

To access the Agenda and Backup Materials electronically, go to www.gjcity.org



**PLANNING COMMISSION WORKSHOP AGENDA
CITY HALL AUDITORIUM
CITY HALL, 250 N 5TH STREET
THURSDAY, NOVEMBER 7, 2024 - 12:00 PM
Attend virtually: bit.ly/GJ-PCW-2024**

Call to Order - 12:00 PM

Other Business

1. CMU ADU Design Competition Presentation & Scoring
2. Discussion Regarding Zone District Setbacks in the Zoning and Development Code

Adjournment



Grand Junction Planning Commission

Workshop Session

Item #1.

Meeting Date: November 7, 2024
Presented By: Ashley Chambers, Housing Manager
Department: Community Development
Submitted By: Ashley Chambers, Housing Manager

Information

SUBJECT:

CMU ADU Design Competition Presentation & Scoring

RECOMMENDATION:

EXECUTIVE SUMMARY:

CMU Design Students will present their final approved ADU designs to Planning Commissioners for review and scoring.

BACKGROUND OR DETAILED INFORMATION:

Accessory Dwelling Units (ADUs) play a crucial role in addressing housing shortages by providing affordable and flexible living spaces and increasing housing options within existing neighborhoods. The City of Grand Junction has been actively promoting ADUs as part of its implementation of the 2021 Adopted Housing Strategies and is partnering with CMU to encourage ADU construction through an innovative design competition. This initiative aims to boost ADU development and offer pre-approved ADU plans to simplify the process for local developers and homeowners.

Goals for the competition include:

- **Promote Innovation:** Encourage students to develop creation solutions that promote housing diversity.
- **Foster Sustainable and Affordable Design:** The competition emphasizes sustainability and affordability, addressing two of the biggest challenges in today's housing market.

- Provide Learning Opportunities: Students will gain hands-on experience in the planning process, site plan creation, and navigating the permitting process to bring their designs to completion.

The ADU designs will be further developed into a pre-approved plans that will be featured on the City of Grand Junction website and available for no cost for future use by local developers and homeowners.

As part of the competition, CMU students were invited to form groups to work together to formulate a site plan, ADU design, and narrative for submittal. A review committee of professionals in the field will provide planning site review for current planning and building standards to push students towards getting their ADU design "approved". Students with an approved plan will present their approved final designs to the Planning Commissioners for scoring of their design. After each presentation, Planning Commissioners can ask questions, provide additional feedback, etc.

After Planning Commissioners have provided their scores, staff will aggregate scores and a final award presentation and announcement of the winning designs will occur at the November 20, 2024 City Council Meeting.

In exchange for their hard work and approved designs, all teams with an approved design will receive a scholarship appropriate for their teams' scoring.

First Place (1 Team) - \$2500 scholarship (up to \$500 for each team member)

Second Place (1 Team) - \$1250 scholarship (up to \$250 for each team member)

Third Place (2 Teams) - \$500 scholarship (up to \$100 for each team member)

ADU Competition guidelines, criteria, review committee members, and projects are attached.

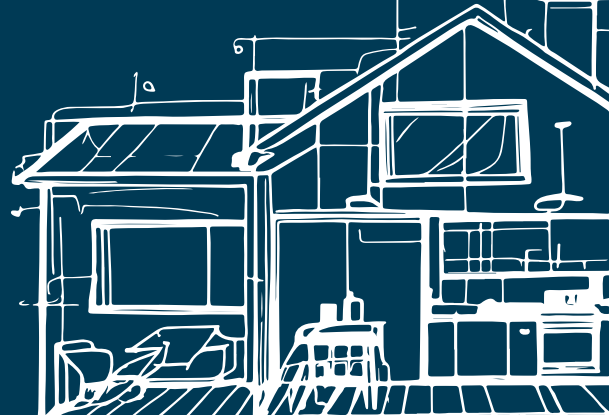
SUGGESTED MOTION:

Planning Commissioners will evaluate designs and provide scoring.

Attachments

1. ADU competition guidelines Fall 2024
2. ADU Design Competition

ACCESSORY DWELLING UNIT (ADU) competition guidelines



OVERVIEW

ADUs (Accessory Dwelling Units) play a crucial role in addressing housing shortages by providing affordable and flexible living spaces, increasing housing options within existing neighborhoods. The City of Grand Junction has been actively promoting ADUs as part of its housing strategy and is partnering with CMU to encourage ADU construction through an innovative design competition. This initiative aims to boost ADU development and offer pre-approved plans to simplify the process for homeowners.

The goals for the competition are to:

- **Promote Innovation:** Encourage students to develop creative solutions that promote housing diversity.
- **Foster Sustainable and Affordable Design:** The competition emphasizes sustainability and affordability, addressing two of the biggest challenges in today's housing market.
- **Provide Learning Opportunities:** Students will gain hands-on experience in the planning process, site plan creation, and navigating the permitting process to bring their designs to completion.

The ADU designs will be featured on the City of Grand Junction website, and will be available for future use by local developers and homeowners.



AWARD

The winners of the competition will be announced at the City Council Meeting on November 20, 2024 and will receive a team scholarship amount. Awards will be decided by the Planning Commission on November 7, 2024.

Teams will be awarded:



First Place - \$2500 (\$500 each)



Second Place - \$1250 (\$250 each)



Third Place - \$500 (\$100 each)

TIMELINE



Competition Launch - Planning Presentation - Sept. 25: 1-2:20 pm

Students will gain insight into the overall city planning process, discuss the competition and its expectations, and explore the city's ADU planning clearance process along with important considerations.

Jessica Johnsen, City Planner | Ashley Chambers, City Housing Manager | Madeline Robinson, City Planning Technician



Initial Submissions Due - Friday, October 23, 2024 by 10 pm

All documents need to be submitted for review to the Review Committee.



Submittal Review Period - October 23-November 4, 2024 at 6 pm

During the submittal review period, the review committee will assess the submissions, provide feedback, and recommend adjustments that need to be completed and resubmitted for final ADU approval. Suggested changes should be submitted within 24-48 hours to allow for final comments and review.



FINAL Documents & Submissions DUE, November 4, 2024 at 10 pm

All final documents and presentations must be submitted by 6 pm to ensure they are ready for the Planning Commission Scoring on November 7th.



Planning Commission Presentations/Scoring - November 7, 2024, 12:00-2:00 pm

Teams will present their final ADU design to the Planning Commissioners for scoring of their design. Planning Commissioners can ask questions, provide additional feedback, etc.



City Council AWARD presentation - November 20, 2024, 5:30 pm

City Council will present the final scholarships to ADU challenge teams.

SUBMISSION INSTRUCTIONS

All submissions (Initial, Review & Final) must be submitted to housing@gjcity.org.

See information in proposal submittal requirements.

Submittals received before October 23 will have a longer review timeline, allowing for more opportunities for changes, feedback, and adjustments.



PROPOSAL SUBMITTAL REQUIREMENTS

For Initial & Subsequent Submittals:

- **Planning Clearance Form Completed**
- **11x17 Site Plan (1-3 pages) that include:**
 - ADU rendering
 - Site Plan that meets Planning Guidelines
 - Floor Plan
 - Any orientation
 - PDF or jpeg format
- **Narrative:**
 - 1250 words max
 - Project Title
 - Summary of energy performance & sustainability of materials
 - Estimated cost of construction (max: \$200-250/sq ft up to \$250,000)
 - Attach a budget (excel) document; not included in word count
- **For Presentation:** (FINAL document submittal)
 - Up to 15 slides
 - 15 min max
 - Project Title Page
 - Powerpoint format
- **Summary Overview** (FINAL document submittal only)
 - 2-3 paragraphs max of overall project to be utilized in staff reports for Planning Commission & City Council

SITE CONDITIONS

Utilize the following resources (provided as attachments) to find the applicable site conditions:

- Accessing Zoning & Development Code
- Using the Development & Utility Maps (GIS Maps)
- ADU toolkit & Resources including:
 - Budget spreadsheet
 - Site Plan Checklist
- Fire Checklist (Additional Resources Section)
- Engineering Checklist (Additional Resources Section)
- Other things to consider:
 - Utility location (sewer, gas, electric, telephone line)
 - Complementary Design to region of the City
 - Construction Materials
 - Lot Coverage
 - Parking



DESIGN REQUIREMENTS

The ADU design must be detached and have the following elements:

Kitchen: Includes food storage, food prep space, sink with running water, and cooktop. Oven is optional.

Bathroom: Includes toilet, sink, and shower with running water

Sleeping area: minimum of one sleeping area (including studio designs)

Separate means of Egress & Ingress

All Electric Requirement: include electric heating/cooling, hot water equipment, and other in-unit appliances, ovens or ranges.

Proposal should meet all building and planning code requirements and receive approval from Planning & Building

DESIGN CRITERIA

REQUIREMENTS

ADU Size

Choose:
Small- 400-600 sq ft
Medium - 600-750 sq ft
Large - 750-900 sq ft

ADU Region/Type

Choose - one per group
Downtown 1 - Single Level
Downtown 2- 2nd story above garage
Riverside - Single Level

ADU Location

Must be located within City of Grand Junction limits.

Each team will need to pick a street, address, and parcel to utilize as your actual location for the proposed project. Choose something broad that could be easily applied to other homes in the area.

SCORING CRITERIA

The following scoring criteria will be used to evaluate design submissions in a way that reflects our community goals and values. All proposals and Submissions should be “pre-approved” through planning & building to be considered for scoring from the Planning Commission.



Universal Design & Aging in Place (30%):

Submissions must encompass ADU designs that prioritize accessibility and inclusivity, incorporating universal design principles to ensure usability and adaptability for all individuals, including those with special needs and/or disabilities. We strongly encourage designs that support flexible living arrangements, meeting the changing needs of people as they age, and allow people to continue to live in their home as long as they wish.



Affordability & Cost Effectiveness (30%):

Submissions should be economically viable and efficient, considering factors such as construction costs, ongoing maintenance, and operational expenses. We are seeking inventive and cost-effective approaches that minimize costs and promote affordability. **Max budget: \$200-250/sq ft and/or up to \$250,000.**



Sustainability & Resilience (30%):

Submissions must include feature designs that place a strong emphasis on sustainability and energy efficiency. These designs should incorporate key elements of energy performance, water efficiency measures, and resilience against potential hazards. Designs should also consider the use of sustainable materials, waste reduction strategies, and overall ecological footprint reduction.



Innovative & Creativity/Aesthetics (15%):

Submissions should showcase ADU designs that are visually captivating, consider scale, exemplify innovation, creativity, and distinctive design solutions. Designs should include thoughtful and creative considerations that support modern living needs for everyone, now and long into the future; and incorporate imaginative utilization of space, creative storage solutions, and original concepts that push the limits of creativity. Don't forget about landscaping!

REVIEW TEAM

The review team consists of professionals from various fields involved in the ADU approval process. The goal of the competition is to create plans that are pre-approved, with some known changes, that can be replicated by local homeowners and developers in our community. The review team will ensure that the plans successfully navigate the planning process and receive final approval. They will provide feedback and give comments for needed changes. You are welcome to contact them regarding questions you may have in regards to their subject matter expertise. Please cc: housing@gjcity.org for any inquiries made.

Ashley Chambers
Housing Manager
City of Grand Junction
ashleyc@gjcity.org

Madeline Robinson
Planning Technician
City of Grand Junction
madeliner@gjcity.org

Matt Sewalson
Fire Prevention Specialist
City of Grand Junction
mattse@gjcity.org

Jennifer Wooten
Building Inspector/
Senior Electrical Inspector
City of Fruita
jwooten@fruita.org

Jessica Johnsen
Zoning Supervisor
City of Grand Junction
jessicaj@gjcity.org

Michael Mossburg
Chief Building Official
City of Fruita
mmossburg@fruita.org

Chad Schneiter
ADU Construction
Mor Storage
Sales@morstorage.com

Shannon Power
Architecture &
Historic Preservation Board
spower@bgco.com

Jesse Girafalco
Development Review Engineer
City of Grand Junction
jessg@gjcity.org

Henry Hemphill
City Planner
City of Fruita
hhemphill@fruita.org

Engineering Considerations:

These are generic review notes applying to construction of a new Accessory Dwelling Unit or conversion of an existing structure (typically a garage) into an ADU. If specific questions arise that aren't answered please reach out to **Jesse Giralfo, the Engineer on the Review Committee**.

Development Regulations, Manuals, and Standards: They are now codified and available at the following link. Always refer to this version for the latest document. For clarity they are referred to by their common name in these notes. See <http://www.codepublishing.com/co/grandjunction/>.

Streets/Traffic/Site notes:

1. **Transportation Engineering Design Standards (TEDS)**
 - a. See TEDS chapter 29.16 for access design and site circulation.
 - b. See TEDS section 29.12.040 for specific parking requirements related to alleys.
 - c. See the Zoning and Development Code, chapter 21.06.090 for dimensional parking requirements.
2. The new parking does not require paving. It is required, at a minimum, to have a durable gravel surface. See code for minimum parking requirements.
3. **Traffic Capacity Payment (TCP)** - See the Zoning and Development Code in the Grand Junction Municipal Code (GJMC) Section 21.06.010(b)(2).
 - a. TCP applies at time of building permit planning clearance at rates in effect at the time of clearance request. The current rate for multi-family (applies to ADUs) as of January 1, 2024 is \$3,075. This is a one-time fee. If the project is in the Redevelopment Area, the TCP is half this amount.
4. **If the alley doesn't meet current standards**, must provide a signed Power of Attorney committing the property to participation in any future Alley Improvement District, unless such a POA has already been provided.
5. **If the street doesn't meet current standards**, must provide a signed Power of Attorney committing the property to participation in any future Street Improvement District, unless such a POA has already been provided.

Drainage notes: (repeated in Site Sketch checklist)

1. ADUs do not typically cause consequential change to existing drainage patterns or runoff volumes. No drainage fee is charged.
2. All drainage from the proposed buildings and hard surfaces must be conveyed to adjacent public rights-of-way or other appropriate drainage facilities. Runoff cannot be discharged onto neighboring private property. Demonstrate this on the site plan/grading plan.
3. ADU sites typically disturb less than 1.0 acres and don't need construction or permanent water quality permits or agreements. While permits aren't necessary, City ordinance still requires mud to be kept off streets and sediment can't be released from the site. Therefore, BMPs will be necessary during construction to ensure mud is not tracked on the streets and sediment not released offsite.
4. Show all irrigation and tail water facilities affecting or potentially affecting drainage on this site on the Site Plan and Utility Composite.
5. Flood plain: Depends on the location. If the site is within a floodplain as shown on a Flood Insurance Rate Map (FIRM) or other applicable study, a Floodplain Permit including Floodplain Elevation Certificate (FEC) is required.



Engineering Considerations Cont.:

Utility notes:

1. Water distribution:
 - a. City of Grand Junction. Contact City Customer Service (970-244-1520) regarding fees.
 - b. Ute Water. Contact Ute Water at 970-242-7491 regarding fees.
 - c. Clifton Water. Contact Clifton Water at 970-434-7328 regarding fees.
 - d. An Accessory Dwelling Unit (ADU) served by City water may share water service from the meter serving the primary residence. This work is included in the tap fee. Contact Ute or Clifton Water for their policy.
2. Sewage collection system:
 - a. Sewer service supplied by City of Grand Junction. Contact City Customer Service (970-244-1520) regarding tap fees and Sewer Plant Investment Fees.
 - b. Depending on the design and type of dwelling units, it may be necessary to provide individual 4" sewer services to each unit. Plant investment fees are required. When installing a new tap, it is the applicant's responsibility to hire a contractor to connect to the main and install the service. This includes all street repair.
 - c. If the property is in a Sewer Improvement District or subject to a reimbursement agreement, contact City Customer Service (970-244-1520) regarding fees.
3. Permits and inspections are required for all utility cuts and connections and other work in the City right-of-way. Contact Public Works at 970-244-1555.

Fire Considerations:

1. All sides of the proposed ADU shall be within 200 feet of an approved fire department access road, as measured by an approved route that simulates deployed fire hose.
2. All sides of the proposed ADU shall be within 600 feet of a fire hydrant, as measured by an approved route that simulates deployed fire hose.
3. Any fence constructed on the property requires a permit from the City of Grand Junction Community Development. Access gates with a minimum width of 3 feet shall be provided if the fence creates a barrier between the ADU and the street/road fronting the property. Any existing fence shall comply with these requirements.
4. A 3-foot clear path shall be provided to the ADU from the fronting road.
5. Address identification for the proposed ADU shall be visible from the street/road fronting the property. Address numbers shall be a minimum of 4" tall with a minimum stroke width of 1/2". If the ADU cannot be viewed from the street/road fronting the property, a pole or sign identifying the ADU shall be used.
6. If the private driveway exceeds 150 feet in length from an approved fire department access road shall meet the following fire department access standards:
 - a. The private driveway shall be capable of supporting the imposed load of a fire apparatus with a GVW of 80,000 lbs.
 - b. Have a minimum width of 12 feet and be finished by the application of all-weather driving surface of hot mix asphalt or concrete. Alternative materials must be reviewed and approved by the fire code official.
 - c. The finished grade shall be less than 8%.
 - d. An approved fire department turn-around shall be provided. Grades on turnarounds shall not exceed 4%. Additional information including approved turn-around designs can be found at,

General ADU Requirements

Instructions: Please use the following checklist(s) to make sure your application meets the minimum ADU performance standards and submittal document requirements.

Performance Standards:

- The design of the ADU is subordinate to the principal structure. (In other words, the ADU should be smaller than your primary dwelling space.)
- The ADU meets all requirements of building and fire codes.
- One parking space is provided for the ADU. On-street parking within 100 feet of the lot may serve as the required parking.
- The ADU does not exceed 900 square feet of habitable space.
- The ADU is not located in front of the principal structure.
- The design and construction material of the ADU is complementary to those of the principal structure.

Submittal Materials:

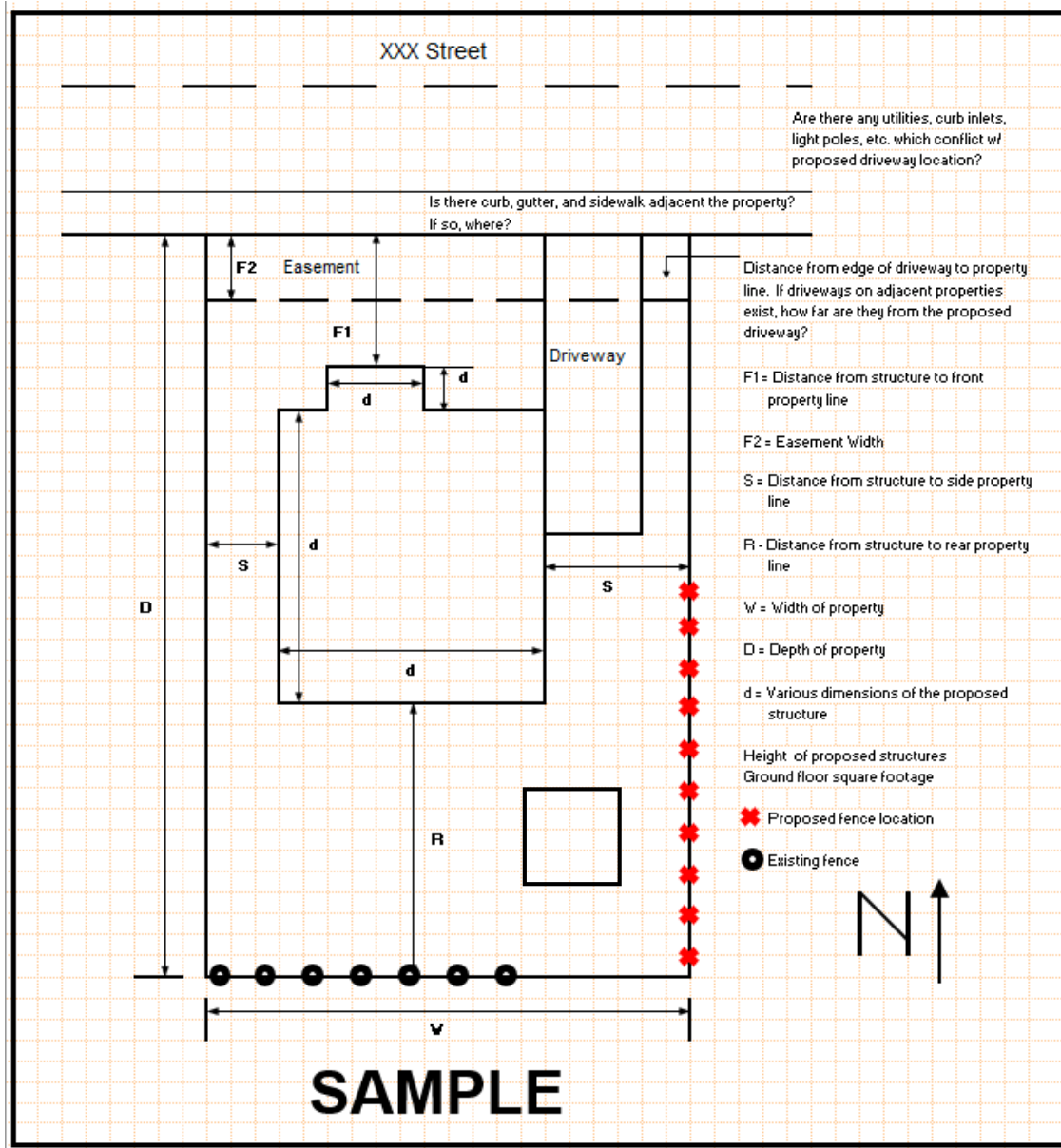
- Planning Clearance Application* - Fee is adjusted annually.
- Site Sketch, **drawn to scale and with dimensions**, which should include:
 - Drainage patterns
 - Parking
 - Utilities (water, sewer, electric, gas, etc.)
 - Floor Plan (for new ADU)
- If site sketch is done or printed on paper, the paper dimensions should be 8.5" x 11" OR 11" x 17".
- Building Elevations (show all sides - front, side, rear)
- All other necessary City fees paid. Contact Community Development for most updated fees if you have any questions.

***Planning Clearances can be obtained & submitted at the Community Development counter at 250 N. 5th St, Grand Junction, CO, online [HERE](#), or at the QR Code to the right.**



Site Sketch Worksheet

Instructions: Use the following example site sketch and checklist to help your site sketch meet minimum submittal standards. Some planning terminology is defined on the following page.
NOTE: Your site sketch should be to-scale and include dimensions. If done on paper, paper dimensions should be 8.5" x 11" or 11" x 17".



- | | | |
|--|--|---|
| <input type="checkbox"/> Lot | <input type="checkbox"/> ADU Floor Plan | <input type="checkbox"/> How services will connect to ADU |
| <input type="checkbox"/> Streets | <input type="checkbox"/> Required ADU parking space / street parking. | <input type="checkbox"/> Any new utility services (water, sewer, electric, gas) |
| <input type="checkbox"/> Alleys | <input type="checkbox"/> Required separate entrance. | <input type="checkbox"/> Describe any planned demolitions |
| <input type="checkbox"/> Existing structures | <input type="checkbox"/> Water and sewer main in street and alleys | <input type="checkbox"/> Drainage patterns draining to street/alley*** |
| <input type="checkbox"/> Existing easements* | <input type="checkbox"/> Utility services (water, sewer, electric, gas) to existing structures | |
| <input type="checkbox"/> Setbacks** | | |

Site Sketch Worksheet (cont'd)

Planning Terminology:

***Easements** - Allows one party the right to use another's property for a specific purpose. If there is an easement on your property, its terms are usually clearly defined in the property deed (though there are exceptions).

****Setbacks** - The minimum distance at which a building or other structure must be set back from a street or road or any other place which is deemed to need protection. Minimum setback requirements differ depending on zoning district. **You can find the setbacks of each residential zoning district at this link:** <https://bit.ly/GJResidentialSetbacks>.

*****Drainage Patterns** - How water drains off property and buildings. Please read the notes below to get more information on what you should consider when evaluating drainage patterns on your site.

Notes on Drainage:

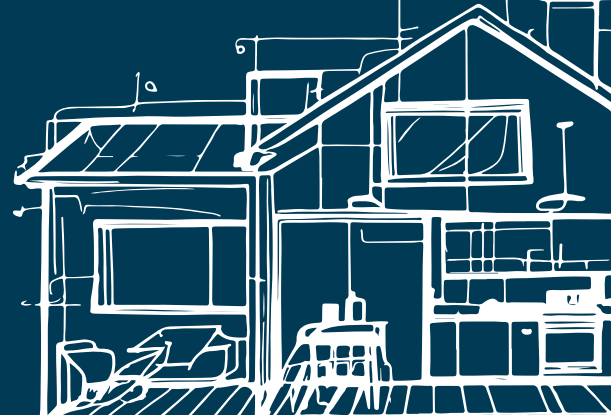
Storm water runoff CANNOT flow onto your neighbor's property; all drainage from the ADU and other impermeable surfaces must be directed to adjacent public right-of-ways or other established drainage areas (such as a storm drain). Make sure to indicate how/where storm water will flow on your site sketch.

By City ordinance, sediment cannot be released from the site of your ADU, and mud must be kept off streets. ADU sites usually disturb only a small area and therefore do not typically require construction or permanent water quality permits/agreements.

On your site sketch, be sure to show how any irrigation or tail water facilities may affect or potentially affect drainage on the site.

If your site is located within a floodplain, a Floodplain Elevation Certificate (FEC) is required. Reach out to the City of Grand Junction Community Development Department if you need help determining if your site is within a floodplain and/or to get more information on how to obtain this certificate.

ACCESSORY DWELLING UNIT (ADU) competition guidelines



OVERVIEW

ADUs (Accessory Dwelling Units) play a crucial role in addressing housing shortages by providing affordable and flexible living spaces, increasing housing options within existing neighborhoods. The City of Grand Junction has been actively promoting ADUs as part of its housing strategy and is partnering with CMU to encourage ADU construction through an innovative design competition. This initiative aims to boost ADU development and offer pre-approved plans to simplify the process for homeowners.

The goals for the competition are to:

- **Promote Innovation:** Encourage students to develop creative solutions that promote housing diversity.
- **Foster Sustainable and Affordable Design:** The competition emphasizes sustainability and affordability, addressing two of the biggest challenges in today's housing market.
- **Provide Learning Opportunities:** Students will gain hands-on experience in the planning process, site plan creation, and navigating the permitting process to bring their designs to completion.

The ADU designs will be featured on the City of Grand Junction website, and will be available for future use by local developers and homeowners.



AWARD

The winners of the competition will be announced at the City Council Meeting on November 20, 2024 and will receive a team scholarship amount. Awards will be decided by the Planning Commission on November 7, 2024.

Teams will be awarded:



First Place - \$2500 (\$500 each)



Second Place - \$1250 (\$250 each)



Third Place - \$500 (\$100 each)

TIMELINE



Competition Launch - Planning Presentation - Sept. 25: 1-2:20 pm

Students will gain insight into the overall city planning process, discuss the competition and its expectations, and explore the city's ADU planning clearance process along with important considerations.

Jessica Johnsen, City Planner | Ashley Chambers, City Housing Manager | Madeline Robinson, City Planning Technician



Initial Submissions Due - Friday, October 23, 2024 by 10 pm

All documents need to be submitted for review to the Review Committee.



Submittal Review Period - October 23-November 4, 2024 at 6 pm

During the submittal review period, the review committee will assess the submissions, provide feedback, and recommend adjustments that need to be completed and resubmitted for final ADU approval. Suggested changes should be submitted within 24-48 hours to allow for final comments and review.



FINAL Documents & Submissions DUE, November 4, 2024 at 10 pm

All final documents and presentations must be submitted by 6 pm to ensure they are ready for the Planning Commission Scoring on November 7th.



Planning Commission Presentations/Scoring - November 7, 2024, 12:00-2:00 pm

Teams will present their final ADU design to the Planning Commissioners for scoring of their design. Planning Commissioners can ask questions, provide additional feedback, etc.



City Council AWARD presentation - November 20, 2024, 5:30 pm

City Council will present the final scholarships to ADU challenge teams.

SUBMISSION INSTRUCTIONS

All submissions (Initial, Review & Final) must be submitted to housing@gjcity.org.

See information in proposal submittal requirements.

Submittals received before October 23 will have a longer review timeline, allowing for more opportunities for changes, feedback, and adjustments.



PROPOSAL SUBMITTAL REQUIREMENTS

For Initial & Subsequent Submittals:

- **Planning Clearance Form Completed**
- **11x17 Site Plan (1-3 pages) that include:**
 - ADU rendering
 - Site Plan that meets Planning Guidelines
 - Floor Plan
 - Any orientation
 - PDF or jpeg format
- **Narrative:**
 - 1250 words max
 - Project Title
 - Summary of energy performance & sustainability of materials
 - Estimated cost of construction (max: \$200-250/sq ft up to \$250,000)
 - Attach a budget (excel) document; not included in word count
- **For Presentation:** (FINAL document submittal)
 - Up to 15 slides
 - 15 min max
 - Project Title Page
 - Powerpoint format
- **Summary Overview** (FINAL document submittal only)
 - 2-3 paragraphs max of overall project to be utilized in staff reports for Planning Commission & City Council

SITE CONDITIONS

Utilize the following resources (provided as attachments) to find the applicable site conditions:

- Accessing Zoning & Development Code
- Using the Development & Utility Maps (GIS Maps)
- ADU toolkit & Resources including:
 - Budget spreadsheet
 - Site Plan Checklist
- Fire Checklist (Additional Resources Section)
- Engineering Checklist (Additional Resources Section)
- Other things to consider:
 - Utility location (sewer, gas, electric, telephone line)
 - Complementary Design to region of the City
 - Construction Materials
 - Lot Coverage
 - Parking



DESIGN REQUIREMENTS

The ADU design must be detached and have the following elements:

Kitchen: Includes food storage, food prep space, sink with running water, and cooktop. Oven is optional.

Bathroom: Includes toilet, sink, and shower with running water

Sleeping area: minimum of one sleeping area (including studio designs)

Separate means of Egress & Ingress

All Electric Requirement: include electric heating/cooling, hot water equipment, and other in-unit appliances, ovens or ranges.

Proposal should meet all building and planning code requirements and receive approval from Planning & Building

DESIGN CRITERIA

REQUIREMENTS

ADU Size

Choose:
Small- 400-600 sq ft
Medium - 600-750 sq ft
Large - 750-900 sq ft

ADU Region/Type

Choose - one per group
Downtown 1 - Single Level
Downtown 2- 2nd story above garage
Riverside - Single Level

ADU Location

Must be located within City of Grand Junction limits.

Each team will need to pick a street, address, and parcel to utilize as your actual location for the proposed project. Choose something broad that could be easily applied to other homes in the area.

SCORING CRITERIA

The following scoring criteria will be used to evaluate design submissions in a way that reflects our community goals and values. All proposals and Submissions should be “pre-approved” through planning & building to be considered for scoring from the Planning Commission.



Universal Design & Aging in Place (30%):

Submissions must encompass ADU designs that prioritize accessibility and inclusivity, incorporating universal design principles to ensure usability and adaptability for all individuals, including those with special needs and/or disabilities. We strongly encourage designs that support flexible living arrangements, meeting the changing needs of people as they age, and allow people to continue to live in their home as long as they wish.



Affordability & Cost Effectiveness (30%):

Submissions should be economically viable and efficient, considering factors such as construction costs, ongoing maintenance, and operational expenses. We are seeking inventive and cost-effective approaches that minimize costs and promote affordability. **Max budget: \$200-250/sq ft and/or up to \$250,000.**



Sustainability & Resilience (30%):

Submissions must include feature designs that place a strong emphasis on sustainability and energy efficiency. These designs should incorporate key elements of energy performance, water efficiency measures, and resilience against potential hazards. Designs should also consider the use of sustainable materials, waste reduction strategies, and overall ecological footprint reduction.



Innovative & Creativity/Aesthetics (15%):

Submissions should showcase ADU designs that are visually captivating, consider scale, exemplify innovation, creativity, and distinctive design solutions. Designs should include thoughtful and creative considerations that support modern living needs for everyone, now and long into the future; and incorporate imaginative utilization of space, creative storage solutions, and original concepts that push the limits of creativity. Don't forget about landscaping!

REVIEW TEAM

The review team consists of professionals from various fields involved in the ADU approval process. The goal of the competition is to create plans that are pre-approved, with some known changes, that can be replicated by local homeowners and developers in our community. The review team will ensure that the plans successfully navigate the planning process and receive final approval. They will provide feedback and give comments for needed changes. You are welcome to contact them regarding questions you may have in regards to their subject matter expertise. Please cc: housing@gjcity.org for any inquiries made.

Ashley Chambers
Housing Manager
City of Grand Junction
ashleyc@gjcity.org

Madeline Robinson
Planning Technician
City of Grand Junction
madeliner@gjcity.org

Matt Sewalson
Fire Prevention Specialist
City of Grand Junction
mattse@gjcity.org

Jennifer Wooten
Building Inspector/
Senior Electrical Inspector
City of Fruita
jwooten@fruita.org

Jessica Johnsen
Zoning Supervisor
City of Grand Junction
jessicaj@gjcity.org

Michael Mossburg
Chief Building Official
City of Fruita
mmossburg@fruita.org

Chad Schneiter
ADU Construction
Mor Storage
Sales@morstorage.com

Shannon Power
Architecture &
Historic Preservation Board
spower@bgco.com

Jesse Girafalco
Development Review Engineer
City of Grand Junction
jessg@gjcity.org

Henry Hemphill
City Planner
City of Fruita
hhemphill@fruita.org

Engineering Considerations:

These are generic review notes applying to construction of a new Accessory Dwelling Unit or conversion of an existing structure (typically a garage) into an ADU. If specific questions arise that aren't answered please reach out to **Jesse Giralco, the Engineer on the Review Committee**.

Development Regulations, Manuals, and Standards: They are now codified and available at the following link. Always refer to this version for the latest document. For clarity they are referred to by their common name in these notes. See <http://www.codepublishing.com/co/grandjunction/>.

Streets/Traffic/Site notes:

1. **Transportation Engineering Design Standards (TEDS)**
 - a. See TEDS chapter 29.16 for access design and site circulation.
 - b. See TEDS section 29.12.040 for specific parking requirements related to alleys.
 - c. See the Zoning and Development Code, chapter 21.06.090 for dimensional parking requirements.
2. The new parking does not require paving. It is required, at a minimum, to have a durable gravel surface. See code for minimum parking requirements.
3. **Traffic Capacity Payment (TCP)** - See the Zoning and Development Code in the Grand Junction Municipal Code (GJMC) Section 21.06.010(b)(2).
 - a. TCP applies at time of building permit planning clearance at rates in effect at the time of clearance request. The current rate for multi-family (applies to ADUs) as of January 1, 2024 is \$3,075. This is a one-time fee. If the project is in the Redevelopment Area, the TCP is half this amount.
4. **If the alley doesn't meet current standards**, must provide a signed Power of Attorney committing the property to participation in any future Alley Improvement District, unless such a POA has already been provided.
5. **If the street doesn't meet current standards**, must provide a signed Power of Attorney committing the property to participation in any future Street Improvement District, unless such a POA has already been provided.

Drainage notes: (repeated in Site Sketch checklist)

1. ADUs do not typically cause consequential change to existing drainage patterns or runoff volumes. No drainage fee is charged.
2. All drainage from the proposed buildings and hard surfaces must be conveyed to adjacent public rights-of-way or other appropriate drainage facilities. Runoff cannot be discharged onto neighboring private property. Demonstrate this on the site plan/grading plan.
3. ADU sites typically disturb less than 1.0 acres and don't need construction or permanent water quality permits or agreements. While permits aren't necessary, City ordinance still requires mud to be kept off streets and sediment can't be released from the site. Therefore, BMPs will be necessary during construction to ensure mud is not tracked on the streets and sediment not released offsite.
4. Show all irrigation and tail water facilities affecting or potentially affecting drainage on this site on the Site Plan and Utility Composite.
5. Flood plain: Depends on the location. If the site is within a floodplain as shown on a Flood Insurance Rate Map (FIRM) or other applicable study, a Floodplain Permit including Floodplain Elevation Certificate (FEC) is required.



Engineering Considerations Cont.:

Utility notes:

1. Water distribution:
 - a. City of Grand Junction. Contact City Customer Service (970-244-1520) regarding fees.
 - b. Ute Water. Contact Ute Water at 970-242-7491 regarding fees.
 - c. Clifton Water. Contact Clifton Water at 970-434-7328 regarding fees.
 - d. An Accessory Dwelling Unit (ADU) served by City water may share water service from the meter serving the primary residence. This work is included in the tap fee. Contact Ute or Clifton Water for their policy.
2. Sewage collection system:
 - a. Sewer service supplied by City of Grand Junction. Contact City Customer Service (970-244-1520) regarding tap fees and Sewer Plant Investment Fees.
 - b. Depending on the design and type of dwelling units, it may be necessary to provide individual 4" sewer services to each unit. Plant investment fees are required. When installing a new tap, it is the applicant's responsibility to hire a contractor to connect to the main and install the service. This includes all street repair.
 - c. If the property is in a Sewer Improvement District or subject to a reimbursement agreement, contact City Customer Service (970-244-1520) regarding fees.
3. Permits and inspections are required for all utility cuts and connections and other work in the City right-of-way. Contact Public Works at 970-244-1555.

Fire Considerations:

1. All sides of the proposed ADU shall be within 200 feet of an approved fire department access road, as measured by an approved route that simulates deployed fire hose.
2. All sides of the proposed ADU shall be within 600 feet of a fire hydrant, as measured by an approved route that simulates deployed fire hose.
3. Any fence constructed on the property requires a permit from the City of Grand Junction Community Development. Access gates with a minimum width of 3 feet shall be provided if the fence creates a barrier between the ADU and the street/road fronting the property. Any existing fence shall comply with these requirements.
4. A 3-foot clear path shall be provided to the ADU from the fronting road.
5. Address identification for the proposed ADU shall be visible from the street/road fronting the property. Address numbers shall be a minimum of 4" tall with a minimum stroke width of 1/2". If the ADU cannot be viewed from the street/road fronting the property, a pole or sign identifying the ADU shall be used.
6. If the private driveway exceeds 150 feet in length from an approved fire department access road shall meet the following fire department access standards:
 - a. The private driveway shall be capable of supporting the imposed load of a fire apparatus with a GVW of 80,000 lbs.
 - b. Have a minimum width of 12 feet and be finished by the application of all-weather driving surface of hot mix asphalt or concrete. Alternative materials must be reviewed and approved by the fire code official.
 - c. The finished grade shall be less than 8%.
 - d. An approved fire department turn-around shall be provided. Grades on turnarounds shall not exceed 4%. Additional information including approved turn-around designs can be found at,

General ADU Requirements

Instructions: Please use the following checklist(s) to make sure your application meets the minimum ADU performance standards and submittal document requirements.

Performance Standards:

- The design of the ADU is subordinate to the principal structure. (In other words, the ADU should be smaller than your primary dwelling space.)
- The ADU meets all requirements of building and fire codes.
- One parking space is provided for the ADU. On-street parking within 100 feet of the lot may serve as the required parking.
- The ADU does not exceed 900 square feet of habitable space.
- The ADU is not located in front of the principal structure.
- The design and construction material of the ADU is complementary to those of the principal structure.

Submittal Materials:

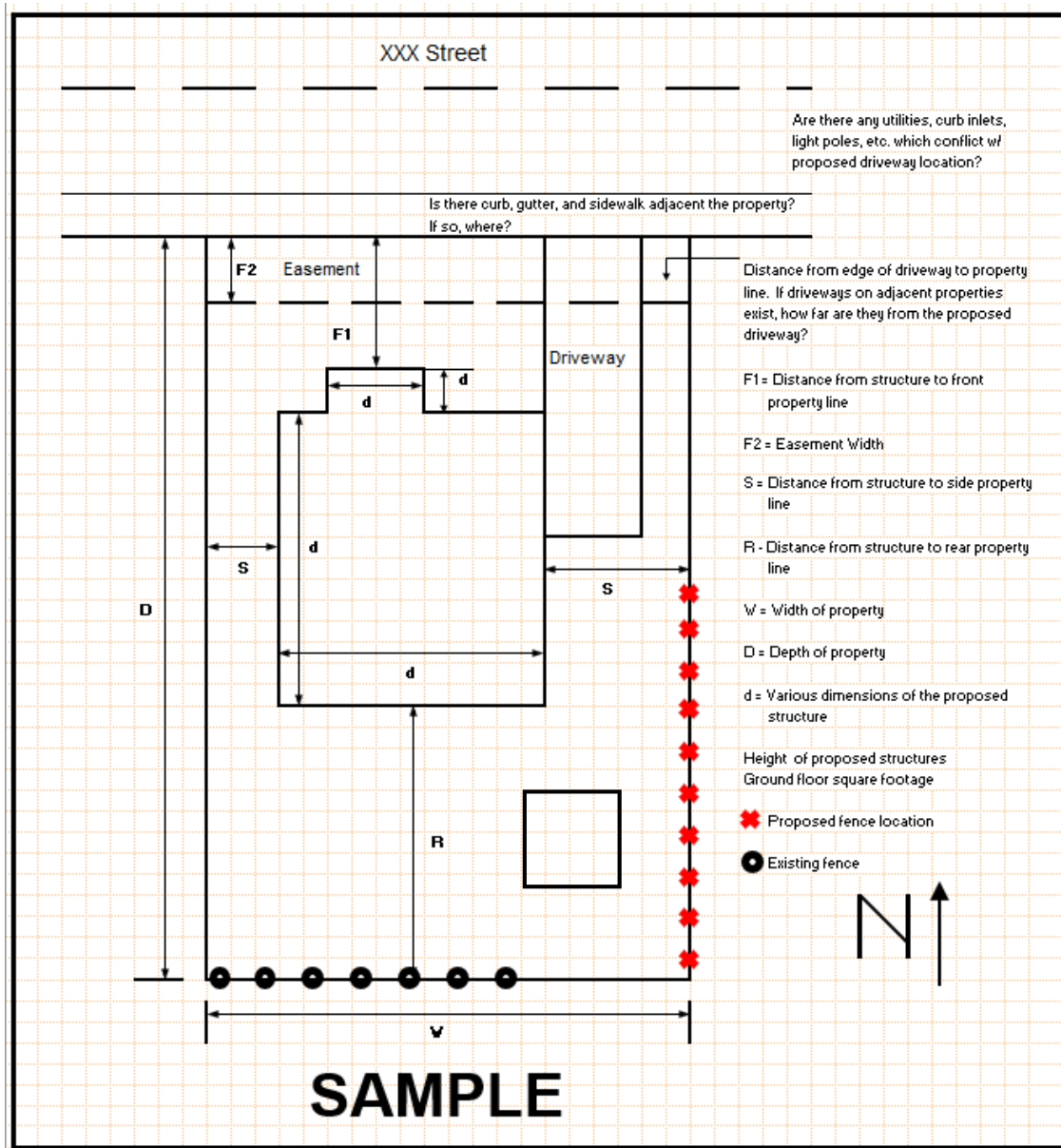
- Planning Clearance Application* - Fee is adjusted annually.
- Site Sketch, **drawn to scale and with dimensions**, which should include:
 - Drainage patterns
 - Parking
 - Utilities (water, sewer, electric, gas, etc.)
 - Floor Plan (for new ADU)
- If site sketch is done or printed on paper, the paper dimensions should be 8.5" x 11" OR 11" x 17".
- Building Elevations (show all sides - front, side, rear)
- All other necessary City fees paid. Contact Community Development for most updated fees if you have any questions.

***Planning Clearances can be obtained & submitted at the Community Development counter at 250 N. 5th St, Grand Junction, CO, online [HERE](#), or at the QR Code to the right.**



Site Sketch Worksheet

Instructions: Use the following example site sketch and checklist to help your site sketch meet minimum submittal standards. Some planning terminology is defined on the following page.
NOTE: Your site sketch should be to-scale and include dimensions. If done on paper, paper dimensions should be 8.5" x 11" or 11" x 17".



- | | | |
|--|--|---|
| <input type="checkbox"/> Lot | <input type="checkbox"/> ADU Floor Plan | <input type="checkbox"/> How services will connect to ADU |
| <input type="checkbox"/> Streets | <input type="checkbox"/> Required ADU parking space / street parking. | <input type="checkbox"/> Any new utility services (water, sewer, electric, gas) |
| <input type="checkbox"/> Alleys | <input type="checkbox"/> Required separate entrance. | <input type="checkbox"/> Describe any planned demolitions |
| <input type="checkbox"/> Existing structures | <input type="checkbox"/> Water and sewer main in street and alleys | <input type="checkbox"/> Drainage patterns draining to street/alley*** |
| <input type="checkbox"/> Existing easements* | <input type="checkbox"/> Utility services (water, sewer, electric, gas) to existing structures | |
| <input type="checkbox"/> Setbacks** | | |

Site Sketch Worksheet (cont'd)

Planning Terminology:

***Easements** - Allows one party the right to use another's property for a specific purpose. If there is an easement on your property, its terms are usually clearly defined in the property deed (though there are exceptions).

****Setbacks** - The minimum distance at which a building or other structure must be set back from a street or road or any other place which is deemed to need protection. Minimum setback requirements differ depending on zoning district. **You can find the setbacks of each residential zoning district at this link:** <https://bit.ly/GJResidentialSetbacks>.

*****Drainage Patterns** - How water drains off property and buildings. Please read the notes below to get more information on what you should consider when evaluating drainage patterns on your site.

Notes on Drainage:

Storm water runoff CANNOT flow onto your neighbor's property; all drainage from the ADU and other impermeable surfaces must be directed to adjacent public right-of-ways or other established drainage areas (such as a storm drain). Make sure to indicate how/where storm water will flow on your site sketch.

By City ordinance, sediment cannot be released from the site of your ADU, and mud must be kept off streets. ADU sites usually disturb only a small area and therefore do not typically require construction or permanent water quality permits/agreements.

On your site sketch, be sure to show how any irrigation or tail water facilities may affect or potentially affect drainage on the site.

If your site is located within a floodplain, a Floodplain Elevation Certificate (FEC) is required. Reach out to the City of Grand Junction Community Development Department if you need help determining if your site is within a floodplain and/or to get more information on how to obtain this certificate.

ADU Design Competition - Scoring Matrix

Universal Design & Aging in Place (10 points available) (30%)				
Site Location & Outdoor Space	<p>4-5 pts -ADU site location is adjacent to sidewalks, and 1/4 mile of: recreational areas/parks, employment centers, resources, public transit, grocery stores, bike routes, etc.</p> <p>Site plan organization and building orientation is laid out in a way that would be easy to navigate for resident/tenant of ADU and primary structure. Site plan has indicated an outdoor space has easy access to routes in/out of property to streets and/or sidewalks, architectural features are easily distinguishable in the site, parking space or street parking is identifiable. Considerations have been made for accessible pathways, covered entries, and low-maintenance landscaping.</p>	<p>2-3 Pts - ADU site location is not adjacent to sidewalks or other pedestrian friendly access. Location is within 1/2 mi of recreational areas/parks, employment centers, resources, public transit, grocery stores, bike routes, etc.</p> <p>Site plan organization and building orientation is laid out in a way that would be okay but present some challenges for resident/tenant of ADU and primary structure. Site plan has limited identification of outdoor space and has limited access to routes in/out of property to streets and/or sidewalks, architectural features are not easily distinguishable in the site, parking space or street parking is unclear. Limited considerations have been made for accessible pathways, covered entries, and low-maintenance landscaping.</p>	<p>1 Pts - ADU site location is not accessible to sidewalks or other pedestrian friendly access. Location is more than 1 mile of recreational areas/parks, employment centers, resources, public transit, grocery stores, bike routes, etc.</p> <p>Site plan organization and building orientation is confusing and will likely present challenges for resident/tenant of ADU and primary structure. Site plan has no identification of outdoor space and has unclear access to routes in/out of property to streets and/or sidewalks, architectural features are not distinguishable in the site, parking space or street parking is not identified. No considerations have been made for accessible pathways, covered entries, and low-maintenance landscaping.</p>	<p>0 pts - ADU site location has not identified any sidewalks, pedestrian friendly access or other community amenities or features.</p> <p>Site plan does not include any considerations.</p>
Amenities & Interior Spaces	<p>4-5 pts - Adu has made significant considerations for room-by room features that improve the interior of the dwelling units for residents with a variety of age, ability, etc. Design and site plan have considered accessible entry and navigation including wide doorways and hallways, adequate space between appliances and workspaces, smooth, non-slip flooring, etc. Interior has considerations for regular household function and more open-plan layouts that include shared spaces living room, dining room, kitchen, laundry facilities, accessible storage, etc.</p>	<p>2-3 pts - ADU has made minor considerations for room-by room features that improve the interior of the dwelling units for residents with a variety of age, ability, etc. Design and site plan have nominally considered accessible entry and navigation including wide doorways and hallways, adequate space between appliances and workspaces, smooth, non-slip flooring, etc. Interior has minor considerations for regular household function and more open-plan layouts that include shared spaces living room, dining room, kitchen, laundry facilities, accessible storage, etc.</p>	<p>1 pt - ADU has made limited/unclear considerations for room-by room features that improve the interior of the dwelling units for residents with a variety of age, ability, etc. Design and site plan have not considered accessible entry and navigation including wide doorways and hallways, adequate space between appliances and workspaces, smooth, non-slip flooring, etc. Interior has limited considerations or unclear for regular household function and more open-plan layouts that include shared spaces living room, dining room, kitchen, laundry facilities, accessible storage, etc.</p>	<p>0 pts - ADU site plan and design has not identified any considerations for improvements to the interior, accessibility, or function of space.</p>
Affordability & Cost Effectiveness (10 points available)(30%)				
Affordability	<p>4-5 pts - Project clearly identifies households that will be served and how the project fills a gap proportional to the affordable housing needs of the community, based on current or the best available data and/or needs assessment. Project has well represented information on budget, costs, and is within a realistic max budget of \$200-250/sq ft and/or up to \$250,000.</p>	<p>2-3 pts - Project nominally identifies households that will be served and how the project fills a gap proportional to the affordable housing needs of the community, based on current or the best available data and/or needs assessment. Project has nominally represented information on budget, costs, and/or has set an unrealistic budget either too low or too high for the site and construction.</p>	<p>1 pts - Project mentions housing needs, but does not provide any information. Project has not adequately represented information on budget, costs, and/or is unclear on budget either too low or too high for the site and construction.</p>	<p>0 pts - Project does not mention housing needs or provide information on how it addresses housing needs. Project not included information on budget and/or costs.</p>
Cost Effectiveness	<p>4-5 pts - Project utilizes efficient use of space both indoors and outdoors that includes compact, multi-functional layouts that help create flexibility without increasing costs that could include convertible spaces, customization, and simplified framing and construction.</p> <p>Project includes durable low-cost building materials, includes some prefab or modular components, and or identifies use of recycled or local materials. Project has identified some low maintenance features and standardized utility connections, and some methods to reduce costs in the long-term (solar, drought resistant landscape, etc).</p>	<p>2-3 pts - Project demonstrates a basic effort to use space efficiently indoors and outdoors, with some compact, multi-functional layouts that support flexibility at minimal cost. May include some reference to simple convertible spaces, limited customization, and straightforward framing and construction.</p> <p>Project includes some durable low-cost buiding materials, includes some prefab or modular components, and or identifies use of recycled or local materials. Project has identified few low maintenance features and standardized utility connections, and some methods to reduce costs in the long-term (solar, drought resistant landscape, etc).</p>	<p>1 - Project makes minimal effort to use space effectively indoors and outdoors, with limited attention to compact or multi-functional layouts. May include a brief mention of convertible spaces or basic framing and construction techniques, with little to no customization</p> <p>Project shows little effort in selecting durable, low-cost building materials, with limited use of prefabricated or modular components and few mentions of recycled or local materials. Project includes minimal low-maintenance features, basic utility connections, and only limited methods for reducing long-term costs.</p>	<p>0 pts - Project has made no effort to demonstrate effective use of space or functionality and has not identified materials or low-cost features, utility connections or methods for reducing long-term costs.</p>
Sustainability & Resilience (10 points available) (30%)				
Sustainability	<p>8-10 pts - The ADU and location are thought of as a system. The design is built with intention and includes at least 10 of the 16 sustainability factors listed below.</p>	<p>6-7 pts - The ADU and the location are more sustainable and accessible, but could be more efficient. Includes at least 7 to 10 of the environmental factors listed below.</p>	<p>4-5 pts - The ADU and location have thought about individual sustainable actions, but not as a system. Includes between 5-7 of the 16 sustability Factors listed below.</p>	<p>1-3 pts - The ADU and location have barely considered sustainability. Short term cost savings are the main priority without consideration of the long term cost benefits. Includes 5 or less of the Sustainability Factors listed below.</p>

	Built Environment - 3 factors	Water - 3 factors	Waste - 4 factors	Energy - 5 factors
Sustainability Factors	1. Is there shade from urban canopy on the property?	1. Does the ADU have smart sense water fixtures?	1. Does the project include recycled/repurposed materials?	1. Is the ADU fully electric?
	2. Does the ADU have access to sure indoor bike parking (shed, single story building, etc?)	2. Does the ADU use a graywater system and/or captured rainwater?	2. Is there mention of utilizing locally manufactured materials in the construction?	2. Does the ADU have an electric heat pump and appliances?
	3. Does the property have access to outdoor space (garden, patio, balcony, etc)?	3. Does the ADU have native/drought tolerant landscaping?	3. Will the tenant have access to curbside recycling?	3. Does the ADU have all LED light bulbs?
			4. Will the tenant have access yard/composting/gardening?	4. Are all appliances energy star rated?
				5. Is there a location for an EV to be plugged in at or near the ADU?

Extra sustainability factors (1 each)	1. Has the ADU been built to a standard above 2021 IECC	2. Has the building been built with a green building certification (LEED, Passive House, etc)?	3. Built to ASHRAE 90/4-2018 Standard
---------------------------------------	---	--	---------------------------------------

Innovative & Creativity/Aesthetics (5 points available) (15%)

Innovation & Creativity	<p>4-5 pts - Design demonstrates distinctive, yet harmonious design that complements a variety of properties and neighborhoods that could include modern, contemporary or local architecture heritage. Design includes asymmetry or geometric variation that create visual interest without sacrificing function. Design uses a creative use of materials and textures. Site includes creative use of color and finishes that include bold or artistic color, statement elements, natural and warm tones, etc. Site includes some ability to create site specific customization in the future use of the plans</p>	<p>2-3 pts - Design shows a basic effort to create a harmonious look that fits a variety of properties and neighborhoods, with some references to modern or local architectural styles. Design may include limited geometric variation or subtle material contrasts for visual interest. Some consideration is given to color and finishes, with modest use of accent colors or natural tones. There may be minimal options for site-specific customization in future use of the plans.</p>	<p>1 pts-The design provides a basic, neutral look that could work for various properties, with minimal reference to modern or local styles. It uses simple shapes and a few basic material contrasts. The color scheme is straightforward, with limited accent colors or natural tones. Customization options for future use are very basic.</p>	<p>0 pts - The design features have not been adequately identified.</p>
	<p>Design utilizes innovative interior design features including flexible/transformational spaces, built in furniture and storage, and/or creative lighting design.</p>	<p>The design includes some functional interior features, such as flexible spaces, built-in furniture and storage, and basic lighting design.</p>	<p>The design includes a few basic interior features.</p>	<p>The design has not identified any functional interior features, such as flexible spaces, built-in furniture, storage, or notable lighting design.</p>

Extra Points (up to 3 points available)

Use of ADU Production Program	<p>3 Extra Point Available. Group proposed in their documentation or presentation use of the ADU Production Program offered by the City.</p>		
-------------------------------	---	--	--

ADU Design SCORING	Universal Design & Aging in Place		Affordability & Cost Effectiveness		Sustainability & Resilience	Innovative & Creativity/Aesthetics	Extra Points	TOTAL SCORE	NOTES/FEEDBACK, ETC
	Site Location & Outdoor Space	Amenities & Interior Space	Affordability	Cost Effectiveness					
Team 1									
Team 2									
Team 3									
Team 4									

PLANNING CLEARANCE

Single Family Residential and Accessory Structures

Building Address 617 W Ute Ave

of Existing Buildings: 2

SF of Existing: 1259 sq. ft

Parcel No. 2945-154-24-013

of Proposed Buildings: 1

SF of Lot: 4,988.6 sq ft

Subdivision Original

DESCRIPTION OF WORK & INTENDED USE:

Filing _____ Block _____ Lot

- New Single Family Home (*check type below)
- Interior Remodel
- Accessory Structure
- Other (Please specify) _____
- Addition
- Accessory Dwelling Unit - **Review required**

Applicant Information:

Team 1

*** TYPE OF HOME PROPOSED:**

- Site Built Manufactured Home (UBC)
- Manufactured Home (HUD)
- Other (Please specify) _____

Owner Information: To Be Determined

Name _____

Mailing Address _____

City, State, Zip _____

House 1st Fl: 890 sf 2nd Fl/Bonus Room: _____ sf

Garage: _____ sf Covered patio/Entry: 435 sf

Accessory Structure: _____ sf Basement: _____ sf

Proposed Height: 18 ft # of stories: 1

Notes: _____

REQUIRED: One plot plan, on 8 1/2" x 11" or 11" x 17" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, driveway location & width, ingress/egress to the property & all easements & rights-of-way which abut the parcel.

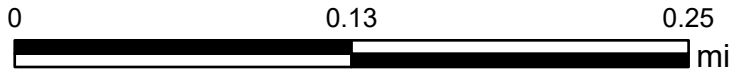
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature: 

VALID FOR 180 DAYS FROM DATE OF ISSUANCE (Section 21.02.070(b) Grand Junction Municipal Code)

Team 1 Site Map



Printed: 11/6/2024
1 inch equals 376 feet
Scale: 1:4,514
Packet Page 26

617 WEST UTE AVE

ADU Proposed by Team 1

We have a purpose. We are determined to focus on the needs of our community. In Mesa County we see an increase in population. We've seen the population jump from 154,047 to 159,503 in the matter of 5 years and we are expecting to see an estimation of 214,206 in 2050. Along with the expansion of people, there's a visible change in home pricing. Through Real Estate the average median in 2024 is \$438,317, in 2023 it was \$414,700 so it's only right to believe the prices will only get higher. Accompanied by everything increasing there has also been a prominent demand for housing in Grand Junction.

Whether it be from a college student, one seeking a change in scenery, or a young adult ready to have a home for themselves. With these changes in Real Estate, we are seeing complications since buyers want to buy homes but are struggling to afford the newfound prices and interest rates. Seeing such demand for housing and a not big supply we see that also playing an effect to prices of homes inflating to unattainable limits for the majority of the residents. We gathered as much information as we could with the limited time to design a project to accommodate anyone such as, a single mom and her child, a young adult watching over an elderly family member, a family of three, or a bachelor who's in need of an extra room for an office or guest room.

Our 890 square feet Riverside home includes 2 patios for planting or sitting space which will make the total area 1400 square feet. Since our lot is big, with our ADU there will still be extra room for whatever the new-owners desire. This new establishment is currently standing at \$111,840.68 and will maintain our goal of being accessible for anyone who has a feel for the outdoors since there's open bike paths, trails, and a beautiful display of the river. The existing shed from the original site will be moved to be more accessible for the ADU, so it can to be used as a secured storage for bikes, outdoor furniture, or other miscellaneous items. This home is a dream for those who want to connect more with the environment. Riverside also has new developments happening, so it seems right to have our home located with the new establishments. Put into consideration for our buyers we wanted to care for those with disabilities, so we made sure the floors were level for those with wheelchairs along with plenty of open space for mobility.

We are determined to have a sustainable home when it comes to energy. Our home will include certified heat pump(s) that are in accordance with ENERGY STAR HVAC Design Report, these heat pumps will be certified for Cold Climate and will be controlled by a Wi-Fi thermostat. We made sure our cooktop and oven were electrical. Other energy

sufficiency that'll be shown through this ADU is weatherization, water heating, advanced house framing, xeriscaping, solar energy, and raised-heel trusses, although it seems more expensive than regular trusses in the long run it would be beneficial for energy efficiency. Using energy-heel trusses the original wall height is 9'0", however, since we are elevating the trusses, it bumps it up a foot higher which makes the home feel roomy.

With the current pricing of homes, we wanted to be some type of help to those who don't have the funds to buy a regular home. To make our ADU cheaper, one thing we did was include efficient plumbing to make it more cost-effective because along with HVAC and electrical, plumbing can be very expensive when building a home. Taking account of the economics of Grand Junction we're considering those in need, with our ADU we will be taking a step closer to a soon well-developed city.

TEAM

617 West Ute Ave

ADU Proposed by Team 1

Our Goal

We are determined to focus on the need of our community.



- Increase in population = increase in demand for homes
- Visible change in economy, which is causing a harsh effect for housing price.

shutterstock.com · 604150523

Table 2:
**Population Estimates Table (2020-2050),
 Colorado State Demography Office**

	Mesa	Montrose	Delta	Garfield	Rio Blanco	Moffat	Routt
2020	155,993	42,810	31,052	61,791	6,521	13,265	24,834
2025	162,833	45,413	32,027	64,496	6,511	13,037	25,786
2030	174,827	48,327	33,286	69,950	6,440	12,851	27,336
2035	187,931	50,973	34,303	76,392	6,291	12,706	28,840
2040	198,890	52,958	35,029	82,780	6,147	12,577	30,133
2045	207,560	54,152	35,512	88,422	5,978	12,435	31,082
2050	214,206	54,586	35,769	92,516	5,773	12,261	31,700

Table 3:
**Mesa County Population Change Breakdown,
 Colorado State Demography Office**

	Population	Change	Births	Deaths	Net Migration
2018	154,047	1,899	1,657	1,527	1,769
2019	155,109	1,062	1,604	1,543	1,001
2020	155,993	884	1,568	1,685	1,001
2021	157,432	1,439	1,527	1,898	1,810
2022	158,534	1,102	1,448	2,015	1,669
2023	159,503	969	1,426	1,776	1,319
2030	174,827	2,836	1,760	2,040	3,116

Our Purpose

To design a project to accommodate...

- A single mom and her child
- A young adult watching over an elderly family member
- A family of three
- A bachelor who's in need of an extra room for an office or guest room

Demand

- There's a prominent demand for housing in Grand Junction. Whether it be from a college student, one seeking a change in scenery, or a young adult ready to have a home for themselves.



Funds

- With current pricing of homes, we wanted to be some type of help to those who don't have the funds to buy a regular home.



Real Estate

Inventory of Homes for Sale (3 month avg)	470	412	14.00%
New Residential listings (3 month total)	899	823	9.23%
Sold Residential Listings (3 month total)	725	726	-0.14%
Median Sales Price	\$438,317	\$414,700	5.69%
Average Sales Price	\$500,673	\$457,253	9.50%
Days on Market	75.67	82.00	-7.72%
Months Supply of Inventory	2.43	1.90	28.07%
Total Building Permits (YTD)	3,792	3,880	-2.27%
Single Family Permits (YTD)	341	232	46.98%

*Through Real Estate the average median in 2024 is \$438,317, in 2023 it was \$414,700 so it's only right to believe the prices will only get higher.

To live comfortably in Grand Junction there is a standard people are expected to meet. With such expectations, that also plays a factor in many people downfalls to acquiring what they need to survive.

TEAM



Standard of Living and Growth	2022	2021	2020	2019	% change from previous year
Population	158,534	157,432	155,993	155,109	0.70%
Personal Income	\$8,670,085	\$8,374,551	\$7,573,662	\$7,118,150	3.53%
Personal Income Per Capita	\$54,654	\$53,194	\$48,548	\$45,981	2.74%
Mesa County Gross Regional Product (in millions)	\$6,893	\$6,886	\$6,635	\$6,825	0.10%
Median Household Income	\$69,578	\$63,531	\$64,141	\$60,249	9.52%
Percent of Population Below Poverty Line	10.7	10.6	11.1	11.2	0.10

Our Proposal

- A livable space of 890 sq., total area 1400 sq.
- Located in the Riverside
- Easy access to nature
- Close to new development
- Open space for mobility



Sustainability/Energy

- Certified Heat pumps
- Electrical kitchen appliances
- Weatherization
- Water heating
- Advanced house framing
- Solar Energy
- Raised Heel Trust
- Xeriscaping





TEAM 1

Taking account of the economics of Grand Junction we're considering those in need, with our ADU we will be taking a step closer to a soon well-developed city.

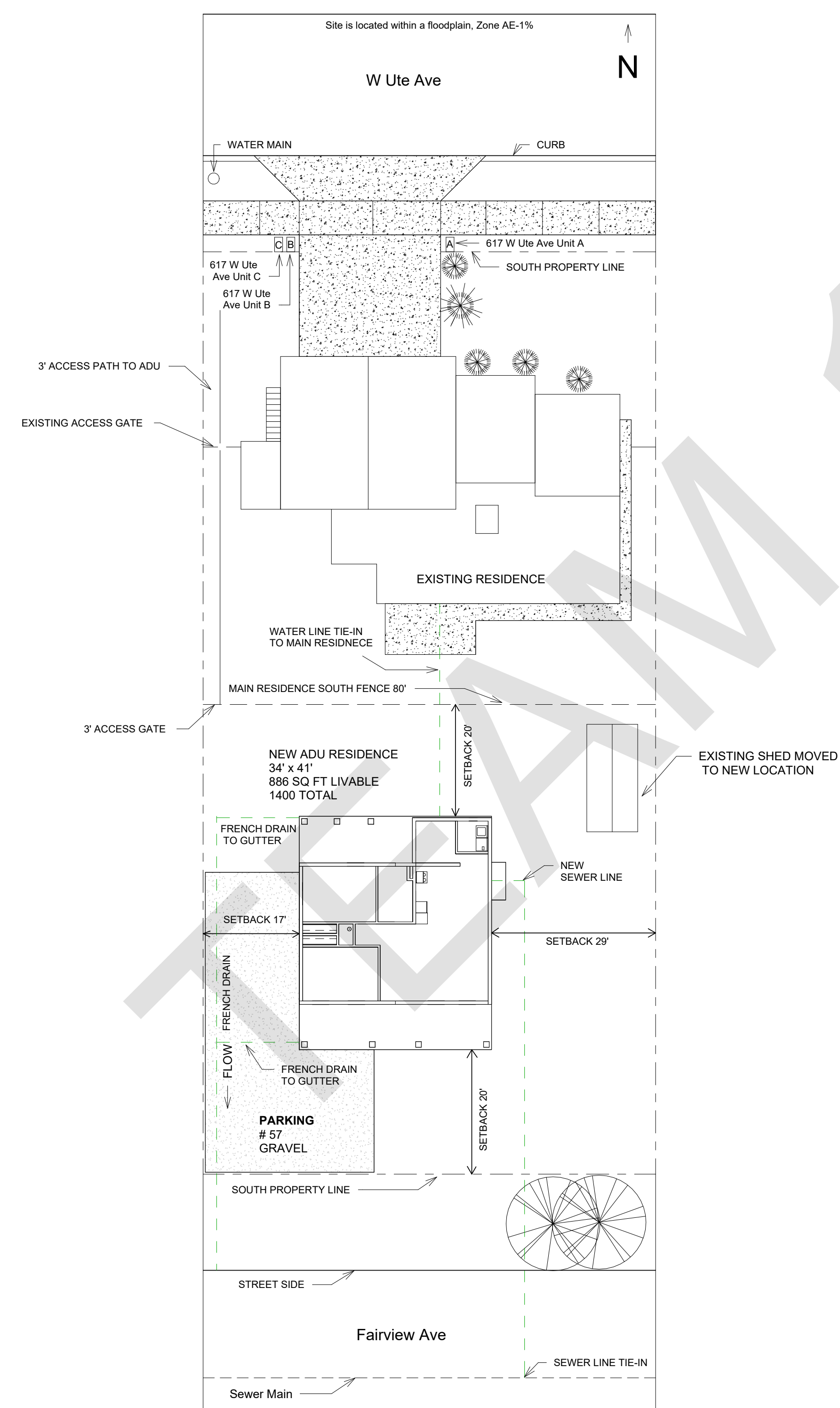
Resource

- Colorado Mesa University, Dr. Nathan Perry, **Mesa County Economic Update**

<chrome-extension://efaidnbnmnnnibpcajpcglclefindmkaj/https://www.coloradomesa.edu/business/documents/mesa-county-economic-newsletter-q2-2024.pdf>

Thank you

TEAM 1



1 Site Plan
1/16" = 1'-0"

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS. SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

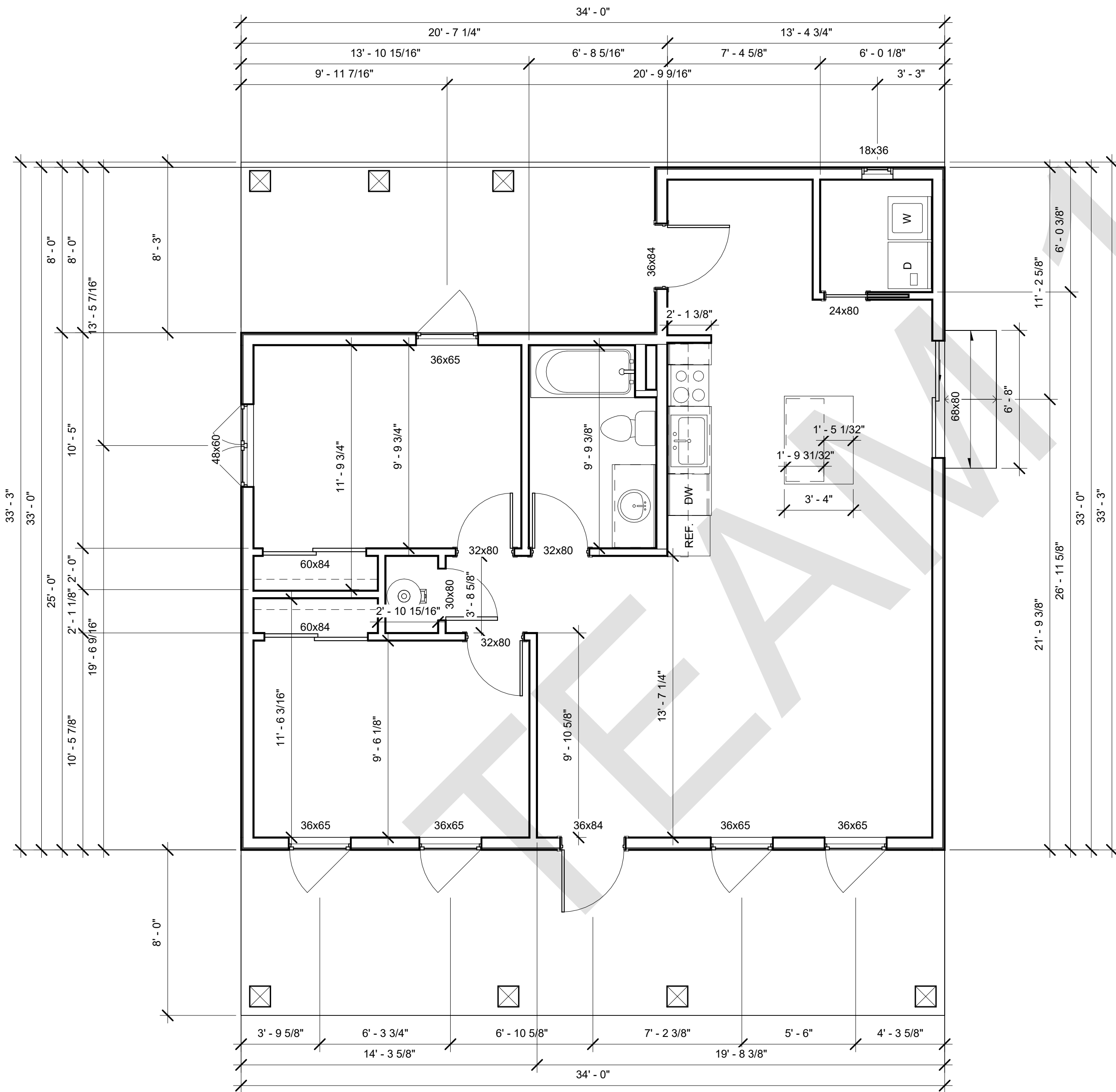
No.	Description	Date

Owner
617 W Ute Ave

Site Plan

Project number _____ Project Number _____
 Date 10/22/2024
 Drawn by Team 1.
 Checked by _____ Checker _____

C1
 Scale 1/16" = 1'-0"



ACCEPTANCE BLOCK
 THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____
 CITY PLANNER _____ DATE _____

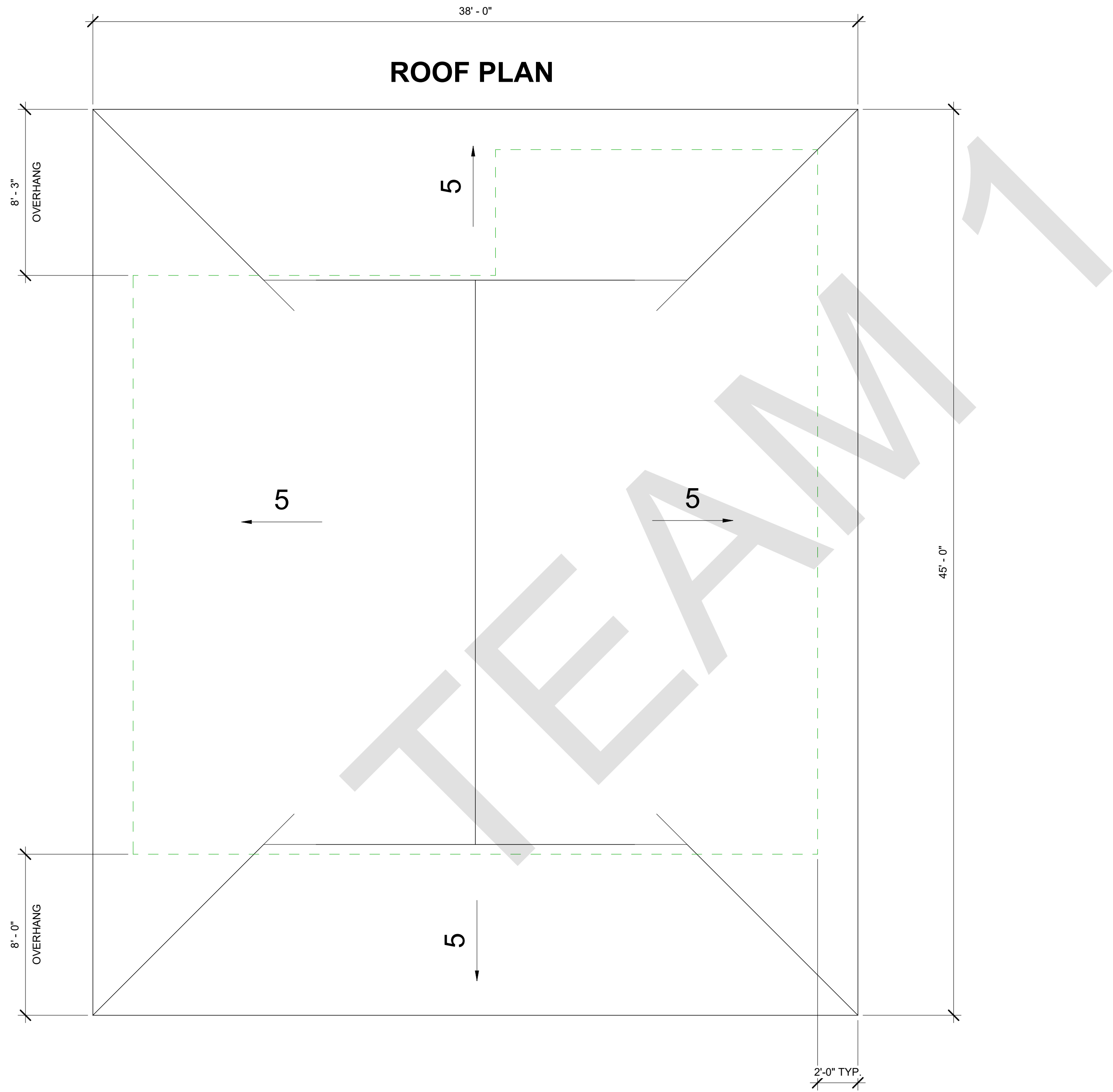
No.	Description	Date

Owner
617 W Ute Ave
First Floor Plan

Project number _____ Project Number _____
 Date 11/4/2024
 Drawn by Team 1
 Checked by _____ Checker _____

A1
 Scale 1/4" = 1'-0"

1 First Floor
 1/4" = 1'-0"



TEAM

ACCEPTANCE BLOCK
 THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
 CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER	_____	DATE	_____
CITY PLANNER	_____	DATE	_____

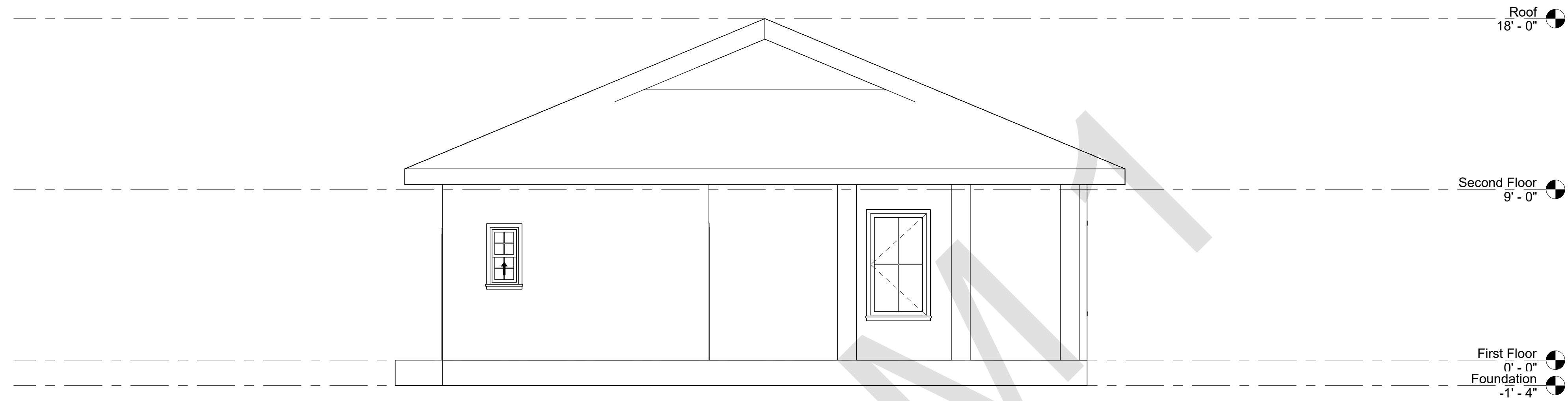
No.	Description	Date

Owner
 617 W Ute Ave
 Roof Plan

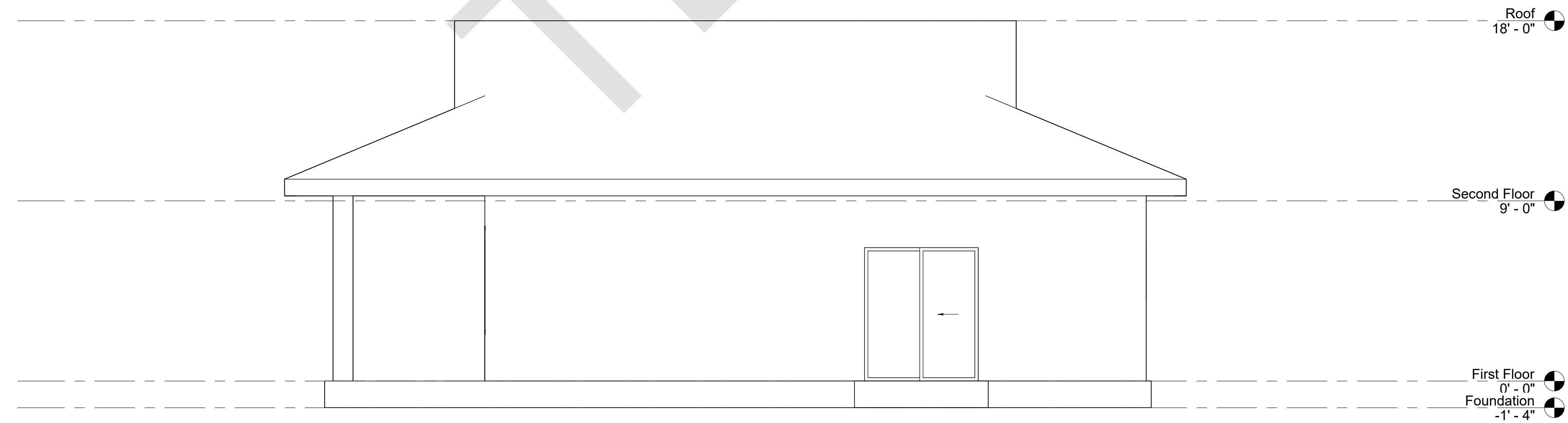
Project number	Project Number
Date	11/4/2024
Drawn by	Team 1
Checked by	Checker

A2

Scale 1/4" = 1'-0"



① North
1/4" = 1'-0"



② East
1/4" = 1'-0"

ACCEPTANCE BLOCK
THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER

CITY PLANNER

DATE

DATE

No.	Description	Date

Owner
617 W Ute Ave
Elevations

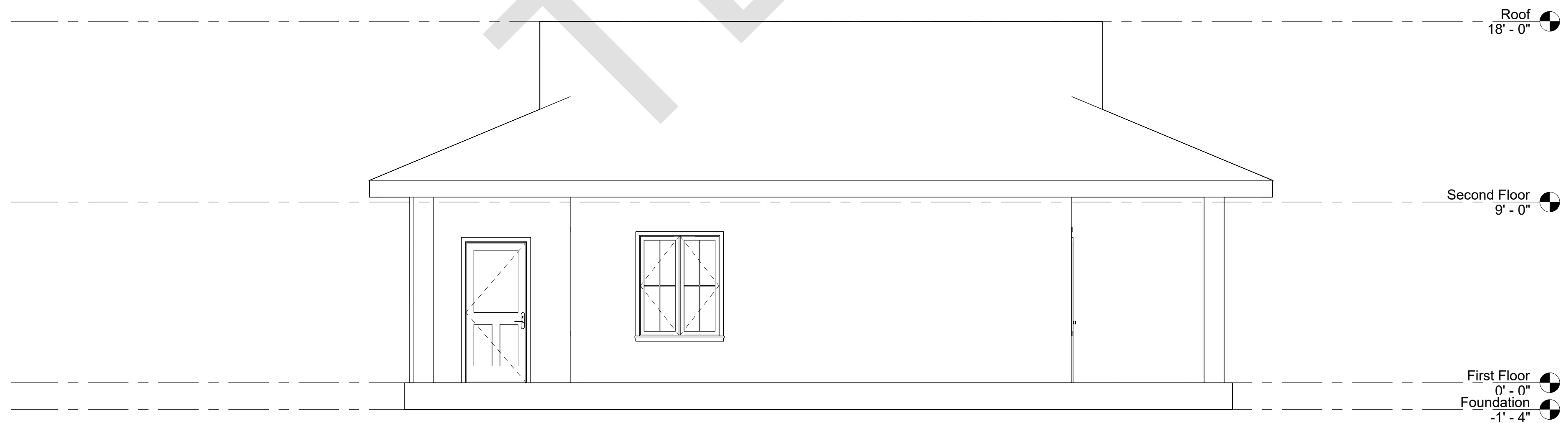
Project number	Project Number
Date	11/4/2024
Drawn by	Team 1
Checked by	Checker

A3

Scale 1/4" = 1'-0"



① South
1/4" = 1'-0"



② West
1/4" = 1'-0"

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____
 CITY PLANNER _____ DATE _____

No.	Description	Date

Owner
617 W Ute Ave
Elevations

Project number _____ Project Number _____
 Date _____ 11/4/2024
 Drawn by _____ Team 1
 Checked by _____ Checker _____

A4

Scale 1/4" = 1'-0"

PLANNING CLEARANCE

Single Family Residential and Accessory Structures

Building Address 2149 N 22nd St.

of Existing Buildings: 1 SF of Existing: 960

Parcel No. 2945-121-18-011

of Proposed Buildings: 1 SF of Lot: 7800

Subdivision Del Rey Replat

DESCRIPTION OF WORK & INTENDED USE:

Filing _____ Block 1 Lot 5

- New Single Family Home (*check type below)
- Interior Remodel
- Accessory Structure
- Other (Please specify)
- Addition
- Accessory Dwelling Unit - Review required

Applicant Information: Team 2

Name [REDACTED]

Mailing Address 2508 Blichmann Ave.

*** TYPE OF HOME PROPOSED:**

City, State, Zip GJ CO 81504

- Site Built
- Manufactured Home (HUD)
- Other (Please specify) ADU
- Manufactured Home (UBC)

Telephone 970-644-2641 - 571-2444276

Email [REDACTED]

Proposed Structure Information:

Owner Information: [REDACTED]

House 1st Fl: _____ sf 2nd Fl/Bonus Room: _____ sf

Name Westwood Rental LLC

Garage: _____ sf Covered patio/Entry: 36 sf

Mailing Address 3548 G Rd

Accessory Structure: 810 sf Basement: _____ sf

City, State, Zip Palisade CO 81526

Proposed Height: 12'-5 1/2" # of stories: 1

Notes: _____

REQUIRED: One plot plan, on 8 1/2" x 11" or 11" x 17" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, driveway location & width, ingress/egress to the property & all easements & rights-of-way which abut the parcel.

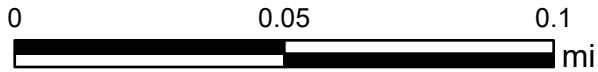
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature: [REDACTED] Date: 10-18-2024

VALID FOR 180 DAYS FROM DATE OF ISSUANCE (Section 21.02.070(b) Grand Junction Municipal Code)

Team 2 Site Map



Printed: 11/6/2024
1 inch equals 188 feet
Scale: 1:2,257

Project 2149 N 22nd St.

Not only is building ADU's beneficial for families and many groups of people, but it is also playing a crucial role in addressing the housing shortage in Mesa County. They provide affordable, flexible living spaces, which increases housing options while also on already developed land. ADU's are an amazing option for so many families and a more affordable way to live. They are also a much more sustainable choice compared to traditional homes. ADU's also take a fraction of the time to build and get approved, making the building process easier. Adding an ADU to a property will significantly increase the value of the estate, making it stand out on the market.

Being a two-bedroom, one-bathroom home, this ADU was designed for many diverse groups of people looking for a new home. It would be easily accessible for an elderly couple because it is on one level and has no stairs. It would also be a great fit for a small family since it has two bedrooms. College students would also find it very beneficial because it is less than a mile away from Colorado Mesa University, and it is close to local shops in the area, making it convenient to ride a bicycle to class. It is a 20-minute bicycle ride to Main Street to hang out at the local shops and restaurants. Having an ample living room, with plenty of open space, makes it easy to store a bicycle if needed since there will be no outdoor storage, like a shed, because this raises the rental price and the cost of building the ADU. There is also a commuter bus stop a short walking distance away in case the renters don't have any other means of transportation. This would also work well for a family who has disabled members because of the open layout and the fact that it does not have stairs is also a crucial factor. Being a small home, the ceilings are vaulted to appear more of an open concept that gives it a spacious feeling. There is also a linen closet to add more storage to the home. This is a universal ADU design that could be a good fit for many types of families and people. It can be rented out easily, since it can be accessed from the alley, by setting the ADU back from the alley allows for parking, making it appealing for anyone looking for a place to live. This ADU would be good for empty nesters, and retirees allowing them to reduce cost and maintenance. The homeowners also have the option to live in the ADU and rent out the main house for more income.

The construction cost of this 810 square foot ADU is roughly \$200/sq ft through Mor Storage. Before constructing this structure, applying for the ADU production program adopted in March of 2023, would help reduce the cost of the process by an amount close to \$25,000.00. This is very affordable for many looking to build an ADU and it is within most budgets. Affordability was a key factor in the design, keeping the number of interior walls to a minimum, keeping the plumbing to two walls, keeping the number of windows to six for lighting purposes. Maintaining the low cost and making it more affordable played an important role in the planning process of this project. It will also be xeriscape to maintain a low cost and to reduce yard waste. To get the budget as accurate as possible, most of the pricing was obtained by local licensed professionals to get an estimate of what it would cost to build this ADU.

Having this to be an energy efficient and sustainable ADU was another priority in developing this project. Purchasing Energy Star compliant products will help contribute to clean energy and reduce the operating costs. This is why all the appliances in this ADU are Energy Star certified and found directly on the Energy Star website. This may add some cost to the budget, but the appliances will pay themselves off over time and they cut energy bills while also aiding pollution. There will be three mini-split AC/Heater combos installed, one in each bedroom and one in the living area, saving money on heater and AC costs per Energy Star. With gas getting more expensive, this lot was chosen to position the ADU in a way that the pitch of the roof is declining south, making it better for positioning solar panels, which, for this part of Colorado, is great for solar electricity generating. Having solar panels makes this ADU more energy independent and it will generate enough electricity to recharge electric vehicles if the renters have or decide to purchase one. Charging the electric vehicles will be easy because there will be an outlet installed for this purpose. The federal government gives a rebate in the yearly income tax for having solar panels or electric vehicles. By getting the solar panels, an income tax incentive will help pay for them and eventually have the ADU be energy efficient and/or independent by having everything powered with electricity. Since the landscaping around this ADU will mostly be Gravel, adding some low maintenance shrubs or bushes will help reduce the heat that the gravel produces from the sun. Also, adding trees to the southern part will keep the ADU from getting too hot, receiving shade from the trees. The water use in the ADU will be kept low because there will be a Dishwasher in place which saves water, as well as installing high-efficiency shower heads to save water while taking showers. Adding a high-efficiency toilet will help every time the toilet is flushed. Aerators on the faucets will help to minimize the flow of water by 1 gallon per minute, saving water on everyday use.

ADU 2149 N. 22nd St.



www.autodesk.com/revit

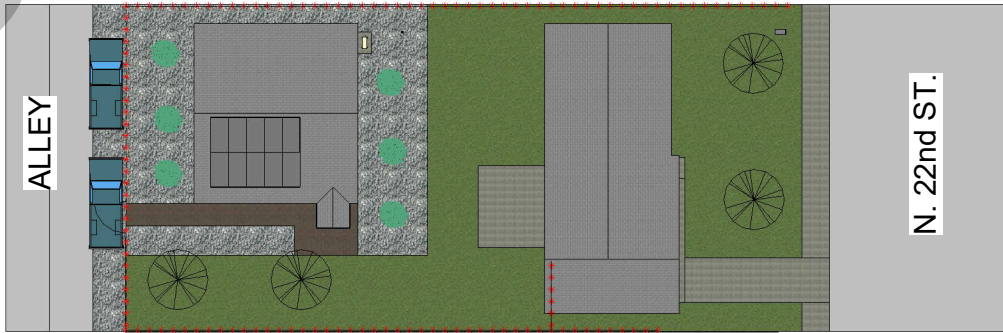
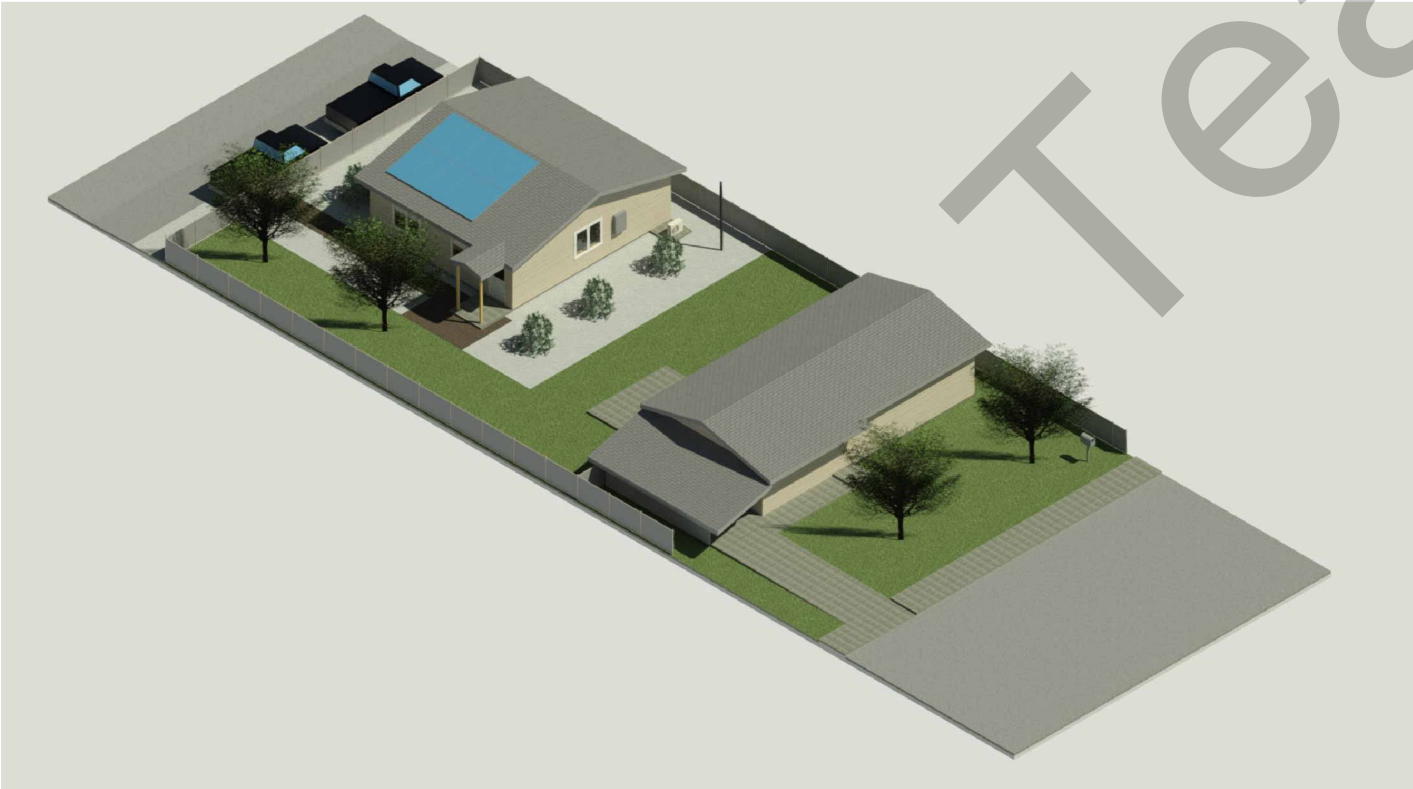
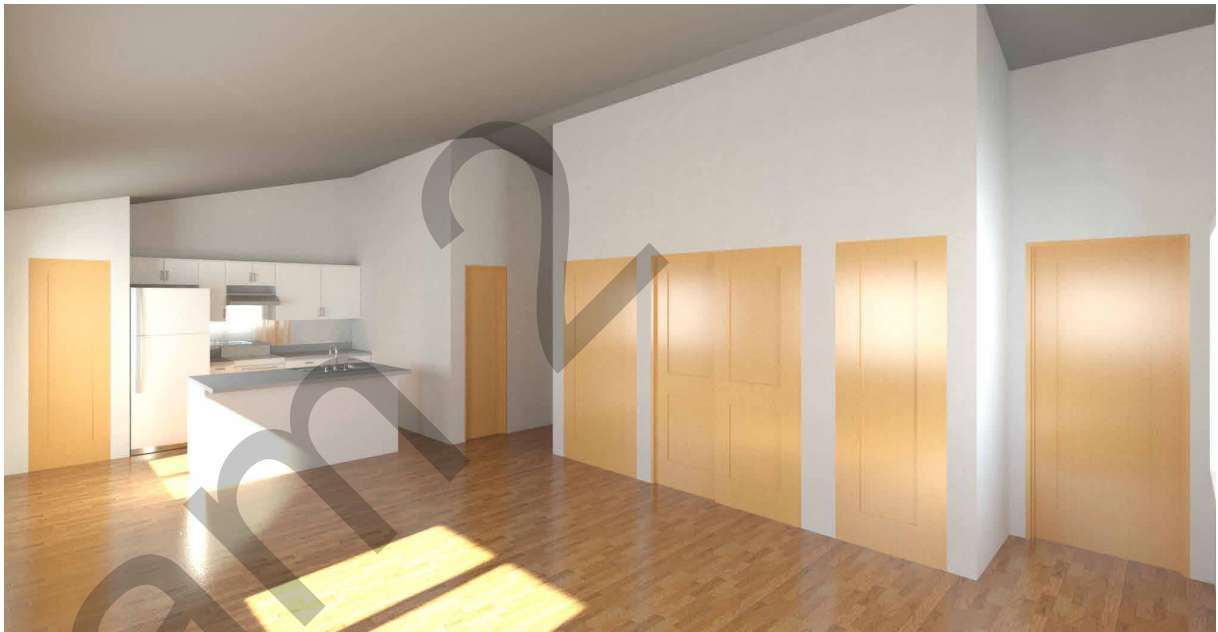
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

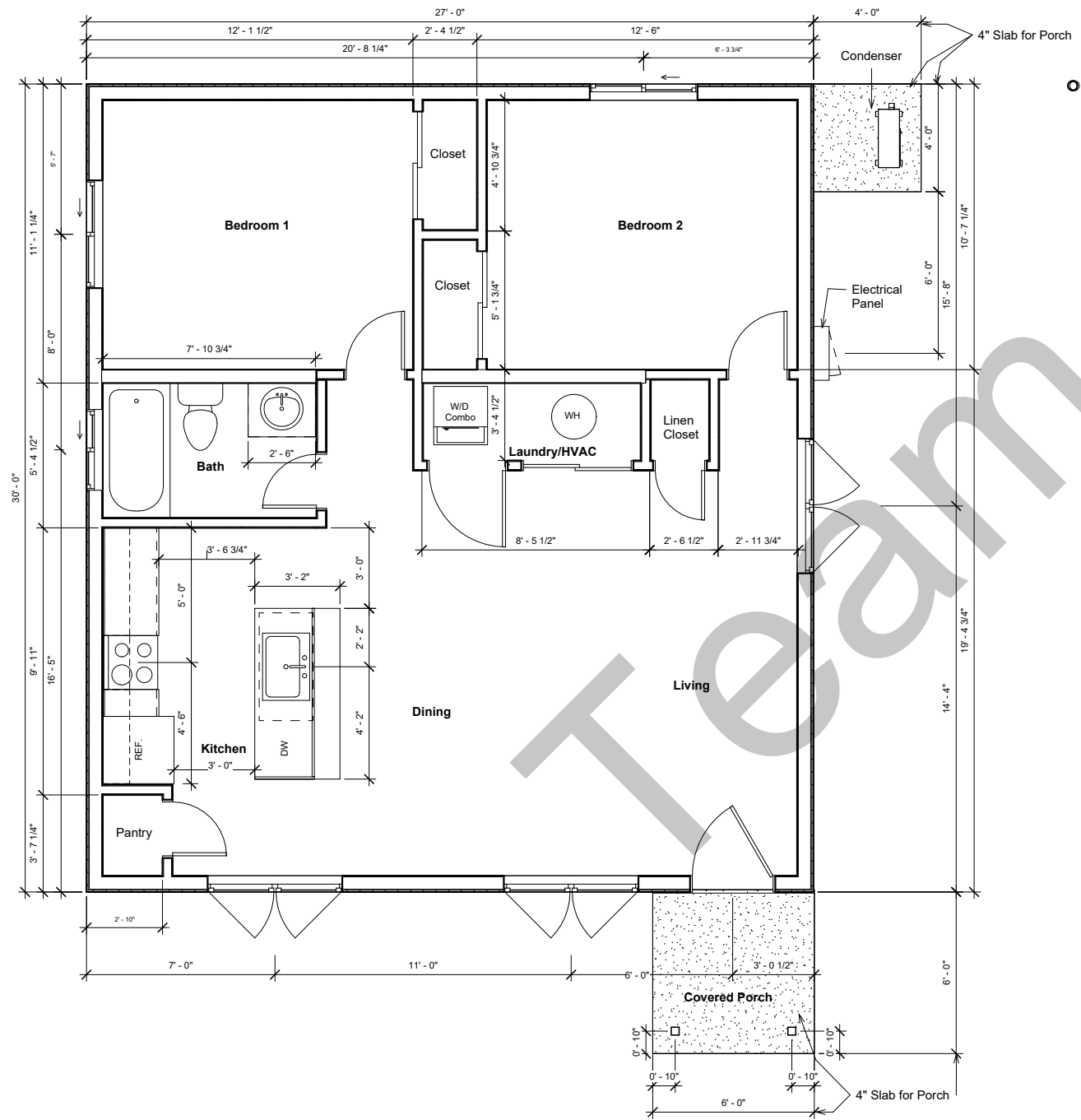
Consultant
Address
Phone
Fax
e-mail



No.	Description	Date

ADU
2149 N 22nd St.
Title Page

Project number _____ Project Number _____
 Date _____ Date 10/18/24
 Drawn by _____ Team 2
 Checked by _____ Checker
A1
 Scale _____ As indicated



1 Floor Plan
3/8" = 1'-0"

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____

DATE _____

CITY PLANNER _____

DATE _____



Room Square Footage	
Name	Area
Dining	73 SF
Bath	40 SF
Bedroom 1	115 SF
Bedroom 2	115 SF
Living	188 SF
Kitchen	121 SF
Laundry/HVAC	23 SF
Covered Porch	36 SF



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

No.	Description	Date

ADU
2149 N 22nd St.
Floor Plan

Project number _____ Project Number _____
Date _____ 10/18/24
Drawn by _____ Team 2
Checked by _____ Checker

A2

Scale _____ 3/8" = 1'-0"

11/3/2024 4:20:41 PM



www.autodesk.com/revit

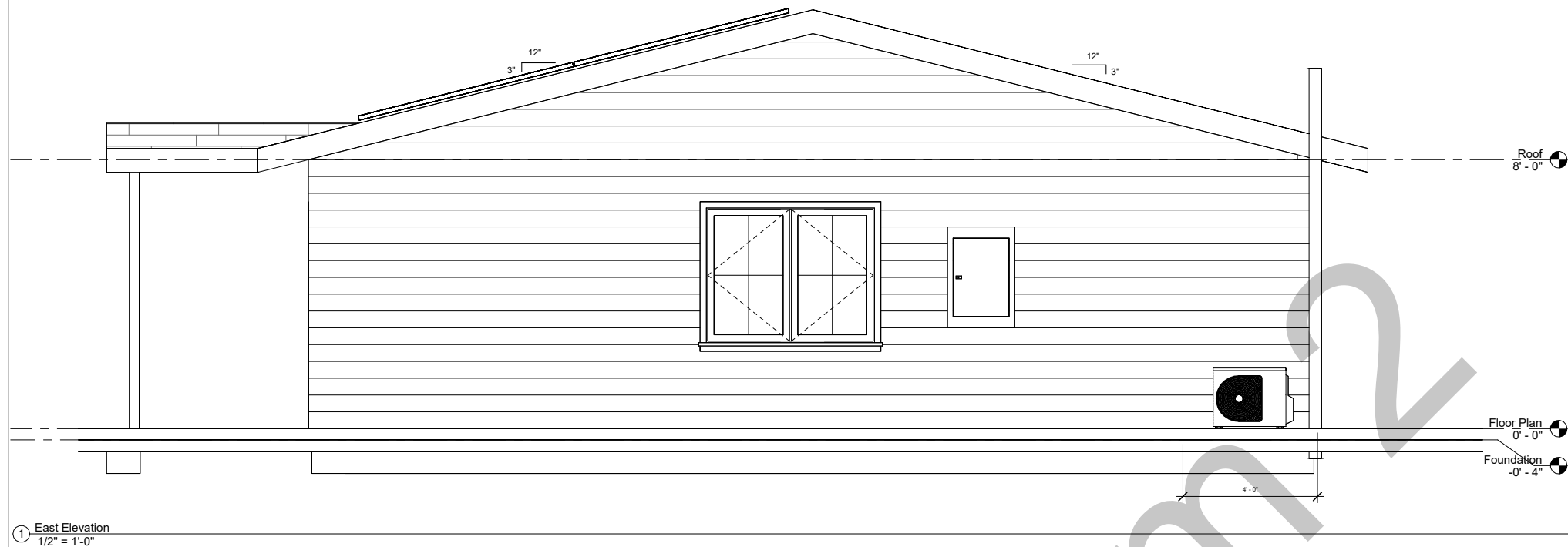
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail



① East Elevation
1/2" = 1'-0"

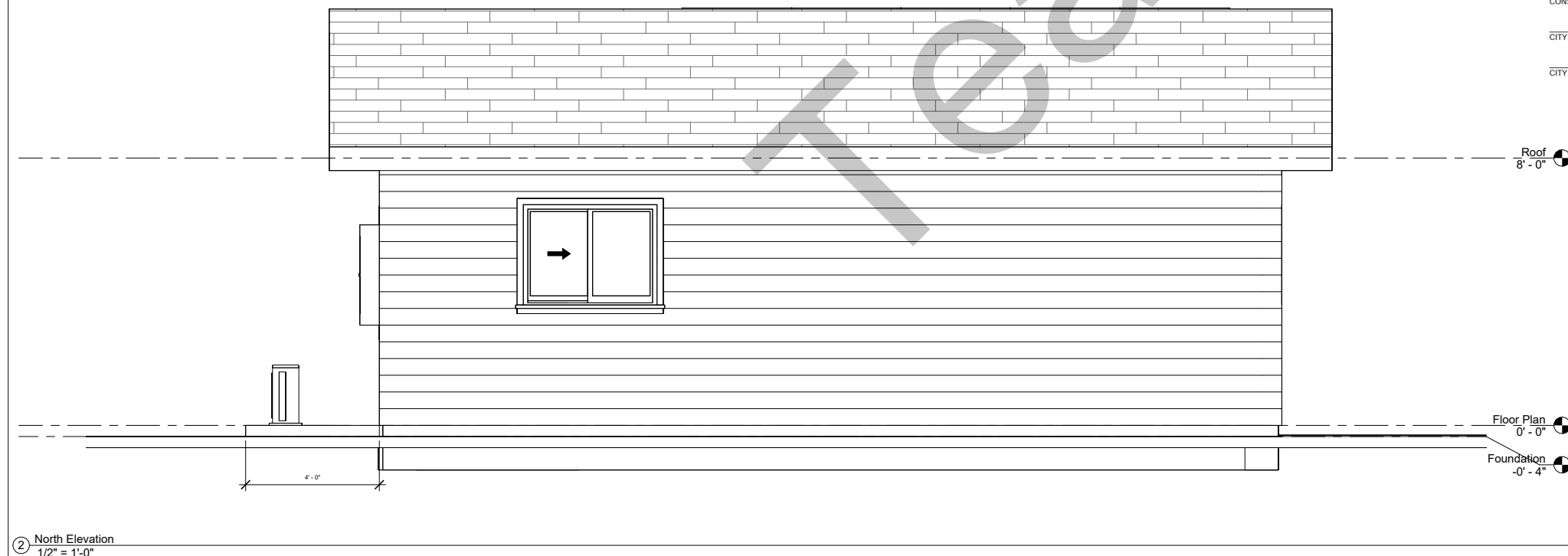
ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____



② North Elevation
1/2" = 1'-0"

No.	Description	Date

ADU
2149 N 22nd St.
North and East
Elevations

Project number _____ Project Number _____
Date _____ 10/18/24
Drawn by _____ Team 2
Checked by _____ Checker

A4

Scale 1/2" = 1'-0"

11/3/2024 4:20:41 PM



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

No.	Description	Date

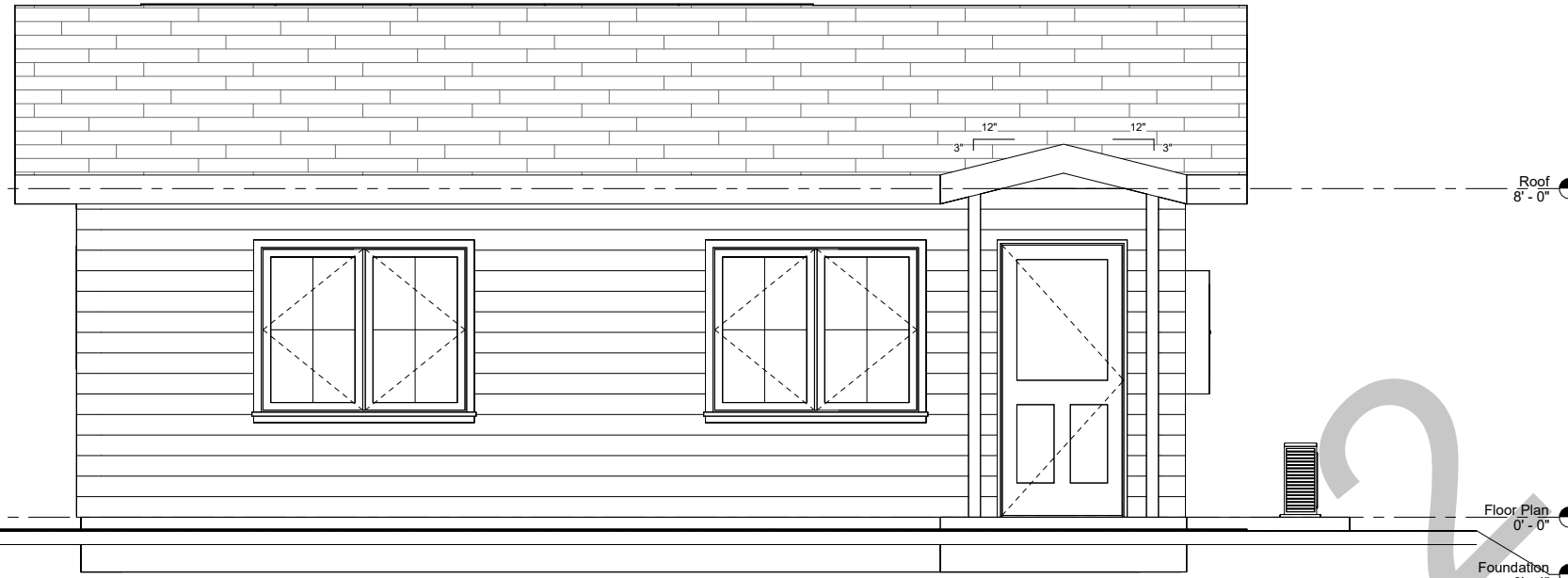
ADU
2149 N 22nd St.
South and West
Elevations

Project number	Project Number
Date	10/18/24
Drawn by	Team 2
Checked by	Checker

A5

Scale 1/2" = 1'-0"

11/3/2024 4:20:41 PM



① South Elevation
1/2" = 1'-0"



② West Elevation
1/2" = 1'-0"



www.autodesk.com/revit

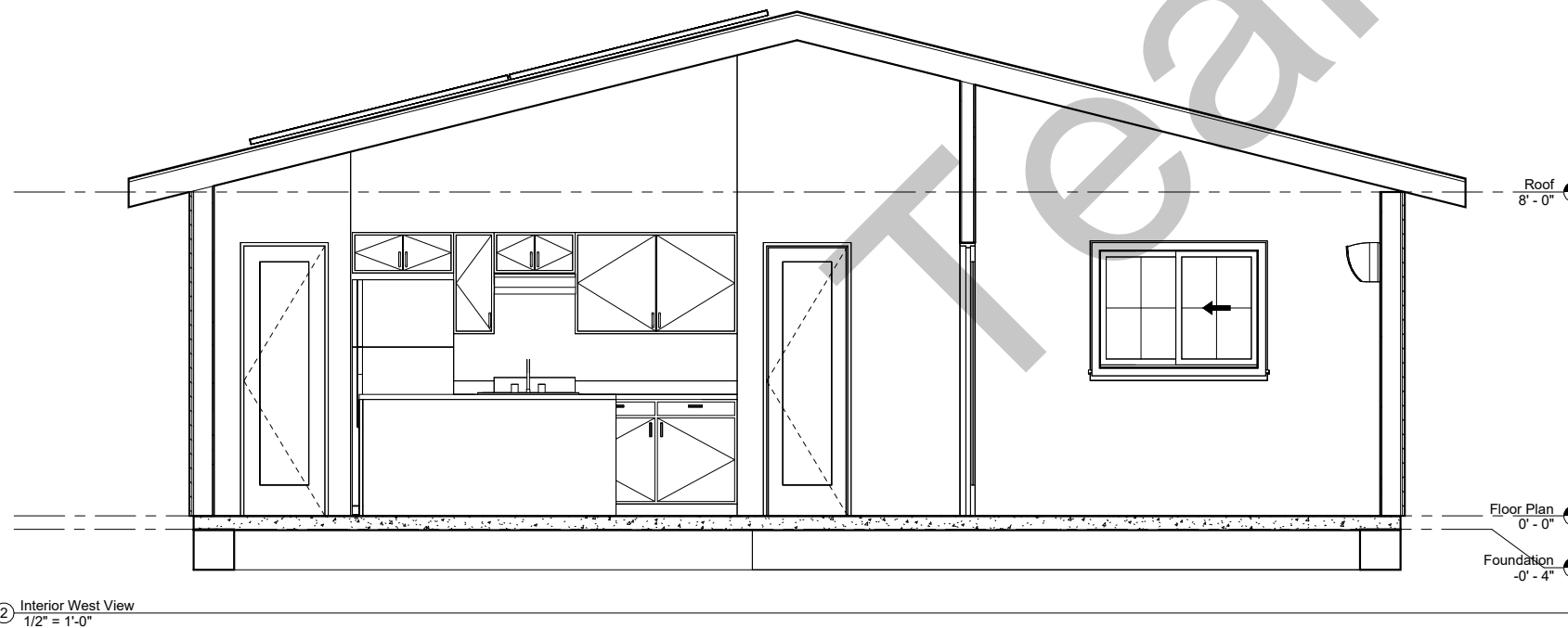
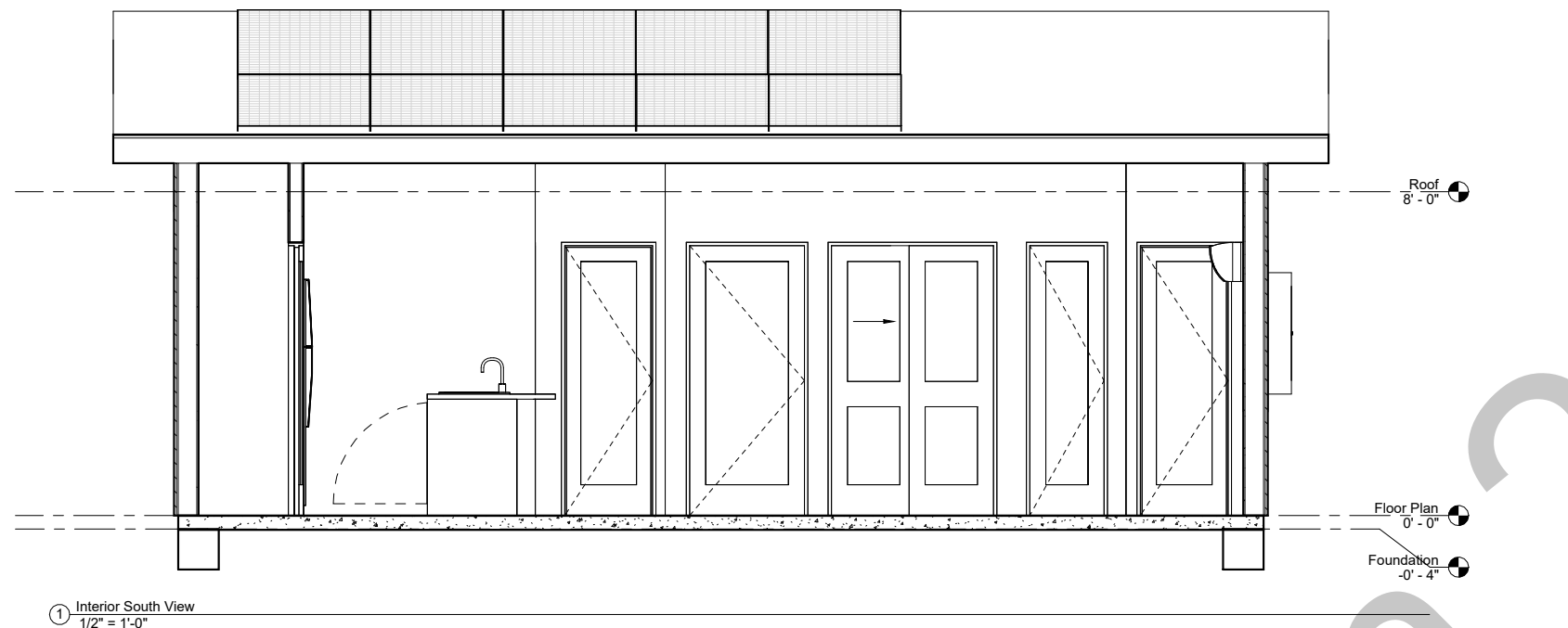
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail



ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

No.	Description	Date

ADU
 2149 N 22nd St.
 Interior Sections

Project number	Project Number
Date	10/18/24
Drawn by	Team 2
Checked by	Checker

A6
 Scale 1/2" = 1'-0"

11/3/2024 4:20:41 PM

No.	Description	Date

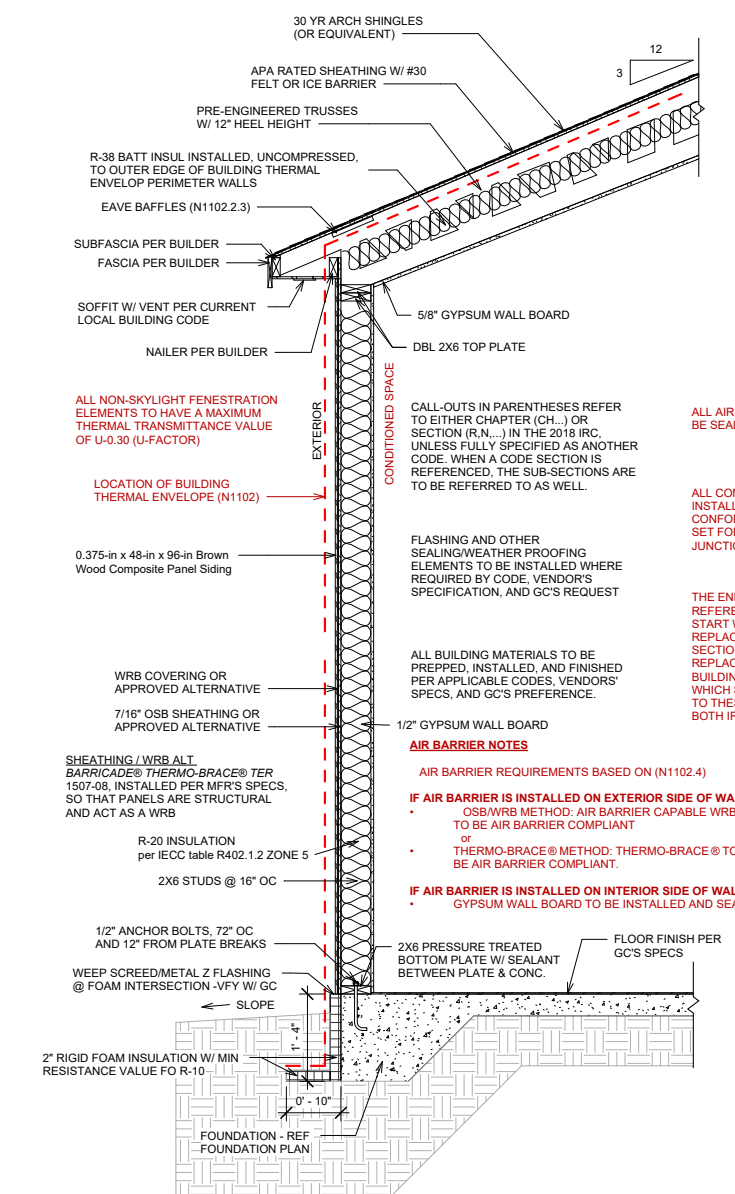
ADU
2149 N 22nd St.
Wall Sections

Project number	Project Number
Date	10/18/24
Drawn by	Team 2
Checked by	Checker

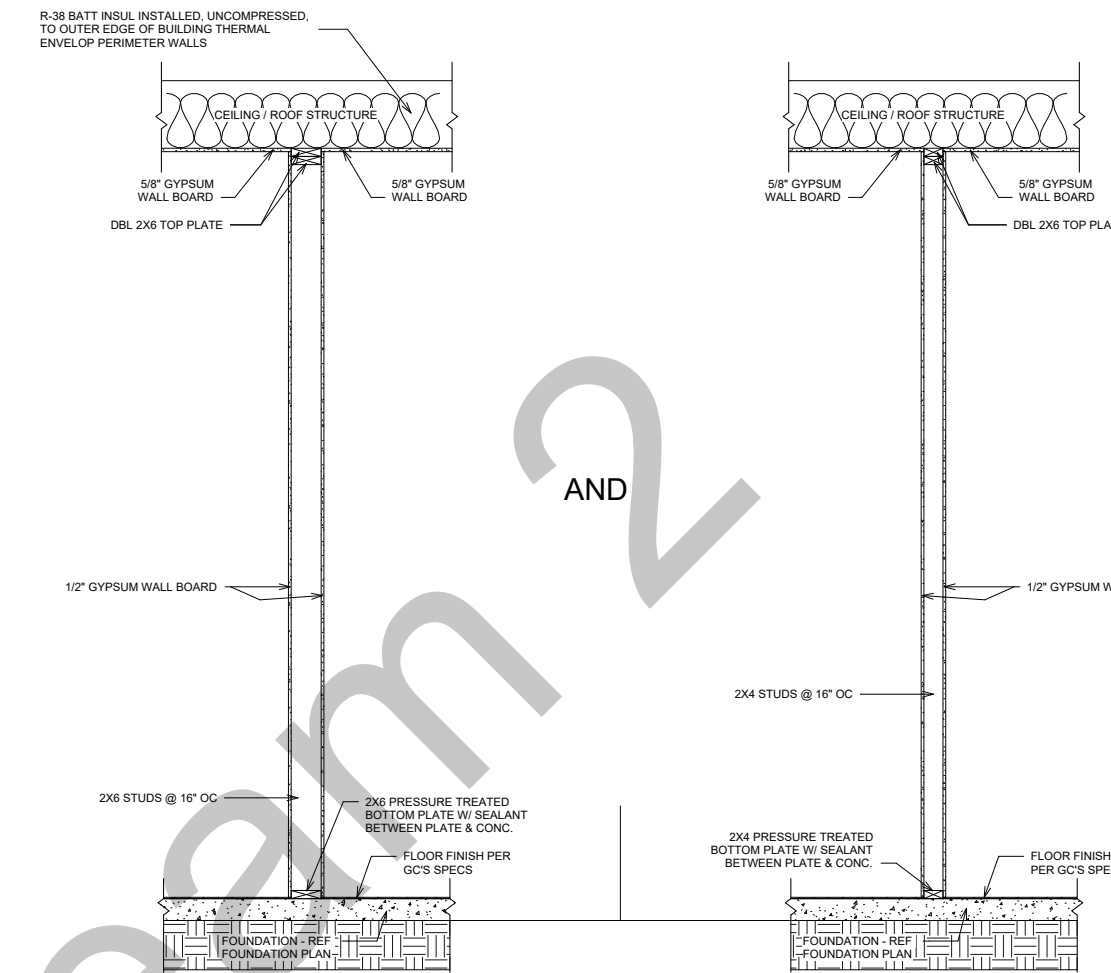
A7

Scale 3/4" = 1'-0"

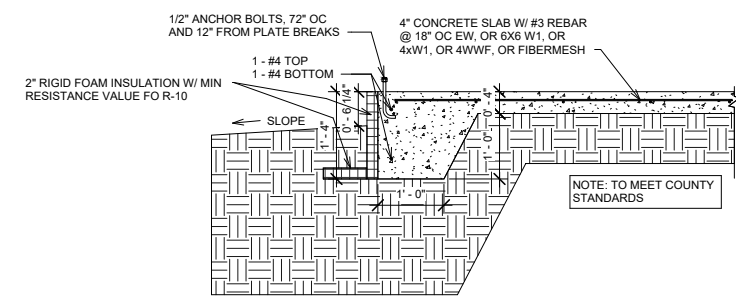
11/3/2024 4:20:42 PM



③ **TYPICAL EXTERIOR WALL SECTION @ BUILDING THERMAL ENVELOPE**
3/4" = 1'-0"



② **GARAGE SEPARATION WALL SECTION (2X4 WALL W/RIGID FOAM INSUL OR 2X6 WALL)**
3/4" = 1'-0"



① **EXTERIOR FOOTING SECTION**
3/4" = 1'-0"

ALL NON-SKYLIGHT FENESTRATION ELEMENTS TO HAVE A MAXIMUM THERMAL TRANSMITTANCE VALUE OF U-0.30 (U-FACTOR)

LOCATION OF BUILDING THERMAL ENVELOPE (N1102)

0.375-in x 48-in x 96-in Brown Wood Composite Panel Siding

WRB COVERING OR APPROVED ALTERNATIVE

7/16" OSB SHEATHING OR APPROVED ALTERNATIVE

SHEATHING / WRB ALT BARRICADE® THERMO-BRACE® TER 1507-08, INSTALLED PER MFR'S SPECS, SO THAT PANELS ARE STRUCTURAL AND ACT AS A WRB

R-20 INSULATION per IECC table R402.1.2 ZONE 5

2X6 STUDS @ 16" OC

1/2" ANCHOR BOLTS, 72" OC AND 12" FROM PLATE BREAKS

WEEP SCREED/METAL Z FLASHING @ FOAM INTERSECTION -Vfy W/ GC

2" RIGID FOAM INSULATION W/ MIN RESISTANCE VALUE FO R-10

FOUNDATION - REF FOUNDATION PLAN

CALL-OUTS IN PARENTHESES REFER TO EITHER CHAPTER (CH..) OR SECTION (R.N..) IN THE 2018 IRC, UNLESS FULLY SPECIFIED AS ANOTHER CODE. WHEN A CODE SECTION IS REFERENCED, THE SUB-SECTIONS ARE TO BE REFERRED TO AS WELL.

FLASHING AND OTHER SEALING/WEATHER PROOFING ELEMENTS TO BE INSTALLED WHERE REQUIRED BY CODE, VENDORS' SPECIFICATION, AND GC'S REQUEST

ALL BUILDING MATERIALS TO BE PREPPED, INSTALLED, AND FINISHED PER APPLICABLE CODES, VENDORS' SPECS, AND GC'S PREFERENCE.

AIR BARRIER NOTES

AIR BARRIER REQUIREMENTS BASED ON (N1102.4)

IF AIR BARRIER IS INSTALLED ON EXTERIOR SIDE OF WALL:

- OSB/WRB METHOD: AIR BARRIER CAPABLE WRB TO BE INSTALLED AND SEALED SO AS TO BE AIR BARRIER COMPLIANT
- or
- THERMO-BRACE® METHOD: THERMO-BRACE® TO BE INSTALLED AND SEALED SO AS TO BE AIR BARRIER COMPLIANT.

IF AIR BARRIER IS INSTALLED ON INTERIOR SIDE OF WALL:

- GYPSUM WALL BOARD TO BE INSTALLED AND SEALED SO AS TO SERVE AS AIR BARRIER

ALL AIR BARRIER PENETRATIONS TO BE SEALED

ALL CONSTRUCTION MATERIALS AND INSTALLATION METHODS TO CONFORM WITH THE REQUIREMENTS SET FORTH BY THE CITY OF GRAND JUNCTION BUILDING DEPARTMENT

THE ENERGY CODES THAT ARE BEING REFERENCED ARE IN THE 2018 IRC, AND ALL START WITH "N11". IF USING THE 2018 ECC, REPLACE "N11" WITH "R4" FOR ALL SECTIONS, WITH THE EXCEPTION OF IECC. REPLACE "N11" WITH "R4" FOR ALL EXISTING BUILDING RELATED SECTIONS WHICH START AT N1107 - ANY REFERENCE TO THESE SECTIONS WILL OUTS. CONTAIN BOTH IRC & IECC SECTION CALL-OUTS.

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPUANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

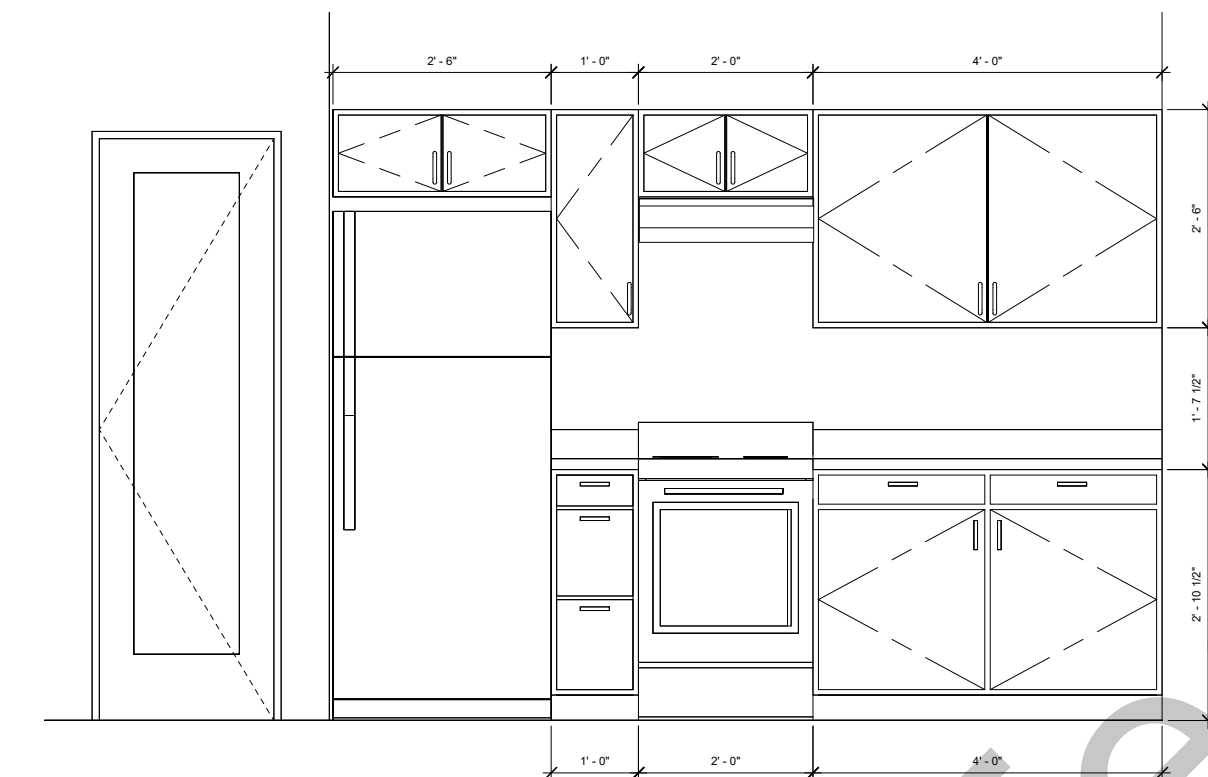
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

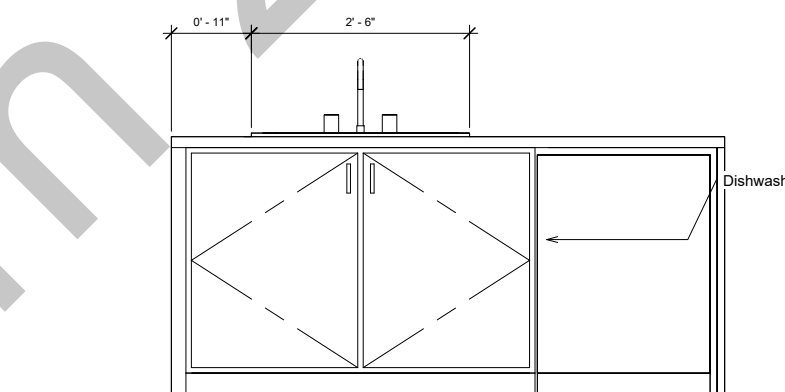
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail



① Kitchen
1" = 1'-0"



② Kitchen-Island
1" = 1'-0"

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLUANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER

DATE

CITY PLANNER

DATE

No.	Description	Date

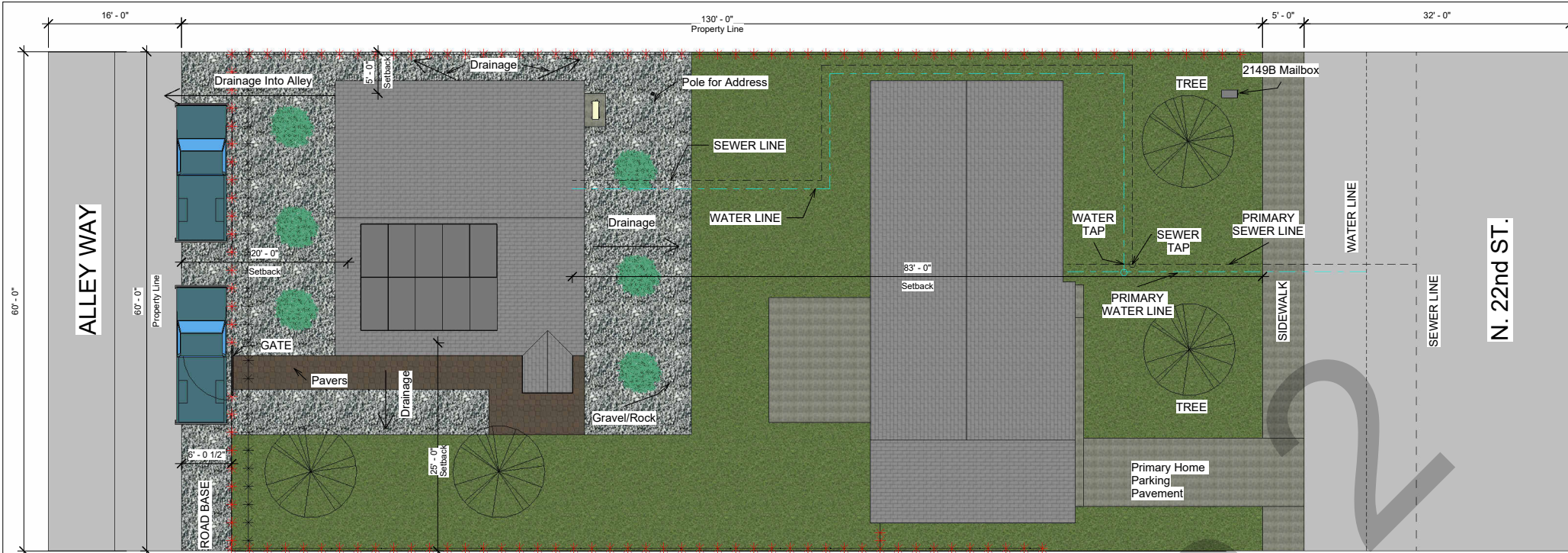
ADU
2149 N 22nd St.
Interior Elevations

Project number _____ Project Number _____
Date _____ Date 10/18/24
Drawn by _____ Drawn by Team 2
Checked by _____ Checked by _____

A8

Scale 1" = 1'-0"

11/3/2024 4:20:42 PM



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

1 Site Plan
1/8" = 1'-0"



LEGEND	
[Red star symbol]	EXISTING FENCE
[Black star symbol]	PROPOSED FENCE
[Blue line symbol]	WATER LINE
[Blue circle symbol]	WATER TAP
[Black dashed line symbol]	SEWER LINE
[Black circle symbol]	SEWER TAP
[Vertical rectangle symbol]	CHAIN LINK GATE
[Grey rectangle symbol]	MAILBOX

NOTES

- 1) Move Existing Western Fence 2 ft to the East To Accommodate for Parking.
- 2) Use Durable Gravel Surface For Parking Like Road Base
- 3) Gravel To Be Used Around The House As Landscaping.

ACCEPTANCE BLOCK
 THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____



No.	Description	Date

ADU
2149 N 22nd St.
Site Plan

Project number _____ Project Number _____
 Date _____ 10/18/24
 Drawn by _____ Team 2
 Checked by _____ Checker _____

C1

Scale _____ 1/8" = 1'-0"

11/3/2024 4:20:47 PM



www.autodesk.com/revit

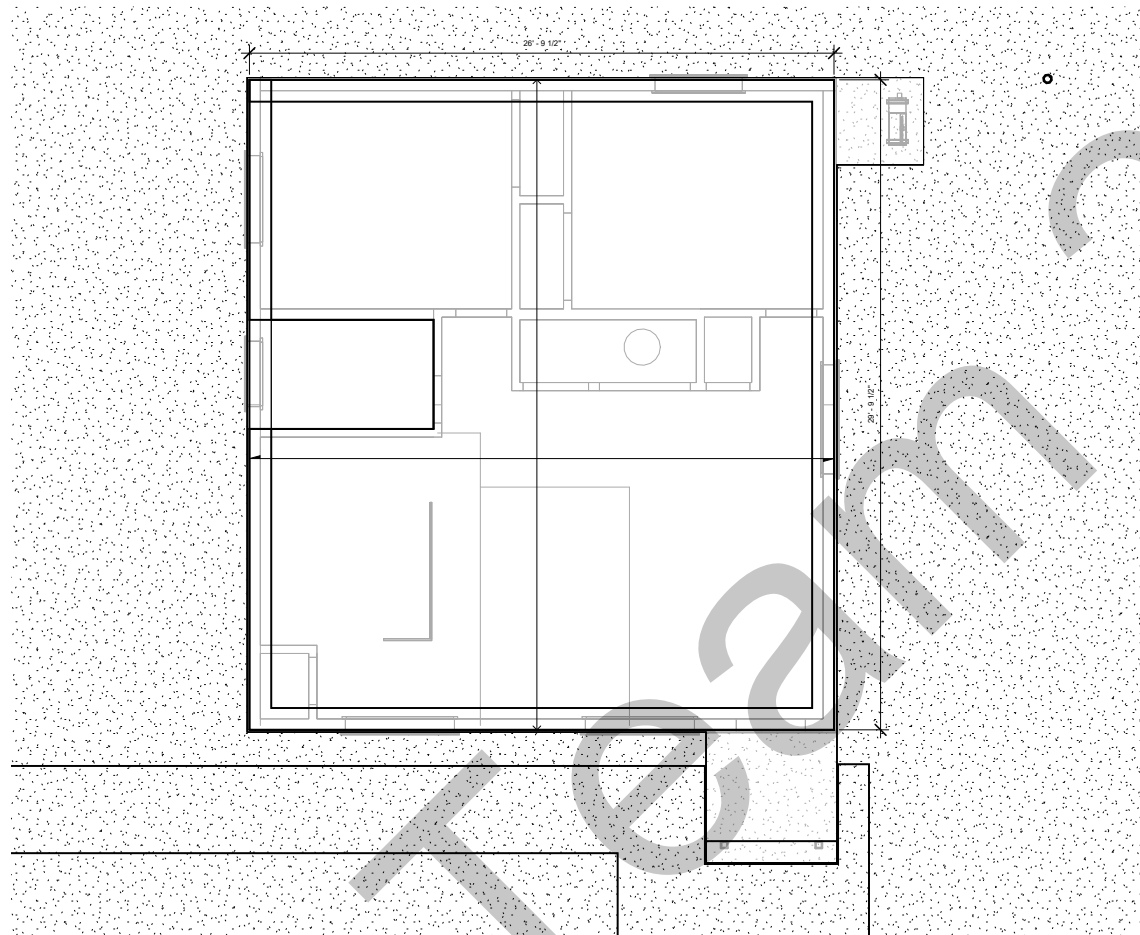
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail



① Foundation
1/4" = 1'-0"

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLUANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER

DATE

CITY PLANNER

DATE

No.	Description	Date

ADU
2149 N 22nd St.
Foundation Plan

Project number _____ Project Number
Date _____ 10/18/24
Drawn by _____ Team 2
Checked by _____ Checker

S1

Scale 1/4" = 1'-0"

11/3/2024 4:20:47 PM

ADU Cost Estimator

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below.

Total Estimated ADU Cost: 214515.68

Hard Costs

Hard Cost Calculator Total	174185.00	See the second tab of this spreadsheet for a more detailed hard cost calculator . The total that you calculate there will appear in the first yellow box to the left .
Contractor Overhead	25000.00	
Site Improvements		
Sewer/Water/Infrastructure Changes		
Additional Cost		

Soft Costs

DESIGN		
Designer/Architect	1500.00	The need for design services will vary - not every project will require a designer or architect.
Geotechnical Engineer	2000.00	
Other: Survey	1500.00	
Other: Structural engineer	1500.00	

STUDIES

Soils Report (if on expensive or unstable soils)		Required studies vary by project. Confirm which studies your project will require by consulting City of GJ Planning Staff during your planning meetings.
Floodplain Permit Survey		
Additional Study		
Additional Study		

Impact/Planning Fees*

ADU Planning Clearance Fee	45.00	<small>*Fees as of January 2024. City of Grand Junction impact/planning fees are regularly adjusted for inflation. You can find the most updated planning clearance fee here: https://egov.epl-web.gjcity.org/EnerGov_prod/SelfService#/applicationAssistant?sectionName=All&showTemplates=false And the most updated impact fees here: https://www.gjcity.org/349/Development-Impact-Fees </small>
Traffic Capacity Payment (TCP)**	3075.00	
School Impact Fee	0.00	
Sewer Plant Investment Fee (PIF)	3991.68	
Parks Impact Fee	962.00	
Fire Impact Fee	530.00	
Police Impact Fee	227.00	
Floodplain Elevation Certificate Fee***		

Water/Sewer Tap Fees

Grand Junction Water - \$0		NOTE: These fees are only required if putting in a separate meter/tap. Don't forget to contact your water provider to determine if a water "submeter" is required (and associated costs), and to get updated fees.
Clifton Water - \$6100		
Ute Water - \$8000	0.00	
Sewer Tap Fees		

Estimated Hard Cost Calculator*

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below.

Total Estimated Hard Cost: 174185.00

Site Prep	
Demolition	0.00
Dumpster & Removal	1600.00
Clear Lot	0.00
Tool/Equipment Rental	0.00
Other: Portapotty	500.00
Other:	

Utilities	Column1
Gas: Permit, Connection Fee, Installation	300.00
Electrical: Permit, Connection Fee, Installation	800.00
Water/Sewer: Tap Fees & Hookup	
Telecom (Internet, Cable) Hookup	0.00
Other: builders risk ins.	700.00
Other:	

Rough Framing	
Exterior & Interior Walls	15000.00
Floor Framing	0.00
Nails, Screw, Fasteners	inc
Prep for Plaster, Drywall	inc
Roof Framing/Trusses	4560.00
Roof Framing/Trusses Labor	6500.00
Other:	
Other:	

Plumbing	
Drain/Waste/Vent	inc
Water Supply Piping	inc
Gas Piping	inc
Water Treatment	0.00
Water Heater	inc
Fixtures: Toilets, Tubs, Sinks, Showers	0.00
Faucets, Mixing Valves, Shower Heads	250.00
Disposal	150.00
Other:	
Other:	

HVAC	
Furnace	4500.00
Central AC/Heat Pump	4500.00
Ductwork	3000.00
Labor	4000.00
Hot Water Tank	inc
Other:	
Other:	

Porches & Decks	
Porch/Deck	inc
Other Outdoor Structures	0.00
Labor	inc
Other:	
Other:	

Excavation & Earthwork	Column1
Retaining Wall	0.00
Topsoil	
Site Drainage	500.00
Seeding/Sod	
Other: digout, final grading	3500.00
Other:	

Foundation	Column1
Slabs - Foundation, Basement, Garage	12690.00
Sump Pump	0.00
Crawspace	0.00
Exterior Foundation Insulation	600.00
Other:	
Other:	

Exterior	
Exterior Labor	4000.00
Siding/Veneer	1700.00
Paint/Stain/Caulk	3500.00
Trim	5000.00
Other: Sheathing	1400.00
Other:	

Electrical	
Lighting	1300.00
Wiring	4000.00
Smoke/CO2 Alarms	inc
Panels	inc
Devices: Outlets, switches, dimmers	inc
Labor	4000.00
Other: Sub-Panel Work and Supplies	1500.00
Other: Solar Panels	25000.00

Drywall/Plaster	
Labor	4000.00
Walls	2000.00
Ceilings	2000.00
Other:	
Other:	

Kitchen	
Cabinets	2600.00
Sink	500.00
Countertops	2000.00
Labor	700.00
Other: drawer pulls	150.00
Other: backsplash subway tiles	1000.00

Appliances	
Refrigerator	1900.00
Stove, Range, Cooktop	710.00
Dishwasher	620.00
Washer/Dryer	0.00
Microwave	0.00
Other:	
Other:	

On-Site Water/Sewer	Column1
Plumbing Installation, Tie In	7500.00
Plumbing/Water/Sewer Permits	11000.00
Other:	
Other:	

Other Masonry/Paving	
Patios	1000.00
Exterior Stairs	0.00
Masonry Chimneys	0.00
Fireplaces/Hearths	0.00
Driveway	0.00
Walkways	0.00
Other:	
Other:	

Windows/Exterior Doors	
Doors, frames, sills	1250.00
Locksets, knobs, door hardware	350.00
Windows	2500.00
Garage Doors & Opener	0.00
Other:	
Other:	

Insulation & Air-Sealing	
Insulation	3000.00
Labor	1000.00
Other:	
Other:	

Interior Finish	
Interior Doors	2500.00
Cabinets	0.00
Interior Painting	4500.00
Floors, lvp w/ install	4500.00
Decorative Elements	0.00
Labor	
Other: final construction cleaning	600.00
Other:	

Bathrooms	
Bath cabinets	inc in ktn
Shower Trim	150.00
Bath tub	300.00
Mirror	75.00
Towel hangers, toilet paper holders, accessories	50.00
Toilet	280.00
Sink	100.00
Labor	300.00
Other:	
Other:	

Project 2149 N 22nd St. Summary

Being a two-bedroom, one bathroom home, this ADU was designed for many diverse groups of people. It would be easily accessible for an elderly couple because it is on one level and has no stairs but could also be a great fit for a small family since it has two bedrooms. College students would also find it very beneficial because it is less than a mile away from Colorado Mesa University, and it's a close 20-minute bicycle ride to local shops on Main Street, making it convenient to hang out and eat downtown. There is also a commuter bus stop a short walking distance away in case the renters don't have any other means of transportation. This would also work well for a family who has disabled members because of the open layout and the fact that it does not have stairs is also a crucial factor. Being a somewhat small home, the ceilings are vaulted to add to the open concept and give a spacious feeling. There is also a linen closet to add more storage to the home. This is a universal ADU design that could be a good fit for many types of families and people. It could be rented out easily, since the ADU has alley access. By setting the ADU near the alley, this allows for ample parking, therefore making it appealing for anyone looking for a place to live. This ADU would be good for empty nesters, and retirees allowing them to reduce cost and maintenance. The homeowners also have the option to live in the ADU and rent out the main house for more income.

The construction cost of this 810 square foot ADU is roughly \$200/sq ft through Mor Storage. Before constructing this structure, applying for the ADU production program adopted in March of 2023, would help reduce the cost of the process by an amount close to \$25,000.00. This is very affordable for many looking to build an ADU and it is within most budgets. Affordability was a key factor in the design; keeping the number of interior walls to a minimum, keeping the plumbing to two walls, keeping the number of windows to six for lighting purposes. Maintaining the low cost and making it more affordable played an important role in the planning process of this project. It will also be xeriscape to maintain a low cost and to reduce yard waste. To get the budget as accurate as possible, most of the pricing was obtained by local licensed professionals to get an estimate of what it would cost to build this ADU.

Having this be an energy efficient and sustainable ADU was another priority in developing this project. Purchasing Energy Star compliant appliances for this ADU will help contribute to clean energy and reduce the operating costs. This may add some cost to the budget, but the appliances will pay themselves off over time and cut energy bills while also decreasing pollution. There will be three mini-split AC/Heater combos installed, one in each bedroom and one in the living area, saving money on heater and AC costs per Energy Star. With gas getting more expensive, the lot was chosen to position the ADU in a way that the pitch of the roof is declining south, making it better for positioning solar panels, which for this part of Colorado, is great for solar electricity generation. Having solar panels makes this ADU more energy independent and it will generate enough electricity to recharge electric vehicles if the renters have or decide to purchase one. Charging the electric vehicles will be easy because there will be an outlet installed for this purpose. The federal government gives a rebate in the yearly income tax for having solar panels and or electric vehicles. By installing the solar panels, income tax

incentives will help pay for themselves and eventually the ADU will be energy efficient and/or independent by having everything powered with electricity from the panels. Since the landscaping around this ADU will mostly be gravel, adding some low maintenance shrubs or bushes will help reduce the heat that the gravel produces from the sun. Also, adding trees on the southern part will keep the ADU from getting too hot, receiving shade from the trees. The water use in the ADU will be kept low because there will be a dishwasher in place which saves water, as well as installing a high-efficiency shower head to save water while taking showers. Adding a high-efficiency toilet will save resources every- time the toilet is flushed. Aerators on the faucets will aid to minimize the flow of water by 1 gallon per minute, saving water on everyday use.

Team 2

TEAM 2 ADU

2149 N 22nd St

GRAND JUNCTION CO 81501

Proposed ADU on-site

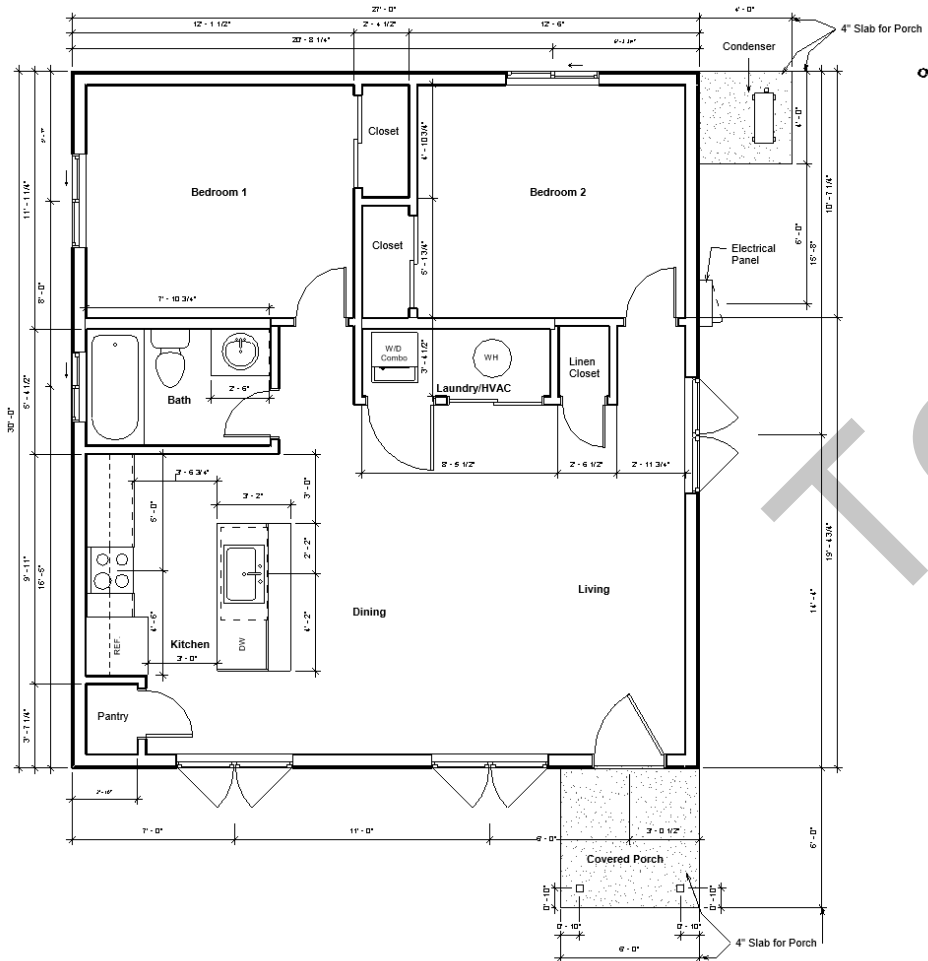


Existing Site

Proposed ADU on Site



Floor Plan & Room Square Footage



<Room Square Footage>	
A	B
Name	Area
Dining	73 SF
Bath	40 SF
Bedroom 1	115 SF
Bedroom 2	115 SF
Living	188 SF
Kitchen	121 SF
Laundry/HVAC	23 SF
Covered Porch	36 SF



- **SLAB-ON-GRADE CONCRETE FOUNDATION**
- **GRAVEL LANDSCAPING AROUND THE HOUSE**
- **PAVERS THAT SPAN TO THE ALLEY**
- **CONCRETE SLABS FOR CONDENSER AND PORCH**
- **ASPHALT SHINGLES FOR THE ROOF**

Kitchen Rendering

- Kitchen island is 3'-2" x 6'-4"
- Island has a 14" overhang for additional seating
- All energy efficient appliances
- Walk-In pantry





Living Room and Kitchen

• **Washer and dryer stack combo**

• **HVAC room**

• **Linen closet**

• **Shared bathroom**

Open Living Area

- Plenty of windows for lighting and temperature control by opening windows on cool days to let fresh cool air in.
- One Mini-Split should be able to regulate the temperature for the living room/Dining/Kitchen Area.
- Open living area for many uses, including storing a bicycle for everyday commuting.



Energy Star

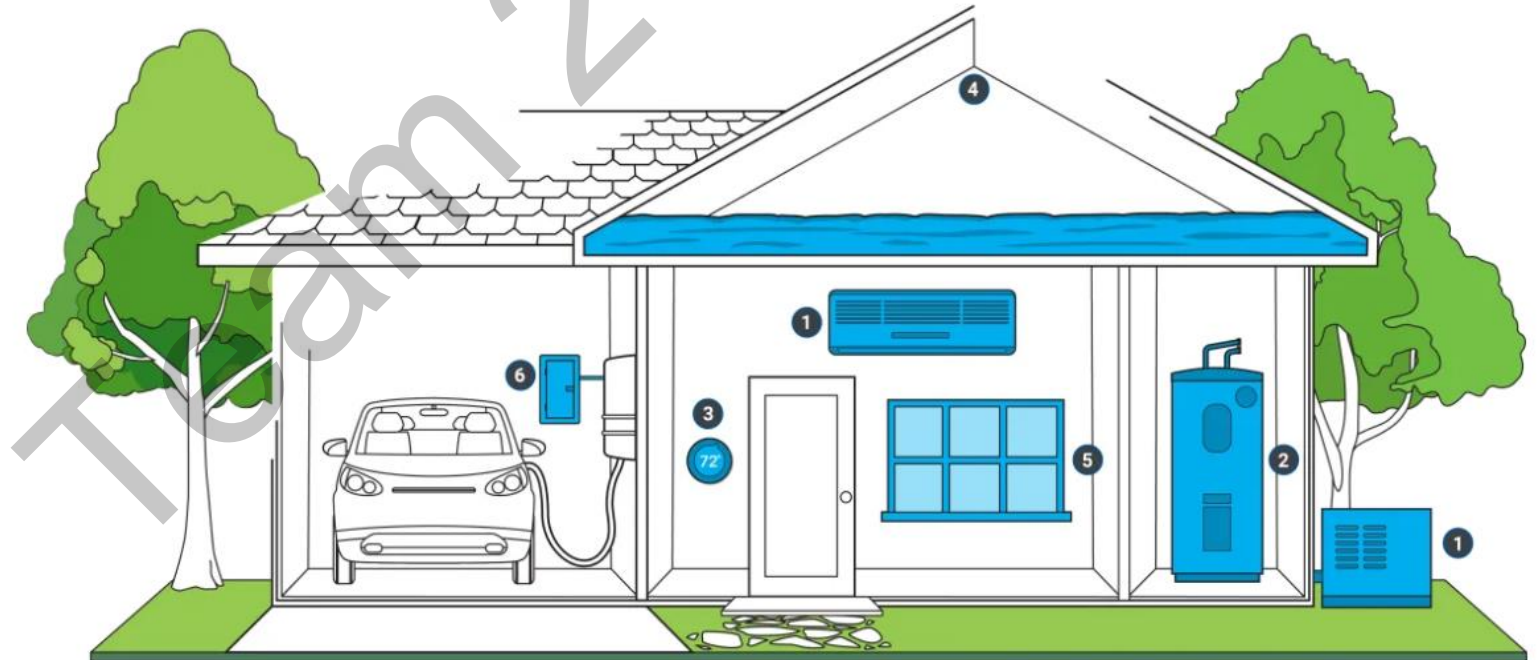
- For clean heating/cooling we put in mini splits
- We put in an energy star certified water heater
- Each mini split is equipped with its own thermostat for temperature control
- Well insulated
- High performing doors and windows
- We have an electric charging port for an electric vehicle



Learn more about [ENERGY STAR](#).

[about home upgrades.](#)

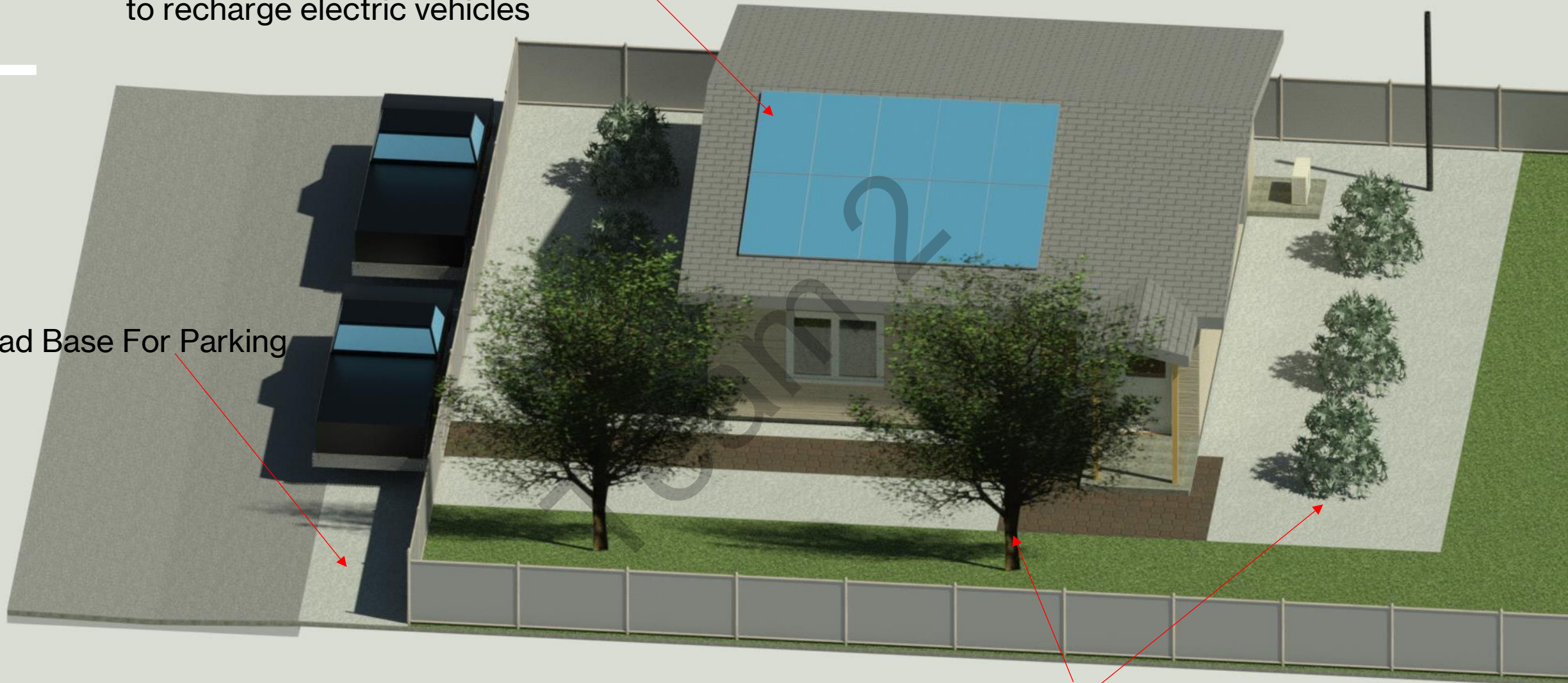
[Find an organization](#) to help you on your ENERGY STAR Home Upgrade journey, including planning for your home and coordinating installations and discounts.



The preceding image contains the six areas of a home where efficiency improvements can be made: 1. Clean Heating and Cooling, 2. Super-Efficient Water Heater, 3. Smart Thermostat, 4. Well-Insulated and Sealed Attic, 5. High Performing Windows and Storm Doors, 6. Electric Ready

This number of electric panels will make this ADU Energy Efficient and/or Independent, producing enough electricity to recharge electric vehicles

Road Base For Parking



Trees and Shrubs will help keep the area in and around the ADU cooler.



Exterior

- House number pole so its visible from the street
- Air condenser for all three mini splits
- Five foot walking space
- Electrical box
- Mailbox



PLANNING CLEARANCE

Single Family Residential and Accessory Structures

Building Address 935 Grand Ave
Parcel No. 2945-144-03-005
Subdivision Grand Jct SE Downtown
Filing Block Lot

of Existing Buildings: 1 SF of Existing: 1,601'
of Proposed Buildings: 1 SF of Lot: 7,842.7'

DESCRIPTION OF WORK & INTENDED USE:

- New Single Family Home (*check type below)
Interior Remodel
Accessory Structure
Other (Please specify)
Addition
Accessory Dwelling Unit - Review required

Applicant Information:

Name
Mailing Address 3165 Pelton Dr.
City, State, Zip Grand Junction CO, 81504
Telephone (719) 232-1040
Email

* TYPE OF HOME PROPOSED:

- Site Built
Manufactured Home (HUD)
Other (Please specify)
Manufactured Home (UBC)

Owner Information:

Name
Mailing Address 2457 Thunder Mountain Drive Apartment 222
City, State, Zip Grand Junction Colorado 81505

Proposed Structure Information:

House 1st Fl: 891 sf 2nd Fl/Bonus Room: sf
Garage: sf Covered patio/Entry: sf
Accessory Structure: sf Basement: sf
Proposed Height: # of stories: 1

Notes:

REQUIRED: One plot plan, on 8 1/2" x 11" or 11" x 17" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, driveway location & width, ingress/egress to the property & all easements & rights-of-way which abut the parcel.

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department.

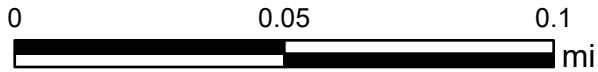
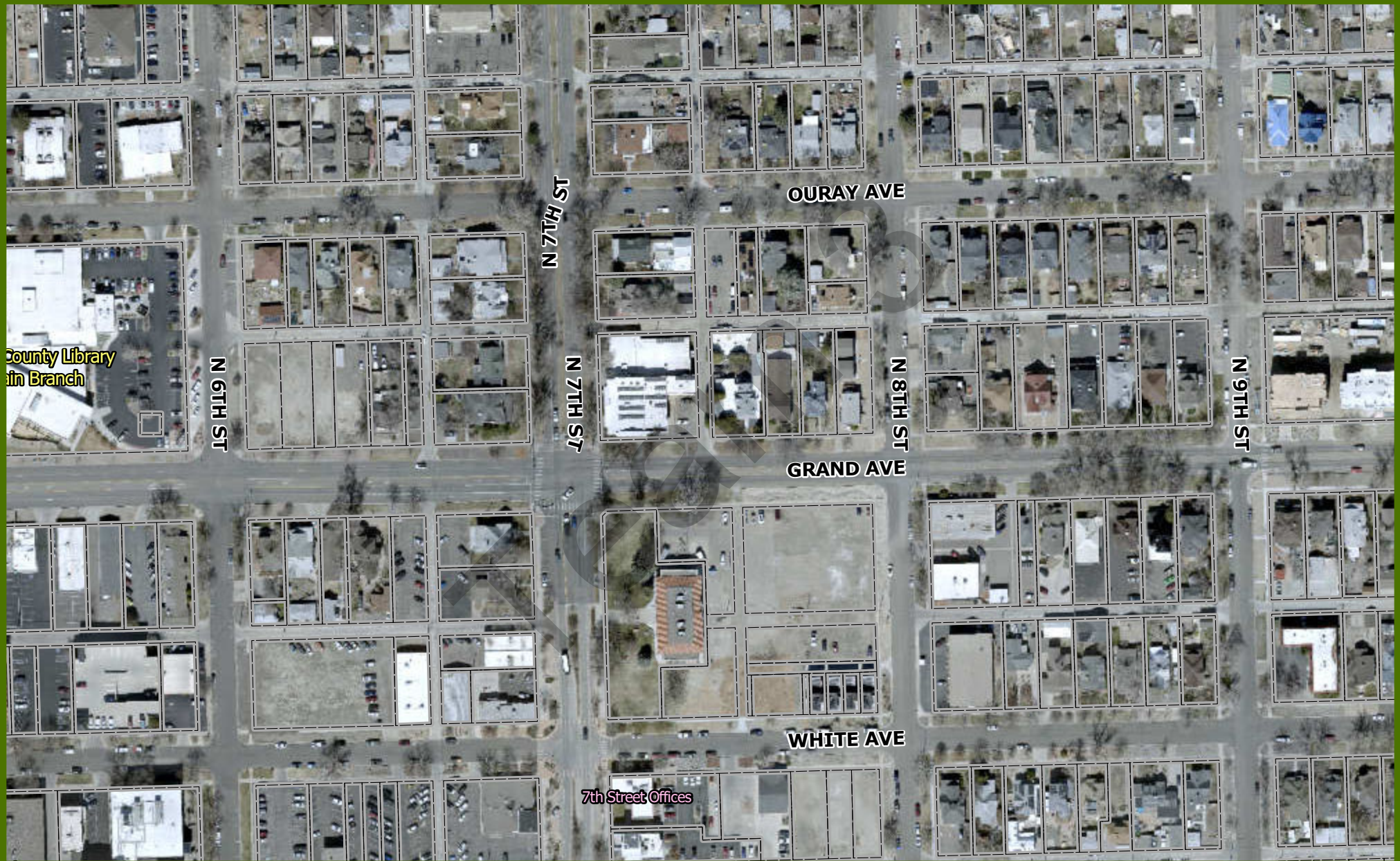
I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature:

Date: October 21, 2024

VALID FOR 180 DAYS FROM DATE OF ISSUANCE (Section 21.02.070(b) Grand Junction Municipal Code)

Team 3 Site Map



Printed: 11/6/2024
1 inch equals 188 feet
Scale: 1:2,257
Packet Page 80

Team 3
4 November 2024

Energy Performance & Sustainability of Materials Summary (935 Grand Ave ADU)

Focusing on energy performance and the sustainability of the ADU is a huge focus for us as it will lower costs for construction, buying, as well as utilities cost. It will also help with the longevity of the ADU overall adding to the value.

One of the largest energy performance aspects that we will focus on would be air sealing the house. Which in turn reduces the amount of air that leaks in and out of your home and is a cost-effective way to cut heating and cooling costs, improve durability, increase comfort, and create a healthier indoor environment. Caulking and weatherstripping are two simple and effective air-sealing techniques that will for sure be focused on. Caulk is generally used for cracks and openings between stationary house components such as around door and window frames, and weatherstripping is used to seal components that move, such as doors and operable windows. This will help with the overall sustainability of the ADU and expand its lifespan. It will protect the ADU making sure there is no air or air moisture that is able to damage components of the building that are crucial to the ADU.

This leads us to the next part we focused on in energy efficiency, Structure performance. If we look at the floor plan, we notice that the Utility wall is backed by the bathroom, as well as the HVAC system in a 5 ½" partition wall, making them easier to access thus cheaper to work on. Also looking at the floor plan, you can see that the kitchen sink and dishwasher are under 13 feet away making them close and cheaper and more efficient to run plumbing to. This will help with the overall energy efficiency because the utilities used will not take as much energy to build or sustain over the life of the ADU. One more aspect of sustainability in materials that the structure plays a role is the framing and wall placement of the ADU. In the floor plan the walls are minimized as well as focusing on an advanced house framing. Advanced house framing, sometimes called optimum value engineering, refers to framing techniques designed to reduce the amount of lumber used and waste generated in the construction of a wood-framed house. These techniques boost energy efficiency by replacing lumber with insulation material while maintaining the structural integrity of the home. Advanced framing improves the whole-wall R value by reducing thermal bridging (thermal flow that occurs when materials that are poor insulators displace insulation) through the framing and maximizing the insulated wall area.

Another aspect we took into consideration with energy performance and the sustainability of the materials would be where on the site the ADU is located. Looking at the site plan attached we can notice that the sewage collection system is only 32' 5" away from the main sewer line. This will make it cheaper to run sewer to that house, which was a crucial part for us when picking a lot.

Materials focusing on sustainability:

- Caulking and weatherstripping of cracks and openings between stationary house components & door and window frames
- 2" R8 Mineral Wool insulation because it's typically cheaper than other insulation, noncombustible, doesn't absorb moisture (immune to mold), fully recyclable, highly durable, effective thermal insulation containing or blocking heat
- Energy efficient appliances
- Possibility for solar panels on the south side of the roof or even the north because of the roof slope
- Advanced framing plan (replacing lumber with insulation material while maintaining the structural integrity of the home)

[Advanced House Framing | Department of Energy](#)

- Opportunity for xeriscaping landscaping which will save money and add to sustainability
- Cool Roof for 10-15% energy savings

*Roof will be lighter in color asphalt shingles & cool roof coating

*Cool roofing products usually cost no more than comparable conventional roofing products

*[Cool Roofs | Department of Energy](#)

Affordable Accessory Dwelling Unit (ADU) Downtown

Our proposed Accessory Dwelling Unit (ADU) offers a unique opportunity to increase affordable housing options in the downtown area, with a design that prioritizes accessibility, sustainability, and economic efficiency. This 891-square-foot home features two bedrooms and one bathroom, with an open-concept living area and kitchen that maximizes space and creates a welcoming environment. The ADU is ideally suited for small families, or older adults seeking a downsized living arrangement that can adapt to their changing needs over time.

Location and Community Integration

The downtown location provides residents with the advantages of urban living, including access to a variety of amenities such as shops, restaurants, public parks, and cultural attractions. Being situated in a walkable area reduces the need for vehicle use, supporting a more sustainable lifestyle while also lowering transportation expenses for residents. Additionally, the ADU is located within the zoning boundaries of Chipeta Elementary School, West Middle School, and Grand Junction High School, making it an ideal choice for families who want to be close to quality educational institutions.

Having access to reputable schools is a significant advantage for families with children, as it ensures continuity in education without the need to relocate. These local schools are a draw for potential buyers or renters, enhancing the desirability of this affordable housing option.

Flexible and Universal Design

The ADU is designed with flexibility in mind, incorporating universal design principles that make it accessible for people of all ages and abilities. Including a layout that allows for easy navigation and support aging in place. The open concept living area and kitchen also enable greater adaptability in arranging furniture and organizing the space, catering to different lifestyle needs and preferences.

The bathroom is equipped with features such as grab bars and a low curb shower, which not only improve safety but also add to the home's longevity as a suitable living option for a range of ages. By prioritizing universal design, the ADU promotes inclusivity and ensures that it remains a practical housing solution as occupants' needs evolve over time.

Economic Efficiency and Cost Savings

Achieving affordability goes beyond the initial cost of purchasing or renting the ADU; it also involves minimizing ongoing expenses for residents. Our design incorporates several strategies and features aimed at reducing maintenance and utility costs, which makes the home economically sustainable in the long run:

- **Sealing and Insulation:** To optimize energy efficiency, all doors, windows, and stationary components are thoroughly caulked and weather-stripped to prevent drafts and air leakage. This simple but effective approach significantly reduces heating and cooling expenses by keeping the indoor environment stable. The addition of 2" R24 mineral wool insulation further enhances energy savings. This type of insulation, while initially more expensive than standard options, provides excellent thermal resistance, contributing to a reduction in

heating costs. Its noncombustible nature, resistance to moisture, and recyclability make it a durable and eco-friendly choice.

- **Energy-Efficient Appliances:** The home will come equipped with energy-efficient kitchen and laundry appliances, such as an ENERGY STAR-rated refrigerator, dishwasher, and washing machine. These appliances use less water and electricity compared to conventional models, resulting in lower utility bills. This aspect of the design is especially beneficial for tenants, as they can enjoy a reduced cost of living without sacrificing comfort or convenience. These also include all the appliances being water efficient such as the dishwasher, and laundry appliances.
- **Advanced Framing Techniques:** By employing advanced framing methods including an energy heel on trusses, we have optimized the construction process to use less lumber while incorporating additional insulation. This approach not only maintains the structural integrity of the building but also enhances its thermal efficiency. The result is a home that requires less energy to heat and cool, providing long-term savings on utility expenses. Using advanced framing also reduces waste during construction, aligning with sustainable building practices.
- **Cool Roof Design:** A cool roof, featuring lighter-colored asphalt shingles and a reflective coating, is included to reduce heat absorption. This design improves energy efficiency by reflecting more sunlight and absorbing less heat, which can lower air conditioning costs by up to 15% during hot months. Cool roofing materials are priced similarly to standard roofing products, making this an economically feasible choice that offers significant energy savings. Additionally, the cool roof helps prolong the lifespan of the roofing material by reducing thermal stress.

Quality Construction and Long-Term Value

Investing in durable, high-quality materials ensures that the ADU will stand the test of time, providing a safe and comfortable living environment for years to come. The use of advanced framing techniques, and cool roofing materials not only adds to the home's initial quality but also minimizes repair and replacement costs in the future. These elements contribute to the home's long-term value, making it a wise investment for potential buyers or renters.

The careful selection of building materials and energy-efficient systems means that residents will experience fewer issues with wear and tear, reducing the need for costly repairs. This reliability is especially important in affordable housing, where the goal is to provide high-quality living at a reasonable cost.

For landscaping we will use a xeriscaping technique. This means including only native plants, as well as no rocks for lowering urban heat island affects.

Conclusion

The downtown ADU project offers a well-rounded solution to the need for affordable, sustainable housing in the community. By integrating universal design, energy efficiency, and high-quality construction, we are providing a home that is not only economically feasible but also adaptable to

the changing needs of its residents. Its proximity to local amenities and quality schools adds to its appeal, making it a valuable addition to the housing options available in our town.

Team 3

935 Grand Ave ADU

Parcel Number: 2945-144-03-005
Location: 935 GRAND AVE UNIT B
Mailing Zip: 81501
Location Zip: 81501
Zoning: RM-8
Acres: 0.172163
City Limits Status: Inside City Limits

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER

DATE

CITY PLANNER

DATE



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

No.	Description	Date

935 Grand Ave ADU Unit B Title Sheet

Project number: _____ Project Number: _____
Date: 10/18/2024
Drawn by: _____ Team 3
Checked by: _____ Checker

A0

Scale

ADU Cost Estimator Team 3

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below.

Total Estimated ADU Cost: 137418.68

Hard Costs	
Hard Cost Calculator Total	128588.00
Contractor Overhead	
Site Improvements	
Sewer/Water/Infrastructure Changes	
Additional Cost	
Additional Cost	

See the second tab of this spreadsheet for a **more detailed hard cost calculator**. The total that you calculate there will appear in the **first yellow box to the left**.

Soft Costs	
DESIGN	
Designer/Architect	0.00
Geotechnical Engineer	
Other	
Other	

The need for design services will vary - not every project will require a designer or architect.

STUDIES	
Soils Report (if on expensive or unstable soils)	
Floodplain Permit Survey	0.00
Additional Study	0.00
Additional Study	0.00

Required studies vary by project. Confirm which studies your project will require by consulting City of GJ Planning Staff during your planning meetings.

Impact/Planning Fees*	
ADU Planning Clearance Fee	45.00
Traffic Capacity Payment (TCP)**	3075.00
School Impact Fee	
Sewer Plant Investment Fee (PIF)	3991.68
Parks Impact Fee	962.00
Fire Impact Fee	530.00
Police Impact Fee	227.00
Floodplain Elevation Certificate Fee***	0.00

*Fees as of January 2024. City of Grand Junction impact/planning fees are regularly adjusted for inflation. You can find the most updated planning clearance fee here:
https://egov.eplweb.gjcity.org/EnerGov_prod/SelfService#/applicationAssistant?sectionName=All&showTemplates=false
 And the most updated impact fees here:
<https://www.gjcity.org/349/Development-Impact-Fees>

**If your property is in a Redevelopment Area, you only have to pay 50% of the Traffic Capacity Payment (TCP).

***The Floodplain Elevation Certificate is only necessary if your site is on a

Water/Sewer Tap Fees	
Grand Junction Water - \$0	0.00
Clifton Water - \$6100	0.00
Ute Water - \$8000	0.00
Sewer Tap Fees	0.00

NOTE: These fees are only required if putting in a separate meter/tap. Don't forget to contact your water provider to determine if a water "submeter" is required (and associated costs), and to get updated fees.

Estimated Hard Cost Calculator*

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below.

Total Estimated Hard Cost: 128588.00

Site Prep	
Demolition	0.00
Dumpster & Removal	200.00
Clear Lot	0.00
Tool/Equipment Rental	
Other:	
Other:	

Utilities	
Gas: Permit, Connection Fee, Installation	561.00
Electrical: Permit, Connection Fee, Installation	
Water/Sewer: Tap Fees & Hookup	
Telecom (Internet, Cable) Hookup	
Other:	
Other:	

Rough Framing	
Exterior & Interior Walls	14256.00
Floor Framing	17820.00
Nails, Screw, Fasteners	100.00
Prep for Plaster, Drywall	
Roof Framing/Trusses	7990.00
Roof Framing/Trusses Labor	2950.00
Other:	
Other:	

Plumbing	
Drain/Waste/Vent	
Water Supply Piping	
Gas Piping	
Water Treatment	
Water Heater	
Fixtures: Toilets, Tubs, Sinks, Showers	
Faucets, Mixing Values, Shower Heads	
Disposal	
Other:	Total Plumbing
Other:	19179.00

HVAC	
Furnace/Heat Pump	5000.00
Central AC	5000.00
Ductwork	3500.00
Labor	6000.00
Hot Water Tank	
Other:	
Other:	

Porches & Decks	
Porch/Deck	0.00
Other Outdoor Structures	0.00
Labor	0.00
Other:	0.00
Other:	0.00

Excavation & Earthwork	
Retaining Wall	
Topsoil	
Site Drainage	
Seeding/Sod	
Other:	
Other:	

Foundation	
Slabs - Foundation, Basement, Garage	632.00
Sump Pump	1600.00
Crawlspace	0.00
Exterior Foundation Insulation	168.00
Other:	
Other:	

Exterior	
Exterior Labor	
Siding/Veneer	
Paint/Stain/Caulk	
Trim	
Stucco including labor	
Other:	
Other:	6237.00

Electrical	
Lighting	
Wiring	
Smoke/CO2 Alarms	
Panels	
Devices: Outlets, switches, dimmers	
Labor	
Electrical Total Including Labor:	8019.00
Other:	
Other:	

Drywall/Plaster	
Labor	Included
Walls	0.00
Ceilings	
Materials	Included
Other:	
Other:	
Drywall Total:	2527

Kitchen	
Cabinets	2560.00
Sink	79.00
Countertops	
Labor	2000.00
Other:	
Other:	

Appliances	
Refrigerator	1100.00
Stove, Range, Cooktop	670.00
Dishwasher	700.00
Washer/Dryer	1500.00
Microwave	420.00
Other:	
Other:	

On-Site Water/Sewer	
Plumbing Installation, Tie In	
Plumbing/Water/Sewer Permits	
Other:	
Other:	

Other Masonry/Paving	
Patios	0.00
Exterior Stairs	0.00
Masonry Chimneys	0.00
Fireplaces/Hearths	0.00
Driveway	
Walkways	2500.00
Other:	
Other:	

Windows/Exterior Doors	
Doors, frames, sills	1082.00
Locksets, knobs, door hardware	42.00
Windows	3030.00
Garage Doors & Opener	0.00
Other:	
Other:	

Insulation & Air-Sealing	
Insulation	1931.00
Labor	1337.00
Other:	
Other:	

Interior Finish	
Interior Doors	Included in exterior doors
Cabinets	
Interior Painting	3200.00
Floors	
Decorative Elements	
Labor	
Other:	
Other:	

Bathrooms	
Bath cabinets	200.00
Shower	707.00
Bathtub	0.00
Mirror	50.00
Towel hangers, toilet paper holders, accessories	30.00
Toilet	150.00
Sink	88.00
Labor	6000.00
Other:	
Other:	

Group 3: ADU 935 Grand Ave Unit B

Team 3

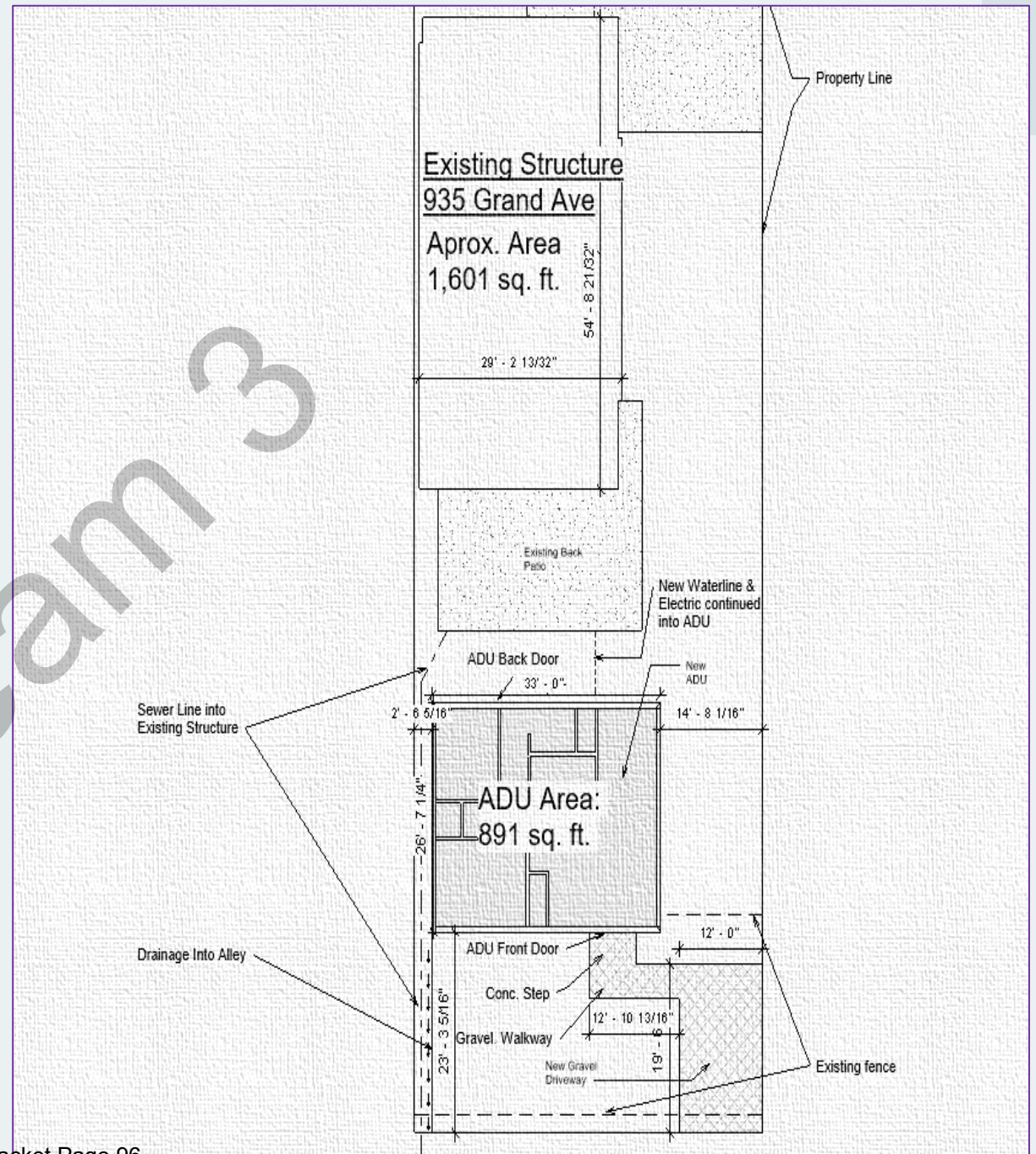


- Location: 935 Grand Ave Unit B
- 891 sq. ft.
- 2 bed, 1 bath

- Located downtown Grand Junction between Grand Ave and N. 10th Street

- Quick access to restaurants, shopping

- Options for schools of choice for families (Universal design)



Easily accessible

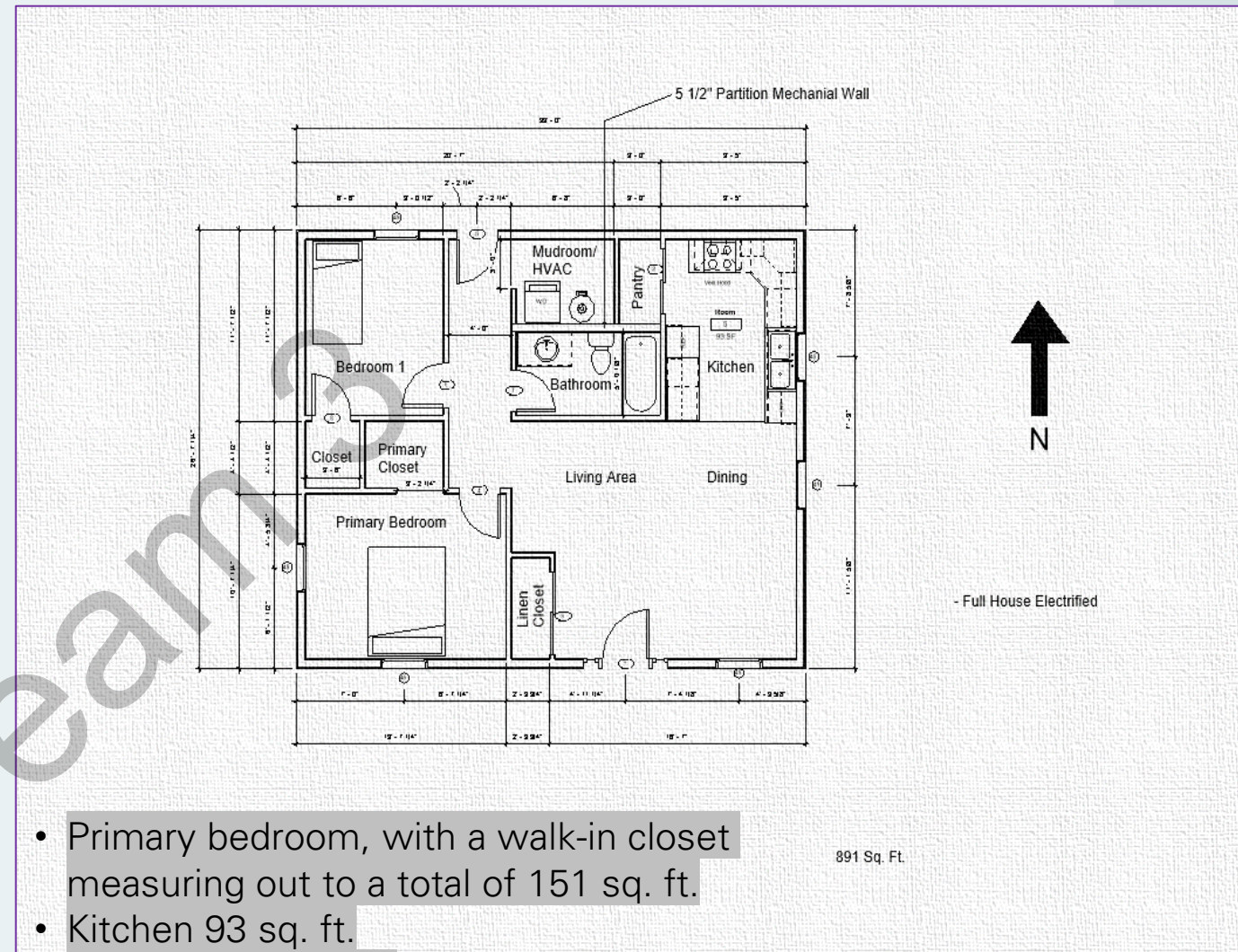
- Slab foundation for easy access for those with special needs (Gentle slope sidewalk to front door)

Universal Design

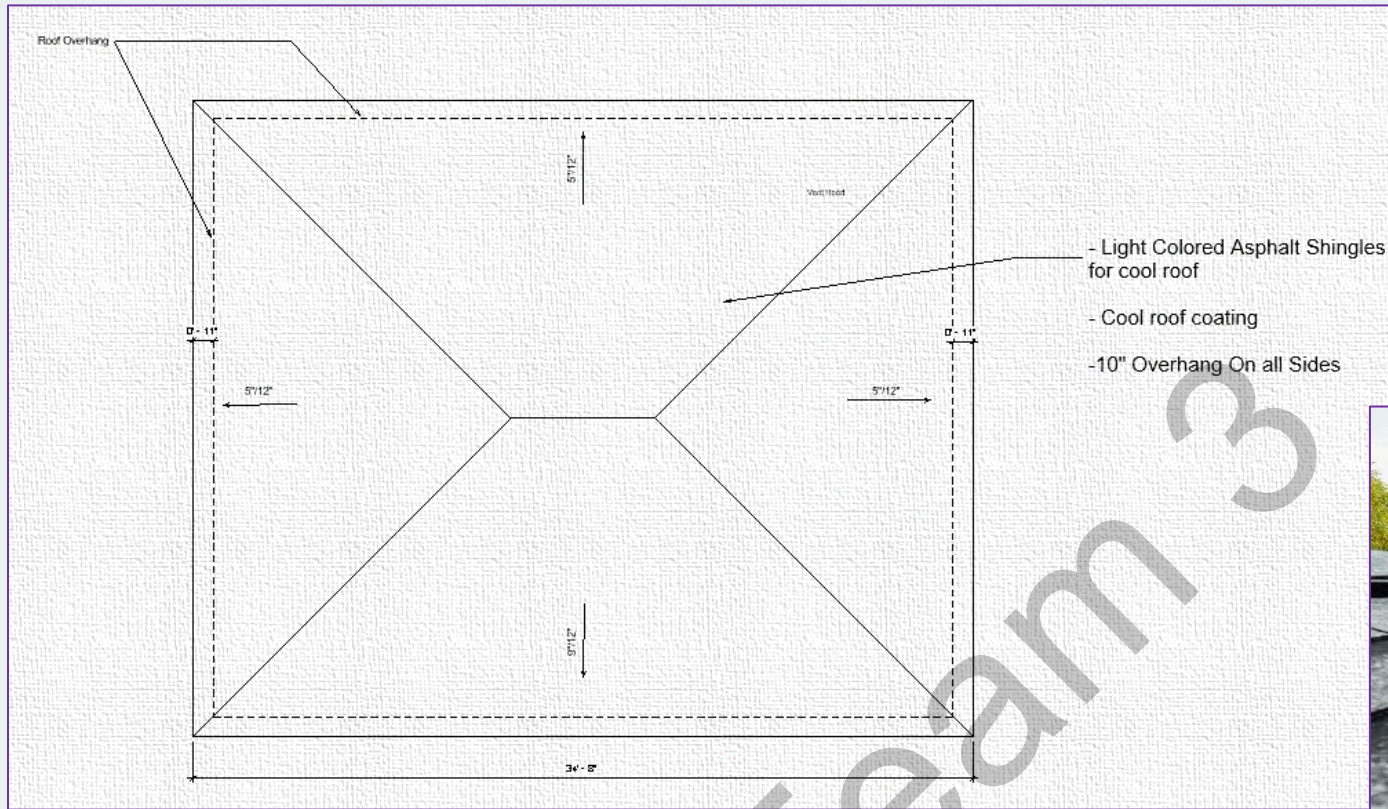
- Purposed focusing on small family but it can be used for handicap or Elderly (Based on storage, supporting flexible living arrangements, as well as longevity being fully filled with Utility access made cheaper based on Floor plan)

Affordability

- Limiting walls for cheaper construction as well as more open Concept
- Utilities close together for cheaper installation and waterline



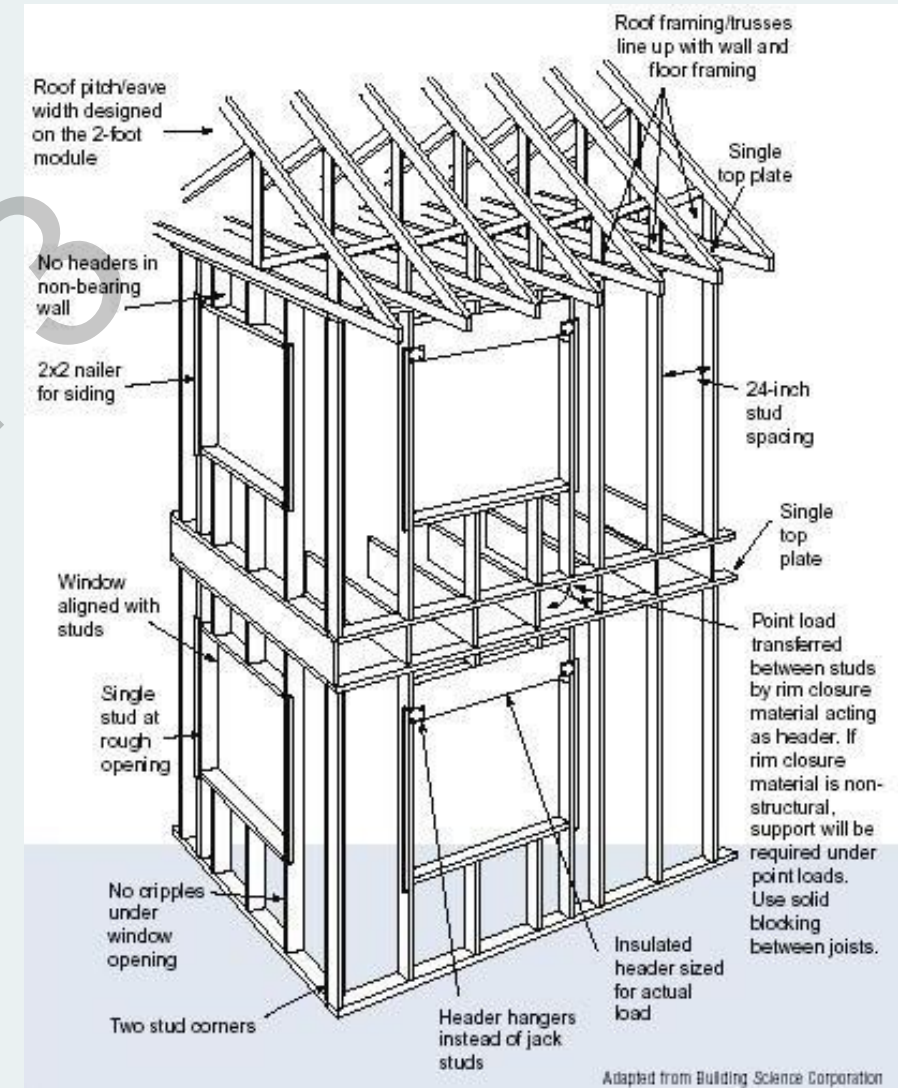
- Primary bedroom, with a walk-in closet measuring out to a total of 151 sq. ft.
- Kitchen 93 sq. ft.
- Bathroom 47 sq. ft.
- Mudroom 40 sq. ft.
- Living area 300 sq. ft.
- Linon Closet 15 sq. ft.
- Secondary bedroom, with walk-in closet measuring out to a total of 109 sq. ft.



- Cool Roof Design: A cool roof, featuring lighter-colored asphalt shingles and a reflective coating, is included to reduce heat absorption. This design improves energy efficiency by reflecting more sunlight and absorbing less heat, which can lower air conditioning costs by up to 15% during hot months. Cool roofing materials are priced similarly to standard roofing products, making this an economically feasible choice that offers significant energy savings. Additionally, the cool roof helps prolong the lifespan of the roofing material by reducing thermal stress.

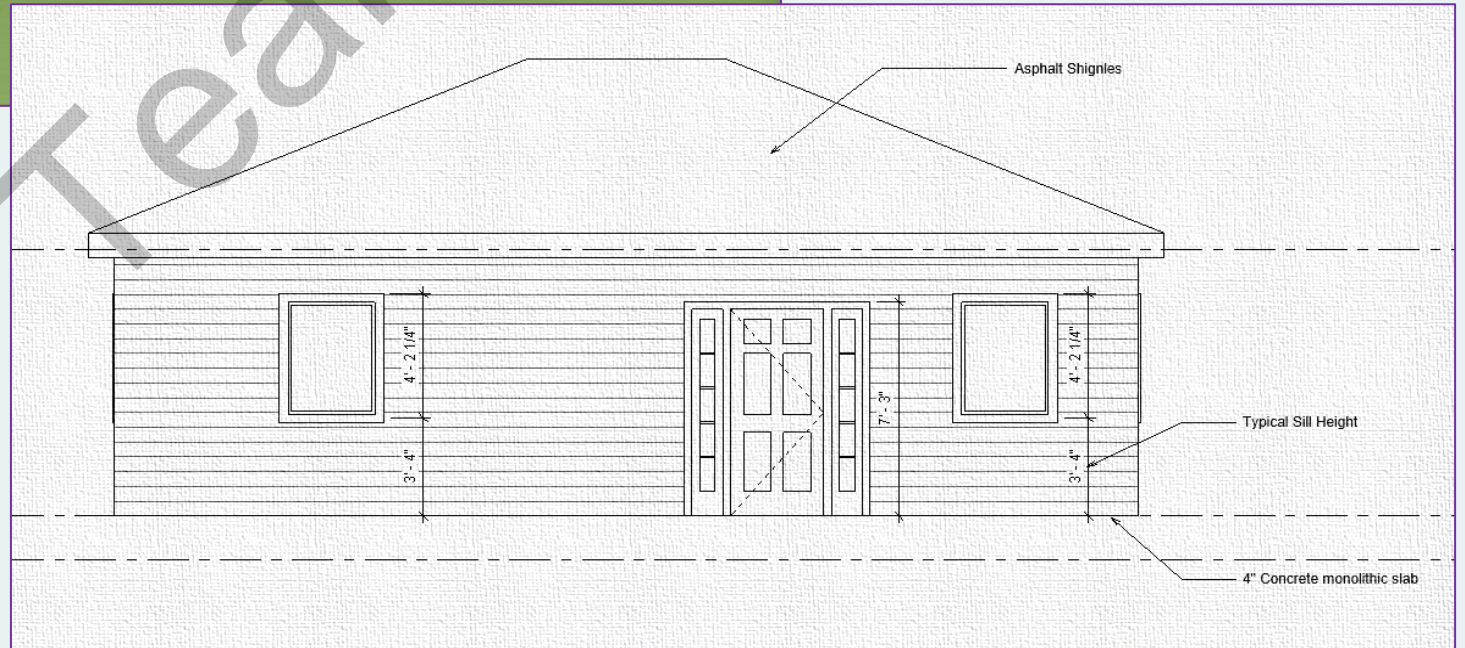
Advanced Framing Technique Optimum Value Engineering

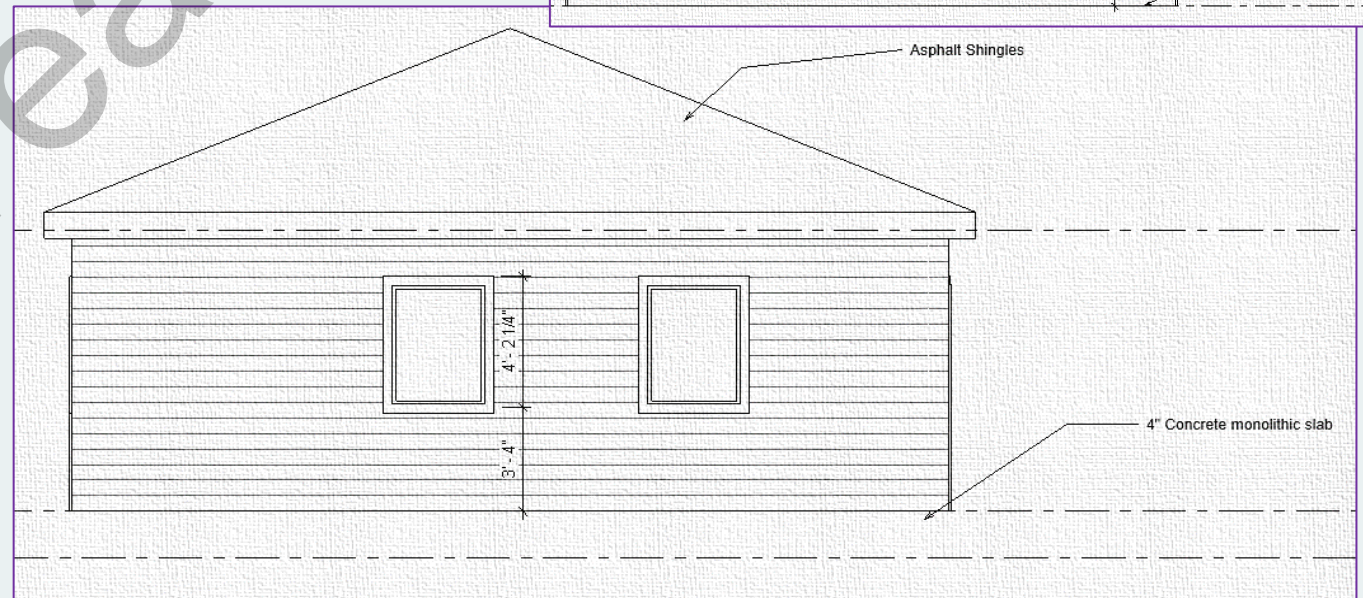
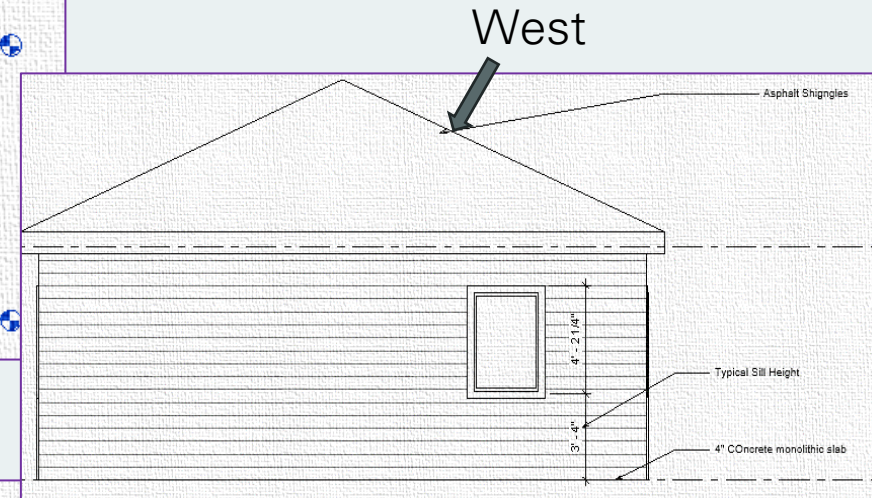
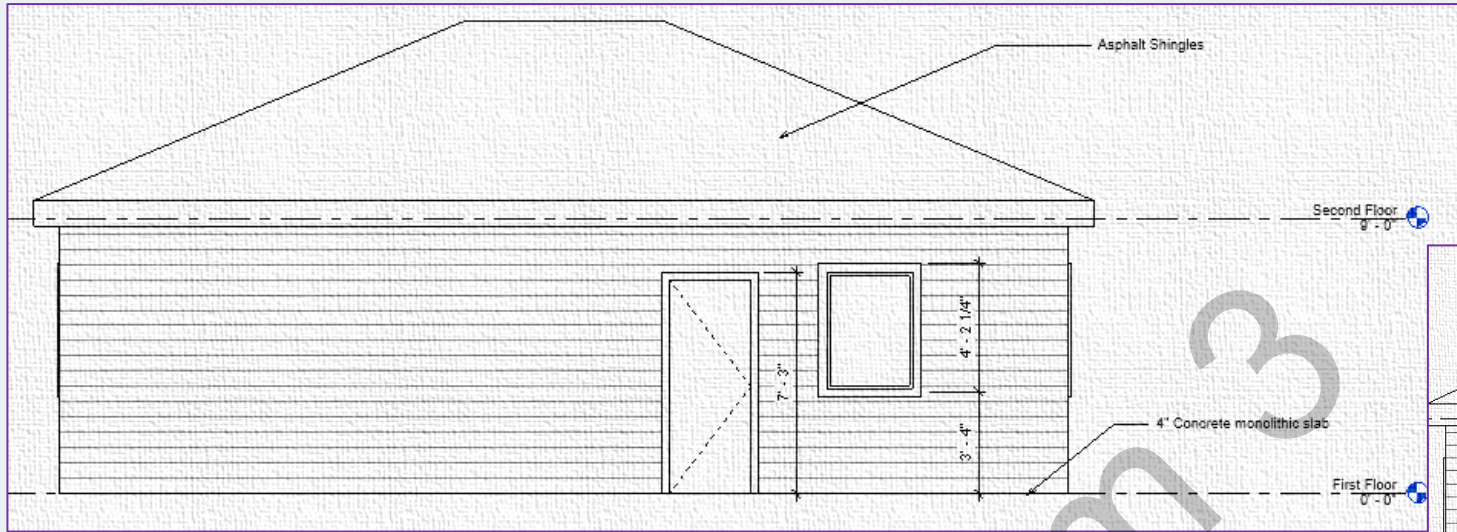
Referring to framing techniques designed to reduce the amount of lumber used and waste generated in the construction of a wood-framed house. These techniques boost energy efficiency by replacing lumber with insulation material while maintaining the structural integrity of the home. Advanced framing improves the whole-wall R-value by reducing thermal bridging (thermal flow that occurs when materials that are poor insulators displace insulation) through the framing and maximizing the insulated wall area.





- This view shows the front of our ADU





- These views show the back and sides of our ADU

Kitchen View

- Food Storage provided adding to universal design
- Hood vent over stove for rendering purposes only
- Optional hood vent or energy efficient microwave with ventilation
- Everything accounted for in price estimation



Cost affective Appliances & Xeriscaping Landscaping

- Cost affective appliances will Help with aging in place making the house cheaper to sustain

- Xeriscaping means including only native plants, as well as no rocks for lowering urban heat island affects

(Xeriscaping adding to sustainability and resilience, aesthetics, cost effectiveness, and aging in place

- Opportunity for Solar Pannels



Thank
you

Team 3

Team 3



PLANNING CLEARANCE

Single Family Residential and Accessory Structures

Building Address 535 N. 12th St.

of Existing Buildings: 3 SF of Existing: 1124

Parcel No. 2945-141-31-009

of Proposed Buildings: 1 SF of Lot: 6250sf

Subdivision NA

DESCRIPTION OF WORK & INTENDED USE:

Filing _____ Block _____ Lot _____

- New Single Family Home (*check type below)
- Interior Remodel
- Accessory Structure
- Other (Please specify) _____
- Addition
- Accessory Dwelling Unit - Review required

Applicant Information:

Name _____

Mailing Address 2984 Westland Ave

City, State, Zip GJ CO 81504

Telephone (970) 712-2011

Email _____

* TYPE OF HOME PROPOSED:

- Site Built
- Manufactured Home (HUD)
- Other (Please specify) _____
- Manufactured Home (UBC)

Owner Information:

Name _____

Proposed Structure Information:

Mailing Address 535 N. 12th

House 1st Fl: 803 sf 2nd Fl/Bonus Room: _____ sf

City, State, Zip GJ CO 81502

Garage: _____ sf Covered patio/Entry: _____ sf

Accessory Structure: _____ sf Basement: _____ sf

Proposed Height: 21'0 1/2" / 17'5 3/8" # of stories: 1

Notes: _____

REQUIRED: One plot plan, on 8 1/2" x 11" or 11" x 17" paper, showing all existing & proposed structure location(s), parking, setbacks to all property lines, driveway location & width, ingress/egress to the property & all easements & rights-of-way which abut the parcel.

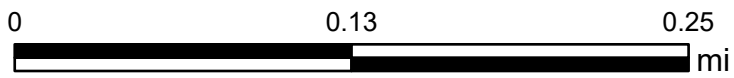
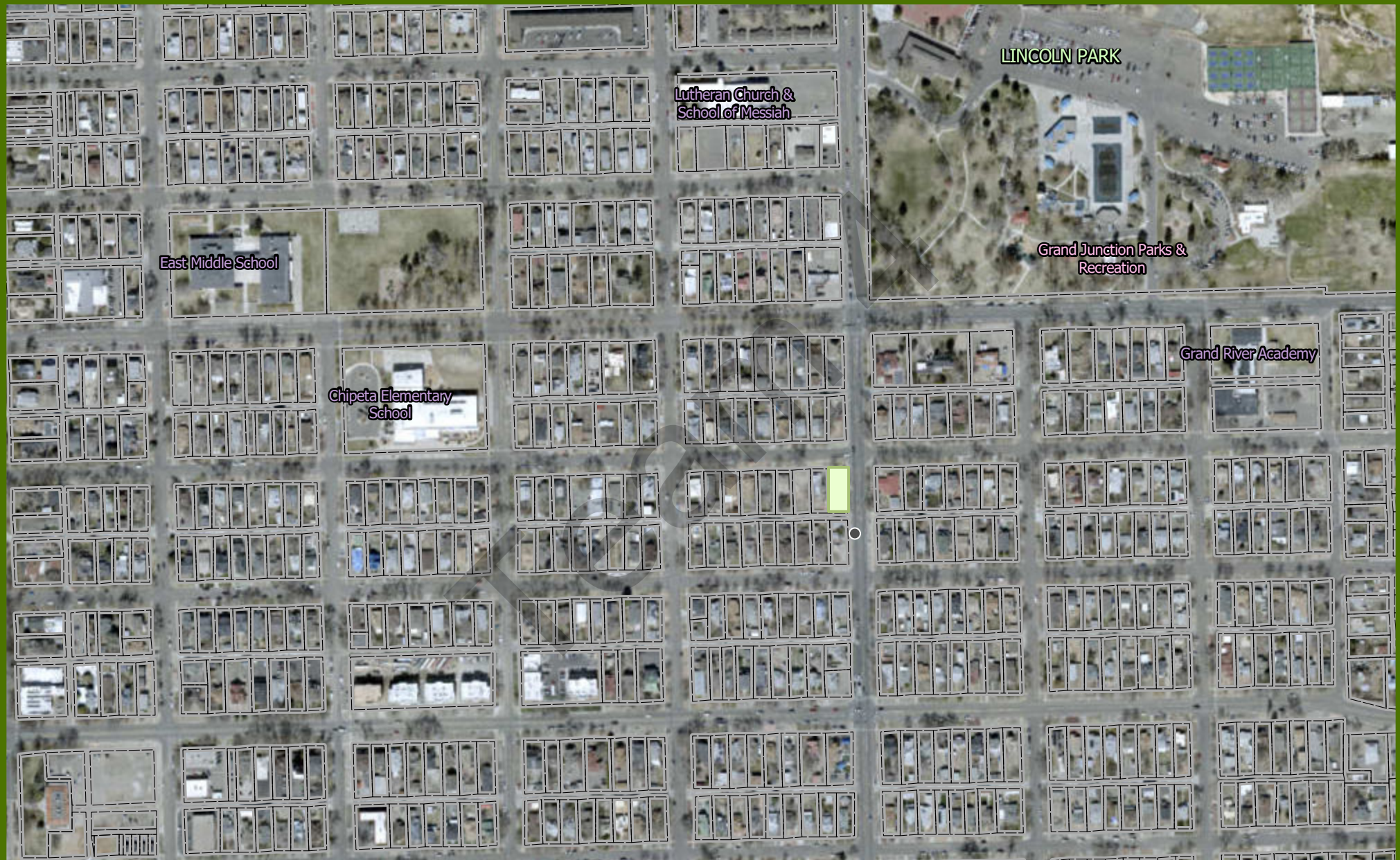
Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued, if applicable, by the Building Department.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature: _____ Date: 10/23/24

VALID FOR 180 DAYS FROM DATE OF ISSUANCE (Section 21.02.070(b) Grand Junction Municipal Code)

Team 4 site map



Printed: 11/6/2024
1 inch equals 376 feet
Scale: 1:4,514
Packet Page 106

ADU FINAL DOCUMENT SUBMITTAL

535 North 12th street

Grand Junction, CO 81505

Main Floor Living (both designs) – 803sf

**Bonus Loft/Flex Space – 263sf

Exterior Storage – 61sf

Preliminary Estimate of Construction - \$\$215,000 - \$\$225,673

Expected monthly income generated - \$1,400 - \$1,750.

The ADU comes with two, design option. Both design option is within the same footprint, exterior designs however are easily interchangeable. This allows for the homeowner to pick a design that would fit their customer bias, or area.

Our ADU is all-electric, energy efficient ADU with no Gas tap. Every appliance in the ADU will be electric. This will limit routine maintenance necessary with some equipment. This will allow the ADU to be cheaper to afford for the homeowner when no one is staying in the ADU. Adding on to the ADU being energy efficient, both options will provide a Centrally Located Utility Room. This Utility room brings the water heater, into the conditioned space to increase efficiency while also offering room for additional storage. Adding onto the storage efficiency of the ADU, there is multiple built-in storage units. Providing character and solutions to students and others that may be new to independent living,

The ADU will also have a rooftop patio/outdoor space. The outdoor patio will have a wooden deck that is able to drain water onto the sloped roof below for drainage. To access the roof-top patio, there will be a spiral staircase from the 1st floor up. Adding onto this option, we will also be offering an ADA option. This option does not have a roof-top deck and is all on 1 – Level. The ADU, for both options, will offer Exterior storage. This Exterior Storage is large enough to hold biked, or any other outdoor equipment.

The ADU will have thoughtful placement of windows allows for fewer while providing ample light to the middle of the home. This will grant room for the homeowner to upgrade to more efficient windows that help meet expected A.C.H. 50 of 20 or less. For the ADA option, it will include 34 – inch doors allowing for aging in the home, and general accessibility.

DESIGN HIGHLIGHTS

Main Floor Living (both designs) – 806sf

Exterior Storage – 61sf

535 North 12th Street
Grand Junction, CO 81501

Estimate of Construction – \$215,000 - \$235,000
Expected monthly income generated – \$1,400 - \$1,750

- **Multiple floorplans within the same footprint, exterior designs are easily interchangeable**
Different design considerations were implemented to allow the ADU to conform to existing structures while allowing the homeowner to target different markets (student, single parent, retired, special needs), offering a custom feel from a pre-approved plan set.
- **34-inch doors allow for aging in place and general accessibility**
This design focuses on tenant comfort and accessibility which leads to long-term income stability for the homeowner.
- **Unique layout with spiral stairs and elevated patio**
This option is an economical way of increasing usable square footage without affecting the overall footprint of the home and offers a 320sf elevated patio that provides outdoor living space within tight building envelopes.
- **Second room option**
Depending on the homeowner's target clientele, we offer the option of a second bedroom/office making a more affordable and flexible home for the tenant and homeowner.
- **ADA/ Added Accessibility option**
This option is designed using ADA criteria for the bedroom, bathroom and kitchen areas. It also opens the home to many people who may be ready to downsize.
- **On-site laundry included with all designs**
Full size residential washer and dryer space, which is not always available in small floor plan living.
- **Open-floor plans = efficient use of space**
By limiting the ceiling height and eliminating unused hallway space the designs decrease the square footage of interior walls and thereby reducing the overall cost of construction.
- **Centrally located utility room**
A large utility room brings the water heater into the conditioned space to increase efficiency while also offering room for additional storage. The concentrated utilities limit interior walls and the mechanical, electrical and plumbing necessary which accelerates construction and reduces cost.
- **Large south facing roof or parapet that hides solar panels**
Either design is solar ready and can easily be added during or after initial construction as budget allows.
- **Purposed energy efficient electric mini split HVAC and 80gal electric water heater**
The use of high efficiency, industry proven utilities allow a properly sized solar energy system to offset utility expenses while also limiting routine maintenance necessary with some equipment.
- **Multiple built-in storage units**
The addition of custom crafted storage, unique to the homes design, provides character and solutions to students and others that are new to independent living with minimal furniture, this in turn increases the value to the homeowner.
- **Slab-on-grade foundation and SIPS (structurally insulated panels) construction**
Combining these efficient building techniques will substantially shorten the overall construction time, reduce building material waste and increase the building's energy efficiency
- **Casement windows included**
Thoughtful placement of windows allows for fewer while providing ample light to the middle of the home. This grants room in the budget to upgrade to more efficient windows that will help meet an expected A.C.H. 50 of 2.0 or less.
- **Exterior Storage**
Big enough for bikes and outdoor equipment, perfect for downtown living.



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

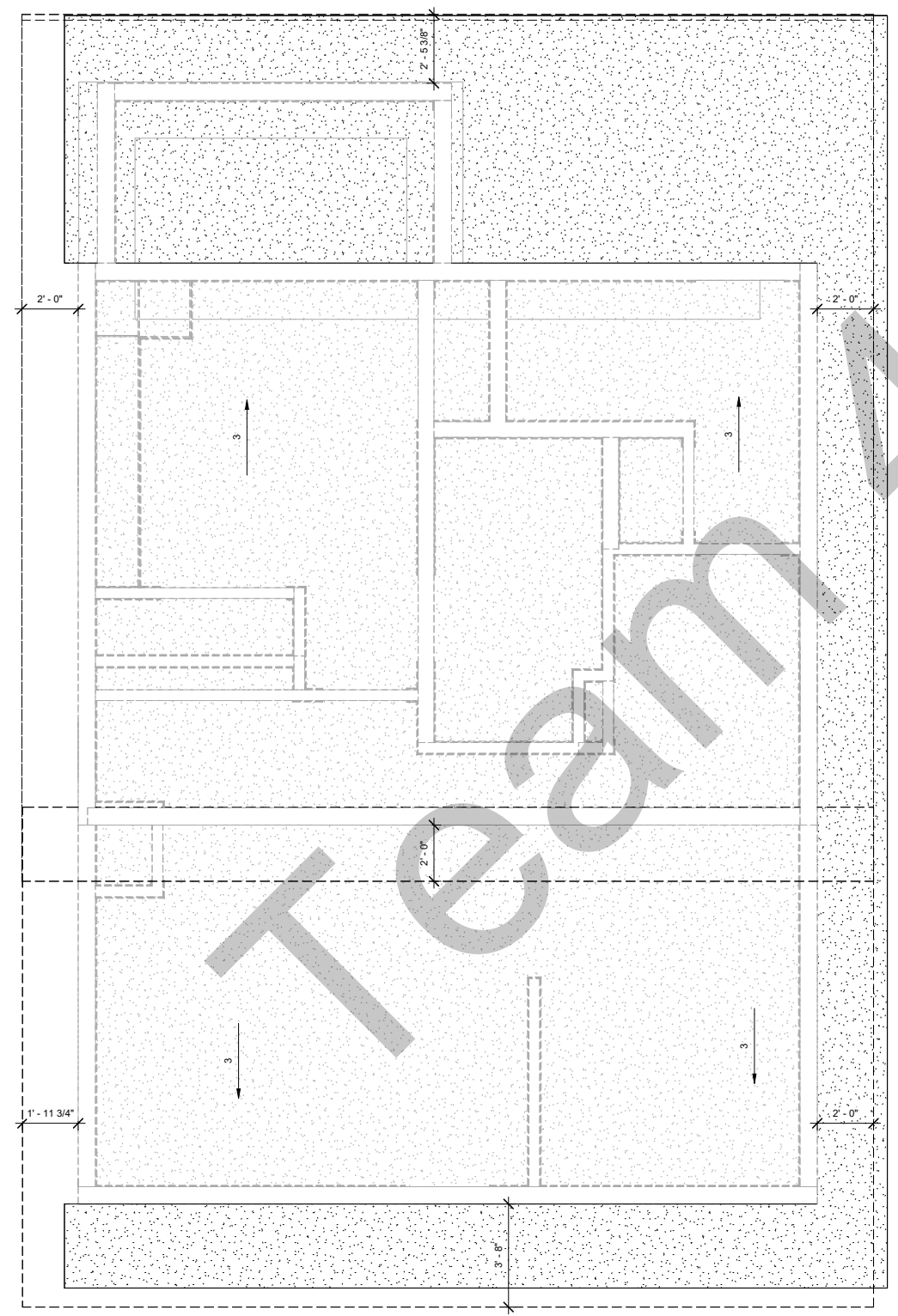
No.	Description	Date

City of GJ
City of GJ - ADU
Roof Plan - ADA &
Accessible Option

Project number	0001
Date	9/25/24
Drawn by	Team 4
Checked by	Checker

A5 - ADA

Scale	3/8" = 1'-0"
-------	--------------



THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS SUBJECT TO THESE PLANS BEING SEALED, SIGNED AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.
CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

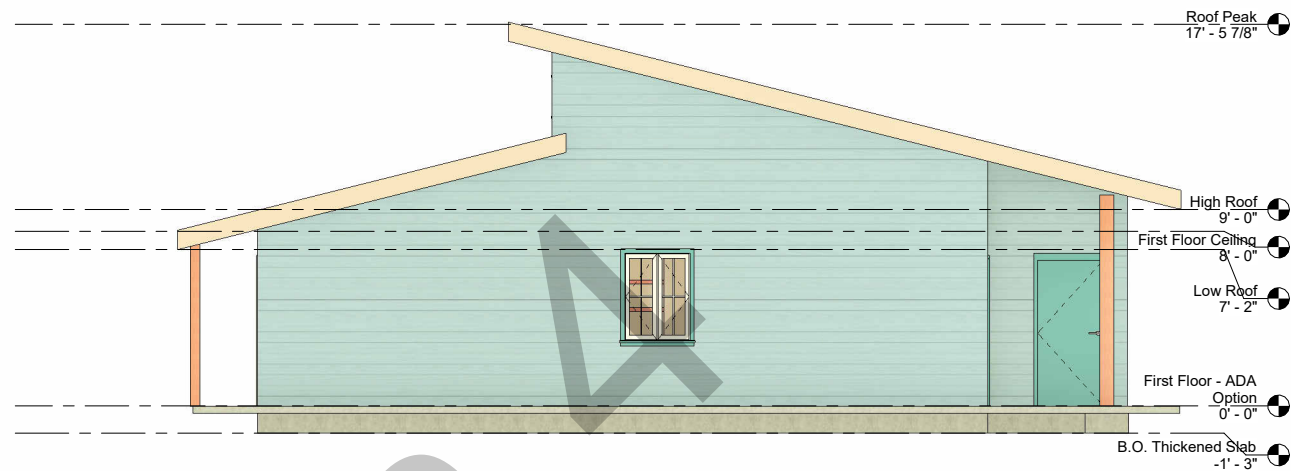
Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail



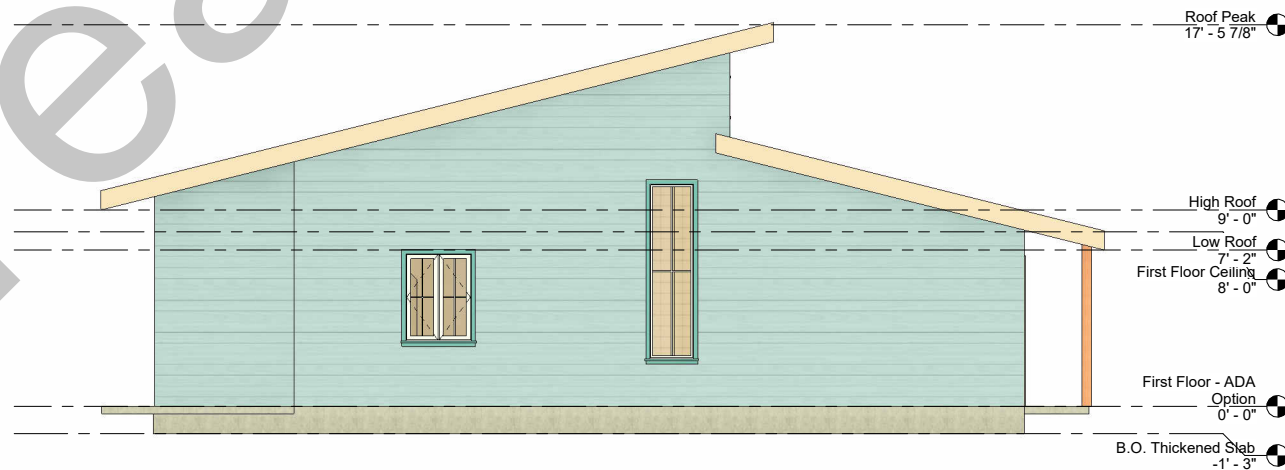
2 Exterior North - w/o Loft
1/4" = 1'-0"



3 Exterior East - w/o Loft
1/4" = 1'-0"



1 Exterior South - w/o Loft
1/4" = 1'-0"



4 Exterior West - w/o Loft
1/4" = 1'-0"

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____

CITY PLANNER _____ DATE _____

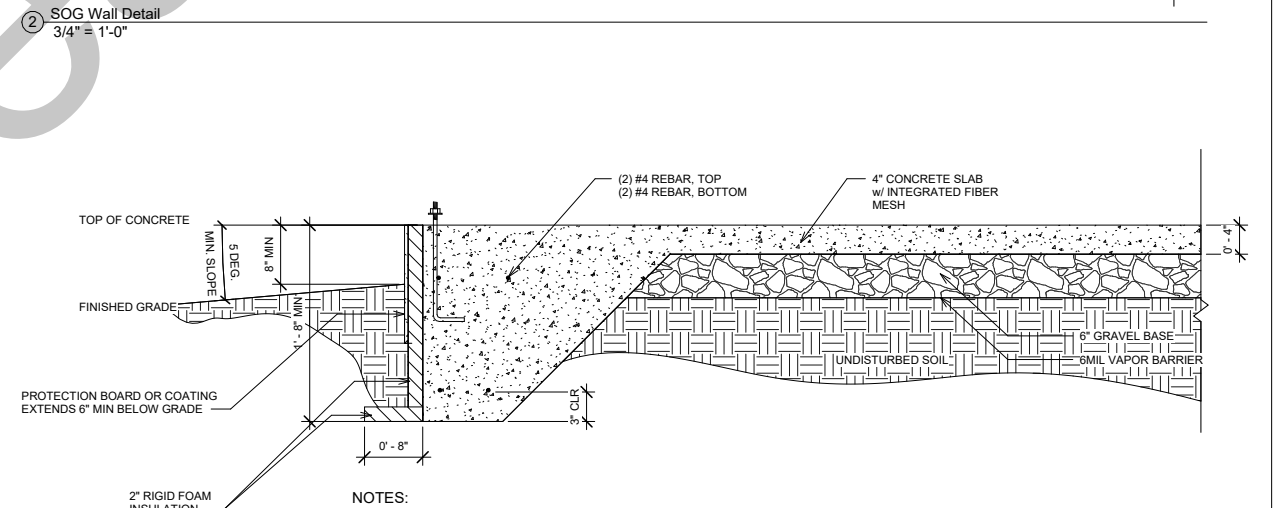
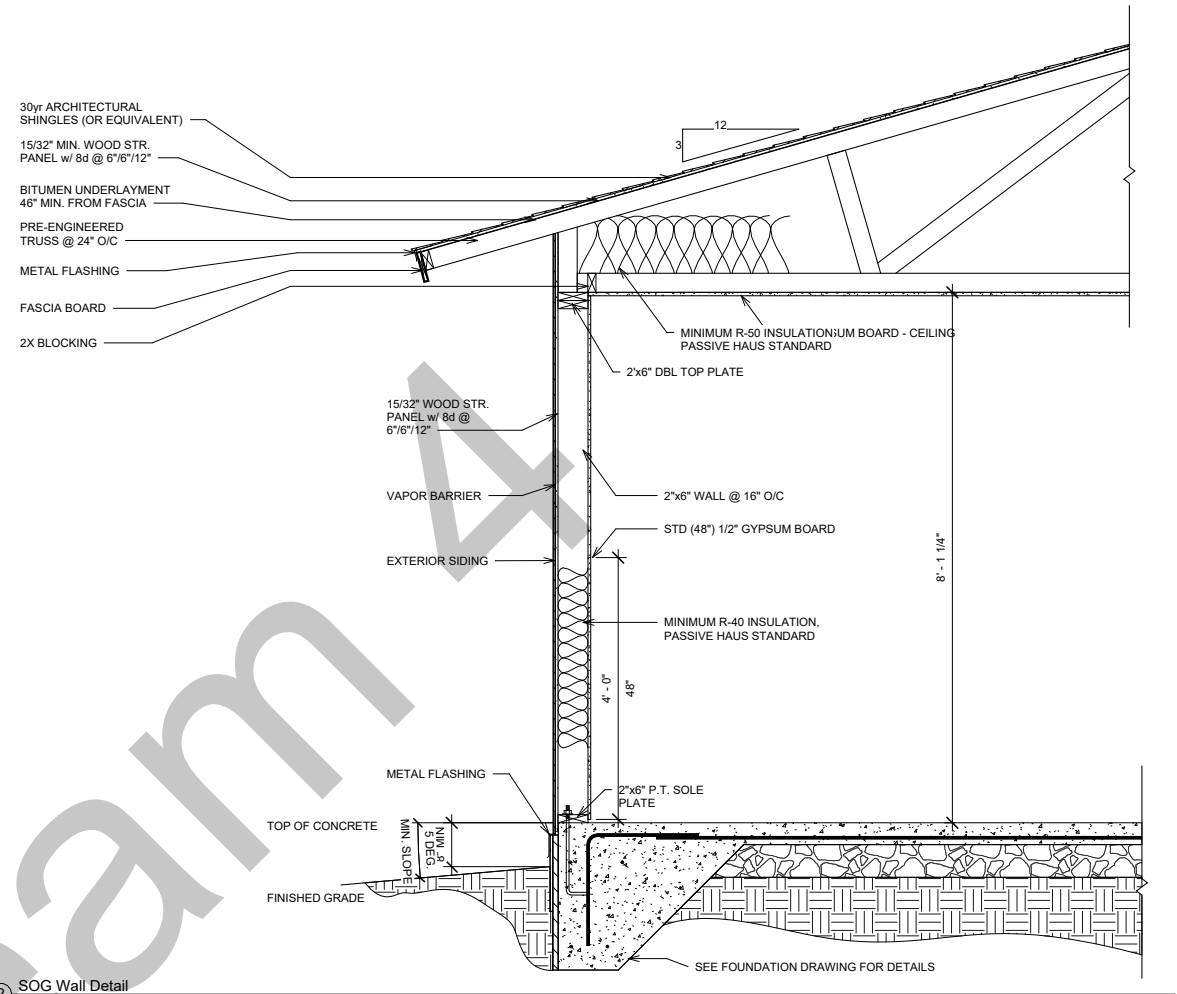
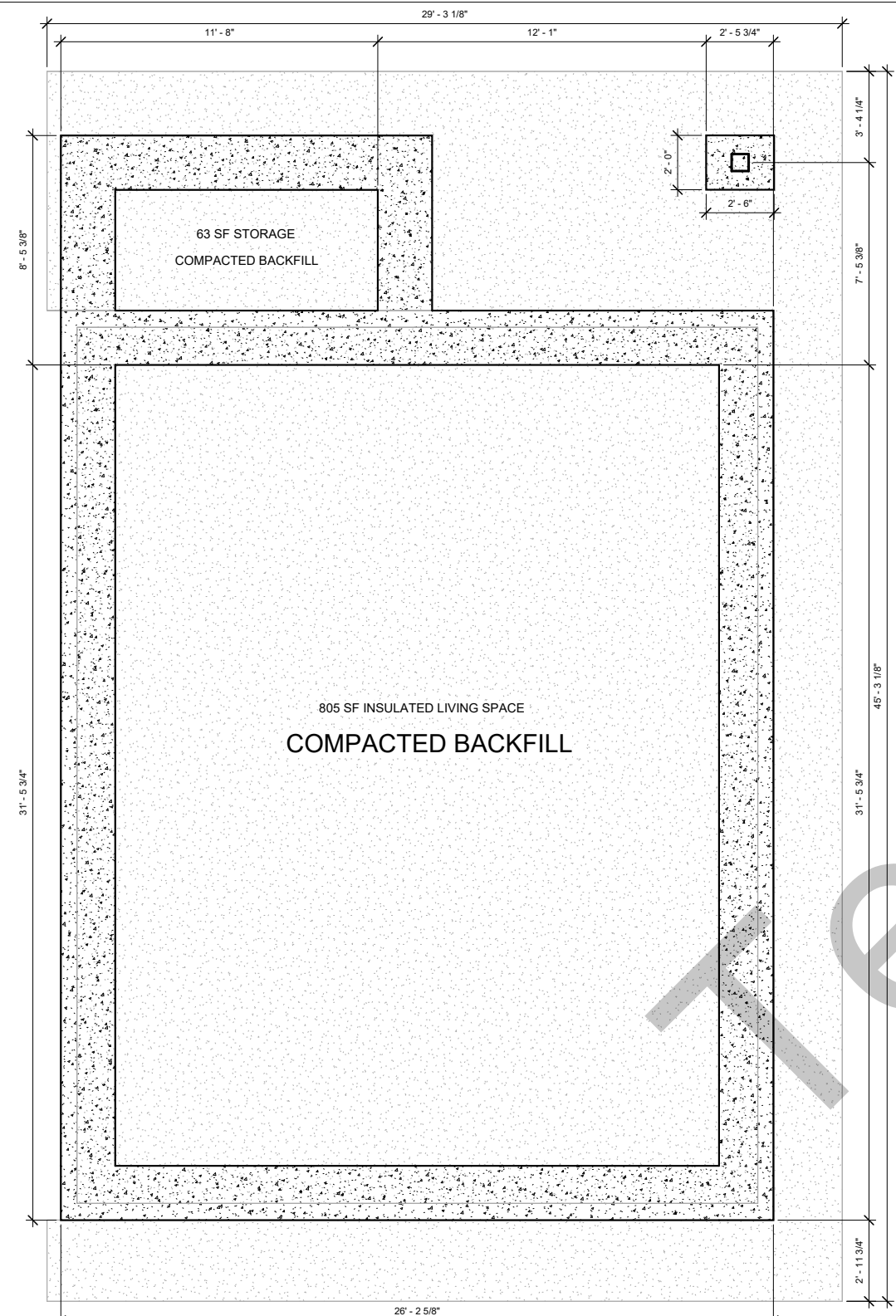
No.	Description	Date

City of GJ
City of GJ - ADU
Elevations - ADA &
Accessible Option

Project number 0001
Date 9/25/24
Drawn by Team 4
Checked by Checker

A6 - ADA

Scale 1/4" = 1'-0"



www.autodesk.com/revit

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

No.	Description	Date

City of GJ
City of GJ - ADU
Foundation Plan

Project number 0001
Date 9/25/24
Drawn by Team 4
Checked by Checker

S0

Scale As indicated

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS SUBJECT TO THESE PLANS BEING SEALED, SIGNED AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

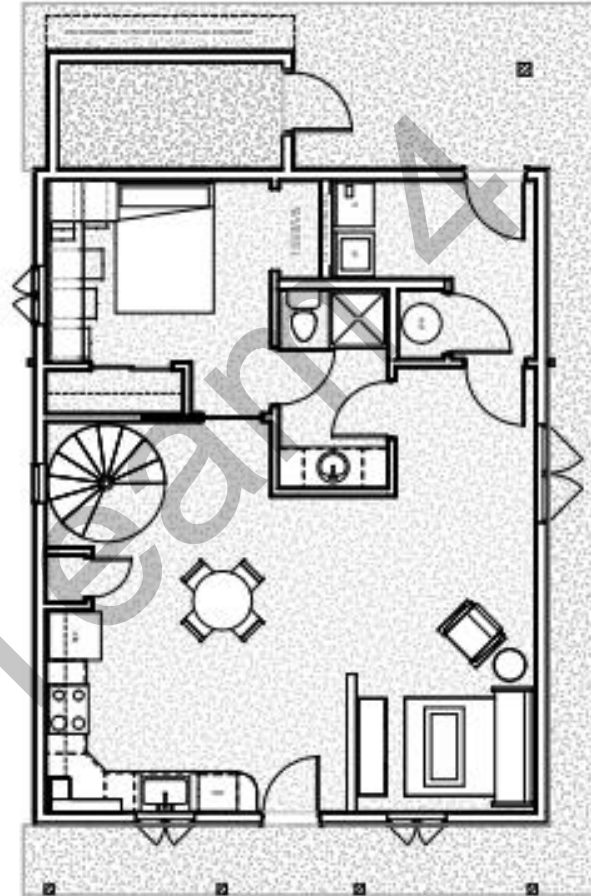
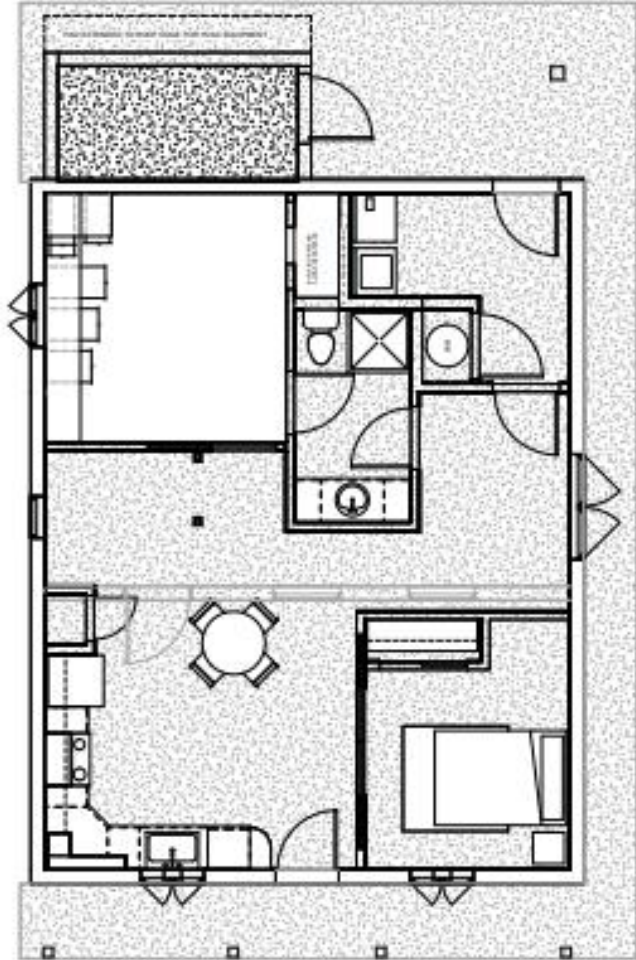
CITY DEVELOPMENT ENGINEER _____ DATE _____
CITY PLANNER _____ DATE _____

535 North 12th St. Option 1

Team 4



ADU Rendering



Site Plan:

Design Criteria:

- ADU Size is 805sf.
- ADU Region/Type is Downtown 1 – Single Level
- ADU Location 535 North 12th street Grand Junction CO, 81505

Energy Performance & Sustainability of materials:

- ADU is all – electric
- Solar Panels on south facing roof
- Centralized utility room (Water Heater)

Team 4

Cost of Construction:

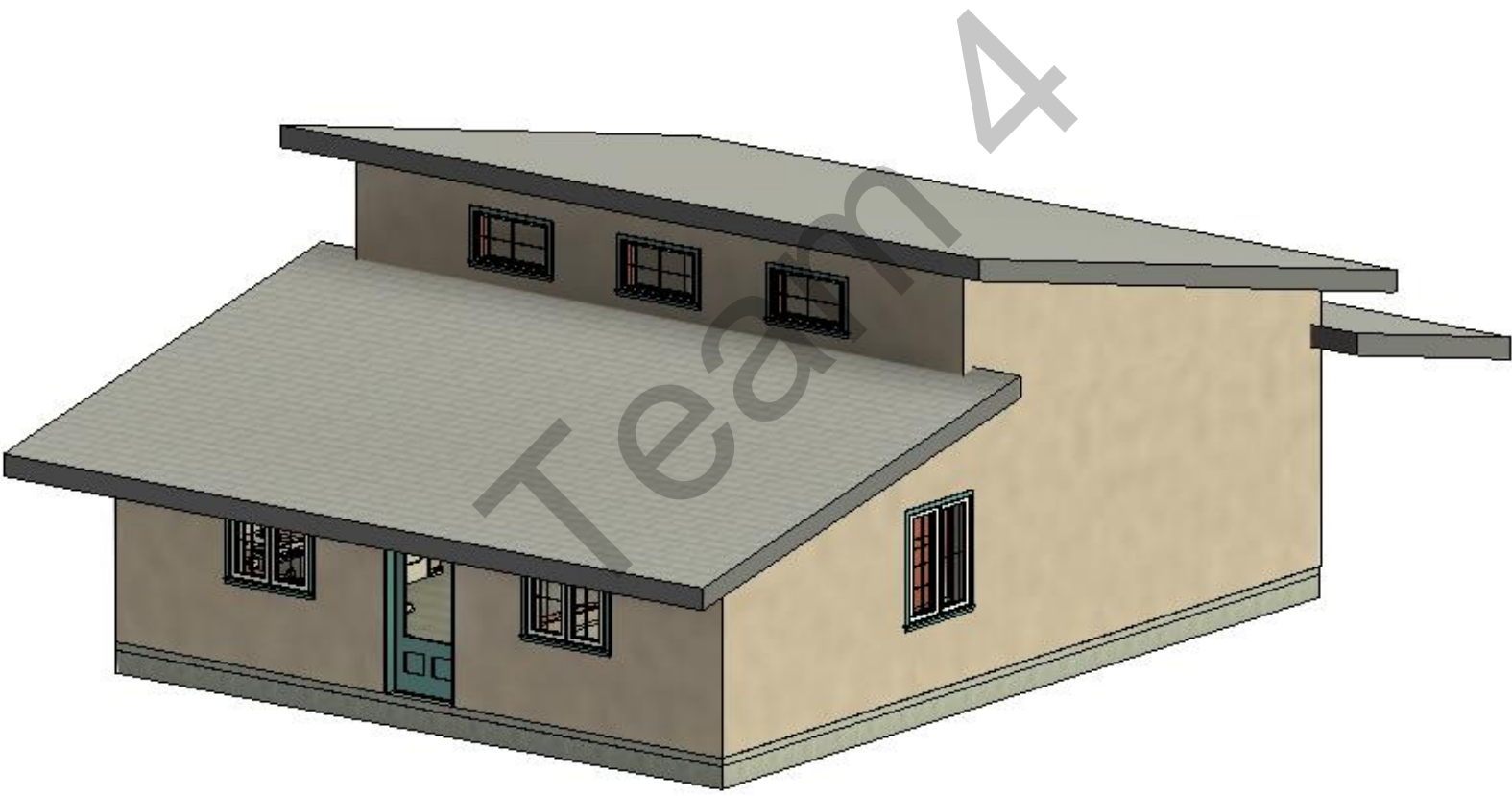
- The total cost of construction will be less than \$225,673.

Team 4

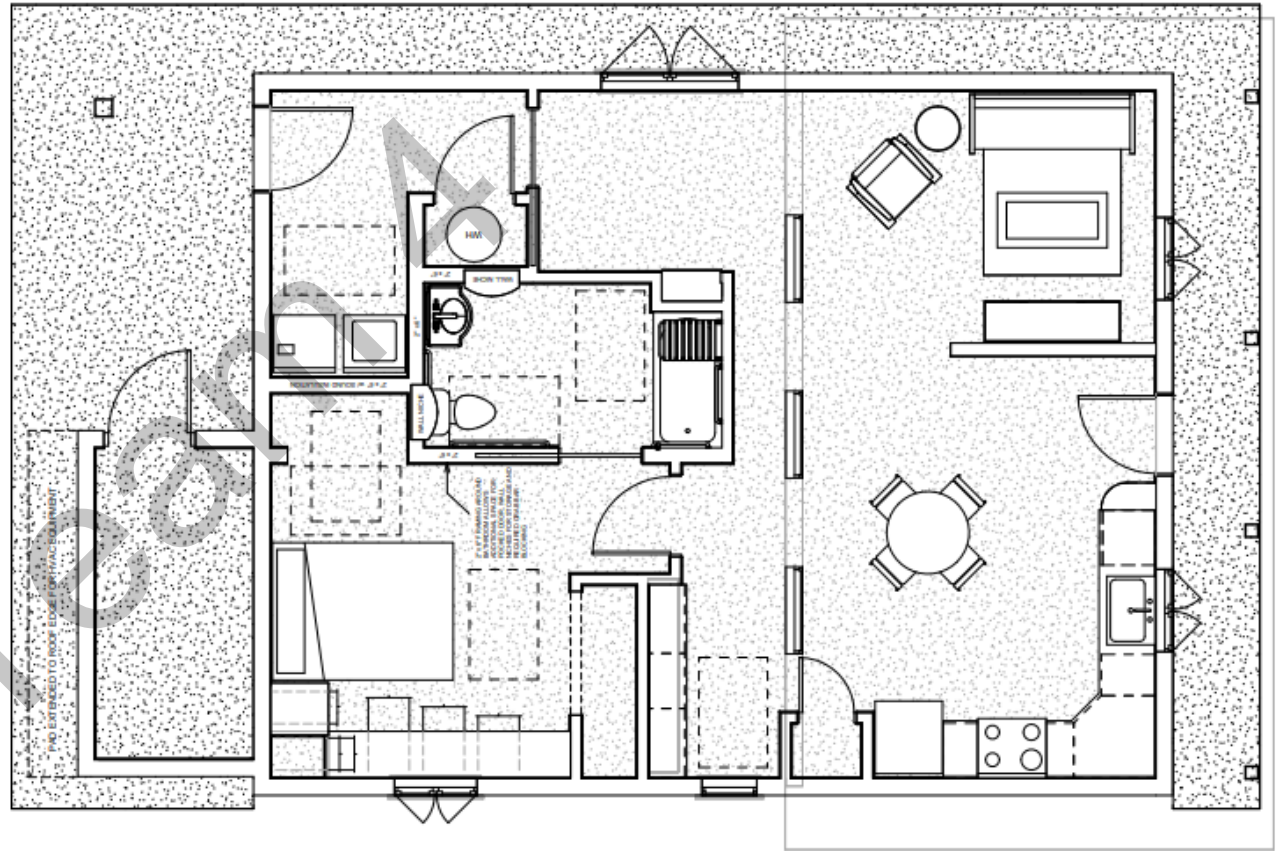
535 North 12th Street Option 2

Team 4

ADU Rendering:



Site Plan: ADA Option



Design Criteria:

- ADU Size is 805sf.
- ADU Region is Downtown 1 – Single Level
- ADU Location 534 North 12th Street Grand Junction CO, 81505

Energy Performance & Sustainability of materials:

- ADU is all electric
- Solar Panels on south facing roof
- Centralized utility room (Water Heater)

Team 4

Cost of Construction:

- The total cost of construction will be less then \$\$225,673

Team 4

ADU Cost Estimator

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below.

Total Estimated ADU Cost: 225673.56

Hard Costs	
Hard Cost Calculator Total	215351.88
Contractor Overhead	
Site Improvements	
Sewer/Water/Infrastructure Changes	
Additional Cost - Building Permit	571.00
Additional Cost	

See the second tab of this spreadsheet for a **more detailed hard cost calculator**. The total that you calculate there will appear in the **first yellow box to the left**.

Soft Costs	
DESIGN	
Designer/Architect	
Geotechnical Engineer	
Other	
Other	

The need for design services will vary - not every project will require a designer or architect.

STUDIES	
Soils Report (if on expensive or unstable soils)	
Floodplain Permit Survey	
Additional Study	
Additional Study	

Required studies vary by project. Confirm which studies your project will require by consulting City of GJ Planning Staff during your planning meetings.

Impact/Planning Fees*	
ADU Planning Clearance Fee	45.00
Traffic Capacity Payment (TCP)**	3075.00
School Impact Fee	920.00
Sewer Plant Investment Fee (PIF)	3991.68
Parks Impact Fee	962.00
Fire Impact Fee	530.00
Police Impact Fee	227.00
Floodplain Elevation Certificate Fee***	N/A

*Fees as of January 2024. City of Grand Junction impact/planning fees are regularly adjusted for inflation. You can find the most updated planning clearance fee here:
https://egov.eplweb.gjcity.org/EnerGov_prod/SelfService#/applicationAssistant?sectionName=All&showTemplates=false
 And the most updated impact fees here:
<https://www.gjcity.org/349/Development-Impact-Fees>

**If your property is in a Redevelopment Area, you only have to pay 50% of the Traffic Capacity Payment (TCP).

***The Floodplain Elevation Certificate is only necessary if your site is on a

Water/Sewer Tap Fees	
Grand Junction Water - \$0	
Clifton Water - \$6100	
Ute Water - \$8000	
Sewer Tap Fees	

NOTE: These fees are only required if putting in a separate meter/tap. Don't forget to contact your water provider to determine if a water "submeter" is required (and associated costs), and to get updated fees.

Estimated Hard Cost Calculator*

Instructions: Enter costs in the yellow boxes. The total estimated ADU cost will appear in the green box below

Total Estimated Hard Cost:

215351.88

Site Prep	
Demolition	N/A
Dumpster & Removal	1100.00
Clear Lot	N/A
Tool/Equipment Rental	1550.00
Other:	500.00
Other:	

Utilities	Column1
Gas: Permit, Connection Fee, Installation	N/A
Electrical: Permit, Connection Fee, Installation	571.00
Water/Sewer: Tap Fees & Hookup	5509.88
Telecom (Internet, Cable) Hookup	75.00
Other:	
Other:	

Rough Framing	
Exterior & Interior Walls	
Floor Framing	
Nails, Screw, Fasteners	
Prep for Plaster, Drywall	
Roof Framing/Trusses	
Roof Framing/Trusses Labor	
Other: Phoenix Haus (SIPs) 140-150/sf	42650.00
Other:	

Plumbing	
Drain/Waste/Vent	
Water Supply Piping	
Gas Piping	
Water Treatment	
Water Heater	3000.00
Fixtures: Toilets, Tubs, Sinks, Showers	
Faucets, Mixing Valves, Shower Heads	
Disposal	
Other: Coper Smith 9.50/sf	8100.00
Other: Coper Smith Fixture Budget	2600.00

HVAC	
Furnace/Heat Pump	
Central AC	
Ductwork	
Labor	
Hot Water Tank	
Other: Coper Smith Mini-Split (2-Unit)	12000.00
Other:	

Porches & Decks	
Porch/Deck - Nat. Avg. 45/sf	14500.00
Other Outdoor Structures	
Labor	
Other:	
Other:	

Excavation & Earthwork	Column1
Retaining Wall	N/A
Topsail	N/A
Site Drainage	5000.00
Seeding/Sod/Gravel	15000.00
Other: Landscape trees/shrubs	5000.00
Other:	

Foundation	Column1
Slabs - Foundation, Basement, Garage	
Sump Pump	
Crawlspace	
Exterior Foundation Insulation	
Other: Natl. Avg. 7-10/sf (10/sf)	8500.00
Other:	

Exterior	
Exterior Labor	
Siding/Veneer	
Paint/Stain/Caulk	
Trim	
Other: Stucco Natl. Avg. 6-9/sf (9/sf, 2300sf)	22000.00
Other: Flat Roof Natl. Avg. 4-13/sf (10/sf, 1200sf)	12000.00

Electrical	
Lighting	
Wiring	
Smoke/CO2 Alarms	
Panels	
Devices: Outlets, switches, dimmers	
Labor	
Other: White Star 10/sf w/200amp service	8500.00
Other:	

Drywall/Plaster	
Labor	
Walls	
Ceilings	
Other: Nat. Avg. 1-3/sf (2.00/sf)	1700.00
Other:	

Kitchen	
Cabinets - See Interior Finis (Included)	
Sink	3000.00
Countertops - Natl. Avg. 50-150/sf (100/sf, 60sf)	6000.00
Labor	
Other:	
Other:	

Appliances	
Refrigerator - Home Depot	1779.00
Stove, Range, Cooktop - Home Depot	268.00
Dishwasher - Home Depot	998.00
Washer/Dryer - Home Deot	553.00
Microwave - Home Depot	498.00
Other:	
Other:	

On-Site Water/Sewer	
Plumbing Installation, Tie In	
Plumbing/Water/Sewer Permits	
Other:	
Other:	

Other Masonry/Paving	
Patios - Natl. Avg. 7-10/sf (8/sf)	3500.00
Exterior Stairs	
Masonry Chimneys	
Fireplaces/Hearths	
Driveway	
Walkways	
Other:	
Other:	

Windows/Exterior Doors	
Doors, frames, sills - Included w/ SIP's	
Doors, door hardware - Included w/ SIP's	
Windows - Included Included w/ SIP's	
Garage Doors & Opener	N/A
Other:	
Other:	

Insulation & Air-Sealing	
Insulation - Included w/ SIP's	
Labor	
Other:	
Other:	

Interior Finish	
Interior Doors - Natl. Avg. 200-400/Door (400/dr)	4400.00
Cabinets - Natl. Avg. 50/sf Basic Solid Wood)	3000.00
Interior Painting - Natl. Avg. 2-6/sf (4/sf)	3500.00
Floors - Natl. Avg. Hardwood w/ Install 6.40/sf	7000.00
Decorative Elements	
Labor	
Other:	
Other:	

Bathrooms	
Bath cabinets - See Interior Finish (Included)	
Shower	
Bathtub	
Mirror	
Towel hangers, toilet paper holders, accessories	
Toilet	
Sink	
Labor	
Other: 2000/fixture	8000.00
Other: Misc. Items Budget	3000.00



Grand Junction Planning Commission

Workshop Session

Item #2.

<u>Meeting Date:</u>	November 7, 2024
<u>Presented By:</u>	Thomas Lloyd, Senior Planner
<u>Department:</u>	Community Development
<u>Submitted By:</u>	Thomas Lloyd, Senior Planner

Information

SUBJECT:

Discussion Regarding Zone District Setbacks in the Zoning and Development Code

RECOMMENDATION:

EXECUTIVE SUMMARY:

Discussion Regarding Zone District Setbacks in the Zoning and Development Code

BACKGROUND OR DETAILED INFORMATION:

With approval of the new Zoning and Development Code, the removal of the Form District Zone process removed some flexibility in terms of setbacks and the opportunity for applicants to reduce their front and street-side setbacks. Since the change, staff have heard from members of the development community who are interested in attaining more flexibility when it comes to front and street-side setbacks for new development in order to develop in ways consistent with the Comprehensive Plan. Staff is circling back to this discussion that was previously started earlier this year at the January workshop.

Options

At the previous workshop, the Planning Commission identified the need for there to be changes to street-side setbacks on corner lots. The updates to the Zoning and Development Code gave the applicant flexibility to determine the location of the front on

a corner lot, with the intent that this would be beneficial based on site context and the anticipated plans for the site. However, this new provision did not account for the historic street-side setback, which is the same as the front. While choosing the front has other benefits, this precludes any benefits for a side setback reduction.

The first revision for discussion is for the modification of the street-side setback. Staff is proposing two options.

- Removing the street-side setback altogether and just having one consistent side yard setback.
- Keep a street-side setback but reduce it to 1.5 times the side yard setback. This would still create some flexibility in the design of sites but mitigate some potential impacts of having buildings closer to the property line along a roadway at or near an intersection, which is why they were initially created.

The second provision for discussion is regarding the vehicle storage front setback language found in the notes of the bulk standards for the RM-8, RM-12, RH-16, and RH-24, as well as the front-loading garage setback requirements for attached single-family dwellings. The code already has language for off-street parking design and stall dimension, as well as considerations for on-street and off-lot parking requirements. Rather than complicating the setback provisions, staff proposes that the vehicle storage front setback note be removed and for vehicle storage to be governed by off-street parking standards.

The final discussion topic is the reduction of front setbacks in specific or all zone districts. It was discussed how the reduction of the front setback would give applicants more flexibility in how their site is laid out and help the City further realize its goals in the Comprehensive Plan related to improving walkability, increasing density in urban areas, creating a sense of community and belonging, promoting mixed-use development, and promoting economic growth. Staff is providing the following options for consideration:

- **Option 1:** Remove or greatly reduce the front setback requirement in RM-8, RM-12, RH-16, RH-24, MU-1, MU-2, MU-3, and CG Zone Districts. These are the zoning districts with more density and different housing types that could benefit from this flexibility. However, whether there is a need for a MPE for dry utilities would ultimately decide where structures could be built.

While this option appears to provide a great deal of flexibility, the site itself as well as the requirements for utility easements would create constraints that limit the 'setback' of the building. It will be important to consider how this affects predictability in the development process and that accurate communication to applicants about potential requirements is made up-front.

- **Option 2:** Do not revise setbacks and create an Administrative Setback Reduction Process in the Ordinance that requires certain criteria to be met. This process would consider the potential site constraints outlined in Option 1 and create a review process by which the appropriate agencies would sign off on the deviations or elimination of the easements. It would be similar to a TEDS exception or Tract Usage Adjustment.

This process would essentially be the reverse of Option 1 but would allow for the standards in a zone district to be established unless an administrative request can be granted. It would allow for a collaborative approach with staff to work towards providing an exception where the site conditions and proposed design are appropriate.

- **Option 3:** Reduce front setbacks in the aforementioned zoning districts from 15 ft to 10 ft. The minimum MPE per TEDS street section alternatives is 10 ft. This would eliminate concerns about whether the MPE would be affected. There could also be an Administrative Setback Reduction Process in the Ordinance if certain criteria are met.

SUGGESTED MOTION:

This item is for discussion purposes only.

Attachments

None