

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. 4143

**AN ORDINANCE ANNEXING TERRITORY TO THE
CITY OF GRAND JUNCTION, COLORADO**

REIGAN/PATTERSON/TEK/MORARIO ANNEXATION NO. 1

APPROXIMATELY 1.03 ACRES

**LOCATED IN THE 22 ROAD AND H ROAD RIGHTS-OF-WAY AND INCLUDES A
SMALL PORTION OF 824 22 ROAD**

WHEREAS, on the 15th day of October, 2007, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

WHEREAS, a hearing on the petition was duly held after proper notice on the 19th day of November, 2007; and

WHEREAS, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY
OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

REIGAN/PATTERSON/TEK/MORARIO ANNEXATION #1

A certain parcel of land located in the Southwest Quarter of the Southwest Quarter (SW1/4 SW1/4) of Section 30, Township 1 North, Range 1 West, of the Ute Meridian, County of Mesa, State of Colorado, Being more particularly described as follows:

The West 30 feet AND the South 30 feet of the West 210 feet of the SW1/4 SW1/4 of said Section 30.

Be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the 15th day of October, 2007 and ordered published.

ADOPTED the 19th day of November, 2007.

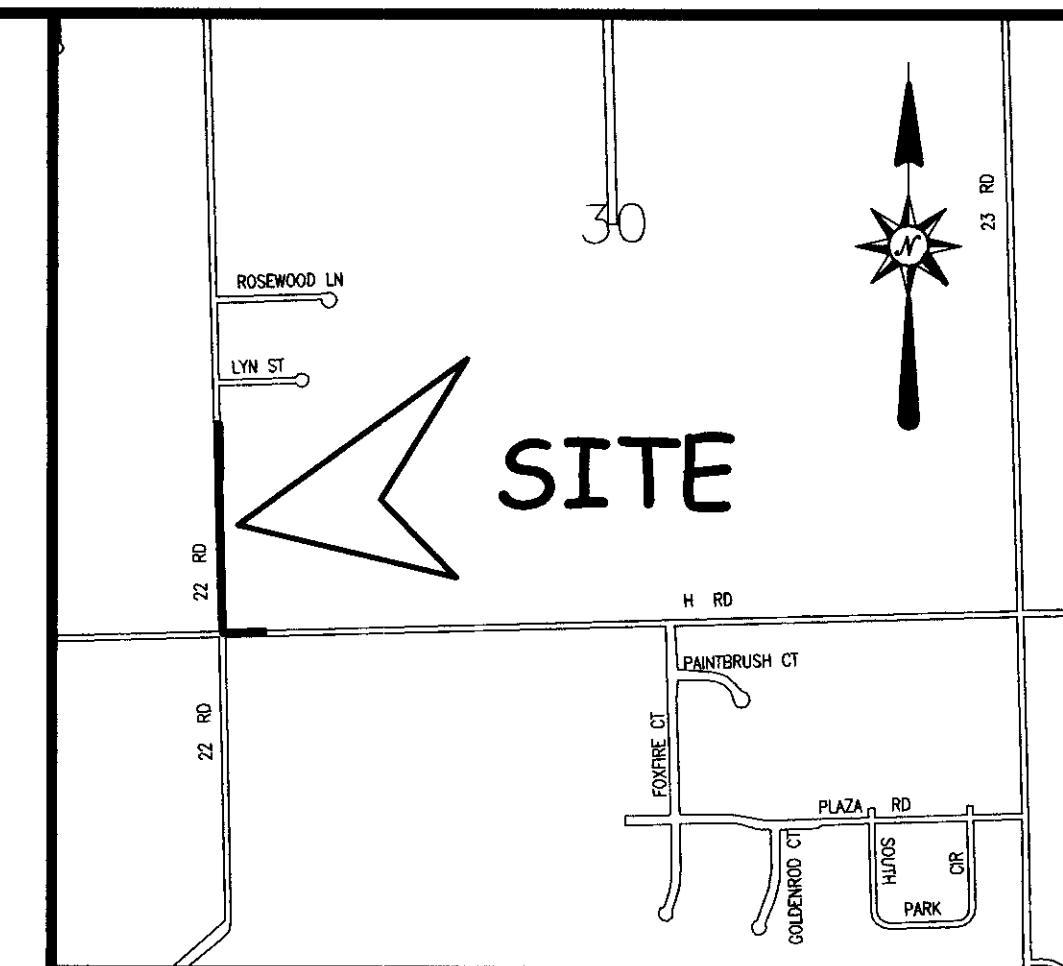
Attest:

/s/ James J. Doody
President of the Council

/s/ Stephanie Tuin
City Clerk

REIGAN/PATTERSON/TEK/MORARIO ANNEXATION NO. 1

SITUATE IN THE SW 1/4 OF THE SW 1/4 OF SECTION 30,
TWP 1N, RGE 1W, U.M., COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE

LEGAL DESCRIPTION

A certain parcel of land located in the Southwest Quarter of the Southwest Quarter (SW1/4 SW1/4) of Section 30, Township 1 North, Range 1 West, of the Ute Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

The West 30 feet AND the South 30 feet of the West 210 feet of the SW1/4 SW1/4 of said Section 30.

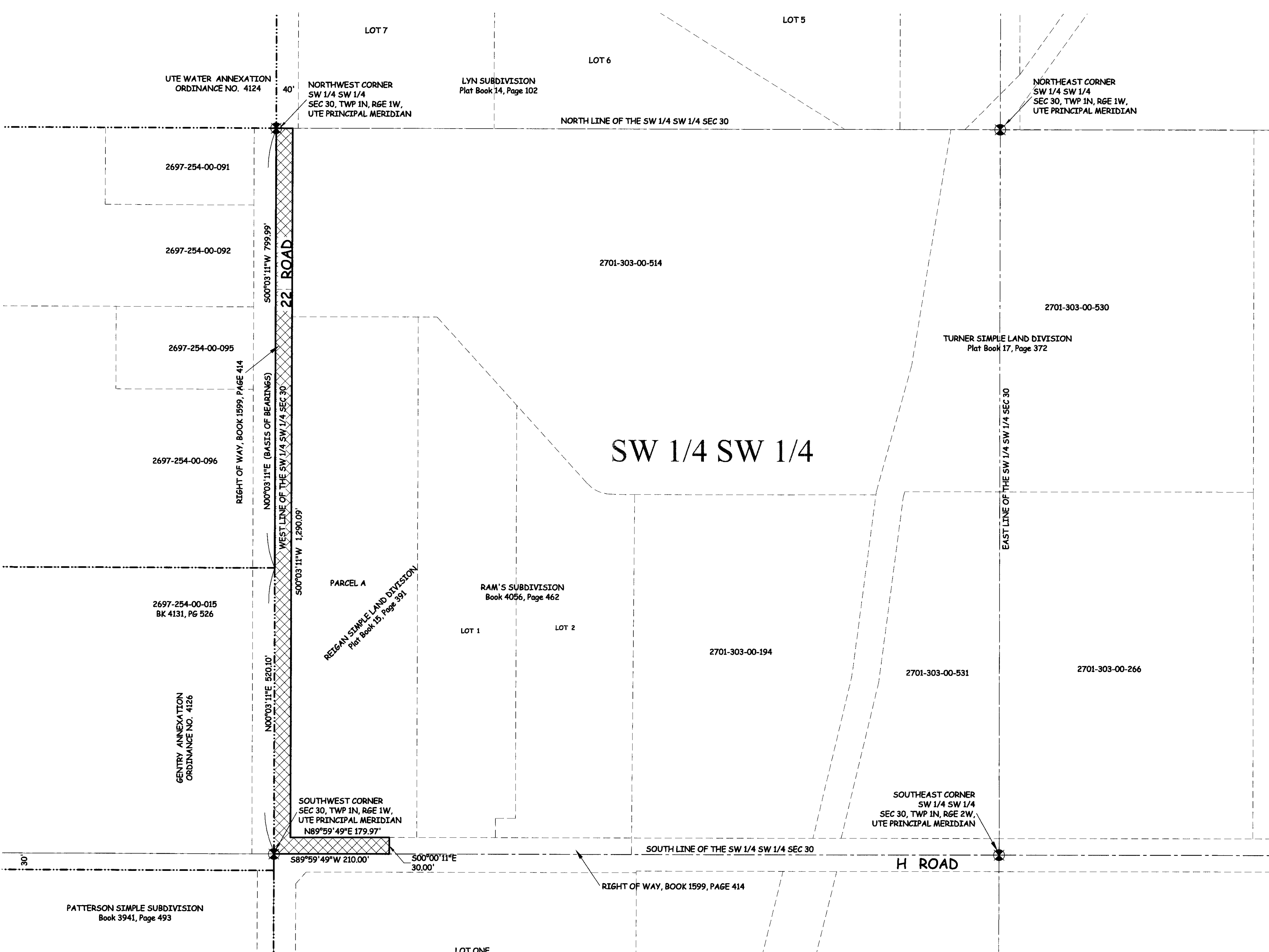
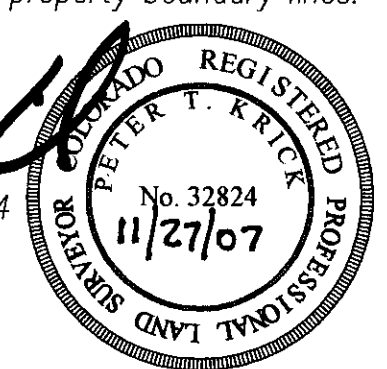
ABBREVIATIONS

P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
SEC.	SECTION
TWP.	TOWNSHIP
RGE.	RANGE
U.M.	UTE MERIDIAN
NO.	NUMBER
SQ. FT.	SQUARE FEET
∠	CENTRAL ANGLE
RAD.	RADIUS
AL	ARC LENGTH
CHL	CHORD LENGTH
CHB	CHORD BEARING
BLK	BLOCK
PB	PLAT BOOK
BK	BOOK
PG	PAGE

Notice:
This drawing has been determined to be of sufficient clarity and legibility for recording purposes. It may bear the stamp "POOR QUALITY ORIGINAL DOCUMENT PROVIDED FOR REPRODUCTION" from the Mesa County Clerk and Recorder's Office. This stamp, if it appears hereon, is an indication of the inability of the Mesa County Clerk and Recorder's Office to create a scanned image that is of comparable quality to the original document.

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

Peter T. Krick
PETER T. KRICK, PLS No. 32824
Professional Land Surveyor for the
City of Grand Junction
DATE: November 27, 2007

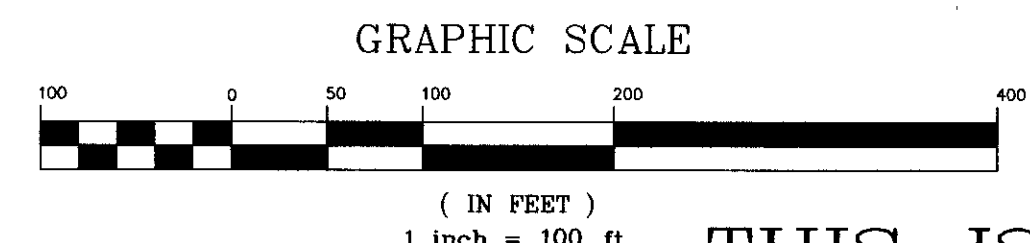


AREA OF ANNEXATION

CONTIGUOUS PERIMETER	520.10 FT.
ANNEXATION PERIMETER	3,060.15 FT
AREA IN SQUARE FEET	45,002.20***
AREA IN ACRES	1.033

LEGEND

ANNEXATION BOUNDARY	---
EXISTING CITY LIMITS	- - - - -



ORDINANCE NO. 4143
EFFECTIVE DATE December 21, 2007

THIS IS NOT A BOUNDARY SURVEY

Notice:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

DRAWN BY	MG	DATE	9-17-2007
DESIGNED BY		DATE	
CHECKED BY	P.T.K.	DATE	
APPROVED BY		DATE	



PUBLIC WORKS
AND UTILITIES
REAL ESTATE DIVISION

REIGAN/PATTERSON/TEK/MORARIO
ANNEXATION NO. 1
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