

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. 5279

AN ORDINANCE AMENDING SECTIONS OF THE ZONING AND DEVELOPMENT CODE (TITLE 21 OF THE GRAND JUNCTION MUNICIPAL CODE) REGARDING ZONE DISTRICTS AND DIMENSIONAL STANDARDS, USE STANDARDS, OFF-STREET PARKING, AND MEASUREMENTS AND DEFINITIONS

Recitals

The City Council recognizes the importance of maintaining effective zoning and development regulations that implement the vision and goals of the Comprehensive Plan while adapting to current housing needs and market realities. The Comprehensive Plan calls for expanding housing choices, promoting infill and redevelopment, and ensuring an adequate supply of attainable housing to meet the needs of a growing and diverse population. In support of these goals, the City seeks to remove unnecessary barriers that limit flexibility in housing development. Allowing single-unit detached and duplex housing in appropriate zone districts facilitates the production of housing types that are well-established in the local market, broadly recognized by the building industry, and generally more accessible to conventional financing, thereby improving the likelihood of timely and feasible housing development. This strategy also supports the State of Colorado's Proposition 123 objectives by removing local regulatory constraints and enabling more units to come online more quickly, helping the City meet state-established housing production commitments. Reducing setbacks in most districts, while allowing for the elimination of front setbacks altogether in some districts, likewise increases flexibility with building footprint and promotes suitable urban form for infill development in suitable zone districts.

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of the proposed amendments.

After public notice and public hearing, the Grand Junction City Council finds that the amendments to the Zoning & Development Code implement the vision and goals of the Comprehensive Plan and that the amendments provided in this Ordinance removes unnecessary zoning restrictions on housing types in higher-density residential districts, thereby supporting greater housing diversity, increasing the potential housing supply, and advancing the State of Colorado's Proposition 123 objectives to accelerate housing production. These amendments further the public health, safety, and welfare of the City and its residents by fostering more flexible and attainable housing opportunities.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The following sections of the zoning and development code (Title 21 of the Grand Junction Municipal Code) are amended as follows (deletions struck through, added language underlined):

...

21.03.040 DIMENSIONAL STANDARDS GENERAL RULES AND EXCEPTIONS

...

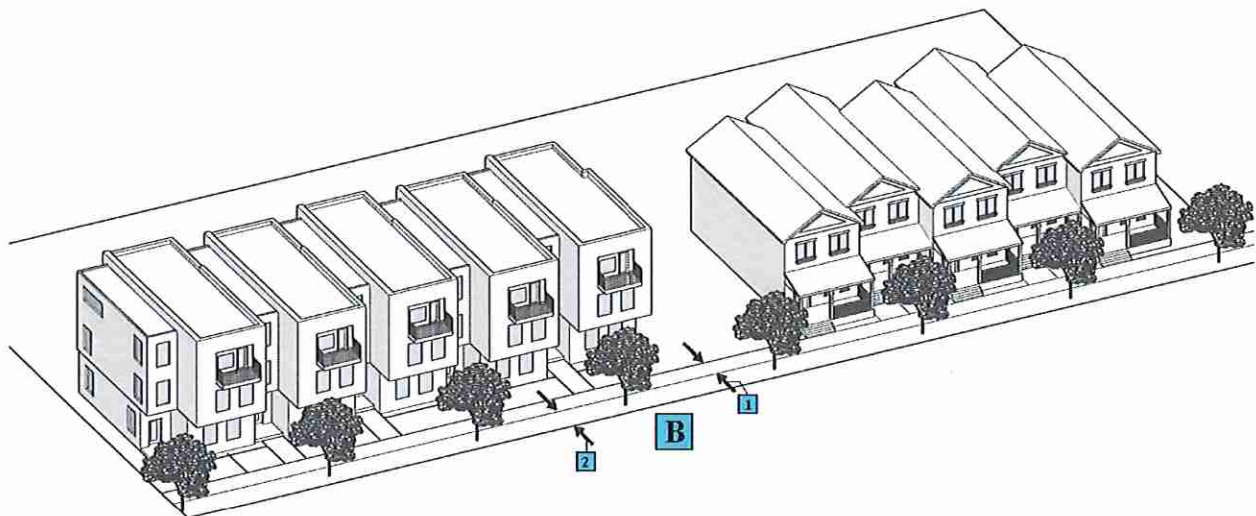
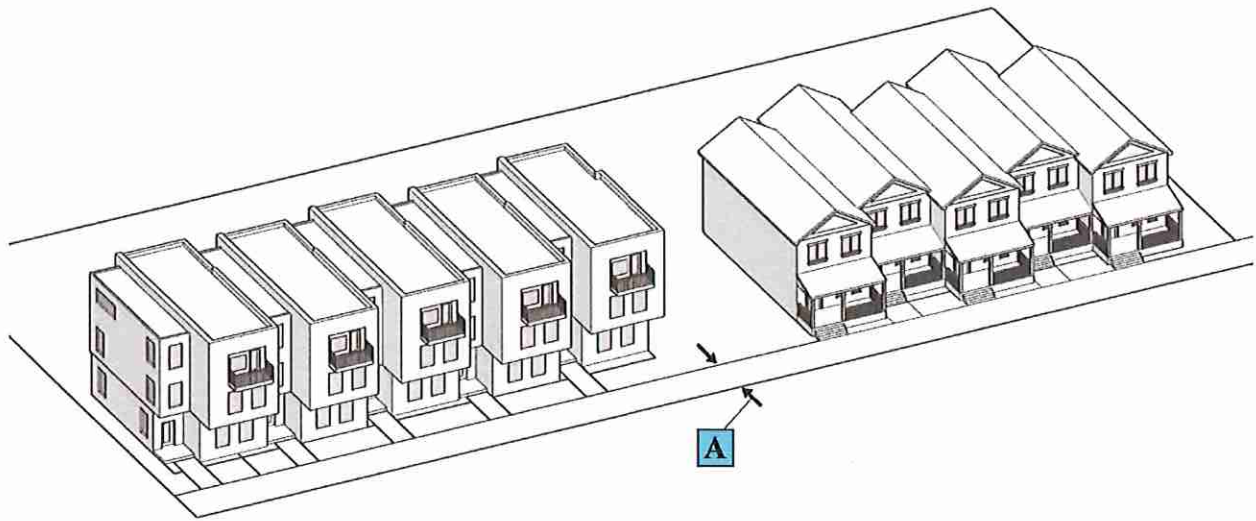
(e) Setback Exceptions.

...

- (5) Special Setbacks. The following special setbacks shall apply where noted:

...

- (i) — On corner lots, in areas where an existing parkway strip exceeds 10 feet in width between a sidewalk and the curb, the front yard setback on a side street may be varied by the Director under the conditions and restrictions listed below. A side street shall be considered that street corresponding to the side yard of the majority of the structures on a block. In unusual or conflicting circumstances, the Director shall designate which street is the side street.
- (A) No variance shall be approved to less than five feet from property line.
- (B) A variance may be approved only for a single-unit residential use.
- (C) Any variance approved shall meet all other provisions of this Code, including sight distance requirements. No variance shall be granted unless the City Engineer finds, in writing, that the proposal will not create a danger to pedestrians or vehicle circulation.
- (D) No vehicular access shall be allowed from a side street to any structure approved for a variance under the provisions of this section.
- (E) A variance shall only be effective if it is issued by the Director, contains the legal description and any terms and conditions, and is recorded by the applicant prior to issuance of a building permit.



- (i) In the RM-12, RH-16, RH-24, MU-1, MU-2, and CG zone districts, the front setback may be reduced from 5 feet to 0 feet, provided that no vehicle access for single-unit or duplex residential will be allowed along the frontage of the lot, and provided one of the following conditions is met:
- (A) A 12-foot-wide attached sidewalk is provided along the entire frontage of the lot.
 - (B) A [1] 6-foot-wide detached sidewalk with [2] 8-foot-wide right-of-way landscape including street trees is provided along the entire frontage of the lot.
 - (C) If street improvements are deferred, the full right-of-way width for the standard street section exists or is dedicated.

...

21.03.050 RESIDENTIAL DISTRICTS

(c) Standards Applicable to All Residential Zone Districts.

(1) Setbacks.

- (i) — Setback averaging [GJMC § ~~21.03.040(e)(4)~~] may be applied to primary and accessory setbacks and the vehicle storage setback may be adjusted proportionately.
- (ii) — Attached single-family dwellings that front onto a private drive, shared drive, parking lot, or other private access way shall be set back a minimum of 15 feet from the edge of the access way, with front loading garages set back a minimum of 20 feet from any vehicular or pedestrian access way.

...

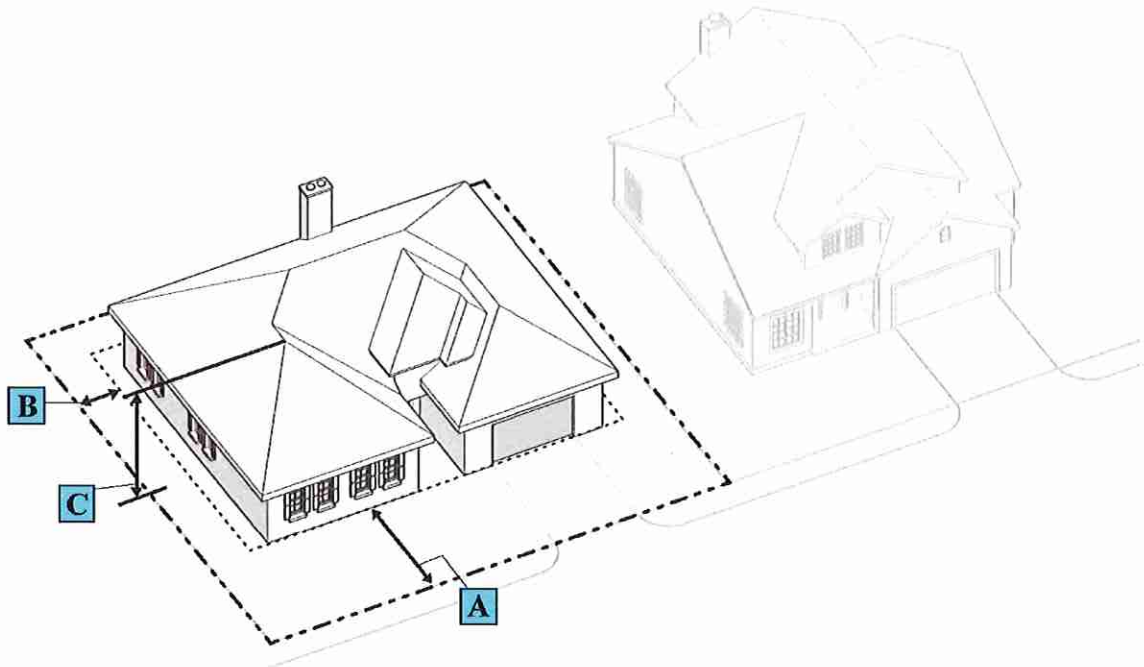
(h) Residential Low 4 (RL-4)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the R-4 RL-4 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area	
Single-unit Detached, Duplex	7,000/structure
Single-unit Attached	2,500/unit
Multi-unit	Not allowed
Civic and Institutional	20,000/structure
Lot Width	
Lot area measured by structure	70
Lot area measured by unit	25
Lot Frontage	20
Cluster allowed per 21.03.040(f) Error!	Yes

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	15
B	Street Side <u>All Others</u>	45-7
C	Side	7
D	Rear	25
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5

Lot Standards	
Reference source not found.	
Density (units/acre)[1]	
Minimum Maximum	2 4
Cluster allowed per 21.03.040(f)	Yes
Lot Coverage (maximum)	
Lot Coverage	50%
Maximum Number of Dwelling Units	
Single-unit Attached	4 per building
All Other Residential Uses	As allowed by density

Building Standards		
Height (maximum, feet)		
E C	Height	40

Notes: [1] See 21.14.010(a). See 21.03.050(c) for setback adjustments.

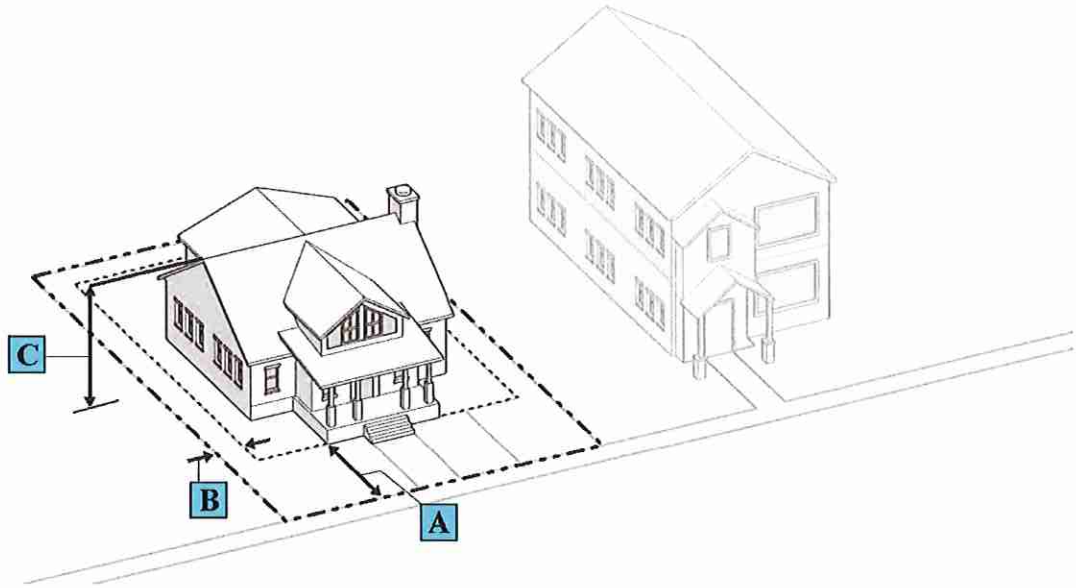
(i) Residential Low 5 (RL-5)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RL-5 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area	
Single-unit Detached, Duplex	4,000/structure
Single-unit Attached	2,000/unit
Multi-unit	No min
Civic and Institutional	20,000
Lot Width	
Lot area measured by structure	40
Lot area measured by unit	20
Lot Frontage	20
Cluster allowed per 21.03.040(f)	Yes
Density (units/acre) [1]	
Minimum Maximum	3 5.5

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	15
B	Street Side All Others	45 5
C	Side	5
D	Rear	45
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		
E C	Height	40

Lot Coverage (maximum)	
Lot Coverage	60%
Maximum Number of Dwelling Units	
Multi-unit	4 per building
All Other Residential Uses	As allowed by density

Notes: [1] See 21.14.010(a). See 21.03.050(c) for setback adjustments.

(j) **Residential Medium 8 (RM-8)**

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RM-8 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area	
Single-unit Detached, Duplex	3,000/structure
Single-unit Attached	1,200/unit
Multi-unit	No min
Civic and Institutional	20,000
Lot Width	
Lot Area Set by Structure	40 per lot
Lot Area Set by Unit	16 per unit
Lot Frontage	20 per lot
Density (units/acre) [1]	
Minimum Maximum	5.5 8
Lot Coverage (maximum)	
Lot coverage	75%

Building Standards		
Setbacks: <u>Principal Structure</u> (minimum, feet) [2]		
A	Front	45 <u>5</u>
B	Street Side All Others	15 <u>5</u>
C	Side	5
D	Rear	10
Setbacks: <u>Accessory Structure</u> (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		
E C	Height	50

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [4] Vehicle storage, including a garage, required front setback is 20 ft.
See 21.03.050(c) for setback adjustments

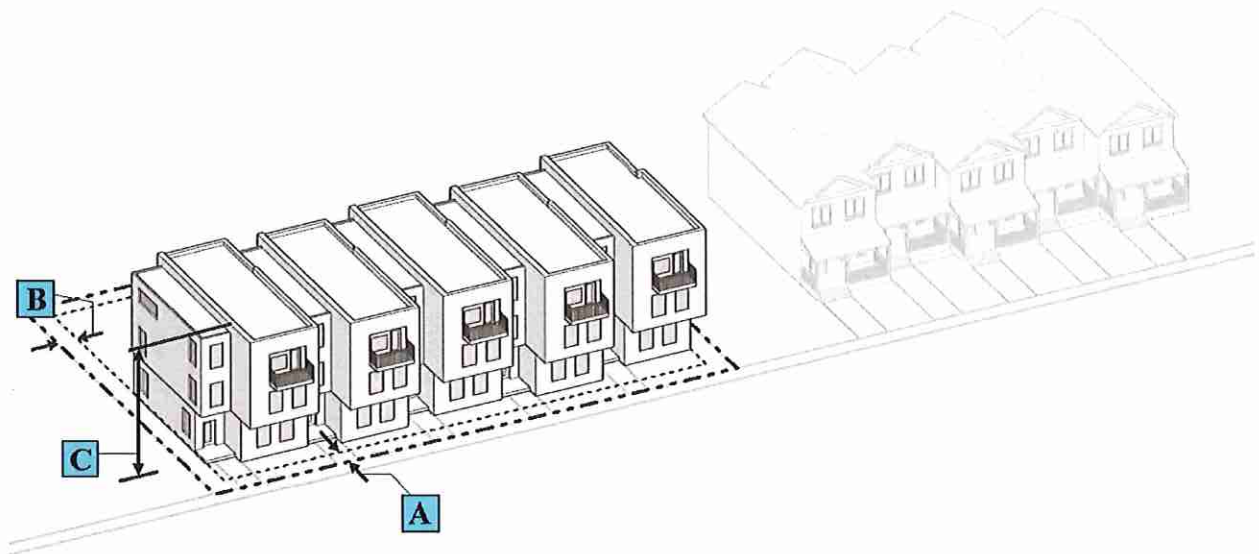
(k) Residential Medium 12 (RM-12)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RM-12 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area (minimum), any type of unit	No min minimum
Lot Area (maximum), Single-unit Detached and Duplex	8,000
Lot Width (minimum)	30 per lot
Triplex, Fourplex, Townhome (minimum)	16 per unit
Single-unit Detached, Duplex (maximum)	50 per lot
Lot Frontage (minimum)	20
Single-unit Detached, Duplex (maximum)	40
Density (units/acre) [1] GJMC § 21.14.010(a)	
Minimum Maximum	8 12
Lot Coverage (maximum)	
Lot coverage	75%

Building Standards		
Setbacks: Principal Structure (minimum, feet) [2]		
A	Front [4] [3]	155/0
B	Street Side All Others	15 5
C	Side	5
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5

Lot Standards

Building Standards

Height (maximum, feet)

E C	Multi-unit (maximum)	65
	Single-unit Attached, Duplex (maximum)	50

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [4] Single-family attached vehicle storage, including a garage required front setback is 20 feet. See § 21.03.050(c) for setback adjustments.

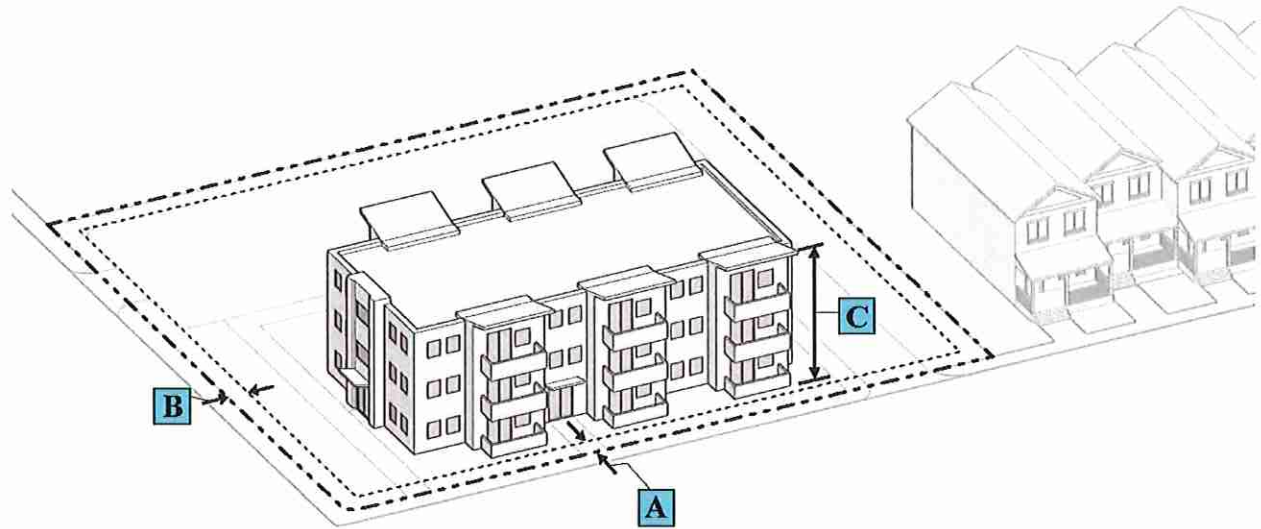
(I) Residential High 16 (RH-16)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RH-16 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area (minimum), any type of unit	No minimum
Lot Area (maximum), Single-unit Detached and Duplex	6,000
Lot Width (minimum)	30 per lot
Triplex, Fourplex, Townhome (minimum)	16 per unit
Single-unit Detached, Duplex (maximum)	50 per lot
Lot Frontage (minimum)	20
Single-unit Detached, Duplex (maximum)	40
Density (units/acre) [1]	
Minimum Maximum	12 16
Density measurement GJMC 21.14.010(a)	
Lot Coverage (maximum)	
Lot coverage	75%

Building Standards		
Setbacks: Principal Structure (minimum, feet) [2]		
A	Front [4] [3]	155/0
B	Street Side All Others	15 5
C	Side	5
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5

Lot Standards

Building Standards

Height (maximum, feet)

E C	Multi-unit (maximum)	60
	Single-unit Attached, Duplex (maximum)	50

Notes: [1] See GJMC 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [4] Single-unit attached vehicle storage, including a garage, required front setback is 20 ft.

See 21.03.050(c) for setback adjustments

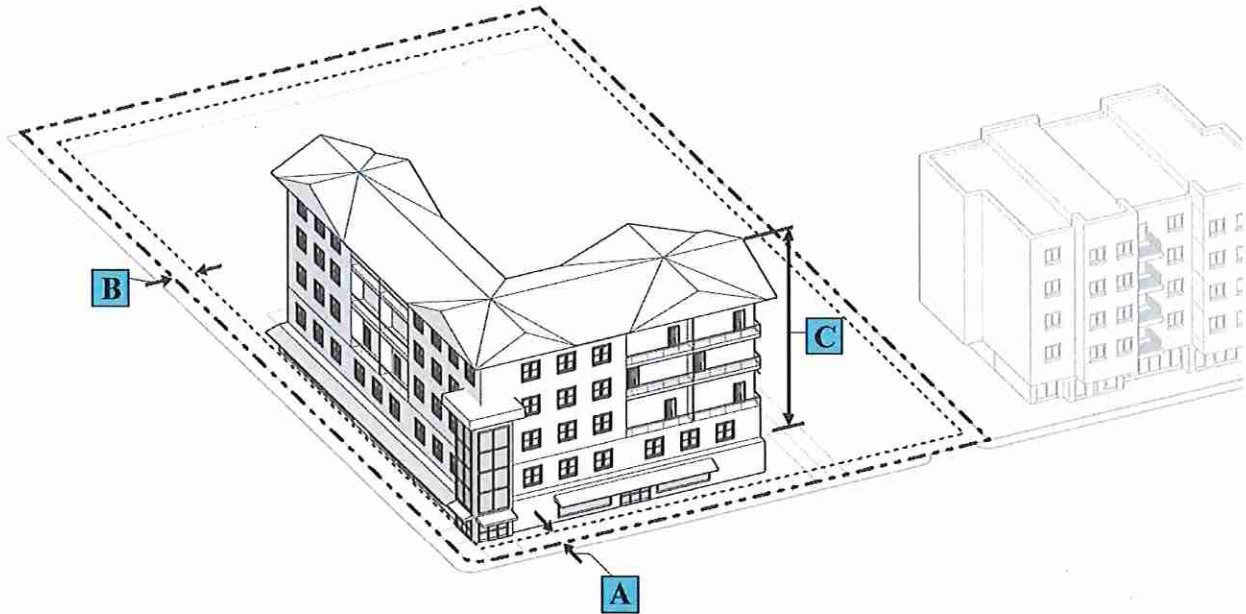
(m) Residential High 24 (RH-24)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RH-24 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area (minimum), all unit types	No minimum
Lot Area (maximum), Single-unit Detached and Duplex	6,000
Lot Width (minimum)	30 per lot
Triplex, Fourplex, Townhome (minimum)	16 per unit
Single-unit Detached, Duplex (maximum)	50 per lot
Lot Frontage (minimum)	20
Single-unit Detached, Duplex (maximum)	40
Density (units/acre) [1]	
Minimum Maximum	16 N/A
Density measurement GJMC 21.14.010(a)	

Building Standards		
Setbacks: Principal Structure (minimum) [2]		
A	Front [4] [3]	45/0
B	Street Side All Others	45/5
C	Side	5
D	Rear	40
Setbacks: Accessory Structure (minimum)		
	Front	25
	Street Side	20

Lot Standards	
Lot Coverage (maximum)	
Lot coverage	80%

Building Standards		
	Side	3
	Rear	5
Height (maximum, feet)		
E C	Multi-unit (maximum)	100
	Single-unit Attached, Duplex (maximum)	50

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [4] Single-unit attached vehicle storage, including a garage, required front setback is 20 ft.

See 21.03.050(c) for setback adjustments

21.03.060 MIXED-USE DISTRICTS

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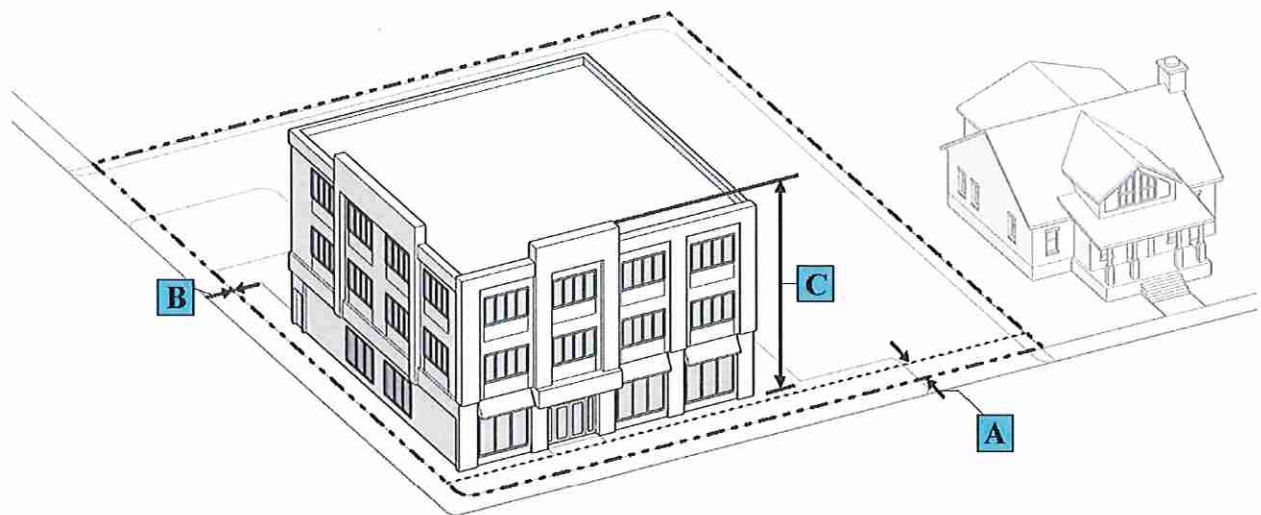
(c) Mixed-Use Neighborhood (MU-1)

...

(3) Dimensions

- (i) The following dimensions apply in the MU-1 zone district as follows:

...



Lot Standards	
Residential Standards	
Applicable district standards [1]	RM-8 or RM-12
Minimum density [2]	8 du/acre
Mixed-Use Lot Standards	
Lot area (minimum, feet)	4,000
Lot width (minimum, feet)	50
Lot coverage (maximum)	70%
Parking, Loading, Service	
Access and location	Side or Rear
Use Limits	

Building Standards		
Setbacks: Principal Structure (minimum, feet) [3]		
A	Front [4]	45/50
B	Side All Others	0
D	Rear	40
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Side	0
	Rear	0
Height (maximum, feet)		
E C	Height	40
Gross Floor Area (maximum, square feet)		

Lot Standards

Retail uses require a Conditional Use Permit on lots with a Comprehensive Plan land use designation including "Residential" in the title

Building Standards

	Office	30,000
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Notes: [1] Either district may be chosen at rezoning; the chosen district shall be applied consistently. [2] See 21.14.010(a). [3] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [4] See 21.03.040(e)(5)(i) for 0-foot setback requirements.

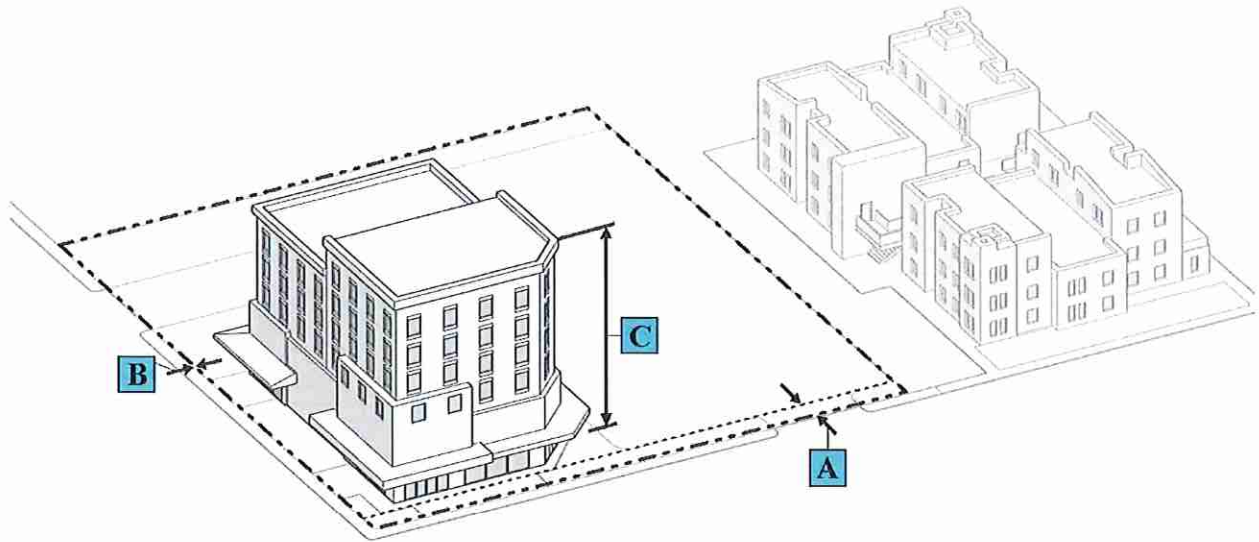
(d) Mixed-Use Light Commercial (MU-2)

...

(3) Dimensions

(i) The following dimensions apply in the MU-2 zone district as follows:

...



Lot Standards

Residential Standards

Applicable district standards [1]	RH-16 or RH-24
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Minimum density [2]	16 du/acre
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Mixed-Use Lot Standards

Lot area (minimum, feet)	20,000
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Lot width (minimum, feet)	50
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Lot coverage (maximum)	100%
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Parking, Loading, Service

Access and location: alley where available, otherwise side or rear

Building Standards

Setbacks: Principal Structure (minimum, feet) [3]

A	Front [4]	155/0
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B	Side All Others	0
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D	Rear	10 [1]
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Setbacks: Accessory Structure (minimum, feet)

	Front	25
--	-------	----

	Side	0
--	------	---

	Rear	10
--	------	----

Height (maximum, feet)

E C	Height	65
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Use Limits

Outdoor storage is not allowed within the front setback.

Lot Standards

Building Standards

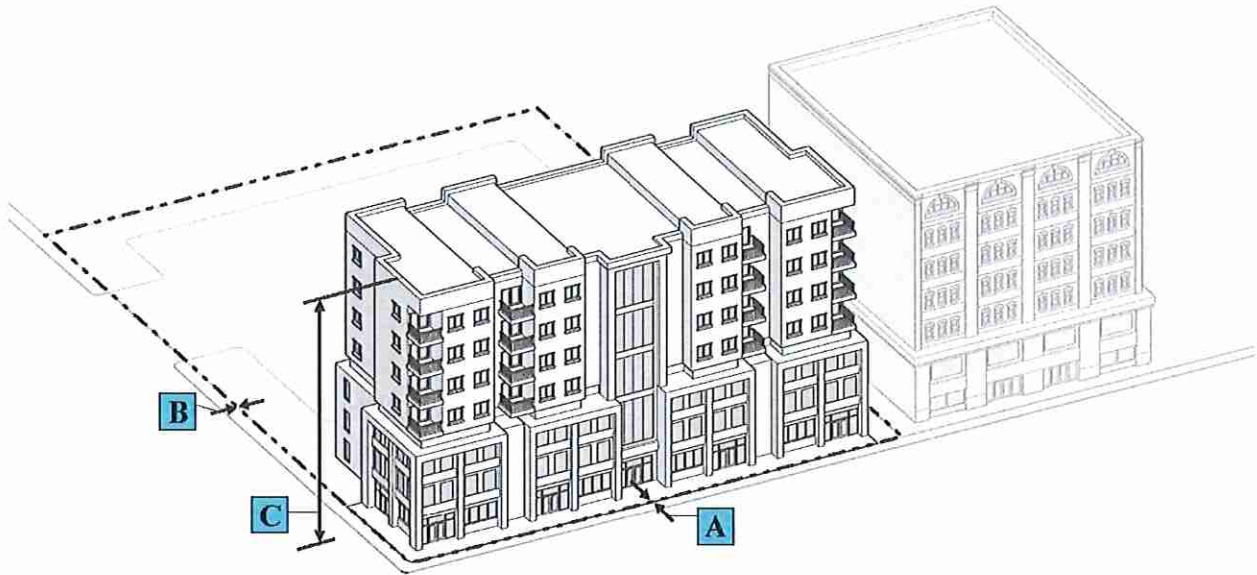
Notes: [1] Either district may be chosen at rezoning; the chosen district shall be applied consistently. [2] See 21.14.010(a). [3] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [4] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [1] ~~0 feet for a lot on an alley.~~

(e) Mixed-Use Downtown (MU-3)

...

(3) Dimensions

- (i) The following dimensions apply in the MU-3 zone district as follows:



Lot Standards	
Residential Standards	
Minimum density [1]	8 du/acre
Mixed-Use Lot Standards	
Lot area (minimum, feet)	n/a
Lot width (minimum, feet)	n/a
Lot coverage (maximum)	100%
Parking, Loading, Service	
Access: alley where available, otherwise side or rear	
Location: side or rear	
Use Limits	
Outdoor Entertainment and Recreation uses require a Conditional Use Permit on lots adjacent to a residential zone district	

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	0
B	Side <u>All Others</u>	0
D	Rear	0
Setbacks: Accessory Structure (minimum, feet)		
	Front	0
	Side	0
	Rear	0
Height (maximum, feet)		
E C	Height	80

Notes: [1] See 21.14.010(a).

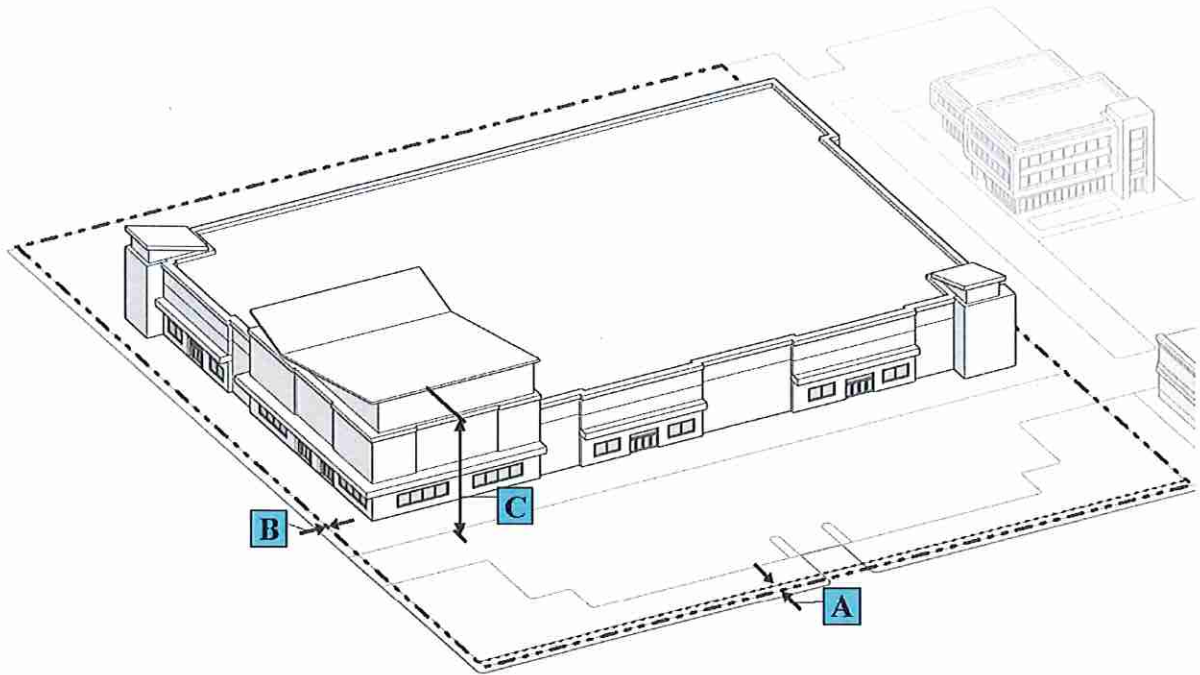
(f) Commercial General (CG)

...

(3) Dimensions

- (i) The following dimensions apply in the CG zone district as follows:

...



Lot Standards

Residential Standards

Applicable district standards	RH-16
Minimum density [1]	n/a

Mixed-Use Lot Standards

Lot area (minimum, feet)	20,000
Lot width (minimum, feet)	50
Lot coverage (maximum)	100%

Parking, Loading, Service

Access: Alley where available, otherwise side or rear

Building Standards

Setbacks: Principal Structure (minimum) [2]

A	Front [3]	455/0
B	Side All Others	0

D	Rear	10 [1]
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Setbacks: Accessory Structure (minimum)

	Front	25
	Side	0

	Rear	10
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Height (maximum, feet)

E C	Height	65
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Use Limits

Lot Standards

Building Standards

Outdoor uses are not allowed in a front setback.

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [4] 0 feet for lot on an alley

21.04.020 PRINCIPAL USE TABLE

...
(e) Use Table.

Zone Districts	...	RL-4	RL-5	RM-8	RM-12	RH-16	RH-24	MU-1	...
Residential Uses									
Household Living									
...									
Dwelling, Single-unit Detached		A	A	A	A	A	A	A	
Dwelling, Duplex		A	A	A	A	A	A	A	
...									

21.04.040 ACCESSORY USES AND STRUCTURES

...
(d) Accessory Use Table.

Zone Districts	...	RL-4	RL-5	RM-8	RM-12	RH-16	RH-24	MU-1	...	P-2
Residential Uses											
Household Living											
...											
Accessory Dwelling Unit		A	A	A	A	A	A	A		A	
...											

(e) Accessory Use-Specific Standards.

(1) Residential Uses.

(i) Accessory Dwelling Unit.

...

(B) Structure Requirements.

...

- e. An accessory dwelling unit, attached or detached, may utilize a minimum rear setback that is the minimum rear setback for all accessory structures.

21.08.010 OFF-STREET PARKING AND LOADING

Table 21.Error! No text of specified style in document.-1: **Minimum Off-Street Vehicle Parking Requirements**

GFA = Gross Floor Area

	Minimum Vehicle Parking
...	
Accessory Uses	
Residential Uses	
Accessory Dwelling Unit	1 per unit
...	

21.09.040 LOT LAYOUT AND DESIGN

...

(b) Maximum Block Length Standards.

- (1) No subdivision shall create a block that is greater than 1,400 feet in length in any direction.
- (2) Block Pattern Requirement for Developments that Include Single-unit Detached or Duplex Dwellings in the RH-16 and RH-24 Zone Districts.
 - (i) No subdivision shall create a block that is greater than 400 feet in length in any direction, except that a block may exceed 400 feet in length if one mid-block connection is provided for every additional 200 feet of block length.
 - (ii) Mid-block connections shall be spaced evenly throughout the block and may be an alley or an Active Transportation Corridor or other trail that provides safe, visible, and direct pedestrian access through the block and connect to public sidewalks, streets, or common open space.

21.14.020 DEFINITIONS

...

Lot coverage means that area of the lot or parcel which may be occupied by impervious surfaces the percentage of the total lot area covered by structures. It is calculated by dividing the square footage of structure coverage by the square footage of the lot.

...

INTRODUCED on first reading this 17th day of September 2025 and ordered published in pamphlet form.

ADOPTED on second reading this 1st day of October 2025 and ordered published in pamphlet form.

ATTEST:



Cody Kennedy
President of the City Council



Selestina Sandoval
City Clerk



I HEREBY CERTIFY THAT the foregoing Ordinance, being Ordinance No. 5279 was introduced by the City Council of the City of Grand Junction, Colorado at a regular meeting of said body held on the 17th of September, 2025, and the same was published in The Daily Sentinel, a newspaper published and in general circulation in said City, in pamphlet form, at least ten days before its final passage.

I FURTHER CERTIFY THAT a Public Hearing was held on the day of the 1st of October 2025, at which Ordinance No. 5279 was read, considered, adopted, and ordered published in pamphlet form by the Grand Junction City Council.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said City this 6th day of October 2025.



Deputy City Clerk

Published: September 20, 2025
Published: October 4, 2025
Effective: November 3, 2025

