐ DEDUCT ☒ calendar days to adjust the Contract Time for this alternate.

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ALTERNATE NO. 7: Main Theater Hearing Loop System.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Twenty eight thousand DOLLARS(\$ 28,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 8: Multipurpose Room Hearing Loop System.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Eleven thousand DOLLARS(\$ 11,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 9: ~~Wood Bench at Mezzanine Lobby~~ REMOVED.

ADD ☐ DEDUCT ☐ NO CHANGE ☐.

Sum of _____ DOLLARS(\$ _____)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate. (ADD 1)

ALTERNATE NO. 10: Metal Bar Grating Panel Ceiling at Upper Mezzanine.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Forty Seven thousand DOLLARS(\$ 47,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 11: Infill West and East Doors of Auditorium at Gridline 1.1.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Five thousand DOLLARS(\$ 5,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 12: Gypsum Board Enclosure at New Catwalk.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Thirty Seven thousand DOLLARS(\$ 37,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 13: Rooftop Screen Wall.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Fifty four thousand DOLLARS(\$ 54,000.00)

ADD ☐ DEDUCT ☐ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 14: Tile Flooring at Mezzanine Lobby 200.

ADD ☒ DEDUCT ☐ NO CHANGE ☐.

Sum of Fourteen thousand DOLLARS(\$ 14,000.00)

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ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 15: Platforms at Upper Mezzanine 219.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Fifteen thousand DOLLARS(\$ 15,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16A: Fixed Seating Upgrades.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Eleven thousand DOLLARS(\$ 11,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 16B: Auditorium Side Wall Paneling.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Sixty two thousand DOLLARS(\$ 62,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 17: Roof Terrace Steel Canopy.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Forty one thousand DOLLARS(\$ 41,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 18: Entry Doors at Vestibule and Lobby.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Four thousand DOLLARS(\$ 4,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 19: Door 106 at Multipurpose Room.

ADD X ~~DEDUCT~~ NO CHANGE.

Sum of Fifty thousand DOLLARS(\$ 50,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate.

ALTERNATE NO. 20: Aluminum Feeders.

ADD 0 ~~DEDUCT~~ X NO CHANGE.

Sum of Thirty four thousand DOLLARS(\$ 34,000.00)

ADD 0 ~~DEDUCT~~ calendar days to adjust the Contract Time for this alternate. (ADD 2)

ADDENDUM #1 – MARCH 11, 2013
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ALTERNATE NO. 21: Duct Velocity Increase.

ADD DEDUCT X NO CHANGE .
Sum of Four thousand five hundred DOLLARS (\$ 4,500.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 2)

ALTERNATE NO. 22: Expand Carpet at Upper and Lower Mezzanine in Audience Chamber.

ADD X DEDUCT NO CHANGE .
Sum of Seventeen thousand DOLLARS (\$ 17,000.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 23: Expand Carpet Tile at Lobbies 102 and 200.

ADD DEDUCT X NO CHANGE .
Sum of Eleven thousand DOLLARS (\$ 11,000.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 24: Painted Gyp. Bd. Wall at Lobbies 102 and 200.

ADD DEDUCT X NO CHANGE .
Sum of Two thousand four hundred DOLLARS (\$ -2,400.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 25: Painted Gyp. Bd. Ceiling at Lobby 200.

ADD DEDUCT X NO CHANGE .
Sum of Forty three thousand DOLLARS (\$ 43,000.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 26: Stainless Steel Cable Rail System.

ADD DEDUCT X NO CHANGE .
Sum of Thirty nine thousand DOLLARS (\$ 39,000.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ALTERNATE NO. 27: Shell Space at Upper Mezzanine of Addition.

ADD DEDUCT X NO CHANGE .
Sum of Twenty five thousand DOLLARS (\$ 25,000.00)
ADD 0 DEDUCT calendar days to adjust the Contract Time for this alternate. (ADD 3)

ADDENDUM #1 – MARCH 11, 2013
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PERFORMANCE BOND AND PAYMENT BOND

Amount to be added to the Base Bid for Performance Bond and Payment Bond as required by the Owner.

Forty two thousand three hundred seventy six DOLLARS (\$ 42,376.00)

ALLOWANCES

The undersigned Bidder certifies that Base Bid submission includes those allowances described in the Contract Documents and scheduled in Section 012100 "Allowances."

FORCE ACCOUNT

Include ~~\$30,000~~ **\$200,000** lump-sum account to be used as a Force Account. Force Account work will be authorized by City's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. These expenses are not included in the Drawings or Specifications and are necessary to accomplish the scope of this contract. Force Account Authorization will be directed by the City through an approved form.

(ADD 1)

SUBSTITUTIONS

Bidder is cautioned to Bid on the materials, products, construction, and equipment included in the Bidding Documents and Addenda. Requests for substitutions which have not been approved in an Addendum shall be entered on the "Substitution Request Form" and submitted with the Bid. Substitutions will not be permitted after award of Contract.

TIME OF COMPLETION

The undersigned agrees to substantially complete the Work within 310 calendar days from Notice to Proceed.

LIST OF SUBCONTRACTORS

The Bidder acknowledges that a complete list of Subcontractors is required to be submitted with this Bid Form. At a minimum, list all subcontractors or sub-subcontractors for the following trade categories:

Carpentry FCI
Cabinetry Osburn
Custom Stainless Steel Osburn
Doors and Frames FCI
Door Hardware FCI
Metal Studs, Drywall, Insulation SDI (Superior drywall)
Acoustical Suspended Ceilings SDI (Superior drywall)

CITY OF GRAND JUNCTION, COLORADO
AVALON THEATRE
PHASE 1 ADDITION AND RENOVATION

FEBRUARY 26, 2013
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Flooring Floorz
Painting RJ Painting
Window Treatments Ambassador Blinds
Heating, Ventilating and Air-Conditioning Air Tech
Plumbing Grand Mesa Mechanical
Pipe-Fitting Same as Above
Fire Protection (Sprinklers) Fire Safety Solutions
Electrical EC Electric
Fire Alarm EC Electric

ADDENDUM

Bidder acknowledges receipt of the following Addenda:

Addendum No.	#1	Dated	3-11-2013
Addendum No.	#2	Dated	3-21-2013
Addendum No.	#3	Dated	3-25-2013

ACCEPTANCE OF BIDS

Owner reserves the right to accept or reject any or all Bids, or parts thereof, to waive any informalities in the Bidding, or to award the Contract to other than the lowest Bidder.

The undersigned agrees that his/her Bid may be accepted by the Owner at any time within sixty (60) days from date of opening of the Bids.

DATE 3-28-2013 BIDDER FCI Constructors, Inc
BY Ed Forsman
Ed Forsman
TITLE President

TYPE OF BUSINESS General Contractor

OFFICIAL ADDRESS 3070 I-70B Bldg. A
(Street Address)
Grand Junction, CO 81504
(City, State, Zip Code)

END OF BID FORM

**Avalon Theater
Addition & Renovation
Grand Junction, CO**

**March 28, 2013
Statement of Values**

	Amounts Included
010000 General Conditions	\$ 307,293
020000 Existing Conditions/Site Work	\$ 588,713
030000 Concrete Work	\$ 268,458
040000 Masonry	\$ 290,092
050000 Metals	\$ 507,794
060000 Wood Plastics & Composites	\$ 247,411
070000 Thermal & Moisture Protection	\$ 431,334
080000 Openings	\$ 578,748
090000 Finishes	\$ 835,701
100000 Specialties	\$ 37,122
110000 Equipment	\$ 31,145
120000 Furnishings	\$ 205,418
140000 Conveying Systems	\$ 152,568
210000 Fire Suppression Systems	\$ 137,611
220000 Plumbing	\$ 1,556,707
230000 HVAC	INCLUDED ABOVE
260000 Electrical	\$ 925,083
270000 Communications	\$ 77,587
280000 Electronic Safety & Security	INCLUDED ABOVE
	\$ 7,178,785

BID BOND

KNOW ALL MEN BY THESE PRESENTS,

that we, FCI Constructors, Inc. (an individual,
 a partnership, a corporation incorporated in the State of) as Principal,
and Western Surety Company (incorporated in the
State of SD) as Surety, are held and firmly bound unto the City of Grand
Junction, Colorado, (hereinafter called "City") in the penal sum of Five Percent of Amount Bid
 dollars (\$ 5%), lawful money of the United States, for the
payment of which sum we bind ourselves, our heirs, executors, administrators, successors, and
assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, that WHEREAS the Principal has submitted the accompanying Bid dated March 28, 2013 for construction of Avalon Theatre Addition & Remodel _____ (the Project) for the City and

WHEREAS, the City has required as a condition for receiving said Bid that the Principal deposit with the City either a cashier's check or a certified check equivalent to not less than five percent of the amount of said Bid or in lieu thereof furnish a Bid Bond for said amount conditioned that in event of a failure to execute the proposed Contract for such construction and to provide the required Performance and Payment Bonds and Insurance Certificates if the Contract be awarded to the Bidder, that said sum be paid immediately to the City as Liquidated Damages and not as a penalty for the Principal's failure to perform.

NOW, THEREFORE, if the Principal shall, within the period specified therefore, on the attached prescribed forms presented to the Bidder for signature, enter into a written Contract with the City in accordance with said Bid as accepted, and give Performance and Payment Bonds with good and sufficient Surety, or Sureties, as may be required upon the forms prescribed by the City, for the faithful performance and the proper fulfillment of said Contract, provide Certificates of Insurance as required by said Contract, and provide all other information and documentation required by the Contract Documents, then this obligation shall be void and of no effect, otherwise to remain in full force and effect. In the event suit is brought upon this bond by the City and the City prevails, the principal and surety shall pay all costs incurred by the City in such suit, including reasonable attorneys' fees and costs to be fixed by the Court.

IN WITNESS WHEREOF, the above bound parties have executed this instrument under their several seals the name and corporate seal of each corporate party being hereto affixed and duly signed by its undersigned representative pursuant to authority of its governing board.

Dated this 28th day of March, 2013.

Principal: FCI Constructors, Inc.

Address: 3070 I-70 B, Building A

Grand Junction, CO 81504

Signed: By: Ed Forsman (seal)

Title: President

Surety: Western Surety Company

Address: P. O. Box 5077

Sioux Falls, SD 57117-5077

Signed: By: Kristin L. Salazar (seal)

Title: Kristin L. Salazar Attorney-in-Fact

INSTRUCTIONS FOR COMPLETING BID BOND

1. The full legal name and residence of each individual executing this Bond as Principal must be inserted in the first paragraph.
2. If the Principal is a partnership, the full name of the partnership and all individuals must be inserted in the first paragraph which must recite that individuals are partners composing the partnership, and all partners must execute the Bond as individuals.
3. The State of incorporation of each corporate Principal or Surety to the Bond must be inserted in the first paragraph and the Bond must be executed under the corporate seal of said party attested by its secretary or other appropriate officer.
4. Attach a copy of the power-of-attorney for the Surety's agent.

Western Surety Company

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

Douglas C Baesler, Kristin L Salazar, Cory Clauss, Mary E Hanks, Individually

of Denver, CO, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 28th day of February, 2013.



WESTERN SURETY COMPANY

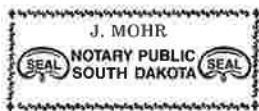
Paul T. Bruflat
Paul T. Bruflat, Vice President

State of South Dakota }
County of Minnehaha } ss

On this 28th day of February, 2013, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires

June 23, 2015



J. Mohr
J. Mohr, Notary Public

CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 28th day of March, 2013.



WESTERN SURETY COMPANY

L. Nelson
L. Nelson, Assistant Secretary



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Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 001	OWNER: <input type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: 7/29/13	ARCHITECT: <input type="checkbox"/>
645 Main Street		CONTRACTOR: <input type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
PO Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

COR-004- Delete supply and install of digital projector.

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	0.00
The Contract Sum prior to this Change Order was	\$	6,269,780.00
The Contract Sum will be decreased by this Change Order in the amount of	\$	55,471.73
The new Contract Sum including this Change Order will be	\$	6,214,308.27

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Leskosky
ARCHITECT (Firm name)

One Camelback Road, Phoenix, AZ 85012
ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

FCI Constructors, Inc.

CONTRACTOR (Firm name)

PO Box 1767, Grand Junction, CO 81502
ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

City of Grand Junction

OWNER (Firm name)

250 N. 5th St., Grand Junction, CO 81501
ADDRESS

BY (Signature)

Lee Cooper
(Typed name)

DATE

**COR-004**

Detailed, Grouped by Each Number (w/ PM, Arch, and Owner Approval)

Avalon Theatre, Phase 1 Addition & Remodel Project # 10-13-025 FCI Constructors, Inc. - GJ
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

7/29/2013 Delete Supply and Install of Digital Projector Approved

Category	Reference	PCCO Number
----------	-----------	-------------

Owner Directive

Notes

Delete supply and install of the digital projector including lens, rigging frame, spare lamps and housing, and projector

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		(\$55,466.00)
Description of Work: Delete supply and install of the digital projector including lens, rigging frame, spare lamps and housing, and projector		
FCI Constructors, Inc. - GJ		(\$2.35)
Description of Work: .004% Insurance Markup		
FCI Constructors, Inc. - GJ		(\$3.41)
Description of Work: .0058% Bond Markup		

Requested Days: 0**Total Change: (\$55,471.76)**

FCI PM Approval:
Date: 7-29-13

Owner Approval:
Date:

Architect Approval:
Date:

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



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Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 002	OWNER: <input type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: 7/29/13	ARCHITECT: <input type="checkbox"/>
645 Main Street		CONTRACTOR: <input type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
PO Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

COR-005 Delete all fixed seating.

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-55,471.73
The Contract Sum prior to this Change Order was	\$	6,214,308.27
The Contract Sum will be decreased by this Change Order in the amount of	\$	159,196.54
The new Contract Sum including this Change Order will be	\$	6,055,111.73

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

<u>Westlake Reed Leskosky</u>	<u>FCI Constructors, Inc.</u>	<u>City of Grand Junction</u>
ARCHITECT (Firm name)	CONTRACTOR (Firm name)	OWNER (Firm name)
<u>One Camelback Road, Phoenix, AZ 85012</u>	<u>PO Box 1767, Grand Junction, CO 81502</u>	<u>250 N. 5th St., Grand Junction, CO 81501</u>
ADDRESS	ADDRESS	ADDRESS
<u>BY (Signature)</u>	<u>BY (Signature)</u>	<u>BY (Signature)</u>
<u>Richard Sourbine</u>	<u>Stan Kiser</u>	<u>Lee Cooper</u>
(Typed name)	(Typed name)	(Typed name)
<u>DATE</u>	<u>DATE</u>	<u>DATE</u>
	7-29-13	7/31/13

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2013

Delete all Fixed Seating

Approved

Category	Reference	PCCO Number
Owner Directive		002

Notes

Delete all Fixed Seating as per Spec Section 1261 13

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		(\$159,180.00)
Description of Work: Delete all Fixed Seating as per Spec Section 1261 13		
FCI Constructors, Inc. - GJ		(\$6.75)
Description of Work: .004% Insurance Markup		
FCI Constructors, Inc. - GJ		(\$9.79)
Description of Work: .0058% Bond Markup		

Requested Days: 0

Total Change: (\$159,196.54)

FCI PM Approval: SIC

Date: 7.29.13

Owner Approval: [Signature]

Date: 7/31/13

Architect Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 003	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: August 16, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

BVR-003 - Alley Delivery Access	0.00
COR-007 - Credit for Cost of Job Site Trailer	0.00
COR-008 - Removal of Existing Underground Concrete	0.00
COR-011 - Negative Side Waterproofing at Basement Walls Per RFI-008	0.00
COR-013 - Credit Back Electrical/Gas Utility Budgets	0.00

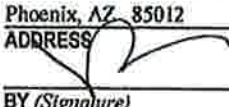
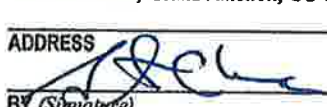
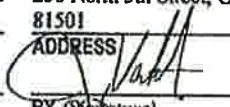
The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -214,668.30
The Contract Sum prior to this Change Order was	\$ 6,055,111.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,055,111.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky	FCI Constructors, Inc.	City of Grand Junction
ARCHITECT (Firm name)	CONTRACTOR (Firm name)	OWNER (Firm name)
One East Camelback Road, Suite 690,	P.O. Box 1767, Grand Junction, CO 81502	250 North 5th Street, Grand Junction, CO
Phoenix, AZ 85012		81501
ADDRESS	ADDRESS	ADDRESS
		
BY (Signature)	BY (Signature)	BY (Signature)
Richard Sourbrine	Stan Kiser	Lee Cooper
(Typed name)	(Typed name)	(Typed name)
8.21.13	8.16.13	8/19/13
DATE	DATE	DATE



AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 004	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: 8/30/13	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000/Previously Approved \$1,600.00	
COR-003 - Change to Hydronic Unit Heaters	DEDUCT \$ 4,415.00
COR-010 - Excavate Underground Tank	DEDUCT \$ 300.00
COR-014 - Credit for Change to PVC Discharge Piping at SEP-1 & SEP-2 Per RFI-013	ADD \$ 2,102.00
COR-015 - Change to Lochinvar Boilers Per RFI-012	ADD \$ 8,855.00
COR-016 - Change to Zoeller Sump Pumps SEP-1 & SEP-2 Per RFI-011	ADD \$ 3,542.00
COR-017 - Subgrade Stabilization Per H&B Recommendation	DEDUCT \$ 1,484.00
TOTAL	ADD \$ 8,300.00
Remaining Force Account \$209,900.00	

Contractors Contingency

Original Contractors Contingency: \$231,921.00/Previously Approved (\$3,456.00)
Remaining Contractors Contingency \$228,465.00

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -214,668.30
The Contract Sum prior to this Change Order was	\$ 6,055,111.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,055,111.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Lee Cooper
(Typed name)

DATE



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 005	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: September 11, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved \$9,900.00

COR-009 - Demo Concrete & Infill Coal Chute per RFI-007

DEDUCT \$ 1,749.00

COR-019 - Replace Storm Sewer Inlet at Alley (SW Corner)

DEDUCT \$ 4,758.00

COR-021 - Credit for Changes to Fluid-Applied Waterproofing per RFI-030

ADD \$ 2,014.00

COR-026 - Acceptance of Alternate #18 (10' Tall Aluminum Doors)

DEDUCT \$10,638.00

COR-028 - Changes to Roofing Insulation & Attachment per RFI-036

ADD \$ 4,543.00

TOTAL

DEDUCT \$10,588.00

Remaining Force Account \$199,312.00

Contractors Contingency

Original Contractors Contingency: \$231,921.00/Previously Approved (\$3,456.00)

BVR-004 - Demolition of 12" Retrofit Concrete Foundation Wall

DEDUCT \$ 3,818.00

Remaining Contractors Contingency \$224,647.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ -214,668.30

The Contract Sum prior to this Change Order was

\$ 6,055,111.70

The Contract Sum will be unchanged by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 6,055,111.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

DATE

10.2.13

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

9.12.13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Lee Cooper

(Typed name)

DATE

9.27.13

**AIA®****Document G701™ – 2001****Change Order****PROJECT** *(Name and address):*Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501**CHANGE ORDER NUMBER:** 006**DATE:** 9/16/2013**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** *(Name and address):*FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502**ARCHITECT'S PROJECT NUMBER:****CONTRACT DATE:** 7/22/13**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*
Owners Force Account Summary

Original Force Account: \$200,00000/Previously Approved (\$688.00)

COR-002 - Revisions to Water Service per PR-001

DEDUCT \$ 28,035.00

COR-032 - VE Item-Change to Aluminum Feeders per RFI-062

ADD \$ 22,768.00

COR-040 - Credit for Mechanical Controls Work Station

ADD \$ 1,259.00

COR-045 - Hydronic & Floor Drain Changes per RFI-021

DEDUCT \$ 7,044.00

COR-046 - Add Hose Bibs at Exterior of Addition per RFI-022

DEDUCT \$ 709.00

TOTAL

DEDUCT \$11,761.00

Remaining Force Account \$187,551.00

Contractors Contingency

Original Contractors Contingency: \$231,921.00/Previously Approved (\$7,274.00)

BVR-001 - Fire Line Reconfiguration per PR-001

DEDUCT \$ 5,779.00

BVR-006 - Fund Change in Drywall Subcontractor

DEDUCT \$ 45,784.00

TOTAL

DEDUCT \$ 51,563.00

Remaining Contractors Contingency \$173,084.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ -214,668.30

The Contract Sum prior to this Change Order was

\$ 6,055,111.70

The Contract Sum will be decreased by this Change Order in the amount of

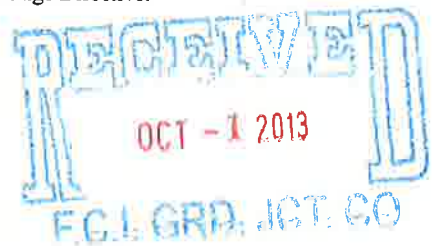
\$ 0.00

The new Contract Sum including this Change Order will be

\$ 6,055,111.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

DATE

10-2-13

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

9-16-13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Lee Cooper

(Typed name)

DATE

9-27-13



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 007	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: September 24, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: 7/22/13	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account :\$200,000.00/Previously Approved (\$12,449.00)

COR-022 - Change Edge Angle Size Per RFI-031

ADD \$ 3,330.00

COR-043 - Add PRV's at Water Service Locations Per RFI-052

DEDUCT \$ 1,190.00

COR-052 - Demo Stage AHU and Ductwork

DEDUCT \$ 2,400.00

COR-053 - Reroute Refrigerant Lines for Existing FCU's

DEDUCT \$ 1,945.00

COR-057 - Additional Credit for Aluminum Feeders

ADD \$ 2,389.00

TOTAL

ADD \$ 184.00

Remaining Force Account \$187,735.00

Contractors Contingency

Original Contractors Contingency: \$231,921.00/Previously Approved (\$58,837.00)

BVR-002 - Demo & Infill at SE Corner of Building Per RFI-005

DEDUCT \$ 1,625.00

TOTAL

DEDUCT \$ 1,625.00

Remaining Contractors Contingency \$171,459.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ -214,668.30

The Contract Sum prior to this Change Order was

\$ 6,055,111.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 6,055,111.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

10.2.13

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

9.26.13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

10/1/13



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 008	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: October 2, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: COR-023	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/ Previously Approved (\$12,265.00)	
COR-023 - Electrical Power for Salvaged OU-1 & OU-2 Per PR-002	Deduct \$ 3,162.00
COR-025 - Tie SEP-2 Discharge into Storm Sewer Per RFI-016	Deduct \$ 2,133.00
COR-027 - Additional Waterproofing at the Existing Building Per RFI-037	Deduct \$ 577.00
COR-038 - Mechanical & Structural Revisions Per ASI-01	Deduct \$ 6,881.00
COR-041 - Reroute Existing Waste & Vent Piping Per RFI-054	Deduct \$ 6,461.00
COR-048 - Run Conduit for Company Switch at Stage Per Alternate 1 & RFI-041	Deduct \$ 657.00
COR-056 - Patch Roof (West Side) for Removed Vent Line Per RFI-083	Deduct \$ 429.00
COR-058 - Change Partition Type for MEP Chases at Mezzanines Per RFI-085	Add \$ 1,275.00

TOTAL	DEDUCT \$ 19,025.00
Remaining Force Account \$168,710.00	

Contractors Contingency

Original Contractors Contingency: \$231,921.00/Previously Approved (\$60,462.00)	
BVR-009 - Additional Demo of Stage Wing Walls Per RFI-044	Deduct \$ 493.00

TOTAL	DEDUCT \$ 493.00
Remaining Contractors Contingency \$170,966.00	

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -214,668.30
The Contract Sum prior to this Change Order was	\$ 6,055,111.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,055,111.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

DATE

10.10.13

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

10-2-13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

10/3/13



AIA® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 009	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: October 9, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved (\$31,290.00)

COR-001 - Split Systems: Add Back OU-1, Plus OU-2/OU-3 Changes Per RFI-020R1	Deduct \$ 9,146.00
COR-029 - Rough-In for Gas Meter Monitoring Per RFI-055	Deduct \$ 218.00
COR-044 - Credit for Changes to Sound Doors Per RFI-058 & RFI-071	Add \$ 15,558.00
COR-067 - Changes to Pile Cap & Grade Beams Per RFI-023 & RFI-028	Deduct \$ 2,092.00
COR-073 - Revise Door and Hardware for 118F & 118G	Add \$ 1,918.00

TOTAL:

Remaining Force Account \$174,730.00

Original Contractors Contingency: \$231,921.00/Previously Approved (\$60,955.00)

TOTAL:

Remaining Contractors Contingency \$170,966.00

COR-018 - Installation of Elevator	Add \$136,730.00
------------------------------------	------------------

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -214,668.30
The Contract Sum prior to this Change Order was	\$ 6,055,111.70
The Contract Sum will be increased by this Change Order in the amount of	\$ 136,730.00
The new Contract Sum including this Change Order will be	\$ 6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

10.29.13

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

10.15.13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 010	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: October 21, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$25,270.00)

COR-049 - Revisions to the Back Walls of the Upper Mezzanine Per RFI-060	Deduct \$ 2,583.00
COR-050 - Relocate FACP, Delete FAAP Per RFI-066	Add \$ 957.00
COR-055 - Delete Auditorium Floor Drains Per RFI-081	Add \$ 1,644.00
COR-061 - Demo Existing FCU and Provide New Ductwork Per RFI-053	Deduct \$ 5,852.00
COR-066 - Hydronic Lines to Existing FCU's Per RFI-078	Deduct \$ 13,154.00
COR-074 - Additional Duct Fittings Due to RFI-089 & RFI-092	Deduct \$ 15,610.00

TOTAL	DEDUCT \$ 34,598.00
Remaining Force Account \$140,132.00	

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$60,955.00)

BVR-005 - Additional Demolition/Framing of Upper Mezzanine Ceiling Per RFI-046	Deduct \$ 1,664.00
--------------------------------------------------------------------------------	--------------------

TOTAL:	DEDUCT \$ 1,664.00
Remaining Contractors Contingency \$ 169,302.00	

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -77,938.30
The Contract Sum prior to this Change Order was	\$ 6,191,841.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)
One East Camelback Road, Suite 690,
Phoenix, AZ 85012
ADDRESS
BY (Signature)
Richard Sourbrine
(Typed name)
10.28.13
DATE

FCI Constructors, Inc.
CONTRACTOR (Firm name)
P.O. Box 1767, Grand Junction, CO 81502
ADDRESS
BY (Signature)
Stan Kiser
(Typed name)
10.22.13
DATE

City of Grand Junction
OWNER (Firm name)
250 North 5th Street, Grand Junction, CO
81501
ADDRESS
BY (Signature)
Jay Valentine
(Typed name)
10/24/13
DATE

AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address): Avalon Theatre, Phase 1 Addition & Remodel 645 Main Street Grand Junction, CO 81501	CHANGE ORDER NUMBER: 011 DATE: October 28, 2013	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OTHER: <input type="checkbox"/>
TO CONTRACTOR (Name and address): FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502	ARCHITECT'S PROJECT NUMBER: CONTRACT DATE: July 22, 2013 CONTRACT FOR: General Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$59,868.00)

COR-042 - Extend MEP Chase, Delete Opening B013 per RFI-064	Add	\$ 2,077.00
COR-062 - Surround Sound and DSP Processors	Deduct	\$ 14,923.00
COR-079 - Demo Ceiling Below the Lower Mezzanine (Demo Only)	Deduct	\$ 7,938.00
TOTAL	DEDUCT	\$ 20,784.00
Remaining Force Account \$119,349.00		

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$62,619.00)

Remaining Contractors Contingency \$169,302.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-77,938.30
The Contract Sum prior to this Change Order was	\$	6,191,841.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

11.4.13

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

10-28-13

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

10/31/13



AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 012	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: November 1, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$80,652.00)

COR-069 - Added Concrete Infill & Floor Framing per RFI-075	Deduct	\$ 3,627.00
COR-078 - Changes to Lower Mezzanine Framing Per RFI-073	Deduct	\$ 35,961.00
COR-080 - New Ceiling Below Lower Mezzanine	Deduct	\$ 5,276.00
COR-084 - Added Pilaster at Grid Lines A7+8 Per RFI 113	Deduct	\$ 456.00
TOTAL	DEDUCT	\$ 45,320.00
Remaining Force Account		\$74,028.00

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$62,619.00)

Remaining Contractors Contingency \$169,302.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-77,938.30
The Contract Sum prior to this Change Order was	\$	6,191,841.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)
One East Camelback Road, Suite 690,
Phoenix, AZ 85012
ADDRESS
BY (Signature)
Richard Sourbrine
(Typed name)
11.21.13
DATE

FCI Constructors, Inc.
CONTRACTOR (Firm name)
P.O. Box 1767, Grand Junction, CO 81502
ADDRESS
BY (Signature)
Stan Kiser
(Typed name)
11.7.13
DATE

City of Grand Junction
OWNER (Firm name)
250 North 5th Street, Grand Junction, CO
81501
ADDRESS
BY (Signature)
Jay Valentine
(Typed name)
11/15/13
DATE



AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 013	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: November 20, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$125,972.00)

COR-036 - Metal Framing & Wall Type Changes Per RFI-043	Deduct	\$ 3,501.00
COR-060 - Delete Sump Pump Slabs, Infill with Flow Fill Per RFI-069R1	Deduct	\$ 229.00
COR-068 - Added Framing for MEP Chase Openings Per RFI-103	Deduct	\$ 1,799.00
COR-070 - Additional Wall Furring at Upper Mezzanine Per RFI-101	Deduct	\$ 2,046.00
COR-082 - Credit for Change in Conduit Size Per RFI-125	Add	\$ 660.00
COR-087 - Reconcile Allowance for Ceiling Demo Per COR-079	Add	\$ 1,868.00
COR-088 - Reconcile Allowance for Lower Mezzanine Steel Erection Per RFI-078	Add	\$ 9,970.00
COR-089 - Trapeze #9 Ceiling Wires Per RFI-137	Deduct	\$ 1,249.00
COR-092 - Delete Countertop at Sound Booth Per RFI-124	Add	\$ 1,355.00
COR-093 - Add Interior Ticketing Window at Addition	Deduct	\$ 3,561.00
COR-095 - Reverse COR-019 - City to Fund Storm Inlet Replacement Directly	Add	\$ 4,326.00
COR-096 - Added W8x10 Beam & Embeds at Tunnel	Deduct	\$ 431.00
TOTAL	ADD	\$ 5,363.00

Remaining Force Account \$79,391.00

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$62,619.00)

Remaining Contractors Contingency \$169,302.00

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -77,938.30
The Contract Sum prior to this Change Order was	\$ 6,191,841.70
The Contract Sum will be increased by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

11.21.13

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

11.21.13

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

11/22/13



AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 014	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: December 11, 2013	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$120,609.00)

COR-059 - Infill Existing Windows at West & East Sides of Upper Mezzanine Per RFI-086	Deduct	\$ 2,385.57
COR-064 - Alternate 11: Infill West/East Auditorium Doors	Deduct	\$ 4,024.60
COR-090 - Catwalk Steel and Door Modifications Per RFI-123	Deduct	\$ 1,206.73
COR-105 - Replace Existing Trusses with 2x6 Braces	Deduct	\$ 1,869.37
TOTAL	Deduct	\$ 9,486.27

Remaining Force Account \$69,904.73

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$62,619.00)

BVR-007 - Flow Fill Back-Fill for Interior Trenches	Deduct	\$ 737.00
BVR-010 - Plenum Box Extensions for Slot Diffusers Per RFI-112	Deduct	\$ 2,260.00
BVR-012 - C1 & C4 Exterior Light Fixtures	Deduct	\$10,288.00
BVR-015 - Steel Stair at SLL 118B	Deduct	\$ 5,940.00
TOTAL	Deduct	\$19,225.00

Remaining Contractors Contingency \$150,077.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-77,938.30
The Contract Sum prior to this Change Order was	\$	6,191,841.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	6,191,841.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

12.19.13
DATE

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

12.11.13
DATE

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

12-12-13
DATE

**AIA®****Document G701™ – 2001****Change Order****PROJECT** *(Name and address):*Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501**CHANGE ORDER NUMBER:** 015**DATE:** December 23, 2013**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** *(Name and address):*FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502**ARCHITECT'S PROJECT NUMBER:****CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$130,095.27)

COR-077 - Added 3/4" Plywood at Mezzanines Per PR-003

Deduct \$ 5,836.00

COR-094 - Boiler & Water Heater Vent Chase at Exterior Per RFI-077R1

Deduct \$ 6,496.26

COR-099 - LVT Flooring at Mezzanines Per PR-003

Deduct \$ 10,689.00

COR-104 - Imported Basement Backfill

Deduct \$ 2,460.40

TOTAL

Deduct \$ 25,481.66

Remaining Force Account \$44,423.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$81,844.00)

BVR-013 - Battery Lowering Feature for Elevator

Deduct \$ 4,184.00

BVR-016 - Batt Insulation at Mezzanine Joist Spaces

Deduct \$ 6,363.00

TOTAL

Deduct \$10,547.00

Remaining Contractors Contingency \$139,530.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ -77,938.30

The Contract Sum prior to this Change Order was

\$ 6,191,841.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 6,191,841.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

DATE

1.15.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

12.23.13

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

1/8/14



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 016	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: January 13, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$155,576.93)

COR-051 - Demo West Exterior Stairs & Delete/Infill Door 214A Per RFI-071	Deduct	\$ 2,866.00
COR-098 - Rework Damaged Conduits & Power-Up X-Mas Lights at the Street	Deduct	\$ 3,135.00
COR-101 - Flooring at Auditorium Seating Platforms Per RFI-145	Deduct	\$ 5,135.00
COR-108 - Revised Support of Beam at West End of Tunnel Per RFI-129	Deduct	\$ 1,630.00
COR-117 - Delete Slot Diffusers Per RFI-172	Add	\$ 303.00
TOTAL	Deduct	\$ 12,463.00

Remaining Force Account \$31,960.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$92,391.00)

BVR-0183 - Install Tube Steel to Re-Support Ceiling Per RFI-177	Deduct	\$ 1,568.00
TOTAL	Deduct	\$ 1,568.00

Remaining Contractors Contingency \$137,962.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-77,938.30
The Contract Sum prior to this Change Order was	\$	6,191,841.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	6,191,841.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

1-22-14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

1-13-14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

1-20-14



AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 017	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: January 14, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

COR-118 - Return Allowance for Petroleum Contaminated Soils	Deduct	\$ 50,597.00
COR-119 - Return Allowance for Removal of Mill Tailings	Deduct	\$ 25,299.00
COR-120 - Credit Ornamental Railings (Stair A) Budget	Deduct	\$ 88,894.00

TOTAL	DEDUCT	\$ 164,790.00
--------------	---------------	----------------------

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$155,576.93)

Remaining Force Account \$31,960.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$92,391.00)

Remaining Contractors Contingency \$137,962.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-77,938.30
The Contract Sum prior to this Change Order was	\$	6,191,841.70
The Contract Sum will be decreased by this Change Order in the amount of	\$	164,790.00
The new Contract Sum including this Change Order will be	\$	6,027,051.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

1.22.14

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

1.14.14

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

1.20.14

**AIA**[®]**Document G701™ – 2001****Change Order****PROJECT** *(Name and address):*

Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501

CHANGE ORDER NUMBER: 018 Revised**DATE:** January 20, 2014**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** *(Name and address):*

FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502

ARCHITECT'S PROJECT NUMBER:**CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$168,039.93)

COR-107 - Raceway from Trane Controller to IT Room 306

Deduct \$ 421.00

COR-109 - Revised Slab Edge Detail Per RFI-134R2

Deduct \$ 1,066.00

COR-122 - Switching Revisions at Catwalk Per RFI-182

Deduct \$ 616.00

COR-124 - Additional Funds to Force Account

Add \$ 20,000.00

TOTAL**ADD \$ 17,897.00**

Remaining Force Account \$49,857.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$92,391.00)

BVR-011 - Sconces for Auditorium Per RFI-090

Deduct \$ 2,162.00

BVR-017 - Reframe Mezzanine Landing to Meet Design Grades Per RFI-180

Deduct \$ 2,399.00

TOTAL**DEDUCT \$ 4,561.00**

Remaining Contractors Contingency \$133,401.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ -242,728.30

The Contract Sum prior to this Change Order was

\$ 6,027,051.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 20,000.00

The new Contract Sum including this Change Order will be

\$ 6,047,051.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

1.30.14

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

1-20-14

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

1/28/14

AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address): Avalon Theatre, Phase 1 Addition & Remodel 645 Main Street Grand Junction, CO 81501	CHANGE ORDER NUMBER: 019 DATE: January 29, 2014	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OTHER: <input type="checkbox"/>
TO CONTRACTOR (Name and address): FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502	ARCHITECT'S PROJECT NUMBER: CONTRACT DATE: July 22, 2013 CONTRACT FOR: General Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$150,142.93)

COR-175 - Stair Modifications Per RFI-102	Deduct \$ 2,547.00
COR-106 - Gyp Board at Underside of Joists at South Basement Per RFI-159	Deduct \$ 2,035.00
COR-110 - Ramp Modifications at East Elevation Per RFI-157	Deduct \$ 1,062.00
COR-112 - Boiler Reconfiguration Per RFI-153R1 & RFI-153R2	Add \$ 1,385.00
COR-113 - Changes to East Canopy Per RFI-160	Add \$ 7.00
COR-114 - Rough-In for Hearing Aid Loop System Per RFI-133	Deduct \$ 2,936.00
COR-115 - Topping Slab at 107 & 107A Per RFI-167	Deduct \$ 1,000.00
COR-116 - Added Structural Steel at Stair B Per RFI-163	Deduct \$ 4,376.00
COR-126 - Added Cabinet at Sound Booth Per RFI-181	Deduct \$ 1,984.00

TOTAL **DEDUCT \$14,548.00**

Remaining Force Account \$35,309.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$98,520.00)

BVR-019 - Revise to Infusion Concrete Stain at Auditorium	Deduct \$ 2,915.00
-----------------------------------------------------------	--------------------

TOTAL **DEDUCT \$ 2,915.00**

Remaining Contractors Contingency \$130,486.00

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -222,728.30
The Contract Sum prior to this Change Order was	\$ 6,047,051.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,047,051.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

2.8.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

1.30.14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

1/30/14



AIA® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 020	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: February 17, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$164,690.93)

COR-102 - Additional Site Concrete at Walkway	Deduct \$ 3,422.00
COR-125 - Changed to Moment Connections for W8x10 Beams Per RFI-168	Deduct \$ 4,501.00
COR-136 - Install Mop Sink at Upper Mezzanine for AHU Condensate Drains Per RFI-202	Deduct \$ 726.00
TOTAL	DEDUCT \$ 8,649.00

Remaining Force Account \$26,660.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$101,435.00)

BVR-020 - Handrails at the East Elevation & Loading Dock (Revisions Per RFI-157 & RFI-189)	Deduct \$ 8,176.00
BVR-021 - Fund Additional Costs of RFI-077R1 Concrete	Deduct \$ 1,266.00
BVR-022 - Full-Height Grout at 8" CMU Walls	Deduct \$ 6,485.00
BVR-023 - Drywall Soffits at the North Basement to Cover FS Piping	Deduct \$ 5,376.00
TOTAL	DEDUCT \$ 21,303.00

Remaining Contractors Contingency \$109,183.00

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -222,728.30
The Contract Sum prior to this Change Order was	\$ 6,047,051.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,047,051.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)
One East Camelback Road, Suite 690,
Phoenix, AZ 85012
ADDRESS
BY (Signature)
Richard Sourbrine
(Typed name)
2.27.14
DATE

FCI Constructors, Inc.
CONTRACTOR (Firm name)
P.O. Box 1767, Grand Junction, CO 81502
ADDRESS
BY (Signature)
Stan Kiser
(Typed name)
2.20.14
DATE

City of Grand Junction
OWNER (Firm name)
250 North 5th Street, Grand Junction, CO
81501
ADDRESS
BY (Signature)
Jay Valentine
(Typed name)
2/21/14
DATE

**AIA®****Document G701™ – 2001****Change Order****PROJECT** *(Name and address):*Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501**CHANGE ORDER NUMBER:** 021**DATE:** March 11, 2014**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** *(Name and address):*FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502**ARCHITECT'S PROJECT NUMBER:****CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*
Owners Force Account Summary

Original Force Account: \$200,000.00/Previously Approved: (\$173,339.93)

COR-121 - Add Pick-Points at Stage Per RFI-191	Deduct \$ 1,814.00
COR-127 - Modify Structural Steel at Projector Enclosure Per RFI-194	Deduct \$ 1,513.00
COR-131 - Roof Metal Deck Support Along GL 10 Per RFI-196	Deduct \$ 720.00
COR-134 - Framing & Drywall Infills at Backside of Cheek Walls Per RFI-218	Deduct \$ 1,729.00
COR-137 - Fire Protection Modifications at Mezzanines (Above Allowance Set Aside for RFI-073)	Deduct \$ 2,915.00
COR-140 - Speaker Pick-Points at the Stage Per RFI-208	Deduct \$ 1,455.00
COR-141 - Auditorium Flooring Transitions Per RFI-205	Deduct \$ 781.00
COR-142 - Change PT Tile at Concessions 120 Per RFI-212	Add \$ 280.00
BVR-024 - Fund the Owner Force Account	Add \$20,000.00
TOTAL	ADD \$ 9,353.00

Remaining Force Account \$36,013.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$122,738.00)

BVR-024 - Fund the Owner Force Account	Deduct \$ 20,000.00
TOTAL	DEDUCT \$ 20,000.00

Remaining Contractors Contingency \$89,183.00

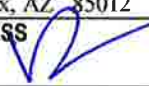


The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ -222,728.30
The Contract Sum prior to this Change Order was	\$ 6,047,051.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 6,047,051.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky ARCHITECT (Firm name)	FCI Constructors, Inc. CONTRACTOR (Firm name)	City of Grand Junction OWNER (Firm name)
One East Camelback Road, Suite 690, Phoenix, AZ 85012	P.O. Box 1767, Grand Junction, CO 81502	250 North 5th Street, Grand Junction, CO 81501
ADDRESS	ADDRESS	ADDRESS
		
BY (Signature)	BY (Signature)	BY (Signature)
Richard Sourbrine (Typed name)	Stan Kiser (Typed name)	Jay Valentine (Typed name)
3-24-14	3-11-14	3/20/14
DATE	DATE	DATE



AIA® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 022	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: March 21, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Interior finish of the Addition to the Avalon as depicted in the contract documents listed in attachment A.

The scope of work is further defined by the attached "PR-005 HVAC, Fire Alarm, 1st Floor Finishes, Rev. 4" and "PR-006 Addition Mezzanine Level and Upper Mezzanine Level Build Out", both dated March 20, 2014 and attached as attachment B and C. Note that the itemized changes included in PR 005 and PR 006 pricing supersede the documents listed in attachment A

Add \$2,004,824.00

ADD \$2,004,824.00

Original Force Account: \$200,000.00/Previously Approved: (\$163,986.93)

Remaining Force Account \$36,013.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$142,738.00)

PR 006 Add \$ 15,000.00

TOTAL ADD \$ 15,000.00

Remaining Contractors Contingency \$104,183.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	-222,728.30
The Contract Sum prior to this Change Order was	\$	6,047,051.70
The Contract Sum will be increased by this Change Order in the amount of	\$	2,019,824.00
The new Contract Sum including this Change Order will be	\$	8,066,875.70

The Contract Time will be increased by one hundred thirty-five (135) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

3-27-14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

3-21-14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

3/26/14



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 023	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: April 2, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Correction to cost included in Prime Change Order 022 for the electrical cost of finishing the interior of the Avalon addition

Deduct \$ 137,470.00

TOTAL

DEDUCT \$ 137,470.00

Original Force Account: \$200,000.00/Previously Approved: (\$163,986.93)

Correction from cost to Force Account shown above

Add \$ 137,470.00

COR-130 - Add Metal Grate Soffit, Delete Spray Foam Per RFI-187

Deduct \$ 1,099.00

COR-138 - Paint Catwalk & Exposed Ductwork

Deduct \$ 3,181.00

COR-146 - Revise Hardware at Door STB-3 Per RFI-210R1

Deduct \$ 332.00

COR-148 - Sand & Repaint Existing Stage Floor

Deduct \$ 1,877.00

COR-151 - Extend Existing Downspout at East Side of Building Per RFI-229

Deduct \$ 711.00

TOTAL

ADD \$ 130,270.00

Remaining Force Account \$166,283.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$127,738.00)

Remaining Contractors Contingency \$104,183.00

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ 1,797,095.70

The Contract Sum prior to this Change Order was

\$ 8,066,875.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 8,066,875.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



AIA® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 024	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: April 18, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: \$33,716.93

COR-103 - Steel to Support Acoustical Drapery Slot Per RFI-015	Deduct \$	4,967.00
COR-145 - Added Electrical Rough-In for Teleconferencing at the Multi-Purpose Room Per RFI-224	Deduct \$	323.00
COR-163 - Install "Dog House" at AHU-2 for Piping Connections	Deduct \$	2,136.00
TOTAL	DEDUCT \$	7,426.00

Remaining Force Account \$158,857.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$127,738.00)

BVR-028 - T&M Work to Stiffen & Repair Plaster Ceiling Edges	Deduct \$	13,486.00
TOTAL	DEDUCT \$	13,486.00

Remaining Contractors Contingency \$90,697.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	1,797,095.70
The Contract Sum prior to this Change Order was	\$	8,066,875.70
The Contract Sum will be increased by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	8,066,875.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

4-29-14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

4-29-14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

4-28-14



AIA® Document G701™ – 2001

Change Order

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 025	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: April 30, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: \$41,142.93

COR-149 - Revise Walls at Stair E & F (Add Glass Rail) Per ASI-009	Deduct \$	12,231.00
COR-159 - Credit for Unit Heater Controls	Add \$	605.00
COR-161 - Credit for Sound Panels Not Required at SLL 308	Add \$	2,518.00
COR-165 - Added Steel to Support New Opening for Door 112C Per RFI-239	Deduct \$	1,474.00
COR-166 - Add Hose Bib at Concessions 303 Per RFI-277	Deduct \$	247.00
TOTAL	DEDUCT \$	10,829.00

Remaining Force Account \$148,028.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$141,224.00)

BVR-026 - Steel Framing for MEP Chase Per RFI-211R1	Deduct \$	1,978.00
BVR-031 - Video Display Brackets and Hardware	Deduct \$	9,342.00
TOTAL	DEDUCT \$	11,320.00

Remaining Contractors Contingency \$79,377.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	1,797,095.70
The Contract Sum prior to this Change Order was	\$	8,066,875.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	8,066,875.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

5.12.14
DATE

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

4.30.14
DATE

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valente
(Typed name)

5/8/14
DATE

AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address): Avalon Theatre, Phase 1 Addition & Remodel 645 Main Street Grand Junction, CO 81501	CHANGE ORDER NUMBER: 026 DATE: May 9, 2014	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OTHER: <input type="checkbox"/>
TO CONTRACTOR (Name and address): FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502	ARCHITECT'S PROJECT NUMBER: CONTRACT DATE: July 22, 2013 CONTRACT FOR: General Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Original Force Account: \$200,000.00/Previously Approved: (\$51,971.93)

COR-144 - Relocate Existing Electrical Boxes Above Stage Reflector	Deduct \$	4,916.00
COR-155 - New Concrete Stoop & Railings at Door 118E Per RFI-225	Deduct \$	4,000.00
COR-156 - Added & Modified Hand Rails at Existing Concrete Stoops Per RFI-232	Deduct \$	3,129.00
COR-162 - Added Sinks & Other Changes at Concession Areas Per RFI-276 & RFI-276R1	Deduct \$	9,727.00
COR-174 - Revisions to Slab Edge at Upper Mezzanine Per RFI-234	Deduct \$	2,689.00
TOTAL	DEDUCT \$	24,461.00

Remaining Force Account \$123,567.07

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$152,544.00)

BVR-030 - Exposed Aggregate Concrete at Walkway, Plus Loading Dock Concrete	Deduct \$	2,900.00
TOTAL	DEDUCT \$	2,900.00

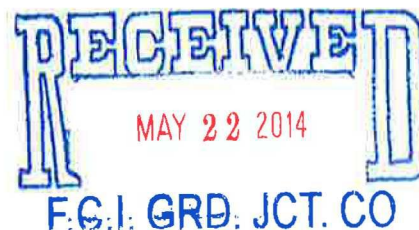
Remaining Contractors Contingency \$76,477.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	1,797,095.70
The Contract Sum prior to this Change Order was	\$	8,066,875.70
The Contract Sum will be increased by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	8,066,875.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

5.21.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

5-9-2014

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

5/19/14

AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address): Avalon Theatre, Phase 1 Addition & Remodel 645 Main Street Grand Junction, CO 81501	CHANGE ORDER NUMBER: 027 DATE: May 19, 2014	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OTHER: <input type="checkbox"/>
TO CONTRACTOR (Name and address): FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502	ARCHITECT'S PROJECT NUMBER: CONTRACT DATE: July 22, 2013 CONTRACT FOR: General Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: (\$76,432.93)

COR-168 - 2-Hour Shaft Wall at Dimmer 310 Per RFI-254R1	Deduct \$	2,182.99
COR-172 - Drywall Ceiling at Terrace Roof Overhang, Plus Drywall Beam Wraps at Upper Mezz Lobby	Deduct \$	4,122.21
COR-193 - As directed by the Owner, Deduct Funds From Owner's Force Account	Deduct \$	32,350.00
TOTAL	DEDUCT \$	38,655.20

Remaining Force Account \$84,911.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$155,444.00)

BVR-029 - Provide Custom Fabricated Brackets for Glass Door Pulls	Deduct \$	1,681.92
TOTAL	DEDUCT \$	1,681.92

Remaining Contractors Contingency \$74,795.00

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	1,797,095.70
The Contract Sum prior to this Change Order was	\$	8,066,875.70
The Contract Sum will be decreased by this Change Order in the amount of	\$	32,350.00
The new Contract Sum including this Change Order will be	\$	8,034,525.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

DATE

5.29.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

5.19.14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

5/24/14

**AIA®****Document G701™ – 2001****Change Order**

PROJECT <i>(Name and address):</i>	CHANGE ORDER NUMBER: 028	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: May 27, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR <i>(Name and address):</i>	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:*(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Original Force Account: \$200,000.00/Previously Approved: (\$115,088.13)

COR-143 - Additional WAP Per RFI-217	Deduct \$	941.00
COR-173 - Infill Shaft Opening Per RFI-238	Deduct \$	2,397.00
COR-179 - AV & Electrical Revisions at Multi-Purpose Room Per RFI-269	Deduct \$	2,996.00
COR-182 - Conduit Rough In for Future Marquee Sign	Deduct \$	475.00
COR-194 - RFI-270: "Dummy" Headers for Aluminum Doors	Deduct \$	660.00
TOTAL	DEDUCT \$	7,469.00

Remaining Force Account \$77,442.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$157,125.92)

BVR-032 - Added Steel at Stair Stringers	Deduct \$	711.16
TOTAL	DEDUCT \$	711.16

Remaining Contractors Contingency \$74,083.92

The original Contract Sum was	\$	6,269,780.00
The net change by previously authorized Change Orders	\$	1,764,745.70
The Contract Sum prior to this Change Order was	\$	8,034,525.70
The Contract Sum will be increased by this Change Order in the amount of	\$	0.00
The new Contract Sum including this Change Order will be	\$	8,034,525.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine

(Typed name)

5-29-14

DATE

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

5-27-14

DATE

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

5/30/14

DATE

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ****5/14/2014****Added Steel at Stair Stringers****Pending Approval**

Category	Reference	PCCO Number
Budget Variance Report	RMS COR Request 41 5/14/14	

Notes

Added steel at stair stringers to reduce wall gap to old theatre exterior wall from 7-8" to 3" due to existing conditions not being properly documented on the plans.

Itemized Details:

General Description	Quote Rec'd	Proposed
		\$663.00
Description of Work: Rocky Mountain Steel - Provide and install additional material for stair infill at gap to old exterior wall.		
		\$0.60
Description of Work: Builder's Risk Insurance		
		\$2.65
Description of Work: General Liability Insurance		
		\$4.66
Description of Work: Payment/Performance Bond		
		\$40.25
Description of Work: Fee		
		\$0.00
Description of Work: Contingency		

Requested Days: 0**Total Change: \$711.16****Approval:****Date:**

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

- Fabricating
- Breaking
- Shearing
- Repair



- Steel Erection •
- Aluminum •
- Stainless •
- Welding •

Rocky Mountain Steel, Inc.

59833 Hwy 50

Olathe, CO 81425

Phone: (970) 323-6323 Fax: (970) 323-0480

TIME, MATERIALS AND EQUIPMENT REPORT

Date: 5-13-2014

Authorization #: _____

Job # 6842 Cost Code: _____

CLIENT: F.C.I

PROJECT: Avalon

WORK PERFORMED: CLOSURE ANGLE @ STAIR C (MEZZ CORRIDOR)
E.J. WAS TOO WIDE

EMPLOYEE	CLASSIFICATION	REG. RATE	O.T. RATE	REG. HRS.	O.T. HRS.	REG. AMT.	O.T. AMT.	TOTAL
MARK				4				4
TREVOR				4				4
TOTALS:								

EQUIPMENT				
UNIT #	DESCRIPTION	RATE	HRS.	AMOUNT
TOTALS:				

MATERIAL (ATTACH BACKUP)		
INVOICE #	VENDOR	AMOUNT
	2.0' 3 1/2" x 3 1/2" x 44	
	1/2" angle	
	iron	
TOTAL		

COMMENTS: _____

LABOR: _____

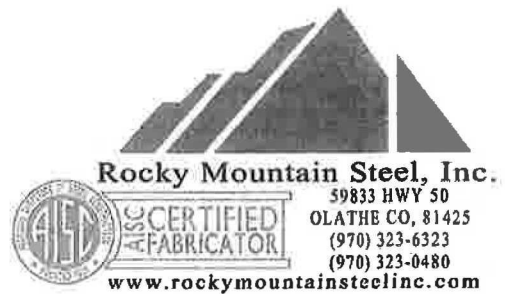
EQUIPMENT: _____

MATERIAL: _____

TOTAL: _____

Mark Sheldahl
RMS REPRESENTATIVE

[Signature]
AUTHORIZED BY



CHANGE ORDER REQUEST # 41

*FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502*

Ref. Stair Infill

Date: May 14, 2014

MATERIAL	\$ 63.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 600.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 663.00

The above Change Order Request is for the material and labor required to reduce the gap between Stair C and the existing building wall. Attached you will find our T & M ticket for the labor. 20 feet of L3-1/2 x3-1/2 x1/4 was used.

Please issue a Change Order to our contract so we may proceed with this work.

*Randy Zlomke
Project Manage*

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ**

4/29/2014

Additional WAP Per RFI-217

FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-217, attached pricing quote	

Notes

This COR developed for additional costs associated with RFI-217.

There were a few changes made during an electrical box walk on 2/12/14. These changes have been documented in RFI-217. The electrical changes made were too minor to incur additional costs. However, there are costs associated with the additional wireless access point requested to be installed at the face of the Mezzanine balcony. These costs include the costs of the device, plus labor to install the device, pull cable, and program.

Itemized Details:

General Description	Quote Rec'd	Proposed
Audio Video Experts		\$877.00
Description of Work: All changes to Audio Visual Experts' scope of work as revised per RFI-217. This includes the installation of (1) additional wireless access point at the Mezzanine balcony face per electrical box walk conducted 2/12/14.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$53.00
Description of Work: Fee		

Requested Days: 0**Total Change: \$941.00****Approval:** **Date:** 5/23/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Estimate

2477 Commerce Blvd Unit H
Grand Junction CO 81505

Date	Estimate #
2/24/2014	4189

Name / Address
Avalon Theater 645 Main Street Grand Junction CO 81501

P.O. No.	Terms	Due Date	Rep	Account #	Project
RFI 217	Contract	2/24/2014	JH		Change order #5

Item	Description	Qty	Retail	Pair /Each	Total
Crestron CEN ...	In wall or in ceiling wireless access point	1			375.00T
Liberty 24-4P-...	Cat 5 big E tested to 350 MHz Yellow	150			27.00T
Labor	Labor:Finish - Labor	6			450.00
Freight	In-bound freight for materials	1			25.00T

	Subtotal	\$877.00
	Sales Tax (0.0%)	\$0.00
	Total	\$877.00

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 217 **Date Created: 2/21/2014**

Answer Company	Answered By	Author Company	Authored By
		FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Cole Forsman

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Electrical Rough In Walk Changes	Electrical	Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brady Blackmer	1	

Question **Date Required: 2/28/2014**

The following changes are to be made per direction given on the 2/12/14 Electrical Rough In Walk:
1.) The type 4B data rough in at Ticket Booth 121 shown outside of the ticket booth per TE-102, is to be relocated to the inside of Ticket Booth 121.

2.) 1 wireless access point is to be added on the face of the Mezzanine Balcony next to the projector enclosure.

3.) 1 1" conduit is to be pulled from Fire Control to IT 306 for an extra phone connection.

4.) Move all switches in Sound Booth 129 to the east wall of Sound Booth 129.

This RFI is for documentation only, no response necessary.

Suggestion

Answer **Date Answered:**

This RFI is for documentation only, no response necessary.



COR-173

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
 645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

4/30/2014 **Infill Shaft Opening Per RFI-238** **FCI Pricing**

Category **Reference** **PCCO Number**

FORCE ACCT RFI-238, attached pricing quotes

Notes

This COR developed for additional costs associated with the infill of a shaft opening at the addition per RFI-238. This shaft opening was shown on the structural drawings, but is not needed.

Itemized Details:

General Description **Quote Rec'd** **Proposed**

M & M Concrete Construction, Inc. \$420.00

Description of Work: All changes to M&M Concrete's scope of work as revised per RFI-238. This includes all labor, forming materials, and concrete pumping required for a concrete infill for the shaft opening at the Mezzanine Level at grid lines B.4+7.6. Concrete and reinforcing materials supplied by FCI.

FCI Constructors, Inc. - GJ \$250.00

Description of Work: Concrete and reinforcing materials (includes short load charge on the concrete): \$250

Rocky Mountain Steel, Inc. \$1,564.00

Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-238. This includes the supply and installation of steel and metal decking required to infill the shaft opening at the Mezzanine Level at grid lines B.4+7.6

FCI Constructors, Inc. - GJ \$2.00

Description of Work: Builder's Risk Insurance

FCI Constructors, Inc. - GJ \$9.00

Description of Work: General Liability Insurance

FCI Constructors, Inc. - GJ \$16.00

Description of Work: Payment/Performance Bond

FCI Constructors, Inc. - GJ \$136.00

Description of Work: Fee

FCI Constructors, Inc. - GJ \$0.00

Description of Work: Force Account

This proposal includes work clearly itemized herein and attached sub-contractor quotes
 Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
 The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$2,397.00

Approval: _____

Date: _____


5/28/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/2/2014 AV & Electrical Revisions at Multi-Purpose Room Per RFI-269 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-269, attached pricing quotes	

Notes

This COR developed for additional costs associated with AV and electrical revisions made at the Multi-Purpose Room per meeting held with the City of Grand Junction on 4/9/14, as documented in RFI-269. This includes the following changes:

ELECTRICAL:

- Add (1) 120V/30A circuit for power to projector screen and wire projector screen (screen supplied by the COGJ)
- Add rough-in for projector screen switch (switch provided by AV Experts) with conduits back to Control Booth 206
- Add rough-in for microphone jack (includes a 3-gang box) at the north side of the projector screen, with 1" conduit routed back to Control Booth 216
- Add (1) additional duplex receptacle at the north side of the projector screen

AUDIOVISUAL:

- Supply and install control switch and low volt cabling for the projector screen
- Supply and install VGA and HDMI devices at the digital projector location on the west wall (projector provided by the COGJ), plus HDMI cable from projector to Blu-Ray player
- Supply and install VGA, R5, and mic jack devices at the three-gang box north of the projector screen (east wall)
- Supply and install a patch panel at Control Booth 206 for integration of added AV systems
- Supply and install devices and cabling required for the installation of a Bose Sound System (Bose system provided by the COGJ)
- Supply and install a shelf to be installed in an existing AV rack for a Blu-Ray player (player provided by the COGJ)

OTHER:

- FCI to supply and install wood blocking at the east wall of the Multi-Purpose Room for the projector screen. FCI to hang the projector screen (projector screen supplied by the COGJ).

NOTE: This COR includes a credit for the budget FCI included in the PR-005/PR-006 GMP for the construction of a projector enclosure at the Multi-Purpose Room, minus the costs required to build and install a shelf for the temporary projector:

Budget for projector enclosure (materials): \$1,500

Budget for projector enclosure (labor): \$2,000

SUBTOTAL: \$3,500

Budget FCI will keep for the construction and installation of a temporary projector shelf: \$500

TOTAL CREDIT FOR PROJECTOR ENCLOSURE: \$3,000

Itemized Details:

General Description	Quote Rec'd	Proposed
Audio Video Experts		\$4,127.00

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Description of Work: All change to Audio Visual Experts' scope of work as revised per RFI-269. This includes, but is not limited to, the following revisions at the Multi-Purpose Room:

- Supply and install control switch and low volt cabling for the projector screen
- Supply and install VGA and HDMI devices at the digital projector location on the west wall (projector provided by the COGJ), plus HDMI cable from projector to Blu-Ray player
- Supply and install VGA, R5, and mic jack devices at the three-gang box north of the projector screen (east wall)
- Supply and install a patch panel at Control Booth 206 for integration of added AV systems
- Supply and install devices and cabling required for the installation of a Bose Sound System (Bose system provided by the COGJ)
- Supply and install a shelf to be installed in an existing AV rack for a Blu-Ray player (player provided by the COGJ)

EC Electric, Inc. \$754.00

Description of Work: All change to EC Electric's scope of work as revised per RFI-269. This includes, but is not limited to, the following revisions at the Multi-Purpose Room:

- Add (1) 120V/30A circuit for power to projector screen and wire projector screen (screen supplied by the COGJ)
- Add rough-in for projector screen switch (switch provided by AV Experts) with conduits back to Control Booth 206
- Add rough-in for microphone jack (includes a 3-gang box) at the north side of the projector screen, with 1" conduit routed back to Control Booth 216
- Add (1) additional duplex receptacle at the north side of the projector screen

FCI Constructors, Inc. - GJ \$710.00

Description of Work: FCI to supply and install wood blocking at the east wall of the Multi-Purpose Room for the projector screen. FCI to hang the projector screen (projector screen supplied by the COGJ).

Labor: 16 man-hours x \$35/hour = \$560

Materials (wood blocking, lag bolts, etc.): \$150

FCI Constructors, Inc. - GJ \$5.00

Description of Work: Builder's Risk Insurance

FCI Constructors, Inc. - GJ \$22.00

Description of Work: General Liability Insurance

FCI Constructors, Inc. - GJ \$39.00

Description of Work: Payment/Performance Bond

FCI Constructors, Inc. - GJ \$339.00

Description of Work: Fee

FCI Constructors, Inc. - GJ (\$2,000.00)

Description of Work: Projector Enclosure at Multi-Purpose Room (labor)

FCI Constructors, Inc. - GJ (\$1,000.00)

Description of Work: Projector Enclosure at Multi-Purpose Room (materials)

\$0.00

Description of Work: Force Account

Requested Days: 0

Total Change: \$2,996.00

Approval: _____

Date: _____

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ**

5/2/2014

Conduit Rough-In for Future Marquee Sign Per RFI-278

FCI Pricing

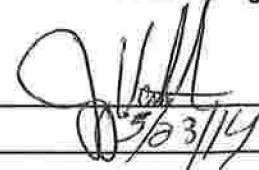
Category	Reference	PCCO Number
FORCE ACCT	RFI-278, attached pricing quote	

Notes:

This COR developed for additional costs associated with RFI-278. Per RFI-278, (2) 3/4" conduits are going to be roughed-in for the future LED marquee sign at the exterior of the Avalon addition - one conduit for power and one conduit for data to the sign. The electrical conduit to be routed to electrical panel RP3 and the data conduit to a j-box and routed to both Box Office 103 and IT Room 306. This COR does not include any wiring (raceways only).

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc. Description of Work: All changes to EC Electric's scope of work as revised per RFI-278. This includes (2) 3/4" conduits roughed-in for future power and data to a future LED sign at the exterior of the addition. Reference RFI-278 for conduit routing and other requirements. Wiring is excluded - raceways only.		\$443.00
FCI Constructors, Inc. - GJ Description of Work: Builder's Risk Insurance		\$0.00
FCI Constructors, Inc. - GJ Description of Work: General Liability Insurance		\$2.00
FCI Constructors, Inc. - GJ Description of Work: Payment/Performance Bond		\$3.00
FCI Constructors, Inc. - GJ Description of Work: Fee		\$27.00
FCI Constructors, Inc. - GJ Description of Work: Force Account		\$0.00

Requested Days: 0**Total Change: \$475.00****Approval:****Date:**

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/21/2014 RFI-270: "Dummy" Headers for Aluminum Doors FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-270, attached email pricing	

Notes

This COR developed for additional costs associated with the RFI-270.

Per the response to RFI-270, item 1, the height of doors 101B, 101D, and 101E are to be lowered to allow the 5-3/4" door operator housing to be installed. The height of doors 101A and 101C are to be lowered as well to match the height of these other aluminum doors. "Dummy" auto operator housings are to be installed at the head of doors 101A and 101C so that they match the other doors. The only change in costs associated with RFI-270, is the costs to supply these additional "dummy" housings.

Itemized Details:

General Description	Quota Rec'd	Proposed
McKinney Door & Hardware		\$616.00
Description of Work: All changes to McKinney Door & Hardware's scope of work as revised per RFI-270. This includes the supply only of (2) "dummy" auto operator housings for doors 101A and 101C. Housings to match other auto operators installed, except with no prep.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$37.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$660.00

Approval:

Date:


5/23/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Brady Blackmer

From: Mike Musso <Mike_Musso@mckinneydoor.com>
Sent: Thursday, May 01, 2014 9:34 AM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young; Dale; Pat Hutchison
Subject: RE: Avalon Doors

Done.

Thanks,

Mike Musso
Project Manager
McKinney Door & Hardware

From: Brady Blackmer [mailto:BBlackmer@fciol.com]
Sent: Thursday, May 01, 2014 9:13 AM
To: Mike Musso
Cc: Stan Kiser; Brian Young; Dale; Pat Hutchison
Subject: FW: Avalon Doors

Get it coming. Thanks Mike!

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583



From: Mike Musso [mailto:Mike_Musso@mckinneydoor.com]
Sent: Thursday, May 01, 2014 9:04 AM
To: Brady Blackmer
Subject: RE: Avalon Doors

Brady,

2ea – 2810-572DD 72" AN CLEAR headers (NO PREPS) your cost \$ 308.00ea \$ 616.00 Total. Includes UPS , no tax included.

Will ship in 2-weeks or less, I will have them drop shipped to you to save time.
Let me know.

Thanks,

Mike Musso
Project Manager
McKinney Door & Hardware

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]
Sent: Wednesday, April 30, 2014 6:08 PM
To: Dale; Mike Musso
Cc: Stan Kiser; Brian Young; Pat Hutchison
Subject: FW: Avalon Doors

See the email below from the architect on these aluminum door issues.

Dale – Please proceed with building doors 307A and 300B with the glass in the doors. The hardware for these doors will stay the hardware that you have with exit device (doggable) at the exterior and pull at the interior.

Mike – We want you to proceed with getting these dummy operator header boxes ordered and shipped to us. Hopefully, you can talk to the factory and improve on the 5-6 week lead time. Let me know tomorrow what the lead time will be.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Richard Sourbrine [<mailto:rsour@WRLdesign.com>]
Sent: Wednesday, April 30, 2014 5:08 PM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young; Pat Hutchison
Subject: RE: Avalon Doors

Brady,

1. Since the hardware issue is limited to the Terrace level doors, we will accept moving the glass to within the door stiles (traditional system).
2. We absolutely want the headers to match on the main entry doors. This area is critical to get right and I don't think the lead time should be an issue as from my understanding the Lobby and Entry of the addition isn't needed to be finished for the church in June since they don't use the balcony.

Thanks,

Richard Sourbrine | AIA, GGP | Associate Principal
Project Director

Westlake
Reed
Leskosky

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]
Sent: Wednesday, April 30, 2014 2:35 PM
To: Richard Sourbrine
Cc: Stan Kiser; Brian Young; PatHutchison
Subject: FW: Avalon Doors

Rich,

Our glazing sub has put a lot of effort into figuring out a way to make the specified panics (ref. RFI-270) work for doors 300B and 307A. He has talked to both Arcadia and CRL and both of them are telling him that these panics will not work on these doors as they are currently designed (see email below). We need some input from you on this issue.

Also, we were wanting to install just the auto operator header boxes for the non-operable doors at the main entrance. We wanted to do this so the heads of these 4 doors would look the same, with only two of the doors being operable. However, these header boxes are not typical and appear to be a 5-6 week lead time. I am going to check with another supplier to see if he can possibly improve on this lead time. But as a fall back, we may need to frame a header and wrap in break metal. Bratton Window & Door is concerned that they cannot make this break metal look as sharp as the operator boxes. Let us know your thoughts on this issue as well.

Thanks.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Dale [mailto:dlockwood@brattonwindowanddoor.com]

Sent: Wednesday, April 30, 2014 3:16 PM

To: Brady Blackmer

Cc: Eric Anderson

Subject: Avalon Doors

Brady

Just updating

#1 We have been working with CRL on the panic devices for doors 300B & 307A. They & Arcadia both informed us that the only way the CRL PA-100s will work, is for the glass to be mounted in the door as normal. not on the outside as drawn in the plans. This system is designed for all glass doors. All glass doors are one piece of glass either 1/2" or 3/4" thick. Just like our handrail. Not insulated units. Also, There is no way to align the mounting brackets. We have called around & none of our suppliers will produce insulated glass units with holes through the glass. Tempered 2 pieces of 1/4" glass with an air space & a mechanical device bolted through is a problem they won't warranty. How would you like us to proceed. Move the glass into the doors? or ?????????? Is Mike getting these already?

#2 We have contacted a large # of suppliers of LCN & have not been able to locate any of the power operator header boxes we need for the other 2 pair of doors in the main entry. We have even enlisted the help of the LCN Rep to try to locate a couple. So far No Joy. We can get them but they will be a factory order & they tell us 5-6 weeks. The cost of these is nuts they are \$638.00 ea plus freight.

Has Mike been of any help on these?

Please advise.

Thanks

Dale Lockwood

Bratton Window

970-242-7224

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 270

Date Created: 4/15/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number
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Subject	Discipline	Category
Aluminum Door Hardware Issues	Architectural	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 4/22/2014**

Please clarify the following items concerning hardware for aluminum doors:

1.) Per the door hardware schedule included in spec section 084113, the Door Schedule on AE-601, and AE-102, doors 101B, 101D, and 101E are to have auto operators. With the acceptance of alternate 10, these doors (along with 101A and 101C) were revised from 8'-0" tall doors with a transom to 10'-0" tall doors with out a transom. Per the attached cut-sheet on the specified LCN 2811 concealed auto operators, these operators require a height of 5-3/4" at the head of these doors for the swing operator housing. The ceiling/soffit that these doors install to at the head is at an elevation of 10'-0" so there is no room for these auto operators to install. It appears that the height of these doors may need be reduced to allow the installation of this swing operator housing. If so, the height of door 101A and 101C may need to be reduced to match. Please review this condition and advise.

2.) Per AE-104, double doors 300B at the Terrace Lobby are shown to swing into the building. Per the Door Schedule on AE-601 doors 300B are hardware group AL-07:

a.) Per the hardware schedule in spec section 084113, hardware group AL-07 includes (2) panic devices (1 for each leaf mounted at the exterior side of the door). However, the assembly of these doors has 3/4" glass covering all of the outside face of these door leaves except for roughly 1-1/2" at the head and jambs that is curtain wall framing material (this curtain framing material is also inset from the glass face). As such, it does not appear that panic devices can be installed on the exterior side of these door leaves. Please advise.

b.) Hardware group AL-07 (for doors 300B) appears to require a pull for the inside of these doors, but that is not included in AL-07. Please advise if the Decor pulls, similar to those installed at other aluminum doors are required for doors 300B.

3.) Per AE-104, door 307A from the Terrace Roof to Corridor 307 is shown to swing into the building. Per the Door Schedule on AE-601 door 307A has hardware group AL-06. The same issues as issue 2.a. and 2.b. above occurs at this door. It does not appear that an exit device can be mounted on the exterior side of this door and there are no Decor pulls (or other means of pulling open this door from the interior side). Please advise.

4.) Clarification is needed on the operation of door 200 out onto Balcony 200A. Per RFI-035, this door is to receive

hardware group AL-08. Per 084113, aluminum hardware group has (2) decor pulls, no exit device, a lever set, and a deadlock. The pulls (1 installed at each side of the door) will conflict with the lever set. Since the deadlock is being installed, can the lever set be deleted (door would operate push/pull utilizing the two decor pulls on either side of the door)? Note: per the Mesa County Building Official, it is acceptable for this door to be locked when not in use (note in the specs under hardware group AL-08 states that free egress is required from the balcony at all times). Please advise.

5.) Doors 300B, 307, and 200A are all listed to have door position switches installed. It does not appear that these switches are needed at these doors. Please clarify.

A quick response to this RFI is of high importance.

Suggestion**Answer****Date Answered: 4/22/2014**

[4/22/2014 Westlake Reed Lekosky - Richard Sourbrine]

1) Revise the head height of Doors 101A, 101B, 101C, 101D and 101E to be 5-3/4" high to allow the auto operators to be installed in Doors 101B, 101D and 101E and so that doors 101A and 101C match.

2a) Doors 300B are to be provided with hardware per AL-07 with panic device by CR Laurence that can be mounted to the glass. See file attached.

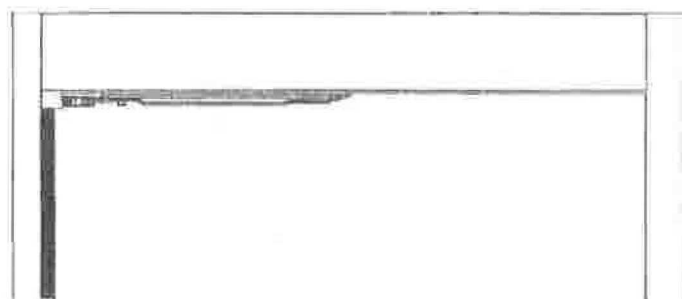
2b) CR Laurence hardware specified at AL-07 (doors 300B) should include pull handle at interior side.

3) Door 307 should have similar hardware indicated in item 2 above.

4) The lever set can be deleted from Door 200.

5) Door position switches can be omitted from Doors 300B, 307 and 200A.

OPERATOR MOUNTS
SINGLE DOOR, OVERHEAD CONCEALED
***CENTER PIVOT**
OFFSET PIVOT/BUTT HINGE



*CENTER PIVOT arm shown

The 2810 SENIOR SWING® by LCN is an ADA door operator that is a two-in-one swing door operator. SENIOR SWING® operator when activated, opens doors automatically for wheelchair access, yet allows for manual operation for regular pedestrian traffic.

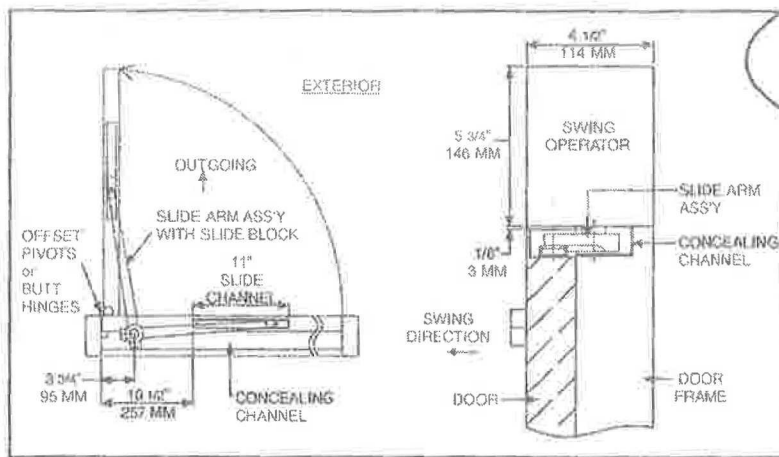
- ▶ Push 'N Go permits non-switch activation
- ▶ Power Boost provides additional latching force
- ▶ Electromechanical unit with microprocessor control
- ▶ Fast and easy installation
- ▶ Tested internally to over ten million cycles
- ▶ Meets International Building Code requirements and ANSI A156.19
- ▶ UL approved for fire doors

- ▶ 2810 series operator is shipped with motor gearbox, control box, arm, bottom pivot, header, and mounting hardware.
- ▶ Single door, overhead concealed.
- ▶ Meets ADA, requirements (power mode only).
- ▶ Handed product.
- ▶ 36" header length is standard. Specify length 30" to 49" max.
- ▶ Double door header available up to 98", specify length 49" to 98" max. Consult factory regarding this option.
- ▶ Positive mechanical stop or panic breakaway stop available.
- ▶ Adjustable hold-open period of 2 to 30 seconds in automatic or manual mode.

2810 Series is fully compliant with UL 325 and meets the provisions of ANSI A156.19. The 2810 Series is UL listed for fire-rated applications. The 2810 Series also meets the provisions of the Americans with Disabilities Act.

MOUNTING						HANDING		FINISH		COVER		ARM FUNCTION	
SURFACE MOUNT SINGLE DOOR						HANDED		STANDARD ANODIZED		STANDARD (SINGLE)		STANDARD (SINGLE)	
SURFACE MOUNT SIMULTANEOUS PAIR						NON-HANDED		CUSTOM ANODIZED				REGULAR (DOUBLE)	
CONCEALED SINGLE DOOR								CUSTOM PAINT		DOUBLE EGRESS (PUSH/PULL)		DOUBLE EGRESS (PUSH/PULL)	
CONCEALED SIMULTANEOUS PAIR								METAL				OFFSET PIVOT ARM	
CONCEALED INDEPENDENT PAIR										CENTER PIVOT ARM		CENTER PIVOT ARM	

● AVAILABLE
○ NOT AVAILABLE



CONCEALED SINGLE DOOR
(OFFSET PIVOT OR BUTT HINGE,
SLIDE ARM, PUSH) MOUNTING

MOUNTING DETAILS

- ▶ **Head Frame** minimum 36" (L) x 5 3/4" (H) x 4 1/2" (W) " (914 mm x 146 mm x 114 mm).
- ▶ **Top Rail** minimum 2" (51 mm).
- ▶ **Opening & Closing Time** are variable by adjustments to the electronic control box. Maximum hold-open time adjustable up to approximately 30 seconds.
- ▶ **Door Stop** required for each door panel.
- ▶ **System Diagram** see "POWER OPERATORS" section pages 26-27 for typical system wiring and page 30 for electrical data.
- ▶ Please consult your local SSC representative or LCN for assistance with specific installations and material requirements.

MAXIMUM OPENING

Template allows 90 degree power opening and 90 degree manual opening.

Special Templates

Customized installation templates or products may be available to solve unusual applications. Contact LCN for assistance.

Architectural Hardware

PA100D PANIC EXIT DEVICE

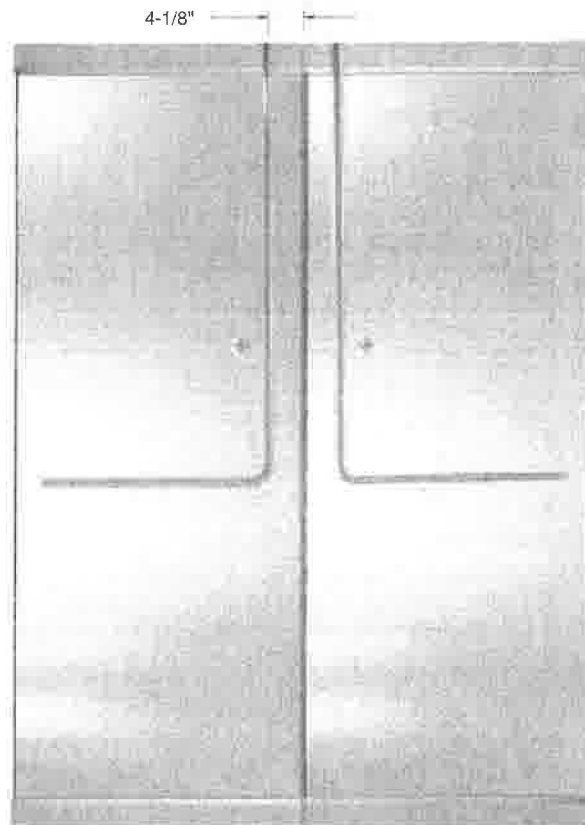
The operating mechanism concealed within the vertical tubing retracts the latch bolt when the interior actuation bar is pushed. Optionally, an exterior keyed access device can be installed to allow entry. A dogging feature defeats locking action during business hours. Electronic Strikes are available for use with our Panic Handles, providing many secured entry options.

DB100D DEADBOLT LOCK

The Deadbolt Handle is offered with keyed cylinders on both the interior and exterior sides of the door, or with a thumbturn on the interior. An optional top latch bolt will permit the use of electronic strikes for controlled entry systems.

DH100D DUMMY HANDLE

These fixed handles are designed to match the appearance of Panic, Deadbolt, and Electronic Egress Handles, and are made from the same high quality materials.



MADE UNDER ONE OR MORE OF THE FOLLOWING:
U.S. 6434905, OTHER U.S. and CANADIAN PAT. PEND.

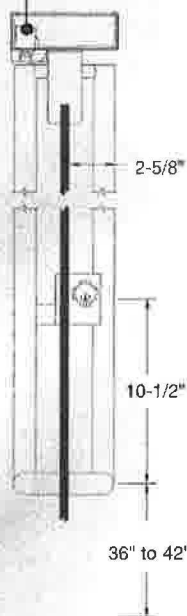
PUSH
PUSH/PULL
Indicators

Keyed
Access
Device

Push Indicator PA100D

"D" Style Exterior Pull

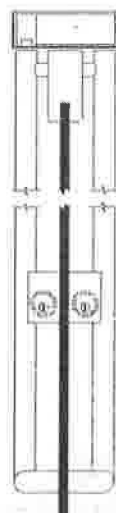
Electronic
Strike



PANIC HANDLE
PA100D
WITH KEYED
ACCESS
DEVICE



BHMA
CERTIFIED
GRADE 1



DEADBOLT HANDLE
DB100D
WITH KEYED
CYLINDERS



DUMMY HANDLE
DH100D
WITHOUT
MECHANISM

Architectural Hardware

Door heights should be limited to:

Exterior Use 8'-0" for 1/2" Glass Thickness and 8'-6" for 3/4" Glass Thickness
Interior Use 8'-6" for 1/2" Glass Thickness and 9'-0" for 3/4" Glass Thickness

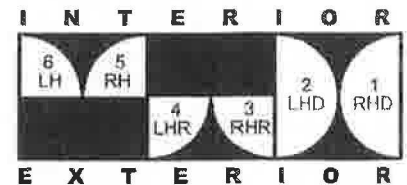
Increased sizes make the door assemblies heavier and more flexible.
Therefore, the following guidelines should be considered:

- Wind load, stack action and ventilation loads
- Mounting conditions of doors to building structure
- Panic devices, deadbolt locks or other hardware
- Overhead Closer or Floor Closer characteristics
- Heavy usage and frequency of operation
- Comfortable feel and ease of door operation

The architects structural engineer should be consulted to assure that the door design is correct for the intended use.

The following list of mortise cylinders will work with CRL Panic, Deadbolt, and Electronic Egress Handles:

MFR	NO.	NOMINAL LENGTH	CAM NO.
Schlage	20-001	1 1/8" long	B502-191 cam
Russwin	#0 1/2"	1 1/8" long	#1 cam
Corbin	5253	1 1/8" long	#1 cam
Sargent	41	1 1/8" long	X13000 cam
Best	1E64	1 1/8" long	1EC4 cam
Yale	1152	1 1/8" long	1161 (std.) cam
Lori	218	1 1/8" long	4400-00-3002



Door Swing Diagram

PA100D Panic Handle with Exterior Fixed Pull Handle, Style "D"

BHMA TYPE 2 Surface Vertical Rod Exit Device

SPECIFICATIONS:

Material: 1-1/4" (32mm) Diameter Stainless Steel Tubing (2 mm wall thickness)
Glass Thickness: 1/2" (12 mm) or 3/4" (19 mm)
Glass Fabrication: Varies. Please contact CRL Technical Sales
Certification: ANSI/BHMA A156.3 - 2001 Grade1

DB100D Deadbolt Handle with Exterior Fixed Pull Handle, Style "D"

BHMA DOOR FASTENER

SPECIFICATIONS:

Material: 1-1/4" (32mm) Diameter Stainless Steel Tubing (2 mm wall thickness)
Glass Thickness: 1/2" (12 mm) or 3/4" (19 mm)
Glass Fabrication: Varies. Please contact CRL Technical Sales
Meets Requirements: ANSI/BHMA A156.16-1997 Grade 1

**AIA****Document G701™ – 2001****Change Order****PROJECT (Name and address):**

Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501

CHANGE ORDER NUMBER: 029**DATE:** June 4, 2014OWNER: ☒ARCHITECT: ☒CONTRACTOR: ☒FIELD: ☐OTHER: ☐**TO CONTRACTOR (Name and address):**

FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502

ARCHITECT'S PROJECT NUMBER:**CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Original Force Account: \$200,000.00/Previously Approved: (\$122,557.13)

COR-160 - Delete Exterior "Fin" at North Elevation Per RFI-253	Add \$	1,098.00
COR-169 - Wood Stoop at Door 311C Per RFI-255	Deduct \$	643.00
COR-171 - Revise D6 Light Fixtures at Upper Mezzanine Per RFI-245	Deduct \$	2,975.00
COR-175 - Additional Structural Steel for Duct Openings Through Existing Wall Per RFI-260	Deduct \$	7,361.00
COR-183 - Concrete Ramp & Hand Rails at Door 212 Per RFI-268	Deduct \$	3,900.00
COR-184 - Added 3" Conduits for LV/IT to Concessions Per RFI-283	Deduct \$	1,877.00
COR-185 - Electrical Receptacles at Terrace Roof Level Per RFI-279	Deduct \$	2,035.00
COR-191 - RFI-239R1: Additional Steel for Brick Pilaster at New Double-Doors 112C, Plus Brick Infill	Deduct \$	2,329.00

TOTAL**DEDUCT \$** 20,022.00

Remaining Force Account \$57,420.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$157,837.08)

BVR-033 - Drywall Patch & Repairs at Stage & Basement Stairway

Deduct \$ 2,489.00

TOTAL**DEDUCT \$** 2,489.00

Remaining Contractors Contingency \$71,594.92

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ 1,764,745.70

The Contract Sum prior to this Change Order was

\$ 8,034,525.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

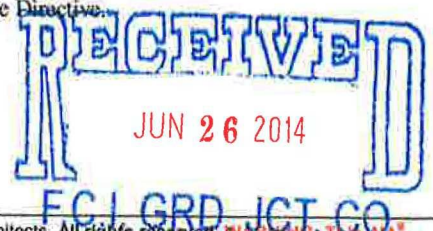
The new Contract Sum including this Change Order will be

\$ 8,034,525.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

6.18.14

FCI Constructors, Inc.
CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502



BY (Signature)

Stan Kiser
(Typed name)

June 5, 2014
DATE

Digitally signed by Stan Kiser
DN: cn=Stan Kiser, o=FCI Constructors, Inc.,
ou=Project Managers, email=skiser@fcicons.com,
c=US
Date: 2014.06.05 08:09:01 -0600

City of Grand Junction
OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

6/16/14

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/27/2014 Drywall Patch & Repairs at Stage & Basement Stairway FCI Pricing

Category	Reference	PCCO Number
Budget Variance Report	attached FCO's and T&M tickets	

Notes

This BVR developed for additional costs associated with the patching and repair of drywall within the renovation side of the project at the stage and at the stairway down to the basement. This work has been completed on a time and material basis.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$2,321.00
Description of Work: TP Acoustics: FCO #16 and FCO #17 - patching and repair of existing drywall at the east and west sides of the stage as well as at the stairway down to the basement (north side of renovation).		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$9.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$16.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$141.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Contingency		

Requested Days: 0

Total Change to Contingency: (\$2,489.00)

RECEIVED
JUN 02 2014
F.C.I. GRD. JCT. CO

Approval: _____
Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

FCI Constructors, Inc.

3/4/2014

PO Box 1767

Grand Junction, CO 81502

Phone: 434-9093

Fax: 434-7583

Project: Avalon Theatre

Attn: Brady Blackmer

Field Change Order #16

Materials	\$ -
Labor	\$ 1,050.00
Burden	\$ 420.00
Subtotal	<u>\$ 1,470.00</u>
Overhead (10%)	\$ 147.00
Subtotal	<u>\$ 1,617.00</u>
Profit (5%)	\$ 80.85
Total	<u>\$ 1,697.85</u>

Submitted by,

Tom Valdes

Tom Valdes

970-216-1785

Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net**



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501

(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FIELD CHANGE ORDER

16

TO FCI	DATE 03-04-14
GO SUPERVISOR Brian Young	PROJECT AVALON
DIRECTED BY " 4	TP SUPERVISOR T. VALDES

DESCRIPTION

- PATCH AND REPAIR WALLS @ WEST STAGE ENTRY
AND EAST STAGE ENTRY TO NEW BLDG.

03-04-14 2 MEN, 3 HOURS EA. = 6 HRS

03-17-14 1 MAN, 6 HRS
1 MAN, 5 HRS = 11 HRS

03-18-14 2 MEN, 5 HRS EA. = 10 HRS

03-24-14 2 MEN, 1 1/2" HR. EA. = 3 HRS

30 HR x 35 = 1050

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

Brian Young

PRINTED NAME

X

AUTHORIZED SIGNATURE

MATERIAL

TAX

LABOR

BURDEN

SUBTOTAL

OVERHEAD

SUBTOTAL

PROFIT

TOTAL

1470 =

147 =

1617 =

80 85

1697 85



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

3/4/2014

Project: Avalon Theatre
Attn: Brady Blackmer

Field Change Order #17

Materials	\$	-
Labor	\$	385.00
Burden	\$	154.00
Subtotal	\$	539.00
Overhead (10%)	\$	53.90
Subtotal	\$	592.90
Profit (5%)	\$	29.65
Total	\$	622.55

Submitted by,

Tom Valdes

Tom Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501
(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FIELD CHANGE ORDER

#17 *FX*

DRYWALL

TO FCI	DATE 03-27-14
GC SUPERVISOR BRIAN YOUNG	PROJECT AVALON
DIRECTED BY " "	TP SUPERVISOR T. VALDES

DESCRIPTION

NORTH EAST STAIRS TO BASEMENT - HANG, TAPE AND PATCH

3-24-14 / HANG 2 MEN, 2 HRS EA. = 4 MAN HRS X
3-27-14 / TAPE 2 MEN, 1 HRS EA. = 2 " " X
3-28-14 / FINISH 2 MEN 5 HRS = 5 " " X
11 MAN HRS

FX 352
385 *FX*

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

Brian Young
 PRINTED NAME

X *[Signature]*
 AUTHORIZED SIGNATURE

MATERIAL	
TAX	
LABOR	385 =
BURDEN	154 =
SUBTOTAL	539 =
OVERHEAD	53 =
SUBTOTAL	592 =
PROFIT	29 =
TOTAL	622 54



COR-160

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
 645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

5/23/2014 **Delete Exterior "Fin" at North Elevation Per RFI-253** **FCI Pricing**

Category	Reference	PCCO Number
FORCE ACCT	RFI-253, attached pricing quotes	

Notes

This COR developed for costs changes associated with RFI-253. As documented in RFI-253, and at the request of the City of Grand Junction, the "fin" at the north elevation (along grid line 7) was to be deleted to provide views up Main Street to the west from Balcony 200A. Along with the deletion of the "fin", the small band of EIFS at the north elevation at grid line 3 from the ground level up to the bottom of the exterior soffit at the main entrance is to be revised to metal panels. This COR includes the following cost items associated with these changes:

- 1.) A credit for labor and materials for the EIFS deleted at the "fin" and at the band at the ground level.
- 2.) A credit for labor only for metal framing at the fin (the framing material for this "fin" was already onsite and is not returnable).
- 3.) Added costs to demo and remove the cantilevered beam that would have supported this fin.

There is no change in costs for the metal panels. The metal panel material was already ordered and delivered for fabrication (to the subcontractors facility) at the time this change was made. When factoring in the added metal panels at the lower band, plus additional metal panel detailing required due to this change, the changes to metal panels per RFI-253 results in a no cost change.

Itemized Details:

General Description	Quote Rec'd	Proposed
Quality Stucco West, Inc.		(\$720.00)
Description of Work: All changes to Quality Stucco's scope of work as revised per RFI-253. This includes the deletion of EIFS at the east side of the "fin" at the north elevation, plus the deletion of EIFS at the band along GL 7 at the ground level (north elevation).		
TP Acoustics, Inc. - GJ		(\$530.00)
Description of Work: All changes to TP Acoustics' scope of work as revised per RFI-253. This includes a credit for labor only due to the deletion of the "fin" at the north elevation of the addition.		
Rocky Mountain Steel, Inc.		\$165.00
Description of Work: All changes to Rocky Mountain Steels scope of work as revised per RFI-253. This includes demolition of a steel beam no longer required due to the deletion of the "fin" at the north elevation of the addition.		
FCI Constructors, Inc. - GJ		(\$1.00)
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		(\$4.00)
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		(\$8.00)
Description of Work: Payment/Performance Bond		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
 Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
 The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: (\$1,098.00)

Approval: _____

Date: _____



This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Change Order

Date: May 2, 2014	Job Name: Avalon Theater Addition and Remodel
Current Contract Amount: \$37,808.00 dated 4/16/14	Job Address: 645 Main Street, Grand Junction CO
Project: FCI 10-13-025	
We propose the following changes in the scope of work:	
<ul style="list-style-type: none">• RFI #259 add \$110 to the contract for exterior soffit elevation change• RFI #253 credit \$720.00 to the contract to delete exterior fin at North elevation	
The changes in the scope of work result in a new contract amount of \$37,198.00	

Acceptance of Proposal:

CLIENT

BY: _____
TITLE: _____
DATE: _____

Quality Stucco West Inc.



QUALITY STUCCO WEST INC.

BY: _____
Charles Hutchison, President
DATE : 5/2/14



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

05-04-14

Project: AVALON
Attn: Brady Blackmer
Re: Delete "Fin" wall on Grid Line 7

RFI 253

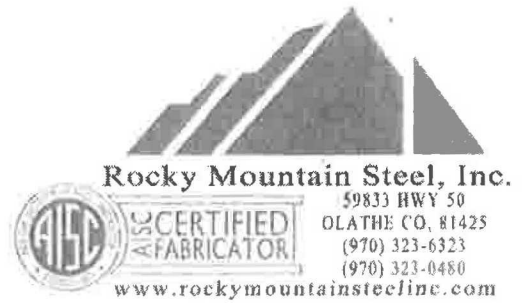
Material	\$ -0-
Labor	\$ 327.60
Burden	<u>\$ 131.04</u>
Subtotal	\$ 458.64
Overhead	<u>\$ 45.86</u>
Subtotal	\$ 504.50
Profit	<u>\$ 25.22</u>
Total Deduct	< \$ 529.72 >

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net**



CHANGE ORDER REQUEST # 34

*FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502*

Ref. RFI 253

Date: April 14, 2014

MATERIAL	\$ 00.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 165.00
FREIGHT	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 165.00

*The above Change Order Request is for the demolition of beam 147F per this RFI.
Please issue a Change Order to our contract so we may proceed with this work.*

*Randy Zlomke
Project Manager*

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480



Request for Information 253

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 253

Date Created: 4/8/2014

Answer Company

Answered By

Author Company

Authored By

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Richard Sourbrine

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

Co-Respondent

Author RFI Number

Subject

Discipline

Category

Delete Exterior "Fin" at North Elevation (Along GL 7) Architectural/Structural

Confirmation

Cc: Company Name

Contact Name

Copies Notes

Question

Date Required: 4/15/2014

Please reference the architectural drawings, the attached pictures, the attached email, and the attached sketch.

Per direction given in the attached email the following revisions to the north exterior elevation are to be made:

1.) The "fin" that is shown along grid line 7 at the north elevation (west side of Balcony 200A) is to be deleted from an elevation of 19'-11 1/4" (7'-0" above the Mezzanine Level per 4/AE-313) to the bottom of steel at the high roof. This means that the EIFS shown for the east side of this "fin" will be deleted in its entirety. Further areas of metal paneling on the west side of this fin will be deleted. Metal paneling will be revised to wrap this corner of the building between curtain wall elevations 1a and 2a (similar to the metal panel configuration at the west side of the balcony previously when there was only a 7'-0" opening in this fin at the west side of Balcony 200A).

Per the direction given in the attached email, the deletion of this fin will require the cantilevered beam at the Upper Mezzanine to be cut-off 6" north of GL A (6" from center of perpendicular beam to avoid affecting the beam connection).

2.) The small area at the north elevation along grid line 7 at the 1st floor that is currently shown to be EIFS (reference the attached sketch and AE-202) is to be changed to metal panels. Metal panels to wrap this corner form curtain wall elevations 1a to 1b. Note that per detail 7/AE-501, the west side of this return is to remain metal panels as detailed, only the north side is to be revised from EIFS to metal paneling.

These changes will result in a solid vertical band of metal paneling from the ground up to the high roof along grid line 7 at the north elevation. Note that the area of this vertical band at the 1st floor was originally to receive EIFS and was framed and exterior gyp. installed planning on a roughly 1/4" finish system to align with adjacent curtain wall elevations at the 1st floor. Per previous conversations between Rich Sourbrine (WRL) and Brian Young (FCI), now that this band at the first floor is revised from EIFS to metal panels, the new metal panels and adjacent curtain wall will not align. The metal panels will be roughly 1-1/4" proud of the metal panels. This line will be followed all the way up to the high roof (reference the attached sketch #2).

FCI has proceeded with the framing revisions required to make these changes. Please review and confirm that these changes are acceptable and correct as detailed above.

Suggestion

Answer

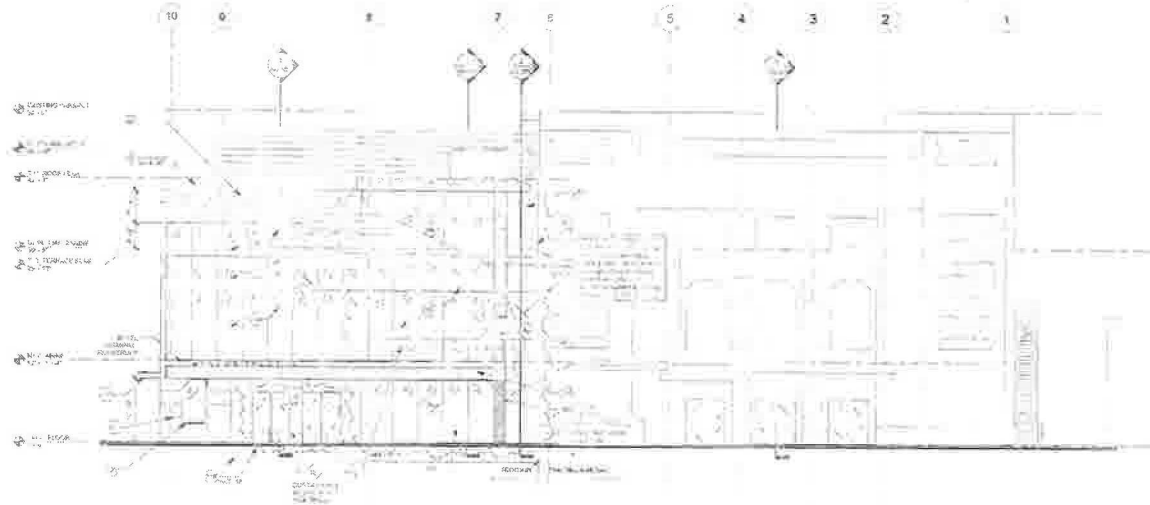
Date Answered: 4/11/2014

[4/11/2014 Westlake Reed Lekosky - Richard Sourbrine]

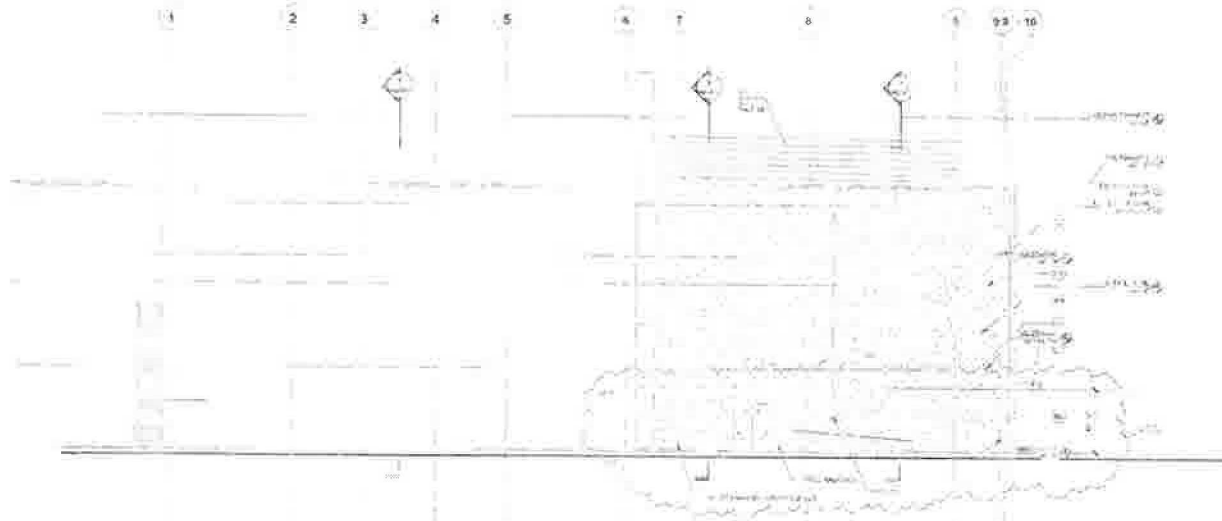


Request for Information 253
Detailed, RFIs Grouped by RFI Number

All changes indicated are correct.



1 NORTH ELEVATION



2 SOUTH ELEVATION

Symbol	Description
1	CLUSTERING - UNITS
2	CLUSTERING - UNITS
3	CLUSTERING - UNITS
4	CLUSTERING - UNITS
5	CLUSTERING - UNITS
6	CLUSTERING - UNITS
7	CLUSTERING - UNITS
8	CLUSTERING - UNITS
9	CLUSTERING - UNITS
10	CLUSTERING - UNITS

Keynote Legend

201	ALUMINUM COMPOSITE METAL PANEL SYSTEM
202	ALUMINUM COMPOSITE RASCA PANEL SYSTEM
204	ALUMINUM CURTAIN WALL SYSTEM W/ 1\"/>



Avalon Theatre
Addition and Renovation

Westlake Reed Leskosky

One East Camelback Rd.
Suite 100
Phoenix, AZ 85012
L/O 112 0451

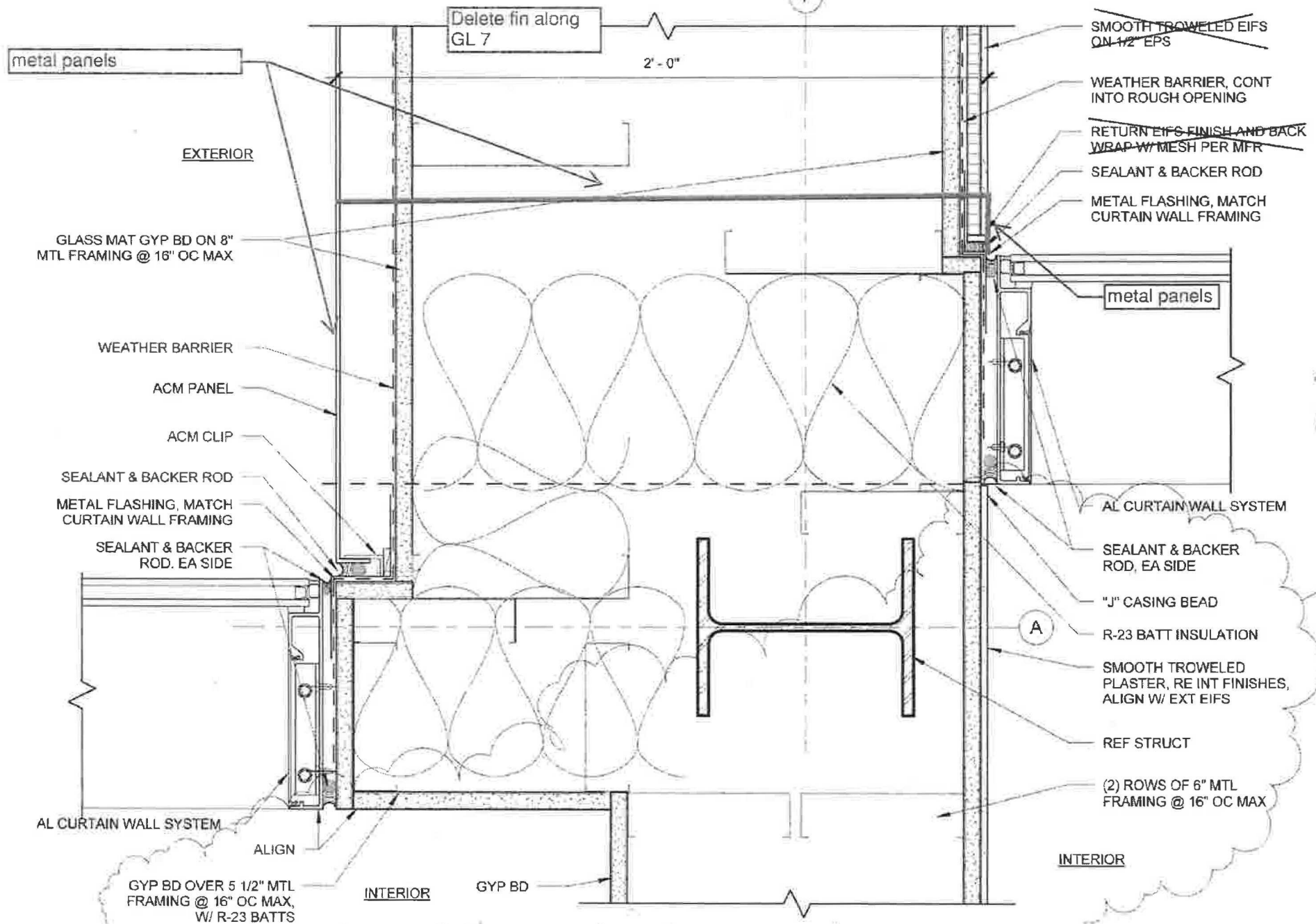
Copyright Westlake Reed Leskosky

EXTERIOR ELEVATIONS

CD
AE-202



7



7

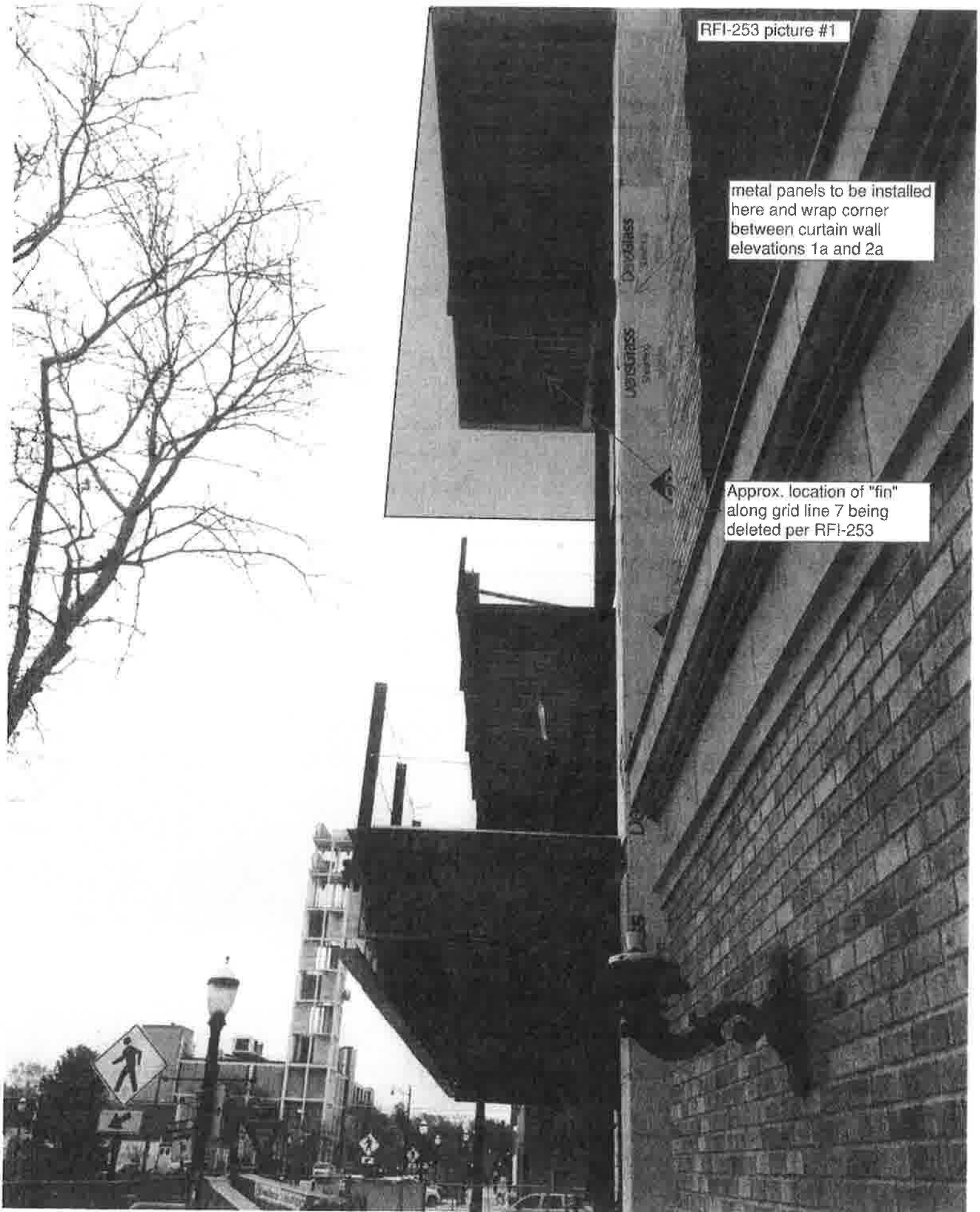
JAMB AT BALCONY WING WALL

3" = 1'-0"

RFI-253 picture #1

metal panels to be installed here and wrap corner between curtain wall elevations 1a and 2a

Approx. location of "fin" along grid line 7 being deleted per RFI-253



RFI-253 picture #2

This picture shows the correct metal framing for the deletion of the "fin" laong GL 7

CW
elevation
2a

beam to be cut off 6" north of GL A (6" from center of perpendicular beam to avoid affecting beam connections

metal panels to be installed here and wrap corner between curtain wall elevations 1a and 2a

CW
elevation
1a

Brady Blackmer

From: Richard Sourbrine <rsour@WRLdesign.com>
Sent: Monday, March 31, 2014 5:47 PM
To: Stan Kiser; Brady Blackmer; Brian Young; Pat Hutchison
Cc: Lee Cooper
Subject: FW: Avalon Theatre - Wall Detail #4/AE-313
Attachments: 2014-03-27 13.10.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Also note ... when cutting the cantilever beam noted on the attached photo, the cut should be 6" north of Grid line A (6" from center of perpendicular beam) to avoid burning or otherwise affecting the connection of these two beams.

Thanks,

Richard D. Sourbrine, II, AIA

Westlake
Reed
Leskosky

www.wrlsdesign.com

Architect Magazine 2012: Ranked #1 in Sustainability; #6 Overall

From: Richard Sourbrine
Sent: Monday, March 31, 2014 4:43 PM
To: 'Stan Kiser'; Lee Cooper; Brady Blackmer; Brian Young; Pat Hutchison
Cc: Debbie Kovalik; Jay Valentine; Stuart Taylor; Trenton Prall
Subject: RE: Avalon Theatre - Wall Detail #4/AE-313

Stan,

The entire "fin" from Mezzanine to underside of roof/canopy gets omitted and there will be a vertical band capped with metal panels similar to what was already happening at the Mezzanine level. This "band" is between the main curtainwall at the stair and the recessed curtainwall at the display window/storage room. The face of this "band" should align with the existing building – Brian and I had already worked out that alignment for the original section of this vertical band.

Thanks,

Richard D. Sourbrine, II, AIA

Westlake
Reed
Leskosky

www.wrlsdesign.com

Architect Magazine 2012: Ranked #1 in Sustainability; #6 Overall

From: Stan Kiser [<mailto:SKiser@fciol.com>]

Sent: Monday, March 31, 2014 4:17 PM

To: Lee Cooper; Brady Blackmer; Brian Young; Pat Hutchison

Cc: Debbie Kovalik; Jay Valentine; Stuart Taylor; Trenton Prall; Richard Sourbrine

Subject: RE: Avalon Theatre - Wall Detail #4/AE-313

OK. From where to where? Does the remainder of the wall get a cap on it?

Stan Kiser

Senior Project Manager

PO Box 1767 Grand Junction, CO 81502

P. (970) 434-9093 C. (970) 985-0742

skiser@fciol.com

www.fciol.com



FOCUSED ON YOUR VISION

From: Lee Cooper [<mailto:leec@ci.grandjct.co.us>]

Sent: Monday, March 31, 2014 4:37 PM

To: Brady Blackmer; Brian Young; Pat Hutchison; Stan Kiser

Cc: Debbie Kovalik; Jay Valentine; Stuart Taylor; Trenton Prall; rsour@WRLdesign.com

Subject: Avalon Theatre - Wall Detail #4/AE-313

All,

The final decision by the City is to delete this section of wall along GL-7 to improve the view down Main Street from the roof top terrace.

Please let me know if there are any questions.

Thanks,
Lee

Lee Cooper, P.E.
Project Engineer
City of Grand Junction
Department of Public Works & Planning
Office Phone: (970) 256-4155
Cell Phone: (970) 589-4985
Fax: (970) 256-4022

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/23/2014

Wood Stoop at Door 311C Per RFI-255

FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-255, attached pricing quote	

Notes

This COR developed for additional costs associated with RFI-255 and based on FCI's conversations with the Mesa County Building Department. As documented in RFI-255, due to the elevation of door 311C, a stoop with (1) step is required at the SLL 308 (the bottom of door 311C is 10" higher than the concrete floor at SLL 308).

However, after review in the field, the electrical panels installed along the east wall of SLL 308 would conflict with the new stair off this stoop. Per FCI's conversations in the field with the Mesa County Building Department, the stairs is to be reduced to 36" in width and a 2x wood handrail is to be constructed for this stair. Reference the attached revised sketch.

The wood stoop, stair, and handrail are all to be painted flat black.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$280.00
Description of Work: FCI labor to construct stoop, stair and handrail: 8 man hours x \$35/man hour = \$280		
FCI Constructors, Inc. - GJ		\$200.00
Description of Work: Additional wood framing materials		
RJ's Painting LLC		\$120.00
Description of Work: All changes to RJ's Painting's Scope of work as revised per RFI-255. This includes painting the new wood stoop, stair, and handrail at SLL 308. Paint color to be flat black.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$36.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$643.00

Approval:

Date:



This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

RJ'S Painting, LLC
2690 N. Townsend Avenue
Montrose, CO 81401
(970) 249-2137 Office (970) 209-0114 Rudy cell (970) 249-0935 Fax
Email address: rjspainting@gmail.com

04/17/14

SCOPE OF WORK / SCHEDULE OF VALUES
Avalon Theatre, 645 Main Street Grand Junction, CO
RFI'S

RFI #225:	1. Hand rail at west exit door	\$ 220.00
RFI #232	1. Handrails at existing stoop	\$ 310.00
RFI # 204	1. Posts and rails for roof top screen	\$ 2,880.00
	2. Tnemec system spec. for structural steel, series 115 primer with series 1025 endura-tone top coat.	
Terrace paver system seal coat:	1. Two coats S.W. H and C infusion sealer. Solvent based	\$ 2,950.00
North Exterior soffit grading:	1. Two coats to match Dura Nar silver metallic xl25	\$ 1,100.00
RFI #255	1. Paint new stoop at new stair black	\$ 120.00
RFI #244	1. No change	
PR005-15	1. NO change	

We propose hereby to furnish material and labor to complete in accordance with the above specifications, for the sum of:

Payments to be made as follows Progress draws

All Material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications including extra cost will be executed only upon written orders, and will become an extra charge over and above this estimate. All agreements are contingent upon strikes, accidents, environmental conditions, or delays beyond our control. Owner is to carry tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. RJ's Painting carries \$ 2,000,000.00 Liability Insurance. General/Owner is to provide clean job site and work conditions for finish painting. Extra costs included but not limited to items for Interior or Exterior decorating. If job scheduled date changes for any reason written notice must be received by RJ's Painting 72 hours before scheduled work is to begin. If notice is not given there will be an extra cost to General/Owner. If payment schedule is not met Contractor/Owner will pay RJ's Painting plus all attorney's fees, court costs and any other related expenses, plus normal rate of interest. References will be provided on request. If any questions may arise during the job please feel free to call. Thank you for this opportunity to submit this bid and we are looking forward to working with you.

Items not on this contract are considered extra. If RJ's Painting is asked to do work outside this contract it will be considered as an extra cost also. Job is to be handled in a productive manner, where RJ's Paintings crew can be productive every day or an extra charge will be assessed. This is to include but not limited to furniture, carpeting, and personal belonging in boxes being in the way.

Note: This contract is priced only for the listed number, square footage, or linear footage provided in the Scope of Work / Schedule of Values, all extra is considered an extra.

Authorized signature: *Rudy Jones*

Date: 04/17/14

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 255

Date Created: 4/9/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Author RFI Number

Subject	Discipline	Category
Concrete Stoop Needed Due to Elevation of Door 311C	Architectural/Structural	Drawing Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 4/16/2014

Per RFI-123, due to new catwalk steel above the stage in conflict with the existing steel truss at the east end of the catwalk (within the existing Avalon building), the bottom of door elevation for door 311C that accesses the catwalk from SLL 308 is 10" higher than the adjacent slab-on-deck elevation at the addition (addition elevation at 26'-3"). As such FCI is proposing to pour a concrete stoop with step within SLL 308 per the attached sketch. The roof access ladder in this space would be raised and the bottom of the ladder bolted to this new stoop. Please verify that this is acceptable.

Suggestion

Answer

Date Answered: 4/11/2014

[4/11/2014 Westlake Reed Lekosky - Richard Sourbrine]
WRL recommends providing the elevation change platform/landing and step using 3/4" plywood decking and 2x wood framing. Landing and Step to be painted flat black.

RF1-255

26' 3"

SLL

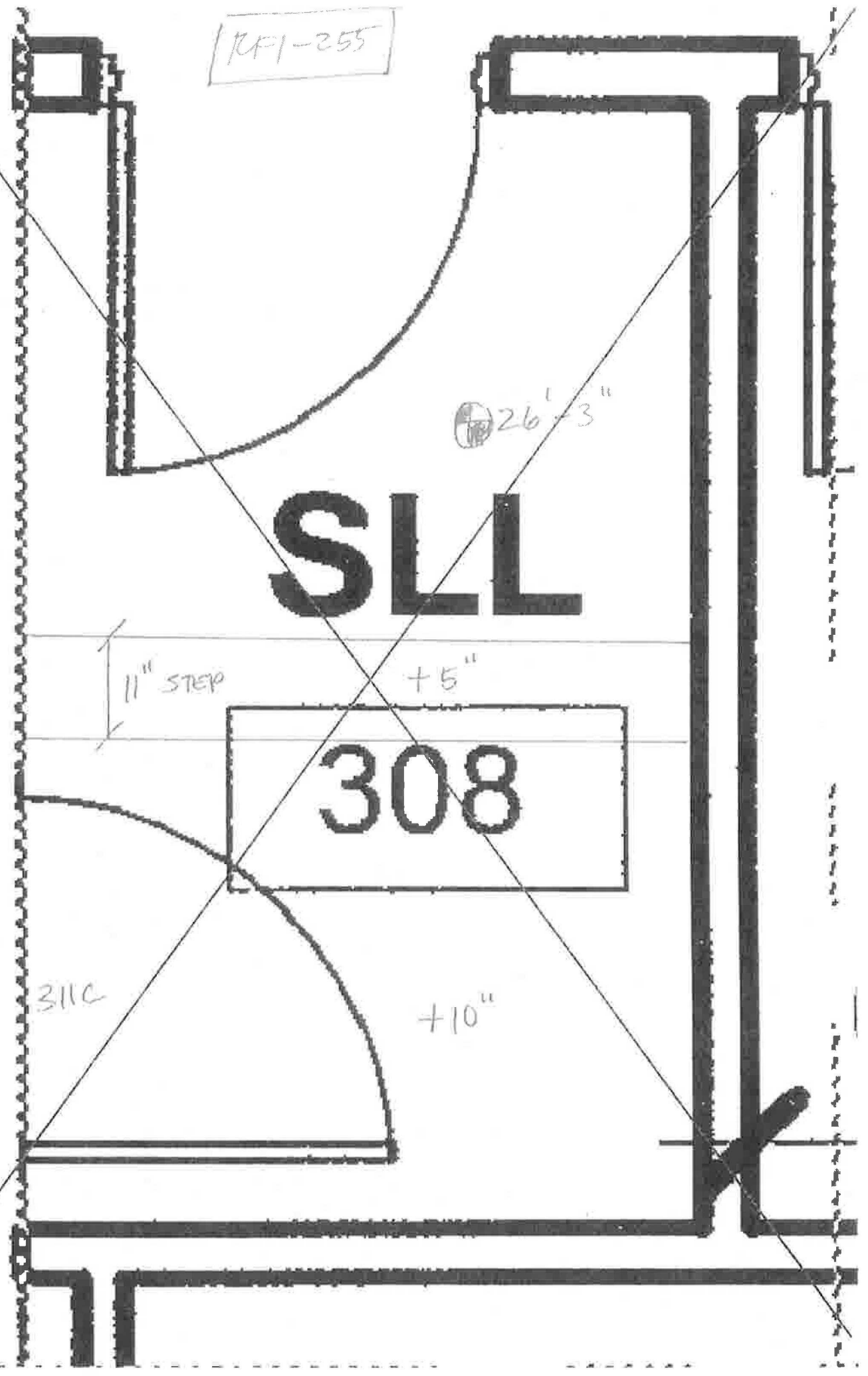
11" STEP

+5"

308

311C

+10"



14F1-255

REVISED SKETCH BASED ON
CONVERSATIONS WITH THE
BUILDING DEPARTMENT

36"

26'-3"

SLL

11" STEP +5"

308

ADD HANDRAIL

10"

311C



COR-171

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/21/2014 Revise D6 Light Fixtures at Upper Mezzanine Per RFI-245 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-245, attached pricing quote	

Notes

This COR developed for changes to the type D6 light fixtures at Terrace Lobby 300. Per the architect's response to RFI-245, the (13) type D6 light fixtures at Terrace Lobby 300 are to be revised from the specified light fixtures to new cylinder style CFL can lights mounted to the metal deck above. This COR is for the premium in cost of these new lights over the previously specified lights.

Please note the following:

- 1.) This COR does not include costs for the (3) light fixtures at the Terrace Level "overhang" as shown in PR-007. The costs for these three D3 lights will be included in the pricing for the light strings at the Terrace Lobby per revised design by Bighorn Engineering.
- 2.) Per the response to RFI-245, these new D6 fixtures are to be Cooper Lighting brand "Portfolio" ceiling mounted CFL can lights, model #C16032-D26/32-MB-6000-BB. Per the attached email from Rich Sourbrine (WRL), it is acceptable to substitute these Cooper lights for Gotham brand cylinder lights per the attached product data. The Gotham fixtures are roughly \$100/ea. cheaper than the Cooper fixtures.

Itemized Details:

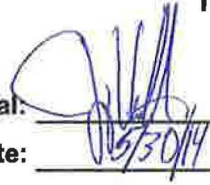
General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$2,773.00
Description of Work: Changes to EC Electric's scope of work as revised per RFI-245 and per the attached email. This includes revising the D6 and D6E light fixtures at Terrace Lobby 300 from the specified fixture to Gotham brand CFL can lights mounted to the metal deck above (the Gotham lights are an approved substitution over the Cooper brand fixtures per the architect's response to RFI-245). This COR does not include costs for the (3) light fixtures at the Terrace Level "overhang" as shown in PR-007. The costs for these three lights will be included in a separate CO.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$20.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$168.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$2,975.00

Approval: 

Date: 05/30/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Date: 4/30/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: **Brady Blackmer**
Phone #: 970-434-9093
Fax #: 970-434-7583

Change Order Request No. Verbal
Change Order Proposal No. EC-25

We hereby propose to modify our original proposal / contract for the following change to our scope:

Change the (13) "D6" can fixtures to a new "D6" surface cylinder fixture and (2) new Egress fixtures.
Labor remains the same.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Deduct Original Cans	\$ -	\$ (5,096.20)
Lot	Add New cylinders with lamps		\$ 7,137.00
Lot	Add new Egress fixtures		\$ 480.00
			\$ -
Lot	Shipping		\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
0.00	Hours Labor - Foreman	\$ 53.00	\$ -
0.00	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ -
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 252.08
			\$ -
			\$ 2,772.88

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Two Thousand Seven Hundred Seventy-Three----- Dollars \$ 2,773.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____	Pending Changes to Date: \$ <u>-</u>
Approved Change Orders To Date: \$ <u>-</u>	This Change Order: \$ <u>2,773.00</u>
Approved Contract Sum To Date: \$ <u>-</u>	Pending Contract Sum: \$ <u>2,773.00</u>

*Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.*

2535 West Pinyon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX: (970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX: (970)748-0935

E-MAIL: info@ec-electric.com



Office (970) 245-5600 • Fax (970) 245-6031

2778 Crossroads Blvd.

Grand Junction, Co. 81506

Page _____ of _____

Contractor _____

Job Name AVALON CHANGES

Bid Date 04/16/2014

Bid By Mark McCALLISTER

Requested By _____

Terms _____

FOB _____

Freight _____

Delivery _____

Type					Cost	Extension
D6	9	DEDUCT	\$349.00E	\$3,141.00		
D6E	4	DEDUCT	\$488.80E	\$1,955.20		
			\$540/ea	\$7,020.00		
D6 CANISTER	13	ADD /W MARK 10 DIMMING	\$650.00E	\$8,450.00		
	13	F32TBX LAMP	\$9.00E	\$117.00		
EM ADD	2	ELM618-N-SD** NOT OFFERED IN BLACK**	\$240.00E	\$480.00		
D6 CANISTER	3	ADD W/ MARK 10 DIMMING	\$650.00E	\$1,950.00		
	3	F32TBX LAMP	\$9.00E	\$27.00		

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 245 **Date Created: 4/4/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Cole Forsman

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Type D6 Can Lights at Terrace Lobby	Architectural/Electrical	Request for Information

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 4/11/2014**

Please reference the attached product data for the type D6 can lights shown on EL-104 to install at Terrace Lobby 300. When looking at sheet EL-104 it appears that there is a ceiling to be installed in the terrace lobby, however the reflected ceiling plan on AE-124 indicates Alternate 10, a metal grate ceiling, but Alternate 10 was not accepted and there is currently no plan for a ceiling at this space (exposed ceiling). Talking with EC Electric, these lights need a ceiling to hang from. Please review and advise.

Suggestion

Answer **Date Answered: 4/11/2014**

[4/11/2014 Westlake Reed Lekosky - Richard Sourbrine]

1) Provide Cooper Lighting "Portfolio" ceiling (underside of roof deck) mounted CFL can light model no. C16032-D26/32-MB-6000-BB (cut sheet attached) in lieu of D6 fixtures at the Terrace Lobby. (These are also to be used in lieu of D3 fixtures indicated on PR007)

2) Since these replacement fixtures are not available with emergency ballasts, provide two (2) additional ceiling (underside of roof deck) mounted emergency lights. Provide one (1) near the south wall of Terrace lobby and one (1) located above Stair A. Emergency fixture to be Lithonia "Quantum" no. ECM618-B-N-SD (cut sheet attached).

- > Electrical engineer - please verify
- > acceptable for fixture type D6

agency
800
227-9999

Description: **EPIC TRPH 126/6 120 VOL DM**
Project: **AVALON THEATRES**
Notes:

Type:
D6

RFI-245 - type D6 can light submitted

EPIC TRIPLES-H 126/6

recessed IC compact fluorescent downlight/wallwasher

EPIC

6-140

FEATURES

EPIC Triples-H 126/6 is a 6" aperture downlight designed for insulation contact (IC) and certified airtight under ASTM E283. The fixture is designed for use with one 26-watt, 4-pin, triple tube compact fluorescent lamp by GE, Sylvania or Philips. Triples-H 126/6 provides shielding angles of 40° parallel to and 40° perpendicular to the lamps. Recess depth is only 1 0".


One housing allows interchangeable use of downlight and wallwash reflectors, permitting housings to be installed first and reflectors to be installed or changed at any time.

Reflectors are available in clear, natural aluminum in two finishes: **EvenTone**, our standard clear finish, partially diffuse, anti-iridescent and gently luminous in appearance; and **EasyTone**, diffuse and luminous. Additionally, reflectors are available in champagne gold, wheat, pewter, and bronze. Wallwash (120°) and double wallwash (2x120°) reflectors are also available.

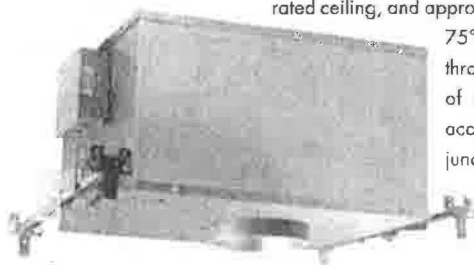
EPIC Triples-H 126/6 includes a pair of residential mounting bars extendable to 20" and designed for use in wood joists.

APPLICATIONS

Fixture is recommended for downlighting or wallwashing in residences and other installations where insulation is specified or likely to be retrofit into the ceiling plenum.

Fixture is  listed for direct contact with insulation; certified airtight under ASTM E283; and suitable for damp location. Fixture is prewired with high power factor Class P electronic ballast, suitable for use in a fire rated ceiling, and approved for eight #12 wire

75°C branch circuit pull-through wiring. Removal of the reflector allows access to the ballast and junction box.



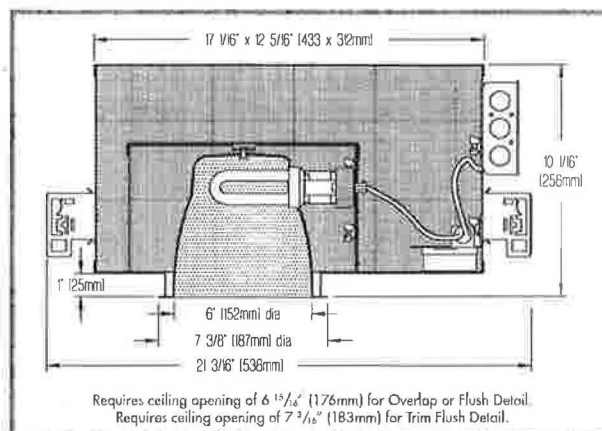
MODIFICATIONS AVAILABLE

Contact factory with quantity for pricing; orders may require shop drawing approval.

- +2"CLG: fixture suitable for installation in 2" thick ceiling material; add +2"CLG to Product Code.
- +DOD: fixture suitable for high humidity environments; add +DOD to Product Code.
- +MAR: reflector suitable for marine environments; add +MAR to Product Code.

CONTRACTOR TO VERIFY:

Voltage:	Row Information:
Colors/ Finishes:	Switching Options:
Ceiling Type:	Suspension Lengths:
Specific Dimming Ballasts (if required):	Other:



PRODUCT CODE

For complete product code, list basic unit and select one item from each following box:

Basic Unit EPIC TRPH 126/6

Reflector Type

Downlight no suffix
Wallwash WW
Double Wallwash DWW

Voltage

120 volt service 120
277 volt service 277

Reflector Color and Detail

	Overlap Flange	Flush	Trim Flush*
EvenTone Clear	VOL	VFL	VTF
EasyTone Clear	ECOL	ECFL	ECTF
Champagne Gold	GOL	GFL	GTF
Wheat	WHOL	WHFL	WHTF
Pewter	POL	PFL	PTF
Bronze	ZOL	ZFL	ZTF

Other reflector finishes available on special order.
Overlap Flange continues reflector finish. White painted flanges and custom painted flanges are available on special order. Add WF (white flange) or CCF (custom color flange).

*Trim Flush reflector trim: requires the use of a plaster ring Accessory (see below).

OPTIONS Specify by adding to the basic unit.

Dimmable (to 5%) 3-wire ballast; not for outdoor application DM
1/8" (3mm) thick clear acrylic shield, spring-mounted within reflector PS

ACCESSORIES Specify as a separate line item.

Plaster ring allows use of 6 7/8" OD Trim Flush (TF) reflector in sheetrock ceiling; 7 3/16" dia hole required TF RING/6

- A modified fixture suitable for 347-volt service is available on special order. Contact factory.
- Decorative reflector rings are available on special order. Contact factory.

EDISON PRICE
LIGHTING

41-50 22ND STREET, LIC NY 11101 TEL 718.685.0700 FAX 718.786.8530 www.epl.com

*Copyright, Edison Price Lighting 2012

3-12

EPIC TRIPLES-H 126/6



PHOTOMETRIC REPORT

(I.T.I.) Luminaire Testing Laboratory Report No. 05265. Original test report furnished upon request.

Luminaire..... recessed compact fluorescent downlight with spun aluminum reflector

Lamp..... Philips 26-watt triple-tube compact fluorescent, 4-pin, GX24q-3 base, 1800 lumens

Efficiency..... 59.4%

Spacing Criteria..... 0°- 1.3, 90°-1.5, 180°-1.5

Axis orientation..... 0° plane is parallel to lamps, opposite sockets

BALLAST INFORMATION

Voltage	120	277
Input Watts	28	28
Line Current (A)	.25	.11
Power Factor (%)	>98	>98
THD (%)	<10	<10
Min. Starting Temp* (°F)	0	0

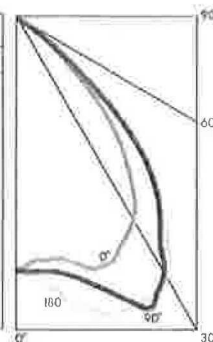
*Consult lamp manufacturers for specific temperatures.

ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixture
0 - 30°	509	28.3	47.6
0 - 40°	822	45.7	76.9
0 - 60°	1069	59.4	100.0
0 - 90°	1069	59.4	100.0
90 - 180°	0	0.0	0.0
0 - 180°	1069	59.4	100.0

CANDLEPOWER DISTRIBUTION [Candela]

Vertical Angle	Horizontal Angle				
	0.0	45.0	90.0	135.0	180.0
0	531	531	531	531	531
5	516	528	539	552	552
15	542	567	577	629	639
25	530	599	677	661	654
35	424	462	531	520	557
45	241	281	334	316	329
55	5	6	8	7	8
65	0	0	0	0	0
75	0	0	0	0	0
85	0	0	0	0	0
90	0	0	0	0	0



LUMINANCE DATA [Candela/m²]

Vertical Angle	Average 0° Longitude	Average 90° Longitude	Average 180° Longitude
45	18683	21784	25895
55	478	573	765
65	0	0	0
75	0	0	0
85	0	0	0

To convert cd/m² to footcandle, multiply by 0.2919.

COLOR MULTIPLIERS

EvenTone (V)	.95	Wheat (WH)	.79
EasyTone (EC)	.88	Pewter (P)	.81
Champagne Gold (G)	.97	Bronze (Z)	.58

COEFFICIENTS OF UTILIZATION - ZONAL CAVITY METHOD

Effective Floor Cavity Reflectance 20%

Ceiling Reflectance (%)	80				70				50				30				10				0
	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	0
Room Cavity Ratio																					
0	71	71	71	71	69	69	69	69	66	66	66	63	63	63	61	61	61	59			
1	67	65	64	62	66	64	63	61	62	61	60	60	59	58	57	57	56	55			
2	64	61	58	56	62	59	57	55	58	56	54	56	54	53	54	53	52	51			
3	60	56	53	50	59	55	52	50	53	51	49	52	50	48	51	49	47	46			
4	56	51	48	45	55	51	47	45	49	46	44	48	46	44	47	45	43	42			
5	53	47	43	40	52	47	43	40	46	42	40	44	42	40	44	41	39	38			
6	50	44	40	37	49	43	39	37	42	39	36	41	38	36	41	38	36	35			
7	46	40	36	33	45	40	36	33	39	35	33	38	35	33	37	34	32	31			
8	43	36	32	29	42	36	32	29	35	32	29	35	31	29	34	31	29	28			
9	40	33	29	26	39	33	29	26	32	28	26	31	28	26	31	28	26	25			
10	37	30	26	23	36	30	26	23	29	25	23	29	25	23	28	25	23	22			

EPIC TRIPLES-H 126/6 WW

WALLWASH INFORMATION

Distance From Ceiling (Feet)	2' 6" From Wall; 2' 6" O.C.		3' From Wall; 3' O.C.	
	Below Fixture	Between Fixtures	Below Fixture	Between Fixtures
1	8	7	5	4
2	11	10	7	7
3	15	15	9	9
4	16	16	11	11
5	14	14	11	11
6	12	12	10	10
7	10	9	9	9
8	8	7	7	7
9	6	6	6	6
10	5	5	5	5

All vertical footcandles are initial values with no contribution from ceiling or floor reflectances. Computation performed with at least five wallwashers.

- Electrical engineer - please verify
- acceptable for fixture type D6E

agency
room
227-9990

Description: **EPIC TRPH 126/6 120 VOL DM EM**
Project: **AVALON THEATRES**
Notes:

Type:
D6E

EPIC TRIPLES-H 126/6

recessed IC compact fluorescent downlight/wallwasher

EPIC

6-140

FEATURES

EPIC Triples-H 126/6 is a 6" aperture downlight designed for insulation contact (IC) and certified airtight under ASTM E283. The fixture is designed for use with one 26-watt, 4-pin, triple tube compact fluorescent lamp by GE, Sylvania or Philips. Triples-H 126/6 provides shielding angles of 40° parallel to and 40° perpendicular to the lamps. Recess depth is only 1 0".


One housing allows interchangeable use of downlight and wallwash reflectors, permitting housings to be installed first and reflectors to be installed or changed at any time.

Reflectors are available in clear, natural aluminum in two finishes: **EvenTone**, our standard clear finish, partially diffuse, anti-iridescent and gently luminous in appearance; and **EasyTone**, diffuse and luminous. Additionally, reflectors are available in champagne gold, wheat, pewter, and bronze. Wallwash (120°) and double wallwash (2x120°) reflectors are also available.

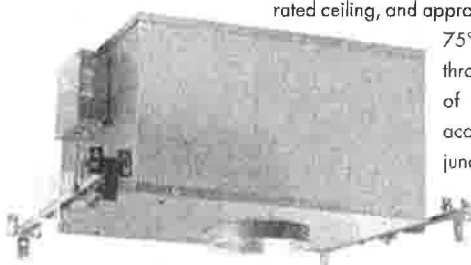
EPIC Triples-H 126/6 includes a pair of residential mounting bars extendable to 20" and designed for use in wood joists.

APPLICATIONS

Fixture is recommended for downlighting or wallwashing in residences and other installations where insulation is specified or likely to be retrofit into the ceiling plenum.

Fixture is  listed for direct contact with insulation; certified airtight under ASTM E283; and suitable for damp location. Fixture is prewired with high power factor Class P electronic ballast, suitable for use in a fire rated ceiling, and approved for eight #12 wire

75°C branch circuit pull-through wiring. Removal of the reflector allows access to the ballast and junction box.



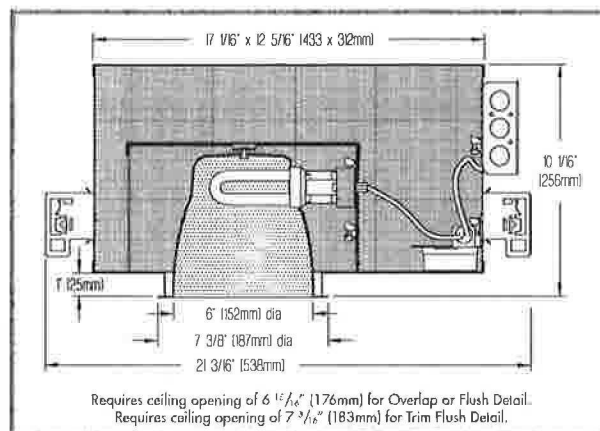
MODIFICATIONS AVAILABLE

Contact factory with quantity for pricing; orders may require shop drawing approval.

- +2"CLG**: fixture suitable for installation in 2" thick ceiling material; add +2"CLG to Product Code.
- +DOD**: fixture suitable for **high humidity** environments; add +DOD to Product Code.
- +MAR**: reflector suitable for **marine** environments; add +MAR to Product Code.

CONTRACTOR TO VERIFY:

Voltage:	Row Information:
Colors/ Finishes:	Switching Options:
Ceiling Type:	Suspension Lengths:
Specific Dimming Ballasts (if required):	Other:



PRODUCT CODE

For complete product code, list basic unit and select one item from each following box.

Basic Unit **EPIC TRPH 126/6**

Reflector Type
Downlight **no suffix**
Wallwash **VW**
Double Wallwash **DWW**

Voltage
120 volt service **120**
277 volt service **277**

Reflector Color and Detail

	Overlap Flange	Flush	Trim Flush*
EvenTone Clear	VOL	VFL	VTF
EasyTone Clear	ECOL	ECFL	ECTF
Champagne Gold	GOL	GFL	GTF
Wheat	WHOL	WHFL	WHTF
Pewter	POL	PFL	PTF
Bronze	ZOL	ZFL	ZTF

Other reflector finishes available on special order.

Overlap Flange continues reflector finish. White painted flanges and custom painted flanges are available on special order. Add WF (white flange) or CCF (custom color flange).

*Trim Flush reflector trim requires the use of a plaster ring Accessory (see below).

OPTIONS Specify by adding to the basic unit.

Dimmable (to 5%) 3-wire ballast; not for outdoor application **DM**
3/8" (3mm) thick clear acrylic shield, spring-mounted within reflector **PS**

ACCESSORIES Specify as a separate line item.

Plaster ring allows use of 6 7/8" OD Trim Flush (TF) reflector in sheetrock ceiling; 7 3/16" dia hole required **TF RING/6**

A modified fixture suitable for 347-volt service is available on special order. Contact factory.

Decorative reflector rings are available on special order. Contact factory.

EMERGENCY BATTERY PACK - E

EDISON PRICE LIGHTING

41-50 22ND STREET, LIC NY 11101 TEL 718.685.0700 FAX 718.786.8530 www.epl.com

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3:12

Submitting Agency:

The Lighting Agency
www.thelightingagency.com
P-719.227.9997 F-719.227.9990

Description: **EPIC TRPH 126/6 120 VOL DM EM**
Project: **AVALON THEATRES**
Notes:

Type:

D6E

EPIC TRIPLES-H 126/6

EDISON PRICE
LIGHTING

PHOTOMETRIC REPORT

LTJ Luminaire Testing Laboratory Report No. 05265. Original test report furnished upon request.

Luminaire recessed compact fluorescent downlight with spun aluminum reflector
Lamp Philips 26-watt triple-tube compact fluorescent, 4-pin, GX24q-3 base, 1800 lumens
Efficiency 59.4%
Spacing Criteria.... 0°-1.3, 90°-1.5, 180°-1.5
Axis orientation.... 0° plane is parallel to lamps, opposite sockets

BALLAST INFORMATION

Voltage	120	277
Input Watts	28	28
Line Current (A)	.25	.11
Power Factor (%)	>98	>98
THD (%)	<10	<10
Min. Starting Temp* (°F)	0	0

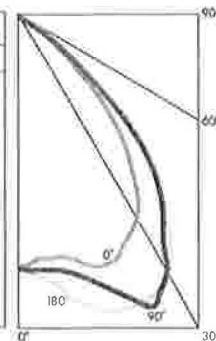
*Consult lamp manufacturer for specific temperatures.

ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixture
0 - 30°	509	28.3	47.6
0 - 40°	822	45.7	76.9
0 - 60°	1069	59.4	100.0
0 - 90°	1069	59.4	100.0
90-180°	0	0.0	0.0
0-180°	1069	59.4	100.0

CANDLEPOWER DISTRIBUTION (Candela)

Vertical Angle	Horizontal Angle				
	0.0	45.0	90.0	135.0	180.0
0	531	531	531	531	531
5	516	528	539	552	552
15	542	567	577	629	639
25	530	599	677	661	654
35	424	462	531	520	557
45	241	281	334	316	329
55	5	6	8	7	8
65	0	0	0	0	0
75	0	0	0	0	0
85	0	0	0	0	0
90	0	0	0	0	0



LUMINANCE DATA (Candela/m²)

Vertical Angle	Average 0° Longitude	Average 90° Longitude	Average 180° Longitude
45	18683	21784	25895
55	478	573	765
65	0	0	0
75	0	0	0
85	0	0	0

To convert cd/m² to footlamberts, multiply by 0.2919.

COLOR MULTIPLIERS

EvenTone (V)	.95	Wheat (WH)	.79
EasyTone (EC)	.88	Pewter (P)	.81
Champagne Gold (G)	.97	Bronze (Z)	.58

COEFFICIENTS OF UTILIZATION - ZONAL CAVITY METHOD

Effective Floor Cavity Reflectance 20%

Ceiling Reflectance (%)	80				70				50				30				10				0
Wall Reflectance (%)	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10	50	30	10	0
Room Cavity Ratio																					
0	71	71	71	71	69	69	69	69	66	66	66	63	63	63	61	61	61	59	59	59	59
1	67	65	64	62	66	64	63	61	62	61	60	60	59	58	57	57	56	55	55	55	55
2	64	61	58	56	62	59	57	55	58	56	54	56	54	53	54	53	52	51	51	51	51
3	60	56	53	50	59	55	52	50	53	51	49	52	50	48	51	49	47	46	46	46	46
4	56	51	48	45	55	51	47	45	49	46	44	48	46	44	47	45	43	42	42	42	42
5	53	47	43	40	52	47	43	40	46	42	40	44	42	40	44	41	39	38	38	38	38
6	50	44	40	37	49	43	39	37	42	39	36	41	38	36	41	38	36	35	35	35	35
7	46	40	36	33	45	40	36	33	39	35	33	38	35	33	37	34	32	31	31	31	31
8	43	36	32	29	42	36	32	29	35	32	29	35	31	29	34	31	29	28	28	28	28
9	40	33	29	26	39	33	29	26	32	28	26	31	28	26	31	28	26	25	25	25	25
10	37	30	26	23	36	30	26	23	29	25	23	29	25	23	28	25	23	22	22	22	22

EPIC TRIPLES-H 126/6 WW

WALLWASH INFORMATION

Distance From Ceiling (Feet)	2' 6" From Wall; 2' 6" O.C.		3' From Wall; 3' O.C.	
	Below Fixture	Between Fixtures	Below Fixture	Between Fixtures
1	8	7	5	4
2	11	10	7	7
3	15	15	9	9
4	16	16	11	11
5	14	14	11	11
6	12	12	10	10
7	10	9	9	9
8	8	7	7	7
9	6	6	6	6
10	5	5	5	5

All vertical footcandles are initial values with no contribution from ceiling or floor reflectances. Computation performed with at least five wallwashers.

DESCRIPTION

Low brightness 6-inch aperture Surface cylinder for use with a 26W or 32W Triple Twin Tube 4-pin compact fluorescent lamp. Adjustable and locking socket position allows reflectors with different distributions to be used within the same housing for a variety of lighting effects. Standard features include low iridescent finish on all reflectors, electronic ballast and venting to ensure maximum lamp life and lumen output. Optics offer unparalleled performance with glare free downlighting.

Catalog #	Type
Project	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

Reflector

Available in a variety of Alzak® finishes. .050 thick aluminum, in a one piece spun macrofocal parabolic contour. Also available with white or black baffle. Positive reflector mounting pulls trim tight to housing.

Housing

Round seamless aluminum with crisply detailed edges. Choice of finish in white, matte black or bronze. Other finish options available upon request. Installs to canopy via keyhole slots for positive mounting.

Mounting

Mounting canopy installs to recessed junction box (by others). All hardware and brackets are galvanized or plated.

Socket

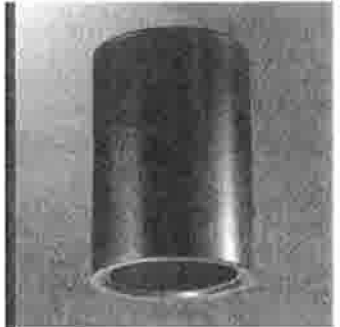
4-pin GX24q3 base with fatigue free stainless steel lamp spring ensures positive lamp retention. Socket plate adjusts and locks into position without tools to accommodate various lamps and reflectors.

Electronic Ballast

Electronic ballast provides full light output and rated lamp life. Provides flicker free and noise free operation and starting.

Labels

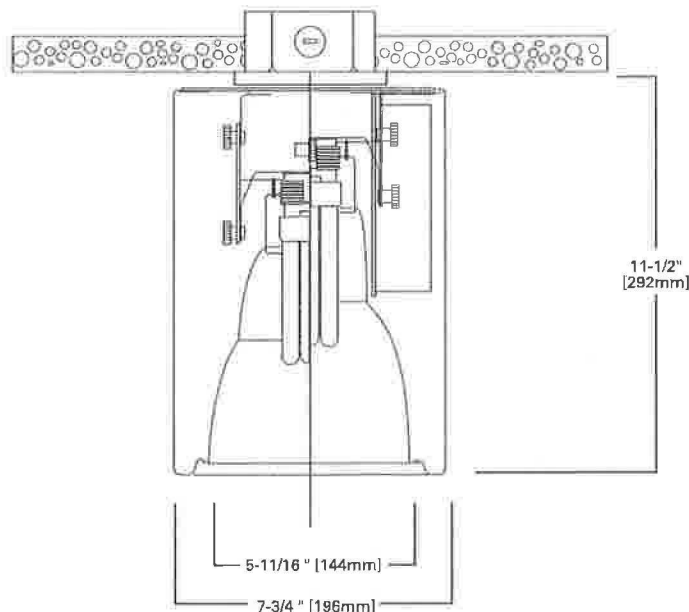
cULus listed, C.S.A. certified, standard damp label.



C16032
6000/50
6010/20/30

26W, 32W TTT or PLT
Compact Fluorescent

6-Inch Surface Cylinder



ENERGY DATA	
26W TTT 4-pin	
Ballast: Electronic	
120V Input Watts: 28	Line Amps: 0.25
277V Input Watts: 26	Line Amps: 0.09
Power Factor: >0.99	THD: <80%
Min. Starting Temperature: -10°C (15°F)	
Sound Rating: Class A Standards	
32W TTT 4-pin	
Ballast: Electronic	
120V Input Watts: 34.5	Line Amps: 0.30
277V Input Watts: 34.5	Line Amps: 0.13
Power Factor: >0.99	THD: <10%
Min. Starting Temperature: -10°C (15°F)	
Sound Rating: Class A Standards	

NOTE: Accessories should be ordered separately. For additional options, please consult your Cooper Lighting Representative. Alzak is a registered trademark of Aluminum Company of America.

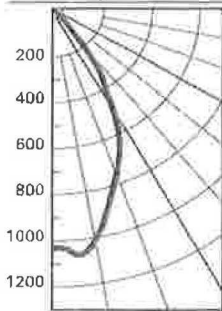
ORDERING INFORMATION

EXAMPLE: C16032ED2 0000LI

Housing	Wattage	Ballast	Housing Finish	Trims	Finish	Accessories
C160=6" Cylinder	32=(1) 26W or 32W TTT or PLT Lamp	E=120/277V 50/60 Hz Electronic 3E=347V 50/60 Hz Electronic D26/32=26 or 32W 120-277V Lutron EcoSystem Dimming EDR26=DeRated Wattage Label, 26W	P=White BZ=Bronze MB=Matte Black	6000=Med Beam Reflector 6050=WD Beam Surface Trim 6010=Single WW Surface Trim 6020=Double WW Surface Trim 6030=Corner WW Surface Trim	LI=Low Iridescent Clear H=Haze WMH=Warm Haze G=Gold WH=Wheat W=Gloss White GP=Graphite GPH=Graphite Haze BB=Black Baffle (6000 only) WB=White Baffle (6000 only)	C836P=White Pendant Kit for CF Cylinder C836BZ=Bronze Pendant Kit for CF Cylinder C836MB=Black Pendant Kit for CF Cylinder

PHOTOMETRICS

Candlepower Distribution



Test No. H22183
C16032-6000LI
Medium Beam
Open Reflector
 Lamp=26W TTT
 Lumens=1800
 Spacing
 Criterion=0.8
 Efficiency=45.7%

Candlepower

Deg.	CD
0	1005
5	1016
15	832
25	545
35	318
45	39
55	0
65	0
75	0
85	0
90	0

Average Luminance

Deg.	CD/SQ M
45	3361
55	0
65	0
75	0
85	0

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
4'6"	50	3'6"
5'6"	33	4'6"
6'6"	24	5'6"
8'0"	16	6'0"
10'0"	10	8'0"
12'0"	7	9'6"

Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.

Footcandle values are initial, apply appropriate light loss factors where necessary.

Reflector Multiplier
 Haze=.95
 Straw=.9
 Wheat=.9

Zonal Lumen Summary

Zone	Lumens	%Lamp	%Luminaire
0-30	578	32.1	70.3
0-40	771	42.8	93.7
0-60	822	45.7	100.0
0-90	822	45.7	100.0
90-180	0	0.0	0.0
0-180	822	45.7	100.0

Coefficient of Utilization

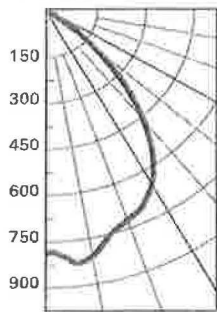
rc	80%				70%			50%		30%		10%		0%
rw	70	50	30	10	50	30	10	50	10	50	10	50	10	0
RCR														
0	54	54	54	54	53	53	53	51	51	49	49	47	47	46
1	52	51	50	49	50	49	49	48	47	47	46	45	44	44
2	50	48	47	46	48	46	45	46	44	45	43	44	42	42
3	48	46	44	43	45	44	42	44	42	43	41	42	40	40
4	46	44	41	40	43	41	40	42	39	41	39	40	38	38
5	44	41	39	37	41	39	37	40	37	39	37	39	36	36
6	43	39	37	35	39	37	35	38	35	38	35	37	35	34
7	41	37	35	33	37	35	33	36	33	36	33	35	33	32
8	39	35	33	31	35	33	31	35	31	34	31	34	31	30
9	37	33	31	29	33	31	29	33	29	32	29	32	29	28
10	36	32	29	28	31	29	28	31	28	31	27	30	27	27

rc=Ceiling reflectance, rw=Wall reflectance, RCR=Room cavity ratio

CU Data Based on 20% Effective Floor Cavity Reflectance.

PHOTOMETRICS

Candlepower Distribution



Test No. H22186

C16032-6050LI**Wide Beam****Reflector**

Lamp=32 TTT

Lumens=2400

Spacing

Criterion=1.2

Efficiency=54.0%

Candlepower

Deg.	CD
0	783
5	796
15	741
25	676
35	550
45	338
55	104
65	0
75	0
85	0
90	0

Average Luminance

Deg.	CD/SQ M
45	29109
55	11070
65	562
75	0
85	0

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
5'6"	26	6'6"
6'6"	19	7'6"
8'0"	12	9'6"
10'0"	8	12'0"
12'0"	5	14'0"
14'0"	4	16'5"

Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.

Footcandle values are initial, apply appropriate light loss factors where necessary.

Reflector Multiplier

Haze=.95

Straw=.9

Wheat=.9

Zonal Lumen Summary

Zone	Lumens	%Lamp	%Luminaire
0-30	598	24.9	46.2
0-40	940	39.2	72.6
0-60	1291	53.8	99.6
0-90	1296	54.0	100.0
90-180	0	0.0	0.0
0-180	1296	54.0	100.0

Coefficient of Utilization

rc	80%				70%			50%		30%		10%		0%
rw	70	50	30	10	50	30	10	50	10	50	10	50	10	0
RCR														
0	64	64	64	64	63	63	63	60	60	57	57	55	55	54
1	61	59	58	57	58	57	56	56	54	54	52	52	51	50
2	58	55	53	51	54	52	50	52	49	51	48	49	47	46
3	55	51	48	46	50	48	45	47	46	47	44	46	43	42
4	52	47	44	42	47	44	41	45	41	44	40	43	40	39
5	48	44	40	38	43	40	38	42	37	41	37	40	37	36
6	46	40	37	34	40	36	34	39	34	38	34	37	33	33
7	42	37	33	31	37	33	31	36	30	35	30	34	30	29
8	40	34	30	28	34	30	28	33	28	32	27	32	27	26
9	37	31	27	25	31	27	25	30	25	30	25	29	25	24
10	35	29	25	23	28	25	23	28	22	27	22	27	22	21

rc=Ceiling reflectance, rw=Wall reflectance, RCR=Room cavity ratio

CU Data Based on 20% Effective Floor Cavity Reflectance.



FEATURES & SPECIFICATIONS

INTENDED USE — Provides a minimum of 90 minutes of illumination for the rated wattage upon loss of AC power. Ideal for applications requiring attractive unit equipment with quick installation.

CONSTRUCTION — White, compact, low-profile contemporary design. Engineering-grade thermoplastic housing is impact-resistant, scratch-resistant and corrosion-proof. UL 94V-0 flame rating. UV-stable resin resists discoloration from natural and man-made light sources.

Two 9W wedge-based krypton lamps offer 80 percent more light output than standard 9W incandescent lamps. Patented, MR24, multi-faceted reflector significantly improves photometric performance — 48 percent more light delivered to path of egress.

Unique track-and-swivel arrangement permits full range of direction of lamp head adjustment. Ceiling mount standard. **US Patent No. D-532,918. Patent-pending Quick-Mount for simple installation.**

Tool-less access for maintenance. Rigid conduit entry on both top and side on large units (ELM654, ELM1254, and ELM1272), and top only for small units (ELM618 and ELM627).

Universal J-box mounting pattern.

Low-profile, integrated test switch/pilot light.

Battery: Sealed, maintenance-free lead-calcium battery standard. Automatic recharge after a 90-minute discharge. Single-circuit battery connection.

ELECTRICAL — Universal input voltage capability (120 through 277 volt, 50 or 60 Hz).

Current-limiting charger maximizes battery life and minimizes energy consumption. Provides low operating costs.

SHORT-CIRCUIT PROTECTION — CURRENT-LIMITING CHARGER CIRCUITRY PROTECTS PRINTED CIRCUIT BOARD FROM SHORTS.

Thermal protection senses circuitry temperature and adjusts charge current to prevent overheating and charger failure.

Thermal compensation adjusts charger output to provide optimum charge voltage relative to ambient temperature.

Regulated charge voltage maintains constant-charge voltage over a wide range of line voltages. Prevents over/under charging that shortens battery life and reduces capacity.

Filtered charger input minimizes charge voltage ripple and extends battery life.

AC/LVD reset allows battery connection before AC power is applied and prevents battery damage from deep discharge

Self-Diagnostics: Single multi-color LED indicator to display two-state charging, test activation and three-state diagnostic status. Test switch provides manual activation of 30-second diagnostic testing for on-demand visual inspection. WRS Self-diagnostic testing for five minutes every 30 days and 90 minutes annually. Self diagnostic testing for five minutes every 30 days and 30 minutes biannually. Diagnostic evaluation of LED light source, AC to DC transfer, charging and battery condition. Continuously monitors AC functionality. Load learning capability self-calibrates to DC load at first test, enabling it to detect a lamp failure on future tests. It may be recalibrated at any time by holding down the test switch for 15 seconds.

Catalog
Number

Notes

emergency lights to be added
per architect's response to
RFI-245

Type



QUANTUM[®]

Thermoplastic Emergency Light

ELM 6-12

High Capacity Units
Lead-Calcium Battery



Wireless Reporting System: Data from self-diagnostics will be communicated via wireless transceivers within their vicinity, creating a self-configuring, self-healing, and self-optimizing wireless network that exchanges the data between FIDO compatible emergency lighting fixtures on an event driven-basis. **Must be ordered with FIDO edge router.**

Wireless communications electronics to operate 2.4GHz mesh network are enclosed entirely within the fixture.

INSTALLATION — Radio range is 500' between fixtures in most buildings. Actual performance may vary depending on application environment and electromagnetic interference. Substantially longer distances have been recorded in uninterrupted open air. Consult factory for more details.

LISTINGS — UL listed. Damp Location listing available. Damp Location listed STD on WRS, Meets UL 924, NFPA 101, NFPA 70-NEC and OSHA illumination standards. WRS meets all applicable FCC requirements.

WARRANTY — 3-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

ORDERING INFORMATION

For shortest lead times, configure product using standard options (shown in bold).

Example: ELM618

Family	Face type	Options ¹
ELM618 6V, 18W	<u>6-Volt MR 24 Composite</u>	B Black housing ⁶
ELM627 6V, 27W	(blank) 9W/6V krypton ¹	N Maintenance-free ni-cad battery ⁷
ELM654 6V, 54W	H1206 12W/6V halogen ²	TD Time delay ⁸
ELM1254 12V, 54W	H2006 20W/6V halogen ³	RT Remote test ⁹
ELM1272 12V, 72W	H2012 20W/12V halogen	SD Self diagnostics ⁸
		RO Less heads ¹⁰
		DL Damp location, 50°-104°F (10° - 40°C) ^{7,11,12}
		NOM NOM Certified ¹³
		WRS Dual voltage 120/277, lead calcium battery back up and self-diagnostic with FIDO wireless reporting system capability ²

Options Availability Guide

Product	Size	SD ⁸	TD ⁵	RT ⁹	N ⁷	B ⁶	DL ^{7,11}	RO ¹⁰	NOM ¹³	WRS
ELM618	S	■	■		■		■	■	■	
ELM627	S	■	■	■	■	■	■	■		■
ELM654	L	■	■					■		■
ELM1254	L	■	■		■		■	■	■	
ELM1272	L	■	■	■		■		■		

Accessories: Order as separate items.

ELA LRT	Remote test (laser) for distances up to 15'
ELA VS2	Polycarbonate vandal shield (1/8" thick) ¹⁴
ELA WG2M	Wireguard (21-1/4"W x 15"H x 12"D) ¹⁵
ELA MR24	Compact MR24 remote lamp head
	ELA MR24 K0606 (6W, 6V krypton)
	ELA MR24 K0906 (9W, 6V krypton)
	ELA MR24 H1206 (12W, 6V halogen)
	ELA MR24 K0912 (9W, 12V krypton)
	ELA MR24 H1212 (12W, 12V halogen)
	ELA MR24 H2006 (20W, 6V halogen)
	ELA MR24 H2012 (20W, 12V halogen)
FIDO	Emergency wireless reporting system edge router (see FIDO specification for details)

Notes

- 1 Available on ELM618, ELM627, and ELM654 only.
- 2 Available on ELM627 and ELM654 only.
- 3 Available on ELM654 only.
- 4 Available on ELM1254 and ELM1272 only.
- 5 See Options Availability Guide.
- 6 Available on ELM627, ELM1272 and with WRS option.
- 7 Available on ELM618, ELM627, and ELM1254 only.
- 8 SD and TD for ELM618 and ELM1254 must be ordered with N option.
- 9 RT not available with SD. Need to order the ELA LRT.
- 10 Not available with any other options, except ELM1272 TD.
- 11 Damp location listed from 50°F - 104°F (10°C to 40°C) except ELM618N, ELM627N and ELM1254N listed from 60°F - 90°F (16°C to 32°C).
- 12 Standard with WRS.
- 13 NOM available with ELM618 and ELM1254 only (not available with any other options). See spec sheet [ELA-WG](#).
- 14 See spec sheet [ELA-RTLP-M5-VS2](#).
- 15 See spec sheet [ELA-WG](#).

ELM 6-12 QUANTUM® Thermoplastic Emergency Light

SPECIFICATIONS

ELECTRICAL

Primary Circuit

Type	AC input			Output volts	Watts output			
	Volts	Amps	Max watts		1-1/2 hrs.	2 hrs.	3 hrs.	4 hrs.
ELM618	120	.167	5.2	6	18	13.5	9	3
	277	.072	5.6					
ELM627	120	.10	5.2	6	27	20	13.5	10
	277	.04	5.6					
ELM654	120	.250	7.4	6	54	40.5	27	20
	277	.108	7.4					
ELM1254	120	.250	11	12	54	40.5	27	20
	277	.108	11.1					
ELM1272	120	.250	11	12	72	54	36	27
	277	.108	11.1					

BATTERY

Nickel-Cadmium

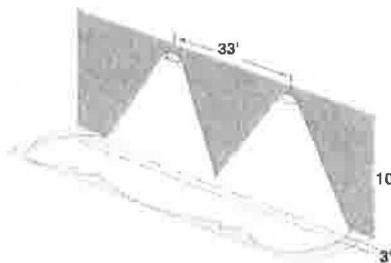
Voltage	Shelf life ¹	Typical life ²	Maintenance ²	Optimum temperature ³
6/12	3 years	7-9 years	none	32°-100°F (0°-37.8°C)

Sealed Lead calcium

Voltage	Shelf life ¹	Typical life ²	Maintenance ²	Optimum temperature ³
6/12	12 months	5-7 years	none	60°-90°F (16°-32°C)

- 1 At 77°F (25°C).
- 2 All life safety equipment, including emergency lighting for path of egress, must be maintained, serviced and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform the required maintenance, service or testing could jeopardize the safety of occupants and will void all warranties.
- 3 Optimum ambient temperature range where unit will provide capacity to 90 minutes. Higher and lower temperatures affect life and capacity. Consult factory for detailed information.

PERFORMANCE DIAGRAMS

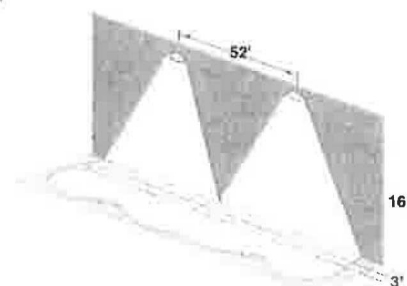


ELM12 Performance Advantage

- 12-volt, 9-watt krypton lamp
- Typical 10-foot mounting height delivers 33 feet center-to-center spacing
- 48% increase in center-to-center spacings over competitive 12-volt higher capacity emergency lighting units.

ELM6 Halogen Performance Advantage

- 6-volt, 20-watt halogen lamp
- Higher mounting heights deliver 50+ feet center-to-center spacing
- 73% increase in center-to-center spacings over the highest wattage lamphead available from competitive emergency lighting units

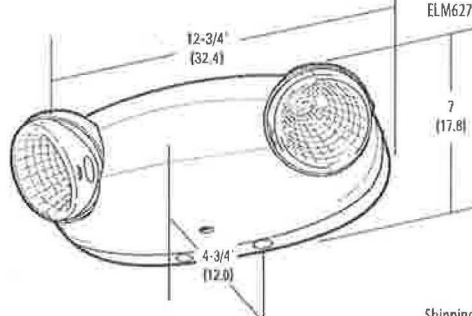


MOUNTING

All dimensions are in inches (centimeters).

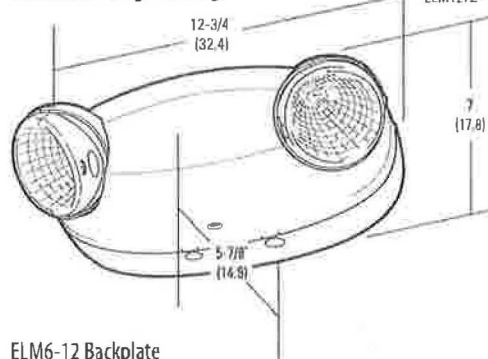
ELM618 and ELM627 Dimensions (small housing)

Shipping weight:
ELM618 - 6.8 lbs. (3.1 kgs)
ELM627 - 8.0 lbs. (3.6 kgs)

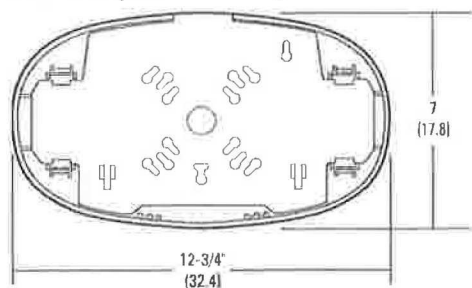


ELM654, ELM1254 and ELM1272 Dimensions (large housing)

Shipping weight:
ELM654 - 13 lbs. (5.9 kgs)
ELM1254 - 13 lbs. (5.9 kgs)
ELM1272 - 13 lbs. (5.9 kgs)



ELM6-12 Backplate



Recommended Center-to-Center Spacing

Lamps	Mounting height				
	7.5'	10'	12'	16'	20'
K0606	25'	N/A	N/A	N/A	N/A
K0906	25'	31'	29'	27'	23'
K0912	25'	33'	30'	29'	26'
H1212	N/A	31'	33'	39'	41'
H2006	N/A	35'	37'	52'	49'

Brady Blackmer

From: Richard Sourbrine <rsour@WRLdesign.com>
Sent: Friday, April 18, 2014 11:53 AM
To: Brady Blackmer; Art Donoho
Cc: Stan Kiser; Brian Young; LeeCooper (leec@ci.grandjct.co.us); Dustin Riddle(driddle@ec-electric.com); Bruce Curry; Dennis Bree
Subject: RE: Avalon - PR-005/PR-006 Lighting Package Issues Overview

See our responses to each question in **BOLD** below ...

Thanks,

Richard Sourbrine | AIA | Associate Principal
Project Director

Westlake |
Reed |
Leskosky |

From: Brady Blackmer [mailto:BBlackmer@fciol.com]
Sent: Friday, April 18, 2014 9:51 AM
To: Art Donoho; Richard Sourbrine
Cc: Stan Kiser; Brian Young; LeeCooper (leec@ci.grandjct.co.us); Dustin Riddle(driddle@ec-electric.com); Bruce Curry; Dennis Bree
Subject: RE: Avalon - PR-005/PR-006 Lighting Package Issues Overview

Art – The D6 fixtures would install in the exposed ceiling at the Terrace Lobby 300 and at the top of Stair A, so they would install to the deck and hang down. But you are right, the D6 fixtures as revised by WRL per RFI-245 are 11-1/2" tall and the propose alternate from EC Electric are 15-1/2" tall. I don't think that 4" difference is a problem, but we need some input from the design team.

Also, it looks like the proposed L fixture comes with an aluminum finish. We are hoping that is acceptable.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Art Donoho [mailto:art@bighorneng.com]
Sent: Friday, April 18, 2014 10:04 AM
To: Brady Blackmer; Richard Sourbrine
Cc: Stan Kiser; Brian Young; Lee Cooper (leec@ci.grandjct.co.us); Dustin Riddle (driddle@ec-electric.com); Bruce Curry; dbree@wrldesign.com
Subject: RE: Avalon - PR-005/PR-006 Lighting Package Issues Overview

Brady, The type D6 fixture will extend down from the ceiling 15 1/2" inches. This is a replacement for a recessed fixture, is the ceiling high enough to accept this fixture?
The Type L fixture submitted does not have a clear anodized finish listed as an option.

Art

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]

Sent: Friday, April 18, 2014 8:50 AM

To: Richard Sourbrine

Cc: Stan Kiser; Brian Young; Lee Cooper (leec@ci.grandjct.co.us); Dustin Riddle (driddle@ec-electric.com); Bruce Curry; dbree@wrldesign.com; Art Donoho

Subject: Avalon - PR-005/PR-006 Lighting Package Issues Overview

Importance: High

Rich,

We think we have all the lighting package issues figured out with the RFI-245 changes, exterior overhang ceiling change, and Stair A light issues, but need your buy-off on a few items:

- 1.) Stair A D7 Lights – The luminaire schedule on E-611 states that these lights need to be IC (insulation contact) rated. This is adding to the height of these fixtures. I don't think we are installing insulation at the underside of these stairs. Please confirm that these lights do not need to be IC rated. IC rating to contain the heat. This is a small space that will hold the heat.
- 2.) D6 Lights at Terrace Lobby per RFI-245 – EC Electric is proposing the attached alternate light for these D6's lights. This alternate light is about \$100/ea. cheaper than the light spec'd in RFI-245. This alternate light can also be procured through the supplier EC Electric currently has onboard and would not require a 3rd vendor. Please confirm acceptable. Looks OK 4" longer but that should still be OK.
- 3.) Per discussions onsite yesterday, and per Lee's prior email, a gyp. ceiling is going to be installed at the exterior Terrace overhang. We will revert back to the D3 fixtures for the (3) lights that are to be installed in this ceiling. OK.
- 4.) Attached is the revised type L fixture (fixture rejected in the returned submittal). This fixture to be provided with aluminum finish. Please confirm acceptable. Acceptable.

A response to these issues is urgent. Thank you.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



Submitting Agency:

The Lighting Agency
www.thelightingagency.com
P-719.227.9997 F-719.227.9990

Description: CFV8 26TRT 6BR 277 ADEZ DBL
Project: AVALON THEATRES - PH 2
Notes:

Type:

D6

 gotham



Acceptable alternate to the new D6 fixtures per the attached email.

CONTRACTOR TO VERIFY:

Voltage:	Row Information:
Colors/Finishes:	Switching Options:
Ceiling Type:	Suspension Lengths:
Specific Dimming Ballasts (if required):	Other:

8" CFV

Cylinders

Vertical Lamp, Double Twin-Tube or Triple-Tube,
6" Aperture

FEATURES**OPTICAL SYSTEM**

- Self-flanged, semi-specular or matte-diffuse reflector. Patented Bounding Ray™ Optical Principle design (U.S. Patent No. 5,800,050) provides lamp before lamp image and smooth transition from top of reflector to bottom.

HOUSING

- Heavy-gauge aluminum housing with top deck for clean appearance. Matte white textured polyester powder paint finish standard.
- Reflector edge sits flush with cylinder wall for clean, one-piece appearance.
- Reveal on standard ceiling and optional pendant mount give floating luminaire appearance.

MOUNTING

- Ceiling mount (standard) offers patented (U.S. Patent No. 4,300,190) quick-mount attachment plate for direct installation to 4" square junction box.
- Optional wall mount provided with mounting pattern for direct installation to 4" square or octagonal junction box.
- Optional pendant mounting entry provided for 3/8" National Pipe Thread stem. Mounting accessories available (see Accessories). Wires supplied by others.

ELECTRICAL SYSTEM

- Vertically mounted, four-pin, positive-latch, thermoplastic socket.
- Class P, thermally protected, high-power-factor electronic ballast.

LISTING

- Fixtures are UL Listed for damp locations. Listed and labeled to comply with Canadian standards.

WARRANTY

- 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

EXAMPLE: CFV8 26DTT 6AR 120 DWHG

CFV8	26TRT	6BR		277	ADEZ	
Series	Wattage/Lamp	Trim color	Finish	Voltage	Ballast	Mounting ⁴
CFV8	130TT 18TRT 180TT 26TRT 260TT 32TRT 13TRT 42TRT	6AR Clear 6PR Pewter 6WTR Wheat 6WR White 6BR Black	(blank) Semi-specular LD Matte-diffuse	MVOLT ¹ 120 277 347	(blank) Electronic ballast ECOS ^{1,2} Lutron® EcoSystem® electronic dimming ballast. Minimum dimming level 5% ADEZ ^{2,3} Advance Mark 10® electronic dimming ballast. Minimum dimming level 5% ADZ1 ¹ Advance Mark 7® electronic dimming ballast. Minimum dimming level 5%	(blank) Ceiling mount PM ³ Pendant 3/8" thread mount WM Wall mount ACC ⁵ Aircraft cable and cord mount

DBL**Options**

WLP	With 3500 K lamp (shipped separately)	DBL	Black
GMF ³	Single slow-blow fuse	DNA	Natural aluminum
GLR ³	Single fast-blow fuse	DOB	Dark bronze
Architectural Colors - Powder Paint ⁷		DWH	Gloss white
DWHG	Matte white (standard)		

ACCESSORIES order as separate catalog numbers (shipped separately)

CYS ⁴	3/8" stem and canopy with 5° "hang straight" swivel
CRS ⁴	3/8" stem and canopy with 45° swivel
nSP5 D	Sensor Switch® nLight® 0-10V dimming relay. Requires additional nLight bus power supply (nPS 80). Must specify ADZT.



8" CFV

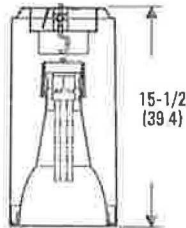
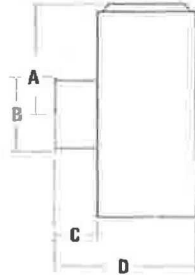
Cylinders

Vertical Lamp, Double Twin-Tube or Triple-Tube, 6" Aperture



DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.

Reflector Aperture: 6-1/4 (15.9)
Housing Diameter: 7-5/8 (19.4)

Wall Mount Dimensions

A =	7-3/4 (19.7)
B =	5-5/16 (13.5)
C =	3-1/4 (8.3)
D =	10-7/8 (27.6)

NOTES

ORDERING NOTES

- Multi-volt electronic ballast capable of operating on any line voltage from 120V through 277V, 50 or 60 Hz.
- Not available with 13W.
- Available in 120V or 277V only.
- Wires supplied by others.
- Stem not included.
- 10' aircraft cable.
- Additional architectural colors available; see www.lithonia.com/archcolors.
- Color and length of stem must be specified (from 6" to 240" in even increments in maximum sections of 48"). Ex.: CYS06 DWHG. Ceiling attachment for interior use. Consult factory for exterior use. Wire not included.



Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/23/2014 Additional Structural Steel for Duct Openings Through Existing Wall F FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-260, attached pricing quotes	

Notes

This COR developed for additional costs associated with RFI-260. Per RFI-260, the openings through the brick wall at the east side of the existing building for new duct work from the additional mechanical roof had to be modified and re-engineered due to conflicts with the roof structure of the existing building. This COR includes the following pricing items associated with this change:

- 1.) Additional steel materials, including MC10x22 lintels, fabricated support haunches, all-thread, epoxy, nuts, and washers
- 2.) Shoring of the existing roof structure and installation of additional steel (FCI labor)
- 3.) Additional costs for changes to the duct transitions for the 90"x60" supply duct

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$1,813.00
Description of Work: Western Slope Iron: Supply only of additional steel materials, including MC10x22 lintels, fabricated support haunches, all-thread, epoxy, nuts, and washers.		
FCI Constructors, Inc. - GJ		\$4,200.00
Description of Work: FCI labor to shore existing roof structure and install additional steel as required: 120 man hours (3 workers for 40 hours/ea.) x \$35/man hour = \$4,200		
FCI Constructors, Inc. - GJ		\$500.00
Description of Work: Small tool replacement		
Airtech Refrigeration		\$350.00
Description of Work: All change to AirTech's scope of work as revised per RFI-260. This includes revisions to the duct transitions where the supply duct at the addition mechanical roof penetrates the existing brick wall.		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$27.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$48.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$417.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

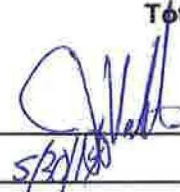
This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$7,361.00

Approval: _____

Date: _____

Handwritten signature in blue ink over the approval line, and the date 5/27/14 written below the date line.

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



WESTERN SLOPE IRON
670 23 ROAD
GRAND JUNCTION, CO
81505-9440
TEL: (970) 243-9770
FAX: (970) 263-8511

INVOICE

F

116176

INVOICE	NUMBER 116176	PAGE 1	DATE 04/21/2014
SALES REP PHIL GARZA			SHIP DATE 04/21/2014
SHIP VIA Will Call			CUSTOMER FCI500
CUSTOMER # 10-13-025	BUYER Brian		CUSTOMER # 116176

SOLD TO:

FCI Constructors, Inc
P.O. Box 1767
Grand Junction, CO 81502

SHIP TO:

Phone: (970) 434-9093
Fax: (970) 434-7583

LINE	QTY ORDERED	SHIPPED TO DATE	QTY THIS SHIPMENT	QTY ON BACKORDER	ITEM ID	WIDTH	LENGTH	UNIT	QTY	PRICE	AMOUNT
1	2.00 PCS	2.00	2.00	0.00	MC1022		10' 8.50000"		2.000	345.05/PC	690.10
					CHANNEL HR MC10 X 22# *** Drilled Per. Sketch ***						
2	2.00 PCS	2.00	2.00	0.00	MC1022		9' 7.50000"		2.000	316.58/PC	633.16
					CHANNEL HR MC10 X 22# *** Drilled Per. Sketch ***						
3	4.00 PCS	4.00	4.00	0.00	FL586		1' 6.00000"		4.000	16.58/PC	66.32
					FLAT 5/8 X 6						
4	1.00 PCS	1.00	1.00	0.00	PL38	18.00000"	114.00000"		1.000	155.38/PC	155.38
					PLATE HR 3/8"						
5	16.00 PCS	16.00	16.00	0.00	B34GRD2A		1' 10.00000"		16.000	6.90/PC	110.40
					3/4 GRD 2 ALLTHREAD						
6	12.00 PCS	12.00	12.00	0.00	HTR333201 (EA)				12.000	4.65/PC	55.80
					Thrd Rod 3/4x10 Has-E (Single)						
7	32.00 PCS	32.00	32.00	0.00	B34NUTSGRD2				32.000	0.50/PC	16.00
					3/4 X NUTS GRADE 2						
8	32.00 PCS	32.00	32.00	0.00	B34FWGRD2				32.000	0.32/PC	10.24
					3/4 FLATWASHER GRD2 PLAIN						
9	2.00 PCS	2.00	2.00	0.00	HEP2022/91				2.000	38.00/PC	76.00
					Epoxy HIT HY-200 (Single)						

Phone: (970) 243-9770

Fax: (970) 263-8511

TAX ID:

SHIP WT: 1,267.000

LBS

SUBTOTAL

1,813.40

TERMS: NET 30

Tax

0.00

PAYMENT DUE BY 05/21/2014.

TOTAL

1,813.40



970.242.4429

Airtech Refrigeration
582-A N. Commercial Drive
Grand Junction, CO 81505
O- 970.242.4429
F- 970.256.9003
www.airtechgj.com

Change Order

Project: AVALON THEATRE

Project #: 10-13-025

CO #: 17

Prime Contractor FCI CONSTRUCTORS, INC

Date Submitted: 4/15/2014

PO Request:

Description of Change: Additional 108x50 to 90x60 transition

Credit	CREDIT FOR 24" Straight 90x60 duct with 2" Liner				-\$229.50
Material	108x50 to 90x60 Transition with 2" Liner				\$435.00
Subtotal					\$205.50
Sales Tax@					\$0.00
Subtotal Material					\$205.50
Warranty					\$1.03
Freight/Delivery Charges					\$0.00
Material Return/ Cancellation Costs					\$0.00
Equipment rental/Gas & Oil					\$0.00
Other direct job costs					\$0.00
Subtotal Direct Job Costs					\$1.03
Labor Apprentice	FAB	1 MH @	\$45.00		\$45.00
Labor Journeyman	INSTALL	1 MH @	\$55.00		\$55.00
Labor Technician		MH @	\$85.00		\$0.00
Labor Project Manager		MH @	\$150.00		\$0.00
Total Direct Labor					\$100.00
Tool Replacement @		4%			\$4.00
Safety Supplies @		2%			\$2.00
Subtotal Labor					\$106.00
Total Prime Cost					\$312.53
Subcontractor Cost					
Subcontractor Cost					
Subcontractor Cost					
Total cost with subcontractors					\$312.53
Mark Up@		12%			\$37.50
Total Cost of Change					\$350.03
Special Insurance/Other charges					
Bond Fee					

Change Order TOTAL	\$350.03
---------------------------	-----------------

*Extension of time required is _____ days

This proposal is for acceptance within 5 days and is subject to escalation thereafter or subject to variance due to commodity fluctuations



B.4

***REVISIONS AS PER BIGHORN
AND AIRTECH ON 4/11/14**

***DUCT SIZES ARE INSIDE
AIRWAY DIMENSIONS**

**ADDITIONAL
108x50 TO 90x60
TRANSITION**

**BRICK OPENING
TO BE 114x54**

90"x60"

9'-6"

108"x50"

2' 2' 4'-7 $\frac{15}{16}$ "

**REVISED
108x50 TO 48x88
TRANSITION**

**AHU-1 WAS
MOVED FROM ORIGINAL
LOCATION PER FCI & 2H**

32"x28"

AHU-1

48"x88"

Line melissa

SA-2-R

10'

30" x 20"

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 260

Date Created: 4/10/2014

Answer Company	Answered By	Author Company	Authored By
Bighorn Consulting Engineers 569 South Westgate Suite 1 Grand Junction, CO 81505	Shawn Brill	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Frank Rinaldi, Brady Blackmer

Author RFI Number

Subject	Discipline	Category
Openings at Existing Building for AHU-2 Supply & Return Ducts	Structurals	Field Conditions

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Downtown Development Authority	Aaron Hoffman	1	

Question

Date Required: 4/17/2014

1.) Please see the attached sketch outlining the vertical space available at the penetration of the existing brick wall for the return duct of AHU-2 at the mechanical roof. Per structural drawing SE-103 (revised per ASI-001) there is a 12" channel lintel that must fit below the existing joists to support this opening. Further, due to the tapered insulation and roof flashing detail at this wall, 17" is needed from the concrete roof deck to the top of the roof termination bar. This results in a vertical space of 56" available, but 63" is needed to fit the 60" tall duct. Attached is a sketch of a possible revised duct configuration changing this duct size from 90" x 60" to 120" x 48". This new return duct size would require an opening of 123" x 51". Please review and advise if this revised opening size and change in duct dimension is structurally and mechanically acceptable. Note the revised transitions required and the increased length of bearing for the 12" channel lintel.

2.) Please see the attached sketch outlining the vertical space available at the penetration of the existing brick wall for the supply duct of AHU-2 at the mechanical roof. Once again, per SE-103, there is a 12" channel lintel required to support this opening and this lintel would need to be installed below the existing joists. Allowing for 17" above the concrete roof deck for the roofing system on the east side of the opening and when considering the 12" channel on the west side of the opening there is only a vertical clear dimension of 5'-1/2" available. The portion of this supply duct that penetrates this wall is a section of sound attenuator that is 100" x 60" and has already been fabricated. Because this is a sound attenuator duct, does not believe it can be flattened out (refabricated) similar to the return duct. Further, there are numerous steel brackets/supports (catwalk, RTU support beams, etc.) attached at the theater side of this wall limiting changes to the width of this duct/opening. Please review this condition and advise.

It is critical to the opening date of the theater that this problem be solved immediately to allow FCI time to get the work done prior to roofing on starting on 4/24/14.

Suggestion



Request for Information 260
Detailed, RFIs Grouped by RFI Number

Answer

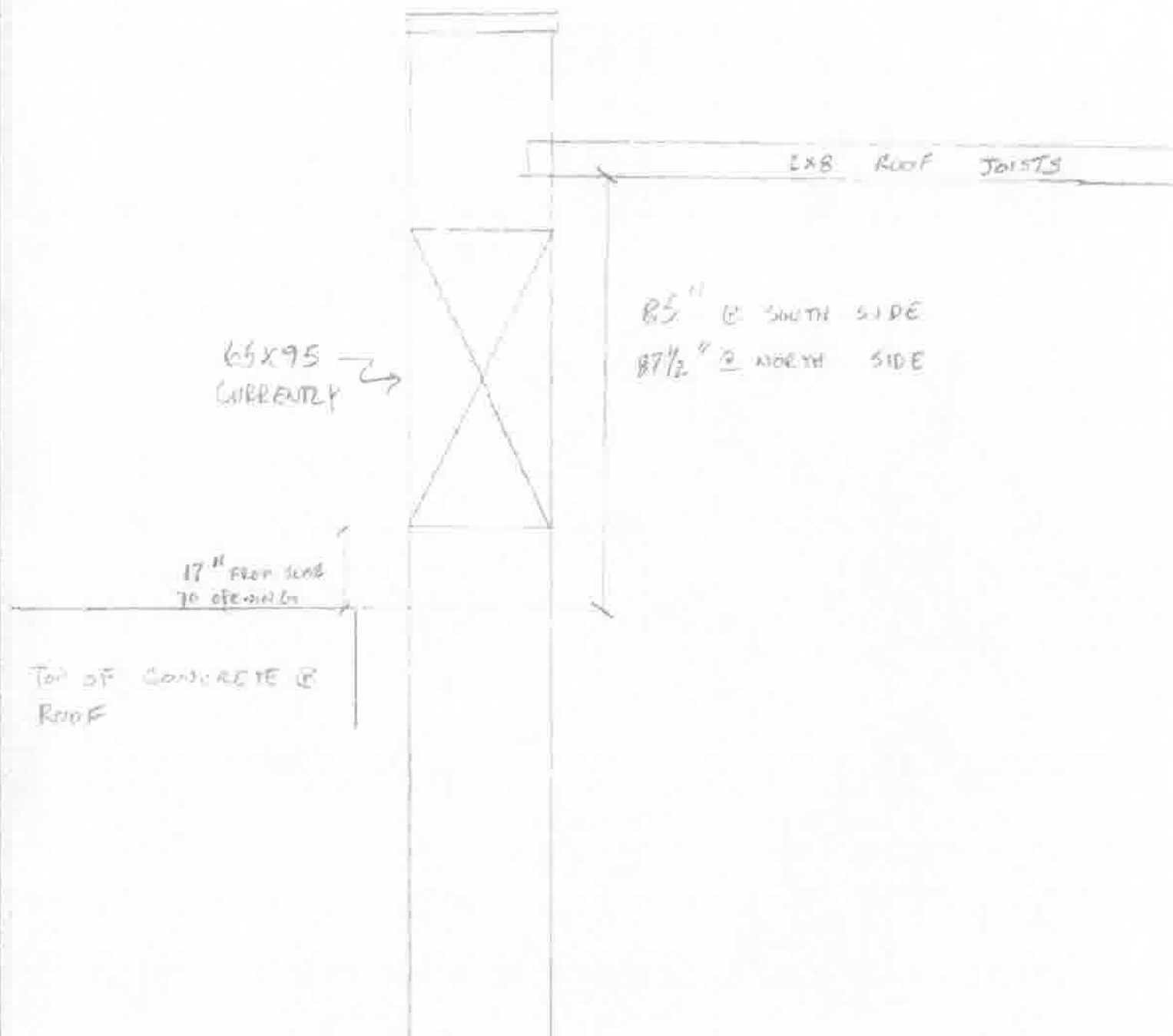
Date Answered: 4/15/2014

4/22/2014 FCI Constructors, Inc - Brady Blackmer

Reference the attached sketches provided by Lindauer-Dunn for the structural fixes required for these supply and return duct openings. Also attached is a sketch provided by AirTech and approved by Shawn Brill for revisions to the return duct size and transitions at this brick wall. This return duct is being revised to have a transition from 48" x 88" to 108" x 50" at the exterior side of this wall, route through the wall, and transition from 108" x 50" back to 90" x 60". No change to the supply duct is needed.

RFI-260 BACKUP

DUCT OPENING AT RETURN SIDE



B.4

Proposed revised duct
size/transitions - see approved duct
transition drawing below.

ADDITIONAL
120x48 TO 90x60
TRANSITION

REVISED
120x48 TO 48x88
TRANSITION

AHU-1 WAS
MOVED FROM ORIGINAL
LOCATION PER FCI & 2H

32"x28"

AHU-1

90"x60"

120"x48"

48"x88"

SA-2-R

4'-2"

4'-5 $\frac{15}{16}$ "

10'

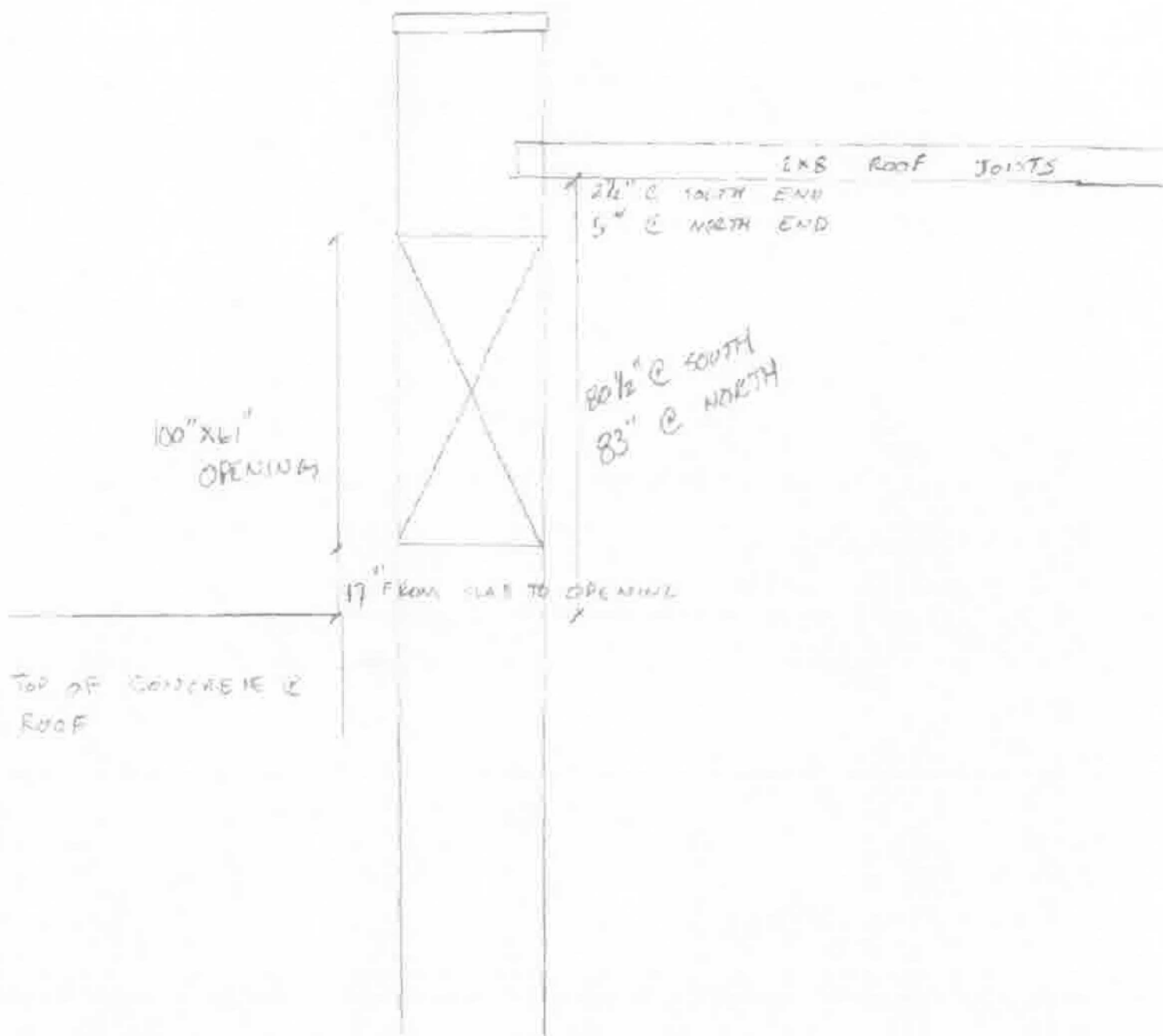
9'-3 $\frac{1}{2}$ "

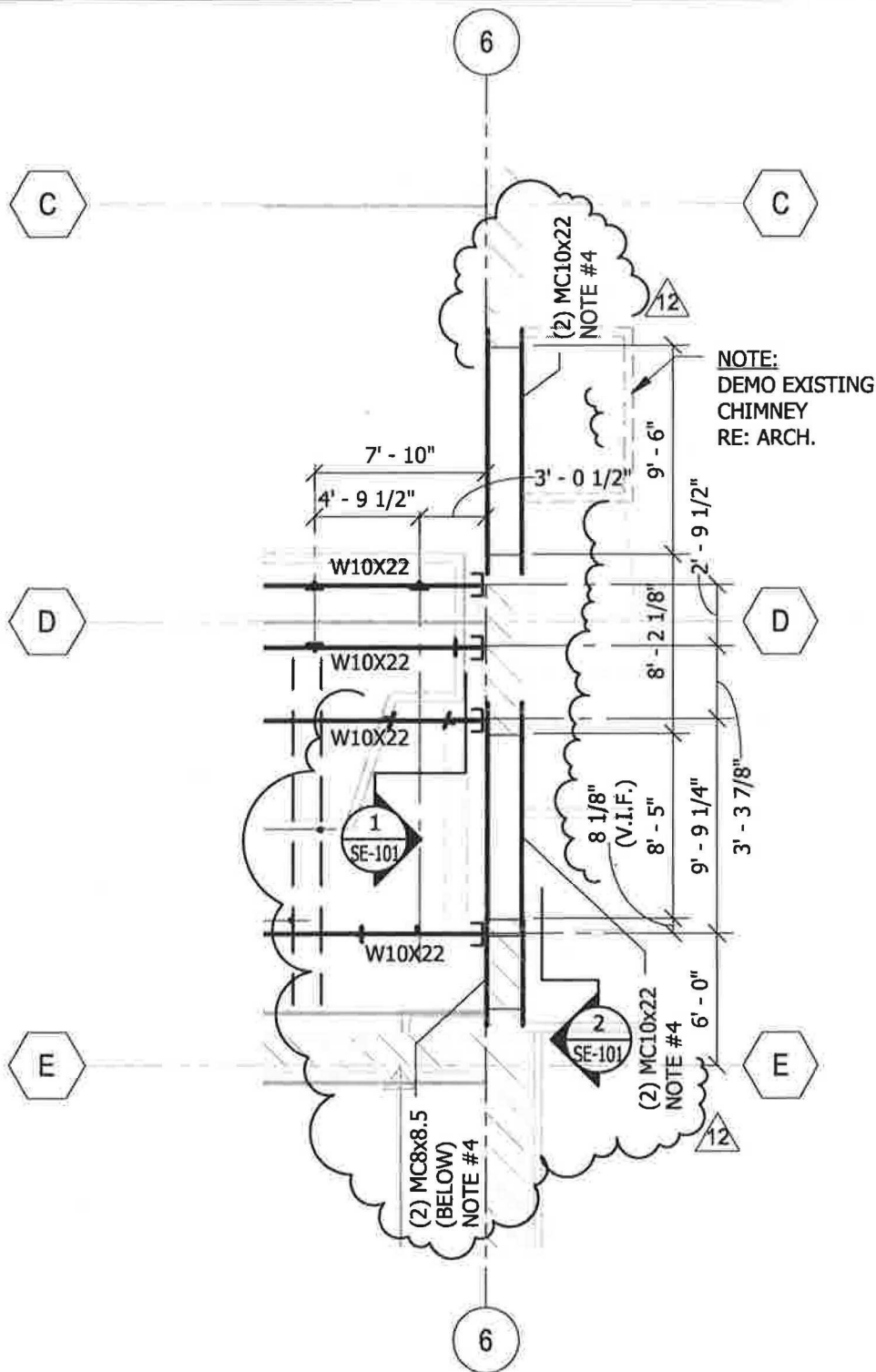
100"x60"

1'-4"

2"

DUCT OPENING AT SUPPLY SIDE





ROOF FRAMING PLAN

1/8" = 1'-0"

RFI #260

Avalon Theatre
Addition and Renovation
Grand Junction, Colorado

FOR: Westlake Reed Leskosky

Roof Framing Revision

Project number	12.055
Date	04/15/14
Drawn by	JDG
Checked by	FNR

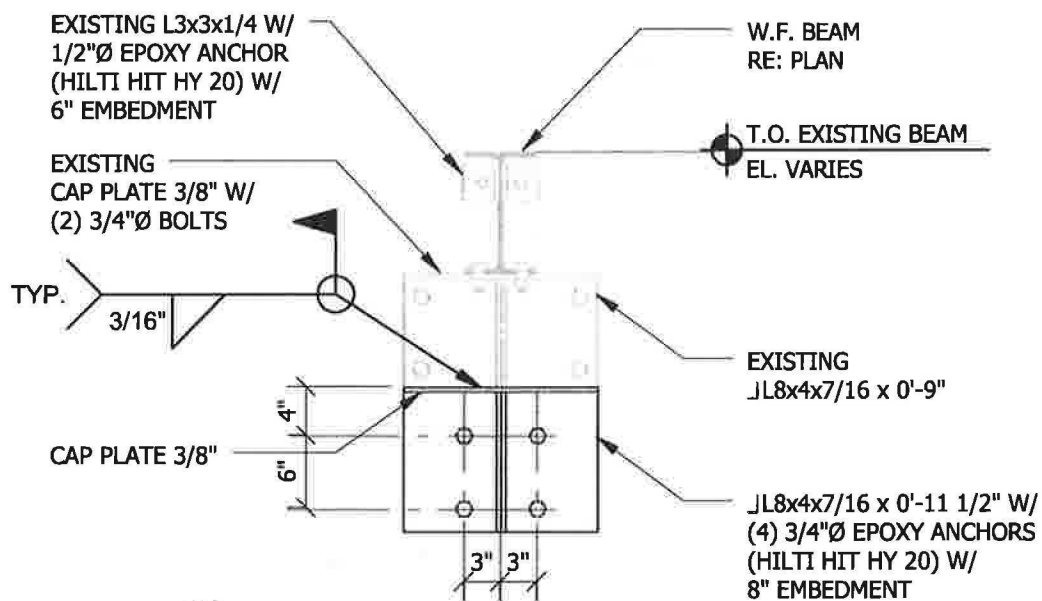
S(SE-103)SK-5

Scale 1/8" = 1'-0"



Lindauer-Dunn, Inc.
STRUCTURAL ENGINEERS

802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com



SECTION 1 **3/4" = 1'-0"**

SE-101

12

RFI #260

Avalon Theatre
Addition and Renovation
Grand Junction, Colorado

FOR: Westlake Reed Leskosky

Section Addition

Project number 12.055

Date 04/15/14

Drawn by JDG

Checked by FNR

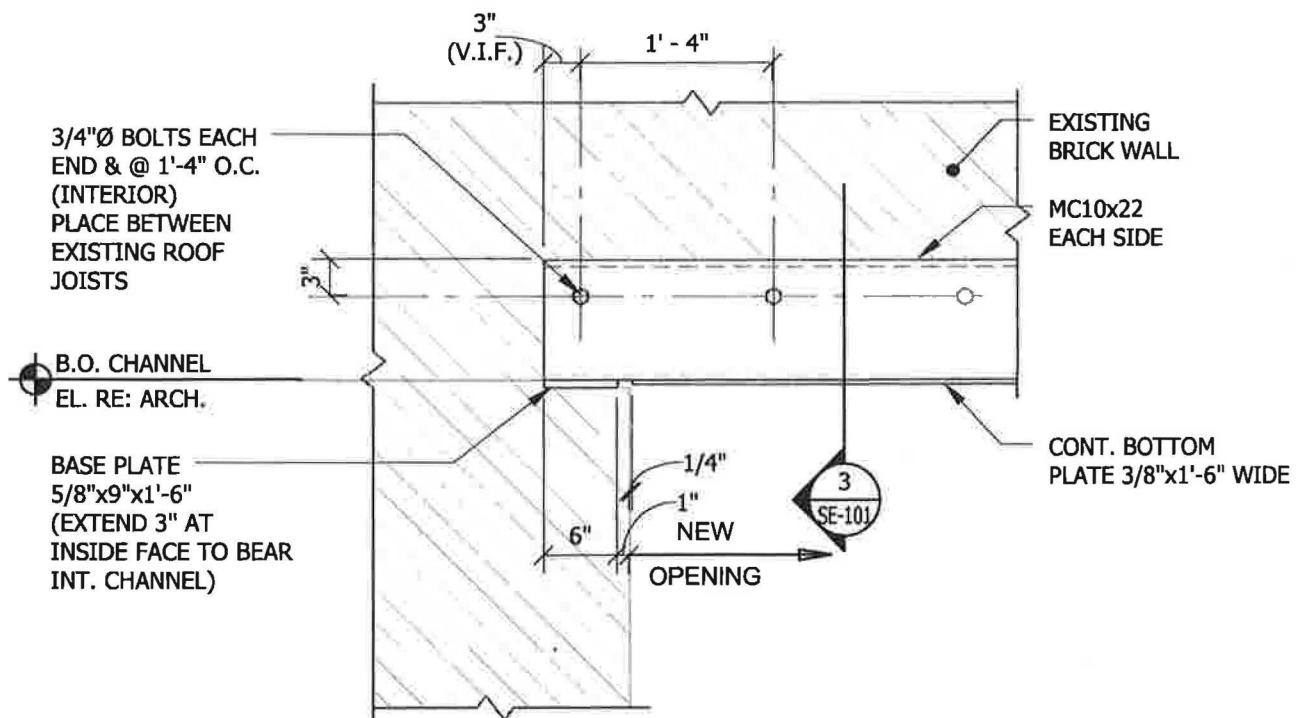
S(SE-101)SK-3

Scale 3/4" = 1'-0"



Lindauer-Dunn, Inc.
STRUCTURAL ENGINEERS

802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com



SECTION 2 3/4"=1'-0"

SE-101

12

RFI #260

Avalon Theatre
Addition and Renovation
Grand Junction, Colorado

FOR: Westlake Reed Leskosky

Section Addition

Project number 12.055

Date 04/15/14

Drawn by JDG

Checked by FNR

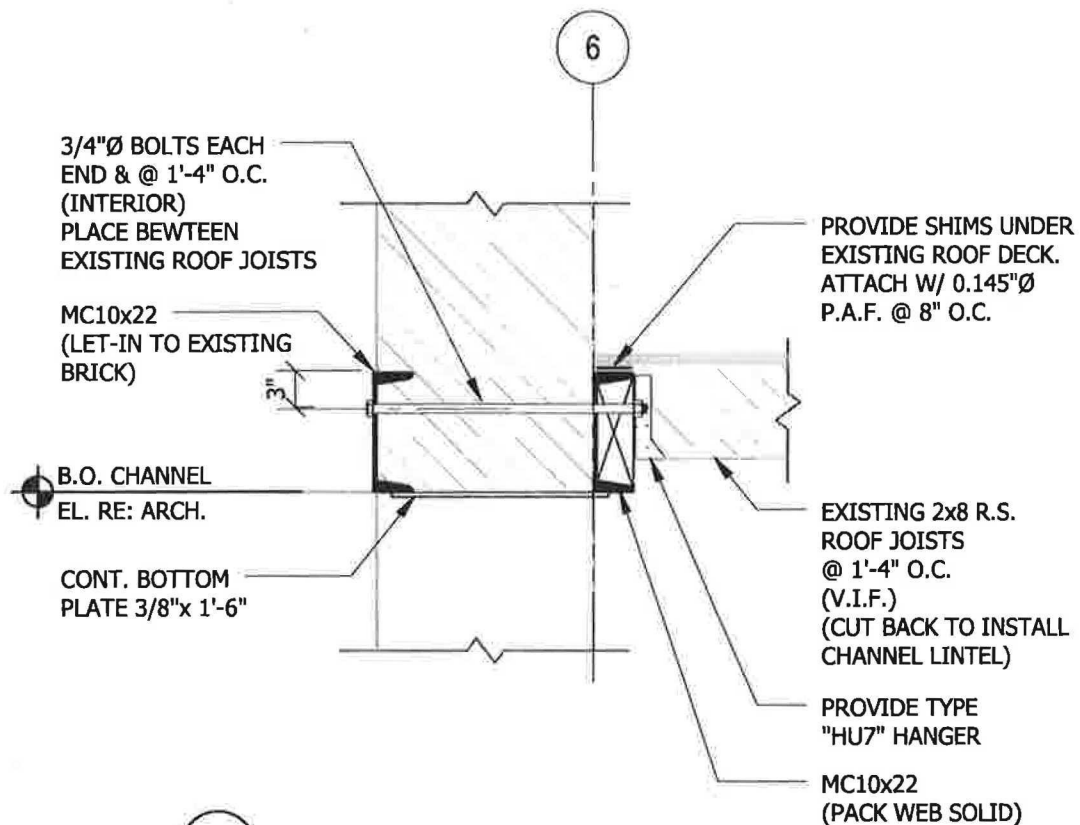
S(SE-101)SK-4

Scale 3/4" = 1'-0"



Lindauer & Dunn, Inc.
STRUCTURAL ENGINEERS

802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com



SECTION

3

3/4"=1'-0"

SE-101

12

RFI #260

Avalon Theatre
Addition and Renovation
Grand Junction, Colorado

FOR: Westlake Reed Leskosky

Section Addition

Project number	12.055
Date	04/15/14
Drawn by	JDG
Checked by	FNR

S(SE-101)SK-5

Scale 3/4" = 1'-0"



Lindauer & Dunn, Inc.
STRUCTURAL ENGINEERS

802 Rood Avenue
Grand Junction, CO 81501
PHONE: 970-241-0900
FAX: 970-243-2430
www.lindauerdunn.com

B.4

Approved return duct transition drawing

***REVISIONS AS PER BIGHORN
AND AIRTECH ON 4/11/14**

***DUCT SIZES ARE INSIDE
AIRWAY DIMENSIONS**

**ADDITIONAL
108x50 TO 90x60
TRANSITION**

**BRICK OPENING
TO BE 114x54**

**REVISED
108x50 TO 48x88
TRANSITION**

**AHU-1 WAS
MOVED FROM ORIGINAL
LOCATION PER FCI & 2H**

32"x28"

AHU-1

SA-2-R

90"x60"

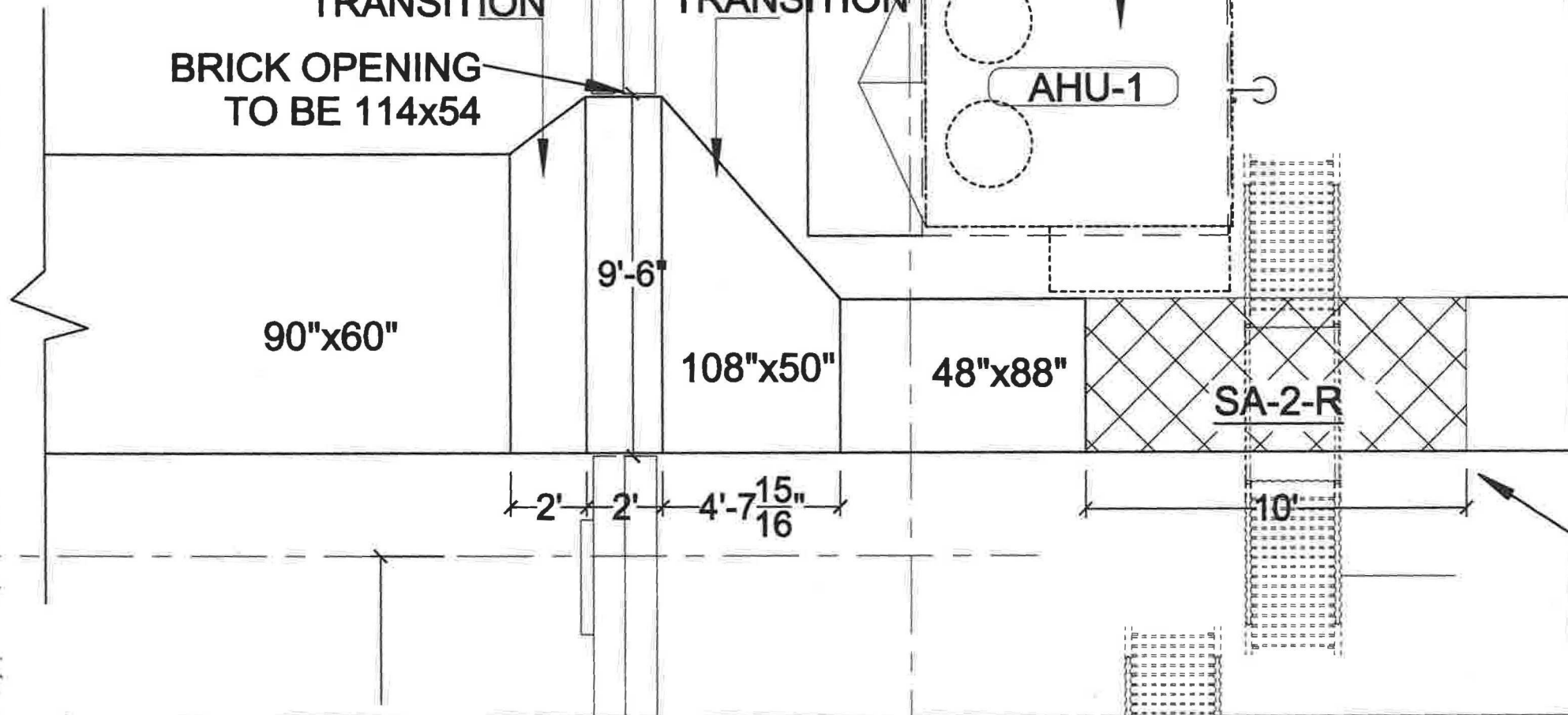
9'-6"

108"x50"

48"x88"

10'

2' 2' 4'-7¹⁵/₁₆"



Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/29/2014

Concrete Ramp & Hand Rails at Door 212 Per RFI-268

FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-268, attached pricing quote	

Notes

This COR developed for cost changes associated with RFI-268. Due to elevation differences between the Mezzanine Level at the renovation side of the project and the Mezzanine Level at the addition, a ramp and area of elevated concrete is to be installed to the east of door 212. Scopes of work added per this change include the following:

- 1.) FCI labor to bush down the concrete slab at the toe of this new ramp to allow the toe of the ramp to be a minimum of 1" thick.
- 2.) Form and pour new ramp and area of elevated concrete.
- 3.) Fabrication, installation, and painting of added steel hand rails.
- 4.) Install additional piece of wood trim at the side of this ramp. Per phone conversation between Eric Rosling (Osburn) and Brady Blackmer (FCI), there is no additional costs associated with this added trim piece.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$560.00
Description of Work: FCI Constructors: Labor to bush down concrete slab at toe of ramp and grout in hand rail at the north side of the ramp - 16 manhours x \$35/hour = \$560.		
M & M Concrete Construction, Inc.		\$855.00
Description of Work: All changes to M&M Concrete's scope of work as revised per RFI-268. This includes labor and forming materials to form, pour, and finish the added concrete ramp at Mezzanine Level of the Avalon addition.		
FCI Constructors, Inc. - GJ		\$400.00
Description of Work: FCI Constructors: Concrete material (includes short load charge) and wire mesh material.		
FCI Constructors, Inc. - GJ		\$200.00
Description of Work: FCI Constructors: Core drill for steel handrails at the north side of the ramp.		
Rocky Mountain Steel, Inc.		\$1,370.00
Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-268. This includes field measuring, fabrication and installation of steel hand rails for the concrete ramp added at the Mezzanine Level of the addition. The hand rail at the south side of the ramp is to be bolted to the wall. The hand rail at the north side of the ramp is to be core-drilled and grouted into place. Core drilling and grouting by FCI.		
RJ's Painting LLC		\$250.00
Description of Work: All changes to RJ's Painting's scope of work as revised per RFI-268. This includes painting of added steel hand rails at the new ramp at the Mezzanine Level of the addition.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$15.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$26.00

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



COR Report
Detailed, Grouped by Each Number


Description of Work: Payment/Performance Bond

FCI Constructors, Inc. - GJ	\$221.00
Description of Work: Fee	

FCI Constructors, Inc. - GJ	\$0.00
Description of Work: Force Account	

Requested Days: 0

Total Change: \$3,900.00

Approval: 

Date: 

Proposal

Bill To
FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502

Job Address
Avalon Theater C/O RFI 268 Light weight

Date: 5/28/2014

Customer Fax

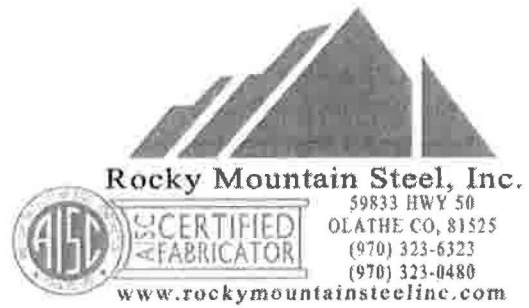
Customer Phone

970-434-7583

970-434-9093

***ACCEPTANCE OF TERMS & CONDITIONS**
The prices, specifications, terms & conditions are satisfactory & are hereby accepted. Price is subject to change according to materials, change orders, and weather changes. If legal action is used, customer is liable for costs of collection, including attorney fees.
Signature: _____ Date: _____

Total	\$855.00
--------------	-----------------



5/5/2014

*FCI Constructors
3070 I 70 Business Loop
Grand Junction, CO. 81502*

RE: RFI #268

We propose to provide the above listed project for:

Supply & Install - \$1,370.00

This offering includes the following:

Field Measure

Install

One Shop Coat Standard Primer

This offering excludes the following:

Engineering

Coring

Grout

Finish Paint

A handwritten signature in dark ink, appearing to read 'Randy Zlomke', is positioned above the printed name.

*Randy Zlomke
Project Manager
Rocky Mountain Steel, Inc.*

59833 Hwy. 50	P.O. Box 486	Olathe, CO 81425
Phone (970) 323-6323		Fax (970) 323-0480

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 268

Date Created: 4/14/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Author RFI Number

Subject	Discipline	Category
Elevation of Mezzanine Level (New vs. Existing), Plus Location of Door 212	Architectural	Field Conditions

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 4/21/2014

1.) Drawing AE-103 calls-out the elevation of the Mezzanine Level at the existing side of the building (west side of door 212) as 12'-11 1/4" to match the elevation of the new Mezzanine Level at the addition side (east side of door 212). However, the elevation of the existing Mezzanine Level is actually roughly 13'-4 1/4" (5" higher than the Mezzanine Level at the addition. Based on conversations between Rich Sourbrine (WRL) and Brian Young it is FCI's understanding that WRL is going to provide a sketch on means of bridging these two elevations (i.e. ramping of the new addition side up to the 13'-4 1/4" elevation). Please provide this information.

2.) FCI has laid out the location of door 212 and the wall of Storage Room 218. With the south jam of door 212 as tight as possible to the existing framed/gyp. wall at the Mezzanine Lobby (renovation side - wall can be seen on drawing AE-103), the north jamb of door 212 protrudes into Storage Room 218 by roughly 5". Please advise if it is acceptable to shift the south wall of Storage Room 218 5"-6" to the north to avoid this conflict.

Suggestion

Answer

Date Answered: 4/29/2014

[4/29/2014 Westlake Reed Lekosky - Richard Sourbrine]

1.) See attached sketch. Provide 2" lightweight concrete topping slab w/ 6x6xW2.0 WWR o/ high density foam o/ 4" slab already installed. Provide "raised" topping slab west of GL 7 throughout this area, including Storage 218. Provide single wood handrail similar to railings throughout addition - wall mtd at south wall and floor mtd. at north side of ramp.

2.) It is acceptable to shift the south wall of Storage 218 as proposed.

4/30/2014 FCI Constructors, Inc. - Brady Blackmer

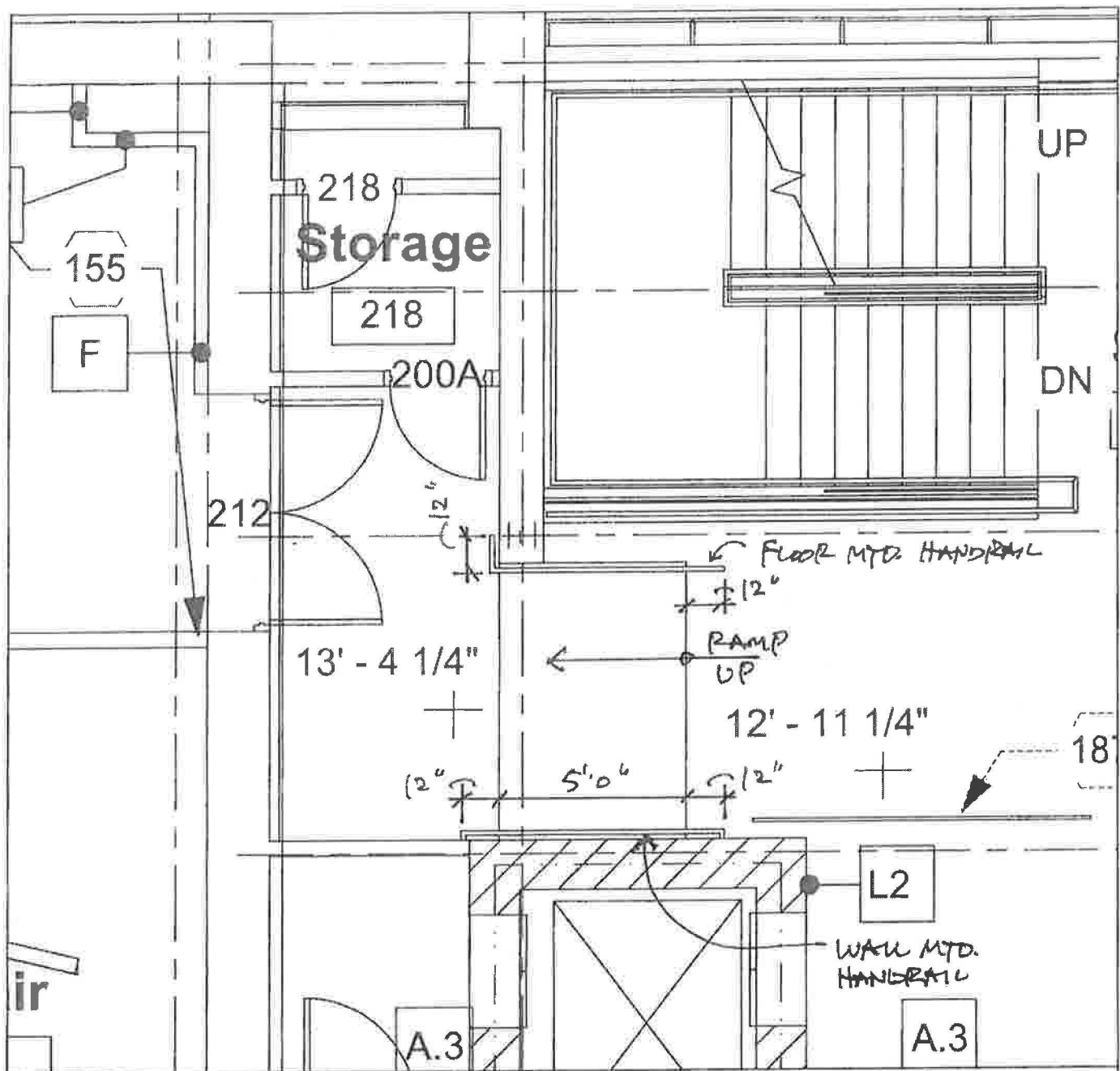
Per the attached email from Rich Sourbrine (WRL):

- The triangle wedge created by this ramp (north side of the ramp) is to be covered with a 3/4" thick piece of wood base trim milled to match the slope of the ramp.
- It is acceptable for the hand rails at this ramp to be painted steel handrails to match the other painted steel hand rails in



Request for Information 268
Detailed, RFIs Grouped by RFI Number

the building, in lieu of wood hand rails.



1 RAMP AT MEZZ LEVEL

1/4" = 1'-0"

Avalon Theater
Addition and Renovation

Commission #12036.00

Westlake Reed Leskosky

One East Camelback
Suite 690
Phoenix, Arizona 85012
602.212.0451

Request for Information
RFI-268

Date
04/29/14

Ref. Drawing No.
AE-103

Sketch No.
SK/A-1

Brady Blackmer

From: Richard Sourbrine <rsour@WRLdesign.com>
Sent: Tuesday, April 29, 2014 3:36 PM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young; Pat Hutchison
Subject: RE: RFI Collaboration - RFI-268

See below ...

Richard Sourbrine | AIA, GGP | Associate Principal
Project Director

Westlake
Reed
Leskosky

From: Brady Blackmer [mailto:BBlackmer@fciol.com]
Sent: Tuesday, April 29, 2014 11:39 AM
To: Richard Sourbrine
Cc: Stan Kiser; Brian Young; PatHutchison
Subject: FW: RFI Collaboration - RFI-268

Rich,

Couple of questions on this RFI response:

- 1.) How do you want to finish the triangle wedge created by this ramp (north side of ramp)? The flooring is carpet tile, we are guessing that carpet tile would not be a durable option for this vertical area. **[Rich] provide ¾" wood base milled to match the slope and installed along the north edge.**
- 2.) No issues with the wood handrail at the south side of the ramp, but a floor mounted wood handrail at the north side of the ramp will require floor flanges and stainless steel connector pieces, plus an intermediate connector piece/vertical (not sure if a 1-1/4" wood hand rail can span 5'-0" unsupported). What would you think about doing steel hand rails at both the north and south side of this ramp? The rail at the south could bolt to the wall and the rail to the north could core/grout into the slab and could probably span the 5'-0"+. **[Rich] painted steel handrails that match the handrails running down the main corridors/ramps would be acceptable.**

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: converge@fciol.com [mailto:converge@fciol.com]
Sent: Tuesday, April 29, 2014 12:06 PM

To: Brady Blackmer
Subject: RFI Collaboration



RFI Action Required

The following RFI has been created and is pending your action.



To view additional details about this RFI, you may open the attached PDF.



To view the full RFI form in the Prolog Converge Web Client, [click here](#).

Project: Avalon Theatre, Phase 1 Addition & Remodel

RFI Number: 268

RFI Subject: Elevation of Mezzanine Level (New vs. Existing), Plus Location of Door 212

RFI Question:

1.) Drawing AE-103 calls-out the elevation of the Mezzanine Level at the existing side of the building (west side of door 212) as 12'-11 1/4" to match the elevation of the new Mezzanine Level at the addition side (east side of door 212). However, the elevation of the existing Mezzanine Level is actually roughly 13'-4 1/4" (5" higher than the Mezzanine Level at the addition. Based on conversations between Rich Sourbrine (WRL) and Brian Young it is FCI's understanding that WRL is going to provide a sketch on means of bridging these two elevations (i.e. ramping of the new addition side up to the 13'-4 1/4" elevation). Please provide this information.

2.) FCI has laid out the location of door 212 and the wall of Storage Room 218. With the south jam of door 212 as tight as possible to the existing framed/gyp. wall at the Mezzanine Lobby (renovation side - wall can be seen on drawing AE-103), the north jamb of door 212 protrudes into Storage Room 218 by roughly 5". Please advise if it is acceptable to shift the south wall of Storage Room 218 5"-6" to the north to avoid this conflict.

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

5/28/2014 Added 3" Conduits for LV/IT to Concessions Per RFI-283 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-283, attached pricing quote	

Notes

This COR developed for additional costs associated with RFI-283. At the request of the COGJ at the 4/24/14 OAC Meeting, (1) 4" conduit is to be installed from each concessions stand 104 and 202 back to the cable tray located at the back-of-house corridors (Corridors 125 and 216 respectively). This conduit is for the City's low volt and IT systems.

REVISION: As approved by Richard White (COGJ) on 5/1/14, it is acceptable to revise these conduits to 3", in lieu of the previously requested 4".

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$1,750.00
Description of Work: All changes to EC Electric's scope of work as revised per RFI-283. This includes the installation of (1) 3" conduit is to be installed from each concessions stand 104 and 202 (total of 2 conduit runs) back to the cable tray located at the back-of-house corridors (Corridors 125 and 216 respectively). This conduit is for the City's low volt and IT systems.		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$7.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$12.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$106.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$1,877.00

Approval: 

Date: 5/30/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Date: 5/28/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: Brady Blackmer

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No. RFI #283

Change Order Proposal No. EC-28

REVISED

We hereby propose to modify our original proposal / contract for the following change to our scope:

Per RFI #283, add 3" conduit from 1st and 2nd level Concession Areas to the cable tray on west side
This is for conduit only.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 644.52
			\$ -
			\$ -
			\$ -
Lot	Shipping		\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
	Hours Labor - Foreman	\$ 53.00	\$ -
19.71	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 946.08
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 159.06
			\$ -
			\$ 1,749.66

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

One Thousand Seven Hundred Fifty----- Dollars \$ 1,750.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: -----

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 1,750.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 1,750.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Pinyon Dr. GRAND JUNCTION, CO 81505 Phone: (970)241-3302 FAX: (970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX: (970)748-0935

E-MAIL: info@ec-electric.com

Avalon - RFI #283
 Job Number: 388
 Extension By Phase

Item #	Description	Quantity	Price	U	Ext Price	Labor Hr	U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---								
1017	3" EMT	140	292.20	C	409.08	5.75	C	8.05
1344	3" EMT Elbow	2	2,519.64	C	50.39	0.60	E	1.20
1443	3" Set Screw Steel Conn	4	5.04	E	20.16	0.23	E	0.92
1563	3" Set Screw Steel Cplg	16	468.44	C	74.95	0.15	E	2.40
1605	3" Plastic Bushing	4	555.24	C	22.21	0.05	E	0.20
2362	3" Conduit Hanger w/Bolt	18	159.55	C	27.92	15.00	C	2.63
2552	3/8" Hex Nut	35	53.12	C	18.59	0.20	C	0.07
2556	Flange Beam Clamp for 3/8" Thrd Rod	18	83.69	C	14.65	10.00	C	1.75
--- 01 Raceway, Fittings & Boxes Total ---					637.95			17.22
--- 07 Misc ---								
2550	3/8" All Thread	35	16.35	C	5.72	6.29	C	2.20
3107	1/8" Poly Pull Line	147	5.80	M	0.85	2.00	M	0.29
--- 07 Misc Total ---					6.57			2.49
Job Total					644.52			19.71

RFI #283
 EC-REVISED

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 283 **Date Created: 4/30/2014**

Answer Company	Answered By	Author Company	Authored By
FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number

Subject	Discipline	Category
IT/Low Volt Conduits to Concessions 104 & 202	Electrical	Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 5/7/2014**

As discussed at the 4/24/14 OAC Meeting by Hank with Rocky Mountain Data, (1) 4" conduit needs to be routed from each of the concession stands at both the 1st floor (Concessions 104) and Mezzanine Level (Concessions 202) back to the cable tray located at the "back of house" corridors (Corridor 125 at the 1st Floor and Corridor 216 at the Mezzanine Level) for low volt/IT systems. FCI is proceeding with this direction.

This RFI is for documentation only. No response is required.

Suggestion

Answer **Date Answered: 4/24/2014**

This RFI is for documentation only. No response is required.

Per discussion on 5/1/14 with Richard White, in an effort to save money, it is acceptable for these conduits to be 3" in lieu of 4".

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

5/28/2014 Electrical Receptacles at Terrace Roof Level Per RFI-279 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-279, attached pricing quote	

Notes

This COR developed for additional costs associated with RFI-279. As documented in RFI-279, based on direction given by the owner, (1) 220V/60A circuit and (1) 120V/20A circuit and receptacles are to be installed at the south wall of the Terrace Roof.

Note: per the attached COR from EC Electric, the 3/4" conduit per plans will not work for the 60A circuit. Thus, EC Electric's pricing for this change includes revising the 3/4" conduit for this circuit to a 1" conduit back to panel RP6.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$1,897.00
Description of Work: All changes to EC Electric's scope of work as revised per RFI-279. This includes the installation of (1) 220V/60A circuit and (1) 120V/20A circuit and receptacles at the south wall of the Terrace Roof.		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$8.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$13.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$115.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$2,035.00

Approval: 

Date: 5/30/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



Date: 5/28/2014

Change Order Proposal

TO:

RE:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

AVALON Remodel

Attn: Brady Blackmer

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No. RFI #279

Change Order Proposal No. EC-30

We hereby propose to modify our original proposal / contract for the following change to our scope:

Provide a 60A circuit and receptacle at the terrace level. We can not use the 3/4" conduits because they are too small. Includes a new 1" conduit run back to panel RP6.

Also, include a new 20A circuit and double duplex GFI receptacles at the terrace level.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 628.74
			\$ -
			\$ -
			\$ -
1	Core Drill		\$ 75.00
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
2.00	Hours Labor - Foreman	\$ 53.00	\$ 106.00
19.06	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 914.88
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 172.46
			\$ -
			\$ 1,897.08

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

One Thousand Eight Hundred Ninety-Seven----- Dollars \$ 1,897.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 1,897.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 1,897.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.

You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Pinon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Avalon RFI #279
 Job Number: 393
 Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1011	3/4" EMT	100	34.64 C	34.64	4.53 C	4.53
1012	1" EMT	100	60.44 C	60.44	4.75 C	4.75
1437	3/4" Set Screw Steel Conn	4	157.13 C	6.29	0.06 E	0.24
1438	1" Set Screw Steel Conn	4	220.00 C	8.80	0.07 E	0.28
1557	3/4" Set Screw Steel Cplg	10	29.68 C	2.97	0.06 E	0.60
1558	1" Set Screw Steel Cplg	10	53.50 C	5.35	0.07 E	0.70
2302	3/4" Metal Stud Conduit Clip	13	111.68 C	13.96	4.25 C	0.53
2303	1" Metal Stud Conduit Clip	13	112.73 C	14.09	5.00 C	0.63
2621	2G FSC Box-1/2" Hubs	1	28.36 E	28.36	0.33 E	0.33
2623	2G FSC Box-1" Hubs	1	40.13 E	40.13	0.37 E	0.37
--- 01 Raceway, Fittings & Boxes Total ---				215.03		12.96
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	315	131.93 M	41.56	5.50 M	1.73
2791	#10 THHN CU Stranded Wire	105	243.09 M	25.52	6.00 M	0.63
2793	#6 THHN CU Stranded Wire	336	591.60 M	198.78	7.00 M	2.35
--- 02 Wire & Cable Total ---				265.86		4.71
--- 03 Distribution ---						
3976	60A 2P 120/240V Bolt-On Circuit Breaker	1	42.29 E	42.29	0.40 E	0.40
--- 03 Distribution Total ---				42.29		0.40
--- 05 Wiring Device & Covers ---						
4518	20A/125V Spec Grade GFI Dup Rcpt (5-20R)	2	12.22 E	24.44	0.19 E	0.38
4618	60A 125/250V 3P4W Sgl Rcpt (14-60R)	1	47.70 E	47.70	0.25 E	0.25
4778	2G WP In Use Cover w/Lockable Hasp	2	16.52 E	33.04	0.13 E	0.26
8261	Grndscr&Bare Plgtail	1	100.89 M	0.10	1.20 C	0.01
--- 05 Wiring Device & Covers Total ---				105.28		0.90
--- 07 Misc ---						
6839	Red Wirenuts	3	69.98 M	0.21	1.75 C	0.05
8918	6X1/4" Pan Head Tapping Screw	4	1.76 C	0.07	0.01 E	0.04
--- 07 Misc Total ---				0.28		0.09
Job Total				628.74		19.06

RFI #279

EC-30

Brady Blackmer

From: Lee Cooper <leec@ci.grandjct.co.us>
Sent: Wednesday, April 23, 2014 8:52 AM
To: Brady Blackmer; Brian Young; Pat Hutchison; Stan Kiser
Cc: Stuart Taylor; rsour@WRLdesign.com
Subject: Avalon 220 V - 50 Amp Receptacle
Attachments: 001.JPG; 002.JPG; 003.JPG

As mentioned last week the City is interested in having a 220 V - 50 Amp receptacle added to the terrace level. Attached are some photos that were taken of the 220 Volt receptacle that's at Two Rivers Convention Center and this would be the style we need installed on the terrace so electrical gear can be brought over from Two Rivers.

Construction drawing EP-104 shows four 3/4" conduits stubbed through the north wall of the multi-purpose room (south wall of terrace) for future use. In order to make the terrace level operational, I'd like to see about getting one of these conduits to be the 220 V - 50 Amp receptacle and having one conduit for a 2-outlet 120 V- 20 Amp receptacle. This would leave us with two empty conduits that the City could complete in the future.

We have a meeting this Thursday before the OAC to discuss this more.

Thanks,
Lee

Lee Cooper, P.E.
Project Engineer
City of Grand Junction
Department of Public Works & Planning
Office Phone: (970) 256-4155
Cell Phone: (970) 589-4985
Fax: (970) 256-4022

>>> Sarah Kennedy 4/22/2014 3:00 PM >>>

Hi Lee,

Here are the pictures of the 50 amp 220 volt plug with the female/male end of a spyder, that Stuart would like in the Hospitality Suite on the roof top terrace.

Please let us know if there is anything else you need.

Sarah Kennedy

Two River Convention Center
159 Main St
Grand Junction, CO 81501
970-263-5700





COR-191

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
 645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

5/21/2014 **RFI-239R1: Additional Steel for Brick Pilaster at New Double-Doors 11** **FCI Pricing**

Category	Reference	PCCO Number
FORCE ACCT	RFI-239R1, attached pricing quote from RMS	

Notes

This COR developed for additional costs associated with RFI-239R1, plus additional costs associated with the infill of existing brick at the south side of door 112C.

Per RFI-239R1, after the existing gyp. wall was demoed at the south side of opening 112C, it was determined that the brick wall at the south side of this opening was not substantial enough to support the south end of the opening lintel (steel lintel design revised per RFI-239). Per direction from Frank Rinaldi (Lindauer-Dunn), and additional C12 steel member has been drilled and epoxied to this wall to better carry this opening lintel. Further, Frank also directed that a large inset area in the brick wall south of this opening be infilled with CMU.

FCI has proceeded with both of these revisions.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc.		\$870.00
Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-239R1. This includes additional materials and labor to install a C12 steel member to further support the south side of the lintel for opening 112C.		
FCI Constructors, Inc. - GJ		\$801.00
Description of Work: Infill existing inset area at the south side of this opening with CMU, includes labor and materials (CMU was fully grouted).		
FCI Constructors, Inc. - GJ		\$500.00
Description of Work: FCI supply and installation (14 man hours) of all-thread, nuts, and washers for bolting of C12 steel member.		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$9.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$15.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$132.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
 Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
 The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

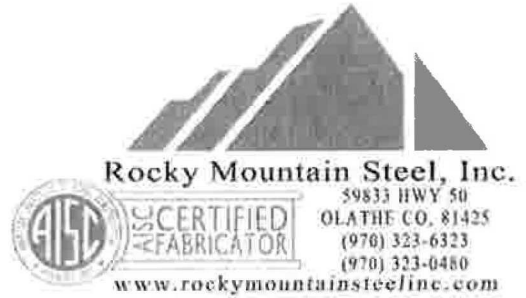
Total Change: \$2,329.00

Approval: _____

Date: _____



This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 40

*FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502*

Ref. RFI 239R1

Date: May 7, 2014

MATERIAL	\$ 195.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 675.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 870.00

*The above Change Order Request is for the material and labor required per RFI#239R1. RMS provided the field labor @ 4 hrs ea., channel and epoxy. FCI provided the all thread, nuts & washers.
Please issue a Change Order to our contract so we may proceed with this work.*

*Randy Zlomke
Project Manager*

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480



Request for Information 239R1

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 239R1

Date Created: 5/7/2014

Answer Company	Answered By	Author Company	Authored By
Lindauer-Dunn, Inc. 802 Rood Avenue Grand Junction, CO 81501	Frank Rinaldi	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Brady Blackmer

Author RFI Number

Subject	Discipline	Category
Existing Brick Pilaster at New Double-Doors 112C - REVISION #1	Architectural/Structural	Field Conditions

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 5/14/2014

There is an existing single door at the east side of Lobby 119. With the build-out of the Avalon addition per PR-005 and PR-006, this single door gets removed, existing brick demoed, new steel lintels set, and a new double-door 112C is installed. Upon further review by FCI, and as reviewed during the site walk after the 3/27/14 OAC Meeting, it appears that there is a brick pilaster at the south jamb of this existing single door that appears to carry an existing steel truss above. FCI is needing direction on how this opening is to be cut into the wall without jeopardizing the existing structure. Further, the brick bump-outs at the interior side of this wall (at the brick pilaster). It is unclear how these lintels (currently two MC10x8.4 per SE-102) would even work with this bump-out. A resolution to this issue is a high priority. Please review this condition and advise.

REVISION #1 5/7/14: During the drywall/brick demo and steel support installation for this new opening, two unforeseen issues came up:

1.) The thickness of the existing brick wall at the south jamb of this new opening is not as thick as thought (new lintel hangs over the edge of the brick). After reviewing this condition in the field, Frank Rinaldi (Lindauer-Dunn) has provided the attached sketch of a C12 member (same size as the lintels) that is to be drilled and epoxied to the brick wall (west side of wall) to further support the steel lintel at the south jamb of this opening. FCI has proceeded with the installation of this additional steel per this sketch.

2.) After demolition of the drywall along the south wall adjacent to this opening, a large inset area was discovered at the existing brick wall. Per direction from Frank Rinaldi, this inset area has been infilled with CMU (reference the attached picture).

This revision to RFI-239 is for documentation only. No response is required.

Suggestion



Request for Information 239R1
Detailed, RFIs Grouped by RFI Number

Answer

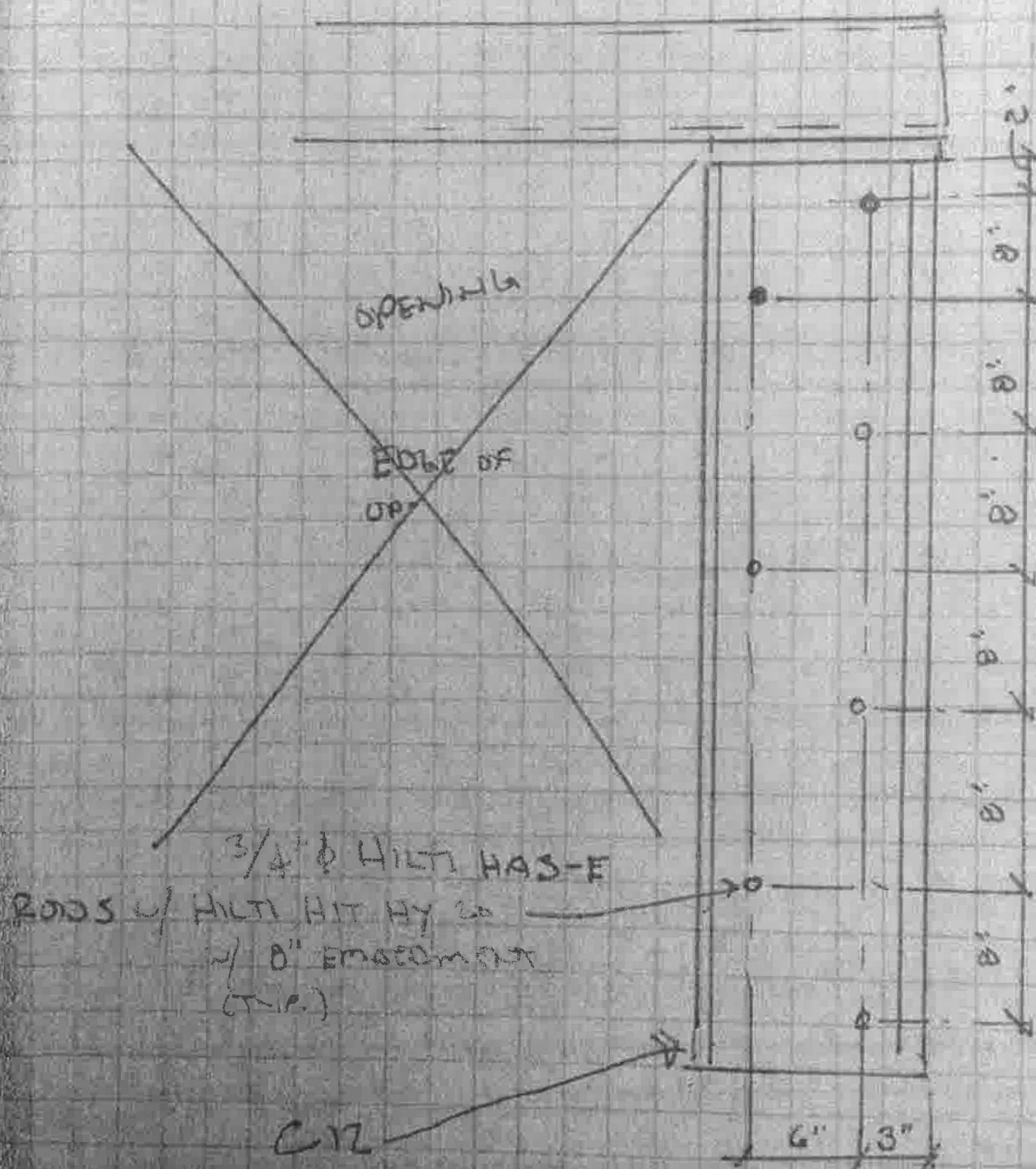
Date Answered: 5/2/2014

[4/7/2014 Chamberlin Architects, Inc. - Adam Bellamy]
Please see attached sketches from Lindauer Dunn.

5/7/14 FCI Constructors, Inc. - Brady Blackmer
This revision to RFI-239 is for documentation only. No response is required.

DATE _____

Sketch provided by Frank Rinaldi



Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 279 **Date Created: 4/23/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number

Subject	Discipline	Category
220V/50A, 120V/20A Circuit at Terrace Level	Electrical	Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 4/30/2014**

Per the attached email from Lee Cooper, (1) 220V/50A circuit and (1) 120V/20A circuit is wanted at the south wall of the Terrace Roof 301. Per Key Note #15 on EP-104, there are (4) 3/4" conduits stubbed through this south wall of the Terrace (north wall of the Multi-Purpose Room) for future electrical. One of these conduits is to be used for the 220V/50A circuit and one conduit used for the 120V/20A circuit. The other two conduits will be capped for future use. A NEMA receptacle as shown in the attached pictures (appear to be NEMA 14-50P, but electrical contractor to confirm) is to be installed for the 220V/50A circuit and a regular duplex receptacle is to be installed for the 120V/20A circuit. Both of these receptacles to have weatherproof enclosures.

Please advise on the on where these two circuits should be fed from.

Suggestion

Answer **Date Answered: 5/5/2014**

[5/5/2014 Westlake Reed Lekosky - Richard Sourbrine]
The photo provided shows a 60A, 125/250VAC, 3-pole, 4-wire straight blade, grounding receptacle (NEMA 14-60P). Service from RP-6 ckt 39, 41. Replace 20A single pole breakers with a 60A, 2-pole breaker. Provide an FS/FD backbox and weatherproof cover.

For the quad receptacle route to RP-6 ckt 37. Provide FS/FD backbox and weatherproof cover.

**AIA®****Document G701™ – 2001****Change Order****PROJECT** *(Name and address):*Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501**CHANGE ORDER NUMBER:** 030**DATE:** June 16, 2014**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** *(Name and address):*FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502**ARCHITECT'S PROJECT NUMBER:****CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:***(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)*

Original Force Account: \$200,000.00/Previously Approved: (\$142,579.13)

COR-158 - Added Section of C-Channel at North Elevation Per RFI-237

Deduct \$ 3,057.00

COR-196 - RFI-207R1: Steel Connection Revisions for Roof Framing (GL's B.4+7.6)

Deduct \$ 1,654.00

COR-197 - RFI-206 & Changes Made During Steel Shop Drawing Review

Deduct \$ 3,192.00

TOTAL**DEDUCT \$ 7,903.00**

Remaining Force Account \$49,517.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$160,326.08)

Remaining Contractors Contingency \$71,594.92

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ 1,764,745.70

The Contract Sum prior to this Change Order was

\$ 8,034,525.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 8,034,525.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.**

Westlake Reed Lekosky

ARCHITECT *(Firm name)*One East Camelback Road, Suite 690,
Phoenix, AZ 85012**ADDRESS****BY** *(Signature)*

Richard Sourbrine

(Typed name)

6-23-14

FCI Constructors, Inc.

CONTRACTOR *(Firm name)*

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS**BY** *(Signature)*

Stan Kiser

(Typed name)

City of Grand Junction

OWNER *(Firm name)*250 North 5th Street, Grand Junction, CO
81501**ADDRESS****BY** *(Signature)*

Jay Valentine

(Typed name)

6/19/14

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User Notes:

(811946328)

DATE

DATE

DATE

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/2/2014 Added Section of C-Channel at North Elevation Per RFI-237 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-237, attached pricing quote	
Notes		

This COR developed for additional costs associated with RFI-237. As documented in RFI-237, the c-channel fascia at the exterior elevations of the addition is also to return back to the building at the NW corner (c-channel returns back to the building at grid line 7). The structural drawings do not show this c-channel returning as required. This COR is for additional costs to fabricate, install, and paint this added steel fascia, plus plate tabs, and steel cap plate (reference revised detail through this fascia steel per RFI-134R2 for the assembly required).

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc.		\$2,500.00
Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-237. This includes the fabrication and installation of additional c-channel steel fascia to return to the building at the NW corner of the addition, plus associated steel plate support tabs, and steel cap plate pieces as required per details issued with RFI-134R2.		
FCI Constructors, Inc. - GJ		\$350.00
Description of Work: Additional painting of added steel c-channel, steel plate support tabs, and steel cap plate pieces for fascia pieces to return to the building at the NW corner of the addition.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$20.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$173.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$3,057.00

Approval: 

Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 33R1

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. RFI 237

Date: May 30, 2014

MATERIAL	\$ 161.00
SHOP LABOR.....	\$ 300.00
DETAILING	\$ 30.00
INSTALL	\$ 1829.00
FREIGHT.....	\$ 180.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 2,500.00

The above Change Order Request is for the supply and install of the additional channel fascia per this RFI.
Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manager

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 237

Date Created: 3/27/2014

Answer Company

Answered By

Author Company

Authored By

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Richard Sourbrine

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

Co-Respondent

Author RFI Number

Subject

Discipline

Category

C-Channel at North Elevation to Return to Building Architectural

Clarification

Cc: Company Name

Contact Name

Copies Notes

City of Grand Junction

Lee Cooper

1

Shanks Engineering, LLC

Jim Shanks

1

FCI Constructors, Inc. - GJ

Brian Young

1

FCI Constructors, Inc. - GJ

Pat Hutchison

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Question

Date Required: 4/3/2014

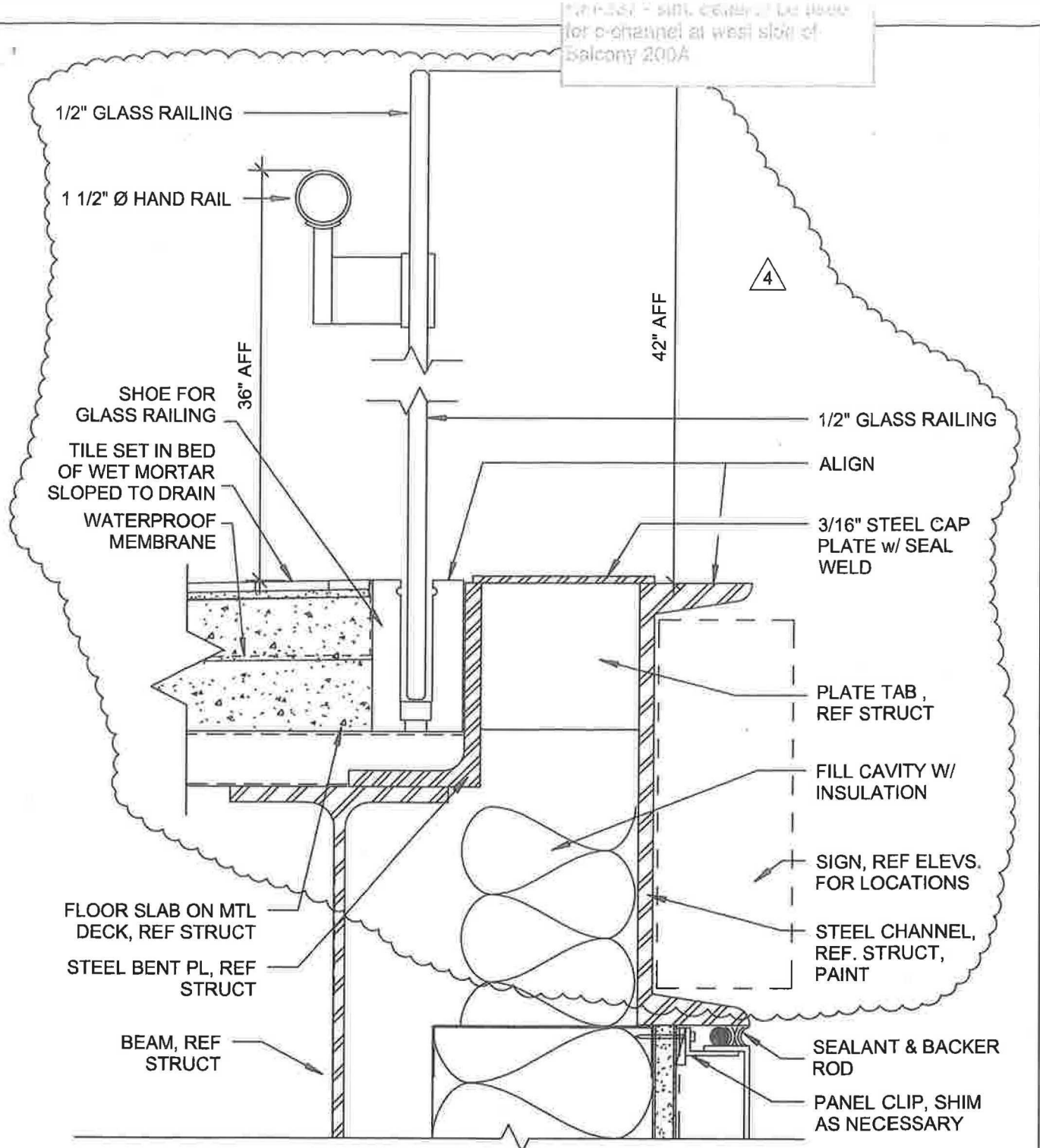
Structural drawing S-103 shows the extent of C12x20.7 channel as exposed at east and north elevations only. Structural drawing S-103 does not show this c-channel returning to the building at the NW corner of the addition (returning to the building along grid line 7). However, per phone conversation between Rich Sourbrine (WRL) and Brian Young (FCI), it is FCI's understanding that this c-channel does need to return to the building at the west side of Balcony 200A. This c-channel would attach to the W18x35 beam along grid line 7 per detail 3/S-513 and a steel cap to be incorporated to bridge from this added c-channel to the slab edge bent plate per detail 4/AE-512 provided with RFI-134R2 (attached). Finally, metal panels will butt to this c-channel at the entire bottom of channel, plus metal panels will butt at the top of the channel where the west side of the "wing wall" comes down (see attached elevation and details from the approved metal panel shop drawings). This c-channel would terminate at the face of curtain wall elevation 1a. Please confirm that this section of c-channel needs to be added and the assembly details described above are correct. This RFI is of high importance so a quick response is needed.

Suggestion

Answer

Date Answered: 3/28/2014

[3/28/2014 Westlake Reed Lekosky - Richard Sourbrine]
Confirmed.



4

GUARDRAIL AT MEZZ BALCONY

3" = 1'-0"

Avalon Theater
Addition and Renovation

Commission #12036.00

Westlake Reed Leskosky

One East Camelback
Suite 690
Phoenix, Arizona 85012
602.212.0451

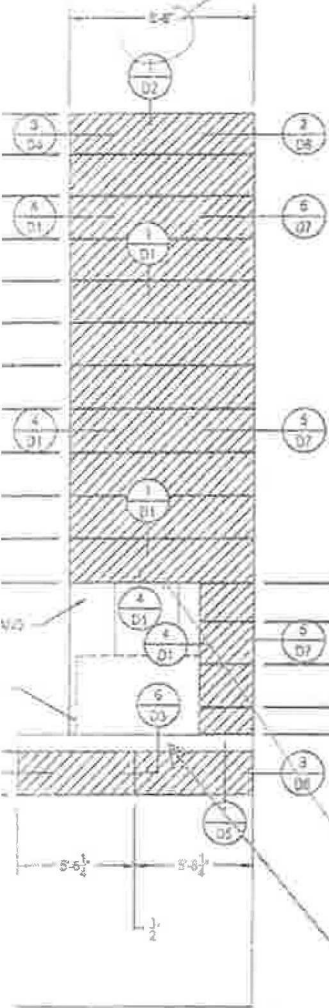
Request for Information
RFI-134R2

Date
12/11/13

Ref. Drawing No.
AE-512

Sketch No.
SK/A-1

GRAIN → *Verify w/ GC / confirm with location.*



NOTE:
1. PANEL JOINT LINES DO NOT ALIGN
WITH STOREFRONT MULLIONS.

PANEL COLORS

SILVER METALLIC

Metal panel scffit
by EWS

RFI-237 C-channel to wrap
west side of balcony and
die into building

1 @ ROOF

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/2/2014 RFI-207R1: Steel Connection Revisions for Roof Framing (GL's B.4+7.6) FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-207R1, attached pricing quote	
Notes		

This COR has been developed for cost changes associated with RFI-207R1.

Per the response to RFI-207R1, connection details were provided for (2) W8x10 beams at the roof level that bear on CMU at the NW corner of the Multi-Purpose Room (at grid line B.4+7.6). These connection details were not provided in the structural drawings. This COR is for the additional costs of the bolt-on plate required for this connection and additional erection labor.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc.		\$1,542.00
Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-207R1. This includes fabrication and erection costs due to clarification of the steel connection for roof level beams bearing at the NW corner of the Multi-Purpose Room (at GL's B.4+7.6).		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$94.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

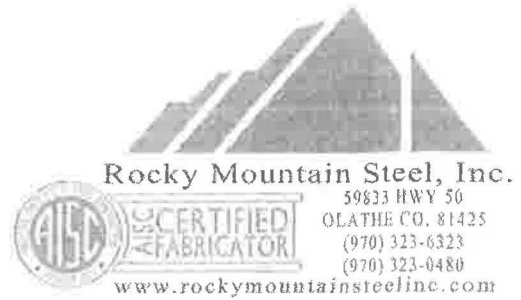
Total Change: \$1,654.00

Approval: 

Date: 6/3/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 28

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. RFI #207

Date: March 28, 2014

MATERIAL	\$ 190.00
SHOP LABOR.....	\$ 180.00
DETAILING	\$ 30.00
INSTALL	\$ 1,067.00
FREIGHT	\$ 75.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 1,542.00

The above Change Order Request is for the supply and install for RFI 207.
Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manager

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 207R1

Date Created: 2/13/2014

Answer Company

Answered By

Author Company

Authored By

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Tim Alvarez

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

Co-Respondent

Shawn Carr

Author RFI Number

Subject

Bearing of East End of W8 Beams at Roof (Along
GL B.4) - REVISION #1

Discipline

Structurals

Category

Clarification

Cc: Company Name

Contact Name

Copies

Notes

City of Grand Junction

Lee Cooper

1

FCI Constructors, Inc. - GJ

Brian Young

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Shanks Engineering, LLC

Jim Shanks

1

Question

Date Required: 2/20/2014

Reference the S-105 and the attached sketch.

Per S-105, it appears that the (2) W8x18 (TOS elevations 41'-5" and 38'-3 1/2") along grid line B.4, between grid lines 6.2 and 7.6 (also see the attached sketch) are to bear on the CMU wall at the northwest corner of the Multi-Purpose Room. However, no details are provided showing how these beams are to be supported at this CMU corner. Please provide these details. This RFI is of the highest priority.

REVISION #1 2/13/14

The CMU at the Multi-Purpose Room has been layed-up to full height. It would be very difficult to get the embed, block-out, and drag bars into this CMU as would be required to support these beams similar to detail 6/S-521 (as detailed in the structural engineer's response to RFI-207). FCI and Rocky Mountain Steel would prefer to utilize a bolt-on connection plate, similar to the attached sketches. Please review and advise.

Suggestion

Answer

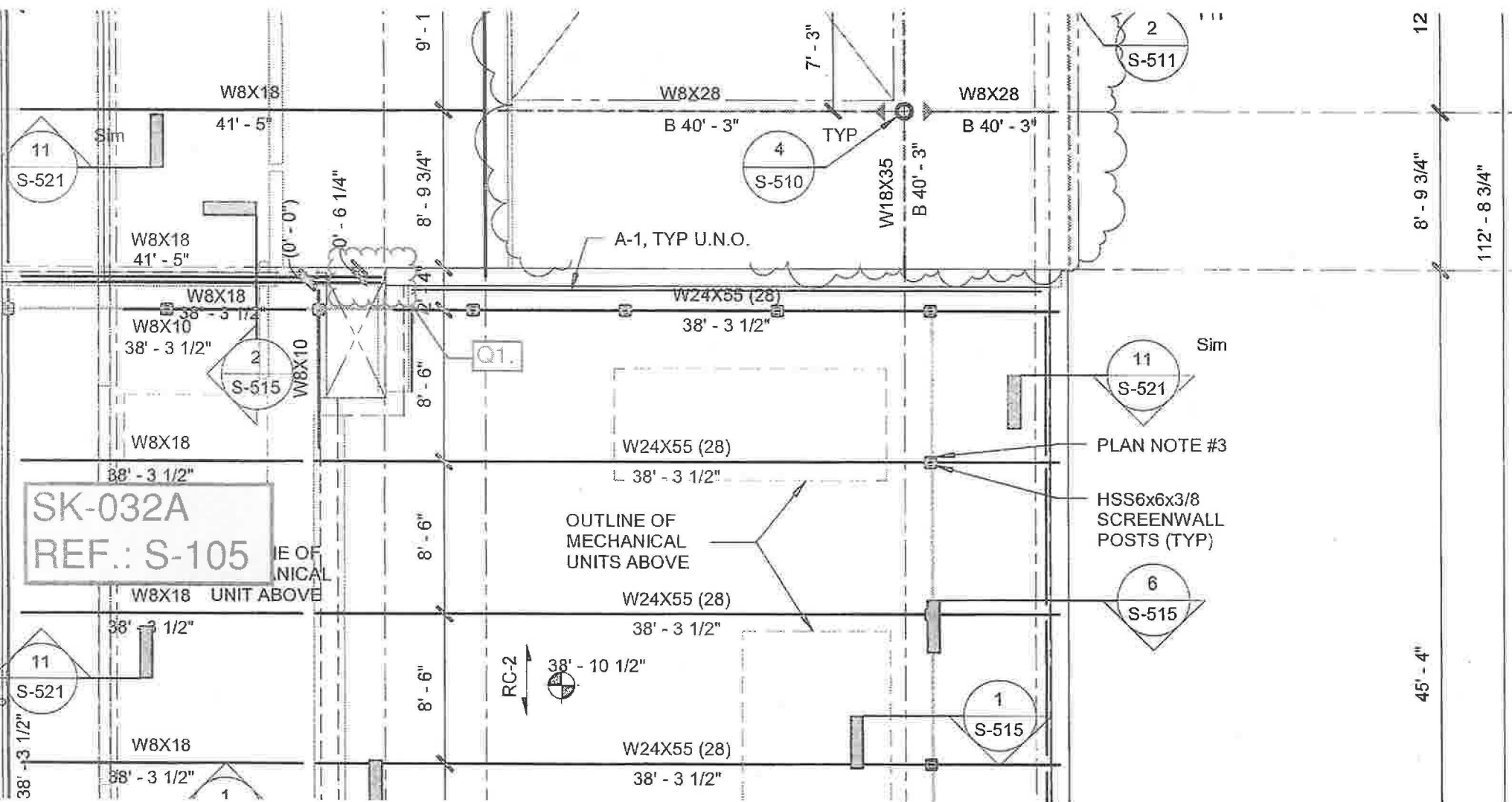
Date Answered: 2/26/2014

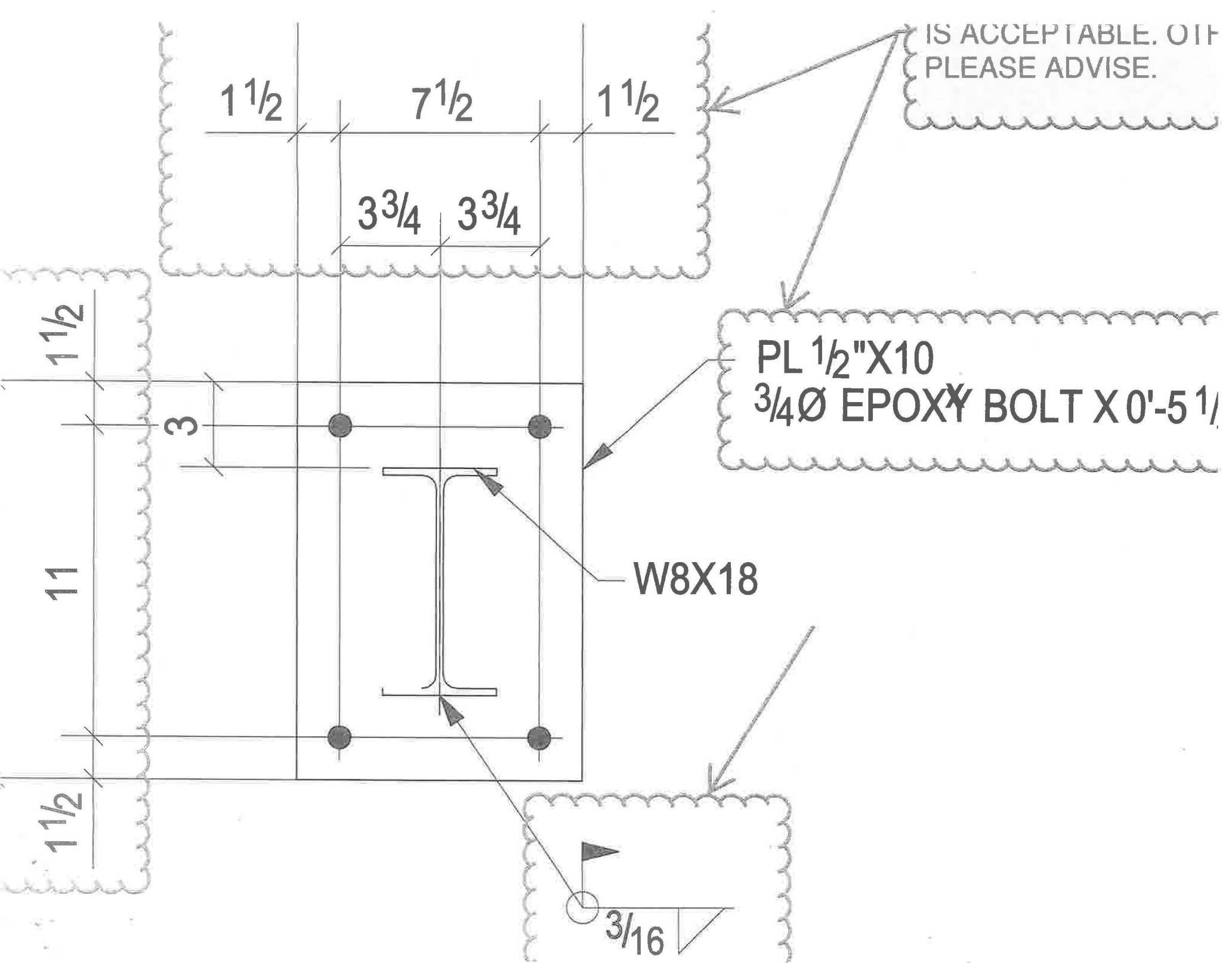
[2/11/2014 Westlake Reed Lekosky - Tim Alvarez]

Attach the W8x18 beams to CMU similar to detail 6/S-521 (similar since the W8x18's have no additional steel members framing into them), and per sheet E8 of the Structural Steel Shop Drawings.

[2/26/2014 Westlake Reed Lekosky - Tim Alvarez]

See attached for sketch SK/S-14 for framing of the W8x18 beams into the 12" CMU.





Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/2/2014 RFI-206 & Changes Made During Steel Shop Drawing Review FCI Pricing

Category	Reference	PCCO Number
----------	-----------	-------------

FORCE ACCT

Notes

This COR developed for additional costs associated with RFI-206 and revisions made to structural steel by the structural engineer during the shop drawing review process. Per mark-ups and associated revised details included in the returned structural steel shop drawings for the addition, the W8x10 beams shown to install at the north side of the elevator shaft at each floor (6 beams total) were deleted and replaced with continuous C8x13.75 beams. This COR is for the premium for this material and additional erection labor to install.

Itemized Details:

General Description	Quote Rec'd	Proposed
		\$2,975.00
Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-206 and all revisions made by the structural engineer on the returned shop drawings for the structural steel at the addition.		
		\$3.00
Description of Work: Builder's Risk Insurance		
		\$12.00
Description of Work: General Liability Insurance		
		\$21.00
Description of Work: Payment/Performance Bond		
		\$181.00
Description of Work: Fee		
		\$0.00
Description of Work: Force Account		

Requested Days: 0

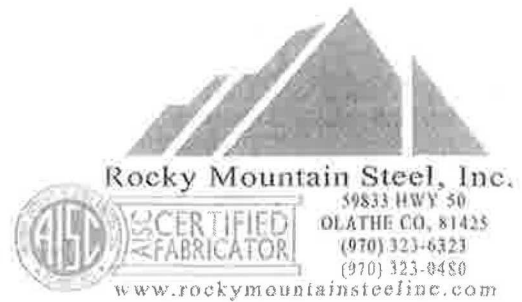
Total Change: \$3,192.00

Approval: 

Date: 6/1/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 36R1

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. RFI 206

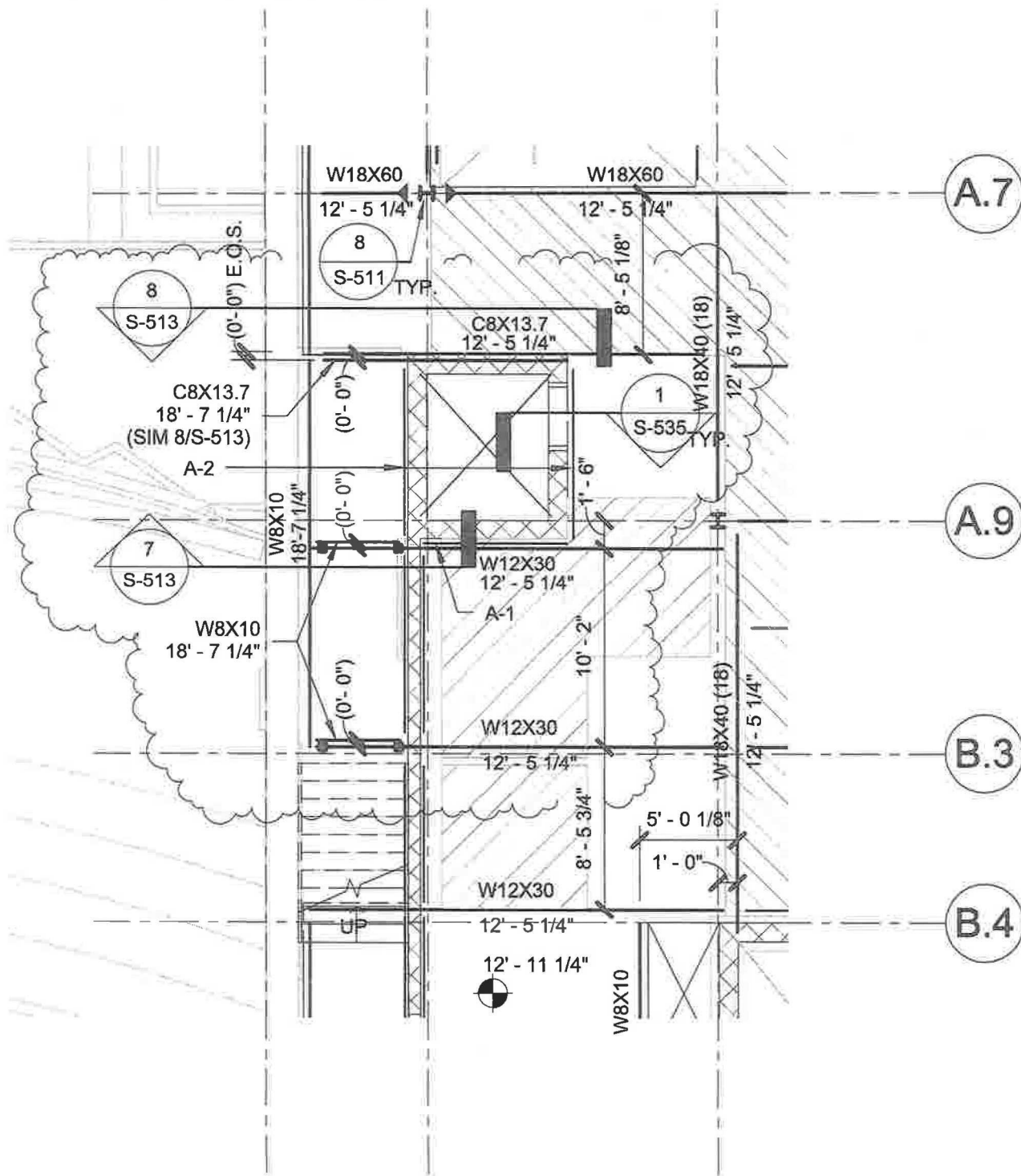
Date: May 30, 2014

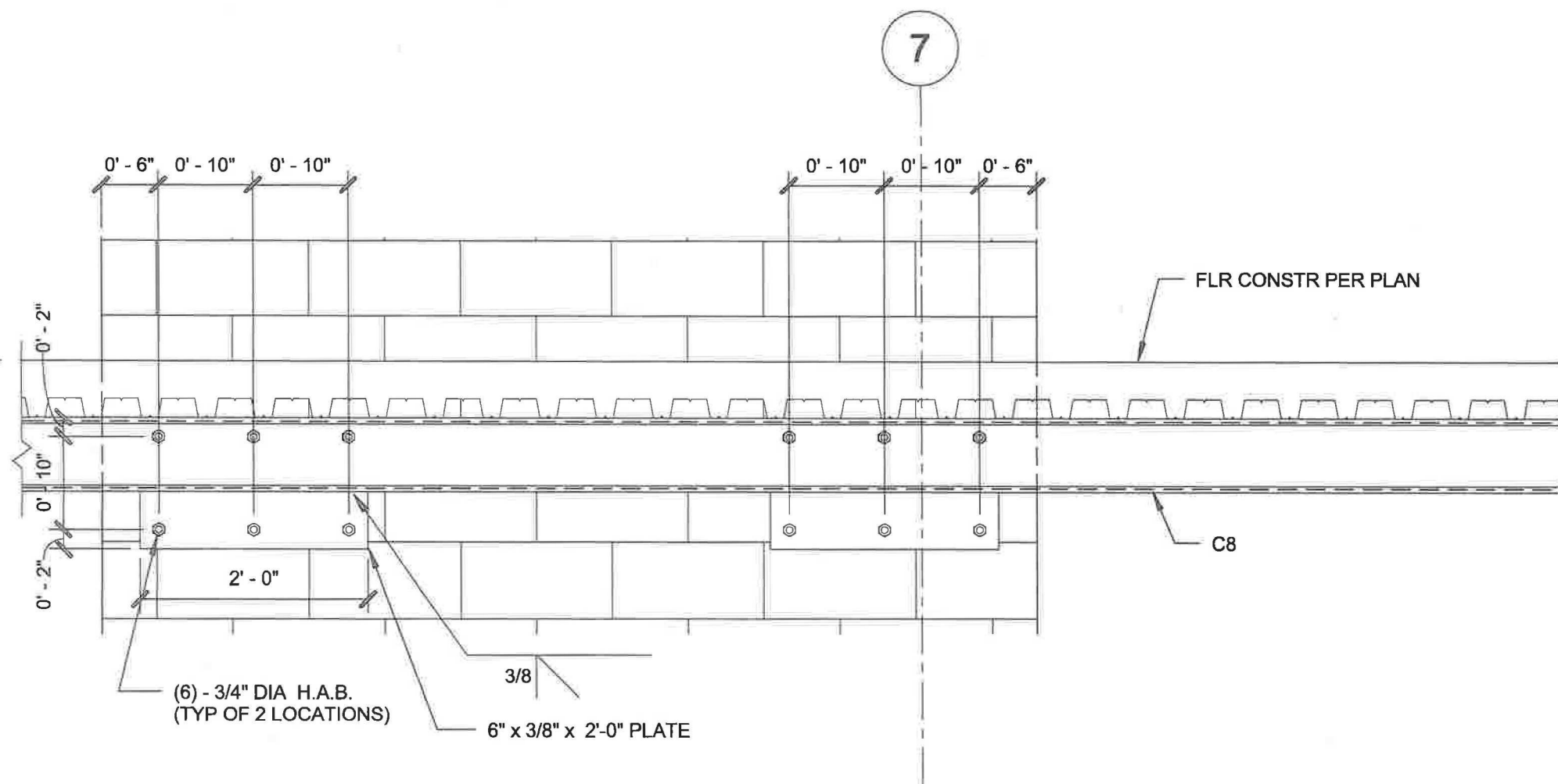
MATERIAL	\$ 602.00
SHOP LABOR.....	\$ 180.00
DETAILING	\$ 300.00
INSTALL	\$ 1,725.00
FREIGHT.	\$ 150.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 2,975.00

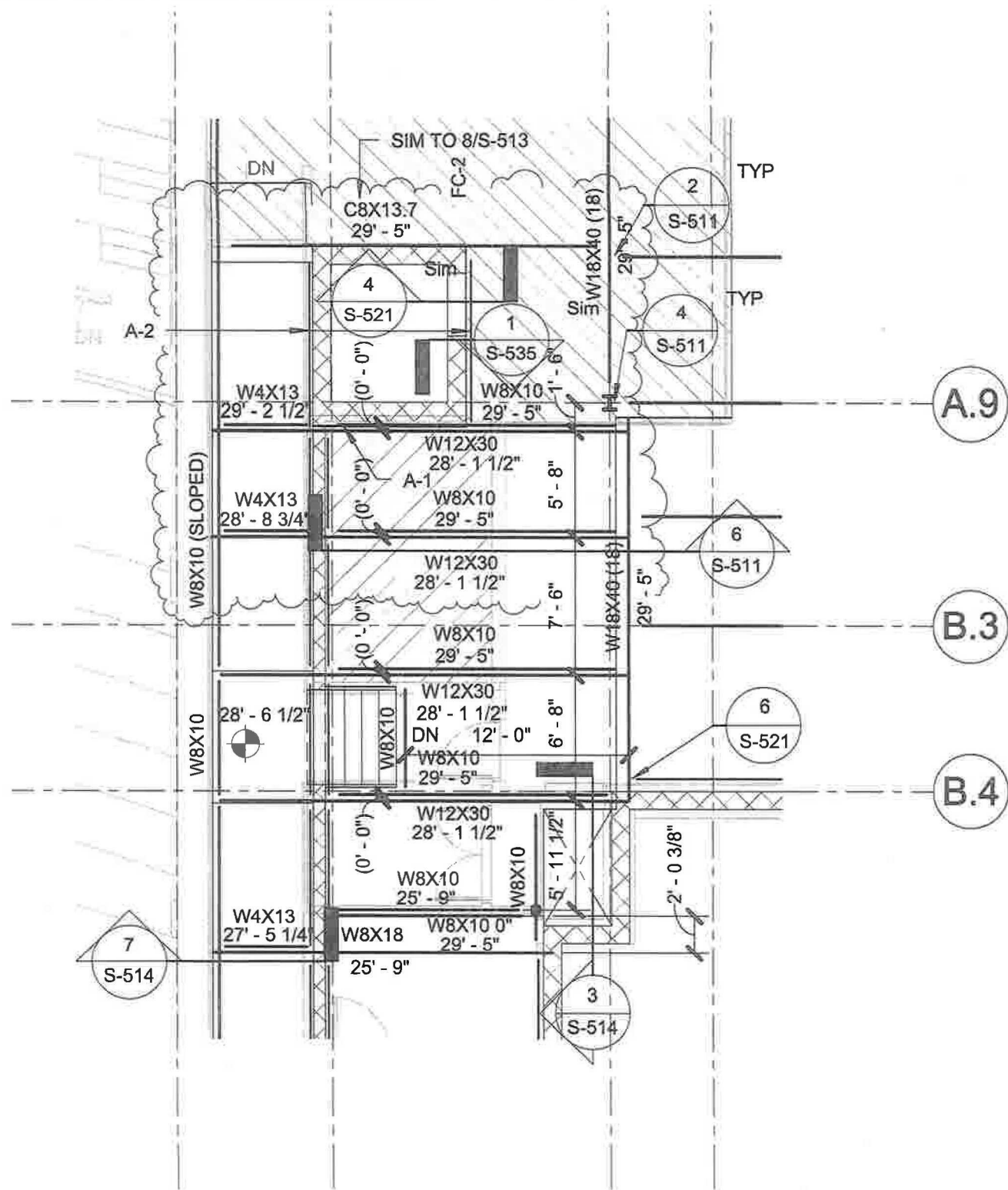
The above Change Order Request is for the material and labor for RFI #206.
Please issue a Change Order to our contract so we may proceed with this work.

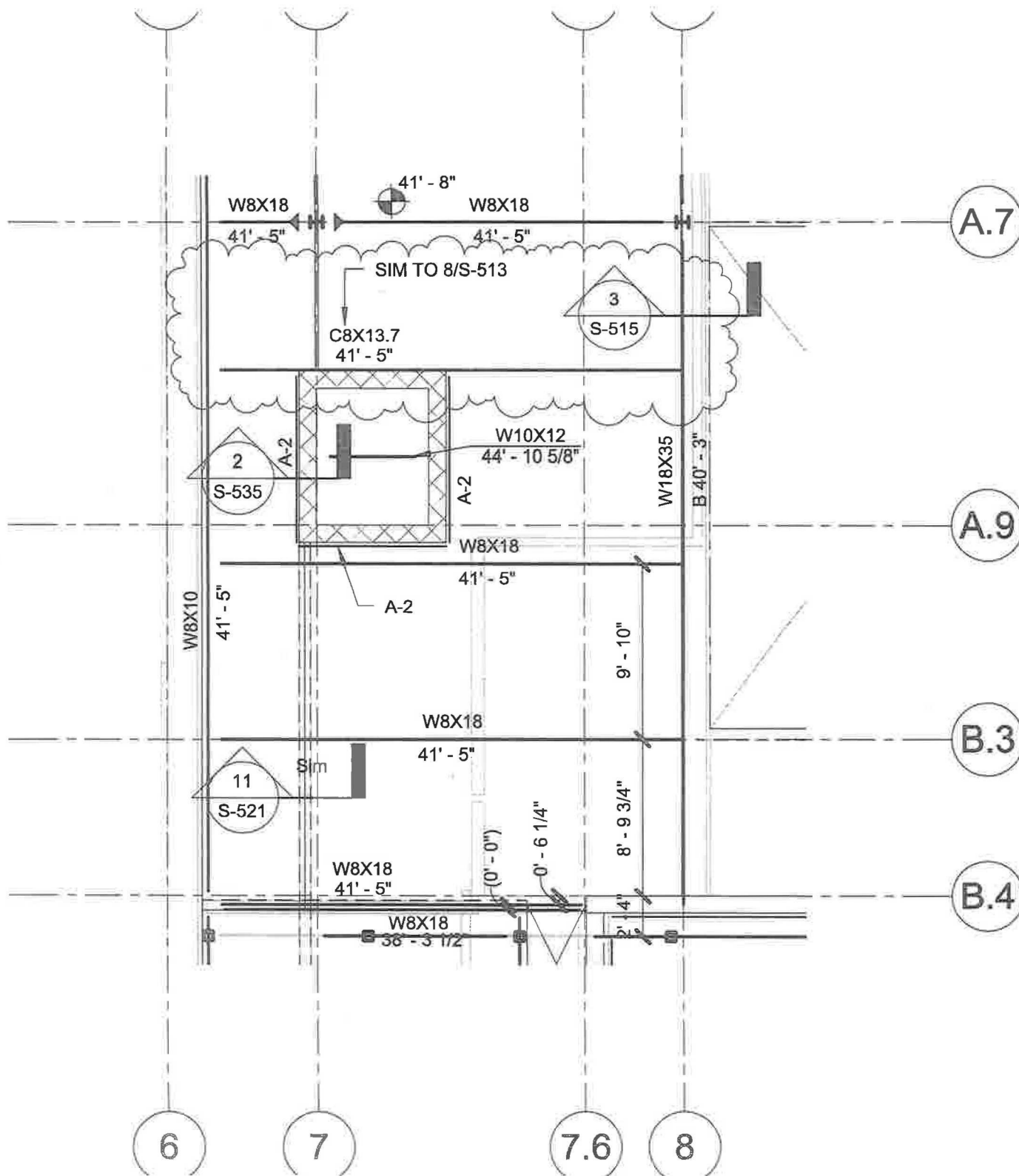
Randy Zlomke
Project Manager

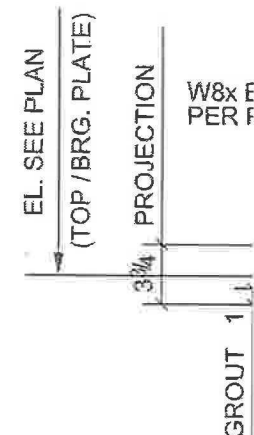
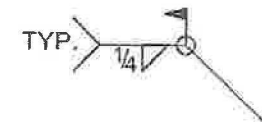
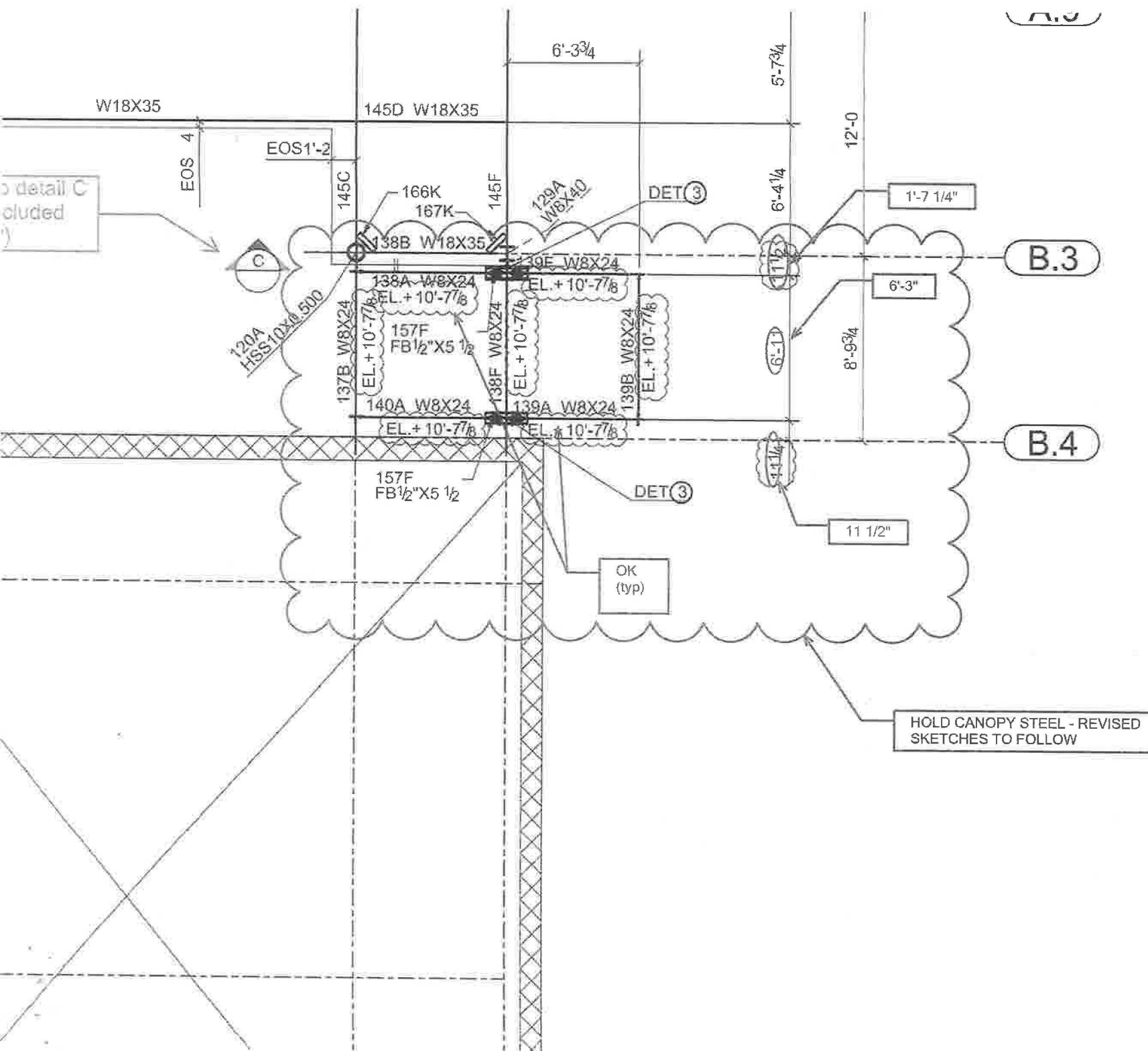
59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

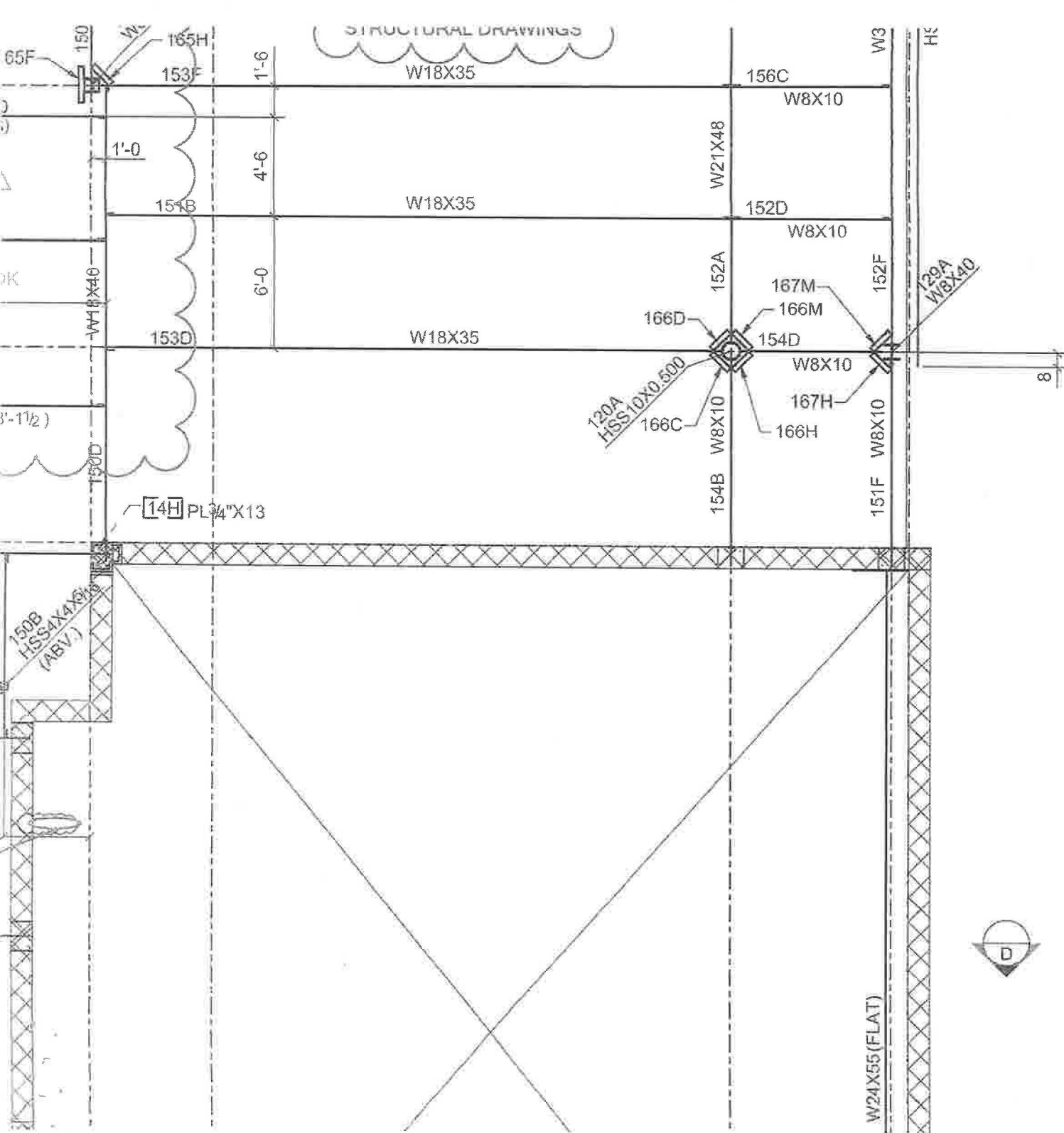


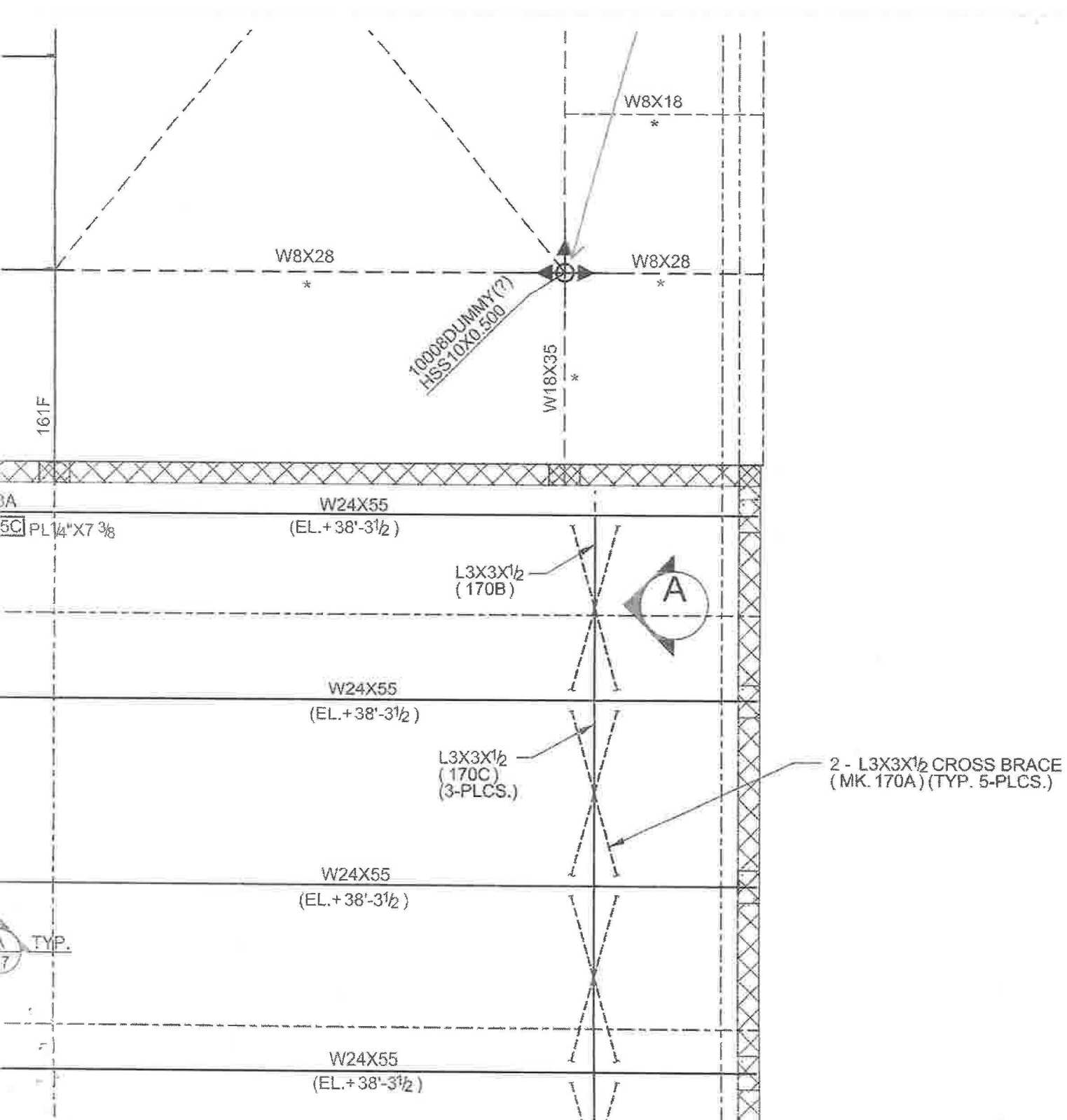












Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 206

Date Created: 2/13/2014

Answer Company

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Answered By

Tim Alvarez

Author Company

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Authored By

Brady Blackmer

Co-Respondent

Shawn Carr

Author RFI Number

Subject

Attachment of C8x13.7 at North Side of Elevator
Shaft

Discipline

Structural S2.1

Category

Clarification

Cc: Company Name

Contact Name

Copies Notes

City of Grand Junction

Lee Cooper

1

FCI Constructors, Inc. - GJ

Brian Young

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Shanks Engineering, LLC

Jim Shanks

1

Question

Date Required: 2/19/2014

Per drawings issued by the structural engineer in response to RFI-056, as well as mark-ups on the approved structural steel shop drawings for the addition, W8x10 beams that were shown to bear off the north end (NE and NW corners) of the elevator shaft CMU walls were deleted at every level (Mezzanine, Upper Mezzanine, and Roof Framing levels). C8x13.75 beams were then added and shown to connect to span between beams, as well as bolt to the north CMU wall of the elevator shaft similar to detail 8/S-513. These anchor bolts were mistakenly left out of this CMU wall as the block was layed-up and grouted. Please advise if it would be acceptable to drill and epoxy the (12) anchor bolts for each of the C8x13.75 beams and associated connection plate at each level. The C8x13.75 steel members could still be welded to the connection plates as shown on 8/S-513.

Suggestion

Answer

Date Answered: 2/19/2014

[2/19/2014 Westlake Reed Lekosky - Tim Alvarez]

Install 3/4" DIA. all-thread rods with 8" embed with Hilti HIT-HY 70 Adhesive installed per ICC-ES ESR-2682 in place of the 3/4" DIA. H.A.B. referenced on RFI-056. Remaining construction to be as detailed on structural plans and RFI-056. The epoxy anchors are for this area only. Note that the epoxy anchors will require continuous special inspection.



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 031	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: June 25, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Original Force Account: \$200,000.00/Previously Approved: (\$150,482.13)

COR-177 - Terrace Roof Revisions Per PR-007 (Modified Per Lindauer-Dunn & Bighorn)	Deduct \$ 25,641.00
COR-181 - Revised Curtain Wall Detail Above East Canopy Per RFI-274	Deduct \$ 3,375.00
COR-188 - RFI-289: Carpet Base at Curved Stair	Deduct \$ 1,066.00
COR-195 - RFI-287: Changes to Electrical at Concessions Stands	Deduct \$ 2,960.00
COR-199 - RFI-261: Galvanized Flashing for Roof Top Screen Wall	Deduct \$ 2,632.00
COR-200 - RFI-233: Stainless Steel Hand Rail Connectors at Stairs E & F	Deduct \$ 906.00
COR-203 - RFI-285: Support Frames for Roof Drains at High Roof	Deduct \$ 1,993.00

TOTAL **DEDUCT \$ 38,573.00**

Remaining Force Account \$ 10,944.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$160,326.08)

BVR-034 - Drywall Repair & Patch at Renovation	Deduct \$ 10,912.00
BVR-035 - Structural Steel: Shortening of Beams, Frames for Mech Openings	Deduct \$ 3,230.00

TOTAL **DEDUCT \$ 14,142.00**

Remaining Contractors Contingency \$ 57,452.92

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ 1,764,745.70
The Contract Sum prior to this Change Order was	\$ 8,034,525.70
The Contract Sum will be increased by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 8,034,525.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS



BY (Signature)

Richard Sourbrine

(Typed name)

6-26-14

DATE

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS



BY (Signature)

Stan Kiser

(Typed name)

6-25-14

DATE

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS



BY (Signature)

Jay Valentine

(Typed name)

6/26/14

DATE

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/18/2014 Drywall Repair & Patch at Renovation FCI Pricing

Category Reference PCCO Number

Budget Variance Report

Notes

This BVR has been developed in order to utilize the CM/GC contingency to cover additional drywall patching that was required at the renovation side of the project. This includes drywall patching at the 1st floor concessions area, 1st floor ticket booth, Mezzanine Lobby (patching required due to change out of existing lights as directed by the owner), around new door 212, and around door 214B. This BVR also includes costs to frame, drywall, and paint infills for the old radiator openings at the Upper Mezzanine.

In addition, FCI is requesting that additional funds be pulled from the contingency budget and allocated for miscellaneous drywall patching that is either in progress or is to be completed prior to owner use of the renovation. FCI is requesting that \$5,000 be pulled from contingency and put into the drywall patch budget for miscellaneous patch work that will be required.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$3,662.00
Description of Work: TP Acoustics Field Change Order #19: All labor and materials required to patch and repair drywall at the renovation 1st floor lobby, 1st floor concessions, main stairway, 1st floor ticket booth, 1st floor restroom, and the mezzanine lobby.		
TP Acoustics, Inc. - GJ		\$679.00
Description of Work: TP Acoustics Field Change Order #20: All labor and materials required to reframe and patch drywall around door 214B.		
TP Acoustics, Inc. - GJ		\$481.00
Description of Work: TP Acoustics Field Change Order #22: All labor and materials required to infill (framing, drywall, and finish) for the old radiator insets at the Upper Mezzanine		
FCI Constructors, Inc. - GJ		\$350.00
Description of Work: Repainting for the infills at the old radiator insets at the Upper Mezzanine.		
FCI Constructors, Inc. - GJ		\$5,000.00
Description of Work: Reallocate funds from CM/GC contingency to the drywall patch budget to deal with additional drywall repair and patch costs that are forthcoming.		
FCI Constructors, Inc. - GJ		\$9.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$41.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$72.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$618.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



BVR Report
Total Change to Contingency

Description of Work: Contingency

Requested Days: 0

Total Change to Contingency: (\$10,912.00)

Approval:  _____

Date: 6/18/14



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

4/30/2014

Project: Avalon Theatre
Attn: Brady Blackmer

Field Change Order #19

Materials	\$ -
Labor	\$ 2,240.00
Burden	\$ 896.00
Subtotal	<u>\$ 3,136.00</u>
Overhead (10%)	\$ 313.60
Subtotal	<u>\$ 3,449.60</u>
Profit (5%)	<u>\$ 172.48</u>
Total	<u>\$ 3,622.08</u>

Submitted by,

Tom Valdes

Tom Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501
(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FIELD CHANGE ORDER

19

DRAWING

TO FCI	DATE 04-30-14
GC SUPERVISOR BRINN YOUNG	PROJECT AVALON
DIRECTED BY TP	TP SUPERVISOR T. VALDES

DESCRIPTION

PATCH AND REPAIR @ 1ST FL LOBBY CONCESSIONS, MAIN STAIRS, MEZ LOBBY, TICKET BOOTH AND 1ST FL REST ROOM:

04-30-14 - 1 MAN, 6 HRS = 6 MAN HRS

05-01-14 - 2 MEN, 2 HRS EA. = 4 MAN HRS

MEZ LOBBY AND DOOR 212

05-22-14 - 2 MEN, 9 HRS EA. = 18 MAN HRS

05-23-14 - 2 MEN, 2 HRS EA. = 4 MAN HRS

05-27-14 - 2 MEN, 2.5 HRS EA. = 5 MAN HRS

05-27-14 - 1 MAN, 9 HRS = 9 MAN HRS TAPE AND CONT

05-28-14 - 1 MAN, 9 HRS = 9 MAN HRS SAND, FLOAT AND PARTIAL LEVEL 5

05-29-14 - 1 MAN, 9 HRS = 9 MAN HRS " "

64 MAN HRS x 35 =

FRAME 3 PATCH CEILING

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

BRANN BLACKMER
Brinn Young
PRINTED NAME

X **[Signature]**
AUTHORIZED SIGNATURE

MATERIAL		
TAX		
LABOR	2240	=
BURDEN	896	=
SUBTOTAL	3136	=
OVERHEAD	313	60
SUBTOTAL	3449	60
PROFIT	172	48
TOTAL	3622	08



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

4/30/2014

Project: Avalon Theatre
Attn: Brady Blackmer

Field Change Order #20

Materials	\$ -
Labor	\$ 420.00
Burden	\$ 168.00
Subtotal	<u>\$ 588.00</u>
Overhead (10%)	\$ 58.80
Subtotal	<u>\$ 646.80</u>
Profit (5%)	\$ 32.34
Total	<u><u>\$ 679.14</u></u>

Submitted by,

Tom Valdes

Tom Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501
(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FIELD
CHANGE ORDER

20

DR. E. WALL

TO FCI	DATE 4-30-14
GC SUPERVISOR Brian Young	PROJECT AVILLOW
DIRECTED BY u u	TP SUPERVISOR T. VALDES

DESCRIPTION

DOOR 214B - FRAME, DRYWALL AND FINISH
 - FRAME AND DRYWALL 2 MEN, 3 HRS 24. = 6 MAN HRS 4-30-14
 - METAL AND START FINISH 1 MAN, 2 HRS = 2 MAN HRS 4-30-14
 - FINAL COAT FINISH 1 MAN, 2 HRS = 2 MAN HRS 5-1-14
 - SKIP TOWEL AND SAND 1 MAN, 2 HRS = 2 MAN HRS 5-5-14
12 MAN HRS

EXISTING PATCH

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

Brian Young
PRINTED NAME

X
AUTHORIZED SIGNATURE

MATERIAL		
TAX		
LABOR	420	==
BURDEN	168	==
SUBTOTAL	588	==
OVERHEAD	58	80
SUBTOTAL	646	80
PROFIT	32	34
TOTAL	679	14



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

5/27/2014

Project: Avalon Theatre
Attn: Brady Blackmer

Field Change Order #22

Materials	\$ -
Labor	\$ 297.50
Burden	\$ 119.00
Subtotal	<u>\$ 416.50</u>
Overhead (10%)	\$ 41.65
Subtotal	<u>\$ 458.15</u>
Profit (5%)	\$ 22.91
Total	<u>\$ 481.06</u>

Submitted by,

Tom Valdes

Tom Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501
(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FIELD CHANGE ORDER

22

TO FCI	DATE 05-27-14
GC SUPERVISOR B. YOUNG	PROJECT AVALON
DIRECTED BY PAT HUTCHISON	TP SUPERVISOR T. VALDES

DESCRIPTION

INFILL UPPER MEZ RADIATORS OPENINGS

05-27-14 - 2 MEN, 1 HR EA, = 2 MAN HRS (FAMC)

06-05-14 - 2 MEN, 1 HR EA = 2 MAN HRS (DRYWALL) x P.H.

06-05-14 - 1 MAN, 3 HRS = 3 MAN HRS (FINISH) x P.H.

06-06-14 - 1 MAN, 1.5 HR = 1.5 MAN HRS (FINISH) x P.H.

8.5 MAN HRS

x .35 =

297.50

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

Brian Young

PRINTED NAME

X [Signature]

AUTHORIZED SIGNATURE

MATERIAL

TAX

LABOR

BURDEN

SUBTOTAL

OVERHEAD

SUBTOTAL

PROFIT

TOTAL

297.50

119.00

416.50

41.65

458.15

22.90

481.05

Original - TP Acoustics, Inc.

Yellow Copy - General Contractor

Pink - TP Job Supervisor

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/11/2014 Structural Steel: Shortening of Beams, Frames for Mech Openings FCI Pricing

Category	Reference	PCCO Number
Budget Variance Report	attached pricing quotes	

Notes

This BVR developed for additional costs associated with the following structural steel items:

- 1.) Shortening of beams that bear on CMU - Several of the steel beams that bear on CMU had to be shortened by a few inches to fit. The beams were fabricated per detail 4/S-521. When detailing these beams, the steel detailer followed the dimensions shown on this detail to determine the length required for these beams. However, the dimensions on this detail do not account for the web thickness of the CMU block. As such, several beams had to be field and shop cut to fit in place.
- 2.) Structural frames for mechanical openings at the addition mechanical roof - structural steel frames for duct openings at the addition mechanical roof were not shown on the structural drawings and had to be added.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc. Description of Work: Rocky Mountain Steel: Labor for shortening of beams that bear on CMU.		\$1,897.00
Rocky Mountain Steel, Inc. Description of Work: Rocky Mountain Steel: Supply and install steel angle frames for duct openings at the addition mechanical roof.		\$1,114.00
FCI Constructors, Inc. - GJ Description of Work: Builder's Risk Insurance		\$3.00
FCI Constructors, Inc. - GJ Description of Work: General Liability Insurance		\$12.00
FCI Constructors, Inc. - GJ Description of Work: Payment/Performance Bond		\$21.00
FCI Constructors, Inc. - GJ Description of Work: Fee		\$183.00
FCI Constructors, Inc. - GJ Description of Work: Contingency		\$0.00

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



BVR-035

Detailed, Grouped by Each Number

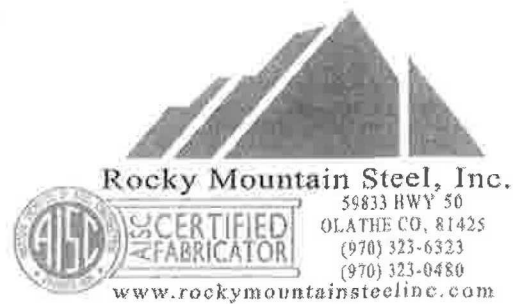
Requested Days: 0

Total Change: \$3,230.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 32R1

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. PSI Extras

Date: May 30, 2014

MATERIAL	\$ 00.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 1897.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 1,897.00

The above Change Order Request is for shortening all the beams that attach to the masonry. Refer to the bearing details and the size of plate required and you will see that the beams could not fit. Also refer to the attached EWO from PSI for backup of hours.

Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manager

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

EXTRA WORK ORDER

No. 8248

Date 3/10/14 FPR# _____Project Aviation TheatreContractor FCI Foreman Dallas

CA. LIC. #839974

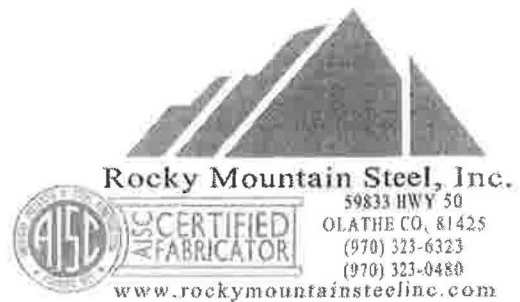
Billed to _____ Approved by _____

Description of Work: At mezz, upper mezz & roof elevation PSI had to shorten every beam that sat in a CMC pocket 1-2". Please see attached drawing for locations

VERIFY HOURS

P. J. R. FCI

MATERIAL	EQUIPMENT	MAN HOURS
	Cranes 8 hrs	3/1/14 5 hrs
		3/10/14 10 hrs
		3/20 - 8 hrs
	TOTAL	23 hrs
Work Complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Signature of Approver: _____		
Total \$ _____		



CHANGE ORDER REQUEST # 30

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. PSI Extras

Date: March 31, 2014

MATERIAL	\$ 00.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 1,114.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 1,114.00

The above Change Order Request is for the install only for the mechanical openings that are not shown or sized on the structural documents. Please refer to the attached EWO from PSI for backup of hours. Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manager

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

EXTRA WORK ORDER No. 7770



Date 3-25-14 FPR# _____

Project AVALON

Contractor F.C.I. Foreman Dallas

CA. LIC. #839974

Billed to F.C.I. Approved by _____

Description of Work: layout, cut and Installed
4X7" Angle for roof penetrations in
4 locations (2 men 9 hrs)

1 man 5 hrs to weld them out.

FCI responsible for 13.5 hrs
the balance of 9.5 hrs on RMS
RE

VERIFY HOURS

PA [Signature] FCI

MATERIAL	EQUIPMENT	MAN HOURS
		23 13.5
TOTAL		

Work Complete: ☒ Yes ☐ No

Signature of Approver: _____

Total \$ _____

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/5/2014 Terrace Roof Revisions Per FR-007 (Modified Per Lindauer-Dunn & Bl) FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	attached Terrace Roof steel and lighting designs, attached pricing quotes	

Notes

This COR has been developed for additional costs associated with the installation of steel supports for string lighting (included) and canopies (future - provided and installed by owner) at the Terrace Roof. This pricing is based on a structural design provided by Lindauer-Dunn and lighting design provided by Bighorn Engineering (attached). This pricing includes the following:

- 1.) Demolition labor to remove Tyvek, Dens-Glass, and framing already in place to allow installation of steel "outriggers".
- 2.) Fabrication and installation of steel supports (including the "outriggers" with stainless steel eye bolts installed behind metal panels at the west, "outriggers" installed at EIFS at the south, and (1) pipe column installed at GL's A.7+9).
- 3.) All electrical rough-in, materials (including aircraft cabling), and installation for incandescent string lighting (attached are separate EC Electric pricing COR's for this work - one COR for the rough-in portion and one COR for the materials and installation).
- 4.) Reframing, patching of Dens-Glass, and patching of Tyvek required after the installation of the steel "outriggers".
- 5.) Painting of the added steel column (Tnemec paint and primer).
- 6.) Sealant around drilled holes in metal panels for stainless steel eye-bolts.

Note: The supply and installation of fabric canopies and the cabling required to hang these canopies is not included in this pricing. Design costs for the terrace steel and lighting is also excluded from this COR.

Note: FCI has been approved to proceed with the steel fabrication and installation, as well as the electrical rough-in for these Terrace Roof lights. As of 6/5/14, the steel fabrication was complete and steel installation has been scheduled for 6/6/14.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$630.00
Description of Work: FCI labor to remove Tyvek, Dens-Glass, and framing as required for this installation of steel "outriggers" at the west and south sides of the Terrace Roof and reinstall after "outriggers" are in place: 18 man hours x \$35/hour = \$630.		
FCI Constructors, Inc. - GJ		\$14,325.00
Description of Work: Western Slope Iron: Fabrication and installation of steel supports (including the "outriggers" with stainless steel eye bolts installed behind metal panels at the west, "outriggers" installed at EIFS at the south, and (1) pipe column installed at GL's A.7+9). This includes crane time to set steel on the Terrace Roof.		
EC Electric, Inc.		\$8,624.00
Description of Work: EC Electric: Electrical rough-in for and supply and installation of incandescent string lights at the Terrace Level. This includes aircraft cable, cable ties, mounting plates and other items required for a complete lighting installation.		
Electrical rough-in: \$2,209		
Supply and installation of incandescent string lighting: \$6,415		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



COR Report
Detailed, Grouped by Each Number

RJ's Painting LLC	\$75.00
Description of Work: RJ's Painting: Tnemec primer and paint for added column at the Terrace Roof for string lighting. Pricing is based on phone conversation between Jeremy (RJs) and Brady (FCI) on 6/5/14.	
FCI Constructors, Inc. - GJ	\$250.00
Description of Work: Labor and materials to install sealant around the stainless steel eye-bolts that will stick through the metal panels.	
FCI Constructors, Inc. - GJ	\$22.00
Description of Work: Builder's Risk Insurance	
FCI Constructors, Inc. - GJ	\$96.00
Description of Work: General Liability Insurance	
FCI Constructors, Inc. - GJ	\$168.00
Description of Work: Payment/Performance Bond	
FCI Constructors, Inc. - GJ	\$1,451.00
Description of Work: Fee	
FCI Constructors, Inc. - GJ	\$0.00
Description of Work: Force Account	

Requested Days: 0

Total Change: \$25,641.00

Approval:

Date:



"Performance – Solid as Steel"

www.wsiron.com

Nevada License # 0054445

670 - 23 ROAD • GRAND JUNCTION, COLORADO 81505-9440 • (970) 243-9770 • FAX: (970) 241-9770

5/22/14

Estimate # 22077

BID PROPOSAL

Brady Blackmer
FCI Constructors, Inc.
3070 I70 Business Loop
Grand Junction, CO 81504

RE: Avalon Theater Canopy

This proposal is based on plan by: Lindauer Dunn drawing #'s S1 dated 5/9/14.

We propose to **Supply & Install** the following materials with freight allowed to destination, subject to all terms and conditions stated hereinafter, expressly referred to, and made a part hereof:

Base Bid:

For the sum of _____ **\$ 14,325.00 (No taxes are included)**

Inclusions:

- (1) New Pipe Column with Cap Plate & Round Bar Loops for Cable attachment, field welded to existing column.
- (4) 5/8 Plates with 3/4" Stainless Steel Eyebolts & Coupling Nuts, with 3/4" Plate Shims, field bolted to CMU Wall with Stainless Steel Epoxy Anchors.
- (7) HSS 3x3x3/8 Out Riggers with 3/4" Stainless Steel Eye Bolts & Coupling Nuts, field welded to existing beams.
- All Prime Painted with one shop coat Tnemec 90-97 Zinc Primer SSPC-SP6 Finish.
- Shop and erection drawings for approval prior to fabrication.

Schedule:

- WSI cannot guarantee delivery on any specific date, however we understand the importance of this material and will do our best to accommodate a mid June 2014 installation date. .

Exclusions:

- Cables or installation of cables.
- Holes to and for others work.
- Temporary Shoring or Demolition.
- Cost of third party inspections, permits and testing
- Touch-up painting or finishing painting of any kind



Terms and Conditions on Which This Proposal and/or Contract Is Made
THE ADDRESSEE IS HEREINAFTER REFERRED TO AS BUYER
AND WESTERN SLOPE IRON & SUPPLY, INC. AS SELLER

1) QUOTATION

- a) This quotation is **Valid for 15 days** and is based upon labor and material cost as of the date indicated on this quotation. Awards subsequent to the 15 day period may be subject to mill price increase and or scrap surcharges at the time of material order.
- b) No material included in this proposal is to be erected by Seller unless specifically so stated herein.
- c) Unless specifically noted, prices quoted do not include sales, use, excise, occupational or similar taxes arising directly or indirectly from this contract or the performance thereof, or from the use by any person of the goods sold, and Buyer shall pay or reimburse Seller for any such tax, which Seller may be required to pay or collect.
- d) Bonds are not included unless specifically noted otherwise.

2) TERMS OF PAYMENT

- a) All invoices are net 30 days with no retention for materials supplied.
- b) A 50% deposit may be required upon receipt of order to guarantee mill rolled material, to generate and purchase shop detail drawings.
- c) No sales tax or other special taxes included unless specifically noted.
- d) When material is sold delivered at, or freight allowed to, destination, Buyer shall pay freight expense bills.
- e) Amounts past due shall bear interest at the maximum lawful rate.
- f) The Seller may at its option suspend work and deliveries under this contract, if in its opinion the credit of the Buyer becomes impaired, until the Seller has received full settlement or security for shipments made and is satisfied as to Buyer's credit for further shipments.

3) SPECIFICATIONS

- a) In the event of a conflict between the terms of this proposal and the terms and conditions stated in the plans and specifications, the terms of this proposal shall govern.
- b) Detailing and fabrication in this quote is based on release for construction documents per the "**AISC Code of Standard Practice**" latest revision that is hereby made a part of this proposal and will govern in all matters to which it is applicable except as otherwise provided for herein.
- c) The Seller will not take field measurements unless stated herein.
- d) In order to facilitate delivery, the Seller reserves the right to substitute material of equal strength or utility for the sizes called for on the contract drawings.

4) LIABILITY, CLAIMS OF ERROR, FREIGHT CLAIMS AND REPLACEMENTS

- a) The Seller will not be responsible for liquidated damages, penalty claims, or other loss or damage arising from delays caused by strikes, fires, accidents, floods, delays of carriers or rolling mills, or other causes beyond its reasonable control, but will exercise reasonable diligence to make shipments at the time specified. Acceptance of material on delivery shall constitute a waiver of any claims for damage on account of delay.
- b) No claims of back charges for errors or defects in material or workmanship will be allowed unless Seller is given immediate notice and opportunity to investigate, inspect, and correct the alleged errors and defects, and if such are found and are not corrected by Seller, the compensation allowed to Buyer shall be only the reasonable cost of replacing the defective material or correcting the error in the member involved, but not exceeding the invoice price of the item involved.
- c) No claims for shortage or damaged in shipment will be allowed unless Buyer calls to the attention of the carrier's representative at the time of unloading and has a notation made on the freight bill.

5) ACCEPTANCE OF CONTRACT

- a) This proposal, when signed by the Buyer, becomes a contract subject to the approval of the credit department of the Seller.
- b) This Proposal, in its entirety, will be incorporated into any standard form of agreement between Buyer and Seller.

Sincerely,

Gorden Cole, Vice President

Accepted by: _____

Date: _____

Date: 6/5/2014**Change Order Proposal**

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: **Brady Blackmer**Phone #: 970-434-9093Fax #: 970-434-7583Change Order Request No. VerbalChange Order Proposal No. EC-31b

We hereby propose to modify our original proposal / contract for the following change to our scope:
Option to provide and install new Incandescent String Lighting by Celestial on terrace level.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Hardware, Tie-wraps, materials	\$ -	\$ 500.00
Lot	Incandescent Lighting quote		\$ 3,200.00
			\$ -
			\$ -
			\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
4.00	Hours Labor - Foreman	\$ 53.00	\$ 212.00
40.00	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 1,920.00
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 583.20
			\$ -
			\$ 6,415.20

Need Answer By: **ASAP**Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Six Thousand Four Hundred Fifteen----- Dollars \$ 6,415.00Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -Approved Change Orders To Date: \$ -This Change Order: \$ 6,415.00Approved Contract Sum To Date: \$ -Pending Contract Sum: \$ 6,415.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Pinyon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Date: Jun 4, 2014

Quote: CTLS14-19076-2

Quote
Page 1/2



CT Lighting Sales
1210 South Jason Street
Denver CO 80223
Phone: (303) 394-0220
Fax: (303) 845-9449
From: Rick LeFavor
Quoter Ph:
email: rlefavor@ctlightsales.com

Project Avalon Theater
Location
Quote CTLS14-19076-2

To: Mark McCallister
All Phase - Grand Junction
2776 Crossroads Blvd
Grand Junction CO 81506
Phone: (970) 245-5600
Fax: (970) 245-6031
Email: mark@all-phasegj.com

For
Bid Date Jun 3, 2014
Expires Jul 3, 2014
Engineer: Bighorn Consulting Engineers, Inc.

QTY	Type	MFG	Part
LED OPTION			
1		CEL	STL-LED-FW-24" @ 28' Frosted LED Stringlite-24" O/C [1 @ 28']
2		CEL	STL-LED-FW-24" @ 30' Frosted LED Stringlite-24" O/C [2 @ 30']
1		CEL	STL-LED-FW-24" @ 34' Frosted LED Stringlite-24" O/C [1 @ 34']
2		CEL	STL-LED-FW-24" @ 40' Frosted LED Stringlite-24" O/C [2 @ 40']
2		CEL	STL-LED-FW-24" @ 42' Frosted LED Stringlite-24" O/C [2 @ 42']
1		CEL	STL-LED-FW-24" @ 48' Frosted LED Stringlite-24" O/C [1 @ 48']
334		CEL	1/16" AIRCRAFT CABLE 334' of Aircraft Cable
334		CEL	STL-MC Cable ties and Mounting plates FFA= \$2000.

Total for: LED OPTION

INCANDESCENT OPTION

1	CEL	STL-FW-24" @ 28'
2	CEL	STL-FW-24" @ 30'
1	CEL	STL-FW-24" @ 34'
2	CEL	STL-FW-24" @ 40'
2	CEL	STL-FW-24" @ 42'

LOT LED

\$ 6815.00

LOT INC

Date: Jun 4, 2014

Quote: CTLS14-19076-2

Quote

Page 2/2



CT Lighting Sales
1210 South Jason Street
Denver CO 80223
Phone: (303) 394-0220
Fax: (303) 845-9449
From: Rick LeFavor
Quoter Ph:
email: rlefavor@ctlightsales.com

Project Avalon Theater

Location

Quote CTLS14-19076-2

QTY	Type	MFG	Part
1		CEL	STL-FW-24" @ 48'
334		CEL	1/16" AIRCRAFT CABLE
334		CEL	STL-MC
Total for: INCANDESCENT OPTION			

Total:

↓
\$ 3200.⁰⁰

Terms and conditions of sale:

Electronic fluorescent ballast shall be supplied as industry standard Instant Start 20% THD and or Rapid Start 20% THD at the individual manufacturer's discretion unless otherwise specified.

Pricing is based on shipment of product within 180 days of the date of this quotation.

It is the purchaser's responsibility to verify all voltages, dimming ballast compatibility and multi-level switching requirements.

This quotation becomes void if changed in any way; the complete quote must be used, no partial breakouts will be accepted.

Date: 5/27/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: Brady BlackmerPhone #: 970-434-9093Fax #: 970-434-7583Change Order Request No. VerbalChange Order Proposal No. EC-29

We hereby propose to modify our original proposal / contract for the following change to our scope:

Per sketch, provide rough-in for the Terrace Lighting.

THIS DOES NOT INCLUDE THE SUPPLY AND INSTALLATION OF THE CABLE OR THE
SUSPENDED LIGHTING. SEE SEPARATE PROPOSAL FOR THIS WORK.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 508.13
			\$ -
			\$ -
			\$ -
Lot	Shipping		\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
3.00	Hours Labor - Foreman	\$ 53.00	\$ 159.00
27.94	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 1,341.12
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 200.83
			\$ -
			\$ 2,209.08

Need Answer By: **ASAP**Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Two Thousand Two Hundred Nine----- Dollars \$ 2,209.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -Approved Change Orders To Date: \$ -This Change Order: \$ 2,209.00Approved Contract Sum To Date: \$ -Pending Contract Sum: \$ 2,209.00

*Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.*

2535 West Elmore Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

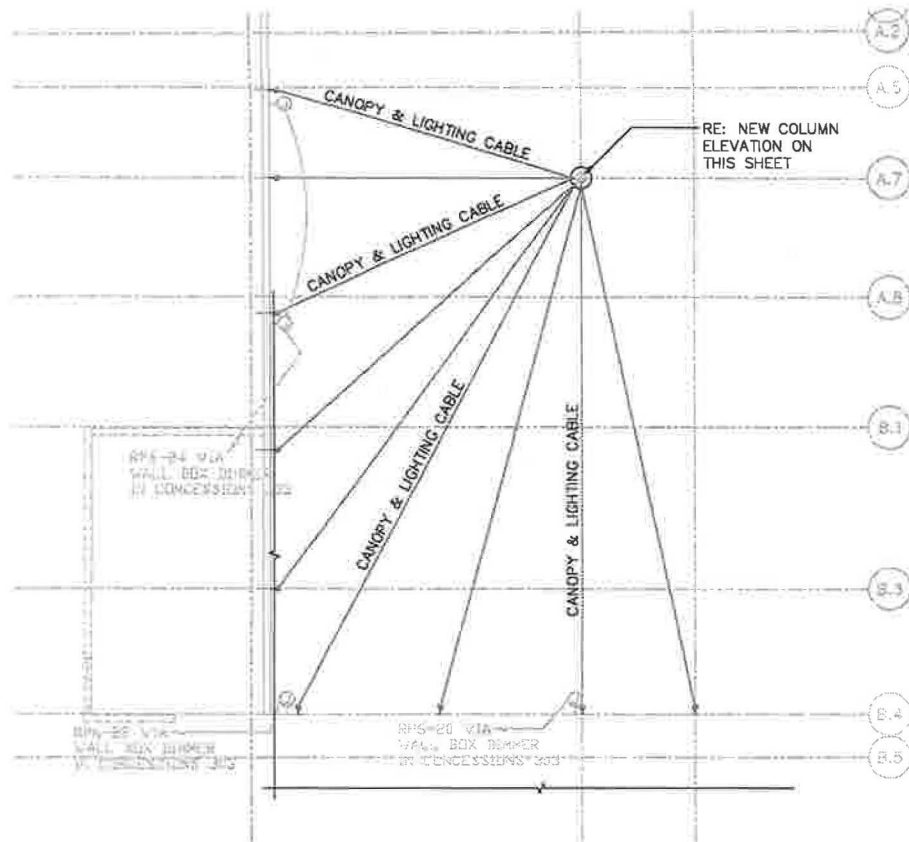
Avalon Deck Lighting

Job Number: 392

Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1011	3/4" EMT	290	34.64 C	100.46	4.53 C	13.14
1437	3/4" Set Screw Steel Conn	12	157.13 C	18.86	0.06 E	0.72
1557	3/4" Set Screw Steel Cplg	29	29.68 C	8.61	0.06 E	1.74
2302	3/4" Metal Stud Conduit Clip	36	111.68 C	40.48	4.25 C	1.54
2577	4-11/16" Square Box w/brkt Comb KO's	3	329.93 C	9.90	0.25 E	0.75
2582	1G WP Bell Box-(4)3/4" Hubs	4	487.62 C	19.50	0.34 E	1.36
2759	4-11/16"-1G Plaster Ring-5/8"D	3	163.52 C	4.91	0.08 E	0.24
--- 01 Raceway, Fittings & Boxes Total ---				202.72		19.49
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	1,218	131.93 M	160.69	5.50 M	6.70
--- 02 Wire & Cable Total ---				160.69		6.70
--- 05 Wiring Device & Covers ---						
4657	SP 600W Fluor Rotary Dimmer w/Plt-120V	3	47.03 E	141.09	0.37 E	1.11
4773	1G WP Blank Cover	4	75.03 C	3.00	0.12 E	0.48
--- 05 Wiring Device & Covers Total ---				144.09		1.59
--- 07 Misc ---						
6839	Red Wirenuts	9	69.98 M	0.63	1.75 C	0.16
--- 07 Misc Total ---				0.63		0.16
Job Total				508.13		27.94

ROUGH-IN THE TERRACE
LIGHTING
CO# EC-29



CANOPY LIGHTING PLAN

PLAN NOTES
 VERIFY LOCATION OF DIMMER SWITCHES WITH THE OWNER.
 INSTALL WALL BOX DIMMERS OF THE SAME STYLE AND
 MANUFACTURER AS PREVIOUSLY APPROVED.
 INSTALL JUNCTION BOXES JUST UNDER THE CABLE SUPPORTS.
 COORDINATE JUNCTION BOX LOCATIONS WITH THE OWNER PRIOR
 TO INSTALLATION.

CELESTIAL
LIGHTING

STRINGLITE

FEATURES

- Great for accentuating lighting above patios, walkways and stairs
- For 100W medium-base lamps (not included)
- Standard 12', 18' or 24' long spacing. Custom lengths for specific needs
- ETL Listed for wet locations
- Maximum 10 watts per foot
- Maximum 1440 watts per circuit
- Approved for wet locations applications only

12V Stringlite String

Stringlite should be mounted with drops to hold wires a minimum of 6 inches from the ground. Always mounting inside wet areas only. Fasten at least every 3 feet.

Mounting

Stringlite should be mounted with drops to hold wires a minimum of 6 inches from the ground. Always mounting inside wet areas only. Fasten at least every 3 feet.

Stringlite Detail

Stringlite should be mounted with drops to hold wires a minimum of 6 inches from the ground. Always mounting inside wet areas only. Fasten at least every 3 feet.

How to Specify STRINGLITE

Length	Drop Spacing
12'	12' on center
18'	18' on center
24'	24' on center

Example

12' on center

ETL

24'

Mounting Pins with Cable Tie

Cable Tie (ETL-10)

Drop in maximum per 10' of Stringlite if mounting with drops to hold wires.

Drop in maximum per 10' of Stringlite if mounting with drops to hold wires.

www.celestiallighting.com Phone: 502-515-5011

AVALON THEATER
ADDITION AND RENOVATION
 ADDRESS
 GRAND JUNCTION, COLORADO

SKE-1

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/11/2014

Revised Curtain Wall Detail Above East Canopy Per RFI-274

FCI Pricing

Category

Reference

PCCO Number

FORCE ACCT

RFI-274, attached pricing

Notes

This COR developed for additional costs associated with RFI-274. Per RFI-274, the height of the curtain wall elevation directly above the canopy roof at the east elevation (curtain wall elevation 2d) had to be revised due to maximum glass length restrictions. To address this issue and to also allow a vertical substrate for the roofing membrane at this small roof to terminate to, a small "knee wall" was constructed at the bottom of this curtain wall elevation. This small "knee wall" is to be covered with brake metal flashing to match the curtain wall system.

Cost changes associated with this work include the following:

- 1.) Labor to remove, refabricate, and reinstall this curtain wall frame (this frame was installed at the time that this issue was discovered).
- 2.) Labor, materials, and engineering required to build the "knee wall" at the base of this curtain wall elevation.
- 3.) Labor and materials to install brake metal flashing to cover the exterior side of this "knee wall".

Reference RFI-274 and associated backup sketches for further details.

Itemized Details:

General Description

Quote Rec'd

Proposed

Bratton Window & Door, Inc.

\$2,133.00

Description of Work: All changes to Bratton Door & Window's scope of work as revised per RFI-274. This includes the removal, refabrication, and reinstallation of the curtain wall frame for elevation 2d (curtain wall elevation directly above the canopy roof at the east elevation), plus the installation of brake metal flashing to cover the exterior side of the "knee wall" added at the bottom of this curtain wall elevation.

Removal, refabrication, and reinstallation of the curtain wall frame for elevation 2d = \$1,870
Fabricate and install brake metal flashing at exterior side of the "knee wall" = \$263

TP Acoustics, Inc. - GJ

\$1,013.00

Description of Work: All changes to TP Acoustics's scope of work as revised per RFI-274. This includes labor, materials, and engineering required to build the "knee wall" at the base of curtain wall elevation 2d (directly above the roof of the east canopy).

FCI Constructors, Inc. - GJ

\$3.00

Description of Work: Builder's Risk Insurance

FCI Constructors, Inc. - GJ

\$13.00

Description of Work: General Liability Insurance

FCI Constructors, Inc. - GJ

\$22.00

Description of Work: Payment/Performance Bond

FCI Constructors, Inc. - GJ

\$191.00

Description of Work: Fee

FCI Constructors, Inc. - GJ

\$0.00

Description of Work: Force Account

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



COR Report
Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$3,375.00

Approval:

Date:

A handwritten signature is written over two horizontal lines. Below the signature, the date "6/11/14" is handwritten over another two horizontal lines.

DATE: 6/06/14

Proposal

BRATTON WINDOW & DOOR

1921 I-70 Business Loop
Grand Junction, CO 81501
Phone: (970) 242-7224 FAX: (970) 242-6744

PROPOSAL SUBMITTED TO:

FCI Constructors, Inc.

STREET

PO Box #1767

CITY, STATE, ZIP CODE

Grand Jct. Co. 81504

PHONE

434-9093 / 434-7583 fx

JOB NAME:

Avalon

JOB LOCATION

JOB PHONE

ARCHITECT - DATE OF PLANS

The following Change orders are for:

RFI 257

Fabricate, furnish & install 16" tall x 20" long of brake metal above the C-wall elevation 2a
Materials & Labor **\$270.00**

Remove 2 sections of C-Wall frame 2d, cut down length & re-install
\$1,870.00

Fabricate, furnish & install 20" x 96" of brake metal Below the C-wall elevation 2d
Materials & Labor **\$263.00**

Return & restock charges for the Gray caulking the city decided should be Black

Freight & restock fee @ the vendor **\$215.00**

Assumptions & Exclusions:

Only the items listed above are quoted. No other items are figured or Included.

With the exception of workmanship, all BWD material warranties, term & conditions will be that of our suppliers.

Thank you for the opportunity to Quote your project, if we can be of any further help please don't hesitate to call.

All Materials are GUARANTEED to be as specified above. All work will be completed in a workmanlike manner according to industry standard practices. Any alteration or deviation from the above specification involving EXTRA COSTS will be executed upon WRITTEN ORDERS ONLY, and will be subject to additional charges over and above the estimate. B.W.D. will not be held responsible for events beyond our control, such as Strikes, Accidents, Natural disasters, etc.. The project owner will agree to carry Fire, Wind and other Necessary Insurance. B.W.D. workers are fully covered by workman's compensation. Service charges of 1-1/2% per month, will be added to all invoices over 30 days past due date. All retainage (if held) will be paid @ the end of the next billing cycle after project completion. No Exceptions will be accepted. COLLECTION COSTS INCLUDING ATTORNEY FEES WILL BE ADDED TO SERVICE CHARGES.

B.W. & D. AUTHORIZED SIGNATURE:

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN:

Thirty Days

ACCEPTANCE OF PROPOSAL

The above price, specifications and conditions are satisfactory and are hereby ACCEPTED. You are authorized to proceed with the work and materials as specified above.
Payment will be made as outlined above.

SIGNATURE: _____

DATE OF ACCEPTANCE: _____



ACOUSTICS, INC.

COR-187

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

05-06-14

Project: AVALON
Attn: Brady Blackmer

RFI 274

Curtain Wall at East Canopy and Engineering

Material	\$ 130.41
Labor	\$ 306.25
Burden	\$ 24.50
Engineering	<u>\$ 416.25</u>
Subtotal	\$ 877.41
Overhead	<u>\$ 87.74</u>
Subtotal	\$ 965.15
Profit	<u>\$ 48.26</u>
Total	\$1,013.41

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net



Lindauer-Dunn, Inc.
STRUCTURAL STEELERS

802 Rood Avenue
Grand Junction, CO 81501
(970) 241-0900

CON-101
TP BACKUP Invoice

Date	Invoice #
5/5/2014	10544

Bill To

TP Acoustics Inc
Thomas Valdes
357 Bonny Street
Grand Junction, CO 81501

Due Date	Client Project #	JOB #	PROJECT
6/4/2014		13.097	Avalon Theater
Description			Amount
Revision			416.25
Thank you for your business.			Total \$416.25

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 274 **Date Created: 4/21/2014**

Answer Company	Answered By	Author Company	Authorized By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number
---------------	-------------------

Subject	Discipline	Category
Height of Curtain Wall Elevation 2d Glazing	Architectural	Clarification and Approval

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 4/28/2014**

Please reference the attached email and the attached sketch from Bratton Window & Door.

The glass manufacturer has stated the maximum length of glass that they can temper is 144". There are (2) pieces of glazing currently on the project that are greater than 144" in length. These (2) pieces of glazing are shown to be installed at curtain wall elevation 2d (above the east canopy at door 101E). To reduce the length of these glazing pieces, Bratton is proposing to install an intermediate horizontal framing piece up 1'-11 1/4" from the bottom of this elevation to match the bottom of curtain wall at the north side of this curtain wall elevation 2d. Please advise if this change is acceptable. A response to this RFI is a high priority.

Suggestion

Answer **Date Answered: 4/22/2014**

[4/22/2014 Westlake Reed Lekosky - Richard Sourbrine]
The proposed change is acceptable.

In addition, per phone conversation between Rich S. (WRL) and Brady B. (FCI) the "base" of this window assembly should be raised to be a minimum of 8" above the canopy roof level at this location. Construction of this "knee wall" shall be steel stud framing with exterior gyp. bd. at exterior side so the canopy roof membrane can be installed per manufacturer's requirements. Interior side of this "knee wall" to be gyp. bd. and stud cavity shall be filled with batt insulation.

4/28/14 FCI Constructors, Inc. - Brady Blackmer

Reference the attached email and sketch provided by Rich Sourbrine (WRL) for the detail at this added "knee wall".

Brady Blackmer

From: Dale <dlockwood@brattonwindowanddoor.com>
Sent: Friday, April 18, 2014 8:51 AM
To: Brady Blackmer
Subject: RFI
Attachments: Frame 2-D .pdf

Brady

We just got a call from our glass manufacturer. They are calling with a small problem.

During the bidding process, we sent the glass list for the entire project over to them for size review & pricing, were told there were no objections.

Now we are in the production stage they informed us there is indeed a problem with these two.

In the C-Wall frame "2-D" The two ground level insulated lights exceed their maximum of 144" tall. They can't temper larger than the 144 in the tempering furnace.

The two lights measure 155. We will need to install an intermediate horizontal in them.

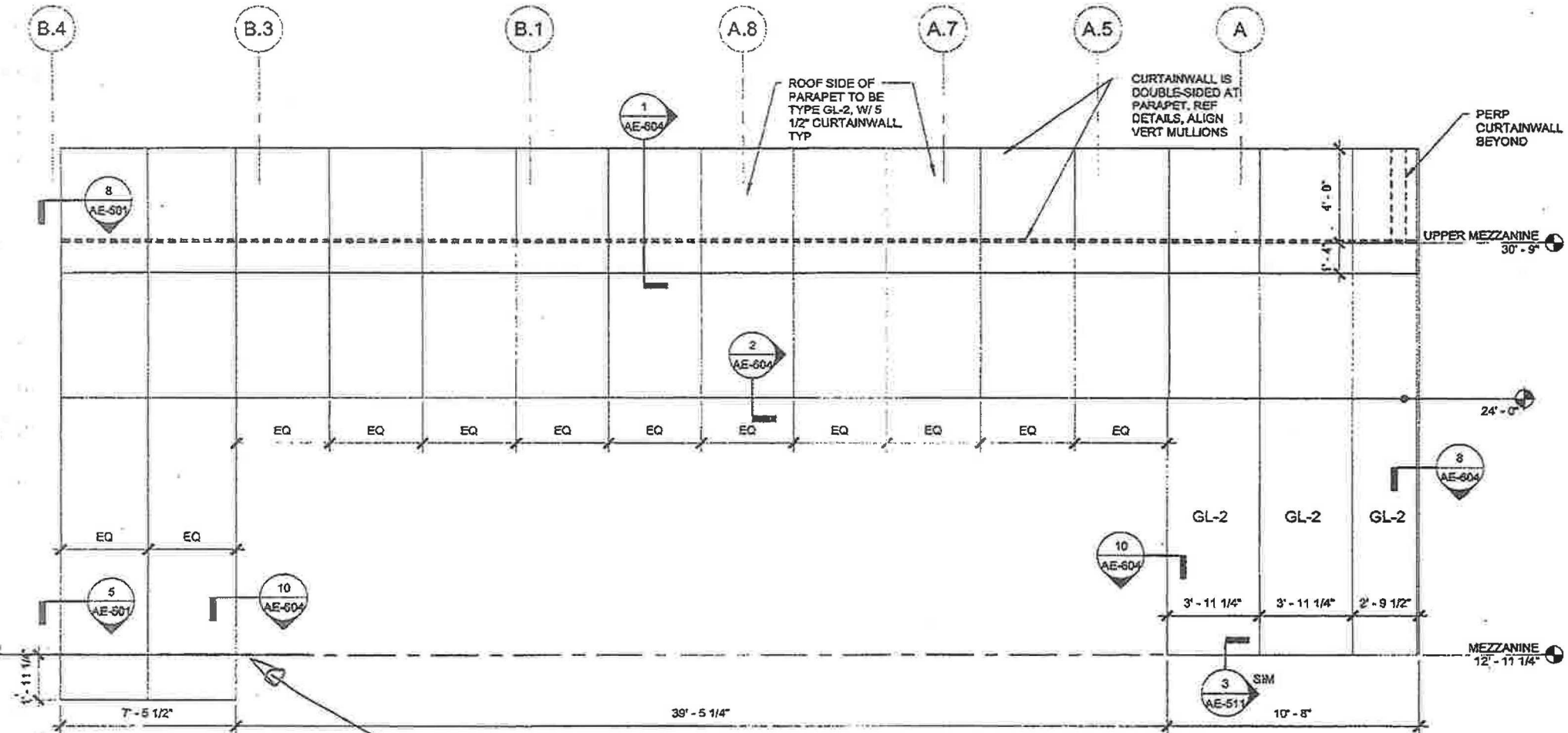
We would suggest inserting an intermediate horizontal up 1'-11-1/4" from the bottom. This would match the other end of this frame.

See Drawing

We have also called all of our other glass suppliers to see if they could help. The answers were all the same.

Please advise.

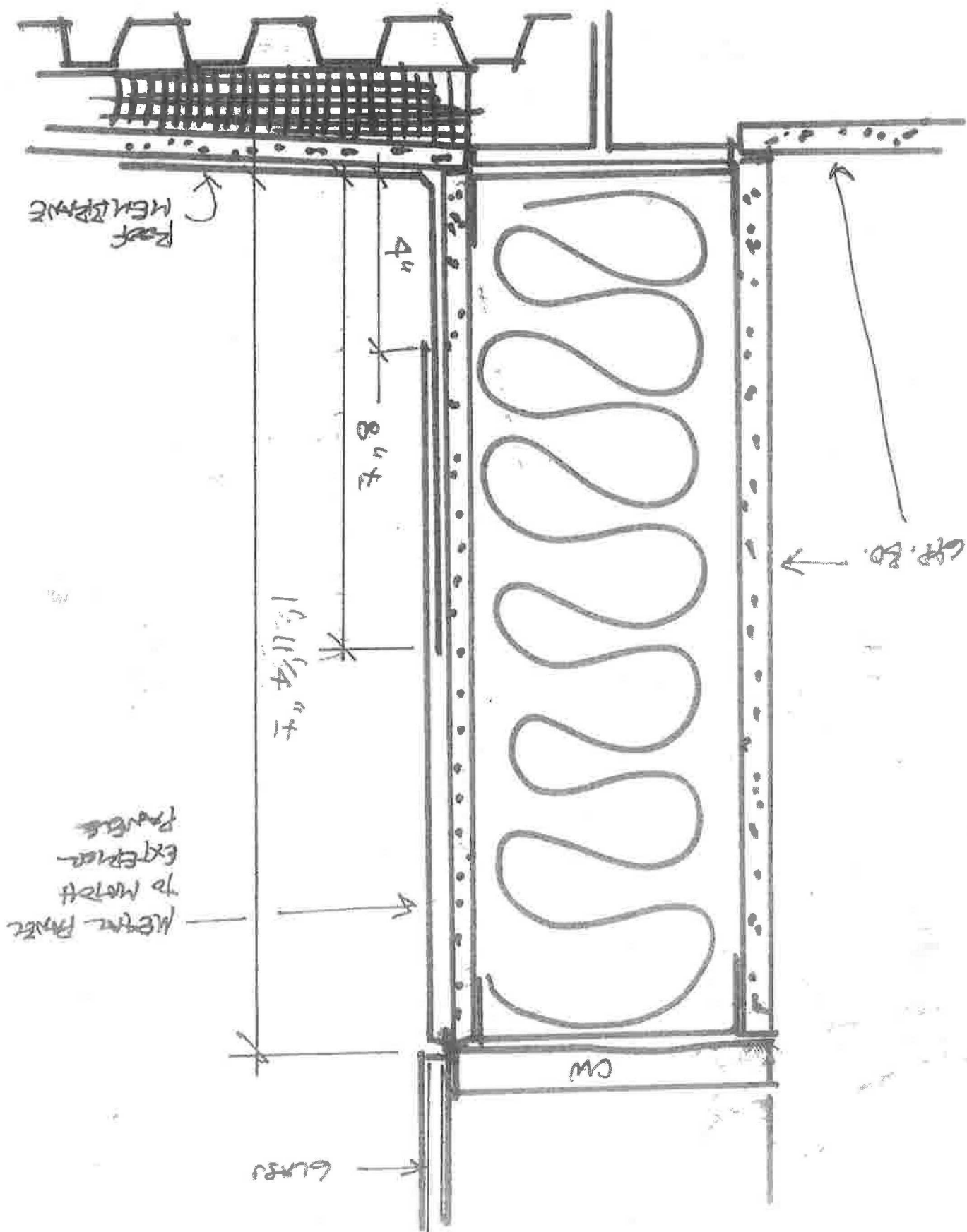
Thanks
Dale Lockwood
Bratton Window
970-242-7224



7 CURTAINWALL 2D

1/4" = 1'-0"

Install horizontal framing piece at here to match 12'-11 1/4" elevation at the north side of this elevation



Brady Blackmer

From: Richard Sourbrine <rsour@WRLdesign.com>
Sent: Monday, April 28, 2014 11:27 AM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young; Pat Hutchison
Subject: RE: RFI Answered
Attachments: East Canopy CW_Roof detail.pdf

Brady,

See attached sketch. Let's make this easy and just build the "knee wall" up to the underside of the new CW frame height with metal studs, install gyp. bd. on each side, infill with batt insulation, extend the roof membrane up as high as required and then provide a metal panel at the exterior to cover the gyp. bd. and the roof membrane.

Thanks,

Richard Sourbrine | AIA | Associate Principal
Project Director

Westlake
Reed
Leskosky

From: Brady Blackmer [<mailto:BBlackmer@fciof.com>]
Sent: Friday, April 25, 2014 10:29 AM
To: Richard Sourbrine
Cc: Stan Kiser; Brian Young; PatHutchison
Subject: FW: RFI Answered
Importance: High

Rich,

Could you provide us a revised detail for this condition? The glazer is going to have to remove the bottom portion of this CW frame as it is in place, and we only want to do this once. Couple of items that need to be clarified:

- 1.) Should the roofing wrap up and under the new CW elevation, or stop with a term bar at 8" and then metal flashing under the CW system to cover over the exposed gyp?
- 2.) This will create a small approx. 1'-3 1/4" piece of glazing above this knee wall. Is that ok? Or should this be metal panel?

See my rough sketch attached. Thanks.

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583



From: converge@fciol.com [mailto:converge@fciol.com]
Sent: Thursday, April 24, 2014 10:44 AM
To: Brady Blackmer
Cc: Brian Young; Lee Cooper; Jim Shanks; Stan Kiser; Adam Bellamy; Richard Sourbrine
Subject: RFI Answered



RFI Response Received

Dear Brady Blackmer:

The following RFI has received a response. Please review the answer. If the answer is sufficient, please close the RFI.



To view additional details about this RFI, you may open the attached PDF.



[To view the full RFI form in the Prolog Converge Web Client, click here.](#)

Project: Avalon Theatre, Phase 1 Addition & Remodel

RFI Number: 274

RFI Subject: Height of Curtain Wall Elevation 2d Glazing

Please reference the attached email and the attached sketch from Bratton Window & Door.

RFI Question:

The glass manufacturer has stated the maximum length of glass that they can temper is 144". There are (2) pieces of glazing currently on the project that are greater than 144" in length. These (2) pieces of glazing are shown to be installed at curtain wall elevation 2d (above the east canopy at door 101E). To reduce the length of these glazing pieces, Bratton is proposing to install an intermediate horizontal framing piece up 1'-11 1/4" from the bottom of this elevation to match the bottom of curtain wall at the north side of this curtain wall elevation 2d. Please advise if this change is acceptable. A response to this RFI is a high priority.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/6/2014 RFI-289: Carpet Base at Curved Stair FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-289, attached pricing quote	

Notes

This COR developed for changes in cost associated with RFI-289. Per RFI-289, bound carpet base is to be installed at the existing curved stair at the NW corner of the renovation (Stair E). This carpet base will butt to new wood base at the top and bottom of this stair. At the top of this stair, carpet base to extend into the landing and install over curved sections of wall per the pictures included with RFI-289.

Note: Owner stock carpet material will need to be used for this carpet base.

Itemized Details:

General Description	Quote Rec'd	Proposed
Floorz, LLLP		\$994.00
Description of Work: All changes to Floorz's scope of work as revised per RFI-289. This includes the installation of carpet base at the curved stair at the NW corner of the renovation (Stair E). Carpet base installed at the stair and at the lower and upper landings as detailed in RFI-289. Carpet material to be pulled from owner stock.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$7.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$60.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

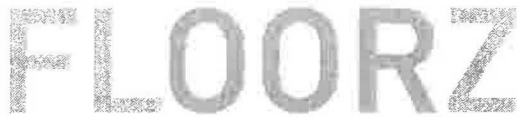
Total Change: \$1,066.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



419 W Pikes Peak Avenue
Colorado Springs, CO 80905
Phone: 719.550.1395 Fax: 719.550.1396

Avalon Theatre Addition & Remodel—Stair E—Carpet Base

Date: May 27, 2014

Proposal To: FCI Constructors

Brady Blackmer

PO Box 1767

Grand Junction, CO 81502

Phone: 970.434.9093

Fax: 970.434.7583

Project: Avalon Theatre Addition

645 Main St.

Grand Junction, CO

Architect: Blythe Group

Plans Date: 2/26/2013

We propose to furnish and install the following material for the above-referenced project:

Reference:

Stair E —Carpet Base

owner stock onsite will be
enough to complete this
base

Qualifications:

- Includes installation Tandus Powerbond carpet base with edge binding at Stair E spiral stair location.
- Floorz cannot guarantee that there is enough available Tandus Powerbond carpet for carpet base. Carpet needs to be available in a continuous piece from bottom to top of stair for edge binding purposes.
- FCI shall provide line on wall for alignment of carpet base.

Exclusions:

Major floor preparation/underlayment/demolition/sealed concrete/wood floor/wood base/epoxy grout/grout sealing/expansion joints/shower pans/floor polish or wax/final clean, seal and wax/floor protection after installation/night, weekend and overtime working hours

Tax Rate: 0.00%

TOTAL AMOUNT:

\$ 994.00

FCI Constructors

By: _____

Brady Blackmer

Date

FLOORZ LLP

By: _____

Jeremy Bergeron—Project Manager

Date

May 27, 2014

FLOORZ reserves the right to revise pricing to this proposal if direction to order materials has not been given within 30 days of this proposal date.

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 289 **Date Created: 5/6/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number
Lee Cooper	

Subject	Discipline	Category
Carpet Base at Existing Curved Stair	Architectural	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 5/13/2014**

Please reference the attached pictures.

Per onsite discussions between FCI and the City of Grand Junction on 5/1/14, and as briefly discussed with Rich Sourbrine (WRL) when he was onsite on 4/24/14, it has been decided that carpet base needs to be installed at the curved stair between the 1st floor main lobby and the Mezzanine lobby at the northwest corner of the renovation side of the project. The Finish Schedule appears to call for wood base at this stair (floor plans call this stair "Stair E" from the 1st floor to the basement, but there is also a "Stair E" between the Mezzanine landing and the Upper Mezzanine at the renovation side). The carpet base to be installed at a height that will allow the top of the carpet base to align with the top of the wood base where the two bases meet at the 1st floor lobby and Mezzanine lobby. Further, due to the radius walls at the top of this stair, the carpet base will extend along the walls at this landing and then die into wood base as noted on the attached pictures. Per phone conversation between Rich Sourbrine, Brian Young, and Brady Blackmer on 5/6/14, WRL wants this carpet base to be bound at the top (this will require continuous pieces of bound carpet for the base at each side of this stair).

Note: This extra carpet material may require carpet from owner stock to be used. FCI will review this further with the flooring subcontractor.

There will be additional costs associated with this change.

This RFI is for documentation only. No response is required.

Suggestion

Answer **Date Answered: 5/1/2014**

This RFI is for documentation only. No response is required.

RFI-289: south side of NW
curved stair at Mezzanine
Lobby

carpet base

carpet base stops at this
corner - butts to wood base

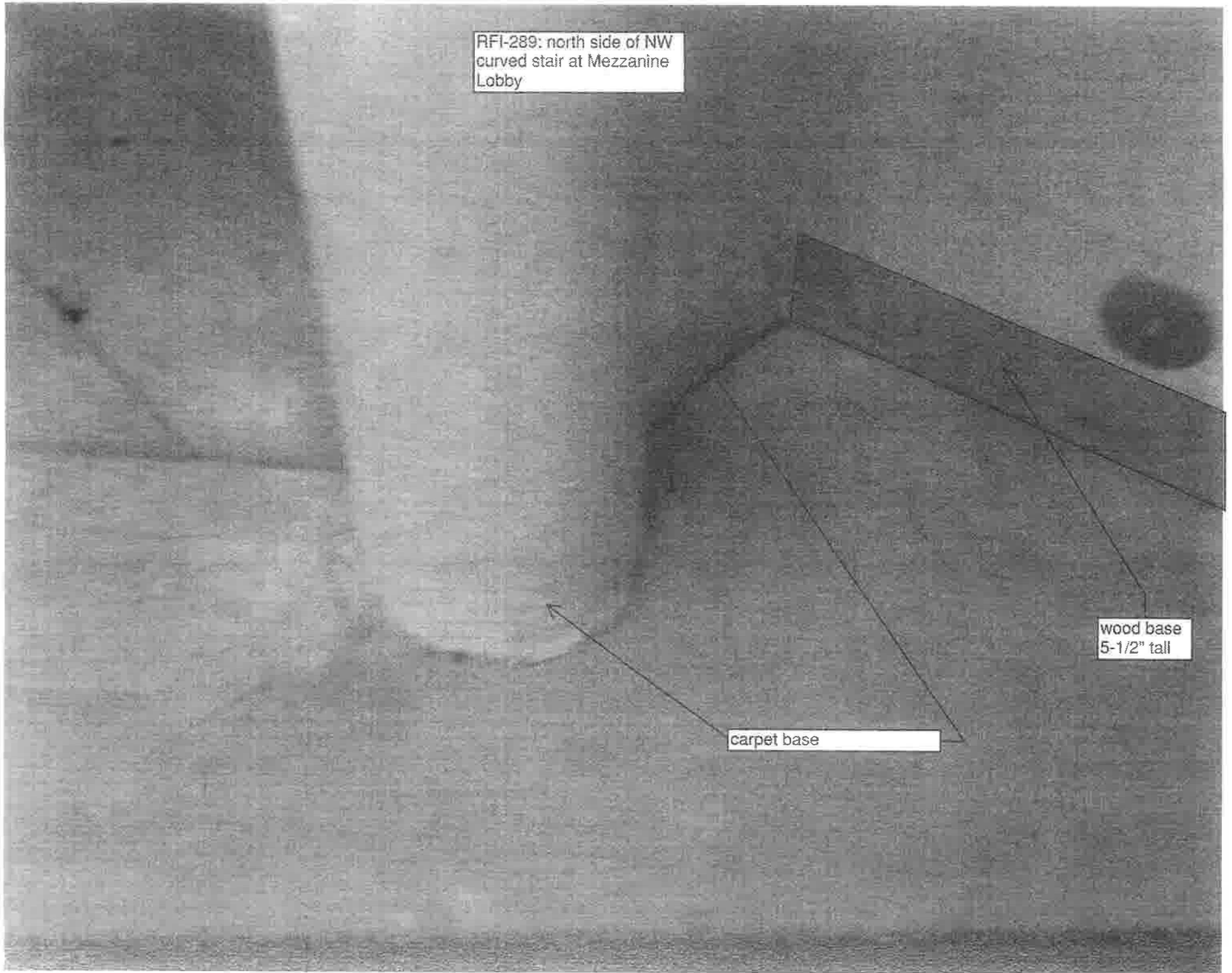
wood base
5-1/2" tall



RFI-289: north side of NW
curved stair at Mezzanine
Lobby

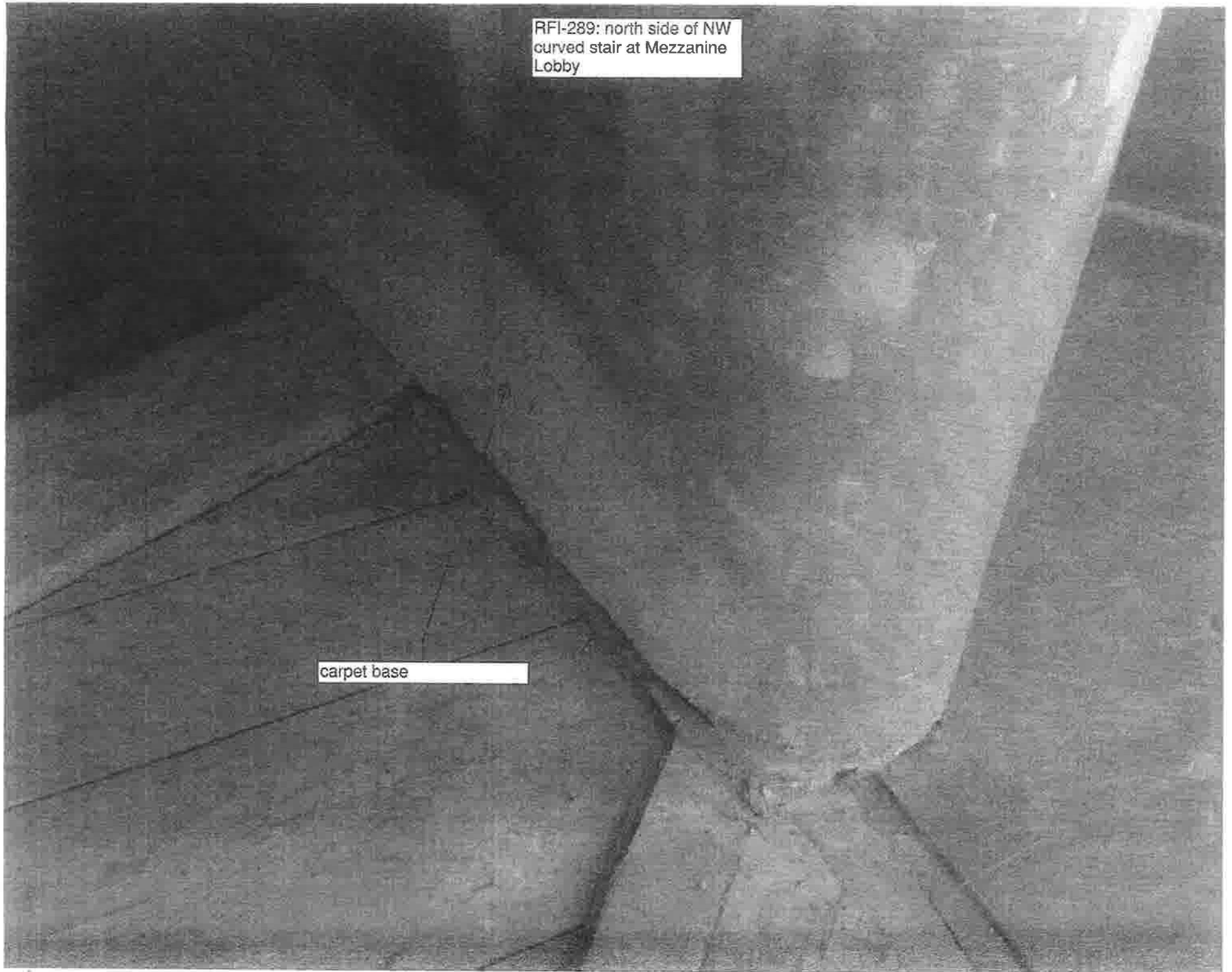
wood base
5-1/2" tall

carpet base



RFI-289: north side of NW
curved stair at Mezzanine
Lobby

carpet base



Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

8/17/2014 RFI-287: Changes to Electrical at Concessions Stands FCI Pricing

Category	Reference	PCCO Number
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FORCE ACCT	RFI-287, attached pricing quote	
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Notes

This COR developed for additional costs associated with electrical changes per RFI-287 and includes the following:

- 1.) A total of (4) additional 120V/20A circuits have been provided at each Concessions 104 and 202 - (1) duplex receptacle circuit for an above counter refrigerator, (2) additional quad receptacles above counter (back wall), and (1) additional quad receptacle below counter (back wall).
- 2.) Pull wire and install receptacles for (8) locations at Concessions 303. The conduit for these circuits to Concessions 303 was already included in EC Electric's scope of work.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$2,760.00
Description of Work: All changes to EC Electric's scope of work as revised per RFI-287. This includes the addition of (4) new 120V/20A circuits at each of Concessions 104 and Concessions 202. This also includes pulling wire and installing receptacles for (8) 120V/20A circuits at Concessions 303.		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$19.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$168.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$2,960.00

Approval: 

Date: 6/25/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Date: 6/9/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: Brady Blackmer
Phone #: 970-434-9093
Fax #: 970-434-7583

Change Order Request No. RFI #287
Change Order Proposal No. EC-32

We hereby propose to modify our original proposal / contract for the following change to our scope:

Provide (4) new circuits at both Concessions 104 and 202

Provide wire and receptacles for (8) circuits in Concession 303.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 572.54
			\$ -
			\$ -
			\$ -
			\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
4.00	Hours Labor - Foreman	\$ 53.00	\$ 212.00
35.92	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 1,724.16
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 250.87
			\$ -
			\$ 2,759.57

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Two Thousand Seven Hundred Sixty----- Dollars \$ 2,760.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum:

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 2,760.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 2,760.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Pinvon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Avalon RFI #287
Job Number: 394
Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1010	1/2" EMT	160	24.60 C	39.36	3.30 C	5.28
1436	1/2" Set Screw Steel Conn	16	94.28 C	15.08	0.05 E	0.80
1556	1/2" Set Screw Steel Cplg	16	20.02 C	3.20	0.05 E	0.80
2301	1/2" Metal Stud Conduit Clip	20	107.61 C	21.52	3.75 C	0.75
2572	4" Square x 1-1/2" Deep Box w/bkt (1/2&3/4 KO's)	14	98.99 C	13.86	0.20 E	2.80
2574	4" Square x 2-1/8" Deep Box w/bkt (1/2&3/4 KO's)	2	193.92 C	3.88	0.20 E	0.40
2731	4" Square-1G Plaster Ring-5/8"D	2	52.67 C	1.05	0.07 E	0.14
2736	4" Square-2G Plaster Ring-5/8"D	14	70.29 C	9.84	0.07 E	0.98
--- 01 Raceway, Fittings & Boxes Total ---				107.79		11.95
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	2,520	105.86 M	266.77	5.50 M	13.86
--- 02 Wire & Cable Total ---				266.77		13.86
--- 05 Wiring Device & Covers ---						
4512	20A/125V Prem Spec Grade Dup Rcpt(5-20R)	30	500.22 C	150.07	0.24 E	7.20
4697	1G SS Dup Rcpt Plate	2	101.45 C	2.03	0.06 E	0.12
4704	2G SS Dup Rcpt Plate	14	209.58 C	29.34	0.08 E	1.12
8261	Grndscr&Bare Pigtail	16	738.21 M	11.81	1.20 C	0.19
--- 05 Wiring Device & Covers Total ---				193.25		8.63
--- 07 Misc ---						
6839	Red Wirenuts	48	67.06 M	3.22	1.75 C	0.84
8918	6X1/4" Pan Head Tapping Screw	64	2.36 C	1.51	0.01 E	0.64
--- 07 Misc Total ---				4.73		1.48
Job Total				572.54		35.92

RFI #287

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 287

Date Created: 5/2/2014

Answer Company

Answered By

Author Company

Authored By

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

Co-Respondent

Author RFI Number

Subject

Discipline

Category

Electrical Clarifications & Revisions at Concessions Areas
Electrical

Clarification

Cc: Company Name

Contact Name

Copies Notes

City of Grand Junction

Lee Cooper

1

Shanks Engineering, LLC

Jim Shanks

1

FCI Constructors, Inc. - GJ

Brian Young

1

FCI Constructors, Inc. - GJ

Pat Hutchison

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Question

Date Required: 5/9/2014

Please reference RFI-276, RFI-276R1, the attached sketches, and the attached product data on kitchen equipment.

Based on direction from the City of Grand Junction (COGJ) during a Concessions Electrical meeting on 4/24/14, this RFI has been developed to clarify electrical requirements for the Concessions areas and provide additional electrical receptacles at the Concessions areas as requested by the COGJ.

CONCESSIONS 104 & 202:

The attached sketches provide clarification on the locations of kitchen equipment above and below counter at Concessions 104 and Concessions 202 for rough-in of electrical items shown on 2 & 3/E-401 (note: the layout at these two concessions areas is the same, except there are no type S-2 sinks at Concessions 104 - only a hand sink will be installed at Concessions 104 - reference RFI-276 and RFI-276R1). Kitchen equipment product data as provided by the COGJ has been attached to this RFI for reference. The COGJ has requested that (3) additional 120V/20A circuits be provided at each of Concessions 104 and 202 (1 circuit below the back counter and 2 circuits above the back counter). Further, (1) 120V/20A circuit has been requested for an above counter refrigerator to be installed at the south end of the back counter top at both Concessions 104 and Concessions 202.

1.) COGJ: Due to the "dump sink" being added per RFI-276R1, FCI has slightly revised the layout of the above counter kitchen equipment from what was discussed during the 4/24/14 meeting. Please review the layout shown on the attached sketches and confirm that this layout is acceptable.

2.) WRL: Please provide circuiting information for the (4) total added 120V/20A circuits requested at each of the Concessions areas. Also, please advise if either a duplex or a quadplex receptacle would be acceptable for these added circuits.

CONCESSIONS 303:

Per Keynote #16 on EP-104. A total of (8) 3/4" conduits from panel RP5 are to be stubbed into the west and east walls of Concessions 303. Per the Concessions Electrical meeting on 4/24/14, the COGJ has requested that wire be pulled and receptacles installed for (8) separate 120V/20A circuits within this space. (5) of these circuits to be installed on the west

wall (3 at an elevation to be above counter and 2 to be at an elevation to be below counter). These (5) circuits to be installed between the north wall and the edge of drain board for the three-compartment sink added per RFI-276. (3) of these circuits to be installed on the east wall (all 3 at an elevation to be undercounter). No further response is needed on these receptacles at 303. Note: there are not counter tops in the current scope of work for Concessions 303 - any counter tops installed in this space would be provided by the COGJ).

Please provide responses to items #1 and #2 above.

Suggestion

Answer

Date Answered:

[5/5/2014 Westlake Reed Lekosky - Richard Sourbrine]

2.) Concessions 104: (4) additional circuits RP3 - 35, 37, 39 and 41.

Concessions 202: (4) additional circuits RP4 - 36, 38, 40 and 42.

Provide quad receptacles above and below counter. Provide duplex receptacle for the above counter refrigerator.

Concessions 303: Keyed note 16 calls for conduits to be routed to panel RP 5B, not Panel 5. Route conduits to Panel RP6 - circuits 1, 3, 5, 13, 15, 21, 23 and 25.

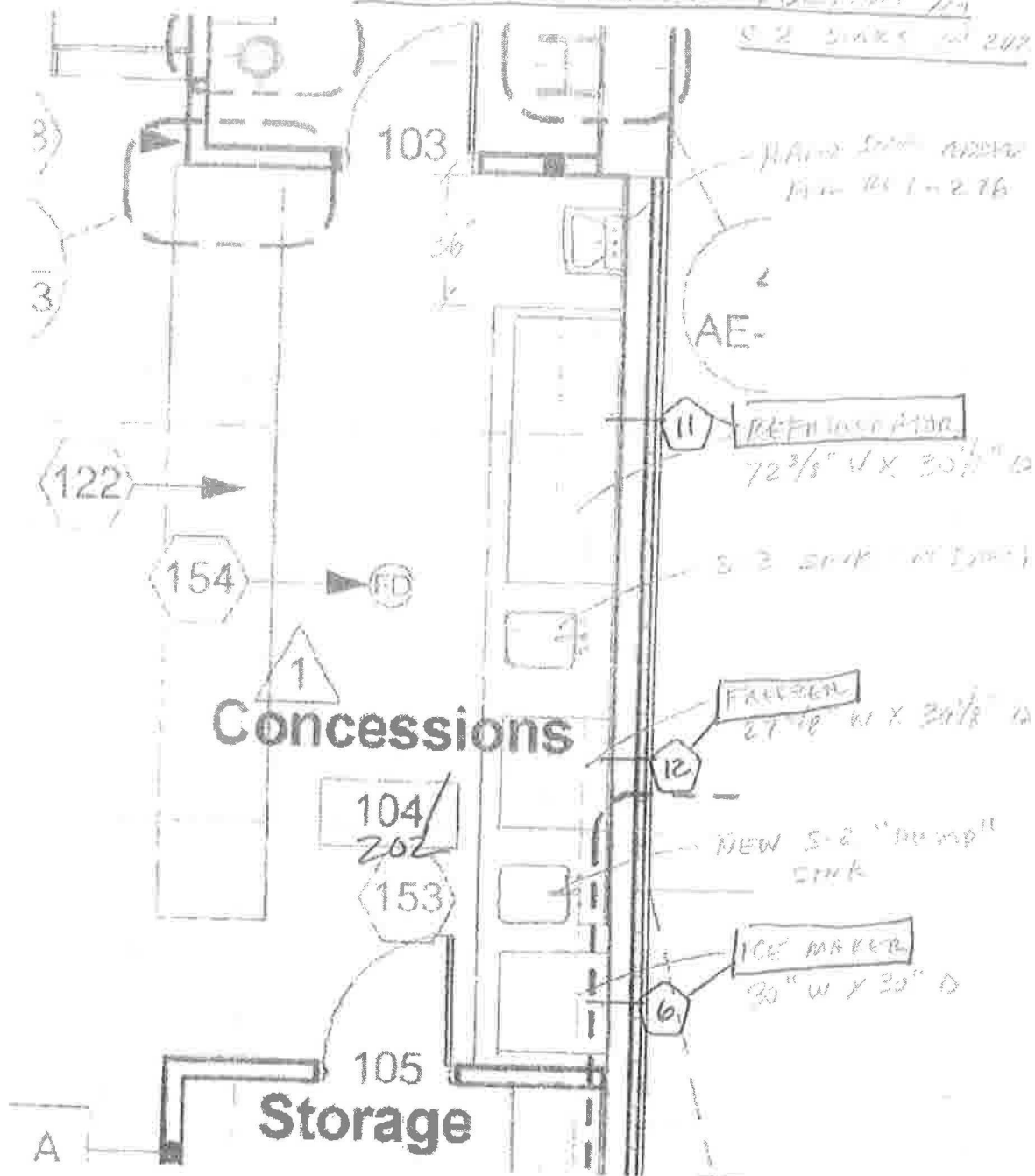
REF-287

REF-287-1 - SHOP & BUILT CONCRETE

LAYOUT (A) BUILDING 101

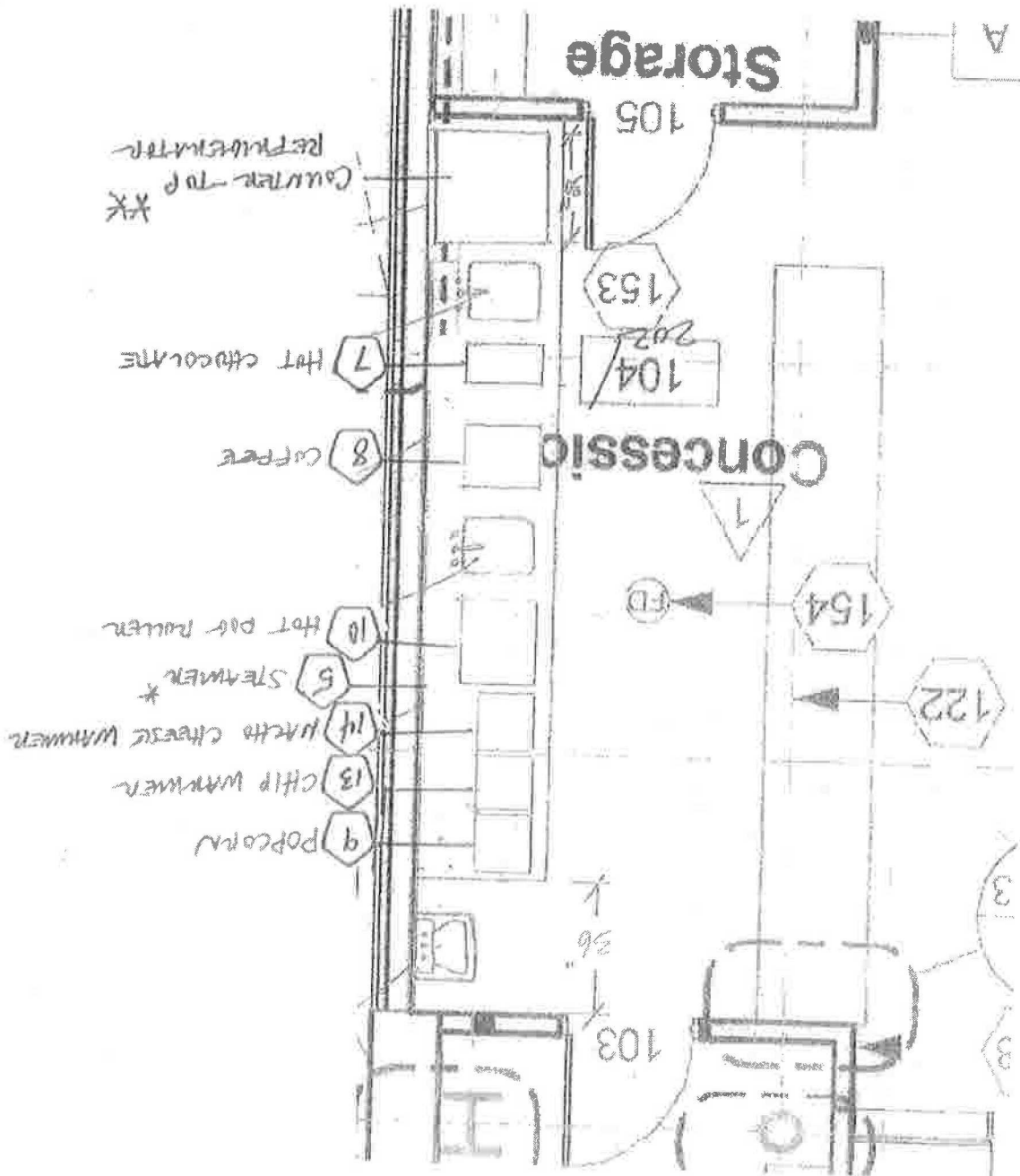
- SIMILAR TO CONCESSIONS 202, BUT 11' 4"

S-2 SINKS IN 202



REF. KEY NOTES ON E-401, TYP.

* CITY DOES NOT PLAN TO INSTALL A STEAMER AT THIS TIME.
 HOWEVER - ELECTRICAL FOR STEAMER PER 2,3/E-401 TO
 BE INSTALLED AT THE NORTH END OF COUNTER TOP.
 ** 30" WIDE COUNTER REFRIGERATION (NOT SHOWN ON E-104).
 REQUIRES (1) ADDITIONAL 120V/20A CKT.





Star Manufacturing International

MERCHANDISER WARMERS

Models 12NCPW & 15NCPW

Features/Benefits:

- ★ Bright yellow painted steel top and vivid colorful signs build impulse sales.
- ★ Clear lexan drop panel provides excellent visibility of product no matter where it's placed in your store.
- ★ A 75 watt reflector flood lamp illuminates inside of cabinet to warm product and attract customers.
- ★ A stainless steel chute controls breakage when loading product and allows for easy serving.
- ★ Heated stainless steel bottom keeps product fresh and warm.

Application:

Increase profits and build impulse sales with these attractive merchandiser warmers. Available with colorful "Nacho" or "Popcorn" sign, these units are perfect for snack bars, little league ball parks, recreation stands, and convenience stores. With a 12" wide (7 lb. capacity) and a 15" wide (10 lb. capacity) unit available, Star has the unit to handle your volume needs.

Quality Construction:

Star's Merchandiser Warmers are constructed with tempered glass panels and extruded aluminum corner posts in 12" or 15" widths. Cabinet has a stainless steel chute for loading of product and a stainless steel bottom. Units come complete with on/off switch, 6' lead in cord and NEMA 5-15P.

Warranty:

Star's Merchandiser Warmers are covered by a one-year parts and labor warranty.



15NCPW

12NCPW

Nacho Chip Merchandiser/Warmer



15NCPW

12NCPW

Popcorn Merchandiser/Warmer



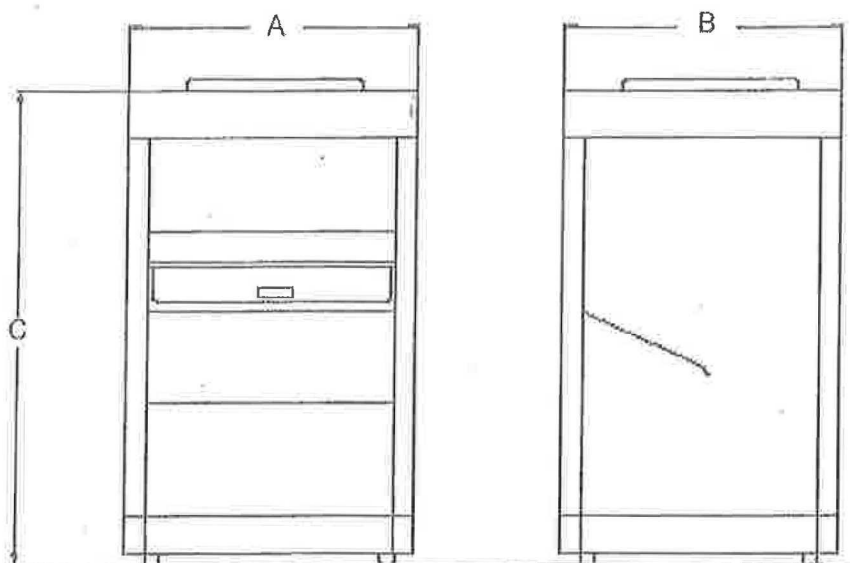


Star Manufacturing International, Inc.

Merchandise Warmers

MERCHANDISER WARMERS

Models 12NCPW & 15NCPW



Model Specifications

Model No.	Description	Dimensions			Voltage	Wattage	Approximate Weight Shipping Installed	
		(A) Width	(B) Depth	(C) Height				
12NCPW	12" Merchandiser 7 lb. capacity	12" (30.5 cm)	15" (38.1 cm)	23" (58.4 cm)	120	125	27 lbs. (13.6 kg.)	26 lbs. (11.8 kg.)
15NCPW	15" Merchandiser 10 lb. capacity	15" (38.1 cm)	15" (38.1 cm)	26" (66 cm)	120	155	33 lbs. (15.9 kg)	31 lbs. (14.1kg)

Typical Specifications

Merchandise warmers are constructed with tempered glass panels and extruded aluminum corner posts and are available in 12" or 15" widths. Warmers have a stainless steel chute for loading of product and a stainless steel bottom. Units feature bright yellow steel top, vivid colorful sign, and a clear lexan drop panel providing excellent visibility of product. A 75 watt reflector flood lamp, on/off switch, 6' lead in cord and NEMA 5-15P are included. Units are UL, CSA and NSF approved. Printed in the U.S.A.

Due to periodic changes in designs, methods, procedures, policies and regulations, the specifications contained in this sheet are subject to change without notice. While Star Manufacturing exercises good faith efforts to provide information that is accurate, we are not responsible for errors or omissions in information provided or conclusions reached as a result of using the specifications. By using the information provided, the user assumes all risks in connection with such use.

Star Manufacturing International Inc. - 10 Sunnen Drive - P.O. Box 430129 - St. Louis, MO 63143-3800

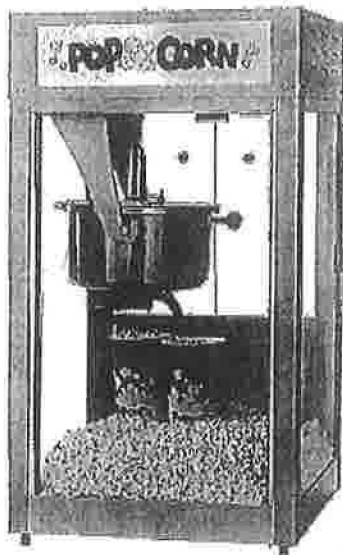
Phone: (800) 264-7827 - FAX: (800) 264-6666 - www.star-mfg.com



GOLD MEDAL PRODUCTS

10700 Medallion Drive | Cincinnati, OH 45241 | (800) 543-0862 | www.gmpopcorn.com

2600 - Super Pop Maxx, 16 oz.



Pricing, specifications and availability are subject to change without notice. Images are for representation purposes only and may depict items that are sold separately.

Gold Medal Products is proud to be associated with the agencies noted on the right. Not all equipment is listed with all agencies. Please call 1-800-543-0862 to request the agency approvals for any specific model.



The Super Pop Maxx offers the benefits of Uni-Maxx® kettle in a 16-oz. popper with the smaller footprint of a Pop Maxx. The Uni-Maxx® has a unified kettle and heat element to permit the lowest possible energy consumption with maximum popping capacity. The popper can be run on a standard 15-amp plug. Ideal cart is #2148ST.

Additional Features:

- E-Z Kleen/Uni-Maxx® Stainless Steel Kettle
- All stainless steel construction and lift-out glass for easy cleaning
- Heated Corn Freshener Deck
- Exhaust fan and larger filter



*Don't forget to order
your supplies for your
next event!*

Your One-Stop Resource for All Your Concession Equipment & Supply Needs

BUNN®

Fresh Mix Dispenser with 1 or 2 Hoppers

ITEM#

PROJECT

DATE

Features

Fresh Mix Dispensers

- Space saving narrow 8" (20.3 cm) cabinet width.
- Variable speed hopper motors offer a wide range of product mix ratios (.75 to 6.6 grams of powder per second).
- Large easy-to-fill translucent hoppers ensure quick and timely refilling.
FMD-1 = one 8 lbs. (3.6 kg)
FMD-2 = two 4 lbs. each (1.8 kg)
- Lighted graphics merchandise drinks for maximizing profits.
- Large hot water reservoir provides 4.2 gal. (15.9 L)/hour serving capacity.
- Adjustable legs and drip tray allows up to 7" (17.8 cm) opening for 20 oz. cups.
- Specially designed mixing system guarantees perfect beverages every time.
- Improved automatic rinse reduces run-on after beverage is dispensed.
- Designed to be easily serviced from front and top of machine.



Model FMD-1



Model FMD-2



Model FMD-1 available
with optional
Hot Chocolate Display

Models FMD-1 & FMD-2

Dimensions: 30"H x 7.9"W x 21"D
(76.2cm H x 20.1cm W x 53.3cm D)

For current specification sheets and other information, go to www.bunn.com.

Related Products

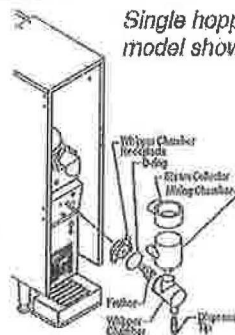
Easy Clear® EQHP-10
Product No. : 39000.0004

Easy Clear® EQHP-10L
Product No. : 39000.0001



Features deluxe whipper chambers:

1. Robust whipper to ensure full flavor yield.
2. Specially designed self cleaning mixing chamber.
3. Exhaust fan to siphon off moisture that can cause powder buildup.
4. Hot water dispense for easy clean-out.
5. Quick disconnecting parts for thorough sanitizing.



Single hopper
model shown.

Model

FMD-1
FMD-2

Agency Listing



Dimensions & Specifications

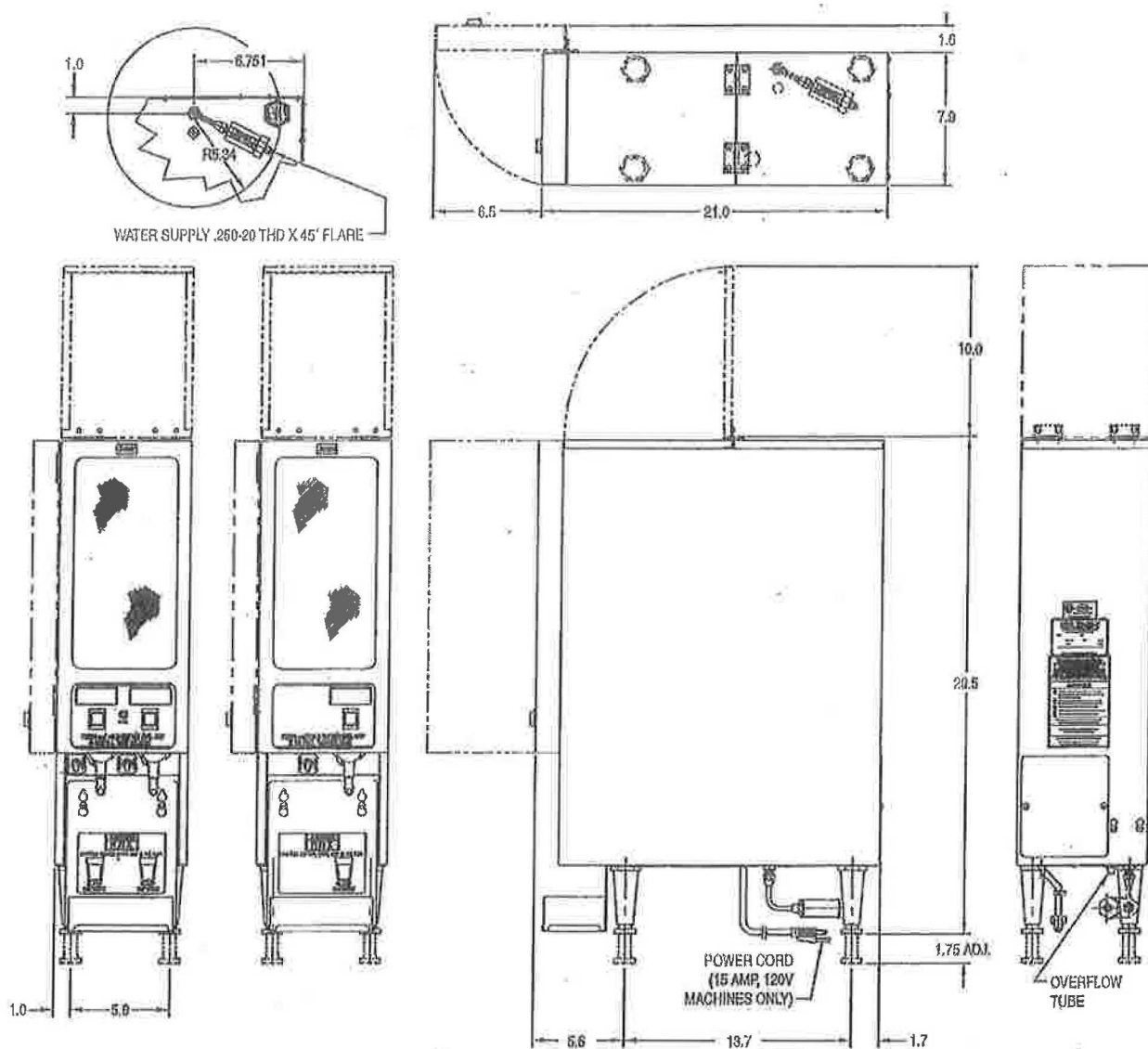
Model	Product #	Volts	Amps	Tank Heater Watts	Total Watts	Brewing Capacity	Cu. Ft.	Shipping Weight	Cord Attached
FMD-1 BLK	SET00.0196	120	15	1700	1800	4.2 gal./hr.**	8.3 ft ³	75 lbs.	Yes*
FMD-1 BLK	SET00.0203†	120	15	1700	1800	4.2 gal./hr.**	8.3 ft ³	75 lbs.	Yes*
FMD-2 BLK	SET00.0200	120	15	1700	1800	4.2 gal./hr.**	8.3 ft ³	81 lbs.	Yes*
FMD-2 BLK	SET00.0207***	120	15	1700	1800	4.2 gal./hr.**	8.3 ft ³	81 lbs.	Yes*

† Model has "Hot Chocolate" display. *Power cord (NEMA 5-15P) 15 Amp-120V machine only. **Based on incoming water temperature of 50°F.

*** Mug display.

Electrical: Model requires 2-wires plus ground service rated 120V, single phase, 60 hz.

Plumbing: 20-90 psi (138-621 kPa) from a 3/8" or larger supply line. A shut-off valve should be installed in the line before the unit. Install a regulator in line when pressure is greater than 90 psi to reduce it to 50 psi. Supplied with 1/4" male flare fitting.



Bunn-O-Matic® Corporation - 1400 Stevenson Drive Springfield, Illinois 62703 • 800-637-8606 • 217-529-6601 • Fax 217-529-6644 • www.bunn.com

BUNN® practices continuous product research and improvement. We reserve the right to change specifications and product design without notice. Such revisions do not entitle the buyer to corresponding changes, improvements, additions or replacements for previously purchased equipment.

All dimensions shown in inches.

7/10 © Bunn-O-Matic Corporation

Scotsman

PRODIGY
Smart Manufacturing

CU3030 – 300 lb Self-contained Ice Machine

Prodigy® Undercounter Cuber with Storage



CU3030

Features

Prodigy® undercounter cubers use significantly less energy and water than other cube ice machines, exceeding California and Federal energy efficiency regulations.

Auto-AIert™ control panel can communicate operating status and signal when it's time to descale, sanitize, and more—making upkeep easier.

The patented WaterSense adaptive purge control delivers maximum reliability by reducing scale buildup for a longer time between cleanings.

All external panel components are crafted for optimal aesthetic appeal through superior fit and finish.

Preventative maintenance is simpler than ever with easily-removed door, top panel and storage bin allowing clear access to all internal components and a diagnostic code display insuring the right fix the first time.

Recessed front panel on/off switch and front removable air filter.

24 Hour Volume Production

Air Cooled		
70°F/21°C	Air	ARI
50°F/10°C	Water	90°F/32°C
lb/kg		lb/kg
250/114		217/99

Water Cooled		
70°F/21°C	Air	ARI
50°F/10°C	Water	90°F/32°C
lb/kg		lb/kg
310/141		285/130



Front Air Filter



Front On-Off Switch

Cube Ice



Small Cube
3/4" x 3/4" x 3/4"
(1.92 x 1.92 x 1.92 cm)



Medium Cube
1 1/4" x 1 1/4" x 1 1/4"
(3.18 x 3.18 x 3.18 cm)

Common ice form, ideal for mixed drinks.

Warranty

- 3 years parts and labor on all components.
- 5 years parts and labor on the evaporator.
- 5 years parts on the compressor and condenser.

Warranty valid in North, South & Central America. Contact factory for warranty in other regions.

CU3030 – 300 lb Self-contained Ice Machine

Scotsman Ice Systems
775 Corporate Woods Parkway
Vernon Hills, IL 60061

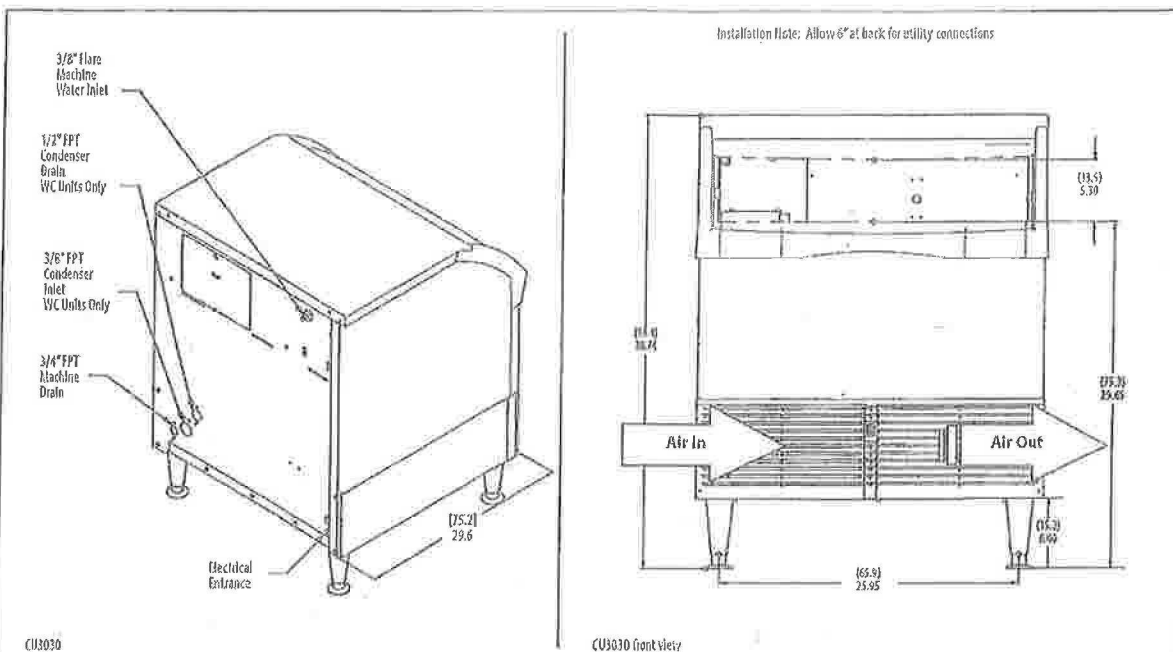
1-800-SCOTSMAN
Fax: 847-913-9844
E-mail: customer.service@scotsman-ice.com

www.scotsman-ice.com

Scotsman®

The Smart Choice in Ice.™

CU3030 – 300 lb Self-contained Ice Machine



Specifications

Model Number* Cube Size: medium or small	Condenser Unit	Storage lb/kg	Basic Electrical Volts/Hz/Phase	Max. Fuse Size or HACR Circuit Breaker (amps)	Circuit Wires	Min. Circuit Ampacity	Energy Consumption kWh/100 lb (45.4 kg) 90°F (32°C)/70°F (21°C)	Water Usage Gallons/100 lb (liters/45 kg)	
								Potable 90°F (32°C)/70°F (21°C)	Condenser 90°F (32°C)/70°F (21°C)
CU3030MA-1A	Air	110/50	115/60/1	15	2	Cord	8.5	18.0/68.2	-
CU3030MW-1A	Water	110/50	115/60/1	15	2	Cord	5.5	18.0/68.2	160/682
CU3030SA-1A	Air	110/50	115/60/1	15	2	Cord	8.5	18.0/68.2	-
CU3030SW-1A	Water	110/50	115/60/1	15	2	Cord	5.5	18.0/68.2	180/682

* 208-230/60/1 Voltage - Substitute 2-32" in place of 1-15, i.e. CU3030SA-32A.

All Models

Dimensions (W x D x H):

Unit:

30" x 30" x 33"
(76.2 x 70.0 x 83.8 cm)

Shipping Carton:

32" x 33" x 37"
(81.3 x 83.8 x 94.0 cm)

Shipping Weight:

200 lb / 91 kg

BTUs per hour:

5,200

Accessories

Model Number	Description
KLP8S	Kit 6 inch legs SS
KPUFM30	Kit Prodlgy undercounter floor mount 30 inch for CU3030

* Scotsman recommends all ice machines have water filtration. See Scotsman Sanitation Matrix for details.

Operating Requirements

	Minimum	Maximum
Air Temperatures	50°F (10°C)	100°F (38°C)
Water Temperatures	40°F (4.4°C)	100°F (38°C)
Remote Cond. Temps	-20°F (-29°C)	120°F (49°C)
Water Pressures	20 PSIG (1.4 bar)	80 PSIG (5.5 bar)
Electrical Voltage	-10%	+10%

Specifications and design are subject to change without notice.

Scotsman Ice Systems
775 Corporate Woods Parkway
Vernon Hills, IL 60061

1-800-SCOTSMAN
Fax: 847-913-9844
E-mail: customer.service@scotsman-ice.com

www.scotsman-ice.com

**DOUWE
EGBERTS**



C-300

HIGH-EFFICIENCY COFFEE BREWER

QUALITY COFFEE AT THE TOUCH OF A BUTTON!



THE DOUWE EGBERTS® C-300 COFFEE BREWER is the perfect high-quality coffee solution for locations requiring large volumes of freshly brewed coffee during peak hours.

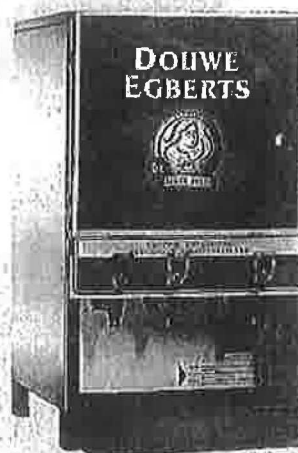
The C-300 can hold and brew two different blends of regular and/or decaf coffee, plus hot water, and can be programmed to fit your needs:

- Set it to brew the same size cup or pot each time the handle is pulled (for back-of-the-house usage)
- Set it to brew continuously until the handle is released (for front-or-back-of-the-house).

With the Douwe Egberts® C-300, your coffee is always freshly brewed so the quality remains consistently high with no waste!

EQUIPMENT SPECIFICATIONS

Dimensions	Width: 17" Height: 29 1/4" Depth: 21" (+2" minimum clearance in rear)
Weight	Empty: 105 lbs. Full: 122 lbs.
Maximum Incoming Water Temp.	180°F
Water Supply	3/8" or 1/2"; 20-85 psi
Electrical	208/220/240 volt single phase, 3-wire requires 30 amp circuit; permissible voltage tolerance +/- 10%
Tank Capacity	2 gallons
Flow Rate	Up to 1.4 gallons/minute <i>without</i> self-serve flow rate option; or up to 0.6 gallons /minute <i>with</i> self-serve flow rate option
Peak Capacity - Hot Water Inlet	1,059 12 oz. cups/hour (10 oz. fill) using 180°F water inlet
Peak Capacity - Cold Water Inlet	201 12 oz. cups/hour (10 oz. fill) using 55°F water inlet
Certification/Approval	UL & NSF listed



www.cdccoffee.com

GRILL-MAX[®] EXPRESS[™] ROLLER GRILLS

Stadium Seating Models: X30, X30S, X30SG, X45, X45S, X45SG, X50, X50S, X50SG, X75, X75S, X75SG

Flat Models: X30F, X30SF, X30SGF, X45F, X45SF, X45SGF, X50F, X50SF, X50SGF, X75F, X75SF, X75SGF

Features/Benefits:

- ★ Star's Grill-Max[®] Express[™] Roller Grills are designed to handle high-volume demand. New low profile modern design grills are available in a variety of sizes accommodating capacities from 30 to 75 hot dogs to meet your counter space needs. New, lower profile improves visibility.
- ★ Star's high-performance motor is designed for 24/7 operations and features a unique chain tension system that prevents the chain from becoming loose over time. Our advanced tooth design allows for more efficient and fluid roller movement.
- ★ Three coatings available, standard chrome rollers, optional easy clean Duratec and Super-Turn Duratec rollers. Super-Turn rollers are the best in the industry for rolling products such as taquitos, egg-rolls and other bread type products.
- ★ Infinite temperature controls provide more linear heat control for better performance.
- ★ Unique stadium seating slanted roller design provides the best presentation of your products increasing sales and impulse purchases.
- ★ Control knobs provide separate section heating for front and rear rollers.
- ★ Indicator lights and colored seals provide quick, visual identification of front and rear zones.
- ★ Flat and most popular stadium seating models available.

Applications:

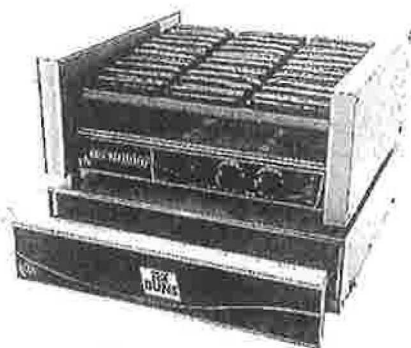
Star's new Grill-Max[®] Express[™] Roller Grills are available in a variety of styles and sizes and are perfect for use in snack bars, convenience stores, recreational facilities, stadiums and virtually any venue where you need food fast.

Quality Construction:

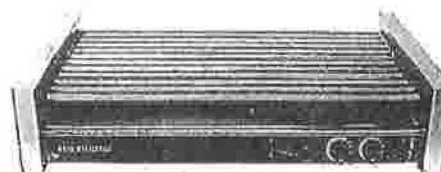
Constructed of all stainless steel body for low maintenance, Duratec non-stick rollers, Duratec Super Turn or chrome rollers with tubular steel sheath elements, and heavy-duty motor and chain drive system providing 360° rotation of rollers.

Warranty:

Star's Grill-Max[®] Express[™] Roller Grills are covered by Star's one-year parts and labor warranty.



Models X30S Shown with XBW30



Models X50SF





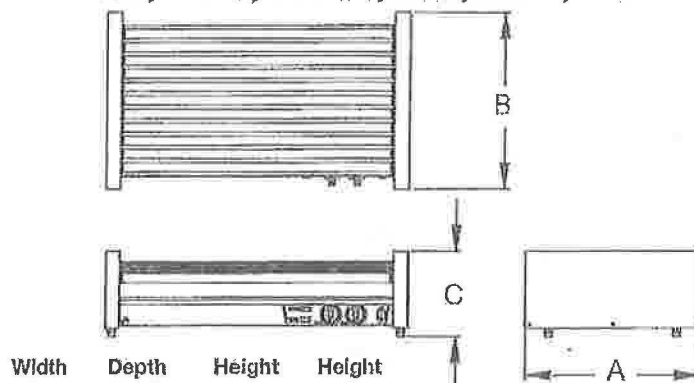
Star Manufacturing

Grill Max Express Roller Grills

GRILL-MAX[®] EXPRESS[™] ROLLER GRILLS

Stadium Seating Models: X30, X30S, X30SG, X45, X45S, X45SG, X50, X50S, X50SG, X75, X75S, X75SG

Flat Models: X30F, X30SF, X30SGF, X45F, X45SF, X45SGF, X50F, X50SF, X50SGF, X75F, X75SF, X75SGF



Model Specifications

Model No.	Surface	Capacity	Dimensions				Voltage	Wattage	Amps	NEMA	Approximate Weight Shipping Installed	
			(A)	(B)	(C)	(C)						
			Width Inches (cm)	Depth Inches (cm)	Height (Slanted) Inches (cm)	Height (Flat) Inches (cm)					lbs. (kg)	lbs. (kg)
X30 X30S X30SG	Chrome Duratec Duratec Super Turn	30 Hot Dogs	23-3/4 (60.3)	20-5/8 (52.4)	10 (25.4)	8-5/8 (21.9)	120V	1150	9.6	5-15P	54 (24.5) Flat Models 53	47 (21.3) 46
X45 X45S X45SG	Chrome Duratec Duratec Super Turn	45 Hot Dogs	23-3/4 (60.3)	28-1/2 (72.4)	10 (25.4)	8-5/8 (21.9)	120V	1650	13.8	5-15P	71 (32.2) Flat Models 69	63 (28.6) 61
X50 X50S X50SG	Chrome Duratec Duratec Super Turn	50 Hot Dogs	35-3/4 (90.8)	20-5/8 (52.4)	10 (25.4)	8-5/8 (21.9)	120V	1535	12.8	5-15P	67 (30.4) Flat Models 66	59 (26.8) 58
X75 X75S X75SG	Chrome Duratec Duratec Super Turn	75 Hot Dogs	35-3/4 (90.8)	28-1/2 (72.4)	10 (25.4)	8-5/8 (21.9)	240V	2400	10	6-15P	88 (39.9) Flat Models 86	79 (35.8) 77

Also Available in Flat rollers (models end in "F")

Accessories: Dry Bun Box

Model	Capacity	Width	Depth	Height	Voltage	Wattage	Amps	Plug	Shipping Wt.	Installed Wt.
XBW30	Dry Bun Warmer (for models 30's & 45's) Capacity: 72 buns (9-8 packs)	23-3/4	20-5/8	6-1/4	120V	35	0.3	5-15	38 lbs.	44 lbs.
XBW50	Dry Bun Warmer (for models 50's & 75's) Capacity: 96 buns (12-8 packs)	35-3/4	20-5/8	6-1/4	120V	50	0.4	5-15	52 lbs.	59 lbs.

Typical Specifications

Roller Grills are constructed of all stainless steel and utilizes Duratec[®] non-stick coated rollers or chrome rollers and tubular stainless steel elements. Elements are mounted in a fixed and floating system allowing for lateral expansion to minimize warping. Infinite temperature controls provide accurate cooking and holding from low to high. Unit has a heavy-duty motor and provides 360° rotation of rollers. The rollers are arranged in flat or optional stadium seating with a slope of 3° to 5° providing better merchandising. The unit has a pilot light, the 120V units have a 8' lead in cord with NEMA 5-15P, 6-15P for 75 models. Models 75's are 240V with a NEMA 6-15P plug. UL Sanitation to NSF Std. #4 approved and UL listed. Printed in the U.S.A.

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Phone: (800) 264-7827 - FAX: (800) 264-6666 - www.star-mfg.com

**TRUE FOOD SERVICE
EQUIPMENT, INC.**

St. Charles Industrial Center • P.O. Box 970 • O'Fallon, Missouri 63366
(636)240-2400 • FAX (636)272-2408 • (800)325-6152 • www.truemfg.com
Parts Dept. (800)424-TRUE • Parts Dept. FAX# (636)272-9471

Project Name: _____

Location: _____

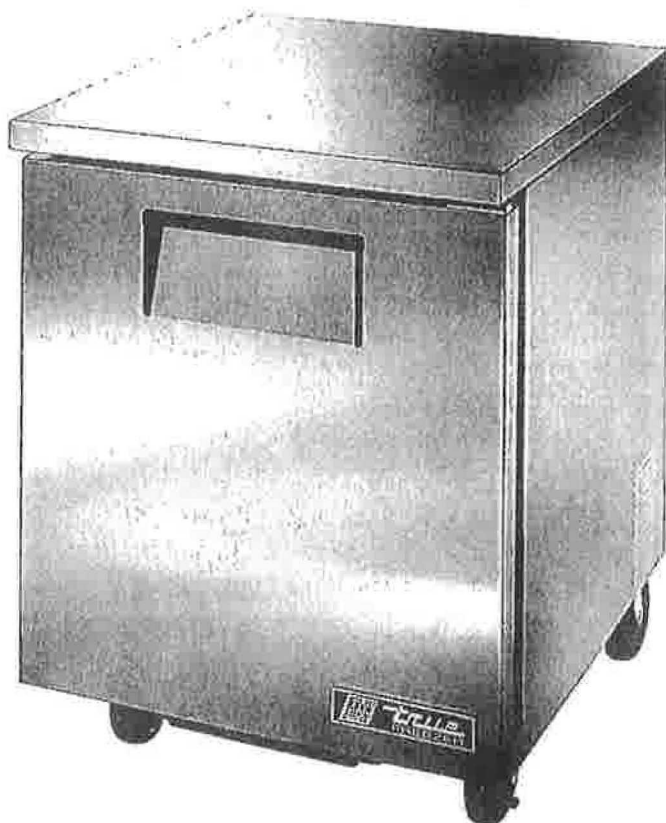
Item #: _____ Qty: _____

Model #: _____

AIA # _____

SIS # _____

Model:

TUC-27F**Undercounter:***Solid Door Freezer***TUC-27F**

- ▶ True's undercounter units are designed with enduring quality that protects your long term investment.
- ▶ Designed using the highest quality materials and components to provide the user with colder product temperatures, lower utility costs, exceptional food safety and the best value in today's food service marketplace.
- ▶ Oversized, environmentally friendly (R404A) forced-air refrigeration system holds -10°F (-23.3°C). Ideally suited for both frozen foods and ice cream.
- ▶ All stainless steel front, top and cabinet ends. Matching aluminum finished back.
- ▶ Front breathing.
- ▶ Foamed-in-place, high density polyurethane insulation (CFC free).
- ▶ Heavy duty PVC coated wire shelves.
- ▶ Automatic defrost system time-initiated, time-terminated.

ROUGH-IN DATA

Specifications subject to change without notice.
Chart dimensions rounded up to the nearest 1/8" (millimeters rounded up to next whole number).

Model	Doors	Capacity (Cu. Ft.) (liters)	Shelves	Cabinet Dimensions (inches) (mm)			Counter Height (inches) (mm)	HP	Voltage	Amps	NEMA Config.	Cord Length (total ft.) (total m)	Crated Weight (lbs.) (kg)
				L	D†	H*							
TUC-27F	1	6.5 185	2	27 ⁵ / ₈	30 ¹ / ₈	29 ³ / ₄	36	1/3	115/60/1	8.3	5-15P	7	195
				702	766	756	915	1/3	230-240/50/1	3.4	▲	2.13	89

† Depth does not include 1" (26 mm) for rear bumpers.

* Height does not include 6 1/4" (159 mm) for castors and 6" (153 mm) for optional legs.

▲ Plug type varies by country.



APPROVALS:

AVAILABLE AT:

11/05

Printed in U.S.A.

Model:
TUC-27F

Undercounter:
Solid Door Freezer

TRUE

STANDARD FEATURES

DESIGN

- True's commitment to using the highest quality materials and oversized refrigeration systems provides the user with colder product temperatures, lower utility costs, exceptional food safety and the best value in today's food service marketplace.

REFRIGERATION SYSTEM

- Factory engineered, self-contained, capillary tube system using environmentally friendly (CFC free) R404A refrigerant.
- Oversized, factory balanced refrigeration system with guided airflow to provide uniform product temperatures.
- Extra large evaporator coil balanced with higher horsepower compressor and large condenser; maintains -10°F (-23.3°C) cabinet temperatures. Ideally suited for both frozen foods and ice cream.
- Sealed, cast iron, self-lubricating evaporator fan motor and larger fan blades give True undercounter units a more efficient low velocity, high volume airflow design. This unique design insures faster temperature recovery and shorter run times in the busiest of food service environments.
- Condensing unit access in back of cabinet, slides out for easy maintenance.
- Automatic defrost system time-initiated, time-terminated.

CABINET CONSTRUCTION

- Exterior - stainless steel front, top and cabinet ends. Matching aluminum finished back.

- Interior - attractive, NSF approved, white aluminum liner. 300 series stainless floor with coved corners.
- Insulation - entire cabinet structure and solid door are foamed-in-place using high density, CFC free, polyurethane insulation.
- 5" (127 mm) diameter stem castors - locks provided on front set. 36" (915 mm) work surface height.

DOOR

- Stainless steel exterior with white aluminum liner to match cabinet interior.
- Each door fitted with 12" (305 mm) long recessed handle that is foamed-in-place with a sheet metal interlock to insure permanent attachment.
- Positive seal self-closing door with 90° stay open feature. Door swings within cabinet dimensions.
- Magnetic door gasket of one piece construction, removable without tools for ease of cleaning.

SHELVING

- Two (2) adjustable, heavy duty PVC coated wire shelves 23 1/4" L x 16" D (591 mm x 407 mm). Four (4) chrome plated shelf clips included per shelf.
- Shelf support pilasters made of same material as cabinet interior; shelves are adjustable on 1/2" (13 mm) increments.

MODEL FEATURES

- Evaporator is epoxy coated to eliminate the potential of corrosion.
- NSF-7 compliant for open food product.

ELECTRICAL

- Unit completely pre-wired at factory and ready for final connection to a 115/60/1 phase - 15 amp dedicated outlet. Cord and plug set included.



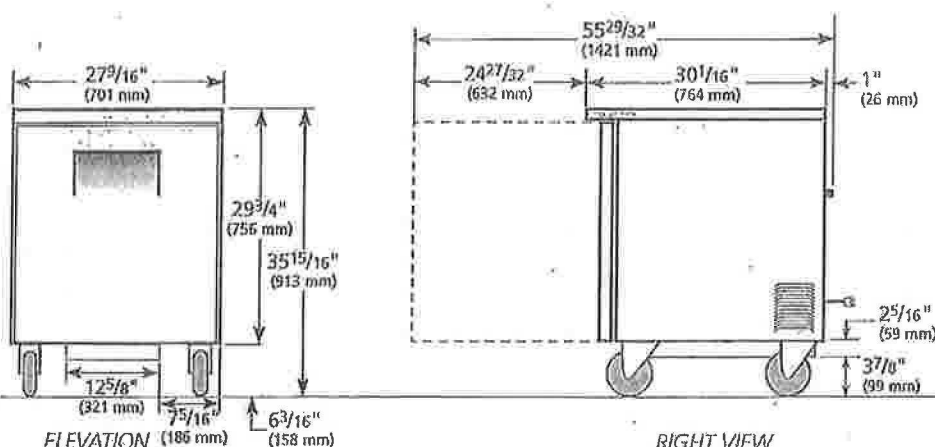
115/60/1
NEMA-5-15R

OPTIONAL FEATURES/ACCESSORIES

Upcharge and lead times may apply.

- ☐ 230 - 240V / 50 Hz.
- ☐ 6" (153 mm) standard legs.
- ☐ 6" (153 mm) seismic/flanged legs.
- ☐ 2 1/2" (64 mm) diameter castors.
- ☐ Basic overshef.
- ☐ Single utility shelf.
- ☐ Double utility shelf.
- ☐ Stacking collar.
- ☐ 30" (762 mm) deep, 1/2" (13 mm) thick, white polyethylene cutting board. Requires "L" brackets.
- ☐ 30" (762 mm) deep, 1/2" (13 mm) thick, composite cutting board. Requires "L" brackets.
- ☐ Heavy duty, 16 gauge tops.
- ☐ ADA compliant models with 34" (864 mm) work surface height.
- ☐ Low profile models with 31 7/8" (810 mm) work surface height.
- ☐ Remote cabinets (condensing unit supplied by others; system comes standard with 404A expansion valve and requires R404A refrigerant). Consult factory technical service department for BTU information.

PLAN VIEW



WARRANTY
One year warranty on all parts & labor and an additional 4 year warranty on compressor. (U.S.A. only)

METRIC DIMENSIONS ROUNDED UP TO THE NEAREST WHOLE MILLIMETER

SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE

Model	Elevation	Right	Plan	3D
TUC-27F	TFQY01E	TFQY01S	TFQY01P	TFQY013

TRUE FOOD SERVICE EQUIPMENT

St. Charles Industrial Center • P.O. Box 970 • O'Fallon, Missouri 63366 • (636)240-2400 • FAX (636)272-2408 • (800)325-6152 • www.truemfg.com



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Parts Dept. (800)424-TRUE • Parts Dept. FAX# (636)272-9471

Project Name: _____

Location: _____

Item #: _____ Qty: _____

Model #: _____

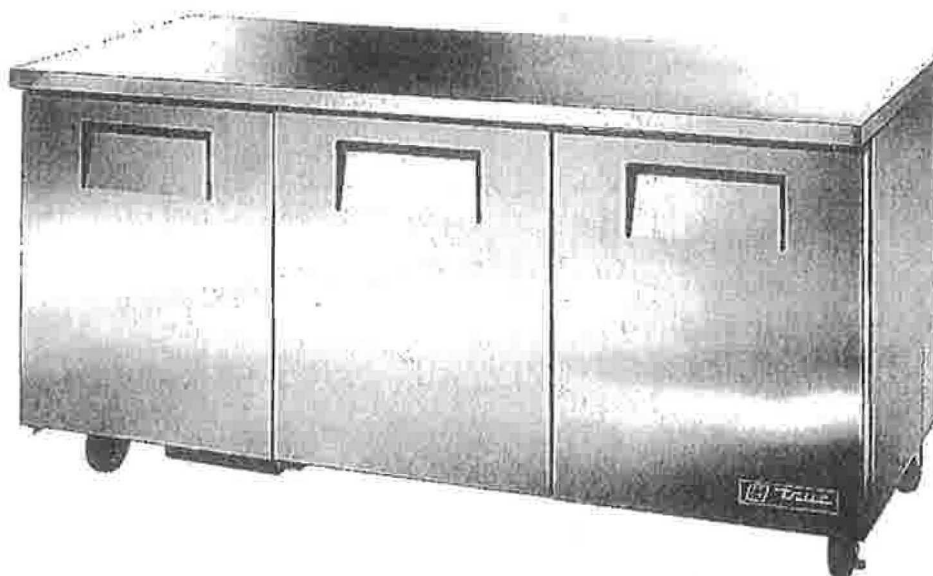
A/A #

S/S #

Model:
TUC-72

Undercounter:
Solid Door Refrigerator

TUC-72



- ▶ True's undercounter units are designed with enduring quality that protects your long term investment.
- ▶ Designed using the highest quality materials and components to provide the user with colder product temperatures, lower utility costs, exceptional food safety and the best value in today's food service marketplace.
- ▶ Oversized, environmentally friendly (134A) forced-air refrigeration system holds 33°F to 38°F (.5°C to 3.3°C).
- ▶ All stainless steel front, top and cabinet ends. Matching aluminum finished back.
- ▶ Front breathing.
- ▶ Foamed-in-place, high density polyurethane insulation (CFC free).
- ▶ Heavy duty PVC coated wire shelves.

ROUGH-IN DATA

Chart dimensions rounded up to the nearest 1/8" (millimeters rounded up to next whole number).

Specifications subject to change without notice.

Model	Doors	Capacity (Cu. Ft.) (liters)	Shelves	Cabinet Dimensions (inches) (mm)			HP	Voltage	Amps	NEMA Config.	Cord Length (total ft.) (total m)	Crated Weight (lbs.) (kg)
				L	D†	H*						
TUC-72	3	19.0 539	6	72 ³ / ₈	30 ¹ / ₈	29 ³ / ₄	1/3	115/60/1	8.5	5-15P	7	390
				1839	766	756	1/2	230-240/50/1	6.7	▲	2.13	177

† Depth does not include 1" (26 mm) for rear bumpers.

* Height does not include 6¹/₄" (159 mm) for castors or 6" (153 mm) for optional legs.

▲ Plug type varies by country.



APPROVALS:

AVAILABLE AT:

10/05

Printed in U.S.A.

Model:
TUC-72

Undercounter:
Solid Door Refrigerator

True®

STANDARD FEATURES

DESIGN

- True's commitment to using the highest quality materials and oversized refrigeration systems provides the user with colder product temperatures, lower utility costs, exceptional food safety and the best value in today's food service marketplace.

REFRIGERATION SYSTEM

- Factory engineered, self-contained, capillary tube system using environmentally friendly (CFC free) 134A refrigerant.
- Oversized, factory balanced refrigeration system with guided airflow to provide uniform product temperatures.
- Extra large evaporator coil balanced with higher horsepower compressor and large condenser; maintains cabinet temperatures of 33°F to 38°F (5°C to 3.3°C) for the best in food preservation.
- Sealed, cast iron, self-lubricating evaporator fan motor and larger fan blades give True undercounter units a more efficient low velocity, high volume airflow design. This unique design insures faster temperature recovery and shorter run times in the busiest of food service environments.
- Condensing unit access in back of cabinet, slides out for easy maintenance.

CABINET CONSTRUCTION

- Exterior - stainless steel front, top and cabinet ends. Matching aluminum finished back.
- Interior - attractive, NSF approved, white aluminum liner. 300 series stainless floor with coved corners.

- Insulation - entire cabinet structure and solid doors are foamed-in-place using high density, CFC free, polyurethane insulation.
- 5" (127 mm) diameter stem castors - locks provided on front set. 36" (915 mm) work surface height.

DOORS

- Stainless steel exterior with white aluminum liner to match cabinet interior.
- Each door fitted with 12" (305 mm) long recessed handles that are foamed-in-place with a sheet metal interlock to insure permanent attachment.
- Positive seal self-closing doors with 90° stay open feature (center door is not self-closing). Doors swing within cabinet dimensions.
- Magnetic door gaskets of one piece construction, removable without tools for ease of cleaning.

SHELVING

- Six (6) adjustable, heavy duty PVC coated wire shelves. Two (2) left and two (2) right door shelves 21⁹/₁₆" L x 16" D (548 mm x 407 mm), two (2) center door shelves 23¹/₂" L x 16" D (597 mm x 407 mm).
- Shelf support pilasters made of same material as cabinet interior; shelves are adjustable on 1/2" (13 mm) increments.

MODEL FEATURES

- Evaporator is epoxy coated to eliminate the potential of corrosion.
- NSF-7 compliant for open food product.

ELECTRICAL

- Unit completely pre-wired at factory and ready for final connection to a 115/60/1 phase - 15 amp dedicated outlet. Cord and plug set included.



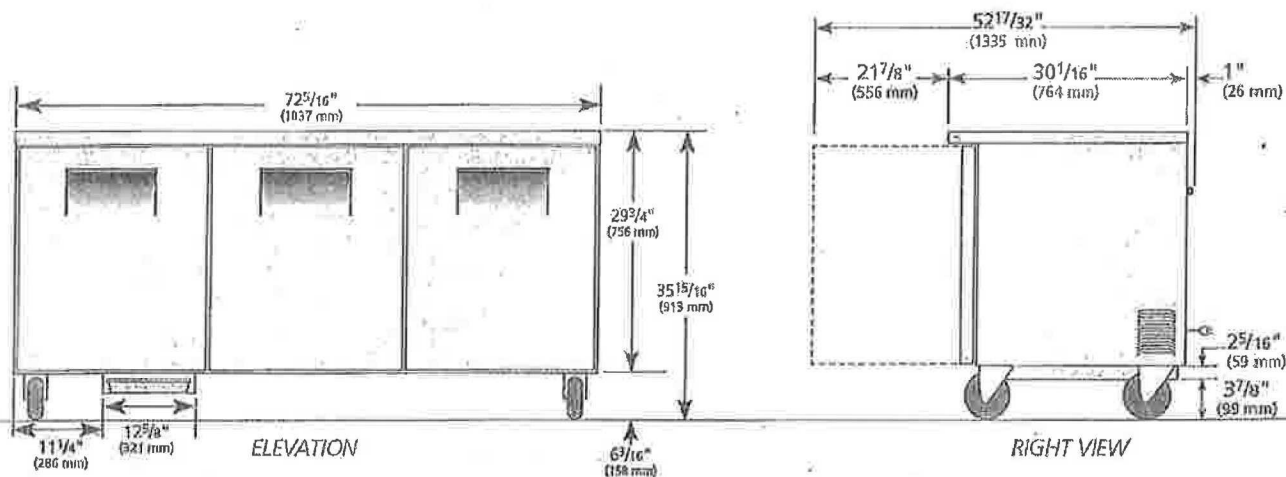
115/60/1
NEMA-5-15R

OPTIONAL FEATURES/ACCESSORIES

Upcharge and lead times may apply.

- ☐ 230 - 240V / 50 Hz.
- ☐ 6" (153 mm) standard legs.
- ☐ 6" (153 mm) seismic/flanged legs.
- ☐ 2 1/2" (64 mm) diameter castors.
- ☐ Barrel locks (factory installed). Requires one per door.
- ☐ Sandwich/salad service shelf.
- ☐ 30" (762 mm) deep, 1/2" (13 mm) thick, white polyethylene cutting board. Requires "L" brackets.
- ☐ 30" (762 mm) deep, 1/2" (13 mm) thick, composite cutting board. Requires "L" brackets.
- ☐ Heavy duty, 16 gauge tops.
- ☐ ADA compliant models with 34" (864 mm) work surface height.
- ☐ Low profile models with recessed castors. 31 1/2" (801 mm) work surface height.
- ☐ Remote cabinets (condensing unit supplied by others; system comes standard with 404A expansion valve and requires R404A refrigerant). Consult factory technical service department for BTU information.

PLAN VIEW



WARRANTY

One year warranty on all parts & labor and an additional 4 year warranty on compressor. (U.S.A. only)

METRIC DIMENSIONS ROUNDED UP TO THE NEAREST WHOLE MILLIMETER

SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE



Model	Elevation	Right	Plan	3D
TUC-72	TFQZ45E	TFQZ45S	TFQZ45P	TFQZ453

TRUE FOOD SERVICE EQUIPMENT

St. Charles Industrial Center • P.O. Box 970 • O'Fallon, Missouri 63366 • (636)240-2400 • FAX (636)272-2408 • (800)325-6152 • www.truemfg.com

SERVEND

Ice & Beverage Systems

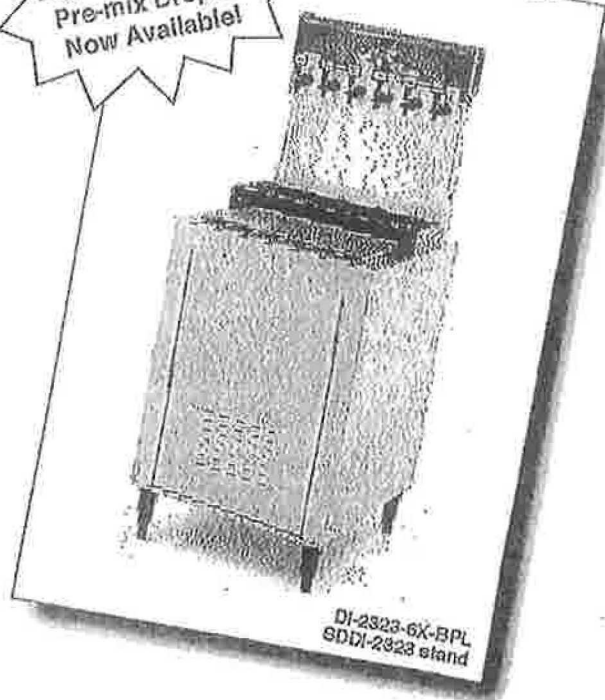
SerVend's enhanced drop-ins deliver reliability, simplicity and long life.

SerVend's enhanced drop-in beverage dispensers are manufactured for quick, easy installation. Heavy gauge stainless steel construction and recessed inlet fittings avoid damage to lines during transportation, installation and refurbishing. SerVend's cold plate and manifold beverage system maximizes drink flexibility and ensures consistently cold drinks.

- 60, 80 & 100 lbs. ice storage capacities
- Maximum carb and non-carb flexibility and beverage cooling
- High performance pre-mix cold plate decreases foam and improves pre-mix drink quality.

DI-1522, DI-2323 & DIL-2323 Drop-In Ice Cooled Beverage Dispensers

High Performance Pre-mix Drop-In Now Available!



DI-2323-6X-BPL
SDDI-2323 stand

Model DI-1522, 15" wide
Up to 60 lbs. ice storage
Up to 6 post-mix or pre-mix valves

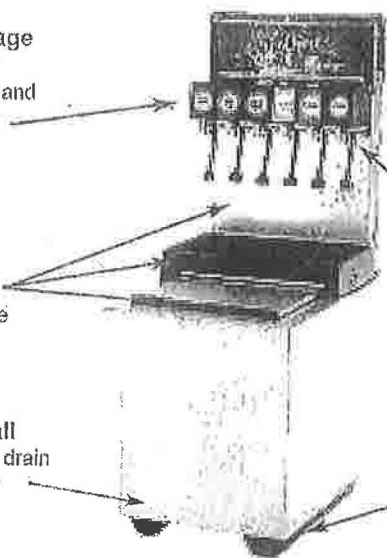
Model DI-2323, 23" wide
Up to 80 lbs. ice storage
Up to 8 post-mix or 6 pre-mix valves

Model DIL-2323, 23" wide
Up to 100 lbs. ice storage
Up to 8 post-mix or 6 pre-mix valves

■ **Maximum beverage cooling capacity** and maximum carb and non-carb flexibility.

■ **Easy access** drain pan, splash panel and ice bin door can be easily removed without use of tools.

■ **Quick, easy install** cold plate inlets and drain connections simplify pre-plumbing and installation.



DI-1522-6-SL

■ **Enhanced dual-view merchandiser** showcases front and back of "Quench Your Thirst" graphics.

■ **Flomatic beverage valves** available in push button, sanitary lever, automatic fill lever and portion control.

■ **Rugged support runners** protect cold plate inlet and drain fittings from damage and simplify installation.

SERVEND™

DI-Series Specification Guide

Standard Features for DI-Series:

Dual-view merchandiser, light kit (MM), "Quench Your Thirst" graphics (QT), key switch (DS) and drain kit (DRK).

Dimensions:

DI-1522: 15" (38.1 cm) W x 22" (55.9 cm) D x 43.75" (111.1 cm) H
DI-2323: 23" (58.4 cm) W x 23" (58.4 cm) D x 42" (106.7 cm) H
DIL-2323: 23" (58.4 cm) W x 23" (58.4 cm) D x 47" (119.4 cm) H

Countertop Cutout Dimensions:

DI-1522: 15.25" (38.7 cm) W x 22.25" (56.5 cm) D
DI-2323 & DIL-2323: 23.25" (59.0 cm) W x 23.25" (59.0 cm) D

Ice Storage Capacity:

DI-1522: 60 lbs (27.2 kg)
DI-2323: 80 lbs (36.3 kg)
DIL-2323: 100 lbs (45.4 kg)

Cooling Capacity:

At 75° F (23.9° C) ambient temperature, up to 8 (12 oz) drinks per minute can be dispensed at or below 40° F (4.4° C) provided ice is in contact with the entire surface of the cold plate.

Cabinet Exterior and Ice Bin Materials:

Stainless steel

Cold Plate:

DI-1522 post-mix: 13" (33.0 cm) x 20" (50.8 cm), 3-2-1 manifold
DI-1522 pre-mix: 13" (33.0 cm) x 20" (50.8 cm) with 6 circuits
DI-2323 & DIL-2323 Post-mix: 19" (48.3 cm) x 21" (53.3 cm) with 3-1-1-3 manifold
DI-2323 & DIL-2323 Pre-mix: 19" (48.3 cm) x 21" (53.3 cm) with 6 circuits

Valves:

DI-1522: 4, 5 or 6 Flomatic beverage valves
DI-2323 & DIL-2323: 5, 6, 7 or 8 Flomatic beverage valves
Flomatic valves are available as fast flow, push button, sanitary lever, automatic fill lever and portion control. Pre-mix and other beverage valves are also available.

Electric:

All models available in 120/60/1 or 240/50/1.

The power for the dispensing valves is supplied by a remote power supply, which contains a 24VAC, 75 VA transformer. The remote power supply is equipped with an 8 foot three-conductor cord and a NEMA 5-15P plug. (Pre-mix units do not receive this electrical enclosure.) The lighted dual-sided merchandiser is equipped with an 8 foot, three-conductor cord and a NEMA 5-15 plug. The lighted merchandiser can be plugged either into a wall receptacle or into the remote power supply.
Current rating at 115VAC: 12.5 FLA*

*Note: Current rating is for a post-mix DI-series dispenser with a lighted merchandiser, including a 10 amp load (i.e. carbonator) plugged into the remote power supply.

Drains:

The cold plate drain connection is a recessed 3/4" FPT located on the bottom of the unit. A second recessed 3/4" FPT drain connection for the drain pan is located adjacent to the cold plate drain.

Service:

The drain pan, beverage valves and cold plate inlet components are all front serviceable.

Ship Weight:

DI-1522: 105 lbs (47.6 kg)
DI-2323: 192 lbs (87.9 kg)
DIL-2323: 227 lbs (103.0 kg)

Counter Top Weight (without ice):

DI-1522: 92.5 lbs (42.0 kg)
DI-2323: 136 lbs (61.7 kg)
DIL-2323: 151 lbs (68.5 kg)

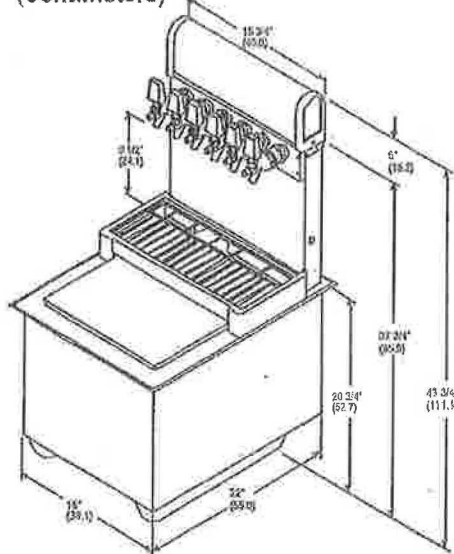
Options for DI-Series:

Drop-in stands, carbonator, regulator, valve lockout switch on ice bin door and installation kits.

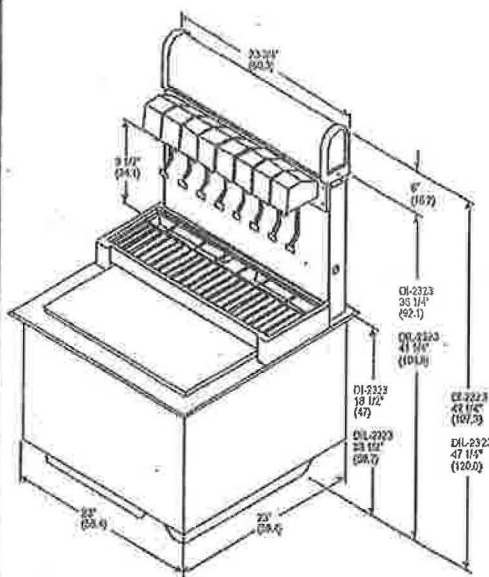
Continuing product improvements may necessitate change of specifications without notice.

Manufactured under one or more of the following U.S. Patents: 5,397,032. Other patents pending.

DI-1522 Dimensions: Inches (Centimeters)



DI-2323 and DIL-2323 Dimensions: Inches (Centimeters)



Servend International, Inc.

2100 Future Drive
Sellersburg, IN, U.S.A. 47172-1868
812-246-7000 / 800-367-4233
FAX (inside sales dept.) 812-246-7024
FAX (parts dept.) 800-240-PART (7278)
www.servend.com

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A Manitowoc Company

**COR-199**

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ**

6/17/2014 RFI-261: Galvanized Flashing for Roof Top Screen Wall Pending Approval

Category	Reference	PCCO Number
FORCE ACCT	RFI-261, attached pricing quotes	

Notes

This COR developed for additional costs to install galvanized trim pieces at the addition roof-top screen wall per RFI-261. These trim pieces were not called-out to be installed in the project documents.

Note: This work has been completed on a time and material basis.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc. Description of Work: All changes to Rocky Mountain Steel's scope of work as revised per RFI-261. This includes the installation of galvanized flashing at the addition roof-top screen wall. This work was done on a T&M basis, but not completed by RMS due to a shortage in material. Material supplied by FCI.		\$1,872.00
FCI Constructors, Inc. - GJ Description of Work: FCI labor to complete flashings: 10 man hours x \$35/hour = \$350		\$350.00
FCI Constructors, Inc. - GJ Description of Work: Galvanized flashing material.		\$232.00
FCI Constructors, Inc. - GJ Description of Work: Builder's Risk Insurance		\$2.00
FCI Constructors, Inc. - GJ Description of Work: General Liability Insurance		\$10.00
FCI Constructors, Inc. - GJ Description of Work: Payment/Performance Bond		\$17.00
FCI Constructors, Inc. - GJ Description of Work: Fee		\$149.00
FCI Constructors, Inc. - GJ Description of Work: Force Account		\$0.00

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



COR-199

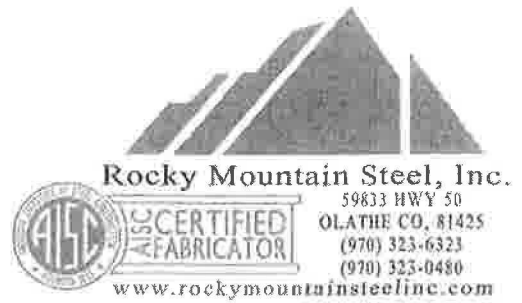
Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$2,632.00

Approval: 
Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 42

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. Screen Wall Flashing

Date: June 13, 2014

MATERIAL	\$ 00.00
SHOP LABOR.....	\$ 00.00
DETAILING	\$ 00.00
INSTALL	\$ 1,872.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 1,872.00

The above Change Order Request is for the field labor required to install the light guage flashing around the Mechanical Screen. Please refer to the attached breakdown of hours.

Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manage

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

EXTRA WORK ORDERNo. **8486**Date 6-4-14 FPR# _____Project AVALONContractor FCI Foreman Dallas Godfre

CA. LIC. #839974

Billed to _____ Approved by _____

Description of Work: Measured, cut and installed
Flashing and corner trim on Screenwall2 men 9 hrs = 18 hrsPost [Signature] FCI

MATERIAL	EQUIPMENT	MAN HOURS
Tek 10 screws	80' man lift	18
32.26	4 hrs.	
TOTAL		
Work Complete: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Signature of Approver:		
Total \$		



1111 South 9th Street
Grand Junction, CO 81501

Phone# 970-242-5014 Fax# 970-243-8746

Invoice

Bill To
FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502

Date	Invoice #
5/2/2014	24255
Customer Contact	
Brady or Pat 986-9363	

Job		P.O. No.	Terms.	Rep	WO#
Avalon			Net 30	GS	12468
Qty	Description		Rate	Amount	
	Fab flashing for customer install				
100	Retail Material Exempt (100 sq. ft. 20 ga galv)		1.39	139.00	
1	Retail Material Exempt (Misc shop supplies)		4.00	4.00	
1.5	Shop Fab Exempt (1.5 hours shop labor)		59.00	88.50	
Thank you for your business.			Subtotal	\$231.50	
Signature			Sales Tax	\$0.00	
I hereby acknowledge the satisfactory completion of the above described work. All accounts are subject to a finance charge for late payment. This charge is computed at a monthly rate of 2% on all past due balances.			Total Due	\$231.50	

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 261 **Date Created: 4/10/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number
Tim Alvarez	

Subject	Discipline	Category
Metal Trims & Attachment of Roof Top Screen Panels	Architectural/Structural	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 4/17/2014**

Please reference the attached sketches and the attached pictures.

The following items regarding metal trims and attachment of roof top screen wall metal panels were discussed onsite between FCI, Rich Sourbrine, and Rocky Mountain Steel/PSI on 3/27/14:

1.) FCI to supply and install galvanized metal trim pieces at the butt joints, ends, and corner of these metal panel pieces per the attached sketches. No trim pieces required at the top and bottom of these screen wall panels. FCI is proceeding with fabricating and installing these trim pieces (note: these trim pieces are not shown on the project drawings). Trim pieces will be painted with the screen panels.

2.) FCI communicated concern that the fasteners used for these panels are not substantial enough. Currently, per structural engineers direction on the metal decking shop drawings, these panels are to be attached using #10 and #12 Tek screws. Please review and advise if larger fasteners are required and if so, please provide fastener size.

Suggestion

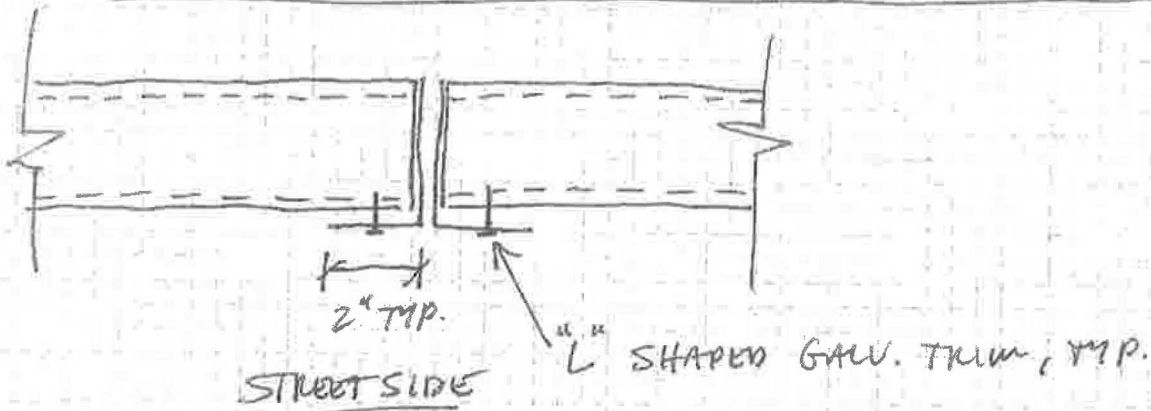
Answer **Date Answered: 4/14/2014**

[4/14/2014 Westlake Reed Lekosky - Richard Sourbrine]

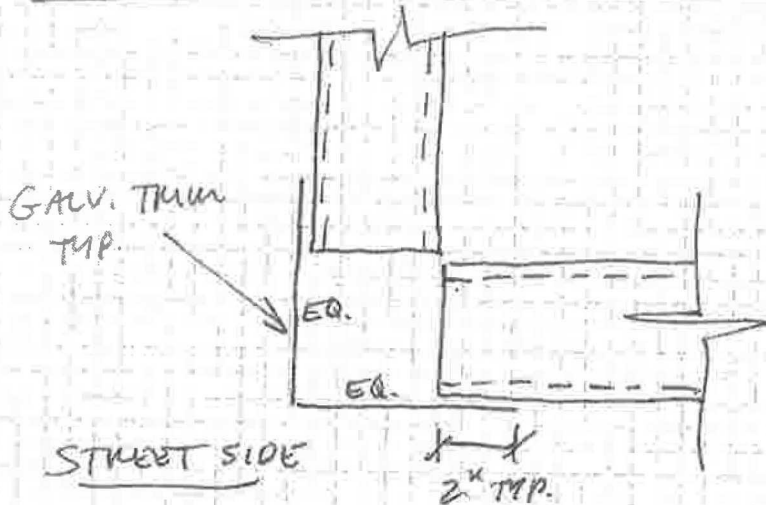
1) Trim pieces noted are acceptable.

2) See email confirmation attached for fasteners.

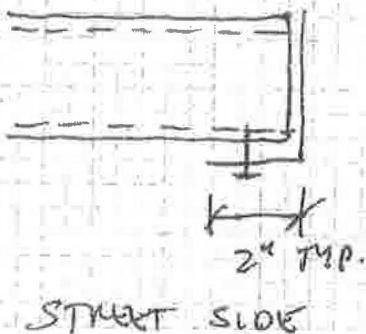
TRIM DETAIL @ BUTT JOINT (PLAN VIEW)

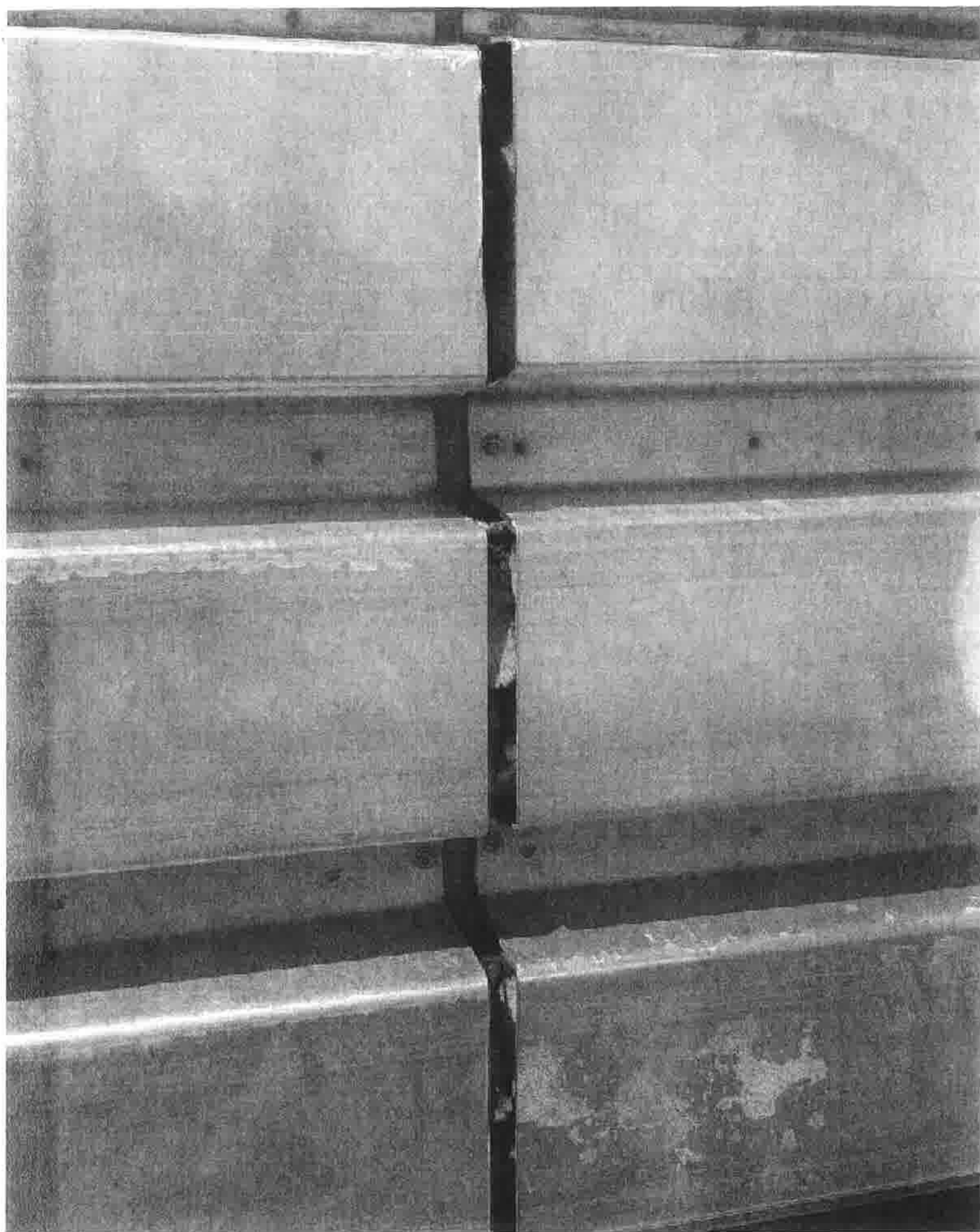


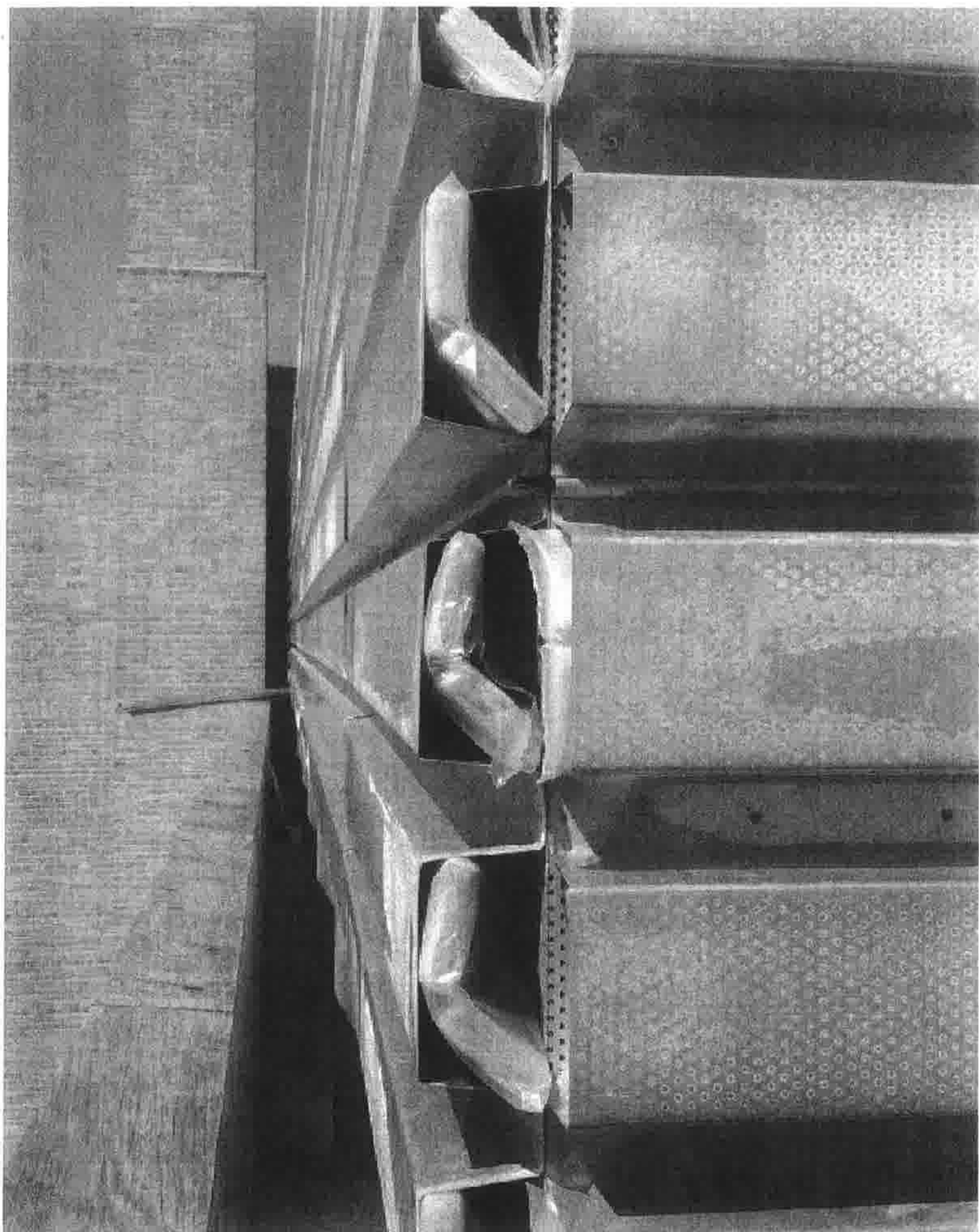
TRIM DETAIL @ CORNER (PLAN VIEW)



TRIM DETAIL @ ENDS OF PANELS







From: Tim Alvarez
To: Richard Sourbrine;
Subject: FW: Avalon - Fasteners for Roof Top Screen Wall Decking
Date: Monday, April 14, 2014 3:08:04 PM

Rich,

See email response below.

Cheers,

Tim Alvarez

Westlake
Reed
Leskosky

From: Tim Alvarez
Sent: Monday, March 31, 2014 9:27 AM
To: Brady Blackmer
Subject: RE: Avalon - Fasteners for Roof Top Screen Wall Decking

Brady,

The roof top screen wall decking attachments shown on the shop drawings (#10 screw sidelap connections @ 12" o.c. and a #12 screw at every low flute to steel member) should be sufficient.

Let me know if there is a field issue with the spacing of the deck flutes and the girts.

Cheers,

Tim Alvarez

Westlake
Reed
Leskosky

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]

Sent: Friday, March 28, 2014 1:47 PM
To: Tim Alvarez; Richard Sourbrine
Cc: Stan Kiser; Brian Young; PatHutchison
Subject: Avalon - Fasteners for Roof Top Screen Wall Decking
Importance: High

Tim,

When Rich was onsite yesterday we discussed how we are going to attached the insulated metal decking panels that are being used for the roof top screen walls. We got all the details figured out and we will be issuing and RFI to document/ confirm the layout, flashings, etc. The one thing that we were needing a quick response on were the type/size of fasteners that should be used. Per mark-ups on the decking submittal, we were told to use #10 and #12 Tek screws. As discussed yesterday, we don't think that these are substantial enough for this decking and were wanting WRL to spec a larger size. Rich knows more of the details. While I am putting the RFI together, could you look into this and give us an answer on these fasteners?

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/11/2014 RFI-233: Stainless Steel Hand Rail Connectors at Stairs E & F FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-233, attached pricing quote	

Notes

This COR developed for additional costs associated with RFI-233. Per the architect's response to RFI-233, stainless steel base flanges and stainless steel connector pieces are to be provided to attach and support the wood hand rails at stairs E & F between the Mezzanine landing and the Upper Mezzanine. These items were not detailed on the architectural drawings.

Itemized Details:

General Description	Quote Rec'd	Proposed
Osburn & Sons		\$845.00
Description of Work: All changes to Osburn Cabinets & Design's scope of work as revised per RFI-233. This includes the supply and installation of stainless steel floor/base flanges and stainless steel joint connectors for the wood hand railing at stairs E and F (stairs from the Mezzanine landing to the Upper Mezzanine).		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$51.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$906.00

Approval:

Date:

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



PROPOSAL

PAGE 1 OF 1



OSBURN CABINETS & DESIGN

682 W. GUNNISON AVE.
GRAND JUNCTION, CO 81505
PHONE: (970) 242-6899
FAX: (970) 243-2341

DATE: April 2, 2014
THIS PROPOSAL
MAY BE WITHDRAWN
AFTER 30 DAYS

PROJECT QUOTED: Avalon Theatre

ARCHITECT: Westlake Reed Leskosky

BID DATE: 4/2/14

AWI CERTIFICATIONS:

No

DRAWINGS DATED: 1/17/14

ACKNOWLEDGE ADDENDA #'S:

SPEC BOOK: Yes

ALTERNATE BIDS: Yes

AWI GRADE:

WE HEREBY PROPOSE TO FURNISH MATERIAL, LABOR, TOOLS, AND EQUIPMENT TO
FABRICATE, DELIVER AND INSTALL THE FOLLOWING:

BASE BID RFI-233

Additional stainless steel 90° brackets for Stairs E & F.
Additional stainless steel handrail brackets for Stairs E & F.

GENERAL EXCLUSIONS:

BLOCKING AND BACKING

ALL RUNNING AND STANDING TRIM NOT SPECIFIED ABOVE

ALL EXTERIOR MATERIALS AND INSTALLATION

STORAGE FACILITIES UPON DELIVERY OF CASEWORK

SECURITY OF OSBURN CABINETS & DESIGN PRODUCTS DURING INSTALLATION

ALL BONDING

ALL OTHER TAXES NOT SPECIFIED BELOW

ALL DEMO WORK NOT LISTED ABOVE.

**OSBURN CABINETS & DESIGN TO PROVIDE SHOP DRAWINGS. NO FABRICATION SHALL START UNTIL
APPROVAL OF SHOP DRAWINGS.**

ALL ITEMS MANUFACTURED BY OSBURN CABINETS & DESIGN PER PLANS AND
SPECIFICATIONS AS INTERPRETED BY OSBURN CABINETS & DESIGN.

BASE BID FABRICATION AND DELIVERY:	<u>\$525.00</u>	Casework/Millwork
BASE BID FABRICATION/DEL/INSTALL:	<u>\$0.00</u>	Solid Surface
TAX AT: 0.00%	<u>\$0.00</u>	
ADD FOR INSTALLATION:	<u>\$320.00</u>	Casework/Millwork
TOTAL:	<u>\$845.00</u>	

JESSE OSBURN
ERIC ROSLING

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 233 **Date Created: 3/13/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Cole Forsman

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Hand Rail At Stair E & F Mezzanine Level	Architectural/Structural	Request for Information

Cc: Company Name	Contact Name	Copies	Notes

Question **Date Required: 3/20/2014**

Please reference stair E section 1&2/AE-440, the hand rail is shown extending above the wall at the top of stair E. Please provide details showing how this hand rail is attach to the wall at the landing at the top of stair E and also to the floor.
Note: 1&2/AE-440 apply to both stairs E & F at the mezzanine level.

Suggestion

Answer **Date Answered: 3/18/2014**

[3/18/2014 Westlake Reed Lekosky - Richard Sourbrine]
Provide standard/typical wall bracket at vertical portion of rail 4" down from top of wall (at "inside" or stair side of railing).

Set end of railing in Stainless Steel raised base flange mounted to floor. Use "Sharpe Products" model no. RF1663-SS flange or similar.

[3/18/2014 Westlake Reed Lekosky - Richard Sourbrine]
In addition, joint connectors at wood railing at this location to be Stainless Steel.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/11/2014 RFI-285: Support Frames for Roof Drains at High Roof FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-285, attached pricing	

Notes

This COR developed for costs associated with the supply of materials and the installation of structural steel frames to support two sets of roof drains at the high roofs above the Upper Mezzanine as documented in RFI-285. These frames were not shown on the structural drawings. Per the structural engineer these steel frames are required. This work has been completed on a T&M basis.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$733.00
Description of Work: Steel material for roof drain steel supports - material provided by Western Slope Iron.		
FCI Constructors, Inc. - GJ		\$1,125.00
Description of Work: Labor to install roof drain steel supports - work completed by Pinnacle Erectors: 15 man hours x \$75 hour = \$1,125		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$7.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$13.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$113.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$1,993.00

Approval:

Date:

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



WESTERN SLOPE IRON
670 23 ROAD
GRAND JUNCTION, CO
81505-9440
TEL: (970) 243-9770
FAX: (970) 263-8511

INVOICE

117130

INVOICE	NUMBER 117130	PAGE 1	DATE 06/10/2014
SALES REP PHIL GARZA	Credit Terms NET 30	SHIP DATE 06/10/2014	
SHIP VIA OUR TRUCK		CUST ID FCI500	
CUST P.O.# 10-13-025 (EXEMPT)	BUYER Brady	OUR S.O.# 117130	

SOLD TO:

FCI Constructors, Inc
P.O. Box 1767
Grand Junction, CO 81502

SHIP TO:

FCI Constructors, Inc
AVALON on Main
Grand Junction, CO 81502

Phone: (970) 434-9093

Fax: (970) 434-7583

LINE	QTY ORDERED	QTY THIS SHIPMENT	ITEM ID	--- WIDTH ---	--- LENGTH ---	UNIT QTY	UNIT PRICE	AMOUNT
1	12.00 PCS	12.00	FL383 FLAT 3/8 X 3		0' 5.62500"	12.000	5.58/PC	66.96
2	6.00 PCS	6.00	TS33375 TUBE SQ 3 X 3 X 3/8		10'-0.0"	6.000	111.00/PC	666.00
COR-203 Total = \$733								
3	1.00 PCS	1.00	A7438 ANGLE HR 7-X-4 X 3/8		20'-0.0"	1.000	254.24/PC	254.24
***** (Note: All Material Needs to Be 1 S/C Red Primer) ****								

NO CLAIMS WILL BE CONSIDERED UNLESS MADE WITHIN 3 DAYS OF RECEIPT OF MERCHANDISE. OWNERSHIP OF MERCHANDISE REMAINS WITH VENDOR UNTIL CASH PAYMENT IN FULL HAS BEEN RECEIVED. INTEREST WILL BE CHARGED ON OVERDUE ACCOUNTS. ALL TAXES EXTRA IF APPLICABLE.

A SERVICE CHARGE OF 1.5% PER MONTH, 18% PER ANNUM WILL BE ASSESSED ON INVOICES REMAINING UPAD AFTER 30 DAYS.

SUB-TOTAL

987.20

TAX

0.00

CARBON STEEL
"WARNING! - PARTICULATES MAY BE HARMFUL TO LUNGS"
REFER TO M.S.D.S. FOR MORE INFORMATION

CQ-R/L: NO MTR'S

TOTAL DUE

987.20

PINNACLE CONSTRUCTORS AND SPECIALTIES, INC.

717 Arrowest Court, Grand Junction, CO 81505.

(970)243-7633 Phone (970)241-9176 Fax

pinnaclec@qwestoffice.net

MISC.

INVOICE # M14-009

FOR:

Name:

F.C.I.

P.O. Box 1767

Grand Junction, CO 81502

Today's Date:	6/10/2014	Foreman:	Brent
Date Completed:	6/9/2014	Job Number:	M14-009
Job Name:	AVALON	Job Location:	Grand Junction

LABOR

	HOURS		RATE	AMOUNT
Price Request				
Foreman				
Journeyman	22.50		\$75.00	\$1,687.50
Apprentice				
			TOTAL	\$1,687.50

MATERIALS

COR-203 work: 15 hours x \$75/hour = \$1,125

			COST	AMOUNT
			TOTAL	

EQUIPMENT

TYPE	HOURS	DESCRIPTION	RATE	AMOUNT
Crane				
			TOTAL	

TOTAL COST

\$1,687.50

COMMENTS

Thank you for your business.

Please see attached.

Submitted by: M.E. McFate

Date: 6/10/2014

Accepted by:

Company:

Zip Code:

Date:

EXTRA WORK ORDER

M14-009B

JOB NUMBER: _____ LOCATION: 7th Main DATE: 6/9/14

PINNACLE CONSTRUCTORS & SPECIALTIES, INC.
717 ARROWEST COURT
GRAND JUNCTION, CO 81505
(970)243-7633

CUSTOMER NAME: F.C.I.

ADDRESS: 7th and Main

PHONE: _____

RFI or AS NUMBER: _____

PROBLEM SOLUTION: We Added a Frame for Electrical opening in 3rd Floor

Ironworker Hrs: 5 Foreman Hrs: 2.5 O.T. Hrs: _____

Crane Hrs: _____ Equipment Hrs: _____

Materials: _____

Authorized Signature: Pent' Line Date: 6-9-14
Verifying Work Completed

EXTRA WORK ORDER

m14-009A

JOB NUMBER: _____ LOCATION: 7th Main DATE: 8/9/14

PINNACLE CONSTRUCTORS & SPECIALTIES, INC.
717 ARROWEST COURT
GRAND JUNCTION, CO 81505
(970)243-7633

CUSTOMER NAME: F.C.I.

ADDRESS: Avalon 7th and Main

PHONE: _____

RFI or ASI NUMBER: _____

PROBLEM SOLUTION: We Added Roof Frames For Roof Drains

Ironworker Hrs: 10 Foreman Hrs: 5 O.T. Hrs: _____

Total of 15

Crane Hrs: _____ Equipment Hrs: _____

Materials: _____

Authorized Signature: [Signature] Date: 8-9-14

Verifying Work Completed



Request for Information 285

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel	Project # 10-13-025	FCI Constructors, Inc. - GJ
645 Main Street, Grand Junction, CO 81501	Tel: 970-242-5628 Fax: 970-434-7583	

RFI #: 285

Date Created: 4/30/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Tim Alvarez	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Shawn Carr

Author RFI Number

Subject	Discipline	Category
Support Frames for Roof Drains at the High Roof	Structurals	Field Conditions

Cc: Company Name	Contact Name	Copies	Notes
FCI Constructors, Inc. - GJ	Brian Young	1	
City of Grand Junction	Lee Cooper	1	
FCI Constructors, Inc. - GJ	Pat Hutchison	1	
Shanks Engineering, LLC	Jim Shanks	1	
FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 5/7/2014

As discussed with Rich Sourbrine (WRL) onsite on 4/24/14, there are no requirements in the drawings to support the roof drains at the high roof (2 locations - reference AE-105) with structural steel frames. However, there is a significant flex in the metal decking at these locations when walking on this high roof. FCI is proposing to support these roof drains with angle frames similar to detail 11/S-511, but with less heavy angle sizes. Note that there is 4" between the bottom of deck and the top of roof drain piping at these drains. Also note that due to the location of the east wall of Concessions 303, there is not enough room on the east side of the southern most set of drains to install a framing member without conflicting with this wall (reference the attached sketch for this condition). Please review this condition and advise.

Suggestion

Answer

Date Answered: 6/5/2014

[5/1/2014 Westlake Reed Lekosky - Tim Alvarez]
Please submit a sketch of the proposed sizes and configuration. WRL will review proposed sizes and configuration for required loading conditions.

[6/5/2014 Westlake Reed Lekosky - Tim Alvarez]
See attached structural sketches SK/S-27 & SK/S-28 for proposed solution.

4 roof drains

NSF

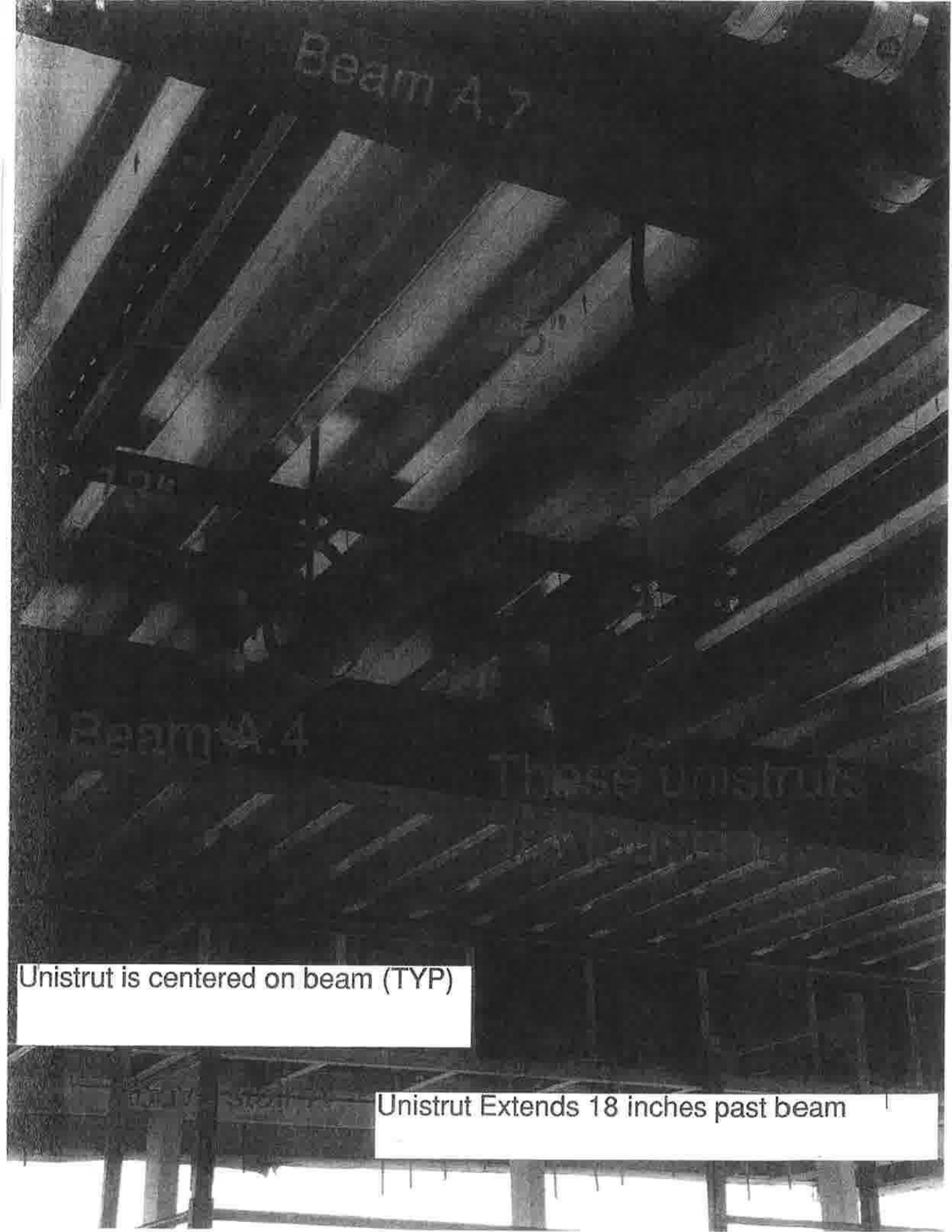


Creep testing machine 303

0"

3045

Beam B.1



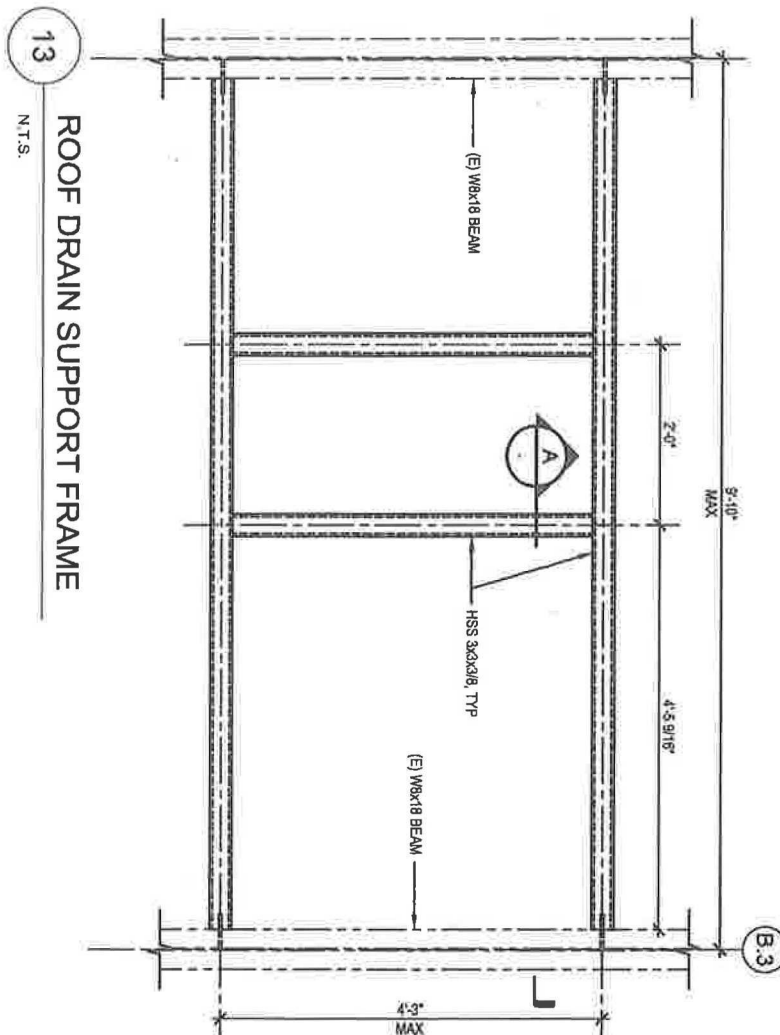
Beam A.7

Beam A.4

These unistrut
is centered

Unistrut is centered on beam (TYP)

Unistrut Extends 18 inches past beam



AVALON THEATRE

Commission #12036.00

Westlake Reed Leskosky

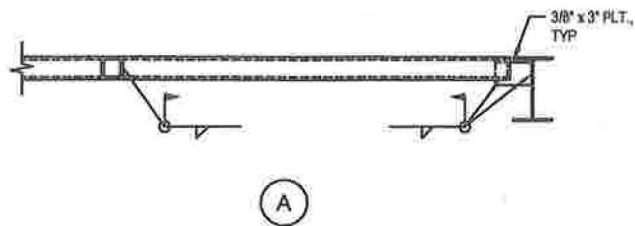
One East Camelback
Suite 690
Phoenix, Arizona 85012
602.212.0451

Request For Information
RFI-285

Date
6/3/2014

Ref. Drawing No.
S-511

Sketch No.
SK/S-27



(A)

	AVALON THEATRE	Request For Information RFI-285
		Date 6/3/2014
	Commission #12036.00	Ref. Drawing No. S-511
	Westlake Reed Leskosky One East Camelback Suite 690 Phoenix, Arizona 85012 602.212.0451	Sketch No. SK/S-28



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 032	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: July 9, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: (\$189,055.13)

COR-187 - Furred Drywall "Box" Around Doors 112C & 212	Deduct \$ 1,796.00
COR-190 - Added Bottom Rail at Stainless Steel Railings at Stair A	Deduct \$ 3,853.00
COR-192 - RFI-284: Site Concrete Revisions at North Side of Addition	Deduct \$ 2,051.00
COR-198 - RFI-204: Painting of Mechanical Roof Screen Wall	Deduct \$ 3,090.00
COR-205 - Credit for Change of Corian to Group A	Add \$ 3,722.00
COR-207 - Hand Rail Required at Other Side of Stoops at Breezeway	Deduct \$ 1,153.00
COR-209 - RFI-280, RFI-300, RFI-301: Miscellaneous Drywall Revisions	Deduct \$ 1,516.00
COR-210 - Credit for Damaged Aluminum Doors	Add \$ 3,036.00

TOTAL **DEDUCT \$ 6,701.00**

Remaining Force Account \$ 4,243.87

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$174,468.08)

BVR-036 - Revised Concealed Exit Device Cables for 101A, 101B, 300B	Deduct \$ 1,892.00
---------------------------------------------------------------------	--------------------

TOTAL **DEDUCT \$ 1,892.00**

Remaining Contractors Contingency \$ 55,560.92

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ 1,764,745.70
The Contract Sum prior to this Change Order was	\$ 8,034,525.70
The Contract Sum will be increased by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 8,034,525.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

8/24/2014 Revised Conceptual Exit Device Cables for 101A, 101B, 300B FCI PM Data

Category	Reference	PCCO Number
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Budget Variance Report	attached pricing quote	
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Notes

This BVR has been developed for additional costs to replace the cables that operate the exit devices for aluminum doors 101A, 101B, and 300B. The height of doors 101A and 101B, and the assembly of door 300B per revised per RFI-270 and RFI-270R1. Due to these changes, the cable that retracts the latch and is tied into the exit devices are not the correct length. These cables cannot simply be cut down, but an entire cable assembly is needed from the factory. This BVR is for the material costs for these new cable assemblies.

Itemized Details:

General Description	Quote Rec'd	Proposed
		\$1,764.00
Description of Work: McKinney Door & Hardware: Supply only of correct sized cable assemblies for the exit devices for doors 101A, 101B, and 303. Due to revisions to these doors made in RFI-270 and RFI-270R1, the specified length of these cable assemblies was not correct.		
		\$2.00
Description of Work: Builder's Risk Insurance		
		\$7.00
Description of Work: General Liability Insurance		
		\$12.00
Description of Work: Payment/Performance Bond		
		\$107.00
Description of Work: Fee		
		\$0.00
Description of Work: Contingency		

Requested Days: 0

Total Change to Contingency: (\$1,892.00)

Approval: 

Date: 7/8/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



MCKINNEY DOOR & HARDWARE

2700 N. FREEWAY
PUEBLO, CO 81003
(719) 543-3124 FAX (719) 543-1921
1-800-215-7614

QUOTATION

Contract Hardware
Hollow Metal
Wood Doors

Bathroom Accessories
Contract Specialties

6-18-14

6-18-14

Date: _____ Bid Date: _____

Plans Dated: 1-17-14

Job: AVALON THEATRE

FCI CONSTRUCTORS, INC.

ATTN: BRADY BLACKMER

VIA E-MAIL

Location: GRAND JUNCTION, CO.

Alternates: _____

Addendas Included: 1, 2, 3

RE:ALUMINUM DOOR HEIGHT CHANGES AT OPENING NUMBERS 101A,101B & 300B

ADD THE FOLLOWING FOR THE CONCEALED CABLE EXIT DEVICES:

6EA - TOP CABLE ASSEMBLY

6EA - BOTTOM CABLE ASSEMBLY

LOT ADD PRICE \$ 1,764.00

MUST SPECIFY DOOR OPENING HEIGHT FROM FLOOR TO INSIDE OF HEAD TO PLACE ORDER
MUST SPECIFY ALUMINUM DOOR STILE DIMENSION TO PLACE ORDER

☐ SALES TAX INCLUDED

☒ SALES TAX NOT INCLUDED

MIKE MUSSO

DELIVERY

- (☒) FOB Shipping Point FRT Allowed to Jobsite
(☐) FOB McKinney Door
(☐) FRT Collect

Quote Good for 30 Days
Material Furnished Only

TERMS: NET 30 DAYS

By

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/24/2014 RFI-282: Furred Drywall "Box" Around Doors 112C & 212 FCI Prolog

Category	Reference	PCCO Number
FORCE ACCT	RFI-282, attached pricing quotes	
Notes		

This COR developed for changes associated with RFI-282.

Per direction given by the architect in RFI-282, metal framing is to be installed around the east side of door openings 112C and 212 to cover the exposed steel lintel and the unsightly exposed edge of existing brick. This metal framed and drywall "box" is to be as wide as required at the jambs to cover the lintel above, and will extend to 4" above ceiling.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$1,433.00
Description of Work: All changes to TP Acoustics' scope of work as revised per RFI-282. This includes framing of a furred-out "box" around the east side of doors 112C and 212, plus drywall and finish.		
RJ's Painting LLC		\$240.00
Description of Work: All changes to RJ's Painting's scope of work as revised per RFI-282. This includes additional painting at drywall "box" to be installed around the east side of doors 112C and 212.		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$7.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$12.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$102.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$1,796.00

Approval:

Date:

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

06-16-14

Project: **Avalon**
Attn: **Brady Blackmer**

RFI 282

Frame, Drywall and Finishes at door 212 ←

Per phone conversation between Tom Valdes (TP) and Brady Blackmer (FCI), this pricing includes the costs to frame, drywall, and finish these furred "boxes" at the east sides of both doors 112C and 212.

Material	\$ 241.00
Labor	\$ 714.00
Burden	<u>\$ 286.00</u>
Subtotal	\$1241.00
Overhead	<u>\$ 124.00</u>
Subtotal	\$1365.00
Profit	<u>\$ 68.00</u>
Total	\$1433.00

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net



WORK ORDER

R.J.'s Painting LLC

Date: 06/11/2014

2690 N. Townsend Ave Montrose, Co 81401
Phone: 970-249-2137 Fax: 970-249-0935
Rudy: 970-209-0114 Jeremy: 970-901-8218
E-mail: rjspainting@gmail.com

TO: Brady Blackmer

JOB: Avalon

Description	Line Total
Paint this gyp. "box" around door 212	\$120.00
	+ \$120 for "box" at door 112C
	TOTAL = \$240

Authorized GC/Supervisor Signature_____

Authorized RJ'S Signature_____

THANK YOU FOR YOUR BUSINESS!

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 282

Date Created: 4/28/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Author RFI Number

Subject	Discipline	Category
Door 212: Frame Details & East Wall Finish	Architectural	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 5/5/2014

Please reference the attached picture.

1.) As discussed with Rich Sourbrine (WRL) onsite on 4/24/14, and as can be seen in the attached picture, the brick wall at the east side of door 212 steps. As called-out on the Door Schedule on AE-601, details H2 & J2/AE-602 show that the 6" wide wood door frame for this door is to be installed on the east side of this opening. However, the steps in the brick will not allow this frame to be installed without tight to the east side of this jamb without either the cut brick "stepped" section of the wall or the backside of the door frame being visible. Please advise.

2.) Also discussed was the finish of this wall at the east side of door 212 (west wall of Mezzanine Lobby 200). It is unclear whether this brick should be left exposed, or the wall furred-out and painted, or a combination of the two. Please review and advise.

Suggestion

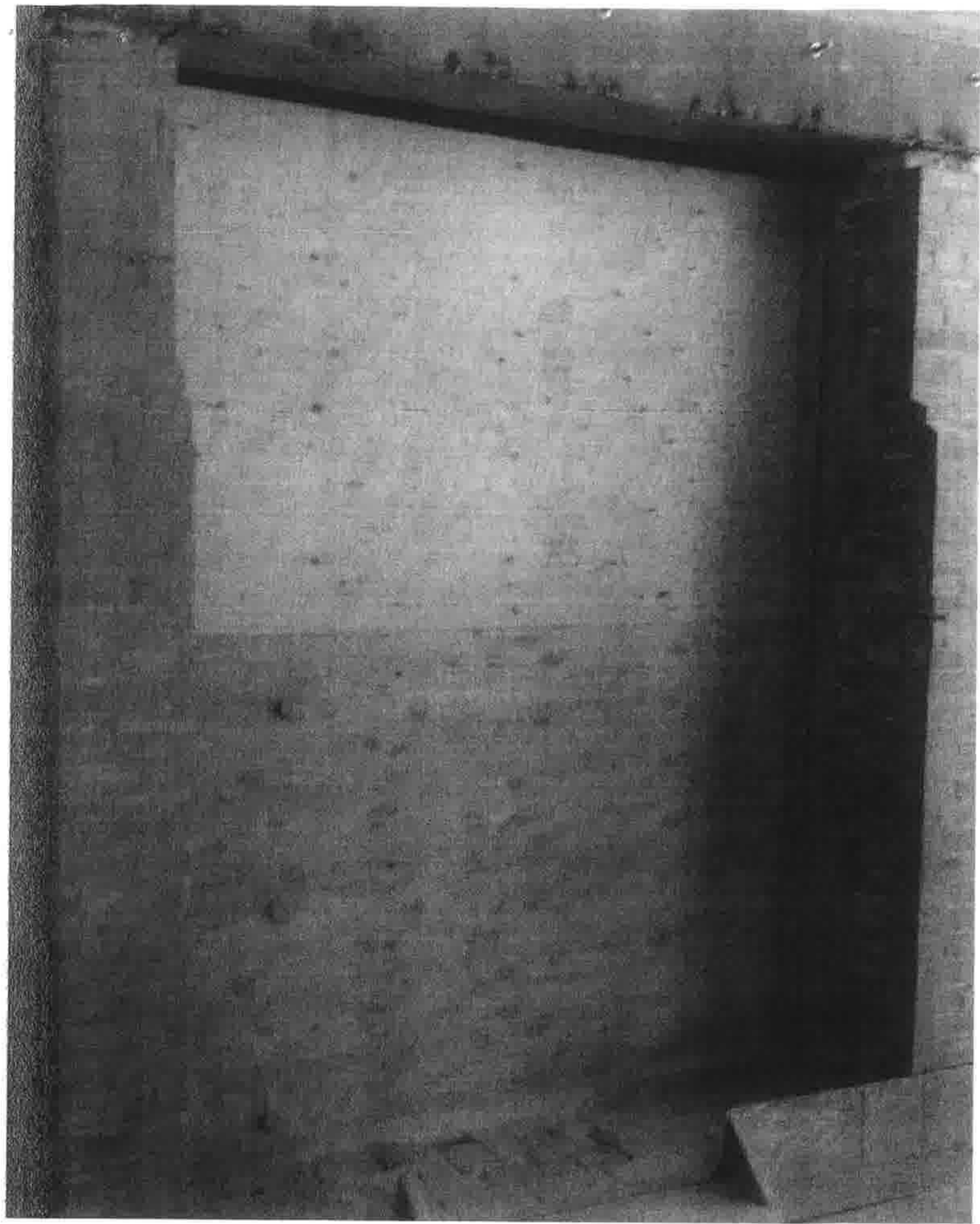
Answer

Date Answered: 5/2/2014

[5/2/2014 Westlake Reed Lekosky - Richard Sourbrine]

1.) For both doors 112C and 212, revise the door jamb and head details to the H4 and J4/AE-602 where there is a gyp. bd. and metal framed "box" around the door opening. This gyp. bd. "box" should only extend horizontally (jambs) to the extent required to fully encase the steel lintel assembly above the new masonry opening and should extend vertically to 4" above ceiling.

2.) With the exception of the gyp. bd. "box" indicated above, the remainder of the existing brick wall on both the First Floor and the Mezz. level on either side of the "box" is to remain exposed and unpainted.



Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

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FCI Constructors, Inc. - GJ

6/25/2014 Added Bottom Rail at Stainless Steel Railings at Stair A FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	mark-ups on submittal package 057313-0122--0, attached pricing quote	

Notes

This COR developed for additional costs associated with stainless steel hand rail modifications required at the base of Stair A. Per mark-ups by the architect on the approved glazed decorative metal railing shop drawings for Stair A, a stainless steel bottom rail is to be added at 3-1/2" AFF to all of the stainless railings at the base of this stair. The architectural drawings do not show this bottom rail.

Itemized Details:

General Description	Quote Rec'd	Proposed
Bratton Window & Door, Inc.		\$3,593.00
Description of Work: Bratton Window & Door: Supply and install additional stainless steel rail at 3-1/2" AFF for hand railings at the base of Stair A, per mark-ups made by the architect on the approved Glazed Decorative Metal Railing shop drawings for this stair.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$14.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$25.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$218.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$3,853.00

Approval: 

Date: 7/8/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

DATE: 6/24/14

Proposal

BRATTON WINDOW & DOOR

1921 I-70 Business Loop
Grand Junction, CO 81501
Phone: (970) 242-7224 FAX: (970) 242-6744

PROPOSAL SUBMITTED TO:

FCI Constructors, Inc.

STREET

PO Box #1767

CITY, STATE, ZIP CODE

Grand Jct. Co. 81504

PHONE

434-9093 / 434-7583 fix

JOB NAME:

Avalon

JOB LOCATION

Balcony 200A

JOB PHONE

ARCHITECT - DATE OF PLANS

The following Change Order proposal is for:

Furnish & install: 1-1/2" Brushed Stainless steel Hand Rail modifications for handrail @ lower level of stair "A"

Add for additional 1-1/2" x 1/8" Stainless steel tube & the necessary custom welded fittings.

CRL Engineering	\$282.00
Drafting Redraw on the shops	\$367.00
Extra materials	\$2,944.00
Total for above:	\$3,593.00

No additional freight
No additional Labor

~~Additional Base shoe cover Per Stan & Dale~~

~~\$914.00~~

~~Minus 1/2~~

~~-\$457.00~~

~~Amou~~

~~\$457.00~~

Assumptions & Exclusions:

Only the items listed above are quoted. No other items are figured or Included.

B.W.& D. AUTHORIZED SIGNATURE: _____

NOTE: THIS PROPOSAL MAY BE WITHDRAWN BY US IF NOT ACCEPTED WITHIN:

Thirty Days

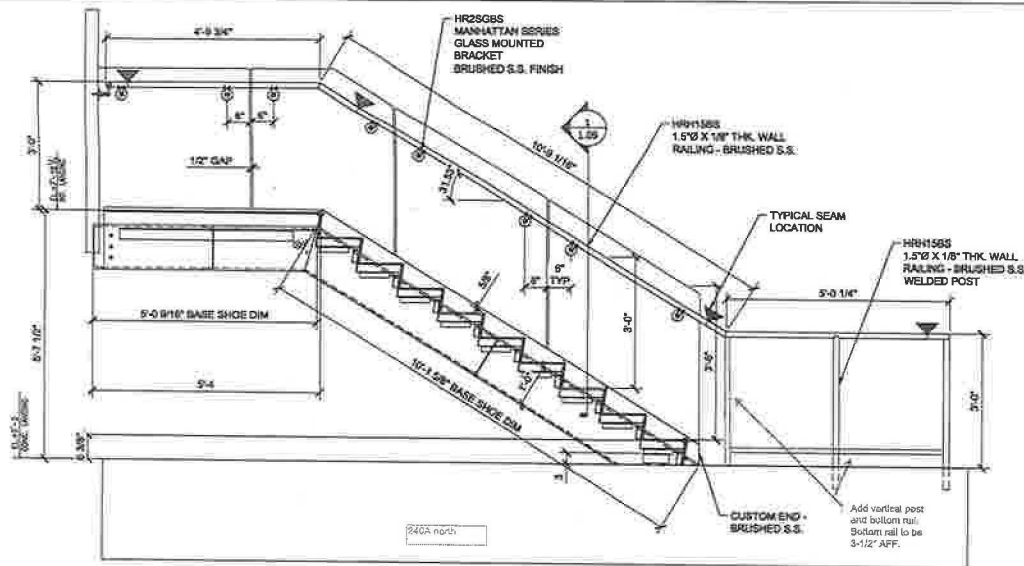
ACCEPTANCE OF PROPOSAL

The above price, specifications and conditions are satisfactory and are hereby ACCEPTED. You are authorized to proceed with the work and materials as specified above.

Payment will be made as outlined above.

SIGNATURE: _____

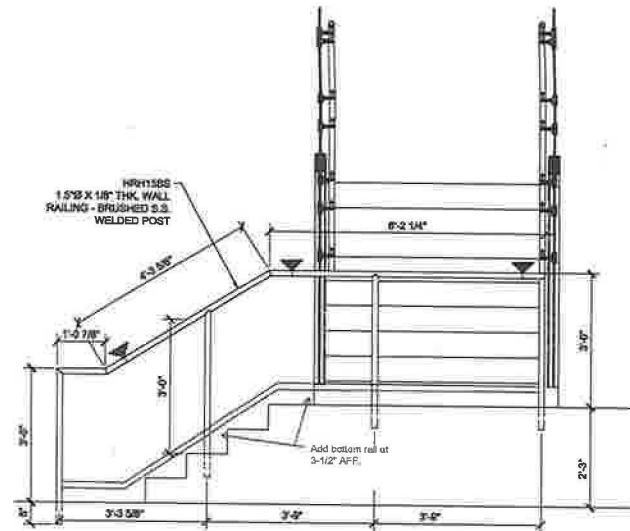
DATE OF ACCEPTANCE: _____



② STAIR RAIL ELEVATION

ARCH REF: AE-431

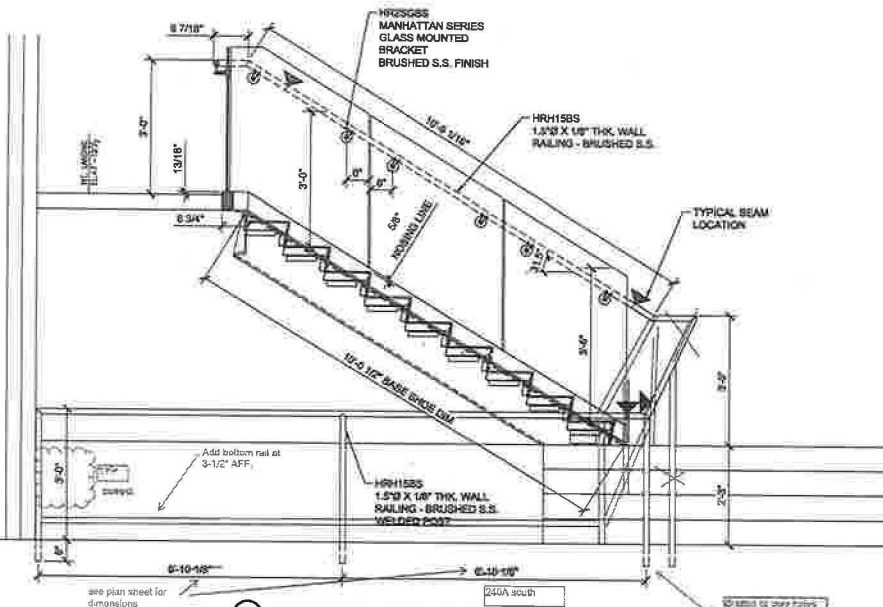
3/4\"=1'-0"



③ STAIR RAIL ELEVATION

ARCH REF: AE-431

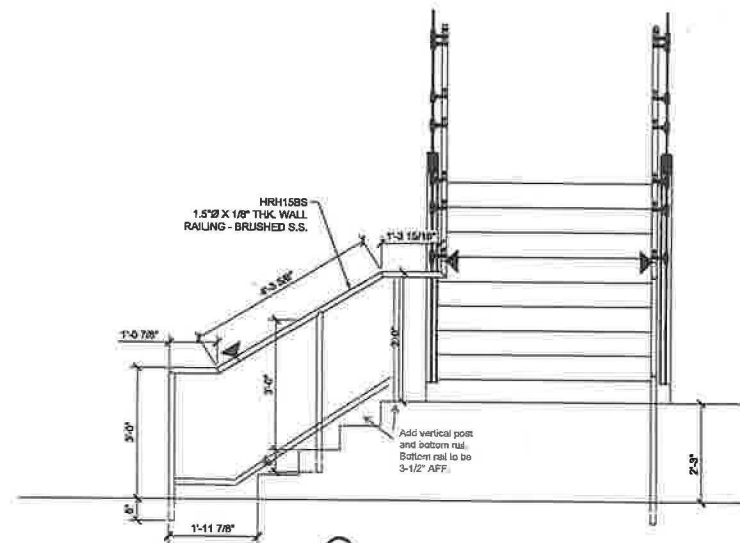
3/4\"=1'-0"



① STAIR RAIL ELEVATION

ARCH REF: AE-431

3/4\"=1'-0"



④ STAIR RAIL ELEVATION

ARCH REF: AE-431

3/4\"=1'-0"

Rev #	Date	Drawn by
1	3/14/12	JV



Architect	Phone	Fax

Customer Name	Phone	Fax

Customer	Phone	Fax
BRANTON WINDOW CO 1921 170 BUSINESS LOOP GRAND JUNCTION CO Phone : 970-242-7224 Fax : 970-242-6744		

Drawn By	Check By	Date	Scale	Job #	Sheet No.
JV	F.L.E.D.	3/14/12	AS SHOWN	231400	

1.03

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/25/2014 RFI-284: Site Concrete Revisions at North Side of Addition FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-284, attached pricing quotes, attached sketch	

Notes

This COR developed for costs associated with additional areas of site concrete and the revised/clarified control joint pattern for site concrete at the exterior of the Avalon addition, as revised per drawing issued with RFI-284. Per drawing A1, as issued by Chamberlin Architects in response to RFI-284, an additional area of roughly 270 SF of site concrete is shown to be demoed and replaced at the east side of the addition. Drawing A1 also revises the site concrete joint layout from the 10'-0" O.C. max layout per the civil drawings to a roughly 5'-2" O.C. layout. This COR includes added costs for the additional concrete demo, concrete prep/base course, concrete labor/materials, and additional concrete joints.

Itemized Details:

General Description	Quote Rec'd	Proposed
Skyline Contracting, Inc.		\$680.00
Description of Work: All changes to Skyline's scope of work as revised per RFI-284. This includes roughly 270 SF of additional concrete demo and concrete prep/base course for site concrete at the east side of the addition.		
M & M Concrete Construction, Inc.		\$782.00
Description of Work: All changes to M&M Concrete's scope of work as revised per RFI-284. This includes labor and form-work materials only for roughly 270 SF of additional site concrete at the east side of the addition, plus additional control joints. Concrete and rebar materials supplied by FCI.		
FCI Constructors, Inc. - GJ		\$450.00
Description of Work: Additional concrete material: 3.5 CY x \$100/YD. = \$350 Additional reinforcing material: \$100		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$8.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$13.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$116.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$2,051.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

SKYLINE CONTRACTING, INC.

3191 Mesa Avenue, Grand Junction, CO 81504
Tel: (970) 434-0421 Fax: (970) 434-0851

To:	FCI Constructors, Inc.	Contact:	Brady Blackmer
Address:	P.O. Box 1767 Grand Junction, CO 81502	Phone:	(970) 434-9093
Project Name:	Avalon COR #17 - Additional Site Concrete Per RFI #284	Fax:	(970) 434-7583
Project Location:	645 Main Street, Grand Junction, CO	Bid Number:	Change Order Request #17
		Bid Date:	5/30/2014

Skyline Contracting, Inc. is requesting a change to the original contract amount for additional site concrete removal and preparation at the northeast corner of the building addition per RFI #284 for the Avalon Theatre Addition Project.

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
1	Remove Site Concrete	30.00	SY	\$9.00	\$270.00
2	Site Concrete Subgrade Preparation	30.00	SY	\$3.50	\$105.00
3	Site Concrete Class 6 Base Course 6" Thick	10.00	TON	\$30.50	\$305.00

Total Bid Price: \$680.00

ACCEPTED:

The above prices, specifications and conditions are satisfactory and are hereby accepted.

Buyer: _____

Signature: _____

Date of Acceptance: _____

CONFIRMED:

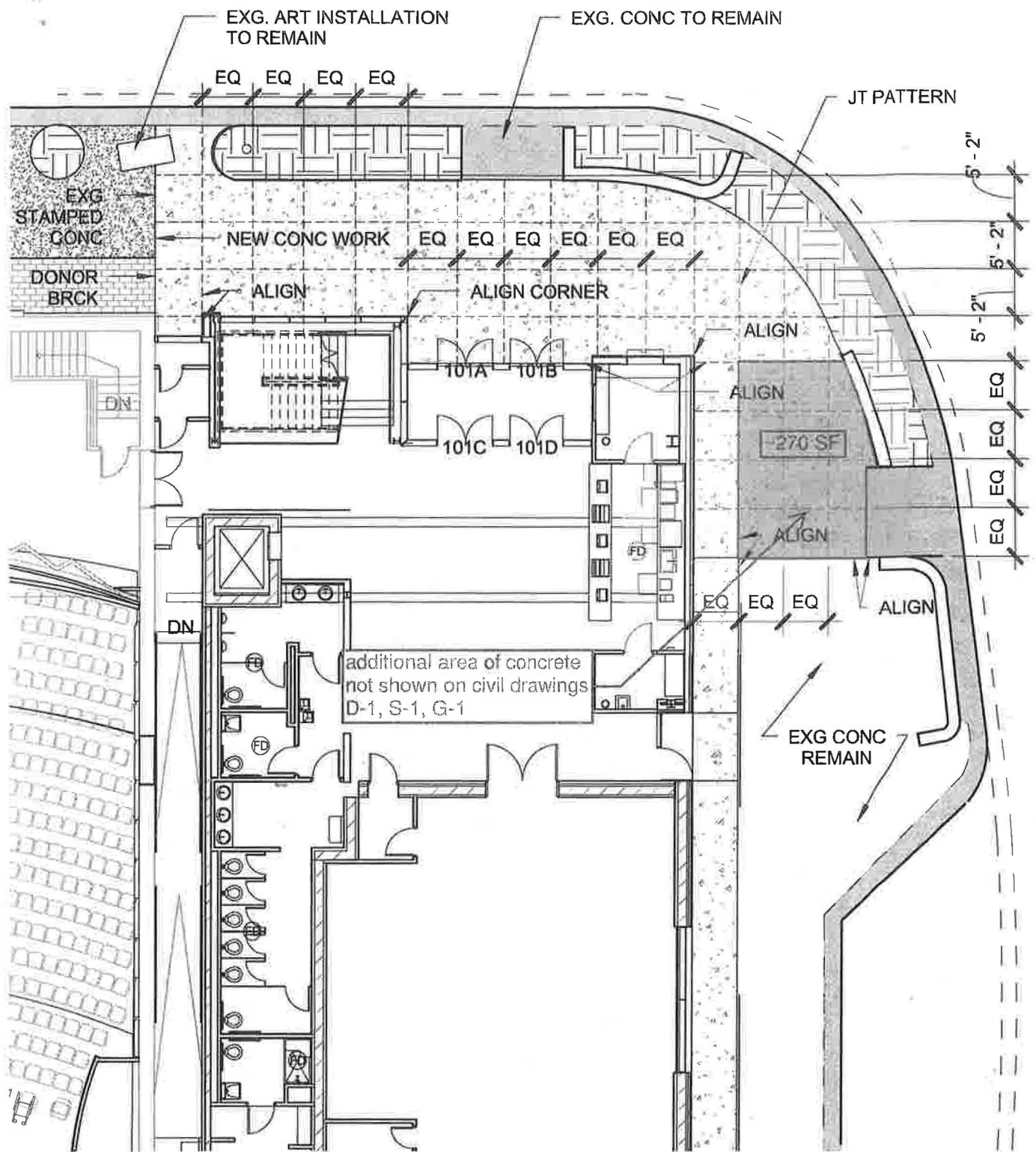
Skyline Contracting, Inc.

Authorized Signature:  _____

Estimator: John Chutka
jchutka@skyconinc.com

Proposal

\$782.00



1 SITE CONC LAYOUT
SK-A1

CHAMBERLIN
ARCHITECTS
GRAND JUNCTION, COLORADO 970.242.6804
RAPID CITY, SOUTH DAKOTA 605.355.6804

DESCRIPTION:
SITE CONC LAYOUT

PROJECT:
AVALON

PROJECT NO:
1209

SCALE:
1/16" = 1'-0"

DATE:
05/07/2014

PREPARED BY:
AB

ISSUED WITH:
RFI-284

SK
LOCATION:
A1

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 284 **Date Created: 4/30/2014**

Answer Company	Answered By	Author Company	Authored By
Chamberlin Architects, Inc. 437 Main Street Grand Junction, CO 81501	Adam Bellamy	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Site Concrete at the North Side of the Addition	Civil	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	City of Grand Junction	Lee Cooper	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

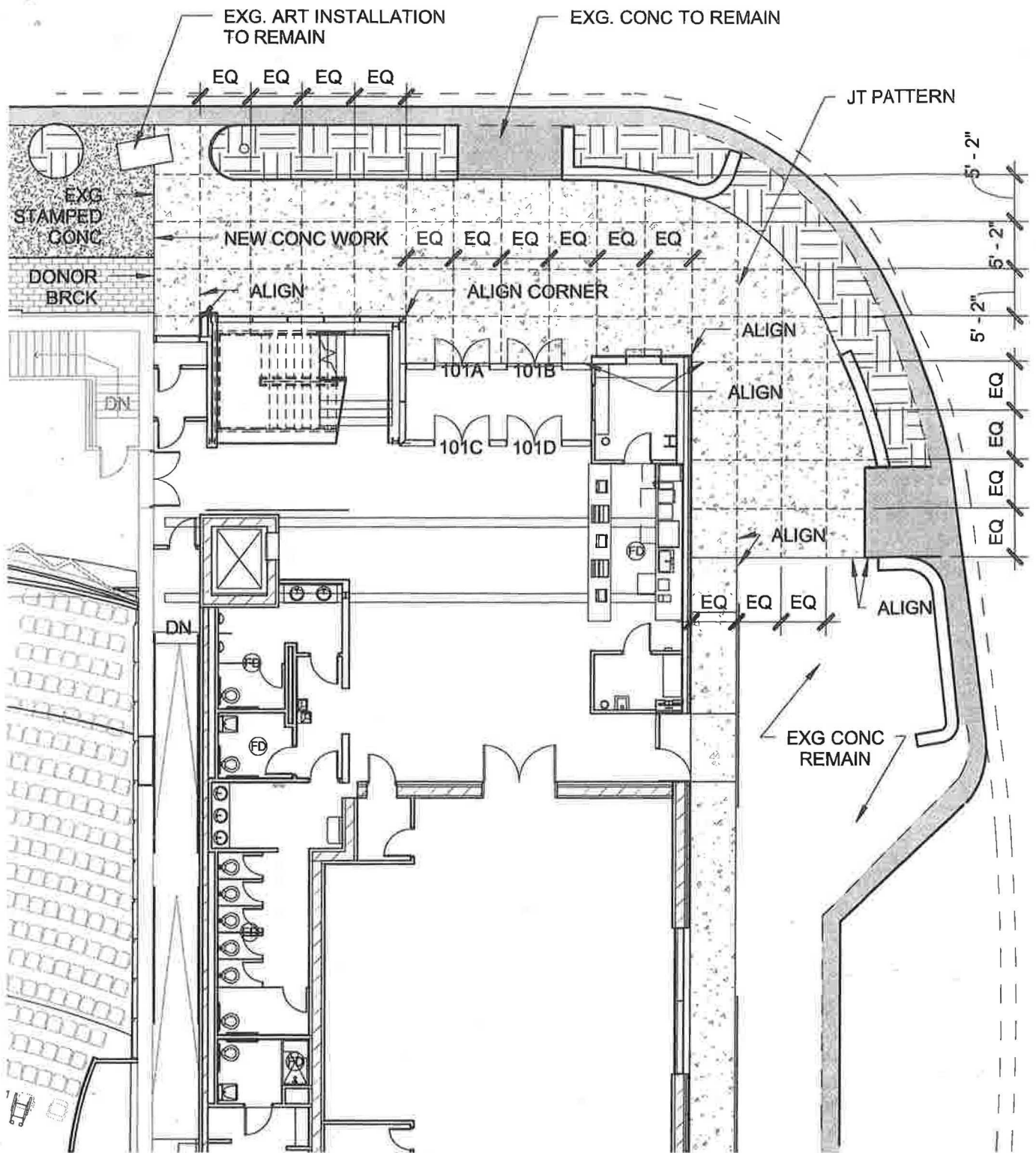
Question **Date Required: 5/7/2014**

After the 3/27/14 OAC Meeting, the area of site concrete at the north of the addition was reviewed. From that site review it is FCi's understanding that Chamberlin and WRL wanted to make some revisions to the layout of concrete/extent of colored concrete at this area and Chamberlin/WRL was going to issue a drawing for these revisions. Please provide this drawing.

Suggestion

Answer **Date Answered: 5/8/2014**

[5/8/2014 Chamberlin Architects, Inc. - Adam Bellamy]
Please see attached SK-A1 for revised layout and joint pattern. No colored/stained concrete will be used.



1

SITE CONC LAYOUT

SK-A1

CHAMBERLIN
ARCHITECTS

GRAND JUNCTION, COLORADO
970.242.6804

RAPID CITY, SOUTH DAKOTA
605.355.6804

DESCRIPTION: SITE CONC LAYOUT

PROJECT:
AVALON

PROJECT NO:
1209

SCALE:
1/16" = 1'-0"

DATE:
05/07/2014

PREPARED BY:
AB

ISSUED WITH:
RFI-284

SK

LOCATION:

A1

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/3/2014 RFI-204: Painting of Mechanical Roof Screen Wall FCI Pricing

Category	Reference	PCCO Number
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FORCE ACCT	RFI-204, attached pricing quote	
------------	---------------------------------	--

Notes

This COR developed for additional costs associated with RFI-204.

Per the architect's response to RFI-204, the screen wall at the mechanical roof of the addition is to be painted to match the exterior metal panels on the addition exterior. After reviewing the project drawings and specifications, FCI cannot find any direction included in these contract documents to paint this roof top screen wall, thus the additional cost from the painting subcontractor.

Itemized Details:

General Description	Quote Rec'd	Proposed
RJ's Painting LLC		\$2,880.00
Description of Work: All changes to RJ's Painting's scope of work as revised per RFI-204. This includes prep work as required and painting of the additional mechanical roof screen wall (galvanized insulated metal decking panels) and support steel. Roof top screen wall and supports to be painted to match the exterior metal panels at the addition.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$12.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$20.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$175.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$3,090.00

Approval: 

Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

RJ'S Painting, LLC
2690 N. Townsend Avenue
Montrose, CO 81401
(970) 249-2137 Office (970) 209-0114 Rudy cell (970) 249-0935 Fax
Email address: rjspainting@gmail.com

04/17/14

SCOPE OF WORK / SCHEDULE OF VALUES
Avalon Theatre, 645 Main Street Grand Junction, CO
RFI'S

RFI #225:

1. Hand rail at west exit door

\$ 220.00

RFI #232

1. Handrails at existing stoop

\$ 310.00

RFI # 204

1. Posts and rails for roof top screen \$ 2,880.00
2. Tnemec system spec. for structural steel, series 115 primer with series 1025 endura-tone top coat.

Terrace paver system seal coat:

\$ 2,950.00

1. Two coats S.W. H and C infusion sealer. Solvent based

North Exterior soffit grading:

\$ 1,100.00

1. Two coats to match Dura-Nar silver metallic xl25

RFI #255

\$ 120.00

1. Paint new stoop at new stair black

RFI #244

1. No change

PR005-15

1. NO change

We propose hereby to furnish material and labor to complete in accordance with the above specifications, for the sum of:

Payments to be made as follows Progress draws

All Material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications including extra cost will be executed only upon written orders, and will become an extra charge over and above this estimate. All agreements are contingent upon strikes, accidents, environmental conditions, or delays beyond our control. Owner is to carry tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. RJ's Painting carries \$ 2,000,000.00 Liability Insurance. General/Owner is to provide clean job site and work conditions for finish painting. Extra costs included but not limited to items for Interior or Exterior decorating. If job scheduled date changes for any reason written notice must be received by RJ's Painting 72 hours before scheduled work is to begin. If notice is not given there will be an extra cost to General/Owner. If payment schedule is not met Contractor/Owner will pay RJ's Painting plus all attorney's fees, court costs and any other related expenses, plus normal rate of interest. References will be provided on request. If any questions may arise during the job please feel free to call. Thank you for this opportunity to submit this bid and we are looking forward to working with you.

Items not on this contract are considered extra. If RJ's Painting is asked to do work outside this contract it will be considered as an extra cost also. Job is to be handled in a productive manner, where RJ's Paintings crew can be productive every day or an extra charge will be assessed. This is to include but not limited to furniture, carpeting, and personal belonging in boxes being in the way.

Note: This contract is priced only for the listed number, square footage, or linear footage provided in the Scope of Work / Schedule of Values, all extra is considered an extra.

Authorized signature: *Rudy Jones*

Date: 04/17/14

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 204

Date Created: 2/7/2014

Answer Company

Answered By

Author Company

Authored By

FCI Constructors, Inc. - GJ

Cole Forsman

P. O. Box 1767

Grand Junction, CO 81502

Co-Respondent

Author RFI Number

Subject

Discipline

Category

Finish of Roof Top Screen Wall and Crossover Stairs Architectural

Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	City of Grand Junction	Lee Cooper	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Brady Blackmer	1	

Question

Date Required: 2/14/2014

Per the attached email from Rich Sourbrine (WRL), the panels of the roof top screen wall are to be galvanized. The posts and rails for the roof top screen will receive a zinc rich primer. Both the panel, and posts and rails are to be painted to match the exterior metal panels on the building. The crossover stairs are to be galvanized.

This RFI is for documentation only no response necessary.

Suggestion

Answer

Date Answered:

This RFI is for documentation only no response necessary.

Cole Forsman

From: Brady Blackmer
Sent: Friday, February 07, 2014 7:31 AM
To: Randy Zlomke (randyz@kaycee.net)
Cc: Stan Kiser; Cole Forsman
Subject: FW: Roof Material

Randy - Note zinc-rich primer for the roof top screen. I believe the metal deck material that attaches to the roof top screen posts comes galvanized, correct? So the zinc-rich would only be on the posts and rails. But the whole thing would be painted.

Cole - Lets put this into an RFI for documentation. Get with me when you get in. Thanks.

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583

-----Original Message-----

From: Richard Sourbrine [<mailto:rsour@WRLdesign.com>]
Sent: Thursday, February 06, 2014 5:44 PM
To: Stan Kiser
Cc: Richard Sourbrine; Brady Blackmer; Brian Young; Pat Hutchison
Subject: Re: Roof Material

Correct.

Sent from my iPhone

Richard Sourbrine, AIA
Associate Principal
Westlake Reed Leskosky

> On Feb 6, 2014, at 5:23 PM, "Stan Kiser" <SKiser@fciol.com> wrote:
>
> So does this mean the roof screen walls are a zinc rich primer and not galvanized?
>
> Stan Kiser
> Senior Project Manager
> P. (970) 434-9093 / F. (970) 434-7583
> C. (970) 985-0742
>
>
>

> -----Original Message-----

> From: Richard Sourbrine [<mailto:rsour@WRLdesign.com>]

> Sent: Thursday, February 6, 2014 4:11 PM
> To: Brady Blackmer
> Cc: Stan Kiser; Brian Young; Pat Hutchison
> Subject: RE: Roof Material
>
> Brady
>
> Crossover stairs are to be galvanized.
>
> Rooftop screen walls should be painted to match the exterior metal wall panel system.
>
> Thanks,
>
> Richard D. Sourbrine, II, AIA

>
>
>
> Westlake
>
> Reed
>
> Leskosky

>
>
>
>
>
> www.wrlldesign.com
> Architect Magazine 2012: Ranked #1 in Sustainability; #6 Overall
>

> -----Original Message-----

> From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]
> Sent: Wednesday, February 05, 2014 10:01 AM
> To: Richard Sourbrine
> Cc: Stan Kiser; Brian Young; PatHutchison
> Subject: FW: Roof Material

>
> Rich,
>
> Question on the finishes for the roof top screen walls and the cross-over stairs at the roof below. The structural plans call for all steel exposed to the elements to be galvanized. However, I am not sure that the desired finish for the roof top screens is plain galvanized deck. I imagine you would want these painted.

>
> Should we paint the galvanized deck that makes up the screens and prime/paint the posts?

>
> The cross-over stairs we would want galvanized, correct?

>
> Brady Blackmer
> Project Engineer
> Grand Junction Office: (970) 434-9093
> Cell Phone: (970) 433-1600
> Fax: (970) 434-7583

>
>
>
> -----Original Message-----
> From: Randy Zlomke [mailto:randyz@kaycee.net]
> Sent: Tuesday, February 04, 2014 4:30 PM
> To: Brady Blackmer
> Subject: Roof Material
>
> Will the crossover stairs and the Mech Screen Wall posts galvanize or will they be Zinc Rich Primer ?
>
>
>
> Randy Zlomke
> Project Manager
>
>
> randyz@kaycee.net
>
>

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

6/25/2014 Credit for Change of Corian to Group A FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	attached pricing quote	

Notes

This COR developed to provide a credit to the owner for the change in the Corian solid-surface group selected for counter tops at Concessions 104 and Concessions 202. The project specifications state that a solid-surface color is to be selected from "manufacturer's standard medium color range". As such, the casework subcontractor bid the additional build-out work based on a Corian group B colors (Corian comes in group A, B, C, and D). However, the architect's initial color selection was a group C color, which would have cost more money. The architect then went back and determined that a group A color was acceptable. This COR developed to provide a credit for the change from Corian group B (as bid) to group A (per new selection) for the solid-surface counter tops.

Itemized Details:

General Description	Quote Rec'd	Proposed
Osburn & Sons		(\$3,678.00)
Description of Work: Osburn Cabinets & Design: Revise the Corian solid-surface tops at Concessions 104 and Concessions 202 from Corian Group B (per Osburn's bid) to Corian Group A (per revised color selection from architect).		
FCI Constructors, Inc. - GJ		(\$3.00)
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		(\$15.00)
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		(\$26.00)
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: (\$3,722.00)

Approval: _____

Date: 7/1/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved

The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Exceptional Quality Since 1974

OSBURN CABINETS & DESIGN

682 W. GUNNISON AVE.
GRAND JUNCTION, CO 81505
PHONE: (970) 242-6899
FAX: (970) 243-2341

PROPOSAL

PAGE 1 OF 1



DATE: June 24, 2014
THIS PROPOSAL
MAY BE WITHDRAWN
AFTER 30 DAYS

PROJECT QUOTED: Avalon Theatre

ARCHITECT: Westlake Reed Leskosky

BID DATE: 2/4/14
DRAWINGS DATED: 1/17/14
ACKNOWLEDGE ADDENDA #'S:
SPEC BOOK: Yes
ALTERNATE BIDS: Yes

AWI CERTIFICATIONS:

No

AWI GRADE:

WE HEREBY PROPOSE TO FURNISH MATERIAL, LABOR, TOOLS, AND EQUIPMENT TO
FABRICATE, DELIVER AND INSTALL THE FOLLOWING:

BASE BID

PR-005 & PR-006

Change solid surface tops at Concession 104/202 from Corian Group B to Corian Group A.
Group A Colors = Glacier White, Cameo White, Bisque and Vanilla.

GENERAL EXCLUSIONS:

BLOCKING AND BACKING

ALL RUNNING AND STANDING TRIM NOT SPECIFIED ABOVE

ALL EXTERIOR MATERIALS AND INSTALLATION

STORAGE FACILITIES UPON DELIVERY OF CASEWORK

SECURITY OF OSBURN CABINETS & DESIGN PRODUCTS DURING INSTALLATION

ALL BONDING

ALL OTHER TAXES NOT SPECIFIED BELOW

ALL DEMO WORK NOT LISTED ABOVE.

OSBURN CABINETS & DESIGN TO PROVIDE SHOP DRAWINGS. NO FABRICATION SHALL START UNTIL
APPROVAL OF SHOP DRAWINGS.

ALL ITEMS MANUFACTURED BY OSBURN CABINETS & DESIGN PER PLANS AND
SPECIFICATIONS AS INTERPRETED BY OSBURN CABINETS & DESIGN.

BASE BID FABRICATION AND DELIVERY:	<u>\$0.00</u>	Casework/Millwork
BASE BID FABRICATION/DEL/INSTALL:	<u>(\$3,678.00)</u>	Solid Surface
TAX AT: 0.00%	<u>\$0.00</u>	
ADD FOR INSTALLATION:	<u>\$0.00</u>	Casework/Millwork
TOTAL:	<u>(\$3,678.00)</u>	

JESSE OSBURN
ERIC ROSLING

Brady Blackmer

From: Richard Sourbrine <rsour@WRLdesign.com>
Sent: Wednesday, June 18, 2014 12:43 PM
To: Brady Blackmer
Cc: Brian Young; Stan Kiser
Subject: Corian color issue

Brady,

There really isn't a good match or alternate in the B price group for the color we had selected, so we will accept Glacier White, which is in the A price group. Also, as this change is required due to the original color being from the C group and would have been a cost increase, we will expect a credit from selecting a color from the A group.

Thanks,

Richard Sourbrine | AIA, GGP | Associate Principal
Project Director

Westlake | One East Camelback Road
Reed | Suite 690
Leskosky | Phoenix, AZ 85012

T 602 212 0451 x6820
F 602 212 1020

Washington DC | New York | Phoenix | Los Angeles | Cleveland

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Architect Magazine 2013; Ranked #3 Overall among U.S. design firms; #5 in Sustainability

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/1/2014 Hand Rail Required at Other Side of Stoops at Breezeway Pending Approval

Category	Reference	PCCO Number
FORCE ACCT	attached pricing quote	

Notes

This COR has been developed for additional costs associated with the fabrication and installation of wall-mounted pipe hand rails for the concrete stairs/stoops at the breezeway at the west side of the renovation. Per direction from the Mesa County Building Department, and as verified by Rich Sourbrine (WRL), hand rails at the wall side of these new and existing stoops/stairs are required per code. These hand rails were not shown on the architectural drawings issued with RFI-225 and RFI-232.

Note: In order to get a TCO and be ready for church service on 7/6/14, FCI has proceeded with the fabrication and installation of these hand rails.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc.		\$925.00
Description of Work: Rocky Mountain Steel: Fabricate and install (3) pipe hand rails at the brick wall side of the concrete stairs/stoops at the alley breezeway at the west side of the renovation. Per direction from the Mesa County Building Department, and as verified by Rich Sourbrine (WRL), these rails need to be installed to meet code requirements.		
FCI Constructors, Inc. - GJ		\$150.00
Description of Work: Painting of newly added handrails.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$8.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$65.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

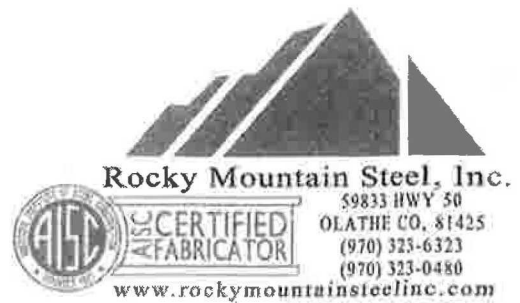
Requested Days: 0

Total Change: \$1,153.00

Approval: _____

Date: 7/6/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 43

*FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502*

Ref. West exterior wall rails

Date: June 25, 2014

MATERIAL	\$ 85.00
SHOP LABOR.....	\$ 240.00
DETAILING	\$ 00.00
INSTALL	\$ 600.00
FREIGHT.	\$ 00.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 925.00

The above Change Order Request is for the supply & install of the three wall rails required at the exterior west side of the building.

Please issue a Change Order to our contract so we may proceed with this work.

*Randy Zlomke
Project Manager*

59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/1/2014 RFI-280, RFI-298, RFI-300, RFI-301: Miscellaneous Drywall Revisions ECI Pricing

Category	Reference	PCCO Number
FORCE ACCT		
Notes		

This COR developed for additional costs associated with the RFI-280, RFI-298, RFI-300, and RFI-301 as follows:

RFI-280: Revised/clarified slab edge detail at the "hole" at the Mezzanine Level. As detailed in RFI-280, additional drywall will be needed to wrap the horizontal "ledge" between edge of concrete and the base shoe for the glass railing.

RFI-300: A chase wall has been added outside of 203/204 to allow for rough in for the drinking fountain. This COR includes additional drywall and framing needed to construct this chase wall.

RFI-301: A furred wall at Concession 303 is needed to allow for piping rough in for a hand washing sink and three compartment sink. This COR includes additional framing and drywall needed to construct this furred wall.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$1,413.00
Description of Work: All changes to TP Acoustics' scope of work as revised per RFI-280, RFI-298, RFI-300, and RFI-301. This includes:		
RFI-280: Revised/clarified slab edge detail at the "hole" at the Mezzanine Level. As detailed in RFI-280, additional drywall will be needed to wrap the horizontal "ledge" between edge of concrete and the base shoe for the glass railing.		
RFI-300: A chase wall has been added outside of 203/204 to allow for rough in for the drinking fountain. This COR includes additional drywall and framing needed to construct this chase wall.		
RFI-301: A furred wall at Concession 303 is needed to allow for piping rough in for a hand washing sink and three compartment sink. This COR includes additional framing and drywall needed to construct this furred wall.		
		\$1.00
Description of Work: Builder's Risk Insurance		
		\$6.00
Description of Work: General Liability Insurance		
		\$10.00
Description of Work: Payment/Performance Bond		
		\$86.00
Description of Work: Fee		

This proposal includes work clearly itemized herein and attached sub-contractor quotes

Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved

The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$1,516.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

06-30-14

Project: **Avalon**
Attn: **Brady Blackmer**

RFI #280

Material	\$ 25.00
Labor	\$ 135.00
Burden	<u>\$ 54.00</u>
Subtotal	\$ 214.00
Overhead	<u>\$ 21.14</u>
Subtotal	\$ 235.40
Profit	<u>\$ 11.77</u>
Total	\$ 247.17

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

06-30-14

Project: **Avalon**
Attn: **Brady Blackmer**

RFI # 301

Material	\$ 280.50
Labor	\$ 266.25
Burden	<u>\$ 106.50</u>
Subtotal	\$ 653.25
Overhead	<u>\$ 65.32</u>
Subtotal	\$ 718.57
Profit	<u>\$ 35.93</u>
Total	\$ 754.50

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net**



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

06-30-14

Project: **Avalon**
Attn: **Brady Blackmer**

RFI # 301

Material	\$ 280.50
Labor	\$ 266.25
Burden	<u>\$ 106.50</u>
Subtotal	\$ 653.25
Overhead	<u>\$ 65.32</u>
Subtotal	\$ 718.57
Profit	<u>\$ 35.93</u>
Total	\$ 754.50

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net**

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/2/2014 Credit for Damaged Aluminum Doors FCI Pricing

Category	Reference	PCCO Number
----------	-----------	-------------

FORCE ACCT

Notes:

As discussed at the 6/19/14 and 6/23/14 OAC Meetings, some of the new aluminum doors that are to be installed at the main entrance to the addition were damaged during shipping. This damage occurred at the bottom stile of these doors. There is a 6-8 week lead time to get replacement doors onsite. In lieu of replacing the doors, the manufacturer has offered a \$3,000 credit to install these doors as is. Kick plates will be installed at the bottoms of these doors by Bratton Window and Door to cover the damage.

Itemized Details:

General Description	Quote Rec'd	Proposed
Bratton Window & Door, Inc.		(\$3,000.00)
Description of Work: Bratton Window & Door: Credit provided to the owner for damaged aluminum doors at the addition. These doors are to be installed as is. Kick plates are to be installed by Bratton at all aluminum doors to cover the damaged areas.		
FCI Constructors, Inc. - GJ		(\$3.00)
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		(\$12.00)
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		(\$21.00)
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: (\$3,036.00)

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 033	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: August 7, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: (\$195,756.13)

COR-150 - Replace Existing Can Lights & Other Misc. Electrical	Deduct \$ 3,001.00
COR-204 - RFI-299: Changes to Lighting Coves & Soffits at Restrooms	Deduct \$ 4,735.00
COR-208 - Soffit at Front of Concessions 104	Deduct \$ 1,082.00
COR-213 - RFI-308: Revised Key Switches at Automatic Doors	Deduct \$ 323.00
COR-214 - RFI-310R1: Credit for Revisions to Painting at Exposed Ceilings	Add \$ 2,884.00
COR-215 - RFI-304: Rubber Base Stringers at North Basement Stairs	Deduct \$ 949.00

TOTAL DEDUCT \$ 7,206.00

Remaining Force Account (\$ 2,962.13)

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$176,360.08)

BVR-037 - Additional Taper Insulation/Flashing at Mechanical Roof	Deduct \$ 1,593.00
BVR-038 - Site Work: Relocate Sidewalk Drain & Raise Electrical Boxes	Deduct \$ 1,463.00

TOTAL DEDUCT \$ 3,056.00

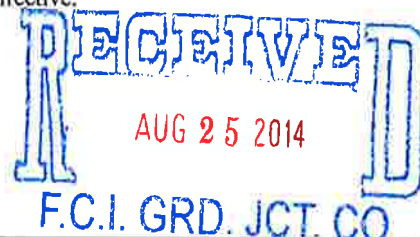
Remaining Contractors Contingency \$ 52,504.92

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ 1,764,745.70
The Contract Sum prior to this Change Order was	\$ 8,034,525.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 8,034,525.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

8.22.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

8-7-14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

8/15/14

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2014 Replace Existing Fan Lights & Other (See Electrical) FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	attached pricing quote	

Notes

This COR developed for additional costs to update the following electrical items at the existing Avalon building:

- 1.) Installation of owner provided chandeliers, globes, and wall sconce light fixtures
- 2.) Supply and installation of 3" round white gimbal fixtures at the main lobby areas
- 3.) Supply and installation of frog eyes EM lights and exit lights required to provide 90 min. battery operation for these life safety items as required per code - the electrical plans did not show these items to be replaced. Further, it was cheaper to replace these items than to make the existing EM lights and exit signs have a 90 min. battery operation.
- 4.) Replacement of existing switches, receptacles, GFCI's, and wall plates - the electrical plans did not call for these items to be replaced, but the old electrical installations would not have looked good against new paint, finishes, etc.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$2,797.00
Description of Work: EC Electric: Materials and labor to update the following electrical items at the existing Avalon building:		
1.) Installation of owner provided chandeliers, globes, and wall sconce light fixtures		
2.) Supply and installation of 3" round white gimbal fixtures at the main lobby areas		
3.) Supply and installation of frog eyes EM lights and exit lights required to provide 90 min. battery operation for these life safety items as required per code - the electrical plans did not show these items to be replaced.		
4.) Replacement of existing switches, receptacles, GFCI's, and wall plates		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$20.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$170.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$3,001.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Date: 7/11/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Miscellaneous work on the renovation

Attn: Brady Blackmer

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No. Field

Change Order Proposal No. EC-33

We hereby propose to modify our original proposal / contract for the following change to our scope:

Owner supplied EC installed fixtures : (3) Chandeliers, (2) Globes, (4) Wall sconce down lights for the mural. (20) wall scones. EC purchased and installed fixtures : (14) 3" round white gimbal fixtures, (15) Frog eyes, (8) Exits. Switches, receptacles, GFCI's, wall plates.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material Switches, receptacles, plates, etc.	\$ -	\$ 98.64
14	3" round white gimbal fixtures		\$ 150.41
15	Frog eyes	\$ 20.00	\$ 300.00
8	Exits	\$ 25.00	\$ 200.00
			\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
	Hours Labor - Foreman	\$ 53.00	\$ -
	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ -
46.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ 1,794.00
			\$ -
10%	Overhead & Profit		\$ 254.31
			\$ -
			\$ 2,797.36

Need Answer By: **ASAP**

Submitted By: Bruce Curry

Please deduct the following amount from our contract and issue a formal change order for:

Two Thousand Seven Hundred Ninety Seven ----- Dollars \$ 2,797.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 2,797.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 2,797.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.

You are authorized to do the work as specified. Payment will be made as outlined above.

2535 WEST PLYMOUTH DR. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Avalon EC CO-33 Misc work on renovation

Job Number: 455

Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 05 Wiring Device & Covers ---						
4459	20A Spec Grade SP Switch	13	209.72 C	27.26	0.00 E	0.00
4463	20A SP Decora Switch	4	376.14 C	15.05	0.00 E	0.00
4511	20A/125V Spec Grade Dup Rcpt (5-20R)	8	130.50 C	10.44	0.00 E	0.00
4518	20A/125V Spec Grade GFI Dup Rcpt (5-20R)	3	9.95 E	29.85	0.00 E	0.00
4672	1G Plastic Switch Plate	4	25.04 C	1.00	0.00 E	0.00
4673	1G Plastic Duplex Receptacle Plate	8	25.61 C	2.05	0.00 E	0.00
4682	2G Plastic Blank Plate	4	78.73 C	3.15	0.00 E	0.00
4685	2G Plastic Dupl Rcpt & Sw Plate	1	59.19 C	0.59	0.00 E	0.00
4687	3G Plastic Switch Plate	1	83.65 C	0.84	0.00 E	0.00
4691	4G Plastic Decora Switch Plate	1	92.74 C	0.93	0.00 E	0.00
4692	5G Plastic Switch Plate	1	748.23 C	7.48	0.00 E	0.00
--- 05 Wiring Device & Covers Total ---				98.64		0.00
Job Total				98.64		0.00

Avalon 1966-920

LOWE'S HOME CENTERS, LLC
2525 RIMROCK AVENUE
GRAND JUNCTION, CO 81505 (970) 683-4760

- SALE -

SALES#: S1554SA3 1807004 TRANS#: 10157624 04-10-14

16059 UT 3-IN WHITE GIMBAL NON 139.72
14 @ 9.98

SUBTOTAL: 139.72
TAX: 10.69
INVOICE 10963 TOTAL: 150.41
N/C: 150.41

N/C:XXXXXXXXXX3209 AMOUNT:150.41 AUTHCD:010068
SWIPE REFID:157638155410 04/10/14 13:20:38
CUSTOMER CODE: avalon

STORE: 1554 TERMINAL: 10 04/10/14 13:21:01

OF ITEMS PURCHASED: 14
EXCLUDES FEES, SERVICES AND SPECIAL ORDER ITEMS



THANK YOU FOR SHOPPING LOWE'S.
SEE REVERSE SIDE FOR RETURN POLICY.
STORE MANAGER: MATTHEW ITO

WE HAVE THE LOWEST PRICES, GUARANTEED!
IF YOU FIND A LOWER PRICE, WE WILL BEAT IT BY 10%.
SEE STORE FOR DETAILS.

YOUR OPINIONS COUNT!
REGISTER FOR A CHANCE TO WIN A
\$5,000 LOWE'S GIFT CARD!
* REGISTRESE PARA TENER LA OPORTUNIDAD DE GANAR UNA
TARJETA DE REGALO DE LOWE'S DE \$5000!
* REGISTER BY COMPLETING A GUEST SATISFACTION SURVEY
WITHIN ONE WEEK AT: www.lowes.com/survey
Y O U R I D # 10963 1554 100
* NO PURCHASE NECESSARY TO ENTER OR WIN.
* VOID WHERE PROHIBITED. MUST BE 18 OR OLDER TO ENTER.
* OFFICIAL RULES & WINNERS AT: www.lowes.com/survey

STORE: 1554 TERMINAL: 10 04/10/14 13:21:01



2535 West Pinyon Avenue, Grand Junction, CO 81505
 (970) 241-3302 Fax (970) 241-2992

PURCHASE ORDER

Show this PO number on all
 correspondence, invoices,
 shipping papers and
 packages

59440

19648

DATE

SHIP TO

6-13-14

JOB/CODE

911

ANALAN

TO

All Phase

REQUISITIONED BY	WHEN SHIP	SHIP VIA	F.O.B. POINT	TERMS		
Race	6-13-14	WC	N/A	OPEN	X	CLOSED
QTY. ORDERED	QTY. RECEIVED	STOCK NO. / DESCRIPTION		UNIT PRICE		TOTAL
9		Frog Eyes	→	20	=	180
4		Exit	→	25	=	100

- 1 PURCHASING TERMS AND CONDITIONS stated on the reverse side apply to this order
- 2 Please mail one copy of your invoice directly to our office
- 3 Order is to be entered in accordance with prices, delivery and specifications shown above
- 4 Notify us immediately if you are unable to ship/deliver as specified

[Signature]
 AUTHORIZED BY

DATE: 7-11-14

TAKEOFF SHEET

JOB NAME Asst. L

[illegible]

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/17/2014 RFI-299: Changes to Lighting Coves & Soffits at Restrooms Pending Approval

Category	Reference	PCCO Number
FORCE ACCT	RFI-299, attached pricing quote	
Notes		
REVISION 7/17/14		

This COR developed for additional costs associated with RFI-299.

Per RFI-299, there is not enough room above ceiling at the public restrooms for the installation of the K/K1 lights. The K/K1 lights require that the entire fixture be installed above ceiling with the lens being the only item visible from below.

Due to these tight conditions, FCI has proposed and WRL has deemed acceptable the framing of a dropped lighting soffit for the K/K1 lights per the sketches provided as backup to RFI-299.

This COR is for costs for the additional framing and drywall materials and labor required for these dropped soffits. This COR does not include any additional costs for the framing and drywall for the lighting coves for the F2/F3 lights per RFI-299. These lighting coves were included in the drawings, but this detail has simply dropped in elevation to allow room above for piping.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$4,414.00
Description of Work: All changes to TP Acoustics' scope of work as revised per RFI-299. This includes additional framing, drywall, and drywall finish for the dropped lighting cove and dropped lighting soffits required at restrooms at the addition for light fixture types F2/F3 and K/K1.		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$18.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$31.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$268.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Requested Days: 0

Total Change: \$4,735.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

07-17-14

Project: **Avalon**
Attn: Brady Blackmer

RFI 299

Material	\$ 798.00
Labor	\$ 2160.00
Burden	\$ 864.00
Subtotal	\$ 3822.00
Overhead	\$ 382.00
Subtotal	\$ 4204.00
Profit	\$ 210.00
Total	\$ 4414.00

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net

Project: Avalon

Page #: 1

Description: RFI #299

Date: 06/19/14

Rm. #	Sketch #	Wall	Linear feet	Framing man hours	Drywall man hours	Finish man hours
107A	2	West	8	5.5	2	3
108	2	West	20	8	4	4
109	2	West	8	5.5	2	3
110	2	West	12	6.5	6	3
203	2	West	12	6.5	6	3
204	2	West	8	5.5	2	3
205	2	West	20	8	4	4
304	3	South	7			
305	3	North	7			

FCI's analysis of TP's pricing table above, with break-out of material costs included

Rm. #	Sketch #	Wall	Linear feet	Framing man hours**	LF/MH	Drywall man hours	Finish man hours
107A	2	West	8	5.5	1.45	2	3
108	2	West	20	8	2.50	4	4
109	2	West	8	5.5	1.45	2	3
110	2	West	12	6.5	1.85	6	3
203	2	West	12	6.5	1.85	6	3
204	2	West	8	5.5	1.45	2	3
205	2	West	20	8	2.50	4	4
304	3	South	7	5	1.40	1.5	2.5
305	3	North	7	5	1.40	1.5	2.5
			102				
			SUBTOTAL MH's	55.5		29	28
						TOTAL MH's	112.5
						labor costs (includes burden)	\$ 3,024.00
						\$/MH	\$ 26.88
* 2 men framing							
estimated MH's to finish soffits at 304 and 305, based on production at lower floors							
calculated linear foot of soffit framed per MH							
Materials***	UOM	\$/Unit	Qty.	Total Costs	Comments		
metal studs	LF	\$ 0.50	272	\$ 136.00			
metal track	LF	\$ 0.50	300	\$ 150.00			
1-1/2" angle	LF	\$ 0.30	160	\$ 48.00			
drywall	SF	\$ 0.50	480	\$ 240.00			
drywall finish materials	SF	\$ 0.25	480	\$ 120.00			
screws/shots				\$ 104.10	15% of material costs		
			TOTAL	\$ 798.10			
***Material costs based on phone conversation between Tom Valdes (TP) and Brady Blackmer (FCI) on 7/17/14							

!!!!

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 299

Date Created: 6/13/2014

Answer Company

Answered By

Author Company

Authored By

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Richard Sourbrine

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

Co-Respondent

Author RFI Number

Subject

Soffits and Coves for K/K1 & F2/F3 Lights at Restrooms

Discipline

Architectural

Category

Request for Information

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	FCI Constructors, Inc. - GJ	Pat Hutchison	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 6/20/2014

The attached cut-sheet from the approved lighting submittal shows the means of installation for the specified K/K1 light fixtures at restrooms 107A, 108, 109, 110, 203, 204, 205, 304, and 305. These fixtures require an area of roughly 10" x 8" above ceiling for installation. Further, detail 17/AE-551 shows a recessed cove in the ceiling for the F2/F3 light fixtures (cut-sheet also attached for reference) at restrooms 108, 110, 203, and 205. Per 17/AE-551, this cove detail would require a clear area of roughly 1'-6" x 1'-6" above ceiling for cove framing, drywall, etc. As can be seen in the attached pictures, due to duct work and piping above these ceilings, there is physically not enough room above these ceilings for the K/K1 fixtures to install and for the cove detail per 17/AE-551. FCI is proposing the following solutions:

1.) Cove for the F2/F3 lights at restrooms 108, 110, 203, and 205: Install a "dropped" cove per the attached sketch #1 (dimensions are similar to 17/AE-551, cove is just below the ceiling). The bottom of this cove would be 8'-0" AFF.

2.) K/K1 lights at restrooms 107A, 108, 109, 110, 203, 204, and 205: Frame a "dropped" soffit 8" tall (bottom of soffit at 8'-4" AFF) and roughly 1'-3 1/2" wide per the attached sketch #2.

3.) K/K1 lights at restrooms 304 and 305: Frame a dropped soffit similar to item #2 above, except for the height AFF to the bottom of soffit. The ceiling within this room as called-out to be at 8'-0" AFF. However, FCI believes that there is room to raise this ceiling height to 8'-2" AFF. This would put the bottom of this soffit at 7'-6" AFF per the attached sketch #3.

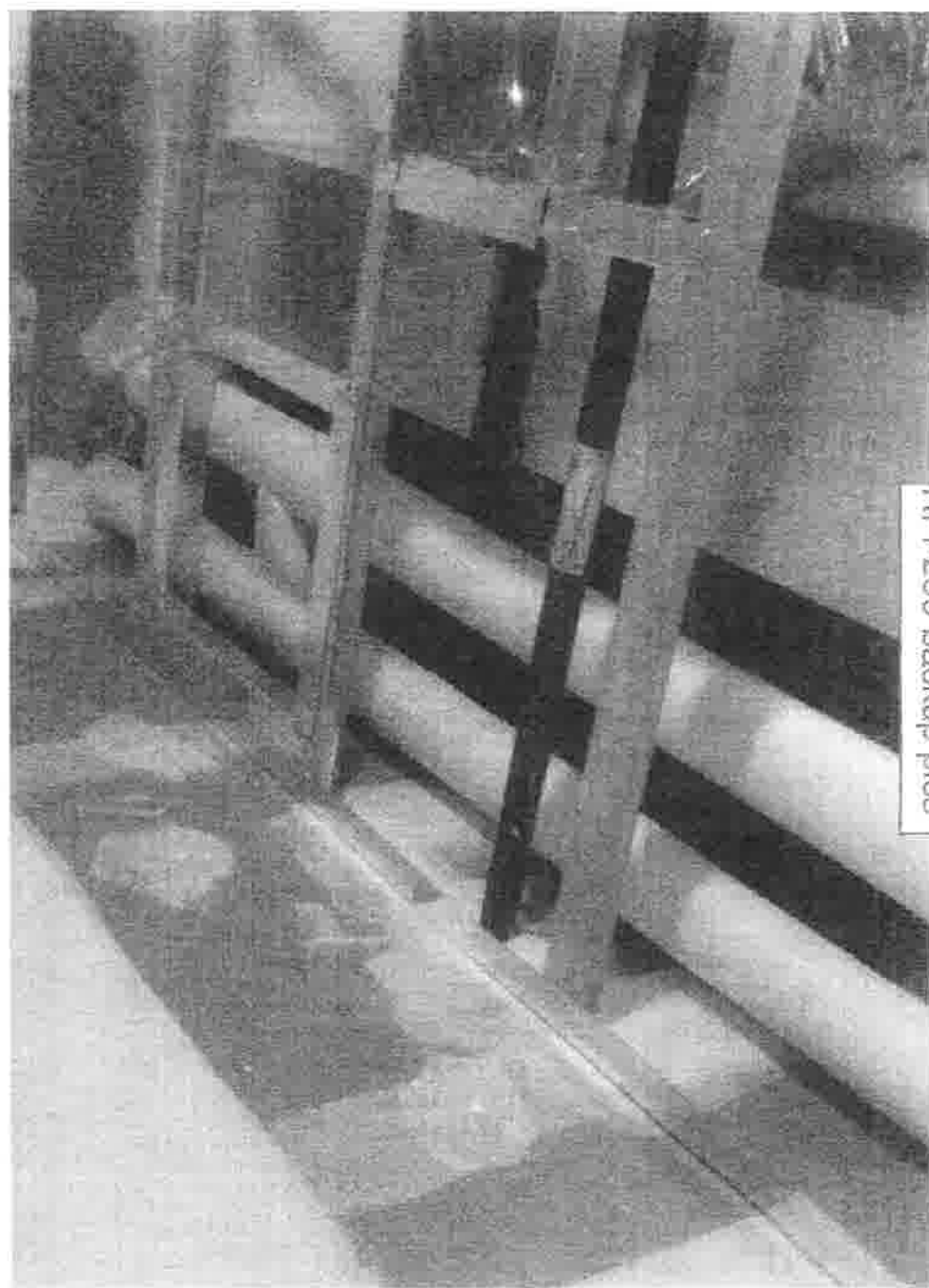
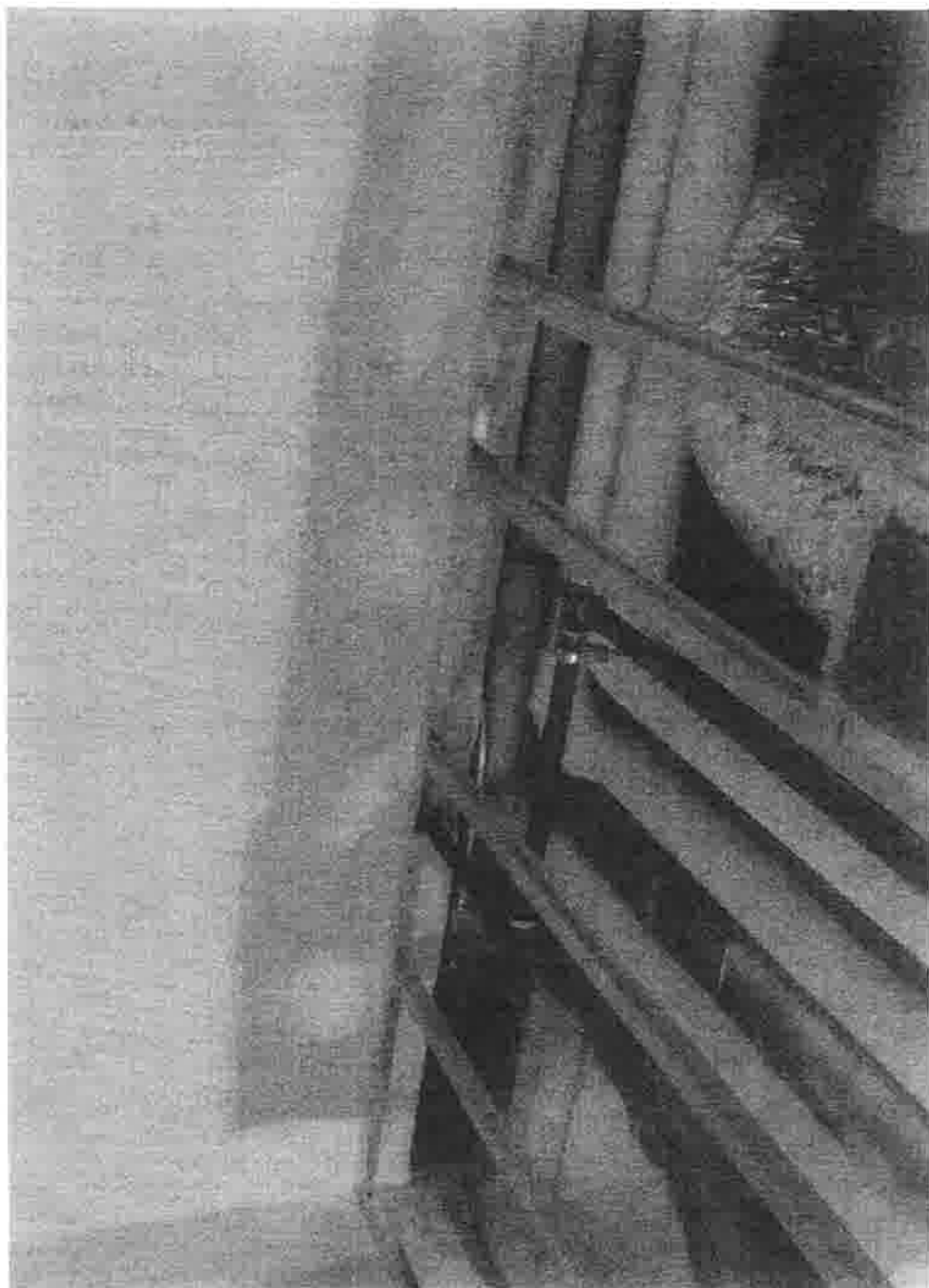
Please review and advise if these proposed revisions are acceptable.

Suggestion

Answer

Date Answered: 6/17/2014

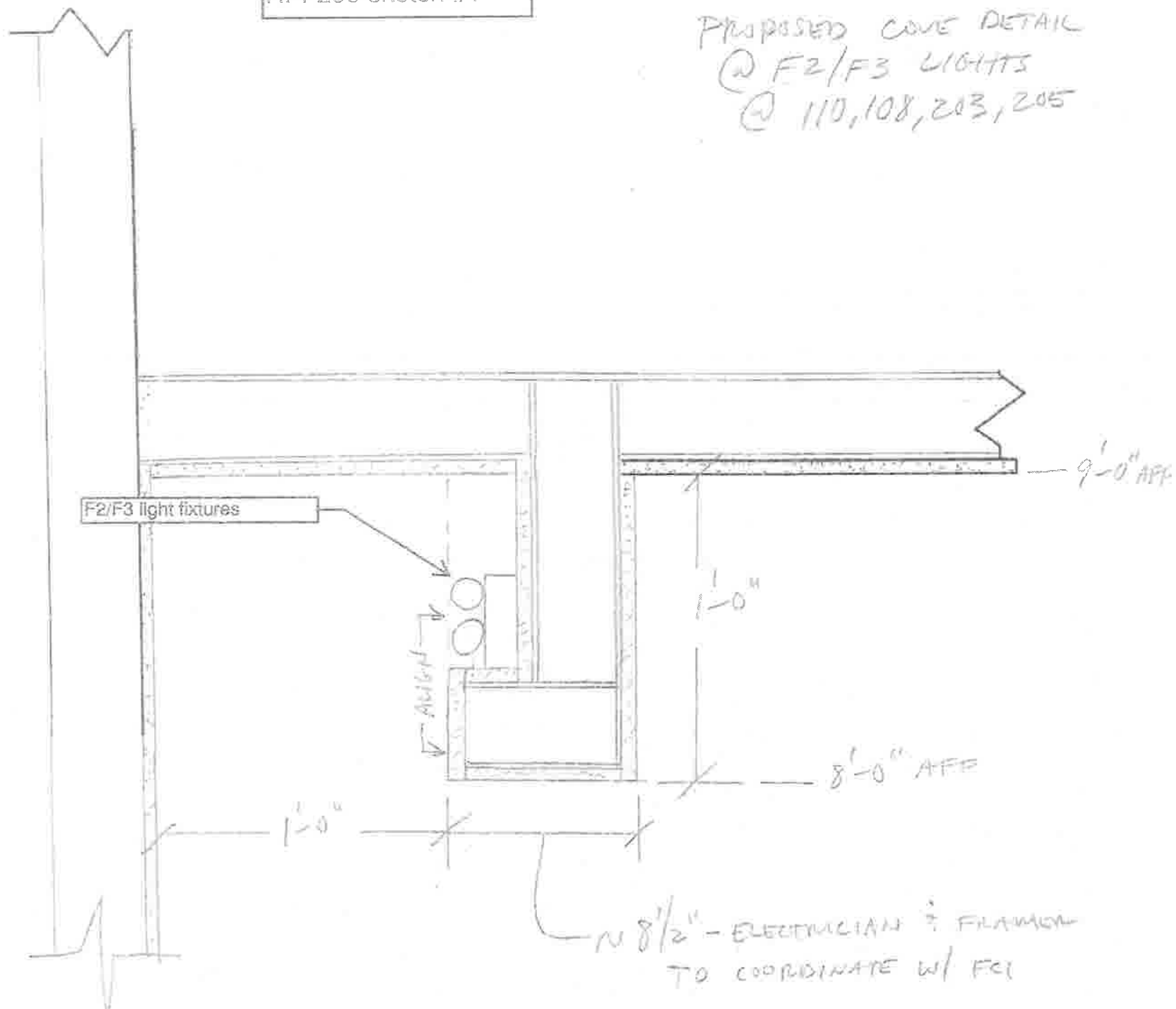
[6/17/2014 Westlake Reed Lekosky - Richard Sourbrine]
Proposed revisions are acceptable.



RFI-299 backup pics

RFI-299 sketch #1

PROPOSED COVE DETAIL
② F2/F3 LIGHTS
② 110, 108, 203, 205



RFI-299 sketch #2

PROPOSED SOFFIT DETAIL

@ K/K1 LIGHTS

@ 107A, 108, 109, 110,
203, 204, 205

K/K1 light fixtures

9'-0"
AFF

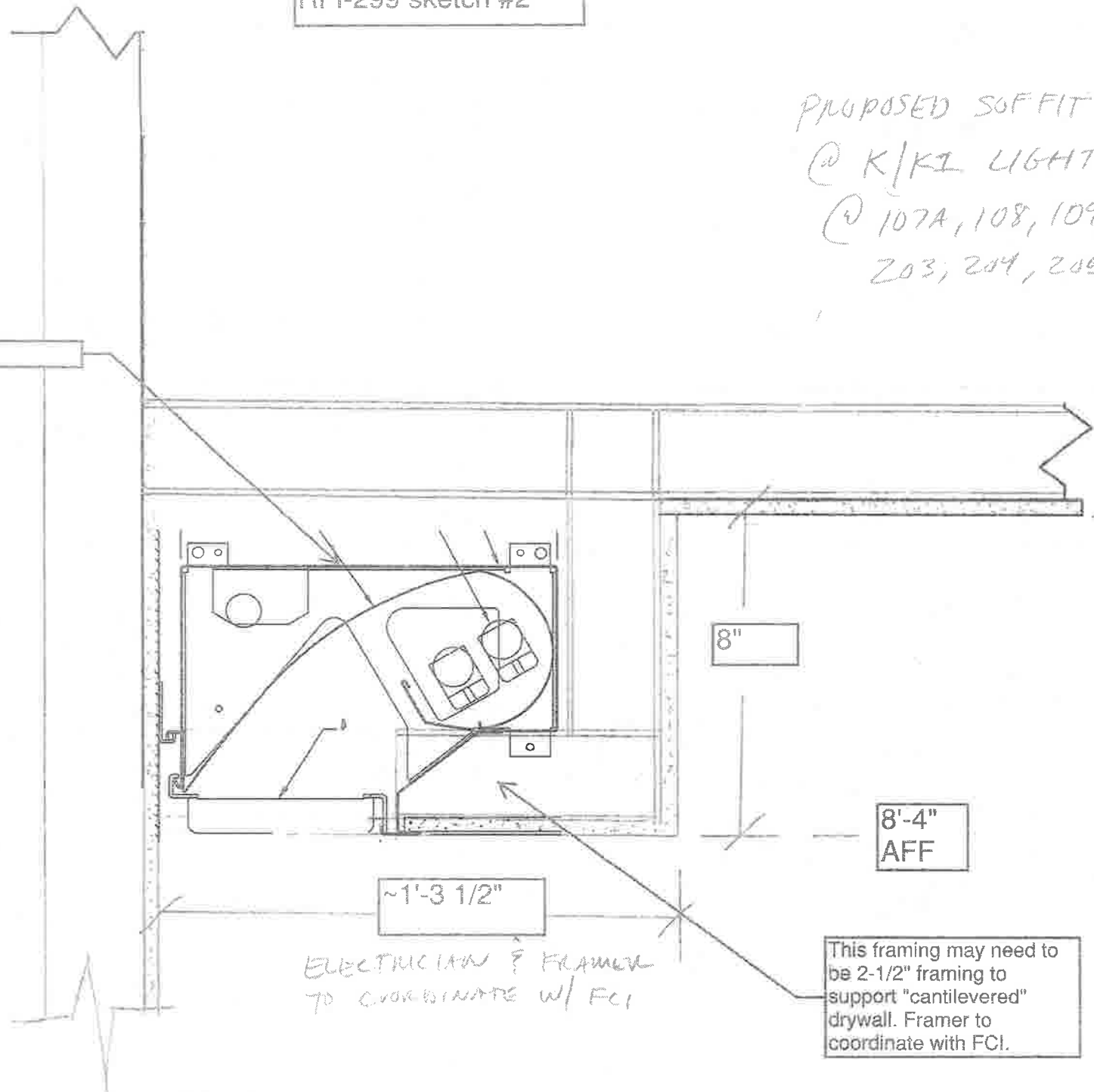
8"

8'-4"
AFF

~1'-3 1/2"

ELECTRICIAN & FRAMER
TO COORDINATE W/ FCI

This framing may need to
be 2-1/2" framing to
support "cantilevered"
drywall. Framer to
coordinate with FCI.



RFI-299 sketch #3

Proposed soffit detail at K/K1
lights at 304 and 305

K/K1 light fixtures

8'-2"
AFF

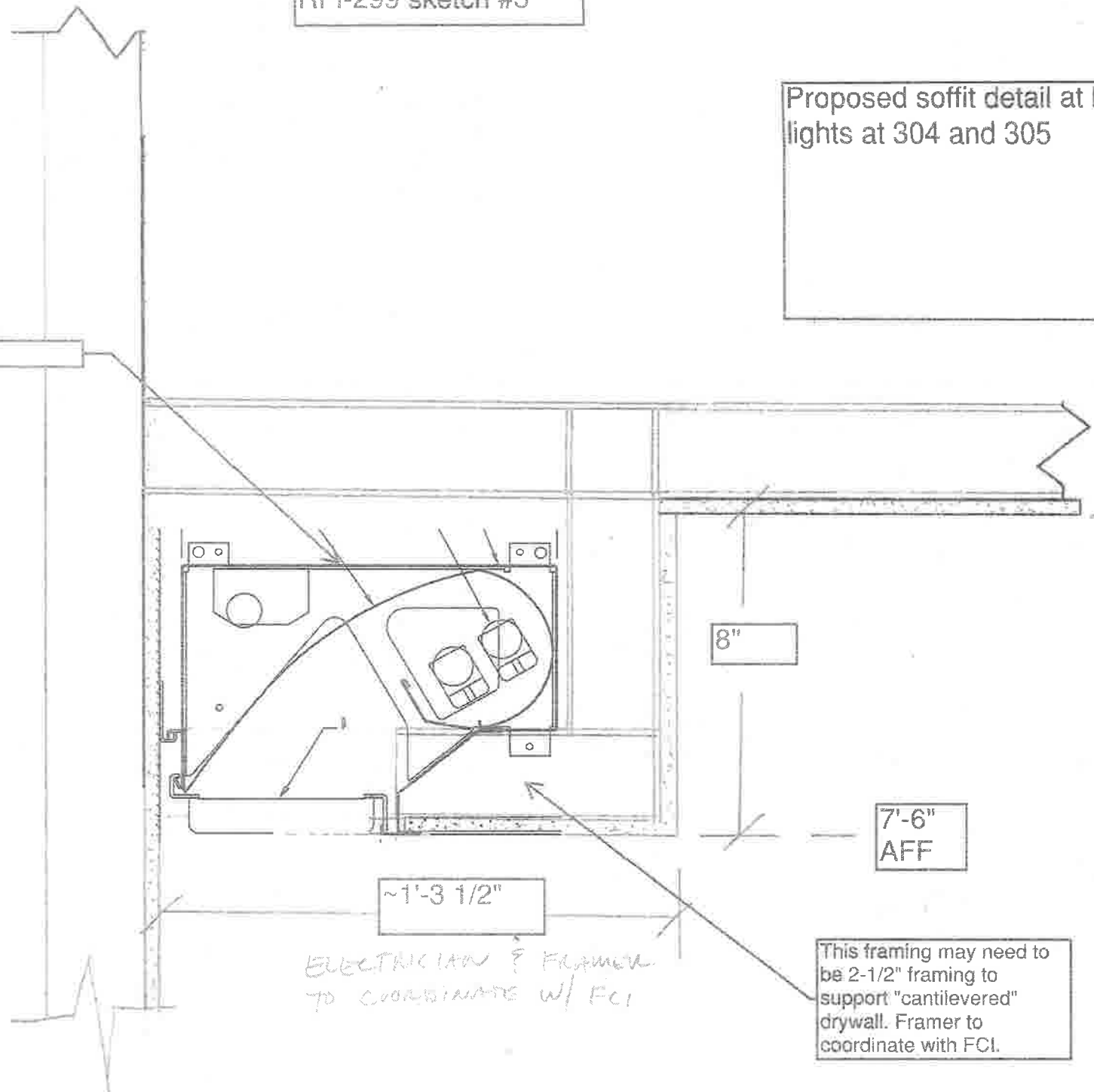
8"

7'-6"
AFF

~1'-3 1/2"

ELECTRICIAN & FRAMER
TO COORDINATE W/ FCI

This framing may need to
be 2-1/2" framing to
support "cantilevered"
drywall. Framer to
coordinate with FCI.



Submitting Agency:

The Lighting Agency
www.thelightingagency.com
P-719.227.9997 F-719.227.9999

Description: SST 2 32 277 GEB10IS GLR
Project: AVALON THEATRES - PH 2
Notes:

Type:

F2



FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for retail applications, coves, corridors and lobbies.

CONSTRUCTION — Housing formed from cold-rolled steel.

Channel is offset to join companion SS Staggered Strip for row applications, Channel connectors standard. Channel telescopes to provide continuous luminous environment without shadows. Length of telescoping features: 2'=11", 3'=17" and 4'=23".

Accepts plug-in options for 1, 2 or 3 primary circuits.

Accessory asymmetric reflectors available.

Finish: High-gloss, baked white enamel finish. Five-stage iron-phosphate pretreatment ensures superior paint adhesion and rust resistance. Painted parts finished with high-gloss, baked white polyester.

ELECTRICAL — Fixture conforms to UL 1570 and suitable for damp locations.

Ballast: Thermally protected, resetting, Class P, HPF, non-PCB, UL listed, CSA certified ballast is standard. Ballasts are sound rated A. Standard combinations are CBM approved and conform to UL 935.

Energy: Luminaire Efficacy Rating (LER) and Annual Energy Cost: Two-lamp LER.FW = 62. Annual Energy Cost = \$3.63. Based on 32W T8 lamp, 2850 lumens, and energy-saving electronic ballast. Ballast factor = .88, input watts = 61. Calculated in accordance with NEMA Standard LE-5.

LISTINGS — UL listed and labeled. Listed and labeled to comply with Canadian and Mexican Standards (see options). Listed for 25°C ambient temperature.

WARRANTY — 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

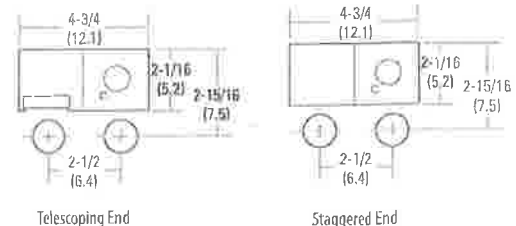
CONTRACTOR TO VERIFY:

Voltage:	Row Information:
Colors/ Finishes:	Switching Options:
Ceiling Type:	Suspension Lengths:
Specific Dimming Ballasts (if required):	Other:

Telescoping Staggered Strip



2', 3' or 4' Length
2 lamps



All dimensions are inches (centimeters) unless otherwise noted.

ORDER INFORMATION For shortest lead times, configure products using bolded options . Example: SST 2 32 MVOLT GEB10IS				
SST	2	32	277	GEB10IS GLR
Series	Lamps	Lamp Type	Voltage	Options
SST Staggered strip, telescoping	2 Not included.	17 17W (24") 25 25W (36") 32 32W (48")	120 277 347 MVOLT ¹ Others available.	GEB10PS Electronic ballast, ≤10% THD, programmed start GEB10IS Electronic ballast, ≤10% THD, instant start GEB10RS Electronic ballast, ≤10% THD, rapid start ² GLR Internal fast-blow fuse ³ GMF Internal slow-blow fuse ³ PLR Plug-in wiring; specify 1, 2 or 3 branch circuits and hot wires. (A=black, B=red, C=blue, AB or AC) CSA Listed and labeled to comply with Canadian Standards NOM Listed and labeled to comply with Mexican Standards EMC Emergency battery (nominal 1400 lumens; see Life Safety Section) ²

Yes Mvolt.

Should this be MVOLT?
Electrical engineer please verify.

Accessories: Order as separate catalog number.

SSTASR 48WH Asymmetric reflector, 4' white

Notes

- 1 MVOLT available with GEB10IS and GEB10PS.
- 2 Specify voltage.
- 3 For 347 volt.

Submitting Agency:

The Lighting Agency
www.thelightingagency.com
P-719.227.9997 F-719.227.9990

Description: SST 2 17 277 GEB10IS GLR
Project: AVALON THEATRES - PH 2
Notes:

Type:

F3



FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for retail applications, coves, corridors and lobbies.

CONSTRUCTION — Housing formed from cold-rolled steel.

Channel is offset to join companion SS Staggered Strip for row applications. Channel connectors standard. Channel telescopes to provide continuous luminous environment without shadows. Length of telescoping features: 2'=11", 3'=17" and 4'=23".

Accepts plug-in options for 1, 2 or 3 primary circuits.

Accessory asymmetric reflectors available.

Finish: High-gloss, baked white enamel finish. Five-stage iron-phosphate pretreatment ensures superior paint adhesion and rust resistance. Painted parts finished with high-gloss, baked white polyester.

ELECTRICAL — Fixture conforms to UL 1570 and suitable for damp locations.

Ballast: Thermally protected, resetting, Class P, HPF, non-PCB, UL listed, CSA certified ballast is standard. Ballasts are sound rated A. Standard combinations are CBM approved and conform to UL 935.

Energy: Luminaire Efficacy Rating (LER) and Annual Energy Cost: Two-lamp LER.FW = 62. Annual Energy Cost = \$3.63. Based on 32W T8 lamp, 2850 lumens, and energy-saving electronic ballast. Ballast factor = .88, input watts = 61. Calculated in accordance with NEMA Standard LE-5.

LISTINGS — UL listed and labeled. Listed and labeled to comply with Canadian and Mexican Standards (see options). Listed for 25°C ambient temperature.

WARRANTY — 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.

Actual performance may differ as a result of end-user environment and application.

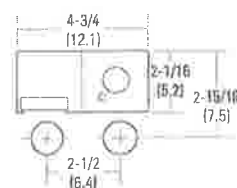
CONTRACTOR TO VERIFY:

Voltage:	Row Information:
Colors/ Finishes:	Switching Options:
Ceiling Type:	Suspension Lengths:
Specific Dimming Ballasts (if required):	Other:

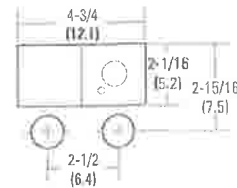
Telescoping Staggered Strip



2', 3' or 4' Length
2 lamps



Telescoping End



Staggered End

All dimensions are inches (centimeters) unless otherwise noted.

ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: SST 2 32 MVOLT GEB10IS

SST	2	17	277	GEB10IS GLR
Series	Lamps	Lamp Type	Voltage	Options
SST Staggered strip, telescoping	2 Not included.	17 17W (24") 25 25W (36") 32 32W (48")	120 277 347 MVOLT ¹ Others available.	GEB10PS Electronic ballast, ≤10% THD, programmed start GEB10IS Electronic ballast, <10% THD, instant start GEB10RS Electronic ballast, <10% THD, rapid start ³ GLR Internal fast-blow fuse ² GMF Internal slow-blow fuse ² PLR Plug-in wiring; specify 1, 2 or 3 branch circuits and hot wires. (A=black, B=red, C=blue, AB or AC) CSA Listed and labeled to comply with Canadian Standards NOM Listed and labeled to comply with Mexican Standards EL14 Emergency battery (nominal 1400 lumens; see Life Safety Section) ³

Should this be MVOLT?
Electrical engineer please verify.

Accessories: Order as separate catalog number.

SSTASR 48WH Asymmetric reflector, 4' white

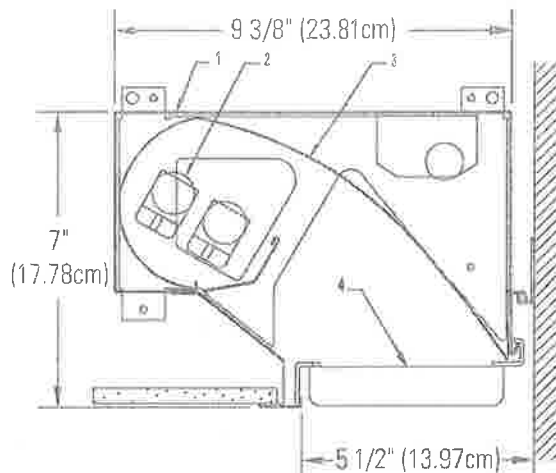
Notes

- 1 MVOLT available with GEB10IS and GEB10PS.
- 2 Specify voltage.
- 3 For 347 volt.

Lighting Systems **PTS8-2**

Page 1 of 2

Perimeter Trough Recessed 2-Light T8 Per (Nominal) Section



Quarter Scale

Module Ordering Information

Family	Lamps	Shielding	Voltage	Length	Options
PTS8	2 2 = 2 Lamps	S O = Open L = Lens S = Straight Blade Louver	D2 1 = 120V 2 = 277V 3 = 347V D1 = 120V Dim. D2 = 277V Dim. E1 = 120V Emerg. E2 = 277V Emerg.	3 2 = Two-Foot 3 = Three-Foot 4 = Four-Foot 6 = Six-Foot 8 = Eight-Foot	Blank = No Options A = Adjustable* AS = Adjustable Staggered* S = Staggered X4 = 4 thru wires X5 = 5 thru wires A4 = Adjustable 4 thru wires* A5 = Adjustable 5 thru wires* S4 = Staggered 4 thru wires S5 = Staggered 5 thru wires B4 = Adjustable Staggered 4 thru wires* B5 = Adjustable Staggered 5 thru wires*

* only available on Two-Foot, Three-Foot and Four-Foot versions. See length variations of adjustable fixtures on page 2.

Features

- Housing:** Die-formed 20 gauge pre-painted steel. Integral heavy gauge bulkheads support housing and trim, permitting modules to be bolted together in continuous runs and facilitate suspension.
- Lamping:** Cross-sectional two linear T8 fluorescent lamps. Provided by others.
- Reflector:** Precision parabolic roll-formed semi-specular aluminum.
- Louver:** Lift and shift straight blade louver constructed from die-formed aluminum and painted to match housing. Louver blades are 1" (2.54cm) high on 1-1/8" (2.86cm) centers. (Optional)

Mounting

"J" Rail is first mounted to the wall and the modules connect to the rail for 1/4" (0.64cm) wall adjustment. Modules are hung from suspension wires attached to the fixture bulkheads and the structure above.

Electrical

Electronic Ballast: Programmed start, 3 conductor, 12 gauge wire. Color-coded quick connectors allow easy connection for modular fixtures. Factory installed ballast disconnect allows the ballast to be disconnected from and reconnected to incoming power under load without turning the entire circuit off.

Dimming: Advance Mark X, use Advance compatible two-wire control (no extra control lead required).

Emergency Battery Pack: 450 Lumens/30 minimum.

EC Electric Note on the K/K1 fixtures in the Restrooms:

The schedule calls for dimming ballast, but there is no dimmer controlling them. We believe this should be a standard non-dim ballast that is either "on" or "off".

Lightolier is a Philips group brand

Ordering Instructions

Individual Fixtures:

- Order number of MODULES required.
- Order one END SET per MODULE.

Continuous Rows:

- Determine run length.
- Order the appropriate number of MODULES for the complete ROW.
- Stagger rows must be completed with an adjustable module. (2-light only)
- Non-stagger rows must be completed with an adjustable module unless row lengths are in precise 1 foot (30.48cm) intervals.
- Order one END SET per ROW.

Labels

UL, cUL and IBEW

Dimming not required.

Job Information

Type:

Job Name:

Cat. No.:

Lamp(s):

Notes:

631 Airport Road, Fall River, MA 02720 • (508) 679-8131 • Fax (508) 674-4710
We reserve the right to change details of design, materials and finish.
www.lightolier.com © 2008 Philips Group • D1008

architect/electrical engineer
please advise. Typ. for K
and K1 fixtures.

PHILIPS

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2014 10:01 AM 10-13-025 10-13-025 10-13-025 FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	attached pricing quote	

Notes

This COR developed for additional costs associated with the construction of a drop soffit at the front of Concessions 104. Per discussion between FCI and Rich Sourbrine (WRL), this drop soffit is required to allow room for the rough-in of the D5 lights that are to be installed at the west side of Concessions 104, to allow room for a 3" electrical panel feeder conduit that routes to Storage 201, and to allow room for the vertically oriented diffusers and associated plenum boxes that serve the Concessions area.

Itemized Details:

General Description	Quote Rec'd	Proposed
TP Acoustics, Inc. - GJ		\$1,009.00
Description of Work: TP Acoustics: All materials and labor required to construct a drop soffit at the west side of Concessions 104 as directed by FCI and the architect.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$7.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$61.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$1,082.00

Approval: 

Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583

06-26-14

Project: **Avalon**
Attn: **Brady Blackmer**
Re: Field Change Order – Soffit above Concessions Counter Rm. 104

Material	\$ 89.32
Labor	\$ 560.00
Burden	<u>\$ 224.00</u>
Subtotal	\$ 873.32
Overhead	<u>\$ 87.35</u>
Subtotal	\$ 960.67
Profit	<u>\$ 48.03</u>
Total	\$1008.70

Submitted by,

Thomas Valdes

Thomas Valdes
970-216-1785
Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO81501
Phone: (970) 245-9740
Fax: (970) 243-4409
E-Mail: office@tpacoustics.net**

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/8/2014 RFI-308: Revised Key Switches of Automatic Doors FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-308, Attached Pricing Sheet	

Notes

This COR developed for cost associated with RFI-308.

Per RFI-308, the specified key switches that control doors 101B, 101D, and 101E will not work for the sequence of operation required for these doors. This COR is for the cost of the new key switches.

Note: FCI has proceeded with ordering these new key switches.

Itemized Details:

General Description	Quote Rec'd	Proposed
McKinney Door & Hardware		\$302.00
Description of Work: McKinney Door & Hardware to supply revised key switches (2) for the operation of auto doors 101B/101D and 101E.		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$18.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$323.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Avalon Theatre, Phase 1 Addition & Remodel Project # 10-13-025 FCI Constructors, Inc. - GJ
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 304 Date Created: 6/24/2014

Answer Company	Answered By	Author Company	Authored By
FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Ryan Chushuk

Co-Respondent	Author RFI Number
Rich Sourbrine	

Subject	Discipline	Category
Stair E & F Base	Architectural	

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question Date Required: 7/1/2014

Per the finish schedule Stairs E & F from the Mezzanine landing to the upper Mezzanine are called out to have wood base installed. The east and west stairs to the north basement are also labeled as Star E & Stair F. Per conversation between Brady Blackmer (FCI), Brian Young (FCI), and Rich Sourbrine (WRL), it is FCI's understanding that stair E and F to the basement should also receive wood base at these existing stairs to be installed similar to RFI-195, option #3. Please confirm.

Note: There may be additional cost associated with this wood base.

Suggestion

Answer Date Answered: 7/16/2014

[6/24/2014 Westlake Reed Lekosky - Richard Sourbrine]
Confirmed.

7/16/17 FCI Constructors, Inc. - Brady Blackmer

Per conversation at the 7/3/14 OAC Meeting, a rubber base "stringer" is wanted for the wall base material at these stairs to the north basement. FCI is proceeding with the installation of this "stringer" base at these stairs. Stringer base to be 12" tall with color to match rubber base already installed.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/24/2014 Additional Taper Insulation/Flashing at Mechanical Roof FCI Pricing

Category	Reference	PCCO Number
Budget Variance Report	attached pricing quote	

Notes

This BVR developed for costs associated with additional taper insulation and additional roof membrane flashing required for a mechanical curb at the roof for OU units OU-1, OU-2, and OU-3. A mechanical curb was built for these OU units to sit on at the southwest corner of the addition mechanical roof. Due to this curb, the taper roof insulation in this area had to be modified to allow storm water to flow around the curb and to drain. Further, additional roof membrane flashing was required at this added curb.

Note: These OU units are shown on the mechanical roof plan, but are not shown on the architectural roof plan.

Itemized Details:

General Description	Quote Rec'd	Proposed
All Steel, Inc.		\$1,486.00
Description of Work: All-Steel: Additional labor and materials for taper insulation and flashing required for the mechanical curb for OU units at the southwest corner of the addition mechanical roof.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$10.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$90.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Contingency		

Requested Days: 0

Total Change to Contingency: (\$1,593.00)

Approval: _____
Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Change Order

ALL STEEL

8498 61.50 Road

Montrose, CO 81401

Phone: 970.249.6663

Fax: 970.249.6663

Email: calvin@allsteelinc.net

steelfab@allsteelinc.net

roofing@allsteelinc.net

Date: 5-15-14

Owner/Contractor: FCI Constructors, Inc

Project name/number: Avalon Theater, Phase 1

Requested by: Brady Blackmer

Fax/e-mail to: bblackmer@fciol.com

Change (add or delete) the following work to the original contract:

Flashing

1. Time and materials to flash two units at south west corner of the mechanical roof not shown on the roof plan. ADD \$1,486

This change order becomes part of the original contract. All Steel reserves the right to withdraw any Proposal if not accepted, signed and returned to our office within 30 days of Proposal date. Prices Quoted are valid for 30 days from date of Proposal.

Change the original contract amount by:

ADD \$1,486.00

Payment to be made as follows:

100% when completed and billed, or per contract.

Work performed pursuant to field instruction is acknowledged and pricing is accepted.

Owner/Contractor

Date

All Steel is authorized to complete said change order items as specified and payment will be made as outlined above.

Owner/Contractor

Date

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2014 Site Work Relocate Sidewalk Drain & Relocate Electrical Service FCI Pricing

Category	Reference	PCCO Number
Budget Variance Report	attached T&M tickets/COR's	

Notes

This BVR developed for additional costs for the following revisions to site work:

- 1.) Raise (4) junction boxes (1 junction box replaced in its entirety). Existing junction boxes had to be raised to work with site concrete grades as reviewed with the City of Grand Junction and Austin Civil Group on 7/18/14
- 2.) Relocate the existing sidewalk drain at the north side of the addition. This existing drain would not work with the grades required for new site concrete at this north side and had to be shifted further to the west.

Itemized Details:

General Description	Quote Rec'd	Proposed
Skyline Contracting, Inc.		\$1,364.00
Description of Work: Skyline Contracting: T&M costs for the following items:		
1.) WO #09256 - Raise (4) existing junction boxes as required for new concrete grades (1 junction box replaced in its entirety) = \$523.50		
2.) WO #09258 - Relocate the existing sidewalk drain at the north side of the addition = \$840.70		
Total = \$1,364.20		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$5.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$10.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$83.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Contingency		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance

BVR-038

Total Change to Contingency

Requested Days: 0

Total Change to Contingency: (\$1,463.00)

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

SKYLINE CONTRACTING, INC.

3191 Mesa Avenue, Grand Junction, CO 81504
Tel: (970) 434-9121 Fax: (970) 434-0851

To:	FCI Constructors, Inc.	Contact:	Brady Blackmer
Address:	P.O. Box 1767 Grand Junction, CO 81502	Phone:	(970) 434-9093
		Fax:	(970) 434-7583
Project Name:	Avalon COR #18 Raise Junction Boxes	Bid Number:	Change Order Request #18
Project Location:	645 Main Street, Grand Junction, CO	Bid Date:	7/25/2014

Skyline Contracting, Inc. is requesting a change to the original contract amount for raising the 4 EA junction boxes and replacing 1 EA for the Avalon Theatre Addition Project.

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
1	Work Order #09256 - Raise 4 EA Junction Boxes, Replaced 1 EA Box Entirely. (Completed On 7/18/2014)	1.00	LS	\$523.50	\$523.50

Total Bid Price: \$523.50

ACCEPTED:

The above prices, specifications and conditions are satisfactory and are hereby accepted.

Buyer: _____

Signature: _____

Date of Acceptance: _____

CONFIRMED:

Skyline Contracting, Inc.

Authorized Signature:  _____

Estimator: John Chutka
jchutka@skyconinc.com

WORK ORDER 09256

CUSTOMERS ORDER NO. 13-23:70.70	DATE ORDERED 7/18/14
ORDER TAKEN BY TY	DATE PROMISED <input type="checkbox"/> A.M. <input type="checkbox"/> P.M.

BILL TO FCI	PHONE
ADDRESS	MECHANIC
CITY	HELPER
JOB NAME AND LOCATION AVARON	<input type="checkbox"/> DAY WORK <input type="checkbox"/> CONTRACT <input type="checkbox"/> EXTRA
DESCRIPTION OF WORK RAISE JUNCTION BOXES (4ea)	

QUANT.	DESCRIPTION OF MATERIAL USED	PRICE	AMOUNT
6 hrs	LABOR	32.00	192.00
1 hr	331 BOBCAT EL	95.00	95.00
1 Ea	JUNCTION BOX		236.50
(NO ONE AVAILABLE TO SIGN TICKET) (S)			
HOURS	LABOR	AMOUNT	TOTAL MATERIALS
	MECHANICS @		TOTAL LABOR
	HELPERS @		
I hereby acknowledge the satisfactory completion of the above described work.		TOTAL LABOR	TAX
SIGNATURE		DATE COMPLETED	TOTAL 523.50

SKYLINE CONTRACTING, INC.

3191 Mesa Avenue, Grand Junction, CO 81504
Tel: (970) 434-9121 Fax: (970) 434-0831

To:	FCI Constructors, Inc.	Contact:	Brady Blackmer
Address:	P.O. Box 1767 Grand Junction, CO 81502	Phone:	(970) 434-9093
Project Name:	Avalon COR #19 - Relocate Sidewalk Drain	Fax:	(970) 434-7583
Project Location:	645 Main Street, Grand Junction, CO	Bid Number:	Change Order Request #19
		Bid Date:	7/25/2014

Skyline Contracting, Inc. is requesting a change to the original contract amount for the relocation of the sidewalk drain for the Avalon Theatre Addition Project.

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
1	Work Order #09258 - Relocate Sidewalk Drain. (Completed On 7/22/2014)	1.00	LS	\$840.70	\$840.70

Total Bid Price: \$840.70

ACCEPTED:

The above prices, specifications and conditions are satisfactory and are hereby accepted.

Buyer: _____

Signature: _____

Date of Acceptance: _____

CONFIRMED:

Skyline Contracting, Inc.

Authorized Signature: 

Estimator: John Chutka
jchutka@skyconinc.com

WORK ORDER 09258

[illegible]



Grand Junction Pipe & Supply

Main Branch

2868 I-70 Business Loop Grand Junction, CO. 81501 970-243-4604

Remit To: 556 Struthers Ave Grand Junction, CO 81501 USA

INVOICE

ORIGINAL

Terms: All Charge Accounts are due and payable 30 days after date of the invoice. All Cash Accounts are due and payable on the date of invoice. Discounts as shown in the discount column are allowed only if accounts are paid in full, by the date below, and if there is no balance past due. No discounts are allowed on sales tax or delivery charges. Finance Charges: All Past Due Accounts are subject to INTEREST at the RATE of 1 1/2 PERCENT PER MONTH (18% PER ANNUM) applied to the principal monthly plus any costs of collection, including reasonable attorney's fees. Returned Checks: All checks returned to the company for non-payment upon presentment shall be subject to a return check charge of \$20.00 and/or other damages provided by § 13-21-109 of the Colorado Revised Statutes, and such returned check shall be treated as a cash account subject to the Finance Charges described above.

Bill To: MM Skyline Contracting, Inc.
3191 Mesa Avenue
Grand Junction, CO 81504

JUL 24 2014

Ship To: Avalon Theatre (exempt)
City of Grand Jct.
Job #13.23 645 Main Street
Grand Junction, CO 81501

13.23.40.00

Attn: Diane Fugate

Ordered By: John Chutka

Ticket #9258

CUSTOMER NO	INVOICE NO.	INVOICE DATE	DUE DATE	SALESMAN	ORDER DATE	ORDER NUMBER
102680	3182651	7/22/2014 13:33:18	8/21/2014	Fred Derby	7/22/2014 12:41:37	1193883

PO NUMBER	JOB ID	ORDER TAKER	PICK TICKET NO	PAGE NO
Ty-7/22/2014 13:18:04		FDERBY	2181101	1 of 1

LINE	ITEM DESCRIPTION	ITEM ID	QTY SHIP	QTY B/O	UOM	PRICE	DISC	EXTD PRICE
Carrier: C.P.U. Customer Pick Up								
001	SWR 45 ELL GSKTD BXB 8"	42660	2.00		EA	62.35	10	112.23
002	RUB'R NEK 1" X 14'-6"	70102	1.00		EA	12.0000		12.00
003	SWR PIPE SDR-35 GSKTD 8" X 14'	37022	28.00		LF	5.08	10	128.02
004	LUBE PINT	42124	1.00		EA	4.7500		4.75

257.00
x 1.07%
282.70

Shipment Accepted By: John Chutka

J-13y

Total Lines: 4	Net 30	SUB-TOTAL	257.00
		TAX	0.00
		AMOUNT DUE	257.00

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ**RFI #: 308****Date Created: 7/9/2014****Answer Company****Answered By****Author Company****Authored By**FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Brady Blackmer

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Ryan Chushuk

Co-Respondent**Author RFI Number****Subject****Discipline****Category**

Automatic Door Openers

Electrical

Cc: Company Name Contact Name Copies Notes

FCI Constructors, Inc. - GJ

Brian Young

1

City of Grand Junction

Lee Cooper

1

Shanks Engineering, LLC

Jim Shanks

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Question**Date Required: 7/16/2014**

The doors on the North and East side of the addition (Door 101B, Door 101D, Door 101E) have automatic door openers. Specification Section 087113 calls out a key switch (to turn on and off the automatic door openers) to be a 653-04 made by Schlage Electronics. However, FCI was informed that these key switches will not work because the door openers sequence for these doors require 2 switches (one for the door openers, and one for the electric latch retraction). FCI is changing the 653-04 switches to 653-14L2 switches to allow both the door openers and electric latch retraction to work properly.

Suggestion**Answer****Date Answered: 7/9/2014**

This RFI is for documentation purposes only. No response is needed.

Ryan Chushuk

From: Brady Blackmer
Sent: Wednesday, July 09, 2014 9:18 AM
To: Ryan Chushuk
Subject: FW: FW: AVALON THEATRE

So now you need to put this cost into a COR for the key switch RFI you just sent out. I have started COR-213 for this. Go ahead and rough the COR out (similar to the INT you did before) and let me know when you are done and we will review.

Brady Blackmer

Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583



From: Mike Musso [mailto:Mike_Musso@mckinneydoor.com]
Sent: Wednesday, July 02, 2014 8:23 AM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young
Subject: RE: FW: AVALON THEATRE

Brady,

The specified 653-04 keyswitch only has one switch in it (SPDT), the operation specified requires 2ea switches (DPDT) 653-14 keyswitch. 1-switch is for the outside actuator for the auto opener and the other is for the electric latch retraction in the exit device.

Yes, 2ea – 653-14L2 keyswitch = \$ 302.00

Thanks,

Mike Musso
Project Manager
McKinney Door & Hardware

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]
Sent: Wednesday, July 02, 2014 7:59 AM
To: Mike Musso
Cc: Stan Kiser; Brian Young
Subject: RE: FW: AVALON THEATRE

Thanks Mike.

I know you told me on the phone, but why won't the 653-04 key switches work? I would like to inform the design team so that they are aware for the future.

Are you going to send us a bill for these?

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Mike Musso [mailto:Mike_Musso@mckinneydoor.com]

Sent: Tuesday, July 01, 2014 4:00 PM

To: Brady Blackmer

Cc: Stan Kiser; Brian Young

Subject: FW: FW: AVALON THEATRE

All,

Riser & wiring diagrams for Avalon attached. I re-ordered the correct key switches and they will ship to Brady's attn. at the office, they are scheduled to ship from the factory 7/7/14.

If the installer has any problems getting these to work have him contact David Edwards @ 859-344-0196 office or cell @ 859-462-7007.

Riser diagram for 101B and 101D is sheet 1/4

Wiring diagram for 101B and 101D is sheet 2/4

Riser diagram for 101E is sheet 3/4

Wiring diagram for 101E is sheet 4/4

Thanks,

Mike Musso

Project Manager

McKinney Door & Hardware

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2014 RFI-310R1: Credit for Revisions to Painting of Exposed Ceilings FCI PM Data

Category	Reference	PCCO Number
FORCE ACCT	RFI-310R1, attached pricing quote	
Notes		

This COR developed for revisions to painting of exposed ceilings as revised per RFI-310R1. Per discussions with Rich Sourbrine, it is acceptable to not paint the exposed ceilings for the "back-of-house" corridors, storage rooms, electrical/dimmer, IT rooms, janitor closets, etc. Further, per direction from Trent Prall (COGJ), the entire exposed areas of ceiling at the Mezzanine and Terrace Lobbies (exposed decking, steel, MEP installations, etc) are to be painted the "Pigeon" color of other steel items in the area. All of these painting revisions have been documented in RFI-310R1.

Itemized Details:

General Description	Quote Rec'd	Proposed
RJ's Painting LLC		(\$2,850.00)
Description of Work: All changes to RJ's Painting's scope of work as revised per RFI-310R1. This includes deletion of painted exposed ceilings at all back-of-house corridors, storage rooms, dimmer/electrical rooms, IT room, and Janitor's closets (ref. RFI-310R1 for specific room numbers). The entire exposed ceilings (steel decking, steel structure, MEP installations, etc.) at the Mezzanine and Terrace Level Lobbies are to be painted the pigeon color to match the color of painted structural steel.		
FCI Constructors, Inc. - GJ		(\$3.00)
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		(\$11.00)
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		(\$20.00)
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: (\$2,884.00)

Approval: _____
Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Brady Blackmer

From: RJ's Painting <rjspainting@gmail.com>
Sent: Wednesday, July 16, 2014 10:08 AM
To: Brady Blackmer

Hi Brady,

I measured the exposed ceiling in the back of the house area ie. corridors, stairwell, etc. There will be a credit of \$2,850.00.

Terrace and mezzanine level common areas;

with painting exposed steel, cleansing the steel decking and painting the insulated and non insulated piping it would be a wash as far as cost. (vs) dry falling the entire ceiling white

Let me know if you have any questions,

Thank you,
Jeremy

RJ's Painting LLC
2690 N. Townsend Ave.
Montrose, CO 81401
office: 970-249-2137
fax: 970-249-0935
Rudy cell: 970-209-0114
Jeremy cell: 970-901-8218

CONFIDENTIALITY STATEMENT:

ALL correspondence and/or photographic images being transmitted to you, the perspective client and/or associate, are to be held in the utmost of confidentiality. No correspondence and/or photographic images may be reproduced, transmitted, or used in any capacity without the expressed, written consent of Rudy Jones or Jeremy Jones of RJ's Painting LLC. This includes any and/or ALL attachments. If you received this transmission in error, please notify the sender by reply e-mail and delete ALL correspondence and said photographic images immediately. Thank you!

Avalon Theatre, Phase 1 Addition & Remodel Project # 10-13-025 FCI Constructors, Inc. - GJ
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 310R1 Date Created: 7/17/2014

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Ryan Chushuk

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Painting Exposed Ceiling	Architectural	

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question Date Required: 7/24/2014

Per the attached email and as discussed during the OAC meeting on 7/10/14, painting of exposed ceilings on the project is to be as followed.

Concessions 104

All exposed piping at ceiling, beam along wall and metal deck at this location to be painted black - Low sheen so it does not reflect light.

Painters will need to cut the paint cleanly at the pipe penetrations at walls.

Wall surfaces (floor to metal deck) will be per finish schedule.

Mezzanine level and Terrace level the lobbies

Paint all exposed structural steel beams/columns, piping (both insulated and non-insulated), hanger straps around pipes the same color as exposed steel elsewhere on project - Pigeon.

Galvanized pipe hangers to remain galvanized finish.

DO NOT PAINT (or overspray) exposed galvanized steel decking, galvanized ductwork, and galvanized conduit (except where conduit is mounted directly to painted steel beam). Clean galvanized surfaces exposed to view per metal decking per spec.

Paint above the hard lid of Mezzanine lobby 200 far enough so that someone standing on the Mezzanine cannot see the paint to no paint transition.

Do not paint the exposed ceiling at the following areas; Storage 127, Corridor 136, Storage 216, Corridor 216, Family 204, Dimmer 310, Corridor 307, IT Room 306, Janitor 316, Concessions 303, Storage 312, or Stair B.

This RFI is for documentation purposes only. No response needed.

REVISION #1

During the site walk with the owner on 7/17/14, Trent Prall directed FCI to paint all installations at the exposed ceilings at the Mezzanine and Terrace Lobbies the "pigeon" color.



Request for Information 310R1
Detailed, RFIs Grouped by RFI Number

The back-of-house and non-public exposed ceilings will remain unpainted

Suggestion

Answer

Date Answered: 7/17/2014

This revised RFI is for documentation purposes only. No response needed.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

7/29/2014 RFI-304: Rubber Base Stringers at North Basement Stairs FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-304, attached pricing quote	
Notes		

This COR developed for additional costs to supply and install 12" tall rubber base stringers at the sides of the stairs down to the north basement (both east and west stairs). Color of these stringers to match new rubber base already installed at the top and bottom of these stairs.

Itemized Details:

General Description	Quote Rec'd	Proposed
Diamond Carpets Inc. dba Abbey Carp		\$884.00
Description of Work: All changes to Abbey Carpet's scope of work as revised per RFI-304. This includes the supply and installation of 12" tall rubber base stringers at the stairs (both east and west) down to the north basement.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$54.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

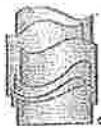
Total Change: \$949.00

Approval: _____

Date: _____

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Abbey Carpet & Floor

2586 Patterson Road
Grand Junction, CO 81505
Phone 1-970-241-8284
Fax 1-970-241-2095

Estimate

Date	Estimate #
7/10/2014	CG4A0868

Name / Address
FCI CONSTRUCTORS PO BOX 1767 GRAND JUNCTION, CO 81502

Ship To

	Rep	Customer Phone #			Project
	JG				AVALON THE...
Item	Color/Description	Qty	U/M	Rate	Total
CUT-BASE	ROPPE RUBBER STRINGERS/COLOR 161 SNOW/ 12" X 6'	12	ea	42.00	504.00
Freight				20.00	20.00
Carpet-Stringers Min. per foot	Installation of stringers per foot	1	ea	360.00	360.00
Total					\$884.00

**AIA®****Document G701™ – 2001****Change Order****PROJECT** (Name and address):Avalon Theatre, Phase 1 Addition &
Remodel
645 Main Street
Grand Junction, CO 81501**CHANGE ORDER NUMBER:** 034**DATE:** August 19, 2014**OWNER:** ☒**ARCHITECT:** ☒**CONTRACTOR:** ☒**FIELD:** ☐**OTHER:** ☐**TO CONTRACTOR** (Name and address):FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502**ARCHITECT'S PROJECT NUMBER:****CONTRACT DATE:** July 22, 2013**CONTRACT FOR:** General Construction**THE CONTRACT IS CHANGED AS FOLLOWS:**

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: (\$202,962.13)

COR-202 - RFI-294: Electrical Revisions at Upper Mezzanine Per Box Walk

Deduct \$ 952.00

COR-211 - RFI-306: Revised Electrical for Popcorn Machines

Deduct \$ 281.00

TOTAL**DEDUCT \$ 1,233.00**

Remaining Force Account (\$ 4,195.13)

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$179,416.08.08)

Remaining Contractors Contingency \$ 52,504.92

The original Contract Sum was

\$ 6,269,780.00

The net change by previously authorized Change Orders

\$ 1,764,745.70

The Contract Sum prior to this Change Order was

\$ 8,034,525.70

The Contract Sum will be increased by this Change Order in the amount of

\$ 0.00

The new Contract Sum including this Change Order will be

\$ 8,034,525.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky

ARCHITECT (Firm name)One East Camelback Road, Suite 690,
Phoenix, AZ 85012**ADDRESS****BY** (Signature)

Richard Sourbrine

(Typed name)

DATE

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS**BY** (Signature)

Stan Kiser

(Typed name)

DATE

City of Grand Junction

OWNER (Firm name)250 North 5th Street, Grand Junction, CO
81501**ADDRESS****BY** (Signature)

Jay Valentine

(Typed name)

DATE

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

8/7/2014 RFI-294: Electrical Revisions at Upper Mezzanine Per Box Walk FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-294, attached pricing quote	
Notes		

This COR developed for costs associated with changes made during the Upper Mezzanine "box-walk" conducted on 5/19/14 and includes electrical revisions at IT Room 306, AV Room 309, Terrace Roof 301, and Concessions 303. The changes have been documented in RFI-294 (attached).

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$887.00
Description of Work: All changes to EC Electric's scope of work as revised per RFI-294. This includes revisions (items added and deleted) at IT Room 306, AV Room 309, Terrace Roof 301, and Concessions 303. These changes are per direction given by the owner during the 5/19/14 Upper Mezzanine Level "box-walk".		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$4.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$54.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0

Total Change: \$952.00

Approval: _____
Date: 8/19/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Date: 8/6/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: Brady Blackmer

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No. RFI #294

Change Order Proposal No. EC-33

We hereby propose to modify our original proposal / contract for the following change to our scope:

Per RFI #294 electrical box walk-through

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 219.19
			\$ -
			\$ -
			\$ -
			\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
1.00	Hours Labor - Foreman	\$ 53.00	\$ 53.00
11.12	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 533.76
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 80.60
			\$ -
			\$ 886.55

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Eight Hundred Eighty-Seven----- Dollars \$ 887.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 887.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 887.00

Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.

You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Pinyon Dr. GRAND JUNCTION CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Avalon RFI #294
Job Number: 403
Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1000	1/2" EMT	40	24.60 C	9.84	3.30 C	1.32
1010	1/2" EMT	80	24.60 C	19.68	3.30 C	2.64
1012	1" EMT	70	68.00 C	47.60	3.75 C	2.63
1436	1/2" Set Screw Steel Conn	6	94.28 C	5.66	0.05 E	0.30
1438	1" Set Screw Steel Conn	4	188.57 C	7.54	0.07 E	0.28
1478	1" Compression Steel Conn	4	399.25 C	15.97	0.15 E	0.60
1556	1/2" Set Screw Steel Cplg	12	20.02 C	2.40	0.05 E	0.60
1558	1" Set Screw Steel Cplg	5	57.33 C	2.87	0.07 E	0.35
1600	1" Plastic Bushing	4	14.89 C	0.60	0.02 E	0.08
2301	1/2" Metal Stud Conduit Clip	15	107.61 C	16.14	3.75 C	0.56
2303	1" Metal Stud Conduit Clip	8	112.73 C	9.30	5.00 C	0.41
2572	4" Square x 1-1/2" Deep Box w/bkt (1/2&3/4 KO's)	-4	98.99 C	-3.96	0.20 E	-0.80
2575	4" Square Box/Metal Stud/1-1/2"D/Comb KO	2	151.43 C	3.03	0.18 E	0.36
2579	1G WP Bell Box-(3)1/2" Hubs	1	282.49 C	2.82	0.30 E	0.30
2731	4" Square-1G Plaster Ring-5/8"D	-4	52.67 C	-2.11	0.07 E	-0.28
2732	4" Square-1G Plaster Ring-3/4"D	2	50.45 C	1.01	0.07 E	0.14
--- 01 Raceway, Fittings & Boxes Total ---				138.39		9.49
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	252	105.86 M	26.68	5.50 M	1.39
2791	#10 THHN CU Stranded Wire	126	186.08 M	23.45	6.00 M	0.76
2932	3/8" MC/BX Connector	0	64.40 C	0.00	0.08 E	0.00
3060	10/4 SO/STO Cord	10	720.00 M	7.20	9.50 M	0.10
--- 02 Wire & Cable Total ---				57.33		2.25
--- 05 Wiring Device & Covers ---						
4511	20A/125V Spec Grade Dup Rcpt (5-20R)	-4	130.50 C	-5.22	0.15 E	-0.60
4518	20A/125V Spec Grade GFI Dup Rcpt (5-20R)	1	9.95 E	9.95	0.19 E	0.19
4537	30A/250V 2P3W Tw-Lk Rcpt (L6-30R)	1	1,476.99 C	14.77	0.23 E	0.23
4673	1G Plastic Duplex Receptacle Plate	-4	25.61 C	-1.02	0.06 E	-0.24
4771	1G WP In Use Cover	1	8.08 E	8.08	0.12 E	0.12
8261	Grndscr&Bare Pigtail	-3	738.20 M	-2.21	1.20 C	-0.04
--- 05 Wiring Device & Covers Total ---				24.35		-0.34
--- 07 Misc ---						
6839	Red Wirenuts	-9	67.06 M	-0.60	1.75 C	-0.16
8918	6X1/4" Pan Head Tapping Screw	-12	2.36 C	-0.28	0.01 E	-0.12
--- 07 Misc Total ---				-0.88		-0.28
Job Total				219.19		11.12

RFI #294

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 294

Date Created: 5/29/2014

Answer Company

Westlake Reed Lekosky
One East Camelback Road, Suite 690
Phoenix, AZ 85012

Answered By

Richard Sourbrine

Author Company

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Authored By

Brady Blackmer

Co-Respondent

Richard White

Author RFI Number

Subject

Upper Mezzanine Box Walk Electrical Revisions

Discipline

Electrical

Category

Clarification

Cc: Company Name

Contact Name

Copies Notes

FCI Constructors, Inc. - GJ

Brian Young

1

City of Grand Junction

Lee Cooper

1

FCI Constructors, Inc. - GJ

Pat Hutchison

1

Shanks Engineering, LLC

Jim Shanks

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Question

Date Required: 6/5/2014

The following are electrical and low voltage revisions for the Upper Mezzanine Level made during the 5/19/14 box walk (reference the attached email string):

IT Room 306:

- 1.) A total of only (3) duplex receptacles are needed for this room - (1) receptacle each for the south wall, west wall, and north wall. All other receptacles within IT Room 306 can be deleted.
- 2.) Per request from Richard White (COGJ), a 30A power drop is needed into the top of the IT racks to be installed in the middle of the room. Please provide details for this electrical drop. What is the voltage required? What is the configuration of this drop? (i.e. would a j-box work and the electrical power hard-wired directly to the rack, or is a plug required). Please clarify this item.

AV Room 309

- 3.) The receptacles shown on EP-104 and 4/E-401 to be installed along the east wall are to be shifted north as required to miss the (5) 4" conduits coming through the floor at the south end of the east wall.
- 4.) The NEMA 6-20R receptacles for this room for the hearing aid amplifiers per keynote #21 (also reference RFI-133 which relocated these receptacles from IT Room 306 to AV Room 309) are to be installed on the west wall, just south of the door swing.

Terrace Level 301

- 5.) The COGJ has requested that (1) 120V/20A circuit and (1) data drop be added at the Terrace side of the east exterior wall of Concessions 303 for a cash register set-up. This added electrical/data to be roughed-in at the north end of this wall and will require weatherproof boxes. The raceway for the data drop will need to run back to the cable tray being installed at the Corridor. Please provide circuiting information for this added receptacle - can this receptacle be tied into the circuits added at Concessions 303 per RFI-287?

Concessions 303

- 6.) An empty j-box will be roughed-in at the ceiling in the middle of this room for a future wireless access point. The raceway from this box is to be routed out to the cable tray being installed at the Corridor.



FCI is proceeding with items 1, 3, 4, and 6.

Please provide further direction on items 2 and 5 (this will require direction from both WRL and the COGJ).

Suggestion

Answer

Date Answered: 6/5/2014

[6/5/2014 Westlake Reed Lekosky - Richard Sourbrine]

2.) Information requested is needed by COGJ (Richard White).

5.) Additional outlet noted can be connected to the circuits per RFI-287.

6/6/14 FCI Constructors, Inc. - Brady Blackmer

In regards to item #2 above, and per direction given by Richard White (COGJ) at the 5/29/14 OAC Meeting, a 120V/30A circuit is needed into the top of this IT rack. This power is to be a NEMA L6-30 plug hard-wired from a j-box above. The exact location of the j-box to be determined once the IT rack in this room is set in place.

Brady Blackmer

From: Lee Cooper <leec@ci.grandjct.co.us>
Sent: Monday, May 19, 2014 1:45 PM
To: Richard White; Sheryl Thompson; bcurry@ec-electric.com; Brady Blackmer; Brian Young; Pat Hutchison; Stan Kiser; Jeremiah Hines (jhines@myavexpert.com)
Cc: Bailey Basham
Subject: Re: Box walk for Upper mezzanine level

Brian,

What you wrote correctly sums up what was discussed on the box walk for the 3rd floor.

Thanks,
Lee

Lee Cooper, P.E.
Project Engineer
City of Grand Junction
Department of Public Works & Planning
Office Phone: (970) 256-4155
Cell Phone: (970) 589-4985
Fax: (970) 256-4022

>>> Brian Young <BYoung@fciol.com> 5/19/2014 1:36 PM >>>

All please see the comments from the box walk of the 3rd floor of the addition this morning and let me know if anything is incorrect or if anything needs to be added.

I.T. Room 306

Only (3) duplex receptacles are wanted in the walls, the 1 that is currently on the south wall, 1 that is marked on the west wall and 1 that is marked on the north wall.

There will need to be a 30A power drop into the top of the racks in the middle of the room. Richard, can you confirm what you are wanting us to provide here? I am not sure if you are supplying your own cord or not.

The conduit on the east side of the room will end up on the face of the plywood rack rather than behind as shown on TA-401.

Note 21 shows (2) NEMA 6-20R receptacles in the room. Per Lee and Richard, they would like to have these installed in the AV Room. I don't believe that these are currently in scope.

AV Room 309

The recepts on the east wall will move north to miss the (5) 4" conduit coming up through the floor

If the (2) NEMA 6-20R recepts are in fact moved to this room, they will be on the west wall, mounted south of the door in the open position.

Toilet 305 & 306

No changes to plan, ok as installed

Dimmer Room 310

No changes to plans

Terrace level 301

The added outlets on the south wall of the terrace will need to be recessed into the wall in order to finish flush with finished EIFS. The EIFS system is 1" thick on this wall

There needs to be an added data drop and added receptacle on the outside of the wall between concessions and the terrace. They need to be exterior weatherproof boxes located towards the north side of the wall and will be for cash register set up. The data will need to run to the cable tray in the corridor 18" AFF.

Concessions 303

An empty box for a future WAP is desired in the middle of the room and will need to stub through the west wall to the cable tray

Bruce, if there are extra costs / credits for this work, please memorialize as soon as possible so that we can submit.

Lee, we will consolidate these costs and report to you soon.

Brian Young
Superintendent
F.C.I. Constructors Inc
Avalon remodel & addition
970-433-1598 cell

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ****8/7/2014** **RFI-306: Revised Electrical for Popcorn Machines** **FCI Pricing**

Category	Reference	PCCO Number
FORCE ACCT	RFI-306, attached pricing quote	

Notes:

This COR developed for additional costs per RFI-306. As requested by the owner, and as documented in RFI-306, the electrical service to the popcorn machines at Concessions 104 and Concessions 202 is to be changed from a 120V/20A circuit to a 120V/30A circuit. This will require the wire and circuit breaker to be upsized.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$262.00
Description of Work: All changes to EC Electric's scope of work as revised per RFI-306. This includes upsizing the circuit for the popcorn machines at Concessions 104 and Concessions 202 from 120V/20 circuits to 120V/30A circuits.		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$16.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0**Total Change: \$281.00****Approval:** **Date:** 8/13/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

Date: 8/6/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: **Brady Blackmer**

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No. RFI #294

Change Order Proposal No. EC-34

We hereby propose to modify our original proposal / contract for the following change to our scope:
Per RFI #306, change 20A circuits to 30A for popcorn makers

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ -	\$ 115.93
			\$ -
			\$ -
			\$ -
			\$ -
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
0.00	Hours Labor - Foreman	\$ 53.00	\$ -
2.54	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 121.92
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 23.79
			\$ -
			\$ 261.64

Need Answer By: **ASAP**

Submitted By: Dustin Riddle

Please deduct the following amount from our contract and issue a formal change order for:

Two Hundred Sixty-Two----- Dollars \$ 262.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ -

Approved Change Orders To Date: \$ -

This Change Order: \$ 262.00

Approved Contract Sum To Date: \$ -

Pending Contract Sum: \$ 262.00

*Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.*

2535 West Pinyon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX:(970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX:(970)748-0935

E-MAIL: info@ec-electric.com

Avalon RFI #306
 Job Number: 404
 Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
2573	4" Square x 2-1/8" Deep Box (1/2 & 3/4 KO's)	2	114.99 C	2.30	0.18 E	0.36
2574	4" Square x 2-1/8" Deep Box w/brkt (1/2&3/4 KO's)	-2	193.92 C	-3.88	0.20 E	-0.40
2731	4" Square-1G Plaster Ring-5/8"D	0	52.67 C	0.00	0.07 E	0.00
--- 01 Raceway, Fittings & Boxes Total ---				-1.58		-0.04
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	-150	105.86 M	-15.88	5.50 M	-0.82
2791	#10 THHN CU Stranded Wire	300	186.08 M	55.82	6.00 M	1.80
--- 02 Wire & Cable Total ---				39.94		0.98
--- 03 Distribution ---						
3962	30A 1P 120/240V Bolt-On Circuit Breaker	2	16.02 E	32.04	0.20 E	0.40
--- 03 Distribution Total ---				32.04		0.40
--- 05 Wiring Device & Covers ---						
4511	20A/125V Spec Grade Dup Rcpt (5-20R)	-2	130.50 C	-2.61	0.15 E	-0.30
4607	30A/250V 2P3W Sgl Rcpt (6-30R)	2	22.99 E	45.98	0.23 E	0.46
4697	1G SS Dup Rcpt Plate	-2	101.45 C	-2.03	0.06 E	-0.12
4699	1G SS Power Rcpt Plate	2	209.56 C	4.19	0.08 E	0.16
8261	Grndscr&Bare Pigtail	0	738.21 M	0.00	1.20 C	0.00
--- 05 Wiring Device & Covers Total ---				45.53		0.20
--- 07 Misc ---						
6839	Red Wirenuts	0	67.06 M	0.00	1.75 C	0.00
8918	6X1/4" Pan Head Tapping Screw	0	2.36 C	0.00	0.01 E	0.00
DEMO	Pull out & discard #12's in Room 104	1	QUOTE 2	0.00	1.00 E	1.00
--- 07 Misc Total ---				0.00		1.00
Job Total				115.93		2.54

RFI 306

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**

Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ**RFI #: 306****Date Created: 7/2/2014****Answer Company****Answered By****Author Company****Authored By**City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

Lee Cooper

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Ryan Chushuk

Co-Respondent**Author RFI Number****Subject****Discipline****Category**

Popcorn Machine Electrical

Electrical

Cc: Company Name**Contact Name****Copies Notes**

FCI Constructors, Inc. - GJ

Brian Young

1

City of Grand Junction

Lee Cooper

1

Shanks Engineering, LLC

Jim Shanks

1

FCI Constructors, Inc. - GJ

Stan Kiser

1

Question**Date Required: 7/9/2014**

Per conversation between Brady Blackmer (FCI) and Lee Cooper (COGJ) the electrical circuit for popcorn machine in Concessions 104 and Concessions 202 need to be changed from 120V/20A to 120V/30A. This change will require the wire and breaker to be up sized. The estimated cost associated with this change is \$300 (see attached email). As directed by Lee Cooper FCI is proceeding with this work.

This RFI is for documentation purposes only. No response is needed.

Suggestion**Answer****Date Answered: 7/2/2014**

This RFI is for documentation purposes only. No response is needed.

Ryan Chushuk

From: Brady Blackmer
Sent: Wednesday, July 02, 2014 3:13 PM
To: Ryan Chushuk
Subject: FW: FW: Popcorn Machine Specs

RFI.

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583



From: Lee Cooper [<mailto:leec@ci.grandjct.co.us>]
Sent: Thursday, June 26, 2014 11:29 AM
To: Stuart Taylor; Brady Blackmer
Cc: Brian Young; Stan Kiser
Subject: Re: FW: Popcorn Machine Specs

Brady,

Lets discuss this at today's OAC meeting.

Thanks for getting with EC Electric so fast on this.

Lee

>>> Brady Blackmer <BBlackmer@fciol.com> 6/26/2014 11:11 AM >>>
Lee,

See below from EC. Let us know what you would like us to do.

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583

-----Original Message-----

From: Dustin Riddle [mailto:driddle@ec-electric.com]
Sent: Thursday, June 26, 2014 11:05 AM
To: Brady Blackmer; 'Bruce Curry'
Cc: Brian Young
Subject: RE: Popcorn Machine Specs

We would need to upsize the wire to #10 in addition to changing the breaker and the receptacle. ROM of \$150 each.

Thanks,
Dustin S. Riddle
President
EC Electric, Inc.
2535 West Pinyon Avenue
Grand Junction, CO 81505
(970) 241-3302

-----Original Message-----

From: Brady Blackmer [mailto:BBlackmer@fcioi.com]
Sent: Thursday, June 26, 2014 10:31 AM
To: Dustin Riddle (driddle@ec-electric.com); 'Bruce Curry'
Cc: Brian Young
Subject: FW: Popcorn Machine Specs

Dustin/Bruce,
See email below. We already have a 120V circuit planned for this popcorn machine. If they wanted to use the model below, it looks like we would just need to go with a 30A breaker (one at each Concessions 104 and 202). Wire could stay the same, correct? Let us know please.

Bruce - I am not getting any emails from you.....I know that there was a problem with emails between Dustin and myself previously that we fixed. I wonder if we still have a problem. I will look at on my end, but maybe talk to your IT people as well.

Brady Blackmer
Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583
[FCI Logo for email]

From: Lee Cooper [mailto:leec@ci.grandjct.co.us]
Sent: Thursday, June 26, 2014 9:50 AM
To: Brady Blackmer; Brian Young
Subject: Fwd: Popcorn Machine Specs

Brian, Brady,

Below are the specs on another popcorn machine that Two River's is looking

to use at the Avalon. The popcorn machine we discussed at last weeks OAC meeting won't work because it is welded to a cart.

Can you let me know what electrical modifications are necessary to use this second popcorn machine. I'm hoping the wires EC Electric installs will work and the only modification would be switching out the circuit breaker and outlet.

Thanks for your help,
Lee

Lee Cooper, P.E.
Project Engineer
City of Grand Junction
Department of Public Works & Planning
Office Phone: (970) 256-4155
Cell Phone: (970) 589-4985
Fax: (970) 256-4022

>>> Thomas Cressy 6/26/2014 9:45 AM >>>
Lee,

Stuart asked me to send you the specs for the popcorn machine

Thanks

Specs

Width

29 1/4 Inches

Depth

21 1/4 Inches

Height

36 1/2 Inches

Amps

27 Amps

Hertz

60

Phase

1

Voltage

120 Volts

Wattage

3,050 Watts

1 oz. Servings / Hour

400 Servings

Cabinet Material

Aluminum

Cabinet Material

Stainless Steel

Cabinet Material

Tempered Glass

Kettle Material

Aluminum

Kettle Size

20 Ounces

Power Type

Electric

Thomas Cressy

Executive Chef

Two Rivers Convention Center and Avalon Theatre

970-263-5709

Fax 970-263-5720

email: thomasc@gjcity.org <<mailto:thomasc@gjcity.org>>

www.tworiversconvention.com <<http://www.tworiversconvention.com/>>

AIA[®] Document G701[™] – 2001

Change Order

PROJECT (Name and address): Avalon Theatre, Phase 1 Addition & Remodel 645 Main Street Grand Junction, CO 81501	CHANGE ORDER NUMBER: 035 DATE: August 25, 2014	OWNER: <input checked="" type="checkbox"/> ARCHITECT: <input checked="" type="checkbox"/> CONTRACTOR: <input checked="" type="checkbox"/> FIELD: <input type="checkbox"/> OTHER: <input type="checkbox"/>
TO CONTRACTOR (Name and address): FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502	ARCHITECT'S PROJECT NUMBER: CONTRACT DATE: July 22, 2013 CONTRACT FOR: General Construction	

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)
Original Force Account: \$200,000.00/Previously Approved: (\$204,195.13)

COR-217 - RFI-291: Modifications to Gutter & Downspout at Breezeway Deduct \$ 3,435.00

TOTAL DEDUCT \$ 3,435.00

Remaining Force Account (\$ 7,630.13)

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$179,416.08.08)

BVR-039 - Replace Site Concrete (Sidewalk, Parking Area, Curb & Gutter) at East Side of Addition Deduct \$ 2,353.00

TOTAL DEDUCT \$ 2,353.00

Remaining Contractors Contingency \$ 50,151.92

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ 1,764,745.70
The Contract Sum prior to this Change Order was	\$ 8,034,525.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 8,034,525.70

The Contract Time will be increased by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

9.2.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser

(Typed name)

DATE

8-25-14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine

(Typed name)

DATE

8/26/14

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

8/5/2014 RFI-291: Modifications to Gutter & Downspout at Breezeway FCI Pricing

Category Reference PCCO Number

FORCE ACCT RFI-291, attached pricing quotes and invoices

Notes

This COR developed for additional costs to modify the existing downspout at the south side of the breezeway (west side of the Avalon renovation) per RFI-291. The existing downspout discharged straight off of the roof to the concrete walkway just north of the doors onto the stage. FCI is adding a new gutter installed at the brick ledge above this doorway and will reuse and reinstall a section of the existing downspout at the southwest corner of the building so that rain water discharges out to the inlet at the alley. The bottom section of the new downspout will be cast-iron pipe to match similar downspouts at the alley. New sections of gutter and downspout to be painted to match the existing as closely as possible.

FCI has already proceeded with the purchase and/or fabrication of these materials.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$1,796.00
Description of Work: Supply of material and fabrication of new gutter and hanger supports, plus modifications to existing corrugated downspout - reference the attached quote from Stone Mechanical.		
FCI Constructors, Inc. - GJ		\$436.00
Description of Work: Supply of cast-iron pipe, 1/4 bend fitting, and gasket for bottom section of new downspout - reference the attached invoices from Ferguson.		
FCI Constructors, Inc. - GJ		\$250.00
Description of Work: Painting of new gutter and downspout.		
FCI Constructors, Inc. - GJ		\$420.00
Description of Work: Installation of new gutter and modified downspout by FCI: 12 man hours x \$35/hour = \$420		
FCI Constructors, Inc. - GJ		\$250.00
Description of Work: Scissor lift rental for 1 day: \$250		
FCI Constructors, Inc. - GJ		\$50.00
Description of Work: Metal straps, fasteners, etc. for attachment of gutter and downspout		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$13.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$23.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$194.00
Description of Work: Fee		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

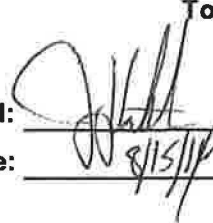
COR Report
Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$3,435.00

Approval: _____

Date: _____


8/15/14

STONE MECHANICAL, INC.

1111 South 9th Street
Grand Junction, CO 81501
(970) 242-5014
FAX (970) 243-8746

July 2, 2014

BID SCOPE

FCI – Avalon Exterior Gutter

Grand Junction, CO

Stone Mechanical, Inc. (SMI) is proposing the following Bid to fabricate 22 gauge paintlok gutter for customer installation.

Work to include the following:

A. Gutter & Existing Downspout

1. Field measure gutter and downspout for customer installation.
2. Fabricate 3 – 10' sections (+-) of 22 gauge paintlok gutter to SMI proposed shop drawings. To include slip joints, soldered end caps and a downspout starter.
3. Fabricate 1/8" x 1-1/2" flatbar hanger supports. To include punched mounting holes.
4. Fix and modify existing downspout elbow fitting to work with new layout.
5. Warranty 1 year.

BASE BID \$1,796.00

B. Downspout & Support Hangers

1. Provide new 10' sections of corrugated galvanized or paint grade downspout.

BASE BID \$64.60 ** each plus freight

2. Provide bronze sickle hooks. Must order a box of 25.

BASE BID \$57.25 each plus freight

**** The new corrugated downspout may not match the older material.**

Excludes:

1. Painting.
2. Installation.
3. Downspout replacement.

Note: Stone Mechanical Inc. may withdraw this proposal, if not accepted within 30 days.

STONE MECHANICAL, INC.
 1111 South 9th Street
 GRAND JUNCTION, COLORADO 81501
 (970) 242-5014

NOB: AVAILON - GUTTER

SHEET NO. _____ OF _____

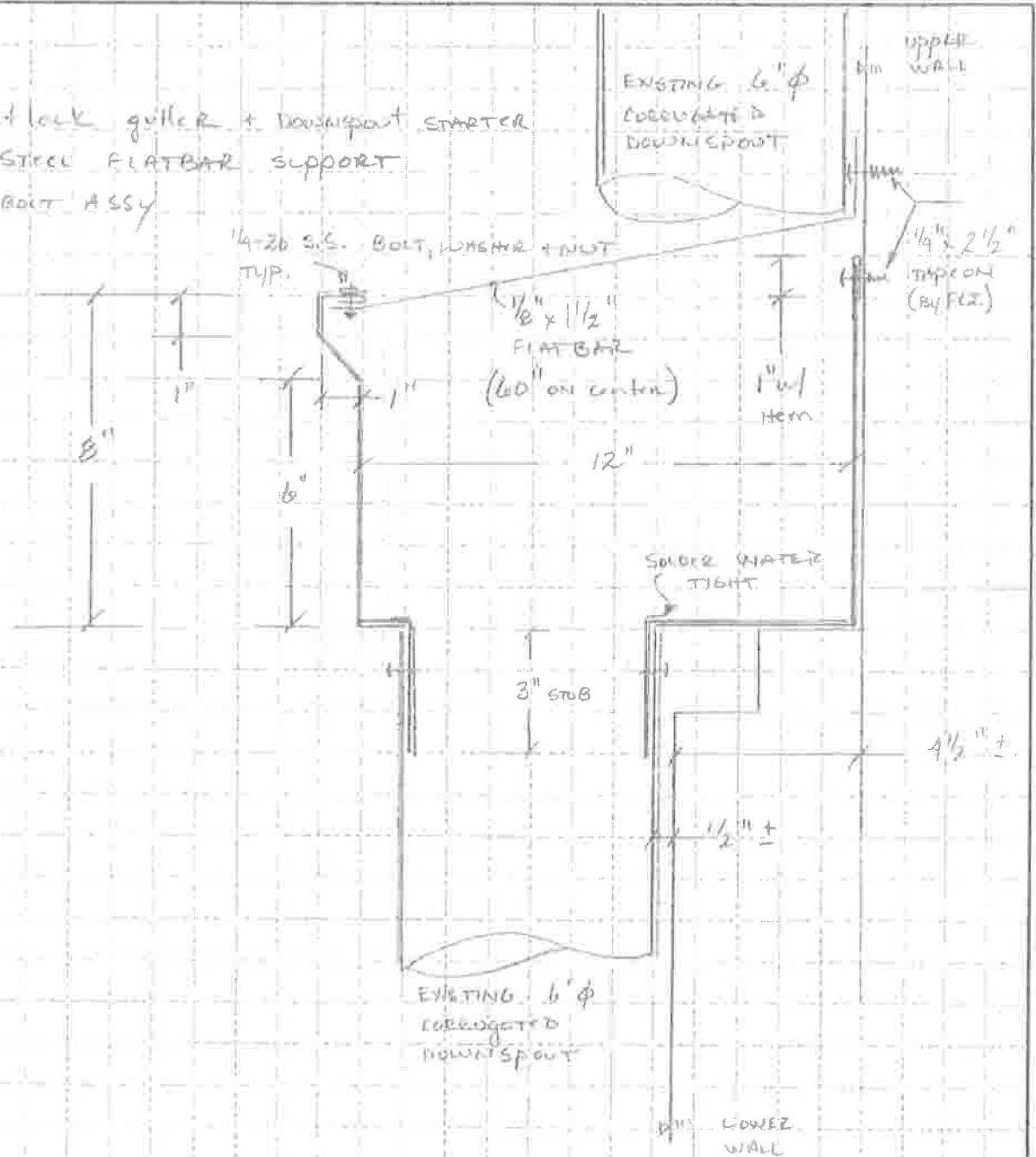
CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

SCALE _____

PROFILE:

- 22 ga. paintless gutter + downspout STARTER
- $1/8" \times 1 1/2"$ STEEL FLATBAR SUPPORT
- $1/4-20$ S.S. BOLT ASSY



STONE MECHANICAL, INC.
1111 South 9th Street
GRAND JUNCTION, COLORADO 81501
(970) 242-5014

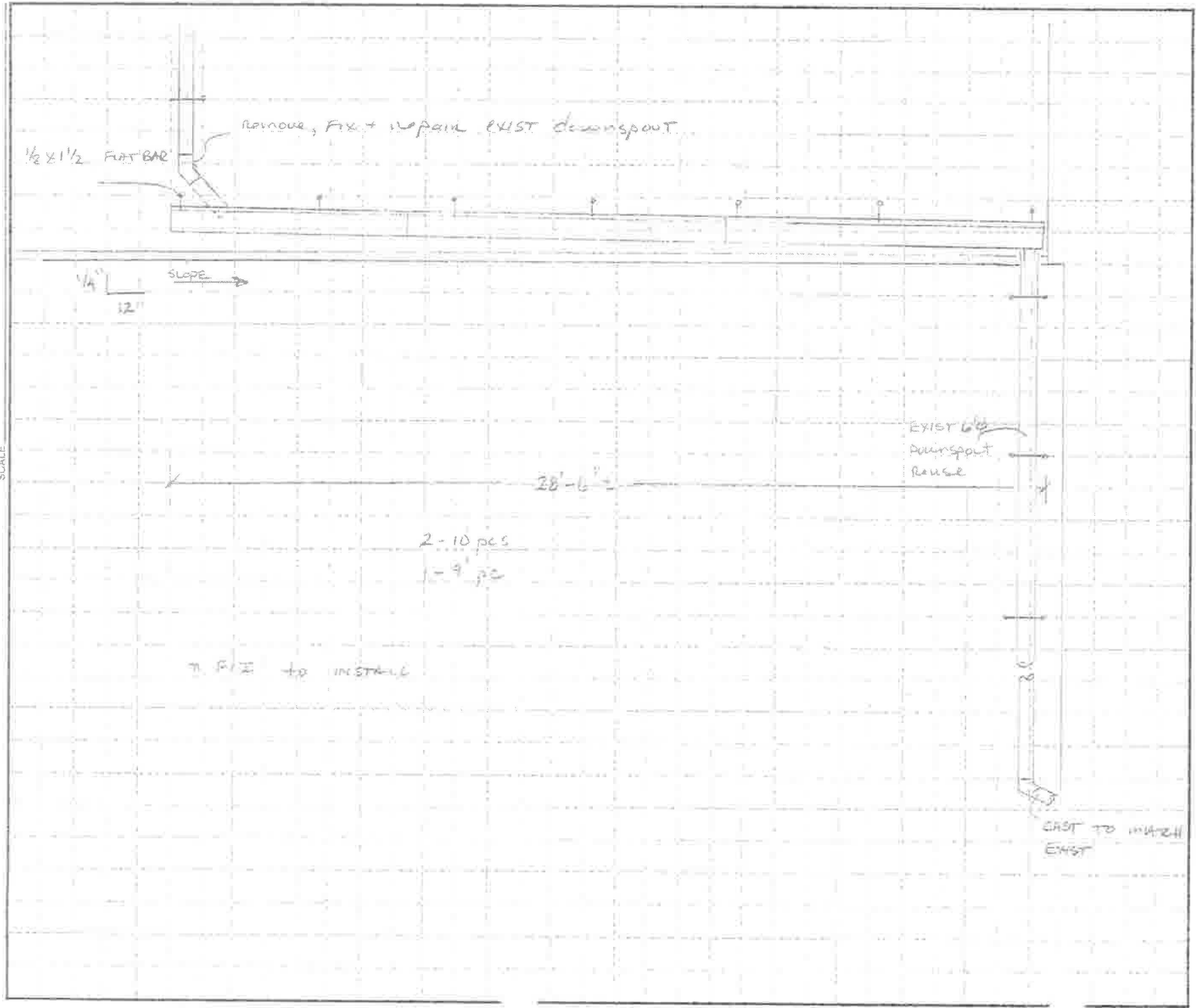
JOB Autism Center

SHEET NO. _____ OF _____

CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

SCALE _____





17855 E 26TH DRIVE
AURORA, CO 80011-0000

Please contact with Questions: 303-739-8000

INVOICE NUMBER	CUSTOMER	PAGE
4204412	33311	1 of 1


PLEASE REFER TO INVOICE NUMBER WHEN
MAKING PAYMENT AND REMIT TO:

FERGUSON ENTERPRISES INC #109
WOLSELEY INDUSTRIAL GROUP
PO BOX 802817
CHICAGO, IL 60680-2817



COUNTER PICK UP
620 SOUTH 12TH STREET
GRAND JCT, CO 81501

FCI CONSTRUCTORS INC
PO BOX 1787
GRAND JCT, CO 81502

SHIP WHSE.	SELL WHSE.	TAX CODE	CUSTOMER ORDER NUMBER	SALESMAN	JOB NAME	INVOICE DATE	BATCH
1021	1021	CO08GR	10-13-025/RYAN	GJH	RYAN	07/14/14	IO 157013
ORDERED	QUOTED	ITEM NUMBER	DESCRIPTION	UNIT PRICE	QTY	AMOUNT	
			We know you have a choice. Thank you for making it Ferguson GJ.				
10	10	SVSHPU10	6X10 SV SH SOIL PIPE	2481.620	C	248.16	
1	1	SVBU	6 SV CI 14 BEND	67.427	EA	67.43	
1	0	PFSVQTGU	6 SV MULT TITE GSCT			0.00	
INVOICE SUB-TOTAL							318.58
FREIGHT							110.00
TAX						Grand Junction	32.64
LEAD LAW WARNING: IT IS ILLEGAL TO INSTALL PRODUCTS THAT ARE NOT "LEAD FREE" IN ACCORDANCE WITH US FEDERAL OR OTHER APPLICABLE LAW IN POTABLE WATER SYSTEMS ANTICIPATED FOR HUMAN CONSUMPTION. PRODUCTS WITH "NP" IN THE DESCRIPTION ARE NOT LEAD FREE AND CAN ONLY BE INSTALLED IN NON-POTABLE APPLICATIONS. BUYER IS SOLELY RESPONSIBLE FOR PRODUCT SELECTION.						PAY \$426.59 SEND T/E CERT WITH PAYMENT	
<div>Go Paperless - Upgrade to Email Delivery!</div> <div>You'll receive one email per day with all your invoices attached as a PDF. Contact us with your email address today.</div> <div>Call us at the number above to switch to email delivery today!</div> <div></div>							



TERMS: NET 10TH PROX

ORIGINAL INVOICE

TOTAL DUE

\$459.22

All past due amounts are subject to a service charge of 1.5% per month, or the maximum allowed by law, if lower. If Buyer fails to pay within terms, then in addition to other remedies, Buyer agrees to pay Seller all costs of collection, including reasonable attorney fees. Complete terms and conditions are available upon request or at http://wolseleyna.com/terms_conditionsSale.html and are incorporated by reference. Seller may convert checks to ACH.



17655 E 25TH DRIVE
AURORA, CO 80011-0000

Please contact with Questions: 303-739-8000

INVOICE NUMBER	CUSTOMER	PAGE
4204412-1	33311	1 of 1

PLEASE REFER TO INVOICE NUMBER WHEN
MAKING PAYMENT AND REMIT TO:

FERGUSON ENTERPRISES INC #109
WOLSELEY INDUSTRIAL GROUP
PO BOX 802817
CHICAGO, IL 60680-2817



COUNTER PICK UP
820 SOUTH 12TH STREET
GRAND JCT, CO 81501

FCI CONSTRUCTORS INC
PO BOX 1787
GRAND JCT, CO 81502

SHIP WHEEL	BILL WHEEL	TAX CODE	CUSTOMER ORDER NUMBER	SALESMAN	JOB NAME	INVOICE DATE	BATCH
1021	1021	CO08QR	10-13-025/RYAN	GJH	RYAN	07/17/14	10187127
QUANTITY	SHIPPED	ITEM NUMBER	DESCRIPTION	UNIT PRICE	QTY	AMOUNT	
1		PF5VOTGU	Thank you! We appreciate every order you send our way! 6 SV MULT TITE GSKT	9.188	EA	9.20	
INVOICE SUB-TOTAL							9.20
TAX						Grand Junction	0.70
<p>LEAD LAW WARNING: IT IS ILLEGAL TO INSTALL PRODUCTS THAT ARE NOT "LEAD FREE" IN ACCORDANCE WITH US FEDERAL OR OTHER APPLICABLE LAW IN POTABLE WATER SYSTEMS ANTICIPATED FOR HUMAN CONSUMPTION. PRODUCTS WITH "NP" IN THE DESCRIPTION ARE NOT LEAD FREE AND CAN ONLY BE INSTALLED IN NON-POTABLE APPLICATIONS. BUYER IS SOLELY RESPONSIBLE FOR PRODUCT SELECTION.</p>							
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> T/E CERT ON FILE - PAY \$9.20 </div>							
<div style="border: 1px solid black; padding: 10px;"> <p>Go Paperless - Upgrade to Email Delivery!</p> <p>You'll receive one email per day with all your invoices attached as a PDF. Contact us with your email address today.</p> <p>Call us at the number above to switch to email delivery today!</p> </div>							

TERMS: NET 10TH PROX

ORIGINAL INVOICE

TOTAL DUE

\$9.90

All past due amounts are subject to a service charge of 1.5% per month, or the maximum allowed by law, if lower. If Buyer fails to pay within terms, then in addition to other remedies, Buyer agrees to pay Seller all costs of collection, including reasonable attorney fees. Complete terms and conditions are available upon request or at http://wolseleyna.com/terms_conditionsSale.html and are incorporated by reference. Seller may convert checks to ACH.



Request for Information 291

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

RFI #: 291

Date Created: 5/12/2014

Answer Company

Answered By

Author Company

Authored By

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Bailey Basham

FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Bailey Basham

Co-Respondent

Author RFI Number

Pat Hutchinson

Subject

Discipline

Category

Breezeway Gutter Relocation

Architectural

Field Conditions

Cc: Company Name

Contact Name

Copies Notes

Question

Date Required: 5/19/2014

The existing gutter in the breezeway currently comes down in the middle of the breezeway. Gutter will be rerouted along the brick ledge and brought down at the southwest corner of the building instead.

This RFI is for documentation only. No response necessary.

Suggestion

Answer

Date Answered: 5/12/2014

This RFI is for documentation only. No response necessary.

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

8/5/2014 Replace Site Concrete (Sidewalks, Parking Area, Curb & Gutter) at East FCI Pricing

Category Reference PCCO Number

Budget Variance Report

Notes

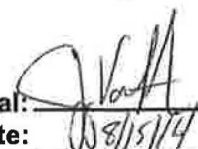
This BVR developed to cover additional costs associated with the replacement of existing site concrete at the southeast side of the addition. The existing concrete walks, parking area, and curb and gutter in this area had to be demoed during excavation of the addition basement tunnel in order to get the proper lay back on this excavation.

Itemized Details:

General Description	Quote Rec'd	Proposed
M & M Concrete Construction, Inc.		\$1,299.00
Description of Work: M&M Concrete: Additional costs for labor and forming materials to replace sidewalks, parking area, and curb and gutter at the southeast side of the addition (this existing concrete was removed during excavation of the addition tunnel). Concrete material provided by FCI.		
FCI Constructors, Inc. - GJ		\$895.00
Description of Work: Concrete material provided by FCI (reference the attached invoice from Whitewater).		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$9.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$15.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$133.00
Description of Work: Fee		

Requested Days: 0

Total Change to Contingency: (\$2,353.00)

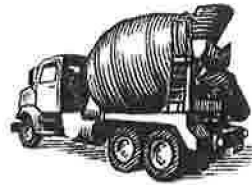
Approval: 
Date: 8/15/14

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

CONCRETE CONSTRUCTION, INC.

384 27 1/2 Rd
Grand Junction, Co 81501
Phone:970-985-4451
Fax: 970-314-9815



Proposal

1892

Bill To
FCI Constructors, Inc. P.O. Box 1767 Grand Junction, CO 81502

Job Address
Avalon Theater C/O Additional Concrete Sidewalks,Parking Area

Date:	7/30/2014
Customer Phone	970-434-9093

[illegible]

*ACCEPTANCE OF TERMS & CONDITIONS

The prices, specifications, terms & conditions are satisfactory & are hereby accepted. Price is subject to change according to materials, change orders, and weather changes. If legal action is used, customer is liable for costs of collection, including attorney fees.

Signature:

Date:

Total \$1,299.40

WHITEWATER BUILDING MATERIALS

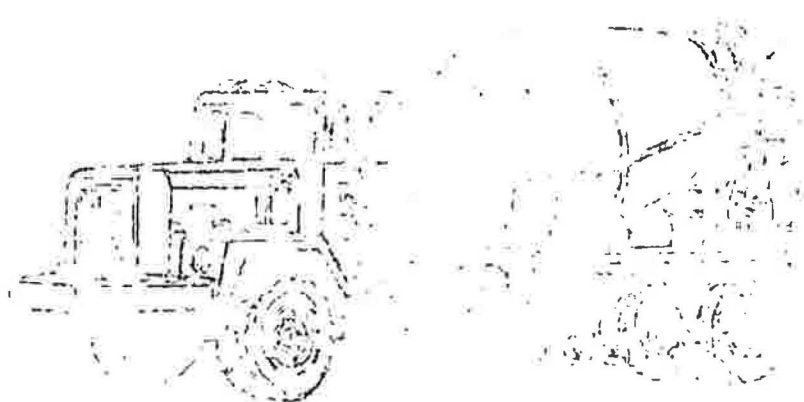
P.O. BOX 1769
GRAND JUNCTION, COLORADO 81502
(970) 242-7538 • FAX (970) 242-1851
CONCRETE (970) 242-4843 • GRAVEL (970) 242-7537

INVOICE

CUSTOMER NO.	DATE	INVOICE NO.	PAGE
032680	07/25/2014	195106	1

F C I CONSTRUCTORS INC
P O BOX 1767
GR JCT, CO 81502

TERMS: NET 10TH. A FINANCE CHARGE WILL BE IMPOSED ON PAST DUE ACCOUNTS. THE FINANCE CHARGE IS COMPUTED BY A "PERIODIC RATE" OF 1 1/2% PER MONTH, WHICH IS AN ANNUAL PERCENTAGE RATE OF 18% OR A MINIMUM SERVICE CHARGE OF \$1.00 WHICHEVER IS GREATER.

DATE	JOB NUMBER - JOB LOCATION - ADDRESS				PRICE	TAX	TOTAL
	TICKET NO.	QUANTITY	UNIT	DESCRIPTION			
	000183	AVALON THEATRE PHASE I 645 MAIN ST.				08908126-0579	
07/25	001-329163	7.50	CY	CLASS D	100.800		756.00
07/25	001-329163	7.50	CY	DAVIS OMAHA TAN COLOR	18.500		138.75
				JOB TOTAL LINE			894.75
							
AMOUNT DUE						894.75	



AIA® Document G701™ – 2001

Change Order

PROJECT (Name and address):	CHANGE ORDER NUMBER: 036	OWNER: <input checked="" type="checkbox"/>
Avalon Theatre, Phase 1 Addition & Remodel	DATE: September 23, 2014	ARCHITECT: <input checked="" type="checkbox"/>
645 Main Street		CONTRACTOR: <input checked="" type="checkbox"/>
Grand Junction, CO 81501		FIELD: <input type="checkbox"/>
TO CONTRACTOR (Name and address):	ARCHITECT'S PROJECT NUMBER:	OTHER: <input type="checkbox"/>
FCI Constructors, Inc.	CONTRACT DATE: July 22, 2013	
P.O. Box 1767	CONTRACT FOR: General Construction	
Grand Junction, CO 81502		

THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Original Force Account: \$200,000.00/Previously Approved: (\$207,630.13)

COR-218 - RFI-317: Bypass Valve for Hydronic System	Deduct \$ 2,542.00
COR-219 - RFI-313: Install Grab Bars at the Shower in 107A	Deduct \$ 258.00
COR-220 - RFI-319: Added Mag Holds and FA Speaker/Strobe Per AHJ's	Deduct \$ 1,144.00
COR-221 - RFI-318: Revisions to Soffits at K/K1 Light Fixtures	Deduct \$ 2,861.00
COR-222 - Additional Hand Rails at East Exterior Ramp per MCB D	Deduct \$ 1,662.00
COR-223 - Revised Pivots & Thresholds at Doors 101A, B, C, D, E	Deduct \$ 1,608.00
COR-224 - Additional Exit Signs Required by MCB D	Deduct \$ 472.00

TOTAL	DEDUCT \$ 10,547.00
--------------	----------------------------

Remaining Force Account (\$ 18,177.13)

Contractors Contingency Summary

Original Contractors Contingency: \$231,921.00/Previously Approved: (\$181,769.08)

BVR-040 - Misc. Flashings, Trims, etc. for Curtain Wall. Metal Panels, Glass Railings	Deduct \$ 3,912.00
---------------------------------------------------------------------------------------	--------------------

TOTAL	DEDUCT \$ 3,912.00
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Remaining Contractors Contingency \$ 46,239.92

The original Contract Sum was	\$ 6,269,780.00
The net change by previously authorized Change Orders	\$ 1,764,745.70
The Contract Sum prior to this Change Order was	\$ 8,034,525.70
The Contract Sum will be unchanged by this Change Order in the amount of	\$ 0.00
The new Contract Sum including this Change Order will be	\$ 8,034,525.70

The Contract Time will be unchanged by Zero (0) days.

The date of Substantial Completion as of the date of this Change Order therefore is October 10, 2014

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Westlake Reed Lekosky
ARCHITECT (Firm name)

One East Camelback Road, Suite 690,
Phoenix, AZ 85012

ADDRESS

BY (Signature)

Richard Sourbrine
(Typed name)

DATE

10.3.14

FCI Constructors, Inc.

CONTRACTOR (Firm name)

P.O. Box 1767, Grand Junction, CO 81502

ADDRESS

BY (Signature)

Stan Kiser
(Typed name)

DATE

9.23.14

City of Grand Junction

OWNER (Firm name)

250 North 5th Street, Grand Junction, CO
81501

ADDRESS

BY (Signature)

Jay Valentine
(Typed name)

DATE

9/23/14

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

9/10/2014 Misc. Flashings, Trims, etc. for Curtain Wall, Metal Panels, Glass Partitions FCI Project

Category	Reference	PCCO Number
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Budget Variance Report	attached pricing quotes	
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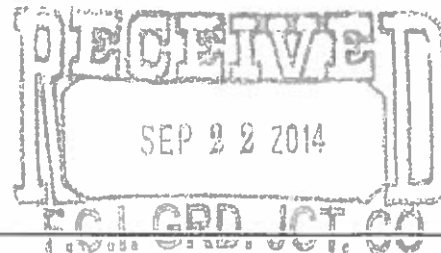
Notes

This BVR developed to cover costs associated with miscellaneous trims and flashings provided and installed by Bratton Window & Door to address details where different materials come together, including (but not limited to) :

- additional sealant between curtain wall/storefront and adjacent materials
- trim pieces where curtain wall/storefront systems meet carpet, gyp. board, and stucco
- break metal pieces to cover exposed concrete at Stair A
- installation of wider thresholds at main lobby exterior doors to cover concrete joints

Itemized Details:

General Description	Quote Rec'd	Proposed
Bratton Window & Door, Inc.		\$3,857.00
Description of Work: Bratton Window & Door: Miscellaneous flashings, trims, and other work for curtain wall and storefront systems per pricing quotes dated 9/8/14.		
Quality Stucco West, Inc.		(\$210.00)
Description of Work: Back charge to Quality Stucco for removal and reinstallation of glazing unit at the southeast corner of the Terrace roof to allow red tape left by Quality to be removed at stucco wall. Removal and replacement of glass completed by Bratton Window & Door.		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$15.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$26.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$221.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Contingency		



This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



BVR-040

Total Change to Contingency

Requested Days: 0

Total Change to Contingency: (\$3,912.00)

Approval:

Date:

A handwritten signature is written over the 'Approval:' line, and a handwritten date '9/12/14' is written over the 'Date:' line.

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance

BRATTON WINDOW & DOOR

1921 I-70 Business Loop
Grand Junction, CO 81501
Phone: (970) 242-7224 FAX: (970) 242-6744

PROPOSAL SUBMITTED TO:**FCI Constructors, Inc.****STREET****PO Box #1767****CITY, STATE, ZIP CODE****Grand Jct. Co. 81504****PHONE****434-9093 / 434-7583 fx****JOB NAME:****Avalon**

REVISED per on-site agreement

JOB LOCATION**JOB PHONE****ARCHITECT - DATE OF PLANS**

The following Change Order proposal is for:
Items asked for by FCI & already completed.

- 1 At top of Stair "A"** Furnish & install 40 lin ft. of 4-1/2 x 4-1/2 brake metal cosmetic trim to cover exposed concrete.

Materials,	\$280.00	
Fabrication	\$187.50	2- men 1-1/2 hours
Installation	\$316.00	1- man 5 hours
Admin	\$10.00	
	\$793.50	Total

- 2 Entry:** Furnish & Install 30 lin ft. 1-1/2 x 1-1/2 x 5/8 U channel vertical trim to cover alignment gap between C-wall & metal panels. Metal panel was suppose to return tight to C-Wall. Did not work out & gap needed covered.

Materials,	\$115.00	
Fabrication	\$125.00	2- men 1 hour
Installation	\$125.00	1- man 2 hours
Admin	\$10.00	
	\$375.00	

- 3 3rd level terrace.** Remove door #307A from opening, take it back to our shop, cut it down to accommodate the new floor condition & reinstall

Materials,	0	
Fabrication	\$93.75	1- man 1-1/2 hour
Installation	\$250.00	1-man 4 hours
Admin	\$10.00	
	\$353.75	

- 4 Main Entry:** Modify new wider threshold required to cover expansion joint in concrete.

Remove exterior double doors #101A & 101B, install new threshold, re position floor pivot, reinstall doors.

Materials,	0	
Fabrication	\$187.50	1- man 3 hours
Installation	\$437.50	2- men 3-1/2 hours
Admin	\$10.00	
	\$635.00	

Revised 9/05/14

- 5 Terrace Glass:** De-glaze one insulated unit so other trade could remove red tape. Reinstall & re-seal unit & caulk in expansion joint for Summit Sealants.

Materials,	\$12.50	
Fabrication	\$0.00	
Installation	\$187.50	1- man 3 hours
Admin	\$10.00	
	\$210.00	

Quality Stucco cost

Total for above: \$2,367.25

B.W.& D. AUTHORIZED SIGNATURE: _____

ACCEPTANCE OF PROPOSAL

The above price, specifications and conditions are satisfactory and are hereby ACCEPTED. You are authorized to proceed with the work and materials as specified above.

SIGNATURE: _____

DATE OF ACCEPTANCE: _____

DATE: 9/08/14

Proposal

BRATTON WINDOW & DOOR

1921 I-70 Business Loop
Grand Junction, CO 81501
Phone: (970) 242-7224 FAX: (970) 242-6744

PROPOSAL SUBMITTED TO:

FCI Constructors, Inc.

STREET

PO Box #1767

CITY, STATE, ZIP CODE

Grand Jct. Co. 81504

PHONE

434-9093 / 434-7583 fx

JOB NAME:

Avalon

JOB LOCATION

JOB PHONE

ARCHITECT - DATE OF PLANS

The following Change Order proposal is for:
Items asked for by FCI & still pending

- 1 Terrace level:** Additional cosmetic caulk C-Wall to soffit. Requested by Brian & Brady.

Materials & Labor 50 Lin feet \$1.20 / foot = \$60.00

Revised 9/05/14

- 2 Entry:** Furnish & Install 160 lin ft. 3/4 x 3/4 .060 interior vestibule ceiling trim.

Materials,	\$236.00
Fabrication	\$125.00
Installation	\$750.00
Admin	<u>\$10.00</u>
	\$1,121.00

2- men 1 hour

2- man 6 hours

Revised 9/05/14

- 3 Additional 3/4 x 3/4 brake metal for cosmetic trim above Door 101E East side where interior finishes ended up short and left a gap between the wall & C-wall**

Materials,	46.50
Fabrication	62.50
Installation	250.00
Admin	<u>10.00</u>
	369.00

2- men 1/2 hour

2 men 2 hours

Total for above: \$1,490.00

B.W. & D. AUTHORIZED SIGNATURE: _____

ACCEPTANCE OF PROPOSAL

The above price, specifications and conditions are satisfactory and are hereby ACCEPTED. You are authorized to proceed with the work and materials as specified above.

SIGNATURE: _____

DATE OF ACCEPTANCE: _____

**COR-218**

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ****9/3/2014** **RFI-317: Bypass Valve for Hydronic Systems** **FCI Pricing**

Category	Reference	PCCO Number
FORCE ACCT	RFI-317, attached pricing quote, attached email	

Notes

This COR developed for additional costs associated with RFI-317. As detailed in RFI-317, a differential bypass valve is required to be installed within the building's hydronic system to ensure that a minimum flow is maintained through the new boilers. Without this valve in place, the boilers would shut-off once flow went below 25 GPM and the boilers would need to be manually restarted.

Itemized Details:

General Description	Quote Rec'd	Proposed
Grand Mesa Mechanical, Inc. Description of Work: Plumbing - GMMI		\$2,370.00
FCI Constructors, Inc. - GJ Description of Work: Builder's Risk Insurance		\$2.00
FCI Constructors, Inc. - GJ Description of Work: General Liability Insurance		\$9.00
FCI Constructors, Inc. - GJ Description of Work: Payment/Performance Bond		\$17.00
FCI Constructors, Inc. - GJ Description of Work: Fee		\$144.00
FCI Constructors, Inc. - GJ Description of Work: Force Account		\$0.00

Requested Days: 0**Total Change: \$2,542.00****Approval:** **Date:** 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



August 28th, 2014

FCI Constructors Inc.
P.O. Box 1767
Grand Junction, Co. 81502

Attn: Brady Blackmer
Re: Avalon Theatre – RFI-317

The following is Grand Mesa Mechanical's cost breakdown for RFI-317 to install an 1-1/4" Caleffi differential pressure bypass valve at the existing 3" "future taps" supply and return piping.

Plumbing Labor:	\$280.00
Plumbing Material:	\$1,745.00
Piping Insulation:	\$130.00
10% OH&P:	\$215.00
Plumbing Total:	\$2,370.00

Mathew Wakefield

Mathew Wakefield
Plumbing Superintendent

Brady Blackmer

From: Matt Wakefield <mwakefield@gmmihvac.com>
Sent: Thursday, August 28, 2014 7:00 AM
To: Brady Blackmer
Cc: Brian Young
Subject: RE: Avalon - RFI-317 Bypass Control for Hydronic System - Closed
Attachments: RFI-317 Pricing.pdf

Brady, here is that pricing for the installation of the 1-1/4" Caleffi valve. I did not figure in any balance valve or "circuit setter" so the balancer shouldn't have anything to do for this. According to the installation instructions we should just be able to install this valve, set it at 30 GPM, and it should just monitor itself. This valve should be in either today or tomorrow. Get back with me if you have any questions.

Thanks

Matt

From: Brady Blackmer [<mailto:BBlackmer@fcio.com>]
Sent: Tuesday, August 26, 2014 5:49 PM
To: Matt Wakefield (mwakefield@gmmihvac.com); Phil Herrera (phil@2hmech.com); clint-cbi@bresnan.net; melissa@AirTechGJ.com; Travis Hyde (travis@AirTechGJ.com); Jim Hopkins (jim@AirTechGJ.com)
Cc: Brian Young; Stan Kiser
Subject: Avalon - RFI-317 Bypass Control for Hydronic System - Closed

Please reference the attached closed RFI for the Avalon Theatre project.

Matt – This is the "official" response on this issue. As we discussed last week, this differential bypass valve has been ordered. Please get me your pricing on a quote sheet.

Phil/Clint/AirTech – This RFI sent to as an FYI.

Note: All subcontractors are responsible for incorporating into their scope of work any changes that occur due to RFI's. Also, all subcontractors are required to keep a field set of drawings that are posted with all changes. ***If there is additional cost associated with this RFI, each affected subcontractor must follow up with detailed pricing (including breakdown of material, labor, overhead/fee, etc.) sent to me within seven days of receipt of this RFI.***

Let me know if there are any further questions/concerns. Thanks.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583





Request for Information 317

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
 645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 317 **Date Created: 8/21/2014**

Answer Company	Answered By	Author Company	Authored By
Bighorn Consulting Engineers 569 South Westgate Suite 1 Grand Junction, CO 81505	Shawn Brill	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number
---------------	-------------------

Subject	Discipline	Category
Bypass Control for Hydronic System	Mechanical	Clarification

Cc: Company Name	Contact Name	Copies	Notes
FCI Constructors, Inc. - GJ	Brian Young	1	
Westlake Reed Lekosky	Duane Palin	1	
City of Grand Junction	Lee Cooper	1	
FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 8/28/2014**

It has been noted that there is no means of bypass control for the new hydronic system to the addition mechanical equipment. Per the operations manual for the Lochinvar boiler, the minimum flow through the boiler is 25 GPM. It appears that a cross-over/bypass valve (controlled by Trane's building automation system) is needed to keep this flow through the boiler when system demand falls below 25 GPM. FCI is doing final start-up of the boiler on 8/28/14, followed closely by balancing of the hydronic system. Therefore a resolution to this issue is extremely urgent. Please advise.

Suggestion

Answer **Date Answered: 8/21/2014**

[8/21/2014 Bighorn Consulting Engineers - Shawn Brill]
 Reference sheet MP-104. Provide an 1-1/4" Caleffi #519709A differential pressure bypass valve to be installed between the supply and return headers at the existing 3" supply and return future taps shown on MP-104. Line size to/from valve shall be 2". Set valve pressure setting to provide 30 gpm when the control valves in the rest of the system are closed.

**COR-219**

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ****8/28/2014** **RFI-313: Install Grab Bars at the Shower in 107A** **FCI Pricing**

Category	Reference	PCCO Number
FORCE ACCT	RFI-313, attached invoice	

Notes

This COR developed for costs associated with RFI-313. As detailed in RFI-313, (2) grab bars were added at the shower within Toilet 107A. This was a requirement of the Mesa County Building Department. FCI has already proceeded with procuring and installing these grab bars.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$100.00
Description of Work: Materials: (1) 24" grab bar and (1) 36" grab bar.		
FCI Constructors, Inc. - GJ		\$140.00
Description of Work: Installation of grab bars: 4 man-hours x \$35/hour = \$140		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$15.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0**Total Change: \$258.00****Approval:** **Date:**

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



INVOICE

Specialties Contracting, Inc

INVOICE #3665

DATE: SEPTEMBER 3, 2014

13820 Deere Ct.,
Longmont, CO 80504
Phone 970-535-3010
Fax 970-535-3014
info@specialtiescontracting.com

TO FCI Constructors Grand Junction

SALESPERSON	JOB	PURCHASE ORDER #	SHIPPING TERMS	DELIVERY DATE	PAYMENT TERMS	DUE DATE
	Avalon Theater Addition	Brady			Net 30	October 3, 2014

QTY	ITEM #	DESCRIPTION	UNIT PRICE	DISCOUNT	LINE TOTAL
2 ea		Furnish 24" and 36" Grab Bar			100.00
				TOTAL DISCOUNT	0
				TOTAL	100.00

THANK YOU FOR YOUR BUSINESS!



Request for Information 313

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
 645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 313 **Date Created: 8/18/2014**

Answer Company	Answered By	Author Company	Authored By
Westlake Reed Lekosky One East Camelback Road, Suite 690 Phoenix, AZ 85012	Richard Sourbrine	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent	Author RFI Number

Subject	Discipline	Category
Grab Bars Needed for Shower at 107A	Architectural	Clarification

Cc:	Company Name	Contact Name	Copies	Notes
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	Shanks Engineering, LLC	Jim Shanks	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question **Date Required: 8/25/2014**

Currently, no grab bars are shown to be installed within the shower at Toilet 107A. However, per conversations between Brian Young (FCI) and Bobby Lunsford (Mesa County Building Department), the building official believes that grab bars are required at the shower at Toilet 107A. Please review this condition and advise. If grab bars are required please advise on heights, locations, and grab bar lengths.

Suggestion

Answer **Date Answered: 8/25/2014**

[8/25/2014 Westlake Reed Lekosky - Richard Sourbrine]
 Grab Bars are required in the Shower at 107A as follows:

24" long grab bar to be located on wall directly across from seat, 6" from inside corner and mounted between 33" - 36" AFF.

36" long grab bar to be located on side/back wall 6" from corner opposite of seat (near other grab bar) and mounted between 33" - 36" AFF.

**COR-220**

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

9/16/2014 RFI-319: Added Mag Holders and FA Speaker/Strobe Per M/CBD FCI Pricing

Category	Reference	PCCO Number
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FORCE ACCT

Notes

This COR developed for additional costs associated with changes made per RFI-319. These changes are life safety related items that were added at the direction of the Mesa County Building Department and the Grand Junction Fire Marshall and includes the following:

- 1.) Supply and install magnetic hold opens at doors 112c and 212. Magnetic hold opens to be tied into the fire alarm system and release doors upon activation of the fire alarm system.
- 2.) Supply and install (1) additional fire alarm speaker/strobe at Mezzanine Lobby 200 at the west wall near the restrooms.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc. Description of Work: All changes to EC Electric's scope of work as revised per RFI-319. This includes the supply and install of magnetic hold opens at doors 112c and 212 (magnetic hold opens to be tied into the fire alarm system and release doors upon activation of the fire alarm system) and the supply and install of (1) additional fire alarm speaker/strobe at Mezzanine Lobby 200 at the west wall near the restrooms.		\$1,066.00
FCI Constructors, Inc. - GJ Description of Work: Builder's Risk Insurance		\$1.00
FCI Constructors, Inc. - GJ Description of Work: General Liability Insurance		\$4.00
FCI Constructors, Inc. - GJ Description of Work: Payment/Performance Bond		\$8.00
FCI Constructors, Inc. - GJ Description of Work: Fee		\$65.00
FCI Constructors, Inc. - GJ Description of Work: Force Account		\$0.00

Requested Days: 0

Total Change: \$1,144.00

Approval: Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



Date: 9/15/2014

Change Order Proposal

TO:

RE:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

AVALON Remodel

Attn: **Brady Blackmer**
Phone #: 970-434-9093
Fax #: 970-434-7583

Change Order Request No. _____ Field _____
Change Order Proposal No. _____ EC-36

We hereby propose to modify our original proposal / contract for the following change to our scope:
Add four door holders and one speaker/strobe per the Fire Marshall.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ 26.42	\$ 26.42
4	Door Holders	\$ 434.00	\$ 434.00
1	Speaker/Strobe	\$ 98.00	\$ 98.00
Lot	wiremold	\$ 55.79	\$ 55.79
Lot	Freight		
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
0.00	Hours Labor - Foreman	\$ 53.00	\$ -
4.15	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 199.20
4.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ 156.00
			\$ -
10%	Overhead & Profit		\$ 96.94
			\$ -
			\$ 1,066.35

Need Answer By: **ASAP**

Submitted By: Bruce Curry

Please deduct the following amount from our contract and issue a formal change order for:

One Thousand Sixty Six ----- Dollars \$ 1,066.00

Acceptance of this proposal will increase the contract time by 0 days
Original Contract Sum: _____ Pending Changes to Date: \$ -
Approved Change Orders To Date: \$ - This Change Order: \$ 1,066.00
Approved Contract Sum To Date: \$ - Pending Contract Sum: \$ 1,066.00

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.

2535 West Plavon Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX: (970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX: (970)748-0935

E-MAIL: info@ec-electric.com

CO EC-36 Add door holder and speaker/strobe per FM

Job Number: 457

Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1000	1/2" EMT	20	23.69 C	4.74	2.20 C	0.44
1438	1/2" Set Screw Steel Conn	2	18.47 C	0.37	0.05 E	0.10
1556	1/2" Set Screw Steel Cplg	2	26.70 C	0.53	0.05 E	0.10
2278	1/2" 1-Hole Strap	3	14.23 C	0.38	2.29 C	0.06
2571	4" Square Box (1/2 & 3/4 KO's)	2	97.47 C	1.95	0.18 E	0.36
--- 01 Raceway, Fittings & Boxes Total ---				7.95		1.06
--- 02 Wire & Cable ---						
11713	14/2 AWG Unshielded Fire Alarm Wire FPLP	60	244.80 M	14.69	10.00 M	0.60
--- 02 Wire & Cable Total ---				14.69		0.60
--- 05 Wiring Device & Covers ---						
4790	4" Square Flat Blank Cover	2	36.25 C	0.73	0.07 E	0.14
--- 05 Wiring Device & Covers Total ---				0.73		0.14
--- 07 Misc ---						
6840	Grey Wirenuts	6	221.98 M	1.33	2.50 C	0.15
6876	1" Plastic Anchor w/#12 Screw	10	17.16 C	1.72	12.00 C	1.20
--- 07 Misc Total ---				3.05		1.35
Job Total				26.42		3.15

5
8.15

Proposal

COMMERCIAL SPECIALISTS, INC.
601 MULBERRY STREET
GRAND JUNCTION, COLORADO 81501
(970) 241-0268 PHONE (970) 241-0269 FAX

DATE
9/4/2014
PAGE
1 OF 1

Submitted To :

E.C. ELECTRIC
ATT: BRUCE

Job Name / Job Location:

AVALON THEATER DOOR HOLDER ADD

We hereby submit specifications and estimates for :

<u>QTY</u>	<u>PART NUMBER</u>	<u>DESCRIPTION</u>
4	ES-DHS24120C	DOOR HOLDER SURFACE WALL 24VDC/AC-120

We Propose

hereby to furnish material and labor - complete in accordance with above specifications, for the sum of

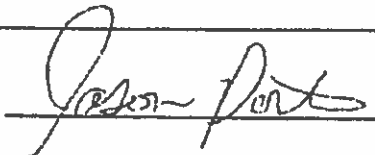
FOUR HUNDRED THIRTY FOUR AND -----00/1 dollars(\$ 434.00).

Payment to be made as follows :

NET 30 DAYS

All material is guaranteed to be specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written change orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation insurance. Our terms are net 30 days. All overdue accounts are subject to interest at 2% per month 24% annually. The purchaser agrees to pay all cost of collection and reasonable attorney's fees if account becomes delinquent and must be turned over to collections.

Authorized
Signature



Note: This proposal may be withdrawn
by us if not accepted within

45 days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____

Proposal

COMMERCIAL SPECIALISTS, INC.

601 MULBERRY STREET

GRAND JUNCTION, COLORADO 81501

(970) 241-0268 PHONE (970) 241-0269 FAX

DATE

9/4/2014

PAGE

1 OF 1

Submitted To :

E.C. ELECTRIC

ATT: BRUCE

Job Name / Job Location:

AVALON THEATER SPEAKER STROBE

We hereby submit specifications and estimates for :

<u>QTY</u>	<u>PART NUMBER</u>	<u>DESCRIPTION</u>
1	SPSW	MULTICANDELA SPEAKER/STROBE, WHITE

We Propose

hereby to furnish material and labor - complete in accordance with above specifications, for the sum of

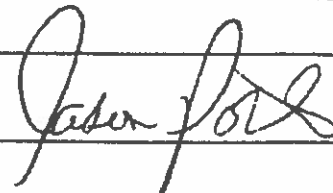
NINETY EIGHT DOLLARS AND _____ dollars(\$ 98.00).

Payment to be made as follows:

NET 30 DAYS

All material is guaranteed to be specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written change orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation insurance. Our terms are net 30 days. All overdue accounts are subject to interest at 2% per month 24% annually. The purchaser agrees to pay all cost of collection and reasonable attorney's fees if account becomes delinquent and must be turned over to collections.

Authorized
Signature



Note: This proposal may be withdrawn
by us if not accepted within

45 days

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance

Signature



Fax (970) 241-2992

6

11111

1-2-2011

174

2000

151

Figure 1

- AUTHORIZED BY



Request for Information 319

Detailed, RFIs Grouped by RFI Number

Avalon Theatre, Phase 1 Addition & Remodel Project # 10-13-025 FCI Constructors, Inc. - GJ
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 319		Date Created: 9/3/2014	
Answer Company	Answered By	Author Company	Authored By
FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer
Co-Respondent		Author RFI Number	

Subject	Discipline	Category
Additional Life Safety Requirements per the GJFD & Architectural MCBD		Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question	Date Required: 9/10/2014
----------	--------------------------

Per direction from the Fire Marshall and the Mesa County Building Department, the following revisions are required:

1.) A total of (5) fire extinguishers are to be added at the following locations: (1) each at SLL 118A and SLL 118B, (1) each at the west side of the fire wall that separates Stair B from the adjacent corridor at each floor of the addition (i.e. one fire extinguisher adjacent to doors STB-1, STB-2, and STB-3).

2.) (1) fire alarm horn strobe is to be added at the wall to the north of the opening to the 1st floor public bathroom group (i.e. Lobby side of the east wall of Mens Restroom 110).

3.) Magnetic hold opens are to be added at double-doors 112C and 212.

Lee Cooper (COGJ) is getting fire extinguishers from the City's stock for item #1 and will provide to FCI for install. FCI has directed EC Electric to proceed with the installation of the horn strobe and mag hold opens per items #2 and #3, as these are required by the local AHJs and required to get a certificate of occupancy.

This RFI is for documentation only. No response is required.

Suggestion

Answer	Date Answered: 9/3/2014
--------	-------------------------

This RFI is for documentation only. No response is required.



COR-221

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

9/12/2014 RFI-318: Response to Solicitation #K/K1 Light Fixtures FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	RFI-318, attached T&M pricing	

Notes

This COR developed for revisions per RFI-318. As detailed in RFI-318, modifications to the soffits at the K/K1 lights was required to allow proper installation of these light fixtures. This includes removal of the drywall soffit and installation of a suspended ceiling soffit. This change is required because the K/K1 light fixtures are designed to be installed in a suspended ceiling, not a hard lid. Note: in order to maintain project schedule this work was completed on a time and material basis.

Itemized Details:

General Description	Quote Rec'd	Proposed
FCI Constructors, Inc. - GJ		\$630.00
Description of Work: Demolition of drywall at K/K1 light soffits at restrooms 107A, 108, 109, 110, 203, 204, 205, 304, and 305: 18 man hours x \$35/hour = \$630		
TP Acoustics, Inc. - GJ		\$1,587.00
Description of Work: All changes to TP Acoustics' scope of work as revised per RFI-318. This includes installation of an ACT suspended ceiling infill at K/K1 light soffits at public restrooms. Plus, patching of drywall at these locations as required. Work complete on a time and material basis per TP Acoustics' FCO #28.		
RJ's Painting LLC		\$450.00
Description of Work: All changes to RJ's Painting's scope of work as revised per RFI-318. This includes paint touch-up at soffits for K/K1 light fixtures at public restrooms. Work complete on a time and material basis: 10 man hours x \$45/hour = \$450		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$19.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$162.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



COR-221

Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$2,861.00

Approval: 

Date: 

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



ACOUSTICS, INC.

**FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502
Phone: 434-9093 Fax: 434-7583**

9/2/2014

**Project: Avalon Theatre
Attn: Brady Blackmer**

Field Change Order #28

Materials	\$ 198.40
Labor	\$ 840.00
Burden	\$ 336.00
Subtotal	<u>\$ 1,374.40</u>
Overhead (10%)	<u>\$ 137.44</u>
Subtotal	<u>\$ 1,511.84</u>
Profit (5%)	<u>\$ 75.59</u>
Total	<u>\$ 1,587.43</u>

Submitted by,

Tom Valdes

Tom Valdes
970-216-1785
Email: tom@tpacoustics.net

**357 Bonny Street
Grand Junction, CO 81501
Phone: (970)245-9740
Fax: (970)245-4409
E-Mail: office@tpacoustics.net**



ACOUSTICS, INC.

357 BONNY STREET • GRAND JUNCTION, CO 81501
(970) 245-9740 • FAX (970) 243-4409 • TPACOUSTICS@QWEST.NET

FCD CHANGE ORDER

28

TO FCI CONSTRUCTORS	DATE 09-02-14
GC SUPERVISOR BRIAN YOUNG	PROJECT AVALON
DIRECTED BY X L L	TP SUPERVISOR T. VALDES

DESCRIPTION

INFILL ACT @ RR SOFFITS FOR KKI LIGHTS - FOR EC

MATL = 10 PCS, 15/16" MAINS = 120 LF x .70 = 84⁰⁰

4 PCS, 15/16" 4'0" TEES = 10 LF x .20 = 2⁰⁰

10 PCS, 15/16" 12'0" ANGLES = 120 LF x .80 = 96⁰⁰

8 PCS, 1/2" VINYL DLW = 64 LF x .70 = 44⁸⁰ = 198⁴⁰

LABOR:

TUES 09-02-14 - 1 MAN FRMG/TILE 8 HRS | 1 PATCHING SCREWS 3 HRS = 11 MAN HRS

WED 09-03-14 - 1 " " " 7 HRS | 1 " " 2 HRS = 9 MAN HRS

THR 09-04-14 - 1 " " " 2 HRS | 1 " " 2 HRS = 4 MAN HRS

24 HRS

ACCEPTED - The prices and specifications of this change order are satisfactory and are hereby accepted. All work is to be performed under the same terms and conditions as specified in the original contract unless otherwise specified.

BRIAN YOUNG

PRINTED NAME

X

AUTHORIZED SIGNATURE

MATERIAL	198	40
TAX	—	—
LABOR	840	00
BURDEN	336	40
SUBTOTAL	1374	40
OVERHEAD	137	44
SUBTOTAL	1511	84
PROFIT	75	59
TOTAL	1587	43

1) Billable Hours:

F.C.I. : 9 hours Misc.

15 hours Doors @ 1/2 Total RJ's Hours.

3 hours For Basement

5 hours For Terrace level Soffit

2 hours projector Box @ #106 West Wall

2 hours new Handrails @ Ext East elevation

36 ~~36~~ hours.

R.M.S. : 16 hours

E.C. : 14 hours

T.P. : 7 hours / Trade For Lift usage

Counter Top : 10 hours.

Contractor

EC OT's: 2 hours. - call Button back boxes

Bratton: 1 hour + 2 hrs. for "mess" opening

R.M.O. 1 hour

Total: 87 hours @ \$45.00

\$3,915.00

2) RJ's Total Hours.

Thursday 9/4/14 24 hours.

Monday 9/8/14 54 hours

Tuesday 9/9/14 54 hours.

> 180 hours Total.

Room #	Hours/Time/Reason	Contractor
#136	1 hour Box relocate to west wall	EC
Entry room	1 hour Repair Armored Door #106C	F.C.I.
#107	1 hour Holes in wall & wall Fixture East wall	EC
Dressing room	1 hour Bath Light Fixture Touch-up	TP
	1 hour T.U. Armored tile walls (All)	TP
	1 hour paint Access panels to ceiling	TP/F.C.I.
	1 hour T.U. to West wall Hole in Ceiling/Wall	EC/F.C.I.?
#106	1 hour Repair/prime East/South walls Due to 5" Mold Install	T.P.
Multi-purpose	2 hours → Repair Exterior walls to Storage #106B #106A Due to Electrical Locates.	EC
	1 hour - Touch-up to Conduits in 106B Storage	EC
	1 hour - Caulking Control Room window to wall. Little gap!	F.C.I./Paretto
#102	2 hours - patches to Ceiling Due to Fixture Installs Throughout S Total	EC
	1 hour - patches to elevator Call Button repair wall South	O.T.S./EC?
	1 hour repair East wall to connections Due to Trade damage	F.C.I./All Tr
	2 hours - Repairing of walls/ceilings	Summit Se

Room#	Time	Room	Contractor
#103 Box office	1 hour -	Box relocate w South wall	EC
#104 Creations	4 hours -	Repair of wall Due To Counter Top Install Demaged Full length of wall East Accent wall	? Counter Top eggs-
	1 hour -	paint 2x Backing Below Counter	FCI/?
	1 hour -	Switch Relocate w South wall	EC
#105 Storage	1 hour -	Switch Relocate w North wall	EC
#110 Mens	2.5 hrs -	Above Tile. Re-paint walls "Due to insufficient wall Finish	T.P.
#109 Family	1 hour -	Touch-up w new light install	T.P. FCI
	1 hour -	Touch-up w new light install	T.P. FCI
	1 hour -	repair of walls w top of tile patches on South wall Finish.	T.P.
#108 Women	2 hours -	Re-paint w new light Installs.	FCI F.C.I.
	2 hours -	Re-paint w top of Tile walls	T.P.

Room	Time	Reason	Contractor
#125 corridor	6 hours -	Repainting of wall → East Due To Handrail Install	R.M.S.
	1 hour -	Relocate of Exit Sign	EC
#101 rest.	1 hour -	Screening on Ceiling & Window Trim Install	Bratton
ST-A	6 hours -	Repainting of Stair Stringers Due To Tile Install	Floor
	1 hour -	Touch-up from Stucco Install	Quality Stucco
#200 Cottg	1 hour -	Strobe Relocate Repaint	EC
	1 hour -	Trade Damage To Hall walls	All Trades.
	2 hours -	Re-paint of Handrail Install Damage To walls South - North.	R.M.S.
#201 Storage	1 hour -	Portals & Switches Relocate	EC
#202 Concessions	5 hours -	Repainting and Reinstall Red Accent Wall Due To Counter Top Install	Counter tops?
#203	1 hour -	Re-paint wall new light Install	U.P./F.C.I.
	1 hour -	Repaint of Top of Tile walls	T.P.
	1 hour -	Repaint of walls Holes from	F.C.I.

204

F

Room	Time	Reasons	Contractors
#300	1 hour -	patches @ Fire Ex. Box Install.	FCI
#304 Toilet	1 hour -	Re paint of Elevator Cell Bottom	OT's.
	1 hour -	Re paint @ New light Install	T.P./FCI
#305 Toilet	1 hour -	New light Install, Re paint Wells.	FCI/T.P.
#307 Corridor	3 hrs -	Re-prime (Spots) Re-paint Hallway Wells (East, South, North) Due To Handrail Install	R.M.S.
#301 Terrace Patio	1 hour -	New Drywall Work @ Entry Door East wall	FCI
	3 hours	@ Soffit RFI #	FCI
	5 hours	prime and paint	
#ST-B Basement	1 hour	Touch-up @ Stair Well Top. Fire Retardant Sprayed on well	FCI
#B001	3 hours -	Misc. Well Touch-up	All Trades E.C./Gunn
#Doors:	30 hours.	Rjs Has 30 Hours in Re-painting Doors and jambs. Some of These Doors are White Damaged, and others need a Another Coat Anyway. We Feel That	FCI FCI 15 hours.

Room: Time: Reason: Contractor:
There ~~was~~ ^{was} Borels on Missdrilled Holes.
Scratches on Jamb/Doors. and Marks From
Install.

EXT. 2 hours - New Handrails Installed @ East Eleven
F.C.I.
- per Code.

Billable Hours.

FLI: 1 Hr Misc., 1 Hr For Doors, 3 hrs. For Basement

R.M.S: 6 hours.

EC: 6 hours.

T.P.: 6.5 hours / Trade For lift rental / usage

Brattins: 1 hr

IT: 1 hour

Contractor Top Contractor: 10 hours.

RJ'S Hours:

Monday 9/8/14: 54

Tuesday 9/9/14: ~~54~~ 54

Wed. 9/10/14: 48

156 hours.

OT's: 2 hours.

~~to 3 hours~~

61 hours. = 2,745.00

Avalon Theatre, Phase 1 Addition & Remodel **Project # 10-13-025** **FCI Constructors, Inc. - GJ**
645 Main Street, Grand Junction, CO 81501 Tel: 970-242-5628 Fax: 970-434-7583

RFI #: 318

Date Created: 8/26/2014

Answer Company	Answered By	Author Company	Authored By
FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer	FCI Constructors, Inc. - GJ P. O. Box 1767 Grand Junction, CO 81502	Brady Blackmer

Co-Respondent

Author RFI Number

Subject	Discipline	Category
Installation & Ceiling Requirements for Type K/K1 Light Fixtures	Architectural/Electrical	Confirmation

Cc:	Company Name	Contact Name	Copies	Notes
	Chamberlin Architects, Inc.	Adam Bellamy	1	
	FCI Constructors, Inc. - GJ	Brian Young	1	
	City of Grand Junction	Lee Cooper	1	
	Westlake Reed Lekosky	Richard Sourbrine	1	
	FCI Constructors, Inc. - GJ	Stan Kiser	1	

Question

Date Required: 9/2/2014

Please reference RFI-299, the attached installation instructions, the attached pictures/sketch.

Per RFI-299, the ceiling/soffits where the type K/K1 light fixtures are shown to be installed (restrooms above the sinks) were revised to a "drop soffit" configuration due to conflicts with piping above. These type K/K1 light fixtures were just recently delivered to the project, and it has been discovered that these fixtures are designed to be installed in a suspended grid ceiling and require access through a suspended ceiling for maintenance and access to electrical connections (see the attached install instructions). Due to this requirement, and the need to get these lights installed for final electrical inspection and project completion, FCI is proceeding with the installation of a small area of ceiling grid and ceiling tiles to infill the area of drop soffit around these type K/K1 light fixtures (see the attached pics/sketch).

This RFI is for documentation only. No response is required.

Suggestion

Answer

Date Answered: 8/26/2014

This RFI is for documentation only. No response is required.

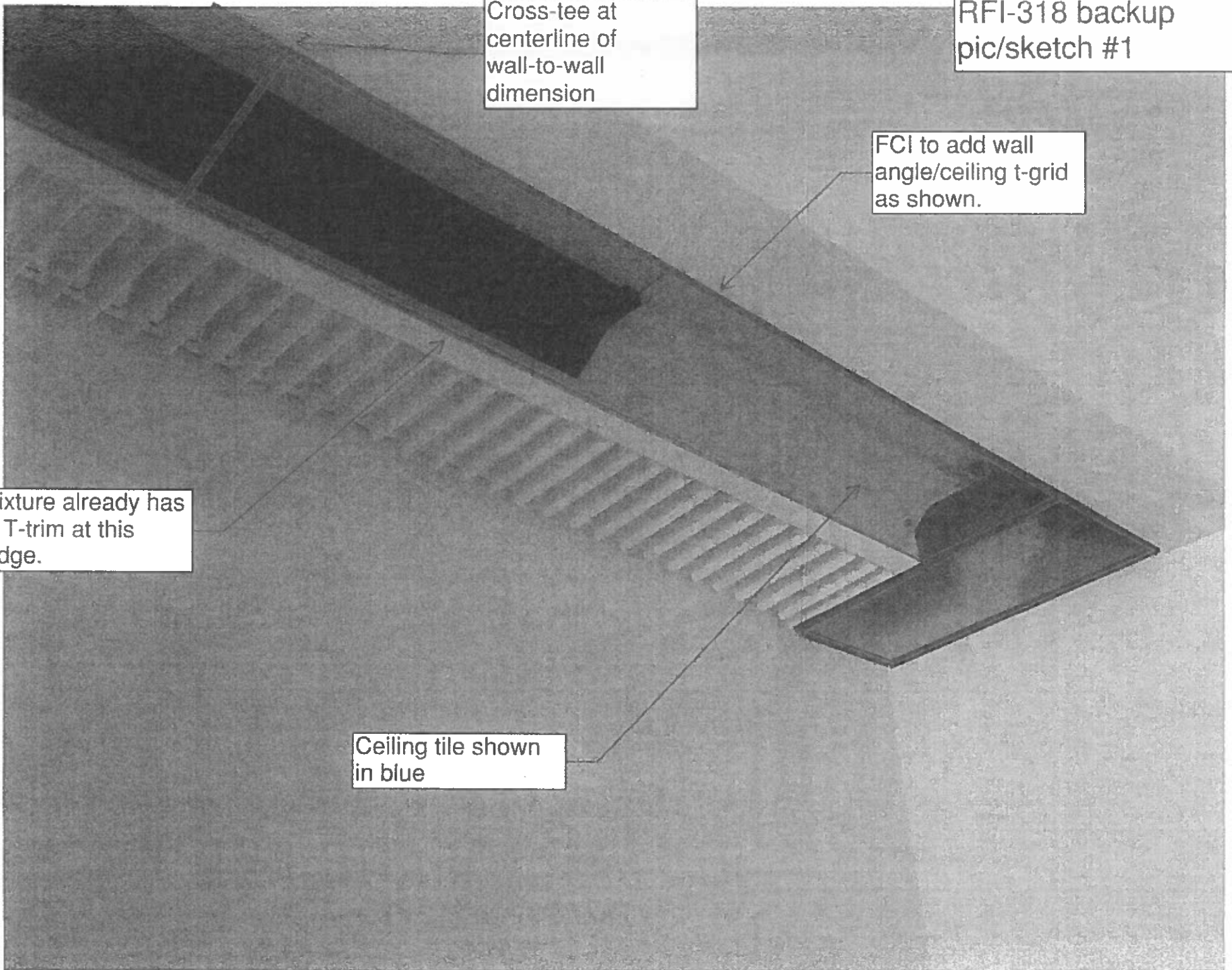
RFI-318 backup
pic/sketch #1

Cross-tee at
centerline of
wall-to-wall
dimension

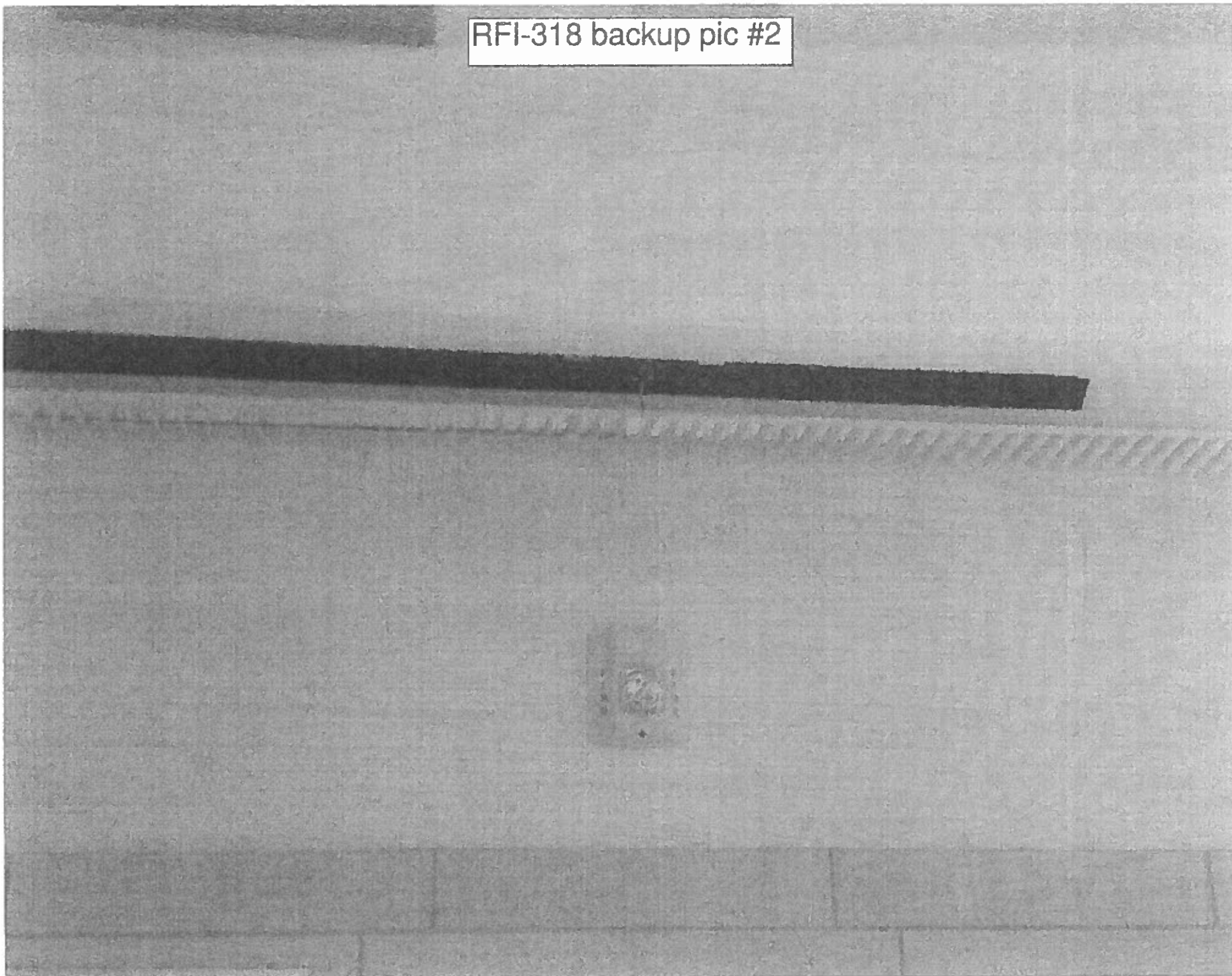
FCI to add wall
angle/ceiling t-grid
as shown.

Fixture already has
a T-trim at this
edge.

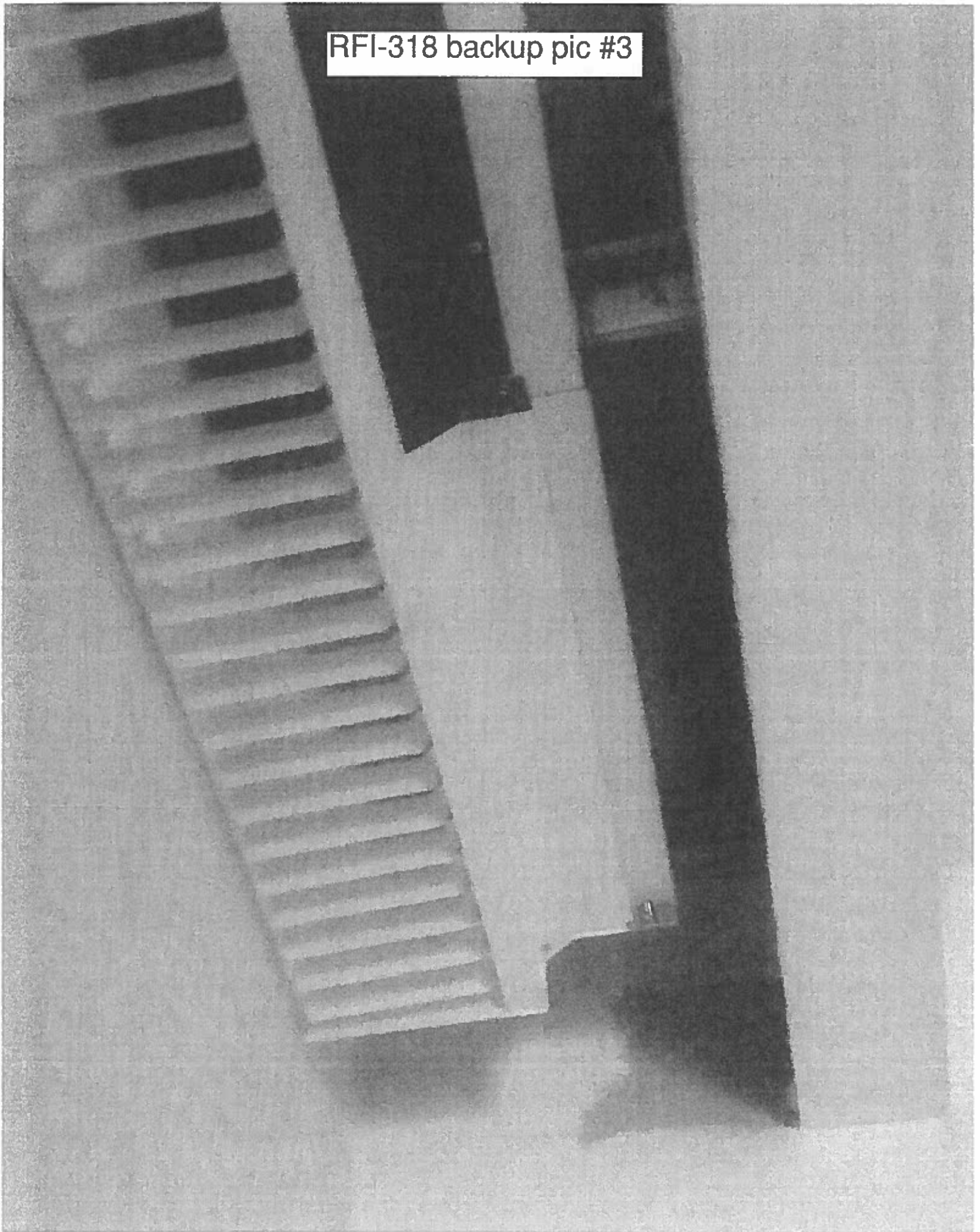
Ceiling tile shown
in blue



RFI-318 backup pic #2



RFI-318 backup pic #3

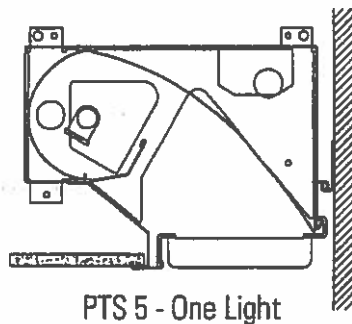


READ AND UNDERSTAND THESE INSTRUCTIONS BEFORE PROCEEDING.
RETAIN THESE INSTRUCTIONS FOR MAINTENANCE REFERENCE.

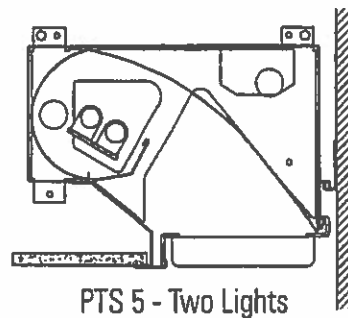
This fixture is intended for installation in accordance with the National Electrical Code and local regulations. To assure full compliance with local codes and regulations, check with your local electrical inspector before installation. To prevent electrical shock, turn off electricity at electrical panel before proceeding.

DO NOT INSTALL THIS SYSTEM IN A WET OR DAMP LOCATION.
DO NOT ENERGIZE ANYTHING OTHER THAN THE FIXTURES IN THE SYSTEM.

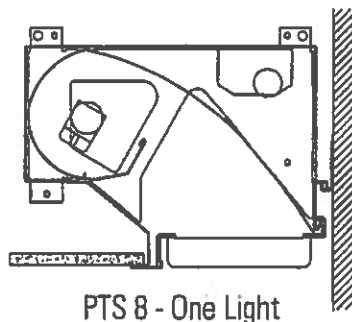
CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY REINFORCING WALL AND CEILING TO SUPPORT FIXTURE WEIGHT.



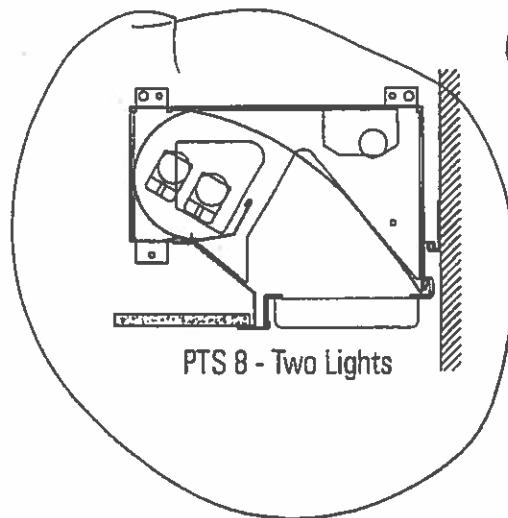
PTS 5 - One Light



PTS 5 - Two Lights



PTS 8 - One Light



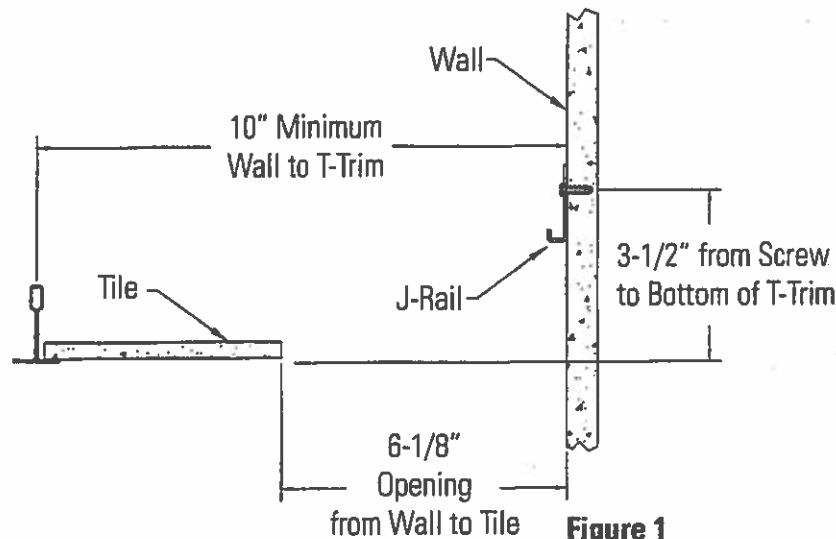
PTS 8 - Two Lights

$6' = 2' + 3'$
 $10' = 6' + 3'$
 $18' = 8' + 6' + 3'$

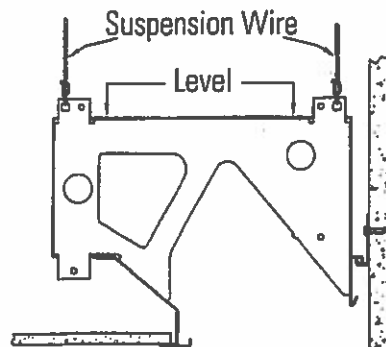
INSTALL FIXTURE HOUSING

1. Install J-Rail(s) to wall using adequate hardware (by others) 3-1/2" above the room ceiling line. Properly level along the length of the row. (Fig. 1)
2. Determine which fixture will provide power to row and remove a 7/8" KO from top of housing. Also remove the reflector from fixture.

(Note: install fixtures from left to right as installer faces the wall).

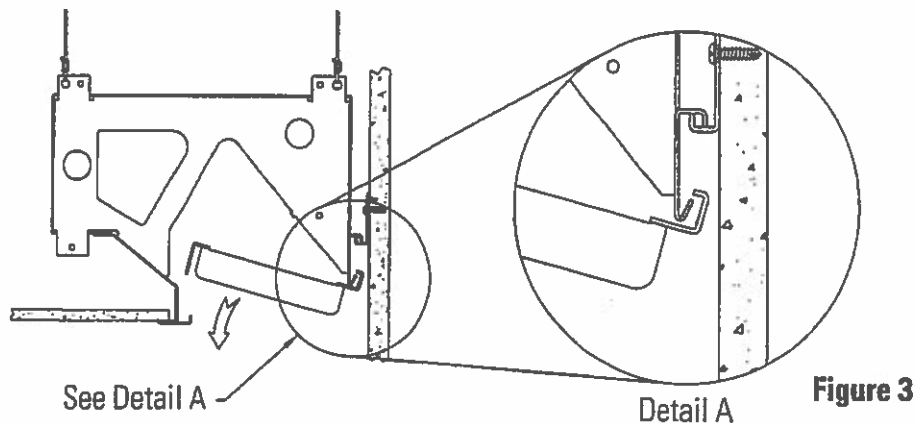
**Figure 1**

3. Hang Suspension Wire from structure above spaced according to fixture lengths.
4. Install left-hand end plate to first fixture in row using supplied hardware (3 #8 screws and nuts).
5. Lift first fixture into position and hook to J-Rail also hang from Suspension Wire. Making sure it is properly leveled. (Fig. 2)

**Figure 2**

INSTALL FIXTURE HOUSING (CONT'D)

6. Lift second fixture into position and hook to J-Rail also hang from Suspension Wire.
7. Connect electrical wires using Wire Nuts (by others) and make sure fixture is properly level.
8. Secure fixtures together using supplied hardware (3 #8 screws and nuts).
9. Repeat these steps for following fixtures and/or corners in row.
10. Install right-hand end plate to last fixture in row using supplied hardware (3 #8 screws and nuts).
11. Make necessary electrical connections to fixture that provides power to row and reinstall reflector. Make sure not to exceed more than 20 amps per feed.
12. Install all lamps and shielding (if applicable) to fixtures in row. (Fig. 3)



ADJUSTABLE FIXTURE

1. Note: Adjustable fixtures are shipped extended to maximum length. They will retract down 11" on the non-staggered versions and 9" on the staggered versions.
2. To determine which adjustable fixture will fit in the ceiling opening, measure from last non-adjustable fixture to wall or last non-adjustable fixture to corner fixture.
- 3A. For Fixture Using non-Staggered Lamps
 - Use the 4' adjustable fixtures in opening from 48.75" - 60".
 - Use the 3' adjustable fixtures in opening from 36.75" - 48".
 - Use the 2' adjustable fixtures in opening from 24.75" - 36".
- 3B. For Fixture Using Staggered Lamps
 - Use the 4' staggered fixtures in opening from 51" - 60".
 - Use the 3' staggered fixtures in opening from 39" - 48".
 - Use the 2' staggered fixtures in opening from 27" - 36".
4. To adjust fixture to proper length, remove the number 8 screws on T-Trim and Hang Bracket that keep Sliding Sleeve from moving. (Fig. 4)
5. Push on Sliding-Sleeve to proper length. (Fig. 5) T-Trim, Hang Bracket and reflector will not move.

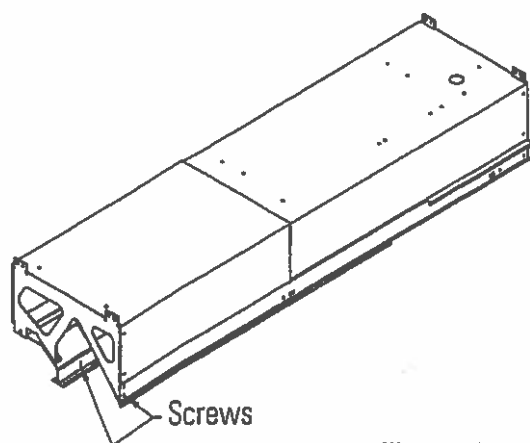


Figure 4

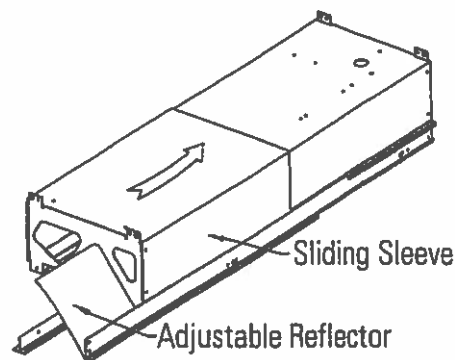
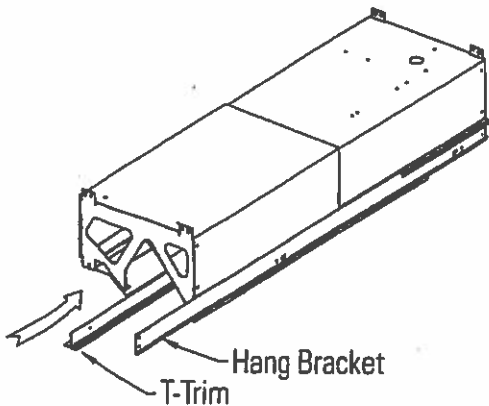
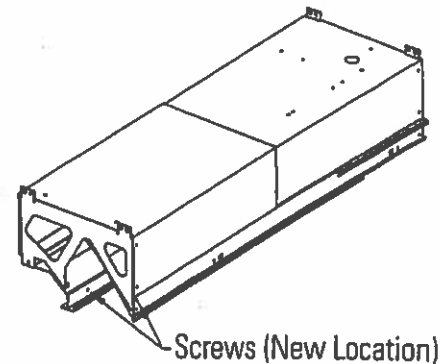


Figure 5

ADJUSTABLE FIXTURE (CONT'D)

6. Next push on Adjustable Reflector until flush with end of Sliding-Sleeve. (Fig. 6)
7. Remove and cut T-Trim and Hanging-Bracket to proper length. (Fig. 7)
8. Install right-hand end plate to Adjustable fixture in row using supplied hardware (3 #8 screws and nuts). Re-attach T-Trim and Hanging Bracket to Sliding Sleeve using number 8 screws. (Fig.7)

**Figure 6****Figure 7**

9. Lift Adjustable fixture into position and hook to J-Rail. Hang from Suspension Wire.
10. Join electrical wires using Wire Nuts (by others) and make sure fixture is properly level.
11. Secure fixtures together using supplied hardware (3 #8 screws and nuts).
12. Install all lamps and shielding (if applicable) to fixtures in row. (Fig. 3)

LAMPING PROCEDURE

1. Remove the louver or lens if applicable. (Fig. 8)

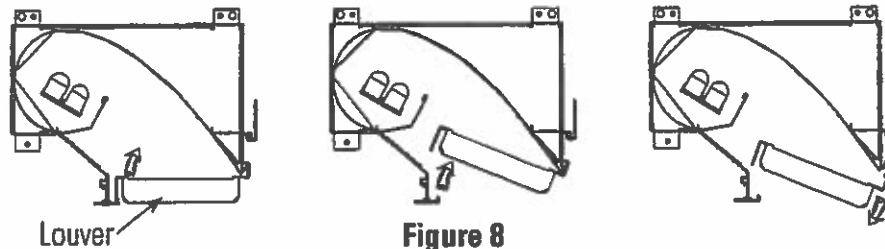


Figure 8

2. Reach into the fixture and pull the top of the lamp shield downward and towards the wall. (Fig. 9)

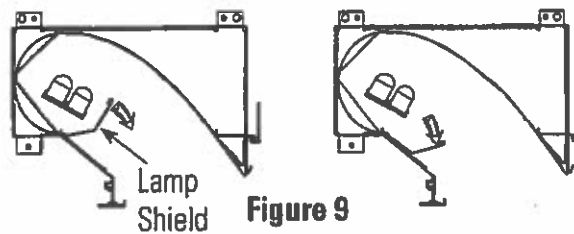


Figure 9

3. Rotate and remove the lamp. (Fig. 10)

4. Replace with new lamp. (Fig. 11)

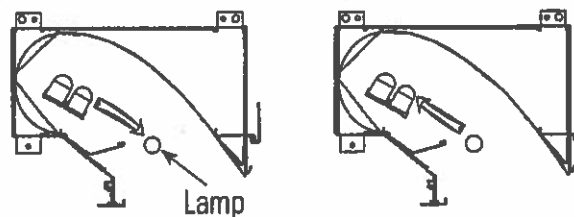


Figure 10

Figure 11

5. Push the lamp shield up and away from the wall until it snaps into place. (Fig. 12)

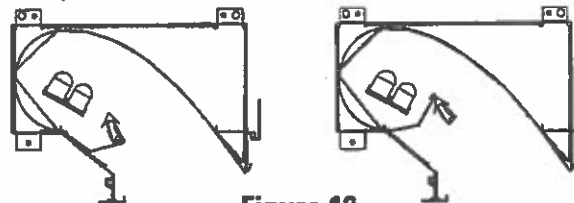


Figure 12

6. Replace the louver or lens if applicable. (Fig. 13)

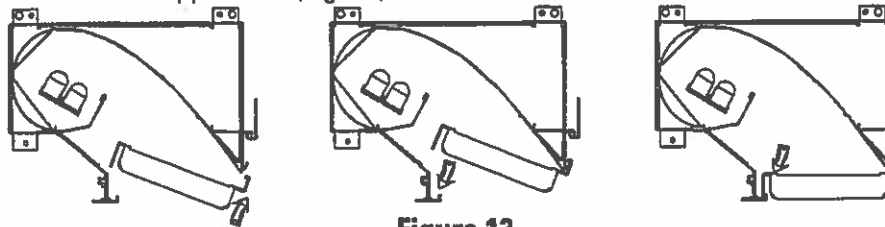


Figure 13

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

9/5/2014 Additional Hand Rails at East Exterior Ramp per MCSB FCI Pricing

Category	Reference	PCCO Number
FORCE ACCT	attached pricing quote	

Notes

This COR developed for costs to fabricate and install additional hand railings at the east elevation ramp. Per direction from the Mesa County Building Department, steel hand rails are required at the building side of the ramped area and stairs at the east elevation. These hand rails were not shown on the construction documents.

Note: Because these hand rails are being required by the building department, FCI has proceeded with the installation of these hand rails.

Itemized Details:

General Description	Quote Rec'd	Proposed
Rocky Mountain Steel, Inc.		\$1,170.00
Description of Work: Rocky Mountain Steel: Fabricate and deliver additional steel hand rails for the east elevation - additional hand rails required at the building side of the east elevation ramp and stair per direction from the Mesa County Building Department.		
FCI Constructors, Inc. - GJ		\$280.00
Description of Work: FCI Constructors: Core-drill holes in concrete, set and plumb rails, and grout in place - 8 man hours x \$35/hour = \$280		
FCI Constructors, Inc. - GJ		\$100.00
Description of Work: Painting of additional hand rails.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$94.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials affected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



COR-222

Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$1,662.00

Approval:

Date:

A handwritten signature in black ink, appearing to be "J. A. [unclear]", is written over the signature and date lines.

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance



CHANGE ORDER REQUEST # 45

FCI Constructors
3070 I-70 Business Loop
Grand Junction, Colorado 81502

Ref. Added East Exterior Rails

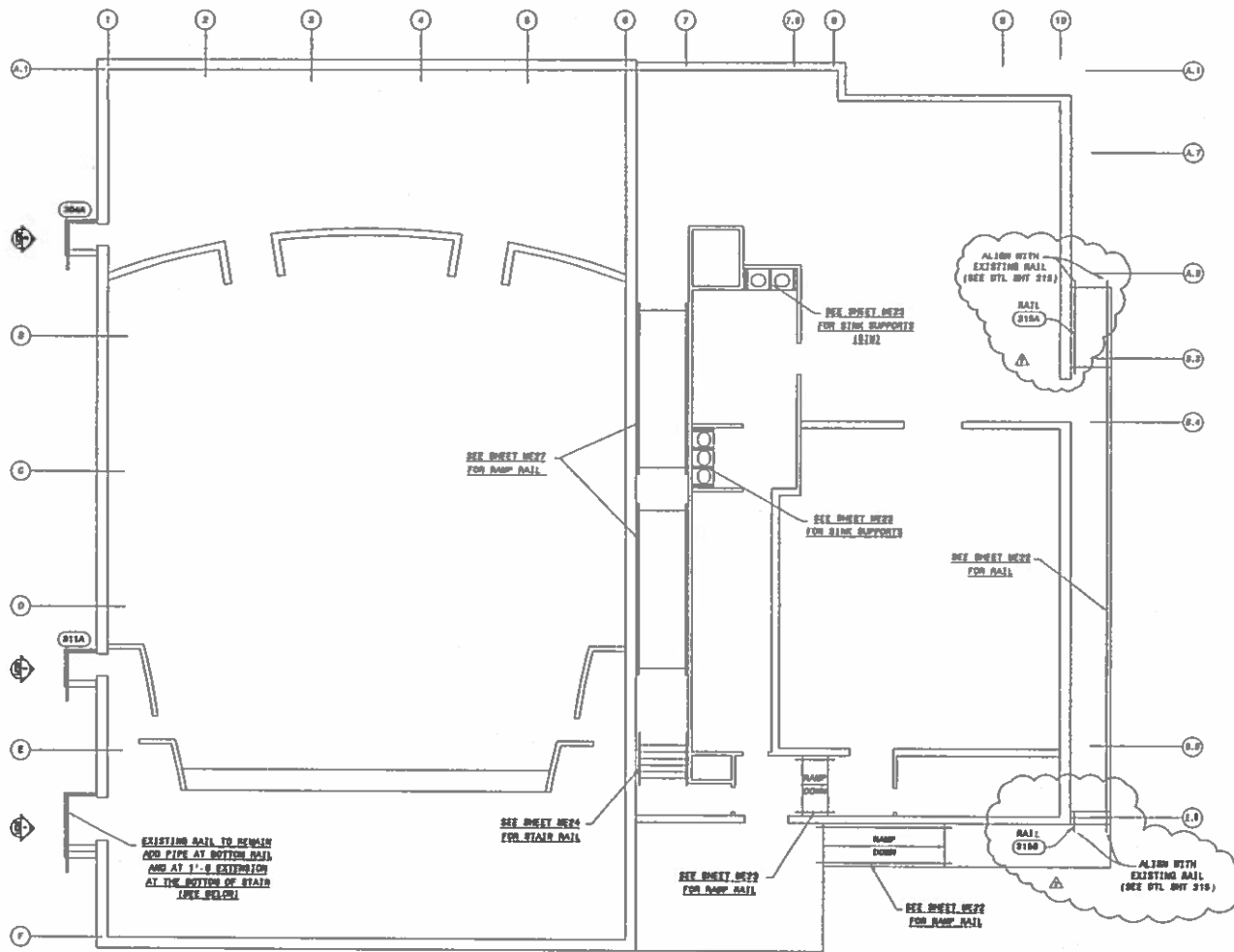
Date: September 3, 2014

MATERIAL	\$ 293.00
SHOP LABOR.....	\$ 526.00
DETAILING	\$ 292.00
INSTALL	\$ 00.00
FREIGHT.	\$ 59.00
ENGINEERING	\$ EXCLUDED
SUB TOTAL...	\$ 1,170.00

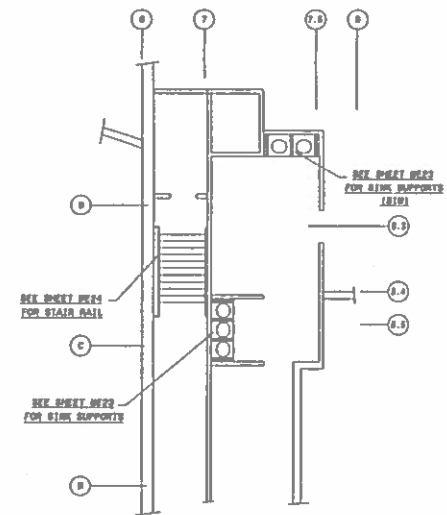
The above Change Order Request is for the two added rails at the East side Exterior.
Please issue a Change Order to our contract so we may proceed with this work.

Randy Zlomke
Project Manager

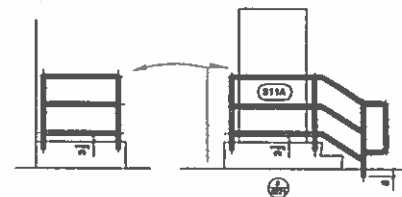
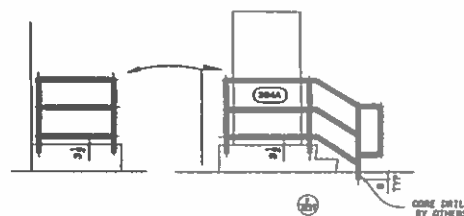
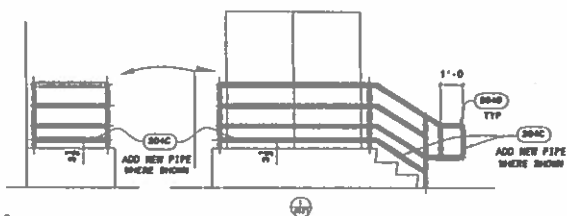
59833 Hwy. 50 P.O. Box 486 Olathe, CO 81425
Phone (970) 323-6323 Fax (970) 323-0480



PARTIAL FIRST FLOOR PLAN AT MISCELLANEOUS STEEL



PARTIAL MEZZANINE FLOOR PLAN AT MISCELLANEOUS STEEL

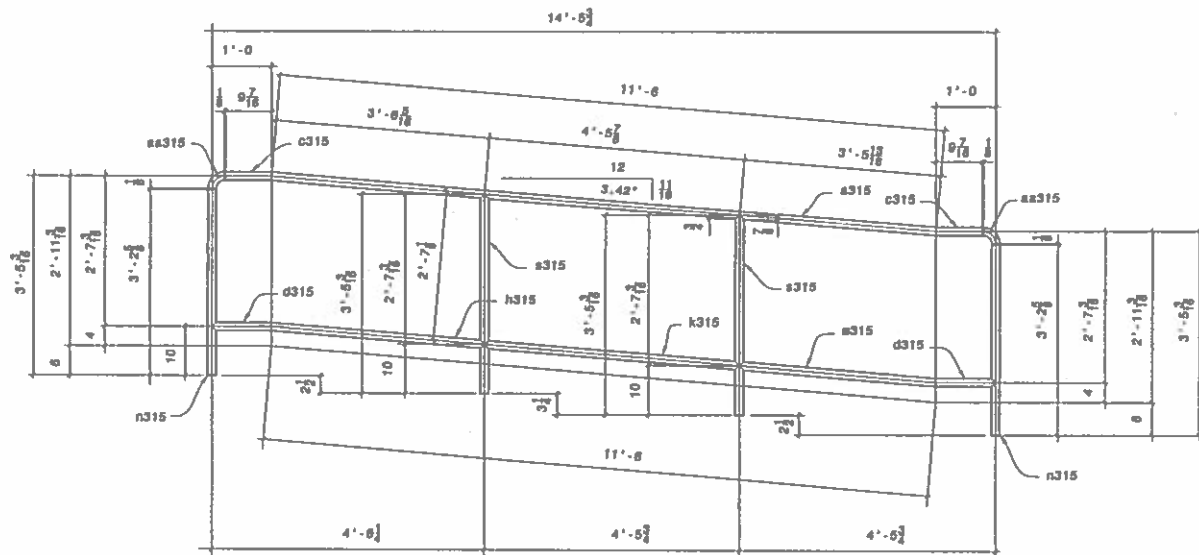


APPROVED FOR CONSTRUCTION
Signature _____

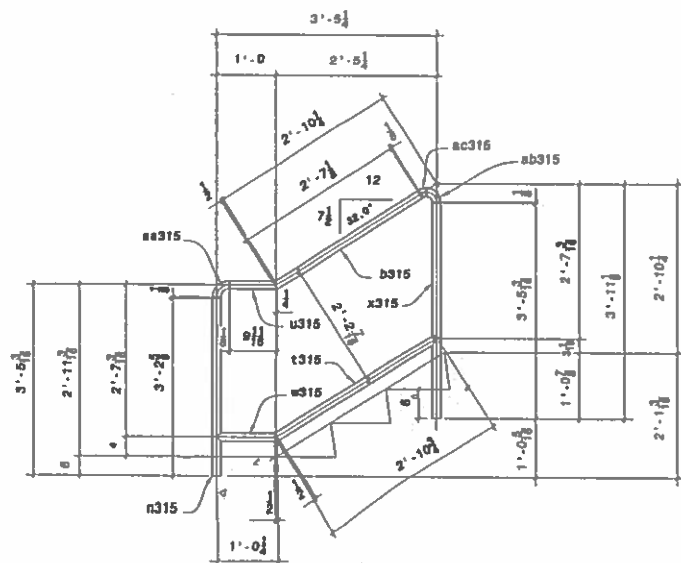
NOTE: ALL VERIFICATION CLOUDS MUST BE
ANGLED IN SUBMITTAL DRAWINGS
BEFORE ANY FABRICATION BEGINS.

REVISIONS		REVISIONS	
REV.	DATE	DESCRIPTION	REVISIONS
A	4-8-14	FOR APPROVAL ONLY	
B	4-22-14	REVISED & RESUBMIT FOR APPROVAL ONLY	
C	4-24-14	RELEASE FOR CONSTRUCTION	
D	4-24-14	ADDED RAMP RAIL	
E	4-27-14	ADDED STAIR & RAMP RAIL AT EAST EXTERIOR WALK	

ROCKY MOUNTAIN STEEL, INC. <small>8000 HWY 60 NORTH • GLASCO, CO. 80401 • TEL (303) 962-0000 FAX (303) 962-0000</small>	
JOB NAME	AVALLON THEATRE
CUSTOMER	COLORADO PUBLIC WORKS AND PLANNING
LOCATION	GRAND JUNCTION, COLORADO
<small>DRAWN BY</small> S-01-14 <small>CHECKED BY</small> S-01-14 <small>DATE</small> 4-8-14 <small>JOB NO.</small> 6842 <small>DWG. NO.</small> ME21	<small>PROJECT MANAGER</small> S-01-14 <small>PROJECT COORDINATOR</small> S-01-14



ONE - RAIL - 315A



ONE - RAIL - 315B

HANDRAIL NOTES

1. WELD ALL WR $\frac{3}{8}$ OR $\frac{1}{2}$ CONT
2. GRIND ALL WELDS SMOOTH.

FOR APPROVAL ONLY

Signature _____
Date _____

NOTE: ALL VERIFICATION CHECKS MUST BE
ANSWERED IN SUBMITTAL DRAWINGS
BEFORE ANY FABRICATION BEGINS.

BILL OF MATERIAL

QTY	REV	DATE	MATERIAL DESCRIPTION	LENGTH FT.	IN.	GRADE	REMARKS
ONE			STEEL				
3			MS15 PIPE 1 1/4 STD	11	0	MS	
2			MS15 PIPE 1 1/4 STD	0	0 2/10	MS	
2			MS15 PIPE 1 1/4 STD	1	0	MS	
2			MS15 PIPE 1 1/4 STD	0	0 6/10	MS	F15
1			MS15 PIPE 1 1/4 STD	4	0 2/5	MS	F15
1			MS15 PIPE 1 1/4 STD	0	0 10/10	MS	F15
2			MS15 PIPE 1 1/4 STD	0	0 0/0	MS	
1			MS15 PIPE 1 1/4 STD	0	0 6/10	MS	F15
2			MS15 BE 0 000			MS	SHOWER
ONE			STEEL				
1			MS15 PIPE 1 1/4 STD	2	0 1/5	MS	NOTE
2			MS15 PIPE 1 1/4 STD	0	0 0/0	MS	
2			MS15 PIPE 1 1/4 STD	2	10 0/1	MS	F15/MS15
2			MS15 PIPE 1 1/4 STD	0	0 11/10	MS	MS15
1			MS15 PIPE 1 1/4 STD	1	0 1/4	MS	F15/MS15
2			MS15 PIPE 1 1/4 STD	0	0 0/10	MS	
1			MS15 BE 0 000			MS	SHOWER
1			MS15 BE 0 000			MS	SHOWER
1			MS15 BE 0 000			MS	SHOWER
FIELD ONLY							

GENERAL NOTES:

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

NOTES: _____ U.S.S. ELECTRODES STEEL PAINT ONE EAC PRIMER U.S.S.

REV. DATE REVISIONS

1. 9-27-14 FOR APPROVAL ONLY DESCRIPTION

2. _____

3. _____

4. _____

5. _____

6. _____

7. _____

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9. _____

10. _____

11. _____

12. _____

13. _____

14. _____

15. _____

16. _____

17. _____

18. _____

19. _____

20. _____

21. _____

22. _____

23. _____



ROCKY MOUNTAIN STEEL, INC.

8000 HWY 60 NORTH, GLENVIEW, CO. 80540 TEL: (303) 342-0000 FAX: (303) 342-0000

JOB NAME AVALON THEATRE

CUSTOMER COLORADO PUBLIC WORKS AND PLANNING

LOCATION GRAND JUNCTION, COLORADO

DRAWN BY DATE CHECKED BY DATE JOB NO. 6842 315

PROJECT NUMBER PROJECT DESCRIPTION

DRAWN BY 2 CHECKED BY 2



COR-223

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

9/12/2014 Revised Pivots & Thresholds at Doors 101A, B, C, D, E FCI Pricing

Category	Reference	PCCO Number
Change Order Request	attached email and attached pricing quotes	

Notes

This COR developed for additional costs associated with the following revisions required to doors 101A, 101B, 101C, 101D, and 101E:

1.) Replacement of the top pivots at doors 101A, 101B, 101C, and 101D - The original pivots at the head of each of these door leafs conflicts with the auto operator head boxes at doors 101B, 101D, and 101E and the "dummy" auto operator head boxes at doors 101A and 101C because the specified top pivots were designed to mount at the head of the door. As such, (1) additional intermediate pivot had to be provided for each leaf of openings 101A, 101B, 101C, 101D, and 101E (9 total additional pivots). Cost for these new pivots = \$945.

2.) New thresholds had to be provided at doors 101A and 101B. The original thresholds for these openings were no wide enough to span the control between the building slab-on-grade and the sidewalk. Costs for new thresholds = \$554.

These costs are for replacement materials only. There is no change in the install labor costs associated with the new pivots. The install labor costs for the revised thresholds was included in BVR-040.

Itemized Details:

General Description	Quote Rec'd	Proposed
McKinney Door & Hardware		\$1,499.00
Description of Work: McKinney Door & Hardware: Supply only of replacement pivots and thresholds for doors 101A, 101B, 101C, 101D, and 101E.		
FCI Constructors, Inc. - GJ		\$1.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$6.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$11.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$91.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



COR-223

Detailed, Grouped by Each Number

Requested Days: 0

Total Change: \$1,608.00

Approval:

Date:

A handwritten signature is written over the 'Approval:' line, and a handwritten date '9/12/14' is written over the 'Date:' line.

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved
This proposal is good for seven days from date of issuance

SUB TOTAL	\$554.00
(0.000)	\$0.00
TAX CODE (OVERNMENT T)	\$0.00
FREIGHT	\$0.00
TOTAL	\$554.00
DEPOSIT RECEIVED	\$0.00
INVOICE TOTAL	\$554.00

Brady Blackmer

From: Brady Blackmer
Sent: Wednesday, June 04, 2014 3:13 PM
To: 'Mike Musso'
Cc: Stan Kiser; Brian Young; Pat Hutchison; Dale Lockwood
Subject: RE: hinges

Please proceed Mike. Thanks.

Brady Blackmer

Project Engineer
Grand Junction Office: (970) 434-9093
Cell Phone: (970) 433-1600
Fax: (970) 434-7583



From: Mike Musso [mailto:Mike_Musso@mckinneydoor.com]
Sent: Wednesday, June 04, 2014 1:46 PM
To: Brady Blackmer
Cc: Stan Kiser; Brian Young; Pat Hutchison; Dale Lockwood
Subject: RE: hinges

Brady,

Your cost: \$ 105.00ea 945.00 Total, Includes UPS no tax included.
These will ship from the factory 5-days after order is placed. I will have them sent direct to you to save time.

Please let me know if I am to proceed.

Thanks,

Mike Musso
Project Manager
McKinney Door & Hardware

From: Brady Blackmer [<mailto:BBlackmer@fcio.com>]
Sent: Wednesday, June 04, 2014 1:39 PM
To: Mike Musso
Cc: Stan Kiser; Brian Young; Pat Hutchison; Dale Lockwood
Subject: RE: hinges

Mike,

These are doors 101A, 101B, 101C, 101D, and 101E: 4 RHR, and 5 LHR.

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Mike Musso [mailto:Mike_Musso@mckinneydoor.com]

Sent: Wednesday, June 04, 2014 12:25 PM

To: Brady Blackmer

Cc: Stan Kiser; Brian Young; Pat Hutchison; Dale Lockwood

Subject: RE: hinges

Brady,

These intermediate pivots are handed, please provide handing as required.
I believe these are a stock item at the factory but won't know lead time until ordered.

Thanks,

Mike Musso
Project Manager
McKinney Door & Hardware

From: Brady Blackmer [<mailto:BBlackmer@fciol.com>]

Sent: Wednesday, June 04, 2014 12:05 PM

To: Mike Musso

Cc: Stan Kiser; Brian Young; Pat Hutchison

Subject: FW: hinges

Mike,

We need to order (9) of these intermediate pivots that Dale discusses below. I believe these are the Ives 7226 INT listed on your hardware schedule. Does that sound correct?

Any idea on lead time/availability?

Brady Blackmer

Project Engineer

Grand Junction Office: (970) 434-9093

Cell Phone: (970) 433-1600

Fax: (970) 434-7583



From: Dale [<mailto:dlockwood@brattonwindowanddoor.com>]

Sent: Wednesday, June 04, 2014 9:09 AM

To: Brady Blackmer

Subject: hinges

Brady

The door manufacturer called with a small problem in the fabrication.

The specified door pivots are Bottom, Intermediate, & top.

The top pivot supplied won't work with the 4-1/2" x 5-3/4" headers.

The top pivot is designed to mount in the head & there is things in the way inside of the header.

To make this work properly It will require another intermediate hinge. It mounts in the side jamb where there is room.

This should not noticeably change the appearance & will allow all to function properly.

We will need 9 intermediate hinges.

This will not delay the doors they will ship with the prep & we will simply install the parts here.

Also have we seen the other header boxes?

Thanks

Dale Lockwood

Bratton Window

970-242-7224

**COR-224**

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501**Project # 10-13-025**
Tel: 970-242-5628 Fax: 970-434-7583**FCI Constructors, Inc. - GJ****9/16/2014 Additional Exit Signs Required by MCBP FCI Pricing**

Category	Reference	PCCO Number
----------	-----------	-------------

FORCE ACCT	attached pricing quote	
------------	------------------------	--

Notes

This COR developed for additional costs associated with the installation of (2) additional exit signs at the Terrace area as required by the Mesa County Building Department.

Itemized Details:

General Description	Quote Rec'd	Proposed
EC Electric, Inc.		\$440.00
Description of Work: EC Electric: Supply and install (2) additional exit signs at the terrace area as required by the Mesa County Building Department.		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Builder's Risk Insurance		
FCI Constructors, Inc. - GJ		\$2.00
Description of Work: General Liability Insurance		
FCI Constructors, Inc. - GJ		\$3.00
Description of Work: Payment/Performance Bond		
FCI Constructors, Inc. - GJ		\$27.00
Description of Work: Fee		
FCI Constructors, Inc. - GJ		\$0.00
Description of Work: Force Account		

Requested Days: 0**Total Change: \$472.00****Approval:** **Date:**

This proposal includes work clearly itemized herein and attached sub-contractor quotes
Should delivery of materials effected by this change delay the work, time extension and General Conditions cost rights are reserved
The right to cumulative impact costs is reserved

This proposal is good for seven days from date of issuance



Date: 9/15/2014

Change Order Proposal

TO:

FCI Constructors, Inc.
PO Box 1767
Grand Junction, CO 81502

RE:

AVALON Remodel

Attn: **Brady Blackmer**

Phone #: 970-434-9093

Fax #: 970-434-7583

Change Order Request No.

Field

Change Order Proposal No.

EC-35

We hereby propose to modify our original proposal / contract for the following change to our scope:
Add two exits to the terrace area per the building department.

SEE ATTACHED

QTY.	DESCRIPTION	UNIT	EXT. PRICE
Lot	Material	\$ 17.76	\$ 17.76
2	Exits brushed aluminum	\$ 61.60	\$ 123.20
			\$ -
			\$ -
Lot	Freight	\$ 40.00	\$ 40.00
	Hours Labor Project Manager / Estimator	\$ 65.00	\$ -
0.00	Hours Labor - Foreman	\$ 53.00	\$ -
4.56	Hours Labor - Journeyman (Straight Time Base)	\$ 48.00	\$ 218.88
0.00	Hours Labor - Apprentice (Straight Time Base)	\$ 39.00	\$ -
			\$ -
10%	Overhead & Profit		\$ 39.98
			\$ -
			\$ 439.82

Need Answer By: **ASAP**

Submitted By: Bruce Curry

Please deduct the following amount from our contract and issue a formal change order for:

Four Hundred Forty ----- Dollars \$ 440.00

Acceptance of this proposal will increase the contract time by 0 days

Original Contract Sum: _____

Pending Changes to Date: \$ _____

Approved Change Orders To Date: \$ _____

This Change Order: \$ 440.00

Approved Contract Sum To Date: \$ _____

Pending Contract Sum: \$ 440.00

*Acceptance of Proposal. The above prices, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.*

2535 West Placer Dr. GRAND JUNCTION, CO 81505 (970)241-3302 FAX: (970)241-2992

0080 METCALF ROAD, UNIT C-3, AVON, CO 81620 (970)748-0934 FAX: (970)748-0935

E-MAIL: info@ec-electric.com

Avalon EC-35 Add 2 exits to the terrace

Job Number: 456

Extension By Phase

Item #	Description	Quantity	Price U	Ext Price	Labor Hr U	Ext Lab Hr
--- 01 Raceway, Fittings & Boxes ---						
1000	1/2" EMT	10	23.69 C	2.37	2.20 C	0.22
1438	1/2" Set Screw Steel Conn	2	18.47 C	0.37	0.05 E	0.10
1556	1/2" Set Screw Steel Cplg	1	26.70 C	0.27	0.05 E	0.05
2278	1/2" 1-Hole Strap	1	14.28 C	0.18	2.28 C	0.08
--- 01 Raceway, Fittings & Boxes Total ---				3.19		0.40
--- 02 Wire & Cable ---						
2787	#12 THHN CU Solid Wire	32	100.72 M	3.17	5.60 M	0.17
2917	12/2 Steel MC Cable w/Green Ground Wire	10	503.40 M	5.03	14.00 M	0.14
2934	1/2" 2-Screw Cpl Conn	2	121.25 C	2.43	0.12 E	0.24
--- 02 Wire & Cable Total ---				10.63		0.55
--- 07 Misc ---						
8839	Red Wirenuts	8	67.08 M	0.40	1.75 C	0.11
23018	Metal Cut - in boxes	2	1.29 E	2.58	0.15 E	0.30
23019	Pair F- Strap	2	0.48 E	0.98	0.10 E	0.20
--- 07 Misc Total ---				3.94		0.61
Job Total				17.76		1.56

3
4.56

Bruce Curry

From: Fitzsimmons, Marv [marv@gjced.com]
Sent: Thursday, September 11, 2014 10:15 AM
To: Bruce Curry
Subject: RE: Exit Signs

Bruce,

(2)

Emergen-see has plenty in stock. This one does not have EM. Same cost \$61.60 plus freight.

Thanks,
Marv Fitzsimmons

310 S. 12TH St.
Grand Junction Co 81501



Industrial Solutions
P: 970-243-1430
F: 970-241-2547
marv@gjced.com

From: Bruce Curry [<mailto:bcurry@ec-electric.com>]
Sent: Thursday, September 11, 2014 9:44 AM
To: Fitzsimmons, Marv
Subject: FW: Exit Signs

Marv – Here is what Bonnie sent over.

Thanks

Bruce Curry
EC ELECTRIC
2535 West Pinyon Avenue
Grand Junction, CO. 81505
Phone (970) 241-3302
Fax (970) 241-2992
Cell (970) 986-5187
bcurry@ec-electric.com



From: Mackey, Bonnie [<mailto:bonnie@gjced.com>]
Sent: Friday, August 22, 2014 8:47 AM
To: bcurry@ec-electric.com; Dustin Riddle
Cc: Mackey, Bonnie
Subject: Exit Signs



Prime Contract Change Order

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

Date: 1/6/2015
To Contractor:
FCI Constructors, Inc. - GJ
P. O. Box 1767
Grand Junction, CO 81502

Architect's Project No: 10-13-025
Contract Date: 7/22/2013
Contract Number: 1000
Change Order Number: 037

The Contract is hereby revised by the following items:

Prime Change Order 037

PCO	Description	Amount
INT-110	Adjust Contract Amount to Actual Job Cost	(\$ 6,577.70)

The original Contract Value was.....	\$	6,269,780.00
Sum of changes by prior Prime Contract Change Orders.....	\$	1,764,745.70
The Contract Value prior to this Prime Contract Change Order was.....	\$	8,034,525.70
The Contract Value will be changed by this Prime Contract Change Order in the amount of.....	(\$	6,577.70)
The new Contract Value including this Prime Contract Change Order will be.....	\$	8,027,948.00
The Contract duration will be changed by.....		0 Days
The revised Substantial Completion date as of this Prime Contract Change Order is.....		

Westlake Reed Lekosky
ARCHITECT
One East Camelback Road, Suite 690
Phoenix, AZ 85012
Address
By Darrell Ziegler
SIGNATURE
DATE

FCI Constructors, Inc. - GJ
CONTRACTOR
P. O. Box 1767
Grand Junction, CO 81502
Address
By Stan Kiser
SIGNATURE
DATE 1-6-2015

City of Grand Junction
OWNER
250 North 5th Street
Grand Junction, CO 81501
Address
By Jay Valentine
SIGNATURE
DATE



Prime Contract Change Order

Detailed, Grouped by Each Number

Avalon Theatre, Phase 1 Addition & Remodel
645 Main Street, Grand Junction, CO 81501

Project # 10-13-025
Tel: 970-242-5628 Fax: 970-434-7583

FCI Constructors, Inc. - GJ

Date: 1/6/2015

To Contractor:

FCI Constructors, Inc. - GJ

P. O. Box 1767

Grand Junction, CO 81502

Architect's Project No: 10-13-025

Contract Date: 7/22/2013

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The revised Substantial Completion date as of this Prime Contract Change Order is.....		

Westlake Reed Lekosky

ARCHITECT

One East Camelback Road, Suite 690
Phoenix, AZ 85012

Address

By Darrell Ziegler

SIGNATURE

DATE

FCI Constructors, Inc. - GJ

CONTRACTOR

P. O. Box 1767
Grand Junction, CO 81502

Address

By Stan Kiser

SIGNATURE

DATE

City of Grand Junction

OWNER

250 North 5th Street
Grand Junction, CO 81501

Address

By Jay Valentine

SIGNATURE

DATE



P. O. Box 1767, Grand Junction, CO 81502
{User.Tel} Fax {User.Fax}

**FCI CONSTRUCTORS, INC. PRIME CONTRACT
Unconditional Waiver And Release Upon Progress Payment**

The undersigned has been paid and has received a progress payment in the amount of \$ 1,042.00 for labor, services, equipment or material furnished to City of Grand Junction on the job of Avalon Theatre, Phase 1 Addition & Remodel located at

645 Main Street, Grand Junction, CO 81501

and does hereby release pro tanto any mechanics lien, stop notice or bond right that the undersigned has on the above referenced job to the following extent.

This release covers a progress payment for labor, services, equipment or material furnished to FCI Constructors, Inc. - GJ through the following invoice date October 31, 2014 only and does not cover any retention or items furnished after that date.

Dated: 1-6-2015

FCI Constructors, Inc. - GJ

By [Signature]

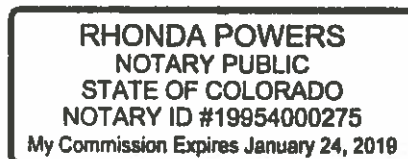
State of Colorado

County of Mesa

Subscribed and sworn before me this 6th day of Jan, 2015.

Notary Public: [Signature] My commission expires: 1-24-2019

Notice: This document waives rights unconditionally and states that you have been paid for giving up those rights.





Conditional Waiver and Release on Progress Payment

Upon receipt by the undersigned of a check from **City of Grand Junction** in the sum of **\$11,737.00** payable to **FCI Constructors, Inc.** and when the check has been properly endorsed and has been paid by the bank upon which it is drawn, this document shall become effective to release any mechanic's lien, stop notice or bond right the undersigned has on the job of **Avalon Theatre, Phase 1 Addition & Remodel (FCI#10-13-025)** 645 Main Street, Grand Junction, CO 81501 to the following extent.

This release covers a progress payment for labor, services, equipment or material furnished to **FCI Constructors, Inc.** through the following invoice date **January 6, 2015** only and does not cover any retention or items furnished after that date.

Dated: 1-6-2015

FCI Constructors, Inc.

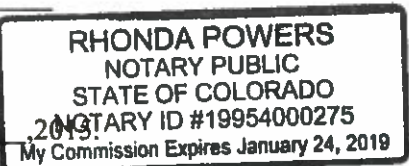
By [Signature]
Stan Kiser, Project Manager

State of Colorado

County of Mesa

Subscribed and sworn before me this 6th day of Jan

Notary Public: [Signature] My commission expires: 1-24-2019



Current Contract Status		
Original Contract Value		
Original Contract		6,269,780.00
Prime Change Order 001		-55,471.76
Prime Change Order 002		-159,196.54
Prime Change Order 003		0.00
Prime Change Order 004		0.00
Prime Change Order 005		0.00
Prime Change Order 006		0.00
Prime Change Order 007		0.00
Prime Change Order 008		136,730.00
Prime Change Order 009		0.00
Prime Change Order 010		0.00
Prime Change Order 011		0.00
Prime Change Order 012		0.00
Prime Change Order 013		0.00
Prime Change Order 014		0.00
Prime Change Order 015		0.00
Prime Change Order 016		0.00
Prime Change Order 017		-164,790.00
Prime Change Order 018		20,000.00
Prime Change Order 019		0.00
Prime Change Order 020		0.00
Prime Change Order 021		0.00
Prime Change Order 022		2,019,824.00
Prime Change Order 023		0.00
Prime Change Order 024		0.00
Prime Change Order 025		0.00
Prime Change Order 026		0.00
Prime Change Order 027		-32,350.00
Prime Change Order 028		0.00

Prime Change Order 029		0.00
Prime Change Order 030		0.00
Prime Change Order 031		0.00
Prime Change Order 032		0.00
Prime Change Order 033		0.00
Prime Change Order 034		0.00
Prime Change Order 035		0.00
Prime Change Order 036		0.00
Prime Change Order 037		-6,577.70
Current Contract Value		\$8,027,948.00

Contract Payment Status		
Period Ending	Amount Billed this Period	Amount Paid to Date
July 31, 2013	100,704.75	100,704.75
August 31, 2013	164,229.35	164,229.35
September 30, 2013	255,599.40	255,599.40
October 31, 2013	744,275.60	744,275.60
November 30, 2013	673,660.20	673,660.20
December 31, 2013	542,356.90	542,356.90
January 31, 2014	658,603.65	658,603.65
February 28, 2014	703,578.55	703,578.55
March 31, 2014	565,595.80	565,595.80
April 30, 2014	845,219.75	845,219.75
May 31, 2014	826,211.20	826,211.20
June 30, 2014	709,884.65	709,884.65
July 31, 2014	293,030.85	293,030.85
August 31, 2014	666,793.35	666,793.35
September 30, 2014	55,609.00	55,609.00
September 30, 2014 (Retainage)	209,816.00	209,816.00
October 31, 2014	1,042.00	1,042.00
January 6, 2015	11,737.00	
Total Billed and Paid to Date	\$8,027,948.00	\$8,016,211.00

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE	ADD&RENOVATION	01	AVALON THEATRE, PHASE 1					
	1-311	L	Superintendent	64,301	42,768		107,068.50	94,590	12,478.50
		LBD		43,724	16,830		60,554.34	64,321	3,766.86-
			COST CODE TOTAL	108,025*	59,598*		167,622.84*	158,911*	8,711.64*
	1-312	L	Field Superintendent					8,825	8,825.00-
		LBD						6,001	6,001.00-
			COST CODE TOTAL	0*	0*		.00*	14,826*	14,826.00-
	1-321	L	Field Engineer	35,200			35,200.00	55,407	20,207.00-
		LBD		23,936			23,936.00	38,547	14,610.82-
		LOT						1,280	1,279.50-
			COST CODE TOTAL	59,136*	0*		59,136.00*	95,233*	36,097.32-*
	1-361	E	Office Supplies					2,700	2,700.00-
		M		1,850	3,025		4,875.00	4,165	710.46
			COST CODE TOTAL	1,850*	3,025*		4,875.00*	6,865*	1,989.54-*
	1-365	M	Reprdetn - Shp Dwgs/Specs	5,215	7,496		12,711.00	9,801	2,910.36
	1-455	E	Survey					1,086	1,086.00-
		M		3,500			3,500.00	3,077	423.21
			COST CODE TOTAL	3,500*	0*		3,500.00*	4,163*	662.79-*
	1-460	E	Traffic Control - Flagman					1,296	1,296.00-
		L						1,693	1,693.00-
		LBD						1,263	1,263.44-
		LOT						165	165.00-
		M		6,552	7,052		13,604.00	8,518	5,085.73
			COST CODE TOTAL	6,552*	7,052*		13,604.00*	12,936*	668.29*
	1-500	M	Office Trailer	1,500	1,500-				
	1-503	E	Storage Van					3,637	3,637.00-
		M		500	900		1,400.00		1,400.00
			COST CODE TOTAL	500*	900*		1,400.00*	3,637*	2,237.00-*
	1-511	M	Temporary Power	3,600	3,600-			38	38.27-
	1-517	M	Temporary Phone	3,450	1,725		5,175.00	4,261	913.62
	1-518	M	Drinking Water	1,050	750		1,800.00	1,224	575.73
	1-523	M	Temporary Toilet	3,060	30		3,090.00	3,560	470.00-
	1-565	E	Temporary Fence					4,670	4,670.00-
		L		3,050			3,050.00	1,356	1,694.50
		LBD		2,074			2,074.00	1,116	958.46
		LOT						285	285.00-
		M		1,525	2,988		4,513.00	54	4,458.76
			COST CODE TOTAL	6,649*	2,988*		9,637.00*	7,480*	2,156.72*
	1-580	M	Job Sign	384			384.00	402	18.00-
	1-588	E	Temporary Heat Fuel					2,430	2,430.00-
		L		1,050			1,050.00	200	850.50
		LBD		714			714.00	136	578.34
		LTH						416	416.15-
		M		10,500	7,264-		3,236.00	60	3,175.55
			COST CODE TOTAL	12,264*	7,264-*		5,000.00*	3,242*	1,758.24*
	1-710	E	Safety					1,375	1,375.00-
		L						967	967.00-
		LBD						765	764.66-
		LOT						158	157.50-
		LTH						564	563.64-
		M		6,402			6,402.00	2,219	4,182.97
			COST CODE TOTAL	6,402*	0*		6,402.00*	6,047*	355.17*

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON	THEATRE	ADD&RENOVATION	01	AVALON THEATRE, PHASE 1				
	1-741	M	Final Clean	7,317	1,133		8,450.00	5,246	3,203.59
		S			8,000		8,000.00	8,000	
			COST CODE TOTAL	7,317*	9,133*		16,450.00*	13,246*	3,203.59*
	1-742	E	Weekly Clean					285	285.00-
		L		5,456			5,455.80	2,878	2,577.80
		LBD		3,710			3,709.94	2,075	1,635.09
		LOT						173	173.25-
		LTH						4,172	4,171.99-
		M		1,754			1,753.65	1,366	387.97
			COST CODE TOTAL	10,919*	0*		10,919.39*	10,949*	29.38*
	1-743	M	Dump Fees	4,725	400		5,125.00	6,690	1,565.00-
	1-831	E	Pickup Rent					10,500	10,500.00-
		M		9,725	4,388		14,113.00	15	14,098.17
			COST CODE TOTAL	9,725*	4,388*		14,113.00*	10,515*	3,598.17*
	1-832	M	Equipment Maintenance	900	450		1,350.00	391	959.29
	1-833	E	Equipment Rental					6,580	6,580.00-
		M		4,050	4,202		8,252.49	1,316	6,936.52
			COST CODE TOTAL	4,050*	4,202*		8,252.49*	7,896*	356.52*
	1-834	E	Misc Small Tools					1,035	1,035.00-
		M		2,250	1,625		3,875.00	2,074	1,801.30
			COST CODE TOTAL	2,250*	1,625*		3,875.00*	3,109*	766.30*
	1-835	M	Gas & Oil	4,050			4,050.00	8,203	4,152.70-
	1-901	E	Temporary Scaffold Ctwlk					999	999.00-
		L						1,288	1,288.00-
		LBD						1,212	1,212.44-
		LOT						495	495.00-
		LTH						664	663.72-
		M		13,225	10,827		24,052.00	19,212	4,839.58
			COST CODE TOTAL	13,225*	10,827*		24,052.00*	23,871*	181.42*
	1-902	E	Temporary Scaffold Mezzn					333	333.00-
		L						1,018	1,018.00-
		LBD						692	692.24-
		LTH						2,197	2,196.63-
		M		6,500			6,500.00	579	5,921.18
			COST CODE TOTAL	6,500*	0*		6,500.00*	4,819*	1,681.31*
	1-903	L	Tempory Plnks CLG Cavity					869	868.50-
		LBD						591	590.58-
		LTH						569	568.91-
		M		3,500			3,500.00	677	2,823.40
			COST CODE TOTAL	3,500*	0*		3,500.00*	2,705*	795.41*
			DIVISION TOTAL	290,298*	102,225*		392,523.72*	425,018*	32,494.22*
	2-007	E	Site Clean Up					7,175	7,175.00-
		L						753	752.50-
		LBD						512	511.70-
		LTH						200	200.15-
		M		2,840	250		3,090.00	113	2,976.59
			COST CODE TOTAL	2,840*	250*		3,090.00*	8,753*	5,662.76*
	2-200	M	Dem/Erth/Utlits - SKYLINE					505	505.21-
		S		87,433	28,765		116,197.64	116,198	
			COST CODE TOTAL	87,433*	28,765*		116,197.64*	116,703*	505.21*
	2-218	E	Bldn Dem - ORION ENVIRON					579	579.00-
		L						7,295	7,295.00-
		LBD						6,208	6,207.55-

Job	Cost Code	Cat	Description	Original Estimate	Approvd Estmt Changes	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE ADD&RENOVATION	01						
	2-218	LOT	Bldn Dem - ORION ENVIRON				1,834	1,833.75-
		LTH					8,981	8,981.43-
		M			28,811	28,811.00	6,190	22,621.05
		S			77,818	71,413.51	71,414	
			COST CODE TOTAL	77,818*	22,407*	100,224.51*	102,500*	2,275.68~*
	2-220	L	Site Demo				1,096	1,096.00-
		LBD					776	775.88-
		LOT					45	45.00-
		LTH					232	231.78-
		M			3,928	3,928.00	961	2,967.34
			COST CODE TOTAL	3,928*	0*	3,928.00*	3,109*	818.68*
	2-221	L	Sawcut Alley				509	509.00-
		LBD					346	346.12-
		M			1,615	1,615.00	266	1,349.25
			COST CODE TOTAL	1,615*	0*	1,615.00*	1,121*	494.13*
	2-222	M	Donor Brick	1,000		1,000.00	995	5.00
	2-225	E	Lower Mezz Ceiling Demo				858	858.00-
		L					1,943	1,942.50-
		LBD					1,712	1,711.56-
		LOT					575	574.50-
		M			5,259	5,259.00	961	4,298.43
			COST CODE TOTAL	0*	5,259*	5,259.00*	6,047*	788.13~*
	2-230	L	Patch Pavement				514	514.00-
		LBD					350	349.52-
		M			1,600	1,600.00	142	1,457.85
			COST CODE TOTAL	1,600*	0*	1,600.00*	1,006*	594.33*
	2-231	M	Core @ Water Service	1,000		1,000.00	695	305.00
	2-311	L	Vapor Barrier				700	699.50-
		LBD					534	534.31-
		LOT					86	86.25-
		M			2,937	2,937.00	1,834	1,103.34
			COST CODE TOTAL	2,937*	0*	2,937.00*	3,154*	216.72~*
	2-465	S	Helc Prs - FLATTOP STEEL	111,300		111,300.00	111,300	
	2-472	M	Foundation Underpin	1,300	1,300-			
			DIVISION TOTAL	292,771*	55,380*	348,151.15*	355,383*	7,231.36~*
	3-001	M	Cncrt Matrls -WHITEWATER		2,000	2,000.00	815	1,184.57
		MPA			77,210	80,335.00	95,380	15,044.93-
			COST CODE TOTAL	77,210*	5,125*	82,335.00*	96,195*	13,860.36~*
	3-003	E	Layout & Clean Up				1,435	1,435.00-
		L					3,159	3,158.50-
		LBD					2,547	2,546.60-
		LOT					587	586.50-
		LTH					806	805.95-
		M			5,748	7,529.00	113	7,415.79
			COST CODE TOTAL	5,748*	1,781*	7,529.00*	8,646*	1,116.76~*
	3-005	S	Concret - M & M CONCRETE	123,246	31,721	154,967.00	154,967	
	3-010	L	Concrete Patch Back				180	180.00-
		LBD					248	247.86-
		LOT					185	184.50-
		LTH					374	374.00-
		M			3,492	3,492.00	2,045	1,447.42
			COST CODE TOTAL	0*	3,492*	3,492.00*	3,031*	461.06*
	3-015	E	Miscellaneous Equipment				1,834	1,834.00-

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE	ADD&RENOVATION	01	AVALON THEATRE, PHASE 1					
	3-015	M	Miscellaneous Equipment	10,200		6,500-	3,700.00	2,580	1,120.31
			COST CODE TOTAL	10,200*		6,500-*	3,700.00*	4,414*	713.69-*
	3-200	M	Reinforcing Stl ~ BARTON			1,550	1,550.00	2,121	571.33-
		MPA		45,835		1,195	47,030.00	47,030	
			COST CODE TOTAL	45,835*		2,745*	48,580.00*	49,151*	571.33-*
	3-201	L	Rebar Allowance					42	42.00-
		LBD						29	28.56-
		M		1,500			1,500.00	1,213	286.91
			COST CODE TOTAL	1,500*		0*	1,500.00*	1,284*	216.35*
	3-250	L	Rigid Insulation					1,300	1,299.50-
		LBD						884	883.66-
		LTH						3,392	3,392.34-
		M		17,962		975-	16,987.00	10,933	6,054.34
			COST CODE TOTAL	17,962*		975-*	16,987.00*	16,508*	478.84*
	3-251	L	Sealants/Exp Filler					136	136.00-
		LBD						92	92.48-
		M		800			800.00	357	442.62
			COST CODE TOTAL	800*		0*	800.00*	586*	214.14*
	3-371	L	Housekeeping Pads					286	286.00-
		LBD						289	289.34-
		LOT						140	139.50-
		LTH						216	215.98-
		M		1,400			1,400.00		1,400.00
			COST CODE TOTAL	1,400*		0*	1,400.00*	931*	469.18*
			DIVISION TOTAL	283,901*		37,389*	321,290.00*	335,713*	14,422.57-*
	4-050	S	M - MARKLEY CONSTRUCTION	246,897		15,890-	231,006.78	231,007	
	4-053	M	CMU Infill for Elevator			10,219	10,219.00	8,062	2,157.31
	4-054	M	Masonry Back-Charge			33,710	33,710.22	27,317	6,393.48
	4-060	E	Masonry Winter Protectn					1,770	1,770.00-
		L						1,804	1,804.00-
		LBD						2,285	2,285.48-
		LOT						1,557	1,557.00-
		LTH						1,986	1,985.91-
		M				3,226	3,226.00	4,581	1,354.75-
			COST CODE TOTAL	0*		3,226*	3,226.00*	13,983*	10,757.14-*
			DIVISION TOTAL	246,897*		31,265*	278,162.00*	280,368*	2,206.35-*
	5-040	L	Miscellaneous Steel					102	102.00-
		LBD						69	69.36-
		M		4,183		4,754	8,936.77	10,045	1,108.48-
			COST CODE TOTAL	4,183*		4,754*	8,936.77*	10,217*	1,279.84-*
	5-050	E	Structural Steel Engrng					150	150.00-
	5-500	L	Steel - ROCKY MTN STEEL					2,075	2,075.00-
		LBD						1,809	1,808.80-
		LOT						585	585.00-
		LTH						832	832.28-
		M				21,375	21,375.00	15,885	5,490.31
		S		506,288		115,737	622,025.00	622,025	
			COST CODE TOTAL	506,288*		137,112*	643,400.00*	643,211*	189.23*
	5-501	L	Crane Time & Layout					997	996.50-
		LBD						1,037	1,036.66-
		LOT						528	528.00-

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE ADD&RENOVATION	01		AVALON THEATRE, PHASE 1					
	5-501	M	Crane Time & Layout	15,000	10,879-		4,121.00	148	3,973.39
			COST CODE TOTAL	15,000*	10,879-*		4,121.00*	2,709*	1,412.23*
	5-502	L	Steel Layout					2,298	2,298.00-
		LBD						1,881	1,880.88-
		LOT						468	468.00-
		LTH						3,145	3,144.78-
		M		5,280	3,170		8,450.00	58	8,391.84
			COST CODE TOTAL	5,280*	3,170*		8,450.00*	7,850*	600.18*
	5-720	M	Ornamental Railings	87,845	87,845-				
			DIVISION TOTAL	618,596*	46,312*		664,907.77*	664,136*	771.80*
	6-100	E	Rough Carpentry					45	45.00-
		L			1,000		1,000.00	2,024	1,023.75-
		LBD						1,633	1,632.94-
		LOT						378	377.63-
		LTH						2,522	2,522.34-
		M		5,607	7,940		13,546.75	10,169	3,377.42
		S			66,854		66,854.00	66,854	
			COST CODE TOTAL	5,607*	75,794*		81,400.75*	83,625*	2,224.24-*
	6-101	E	Carpentry Layout					1,269	1,269.00-
		L		12,690	2,500		15,190.00	5,368	9,822.50
		LBD						3,979	3,979.36-
		LOT						485	484.50-
		LTH						3,930	3,929.60-
		M			4,628		4,628.00	3,710	917.79
			COST CODE TOTAL	12,690*	7,128*		19,818.00*	18,740*	1,077.83*
	6-110	L	Rough Carpentry Mezzanin					378	378.00-
		LBD						386	385.56-
		LOT						189	189.00-
		LTH						759	758.52-
		M		72,719	34,321-		38,398.00	33,481	4,917.29
			COST CODE TOTAL	72,719*	34,321-*		38,398.00*	35,192*	3,206.21*
	6-113	L	Roof Carpentry	3,599	3,000-		599.00	357	242.00
		LBD						478	478.38-
		LOT						347	346.50-
		LTH						1,433	1,432.80-
		M		4,122	3,009-		1,113.00	1,320	206.85-
			COST CODE TOTAL	7,721*	6,009-*		1,712.00*	3,935*	2,222.53-*
	6-115	L	Stage Floor Extension					216	216.00-
		LBD						220	220.32-
		LOT						108	108.00-
		M		6,005	3,861-		2,144.00	767	1,377.26
			COST CODE TOTAL	6,005*	3,861-*		2,144.00*	1,311*	832.94*
	6-116	M	1st Floor Stepped Seating	5,753	3,195-		2,558.00	2,421	136.55
	6-117	L	Projector Enclosure Mlti					168	168.00-
		LBD						157	157.08-
		LOT						63	63.00-
		M			500		500.00		500.00
			COST CODE TOTAL	0*	500*		500.00*	388*	111.92*
	6-200	S	Millwork - OSBURN & SONS	54,400	38,602		93,002.00	93,002	
	6-210	L	Finish Carpentry					5,835	5,835.00-
		LBD						4,036	4,036.14-
		LOT						101	100.50-
		LTH						169	168.56-
		M		5,424	8,180		13,604.00	1,439	12,165.01
			COST CODE TOTAL	5,424*	8,180*		13,604.00*	11,579*	2,024.81*

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE ADD&RENOVATION	01							
	6-300	F	Sound Booth Cabinet					1,850	1,850.00-
		M			1,850		1,850.00		1,850.00
			COST CODE TOTAL	0*	1,850*		1,850.00*	1,850*	.00*
			DIVISION TOTAL	170,319*	84,668*		254,986.75*	252,043*	2,943.49*
	7-100	M	Waterprf Salnts - SUMMIT	9,101	8,851-		250.00		250.00
		S		10,224	25,359		35,583.00	35,583	
			COST CODE TOTAL	19,325*	16,508*		35,833.00*	35,583*	250.00*
	7-101	L	Neg Sid MAYS CONSTR SPEC					1,438	1,437.50-
		LBD						1,227	1,227.40-
		LOT						368	367.50-
		M		5,000	5,000-				
		S			8,795		8,795.00	8,795	
			COST CODE TOTAL	5,000*	3,795*		8,795.00*	11,827*	3,032.40-*
	7-110	E	Dampproofing/Insulation					37	37.00-
		M		1,120	694-		426.00	393	33.30
			COST CODE TOTAL	1,120*	694-*		426.00*	430*	3.70-*
	7-201	M	Tyvek Air Barrier	10,208	10,208-				
	7-210	LTH	Bldg Insulatn - ACCURATE					174	173.86-
		S		7,570	15,037		22,607.00	22,607	
			COST CODE TOTAL	7,570*	15,037*		22,607.00*	22,781*	173.86-*
	7-222	L	2" Duct Insulation					732	731.50-
		LBD						851	850.85-
		LOT						520	519.75-
		LTH						938	937.66-
		M		3,952	803		4,755.00	1,195	3,559.92
			COST CODE TOTAL	3,952*	803*		4,755.00*	4,235*	520.16*
	7-270	L	Firestopping					2,688	2,688.00-
		LBD						1,950	1,949.73-
		LOT						179	179.25-
		M		2,500	3,562		6,062.00	1,786	4,276.45
			COST CODE TOTAL	2,500*	3,562*		6,062.00*	6,603*	540.53-*
	7-410	S	St - QUALITY STUCCO WEST	23,339	14,129		37,468.00	37,468	
	7-411	L	Existing Plaster					1,292	1,291.50-
		LBD						878	878.22-
		LTH						980	979.76-
		M		15,380	12,066-		3,314.00		3,314.00
			COST CODE TOTAL	15,380*	12,066-*		3,314.00*	3,149*	164.52*
	7-412	L	Met Wal Pan ENG WALL SYS					261	260.50-
		LBD						699	699.38-
		LOT						768	768.00-
		M		133,400	130,600-		2,800.00	67	2,733.35
		S			136,768		136,768.00	136,768	
			COST CODE TOTAL	133,400*	6,168*		139,568.00*	138,563*	1,005.47*
	7-414	M	Inslt & Furr @ Metl Panl	18,250	18,250-				
	7-415	M	Soffit Vents	993			993.00	393	599.77
	7-416	L	Miscellaneous Flashing					390	389.75-
		LBD						514	513.66-
		LOT						366	365.63-
		M		234	4,631		4,865.00	4,024	840.62
			COST CODE TOTAL	234*	4,631*		4,865.00*	5,293*	428.42-*
	7-500	M	Rfn & Sht Met - ALLSTEEL		863		863.00	427	436.41
		S		76,616	29,244		105,860.00	105,860	
			COST CODE TOTAL	76,616*	30,107*		106,723.00*	106,287*	436.41*

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE	ADD&RENOVATION	01	AVALON THEATRE, PHASE 1					
	7-505	S	Avaln Re-Rf - TL ROOFING		47,178		47,178.00	47,178	
	7-722	M	Roof Hatch	1,182			1,182.00	1,270	87.74-
	7-920	L	Expansion Joints					998	997.50-
		LBD						678	678.30-
		LTH						469	468.83-
		M		12,861	12,861-				
			COST CODE TOTAL	12,861*	12,861*-*	.00*		2,145*	2,144.63-*
			DIVISION TOTAL	331,930*	87,839*		419,769.00*	423,204*	3,434.95-*
	8-050	E	Metal Dr & Frms MCKINNEY					40	40.00-
		L		5,102	6,816		11,918.00	12,719	800.50-
		LBD						9,019	9,019.10-
		LOT						545	544.88-
		LTH						1,749	1,749.28-
		M						380	380.23-
		MPA		100,010	87,511		187,521.00	187,521	
			COST CODE TOTAL	105,112*	94,327*		199,439.00*	211,973*	12,533.99-*
	8-305	M	Access Doors	451	450		901.00	485	415.60
	8-400	M	Alumn Wall Syst -BRATTON		492		492.00		492.00
		S		206,797	110,364		317,161.00	317,161	
			COST CODE TOTAL	206,797*	110,856*		317,653.00*	317,161*	492.00*
	8-401	E	Railing @ Bale 200					35	35.00-
		M			2		2.00		2.00
			COST CODE TOTAL	0*	2*		2.00*	35*	33.00-*
			DIVISION TOTAL	312,360*	205,635*		517,995.00*	529,654*	11,659.39-*
	9-004	L	Finishes Layout	7,170	12,512		19,682.00	7,456	12,226.50
		LBD						6,301	6,300.88-
		LOT						1,811	1,810.50-
		LTH						4,841	4,840.92-
			COST CODE TOTAL	7,170*	12,512*		19,682.00*	20,408*	725.80-*
	9-005	M	Finishes Dumpster	3,000			3,000.00	4,410	1,410.00-
	9-251	S	Drywll/Mt Std - TP ACOUS	257,174	386,233		643,407.37	643,407	.58
	9-309	M	BACK CHARGE FLOORZ		9,699		9,698.65	10,504	805.47-
	9-310	S	Ceramic & Carpt - FLOORZ	55,995	102,384		158,379.35	158,379	
	9-311	S	Resilient Fling - ABBEY		28,188		28,188.00	28,188	
	9-530	M	Acoustical Wall Panels	18,463	18,463-				
		S			20,444		20,444.00	20,444	
			COST CODE TOTAL	18,463*	1,981*		20,444.00*	20,444*	.00*
	9-531	E	Acoustical Spray Ceilngs					35	35.00-
		L						357	357.00-
		LBD						243	242.76-
		LTH						221	221.24-
		M		6,564	2,725-		3,839.00	440	3,399.34
			COST CODE TOTAL	6,564*	2,725-*		3,839.00*	1,296*	2,543.34*
	9-625	M	Floor Moistur Tst & Cntrl		10,998		10,998.00	612	10,386.06
	9-900	S	Pnt & Wal Cv RJ PAINTING	105,691	1,173-		104,518.00	104,518	
	9-901	M	Misc Painting		19,666		19,666.00	696	18,970.43
			DIVISION TOTAL	454,057*	567,763*		1,021,820.37*	992,861*	28,959.14*

Job	Cost Code	Cat	Description	Original Estimate	Approved Changes	Estmt	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON	THEATRE	ADD&RENOVATION	01	AVALON THEATRE, PHASE 1				
	10-165	M	Misc Tilet Accssrs - TIMB			935	935.00	100	835.00
		S				25,450	25,450.00	25,450	
			COST CODE TOTAL	0*	26,385*		26,385.00*	25,550*	835.00*
	10-300	L	Acrovyn Wall Protect					1,264	1,264.00-
		LBD						1,115	1,114.52-
		LOT						375	375.00-
		M		2,712	2,533		5,245.00	1,563	3,681.56
			COST CODE TOTAL	2,712*	2,533*		5,245.00*	4,317*	928.04*
	10-500	E	Storage Cases					42	41.50-
		M			1,463		1,463.00	1,802	339.00-
			COST CODE TOTAL	0*	1,463*		1,463.00*	1,844*	380.50-*
	10-520	M	Fire Extinguishers		1,700		1,700.00	1,323	376.67
			DIVISION TOTAL	2,712*	32,081*		34,793.00*	33,034*	1,759.21*
	11-062	S	Acousticl Drps - DINCLER	29,423			29,423.00	29,423	
	12-490	S	Wndw Trtmnt - AMBASSADOR	2,760	2,760-				
	12-610	S	Theatre Seating - NORCON	159,180	159,180-				
			DIVISION TOTAL	161,940*	161,940-*		.00*	0*	.00*
	14-240	S	Elevator - OTIS		122,200		122,200.00	122,200	
	15-004	L	Mechanical Layout	5,600	3,600		9,200.00	5,263	3,937.00
		LBD						4,789	4,789.07-
		LOT						1,780	1,779.75-
		LTH						3,629	3,629.41-
		M			6,141		6,141.00	155	5,986.20
			COST CODE TOTAL	5,600*	9,741*		15,341.00*	15,616*	275.03-*
	15-010	L	Mechanical Rough-In					1,180	1,180.00-
		LBD						888	888.08-
		LOT						126	126.00-
		LTH						169	168.56-
		M			5,135		5,135.00	760	4,375.00
			COST CODE TOTAL	0*	5,135*		5,135.00*	3,123*	2,012.36*
	15-051	S	HVAC - AIR TECH	893,780	16,038		909,818.45	909,818	
	15-052	S	Mechanical - 2H		256,061		256,061.00	256,061	
	15-055	S	Plumbing - GMMI	345,511	250,959		596,470.00	596,470	
	15-056	L	Seismic Sound & Vibratn					2,368	2,368.00-
		LBD						1,700	1,700.00-
		LOT						132	132.00-
		LTH						895	895.48-
		M			12,265		12,264.55	1,493	10,771.17
			COST CODE TOTAL	0*	12,265*		12,264.55*	6,589*	5,675.69*
	15-300	S	Fire Supressn - DYNAMIC	147,600	15,998		163,598.00	163,598	
			DIVISION TOTAL	1,392,491*	566,197*		1,958,688.00*	1,951,275*	7,413.02*
	16-004	L	Electrical Layout					3,712	3,712.00-
		LBD						2,630	2,630.24-
		LOT						156	156.00-
		LTH						2,028	2,028.04-
		M		7,000	3,370		10,370.00		10,370.00
			COST CODE TOTAL	7,000*	3,370*		10,370.00*	8,526*	1,843.72*
	16-050	M	Electrical - EC ELECTRIC		2,475		2,475.00	1,475	1,000.00

Job	Cost Code	Cat	Description	Original Estimate	Approvd Estmt Changes	Total Estimate	JTD Cost	JTD VARIANCE
10-13-025	AVALON THEATRE ADDRENOVATION	01		AVALON THEATRE, PHASE 1				
	16-050	S	Electrical - EC ELECTRIC	650,802	300,334	951,136.00	951,136	
			COST CODE TOTAL	650,802*	302,809*	953,611.00*	952,611*	1,000.00*
	16-800	M	Audio Visual	123,046	123,046-			
		S			100,079	100,079.00	100,079	
			COST CODE TOTAL	123,046*	22,967-*	100,079.00*	100,079*	.00*
			DIVISION TOTAL	780,848*	283,212*	1,064,060.00*	1,061,216*	2,843.72*
	19-400	M	Builders Risk	5,079	1,380	6,458.71	11,565	5,106.29-
	19-500	OTH	General Liability Insrnc	25,080	9,639	34,719.02	32,268	2,451.52
	19-700	M	Bond	37,957	16,661	54,617.64	46,689	7,928.64
			DIVISION TOTAL	68,116*	27,679*	95,795.37*	90,522*	5,273.87*
	21-100	OTH	Contingency	231,921	185,681-	46,239.92		46,239.92
	21-200	M	Force Account	200,000	218,177-	18,177.13-		18,177.13-
	21-210	M	Contaminated Sls - Ptrlm	50,000	50,000-			
	21-220	M	Contamintd Sls - Mill Tl	25,000	25,000-			
			DIVISION TOTAL	506,921*	478,858-*	28,062.79*	0*	28,062.79*
	22-100	OTH	Fee	326,200	155,698	481,897.78		481,897.78
	EXTRA/PHASE TOTAL			6,269,780*	1,764,746*	8,034,525.70*	7,546,050*	488,475.98*
GRAND TOTALS				6,269,780*	1,764,746*	8,034,525.70*	7,546,050*	488,475.98*