



Purchasing Division

Invitation for Bid

IFB-5756-26-DD

Lincoln Park Waterslide Re-Gel Coating

Bid Response Deadline

December 1, 2025, Prior to 2:00 PM (MST)

Electronic Submission Only

Proposals Must Be Submitted Exclusively Through
BidNet Direct® – Rocky Mountain E-Purchasing System (RMEPS)

<https://www.bidnetdirect.com/colorado/city-of-grand-junction>

Important Notice

The City of Grand Junction does not control or administer vendor access to the BidNet® Direct system. Proposers are solely responsible for ensuring a successful submission. Technical assistance must be requested directly from BidNet at (800) 835-4603.

NOTE: All City solicitation openings will continue to be held virtually.

Purchasing Representative:

Dolly Daniels, Senior Buyer

dollyd@gjcity.org

970-256-4048

Invitation for Bids

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Appendix

- Attachment A: Waterslide Specifications**
- Attachment B: Photos**

Section 1.0. Administrative Information and Instructions

- 1.1. Americans with Disability Act (ADA) Compliance Mandate:** Following HB21- 1110, all documents produced and submitted in response to this solicitation must adhere to the provisions outlined in §§24-85-101, C.R.S., and subsequent sections, as well as the Accessibility Standards for Individuals with a Disability, as established by the Office of Information Technology under section §24-85-103 (2.5), C.R.S. Additionally, all documents must align with the State of Colorado's technology standards related to accessibility, including Level A.A. conformity with the latest iteration of the Web Content Accessibility Guidelines (WCAG) as integrated within the State of Colorado's technology standards.

Deliverables that fail to meet accessibility requirements may be returned for correction at no additional cost to the City.

- 1.2. Required Review:** The Offeror is responsible for thoroughly reviewing all solicitation documentation to ensure a complete understanding of the scope, specifications, delivery requirements, and all terms and conditions governing this procurement. The Bidder shall review all applicable laws, regulations, instructions, and procurement policies associated with this solicitation process. Submission of a bid response constitutes acknowledgement that the Bidder has reviewed and understands all requirements necessary to provide the specified products and fulfill the obligations under this solicitation.
- 1.3 Issuing Office:** This Invitation for Bid (IFB) is issued by the City of Grand Junction. All contact regarding this IFB is to be directed to:

Dolly Daniels; Senior Buyer
dollyd@qjcity.org

Except for Pre-Bid or Site Visit Meeting(s) all questions, inquiries, comments, or communication pertaining to this solicitation (whether process, specifications, scope, etc.) must be directed (in writing) to the Purchasing Agent. Other communication may result in disqualification.

- 1.4 Pre-Bid Meeting:** A Pre-Bid Meeting will not be conducted for this project.
- 1.5 Purpose:** The City of Grand Junction is soliciting competitive bids from qualified and interested Contractors for all labor, equipment, and materials required to complete this Project which generally consists of re-gel coating and painting the flume of the existing 36' high and 259 ft long waterslide.
- 1.6 The Owner:** The Owner is the City of Grand Junction, Colorado and is referred to throughout this Solicitation. The term Owner means the Owner or its authorized representative.
- 1.7 Compliance:** By submitting a bid, all Offerors agree to comply with all conditions, requirements, and instruction of this IFB as stated or implied herein. Should the Owner omit anything which is necessary to clear understanding of the requirements, or should it appear

that various instructions are in conflict, the Offeror(s) shall secure instructions from the Purchasing Agent prior to submittal deadline.

1.8 Procurement Process: The most current version of the City of Grand Junction [Purchasing Policy and Procedure Manual](#) is contacting.

1.9 Submission of Bids: Bids must be submitted electronically via BidNet® Direct Rocky Mountain E-Purchasing System: <https://www.bidnetdirect.com/colorado/city-of-grand-junction>

- The platform offers both free basic registration and paid subscription plans. Free registration may take up to 24 hours to activate, so early registration and submission are recommended.
- Please refer to the [BidNet Electronic Vendor Registration](#) page.
- The City does not control or administer the vendor access to the BidNet® Direct system. Bidders are solely responsible for ensuring a successful submission. Technical assistance must be requested directly from BidNet at **(800) 835-4603** before the proposal deadline.

Bids shall be formatted as directed in Section 4.0. Offeror's Bid Form and Price Bid Schedule, Submittals that fail to follow this format may be ruled nonresponsive. [The uploaded response shall be a single PDF document with all required information included.](#)

To participate in the virtual solicitation opening, please utilize the following information and meeting link:

Bid Opening Lincoln Park Waterslide Re-Gel Coating
Dec 1, 2025, 2:00 – 2:30 PM (America/Denver)

Please join my meeting from your computer, tablet or smartphone.

<https://meet.goto.com/455399365>

You can also dial in using your phone.

Access Code: 455-399-365

United States: [+1 \(646\) 749-3122](tel:+16467493122)

Join from a video-conferencing room or system.

Meeting ID: 455-399-365

Dial in or type: 67.217.95.2 or inroomlink.goto.com

Or dial directly: 455399365@67.217.95.2 or 67.217.95.2##455399365

Get the app now and be ready when your first meeting starts:

<https://meet.goto.com/install>

1.10 Modification and Withdrawal of Bids Before Opening Bids may be modified or withdrawn by an appropriate document stating such, duly executed and submitted to the place where Bids are to be submitted at any time prior to Bid Opening.

1.11 Form for Price Bid: All Price Bids must be made upon the Price Bid Schedule attached and should give the amounts both in words and in figures and must be signed and acknowledged by the Offeror.

The Offeror shall specify a unit price in figures for each pay item for which a quantity is given and shall provide the products (in numbers) of the respective unit prices and quantities in the Extended Amount column. The total Bid price shall be equal to the sum of all extended amount prices. When an item in the Price Bid Schedule provides a choice to be made by the Offeror, Offeror's choice shall be indicated in accordance with the specifications for that particular item and thereafter no further choice shall be permitted.

Where the unit of a pay item is lump sum, the lump sum amount shall be shown in the "extended amount" column and included in the summation of the total Bid. All blank spaces in the Price Bid Schedule must be properly filled out.

Bids by corporations must be executed in the corporate name by the president or vice president or other corporate office accompanied by evidence of authority to sign. The corporate address and state of incorporation shall be shown below the signature.

Bids by partnerships must be executed in the partnership name and signed by a partner whose title must appear under the signature and the official address of the partnership must be shown below the signature.

All names must be typed or printed below the signature.

The Offeror's Bid shall contain an acknowledgement of receipt of all Addenda, the numbers of which shall be filled in on the Contractor's Bid Form.

The contact information to which communications regarding the Bid are to be directed must be shown.

- 1.12 Exclusions:** No oral, telephone, email, or facsimile bid will be considered.
- 1.13 Contract Documents:** The complete IFB and Offeror's response compose the Contract Documents. Copies of bid documents can be obtained from the City Purchasing website, <https://co-grandjunction.civicplus.com/501/Purchasing-Bids> .
- 1.14 Additional Documents:** The July 2010 edition of the "City Standard Contract Documents for Capital Improvements Construction", Plans, Specifications and other Bid Documents are available for review or download on the Purchasing Bids page at <https://co-grandjunction.civicplus.com/501/Purchasing-Bids>.
- 1.15 Definitions and Terms:** See Article I, Section 3 of the General Contract Conditions in the *Standard Contract Documents for Capital Improvements Construction*.
- 1.16 Examination of Specifications:** Offerors shall thoroughly examine and be familiar with the project Statement of Work. The failure or omission of any Offeror to receive or examine any form, addendum, or other document shall in no way relieve any Offeror from any obligation with respect to its bid. The submission of a bid shall be taken as evidence of compliance with this section. Prior to submitting a bid, each Offeror shall, at a minimum:
- a. Examine the *Contract Documents* thoroughly.

- b. Visit the site to familiarize itself with local conditions that may in any manner affect cost, progress, or performance of the Work;
- c. Study and carefully correlate Offeror's observations with the *Contract Documents*, and;
- d. Notify the Purchasing Agent of all conflicts, errors, ambiguities, or discrepancies in or among the *Contract Documents* within the designated inquiry period.

On request, the Owner will provide each Offeror access to the site to conduct such investigations and tests as each Offeror deems necessary for submission of a Bid. It shall be the Offeror's responsibility to make or obtain any additional examinations, investigations, explorations, tests and studies and obtain any additional information and data which pertain to the physical conditions (including without limitation, surface, subsurface and underground utilities) at or contiguous to the site or otherwise which may affect cost, progress or performance of the Work and which the Offeror deems necessary to determine its Bid for performing the Work in accordance with the time, price and other terms and conditions of the *Contract Documents*. Location of any excavation or boring made by Offeror shall be subject to prior approval of Owner and applicable agencies. Offeror shall fill all holes, restore all pavements to match the existing structural section and shall clean up and restore the site to its former condition upon completion of such exploration. The Owner reserves the right to require the Offeror to execute an access agreement with the Owner prior to accessing the site.

The lands upon which the Work is to be performed, rights of way, and access thereto, and other lands designated for use by Contractor in performing the Work, are identified on the Drawings.

Information and data reflected in the *Contract Documents* with respect to underground utilities at or contiguous to the site are based upon information and data furnished to the Owner and the Engineer by the owners of such underground utilities or others, and the Owner does not assume responsibility for the accuracy or completeness thereof, unless it is expressly provided otherwise in the *Contract Documents*.

By submission of a Bid, the Offeror shall be conclusively presumed to represent that the Offeror has complied with every requirement of these Instructions to Offerors, that the *Contract Documents* are not ambiguous and are sufficient in scope and detail to indicate and convey understanding of all terms and conditions for performance of the Work.

1.17 Questions Regarding Statement of Work: Any information related to interpretation of Scope of Work or specifications shall be requested of the Purchasing Agent, in writing, in ample time, prior to the inquiry deadline.

1.18 Addenda & Interpretations: If it becomes necessary to revise any part of this solicitation, a written addendum will be posted electronically on the City's website at <https://co-grandjunction.civicplus.com/501/Purchasing-Bids>. The Owner is not bound by any oral representations, clarifications, or changes made in the written specifications by Owner, unless such clarification or change is provided in written addendum form from the City Purchasing Representative.

- 1.19 Taxes:** The Owner is exempt from State, County, and Municipal Sales Tax and Federal Excise Tax, therefore, all fees/bids should not include taxes.
- 1.20 Sales and Use Taxes:** The Contractor and all Subcontractors are required to obtain exemption certificates from the Colorado Department of Revenue for sales and use taxes in accordance with the provisions of the General Contract Conditions, Section XVI "Taxes". Bids shall reflect this method of accounting for sales and use taxes on materials, fixtures, and equipment.
- 1.21 Offers Binding 60 Days:** Unless additional time is required by the Owner, or otherwise specified, all formal offers submitted shall be binding for sixty (60) calendar days following opening date, unless the Offeror, upon request of the Purchasing Agent, agrees to an extension.
- 1.22 Exceptions and Substitutions:** All bids meeting the intent of this IFB shall be considered for award. An Offeror taking exception to the specifications does so at the Offeror's risk. The Owner reserves the right to accept or reject any or all substitutions or alternatives. When offering substitutions and/or alternatives, Offeror must state any exception(s) in the section to which the exception(s) pertain. Exception/substitution, if accepted, must meet or exceed the stated intent and/or specifications. The absence of stated exception(s) indicates that the Offeror has not taken exception, and if awarded a Contract shall hold the Offeror responsible to perform in strict accordance with the specifications or scope of the bid and Contract Documents.
- 1.23 Collusion Clause:** Each Offeror by submitting a bid certifies that it is not party to any collusive action or any action that may be in violation of the Sherman Antitrust Act. All bids shall be rejected if there is evidence or reason for believing that collusion exists among Offerors. The Owner may, or may not, accept future bids for the same Work or commodities from participants in such collusion.
- 1.24 Disqualification of Offerors:** A Bid will not be accepted from, nor shall a Contract be awarded to, any person, Contractor, or corporation that is in arrears to the Owner, upon debt or Contract, or that has defaulted, as surety or otherwise, upon any obligation to the Owner, or that is deemed irresponsible or unreliable.

Offerors may be required to submit satisfactory evidence that they are responsible, have a practical knowledge of the project bid upon and that has the necessary financial and other resources to complete the proposed Work.

Either of the following reasons, without limitation, shall be considered sufficient to disqualify an Offeror and Bid:

- a. More than one Bid is submitted for the same Work from an individual, Contractor, or corporation under the same or different name: and
- b. Evidence of collusion among Offerors. Any participant in such collusion shall not receive recognition as an Offeror for any future Work of the Owner until such participant has been reinstated as a qualified Offeror.

- 1.25 Public Disclosure Record:** If the Offeror has knowledge of its employee(s) or sub-contractors having an immediate family relationship with an Owner employee or elected official, the Offeror must provide the Purchasing Agent with the name(s) of the individuals. The individuals are required to file a "Public Disclosure Record", a statement of financial interest, before conducting business with the Owner.

Section 2.0. General Contract Terms and Conditions

- 2.1 The Contract:** This Invitation for Bid, submitted documents, and any negotiations, when properly accepted by the Owner, shall constitute an enforceable Agreement (Contract) equally binding between the Owner and Contractor. The Contract represents the entire and integrated agreement between the Owner and the Contractor and supersedes all prior negotiations, representations, or agreements, either written or oral including the bid documents. The Contract may be amended or modified with Change Orders, Field Orders, or Addendums.
- 2.2 The Work:** The term Work includes all labor necessary to produce the construction required by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction.
- 2.3 Execution, Correlation, Intent, and Interpretations:** The Contract Documents shall be executed by the Owner and Contractor. By executing the Contract, the Contractor represents that it has familiarized itself with the local conditions under which the Work is to be performed and correlated its observations with the requirements of the Contract Documents. The Contract Documents are complementary, and what is required by anyone, shall be as binding as if required by all. The intention of the Contract Documents is to include all labor, materials, equipment, services, and other items necessary for the proper execution and completion of the Scope of Work as defined in the technical specifications and drawings contained herein. All drawings, specifications and copies furnished by the Owner are, and shall remain, Owner property. It is not to be used on any other project.
- 2.4 The Owner:** The Owner is the City of Grand Junction, Colorado and is referred to throughout the Contract Documents. The term Owner means the Owner or its authorized representative. The Owner shall, at all times, have access to the Work wherever it is in preparation and progress. The Contractor shall provide facilities for such access. The Owner will make periodic visits to the site to familiarize itself generally with the progress and quality of Work and to determine, in general, if the Work is proceeding in accordance with the Contract Documents. Based on such observations and the Contractor's Application for Payment, the Owner will determine the amounts owing to the Contractor and will issue Certificates for Payment in such amounts as provided in the Contract. The Owner will have authority to reject Work which does not conform to the Contract Documents. Whenever, in its reasonable opinion, considers it necessary or advisable to ensure the proper implementation of the intent of the Contract Documents, it will have authority to require the Contractor to stop the Work or any portion, or to require special inspection or testing of the Work, whether or not such Work can be then be fabricated, installed, or completed. The Owner will not be responsible for the acts or omissions of the Contractor, and Sub-Contractor, or any of its agents or employees, or any other persons performing any of the Work.

- 2.5 Contractor:** The Contractor is the person or organization identified as such in the Agreement and is referred to throughout the Contract Documents. The term Contractor means the Contractor or its authorized representative. The Contractor shall carefully study and compare the General Contract Conditions of the Contract, Specification and Drawings, Scope of Work, Addenda and Modifications and shall at once report to the Owner any error, inconsistency, or omission it may discover. Contractor shall not be liable to the Owner for any damage resulting from such errors, inconsistencies, or omissions. The Contractor shall not commence Work without clarifying Drawings, Specifications, or Interpretations.
- 2.6 Sub-Contractors:** A Sub-Contractor is a person or organization who has a direct Contract with the Contractor to perform any of the Work at the site. The term Sub-Contractor is referred to throughout the Contract Documents and means a Sub-Contractor or its authorized representative.
- 2.7 Award of Sub-Contractors & Other Contracts for Portions of the Work:** Contractor shall submit with its bid response to the Owner, in writing for acceptance, a list of the names of the sub-contractors or other persons or organizations proposed for such portions of the Work as may be designated in the proposal requirements, or, if none is so designated, the names of the sub-contractors proposed for the principal portions of the Work. Prior to the award of the Contract, the Owner shall notify the successful Contractor in writing if, after due investigation, has reasonable objection to any person or organization on such list. If, prior to the award of the Contract, the Owner has a reasonable and substantial objection to any person or organization on such list and refuses in writing to accept such person or organization, the successful Contractor may, prior to the award, withdraw its proposal without forfeiture of proposal security. If the successful Contractor submits an acceptable substitute with an increase in the proposed price to cover the difference in cost occasioned by the substitution, the Owner may, at its discretion, accept the increased proposal or may disqualify the Contractor. If, after the award, the Owner refuses to accept any person or organization on such list, the Contractor shall submit an acceptable substitute and the Contract sum shall be increased or decreased by the difference in cost occasioned by such substitution and an appropriate Change Order shall be issued. However, no increase in the Contract sum shall be allowed for any such substitution unless the Contractor has acted promptly and responsively in submitting a name with respect thereto prior to the award.
- 2.8 Quantities of Work and Unit Price:** Materials or quantities stated as unit price items in the Bid are supplied only to give an indication of the general scope of the Work, and are, as such, estimates only. The Owner does not expressly or by implication agree that the actual amount of Work or material will correspond therewith and reserves the right after award to increase or decrease the quantity of any unit item of the Work without a change in the unit price except as set forth in Article VIII, Section 70 of the *General Contract Conditions*. The City also reserves the right to make changes in the Work (including the right to delete any bid item in its entirety or add additional bid items) as set forth in Article VIII, Sections 69 through 71 of the *General Contract Conditions*.
- 2.9 Substitutions:** The materials, products and equipment described in the *Solicitation Documents* shall be regarded as establishing a standard of required performance, function, dimension, appearance, or quality to be met by any proposed substitution. No substitution will be considered prior to receipt of Bids unless the Offeror submits a written request for approval to the Purchasing Agent at least ten (10) days prior to the date for receipt of Bids.

Such requests for approval shall include the name of the material or equipment for which substitution is sought and a complete description of the proposed substitution including drawings, performance and test data, and other information necessary for evaluation, including samples if requested. The Offeror shall set forth changes in other materials, equipment, or other portions of the Work including changes of the Work of other Contracts, which incorporation of the proposed substitution would require to be included. The Owner's decision of approval or disapproval of a proposed substitution shall be final. If the Owner approves a proposed substitution before receipt of Bids, such approval will be set forth in an Addendum. Offerors shall not rely upon approvals made in any other manner.

- 2.10. Supervision and Construction Procedures:** The Contractor shall supervise and direct the Work, using its best skill and attention. It shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the Work under the Contract.
- 2.11. Warranty:** The Contractor warrants to the Owner that all materials and equipment furnished under this Contract will be new unless otherwise specified, and that all Work will be of good quality, free from faults and defects and in conformance with the Contract Documents. All Work not conforming to these standards may be considered defective. If required by Owner, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment. If within ten (10) days after written notice to the Contractor requesting such repairs or replacement, the Contractor should neglect to make or undertake with due diligence to the same, the City may make such repairs or replacements. All indirect and direct costs of such correction or removal or replacement shall be at the Contractor's expense. The Contractor will also bear the expenses of making good all Work of others destroyed or damaged by the correction, removal, or replacement of its defective Work.
- 2.12. Permits, Fees, & Notices:** The Contractor shall secure and pay for all permits, governmental fees, and licenses necessary for the proper execution and completion of the Work. The Contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and orders of any public authority, including the City, bearing on the performance of the Work. If the Contractor observes that any of the Contract Documents are at variance in any respect, it shall promptly notify the Purchasing Agent in writing, and any necessary changes shall be adjusted. If the Contractor performs any Work knowing it to be contrary to such laws, ordinances, rules, and regulations, and without such notice to the Owner, it shall assume full responsibility and shall bear all costs attributable to the non-conforming Work.
- 2.13. Responsibility for Those Performing the Work:** The Contractor shall be responsible to the Owner for the acts and omissions of all its employees and all sub-contractors, its agents and employees, and all other persons performing any of the Work under a Contract with the Contractor.
- 2.14. Use of the Site:** The Contractor shall confine operations at the site to areas permitted by law, ordinances, permits and the Contract Documents, and shall not unreasonably encumber the site with any materials or equipment.
- 2.15. Cleanup:** The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by its operations. At the completion of Work, it shall

remove all its waste materials and rubbish from and about the project, as well as all its tools, construction equipment, machinery, and surplus materials.

2.16. Insurance Requirements: The selected Contractor agrees to procure and maintain, at its own cost, policy(s) of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Contractor pursuant to the Contract. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to the Contract by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types. Contractor shall procure and maintain and, if applicable, shall cause any Sub-contractor of the Contractor to procure and maintain insurance coverage listed below. Such coverage shall be procured and maintained with forms and insurers acceptable to Owner. All coverage shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Contractor pursuant to the Contract. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage. Minimum coverage limits shall be as indicated below unless specified otherwise in the Special Conditions:

(a) Worker Compensation: Contractor shall comply with all State of Colorado Regulations concerning Workers' Compensation insurance coverage.

(b) General Liability insurance with minimum limits of:

FIVE HUNDRED THOUSAND DOLLARS (\$500,000) each occurrence and
FIVE HUNDRED THOUSAND DOLLARS (\$500,000) per job aggregate.

The policy shall be applicable to all premises, products, and completed operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground (XCU) hazards. The policy shall contain a severability of interests' provision.

(c) Comprehensive Automobile Liability insurance with minimum limits for bodily injury and property damage of not less than:

FIVE HUNDRED THOUSAND DOLLARS (\$500,000) each occurrence and
FIVE HUNDRED THOUSAND DOLLARS (\$500,000) aggregate

(d) Professional Liability & Errors and Omissions Insurance policy with a minimum of:

FIVE HUNDRED THOUSAND DOLLARS (\$500,000) per claim

With respect to each of Contractors owned, hired, or non-owned vehicles assigned to be used in performance of the Work. The policy shall contain a severability of interest provision.

2.16.1 Additional Insured Endorsement: The policies required by paragraphs (b), and (c) above shall be endorsed to include Grand Junction, its Elected and Appointed Officials,

Employees and Volunteers as Additional Insured. Every required policy above shall be primary insurance, and any insurance carried by the Owner, its officers, or its employees, or carried by or provided through any insurance pool of the Owner, shall be excess and not contributory insurance to that provided by the Contractor. The Contractor shall be solely responsible for any deductible losses under any policy required above.

- 2.17. Indemnification:** The Contractor shall defend, indemnify and save harmless the Owner, and all its officers, employees, insurers, and self-insurance pool, from and against all liability, suits, actions, or other claims of any character, name and description brought for or on account of any injuries or damages received or sustained by any person, persons, or property on account of any negligent act or fault of the Contractor, or of any Contractor's agent, employee, Sub-Contractor or supplier in the execution of, or performance under, any Contract which may result from proposal award. Contractor shall pay any judgment with cost which may be obtained by and/or against the Owner growing out of or under the performance.
- 2.18. Miscellaneous Conditions: Material Availability:** Contractors must accept responsibility for verification of material availability, production schedules, and other pertinent data prior to submission of bid. It is the responsibility of the Offeror to notify the Owner immediately if materials specified are discontinued, replaced, or not available for an extended period of time.
- 2.19. Time:** Time is of the essence with respect to the time of completion of the Project and any other milestones or deadline which are part of the Contract. It will be necessary for each Offeror to satisfy the City of its ability to complete the Work within the Contract time set forth in the Contract Documents. The Contract time is the period of time allotted in the Contract Documents for completion of the Work. The date of commencement of the Work is the date established in a Notice to Proceed. If there is no Notice to Proceed, it shall be the date of the Contract, or such other date as may be established therein, or as established as entered on the Bid Form. The Date of Final Completion of the Work is the date certified by the Owner when all construction, and all other Work associated to include, but not be limited to: testing, QA/QC, receipt of required reports and/or forms, grant requirements (if applicable), punch list items, clean-up, receipt of drawings and/or as-builts, etc., is fully complete, and in accordance with the Contract Documents.
- 2.20. Progress & Completion:** The Contractor shall begin the Work on the Commencement Date as noted on the Notice to Proceed and perform the Work expeditiously with adequate forces to complete the Work within the Contract time/by the Completion date.
- 2.21. Payment & Completion:** The Contract Sum is stated in the Contract and is the total amount payable by the Owner to the Contractor for the performance of the Work under the Contract Documents. Upon receipt of written notice that the Work is ready for final inspection and acceptance and upon receipt of application for payment, the Owner's Project Manager will promptly make such inspection and, when it finds the Work acceptable under the Contract Documents and the Contract fully performed, the Owner shall make payment in the manner provided in the Contract Documents.
- 2.22. Bid Bond:** Each Bid shall as a guaranty of good faith on the part of the Offeror be accompanied by a Bid Guaranty consisting of a certified or cashier's check drawn on an approved national bank or trust company in the state of Colorado and made payable

without condition to the City; or a **Bid Bond** written by an approved corporate surety in favor of the City. The amount of the Bid Guaranty shall not be less than 5% of the total Bid amount. Once a Bid is accepted and a Contract is awarded, the apparent successful Offeror has ten calendar days to enter into a Contractor in the form prescribed and to furnish the bonds with a legally responsible and approved surety. Failure to do so will result in forfeiture of the Bid Guaranty to the City as Liquidated Damages.

Each Offeror shall guarantee its total bid price for a period of sixty (60) Calendar Days from the date of the bid opening.

- 2.23. Performance & Payment Bonds:** Contractor shall furnish a Performance and a Payment Bond, each in an amount at least equal to that specified for the Contract amount as security for the faithful performance and payment of all Contractor's obligations under the Contract Documents. The bonds shall remain in effect for the duration of the Warranty Period (as specified in the Special Conditions). Contractor shall also furnish other bonds as required by the Special Conditions. All bonds shall be in the forms prescribed by the Contract Documents and be executed by such sureties as (1) are licensed to conduct business in the State of Colorado and (2) are named in the current list of "Companies Holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies" as published in Circular 570 (amended) by the Audit Staff, Bureau of Accounts, U.S. Treasury Department. All bonds signed by an agent must be accompanied by a certified copy of the Authority Act. If the surety on any bond furnished by the Contractor is declared bankrupt, or becomes insolvent, or its rights to do business in Colorado are terminated, or it ceases to meet the requirements of clauses (1) and (2) of this section, Contractor shall within five (5) days thereafter substitute another bond and surety, both of which shall be acceptable to the City.
- 2.24. Retention:** The Owner will deduct money from the partial payments in amounts considered necessary to protect the interest of the Owner and will retain this money until after completion of the entire Contract. The amount to be retained from partial payments will be five (5) percent of the value of the completed Work, and not greater than five (5) percent of the amount of the Contract. When the retainage has reached five (5) percent of the amount of the Contract no further retainage will be made and this amount will be retained until such time as final payment is made.
- 2.25. Liquidated Damages for Failure to Enter Into Contract:** Should the Successful Offeror fail or refuse to enter into the Contract within ten Calendar Days from the issuance of the Notice of Award, the City shall be entitled to collect the amount of such Offeror's Bid Guaranty as Liquidated Damages, not as a penalty but in consideration of the mutual release by the City and the Successful Offeror of all claims arising from the City's issuance of the Notice of Award and the Successful Offeror's failure to enter into the Contract and the costs to award the Contract to any other Offeror, to readvertise, or otherwise dispose of the Work as the City may determine best serves its interest.
- 2.26. Liquidated Damages for Failure to Meet Project Completion Schedule:** If the Contractor does not achieve Final Completion by the required date, whether by neglect, refusal or any other reason, the parties agree and stipulate that the Contractor shall pay liquidated damages to the City for each such day that final completion is late. As provided elsewhere, this provision does not apply for delays caused by the City. The date for Final Completion may be extended in writing by the Owner.

The Contractor agrees that as a part of the consideration for the City's awarding of this Contract liquidated damages in the daily amount of **\$500.00** is reasonable and necessary to pay for the actual damages resulting from such delay. The parties agree that the real costs and injury to the City for such delay include hard to quantify items such as: additional engineering, inspection and oversight by the City and its agents; additional Contract administration; inability to apply the efforts of those employees to the other Work of the City; perceived inefficiency of the City; citizens having to deal with the construction and the Work, rather than having the benefit of a completed Work, on time; inconvenience to the public; loss of reputation and community standing for the City during times when such things are very important and very difficult to maintain.

The Contractor must complete the Work and achieve final completion included under the Bid Schedule in the number of consecutive calendar days after the City gives is written Notice to Proceed. When the Contractor considers the entire Work ready for its intended use, Contractor shall certify in writing that the Work is fully complete. Final Completion date is the date by which the Contractor shall have fully completed all clean-up, and all items that were identified by the City in the inspection for final completion. Unless otherwise stated in the Special Conditions, for purposes of this liquidated damages clause, the Work shall not be finished, and the Contract time shall continue to accrue until the City gives its written Final Acceptance.

If the Contractor shall fail to pay said liquidated damages promptly upon demand thereof after having failed to achieve Final Completion on time, the City shall first look to any retainage or other funds from which to pay said liquidated damages; if retainage or other liquid funds are not available to pay said liquidated damages amounts, the Surety on the Contractor's Performance Bond and Payment Bond shall pay such liquidated damages. In addition, the City may withhold all, or any part of, such liquidated damages from any payment otherwise due the Contractor.

Liquidated damages as provided do not include any sums to reimburse the City for extra costs which the City may become obligated to pay on other Contracts which were delayed or extended because of the Contractor's failure to complete the Work within the Contract Time. Should the City incur additional costs because of delays or extensions to other Contracts resulting from the Contractor's failure of timely performance, the Contractor agrees to pay these costs that the City incurs because of the Contractor's delay, and these payments are separate from and in addition to any liquidated damages.

The Contractor agrees that the City may use its own forces or hire other parties to obtain Final Completion of the Work if the time of completion has elapsed and the Contractor is not diligently pursuing completion. In addition to the Liquidated Damages provided for, the Contractor agrees to reimburse the City for all expenses thus incurred.

2.27. Contingency/Force Account/Minor Contract Revisions: Contingency/Force Account/Minor Contract Revisions Work will be authorized by the Owner's Project Manager and is defined as minor expenses to cover miscellaneous or unforeseen expenses related to the project. The expenses are not included in the Drawings, Specifications, or Scope of Work and are necessary to accomplish the scope of this Contract. Contingency/Force Account/Minor Contract Revisions Authorization will be directed by the Owner through an approved form. Contingency/Force Account/Minor Contract Revisions funds are the property of the Owner and any Contingency/Force

Account/Minor Contract Revisions funds, not required for project completion, shall remain the property of the Owner. Contractor is not entitled to any Contingency/Force Account/Minor Contract Revisions funds, that are not authorized by Owner or Owner's Project Manager.

- 2.28. Protection of Persons & Property:** The Contractor shall comply with all applicable laws, ordinances, rules, regulations, and orders of any public authority having jurisdiction for the safety of persons or property or to protect it from damage, injury, or loss. Contractor shall erect and maintain, as required by existing safeguards for safety and protection, and all reasonable precautions, including posting danger signs or other warnings against hazards promulgating safety regulations and notifying owners and users of adjacent utilities. When or where any direct or indirect damage or injury is done to public or private property by or on account of any act, omission, neglect, or misconduct by the Contractor in the execution of the Work, or in consequence of the non-execution thereof by the Contractor, it shall restore, at its own expense, such property to a condition similar or equal to that existing before such damage or injury was done, by repairing, rebuilding, or otherwise restoring as may be directed, or it shall make good such damage or injury in an acceptable manner.
- 2.29. Changes in the Work:** The Owner, without invalidating the Contract, may order changes in the Work within the general scope of the Contract consisting of additions, deletions or other revisions, the Contract sum and the Contract time being adjusted accordingly. All such changes in the Work shall be authorized by Change Order and shall be executed under the applicable conditions of the contract documents. A Change Order is a written order to the Contractor signed by the Owner issued after the execution of the Contract, authorizing a change in the Work or an adjustment in the contract sum or the Contract time. The Contract sum and the Contract time may be changed only by Change Order.
- 2.30. Claims for Additional Cost or Time:** If the Contractor wishes to make a claim for an increase in the Contract sum or an extension in the Contract time, it shall give the Owner written notice thereof within a reasonable time after the occurrence of the event giving rise to such claim. This notice shall be given by the Contractor before proceeding to execute the Work, except in an emergency endangering life or property in which case the Contractor shall precede in accordance with the regulations on safety. No such claim shall be valid unless so made. Any change in the Contract sum or Contract time resulting from such claim shall be authorized by Change Order.
- 2.31. Minor Changes in the Work:** The Owner shall have authority to order minor changes in the Work not involving an adjustment to the Contract sum or an extension of the Contract time and not inconsistent with the intent of the Contract Documents.
- 2.32. Field Orders:** The Owner may issue written Field Orders which interpret the Contract Documents in accordance with the specifications, or which order minor changes in the Work in accordance with the agreement, without change in the Contract sum or time. The Contractor shall carry out such Field Orders promptly.
- 2.33. Uncovering & Correction of Work:** The Contractor shall promptly correct all Work rejected by the Owner as defective or as failing to conform to the Contract Documents whether observed before or after substantial completion and whether or not fabricated installed or competed. The Contractor shall bear all costs of correcting such rejected

Work, including the cost of the Owner's additional services thereby made necessary. If within one (1) year after the date of completion or within such longer period of time as may be prescribed by law or by the terms of any applicable special guarantee required by the Contract Documents, any of the Work found to be defective or not in accordance with the Contract documents, the Contractor shall correct it promptly after receipt of a written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition. The Owner shall give such notice promptly after discovery of condition. All such defective or non-conforming Work under the above paragraphs shall be removed from the site where necessary and the Work shall be corrected to comply with the Contract Documents without cost to the Owner. The Contractor shall bear the cost of making good all Work of separate Contractors destroyed or damaged by such removal or correction. If the Owner prefers to accept defective or non-conforming Work, it may do so instead of requiring its removal and correction, in which case a Change Order will be issued to reflect an appropriate reduction in the payment or Contract sum, or, if the amount is determined after final payment, it shall be paid by the Contractor.

- 2.34 Amendment:** No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting Contract. All amendments to the Contract shall be made in writing by the Owner.
- 2.35 Assignment:** The Contractor shall not sell, assign, transfer or convey any Contract resulting from this IFB, in whole or in part, without the prior written approval from the Owner.
- 2.36 Compliance with Laws:** Offers must comply with all Federal, State, County, and local laws governing the Work and the fulfillment of the Work for and on behalf of the public. Contractor hereby warrants that it is qualified to assume the responsibilities and render the Work described herein and has all requisite corporate authority and professional licenses in good standing required by law.
- 2.37 Confidentiality:** All information disclosed by the Owner to the Contractor for the purpose of the Work to be done or information that comes to the attention of the Contractor during the course of performing such Work is to be kept strictly confidential.
- 2.38 Conflict of Interest:** No public official and/or City employee shall have interest in any Contract resulting from this Invitation for Bid. Any potential or actual conflicts of interest shall be promptly disclosed and managed in accordance with applicable federal, state, and local laws as well as the City's policies.
- 2.39 Contract Termination:** This Contract shall remain in effect until any of the following occurs: (1) Contract expires; (2) completion of Work; (3) final acceptance of Work or, (4) for convenience terminated by either party with a written *Notice of Cancellation* stating therein the reasons for such cancellation and the effective date of cancellation at least thirty (30) days past notification.
- 2.40 Employment Discrimination:** During the performance of any Work per agreement with the Owner, the Contractor, by submitting a Bid, agrees to the following conditions:

- 2.40.1** The Contractor shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, age, handicap, or national origin except when such condition is a legitimate occupational qualification reasonably necessary for the normal operations of the Contractor. The Contractor agrees to post in conspicuous places, visible to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.
- 2.40.2** The Contractor, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, shall state that such Contractor is an Equal Opportunity Employer.
- 2.40.3** Notices, advertisements, and solicitations placed in accordance with federal law, rule, or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.
- 2.41 Affirmative Action:** In executing a Contract with the City, the Contractor agrees to comply with Affirmative Action and Equal Employment Opportunity regulations presented in the General Contract Conditions Section 9 "Affirmative Action/EEO.
- 2.42. Immigration Reform and Control Act of 1986 and Immigration Compliance:** The Contractor certifies that it does not and will not during the performance of the Contract employ workers without authorization or otherwise violate the provisions of the Federal Immigration Reform and Control Act of 1986 and/or laws regulating immigration compliance.
- 2.43. Ethics:** The Contractor shall not accept or offer gifts or anything of value nor enter into any business arrangement with any employee, official, or agent of the Owner.
- 2.44. Failure to Deliver:** In the event of failure of the Contractor to perform in accordance with the Contract Documents, the Owner, after due oral or written notice, may procure the Work from other sources and hold the Contractor responsible for any costs resulting in additional Work, materials and/or administration services necessary to perform the Work. This remedy shall be in addition to any other remedies that the Owner may have.
- 2.45. Failure to Enforce:** Failure by the Owner at any time to enforce the provisions of the Contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the Contract or any part thereof or the right of the Owner to enforce any provision of the Contract Documents at any time in accordance with the terms thereof.
- 2.46. Force Majeure:** The Contractor shall not be held responsible for failure to perform the duties and responsibilities imposed by the Contract due to legal strikes, fires, riots, rebellions, and acts of God beyond the control of the Contractor, unless otherwise specified in the Contract.
- 2.47. Independent Contractor:** The Contractor shall be legally considered an Independent Contractor and neither the Contractor nor its employees shall, under any circumstances, be considered servants or agents of the Owner. The Owner shall be at no time legally responsible for any negligence or other wrongdoing by the Contractor, its servants, or

agents. The Owner shall not withhold from the Contract payments to the Contractor any federal or state unemployment taxes, federal or state income taxes, Social Security, or any other amounts for benefits to the Contractor. Further, the Owner shall not provide to the Contractor any insurance coverage or other benefits, including Workers' Compensation, normally provided by the Owner for its employees.

2.48. Nonconforming Terms and Conditions: A bid that includes terms and conditions that do not conform to the terms and conditions of this Invitation for Bid is subject to rejection as non-responsive. The Owner reserves the right to permit the Contractor to withdraw nonconforming terms and conditions from its bid prior to a determination by the Owner of non-responsiveness based on the submission of nonconforming terms and conditions. Items for non-responsiveness may include, but not be limited to:

- a. Submission of the Bid on forms other than those supplied by the City;
- b. Alteration, interlineation, erasure, or partial detachment of any part of the forms which are supplied herein;
- c. Inclusion of unauthorized additions conditional or alternate Bids or irregularities of any kind which may tend to make the Bid incomplete, indefinite, or ambiguous as to its meaning;
- d. Failure to acknowledge receipt of any or all issued Addenda;
- e. Failure to provide a unit price or a lump sum price, as appropriate, for each pay item listed except in the case of authorized alternative pay items;
- f. Failure to list the names of Subcontractors used in the Bid preparation as may be required in the Solicitation Documents;
- g. Submission of a Bid that, in the opinion of the Owner, is unbalanced so that each item does not reasonably carry its own proportion of cost or which contains inadequate or unreasonable prices for any item;
- h. Tying of the Bid with any other bid or Contract; and
- i. Failure to calculate Bid prices as described herein.

2.49. Evaluation of Bids and Offerors: The Owner reserves the right to:

- reject any and all Bids,
- waive any and all informalities,
- take into account any prompt payment discounts offered by Offeror,
- negotiate final terms with the Successful Offeror,
- take into consideration past performance of previous awards/Contracts with the Owner of any Contractor, Vendor, Contractor, Supplier, or Service Provider in determining final award. and
- disregard any and all nonconforming, nonresponsive, or conditional Bids.

Discrepancies between words and figures will be resolved in favor of words. Discrepancies between Unit Prices and Extended Prices will be resolved in favor of the Unit Prices. Discrepancies between the indicated sum of any column of figures and the correct sum thereof will be resolved in favor of the correct sum. The corrected extensions and totals will be shown in the tabulation of Bids.

The Owner may consider the qualifications and experience of Subcontractors and other persons and organizations (including those who are to furnish the principal items of material or equipment) proposed for those portions of the Work as to which the identity of Subcontractors and other persons and organizations must be submitted. Operating costs, maintenance considerations, performance data, and guarantees of materials and equipment may also be considered by the Owner.

The Owner will conduct such investigations as deemed necessary to assist in the evaluation of any Bid and to establish the responsibility, qualifications, and financial ability of the Offeror, proposed Subcontractors and other persons and organizations to do the Work in accordance with the *Contract Documents* to the City's satisfaction within the Contract Time.

The Offeror shall furnish the Owner all information and data requested by the Owner to determine the ability of the Offeror to perform the Work. The Owner reserves the right to reject the Bid if the evidence submitted by, or investigation of such Offeror fails to satisfy the Owner that such Offeror is properly qualified to carry out the obligations of the Contract and to complete the Work contemplated therein.

By submitting a Bid, each Offeror authorizes the Owner to perform such investigation of the Offeror as the Owner deems necessary to establish the responsibility, qualifications, and financial ability of the Offeror and, by its signature thereon, authorizes the Owner to obtain reference information concerning the Offeror and releases the party providing such information and the Owner from any and all liability to the Offeror as a result of such reference information so provided.

The Owner reserves the right to reject the Bid of any Offeror who does not pass any evaluation to the Owner's satisfaction.

If the Contract is to be awarded, it will be awarded to the Offeror who, by evaluation, the Owner determines will best meet the Owner's interests.

The Owner reserves the right to accept or reject the Work contained in any of the Price Bid Schedules or alternates, either in whole or in part.

- 2.50. Award of Contract:** Unless otherwise indicated, a single award will be made for all the bid items in an individual bid schedule. In the event that the Work is contained in more than one Bid Schedule, the City may award Schedules individually or in combination. In the case of two Bid Schedules which are alternative to each other, only one of such alternative Schedules will be awarded. Within forty-five (45) Calendar Days of Bid Opening, the City will issue a Notice of Award to the Successful Offeror which will be accompanied by a Contract electronically submitted via DocuSign for digital signature. Within ten (10) Calendar Days thereafter, the Successful Offeror shall sign and deliver the digitally executed Contract via DocuSign. Performance Bond, Payment Bond, and Certificate of Insurance shall be submitted to the City within ten (10) days of Contract execution. No Contract shall exist between the Successful Offeror and the City and the

Successful Offeror shall have no rights at law or in equity until the Contract has been duly executed by the City.

The Successful Offeror's failure to sign and submit a Contract and other documents set forth in this Paragraph within the prescribed time shall be just cause of annulment of the award, and forfeiture of the Bid Guaranty. The Contract award may then be made to the next qualified Offeror in the same manner as previously prescribed.

- 2.51. Ownership:** All plans, prints, designs, concepts, etc., shall become the property of the Owner.
- 2.52. Oral Statements:** No oral statement of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this document and/or resulting agreement. All modifications to this request and any agreement must be made in writing by the Owner.
- 2.53. Patents/Copyrights:** The Contractor agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to the Contractor for any claims, damages, awards and/or costs of defense arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this Invitation For Bid.
- 2.54. Remedies:** The Contractor and Owner agree that both parties have all rights, duties, and remedies available as stated in the Uniform Commercial Code.
- 2.55. Governing Law:** Any agreement as a result of responding to this Invitation For Bid shall be deemed to have been made in, and shall be construed and interpreted in accordance with, the laws of the City of Grand Junction, Mesa County, Colorado.
- 2.56. Expenses:** Expenses incurred in preparation, submission, and presentation of response to this Invitation For Bid are the responsibility of the Offeror and cannot be charged to the Owner.
- 2.57. Sovereign Immunity:** The Owner specifically reserves its right to sovereign immunity pursuant to Colorado law as a defense to any action arising out of this Contract.
- 2.58. Public Funds/Non-Appropriation of Funds:** Funds for payment have been provided through the Owner's budget approved by the City Council/Board of County Commissioners for the stated fiscal year only. State of Colorado prohibits the obligation and expenditure of public funds beyond the fiscal year for which a budget has been approved. Therefore, anticipated orders or other obligations that may arise past the end of the stated Owner's fiscal year shall be subject to budget approval. The Contract, if any, will be subject to and must contain a non-appropriation of funds clause/limitation on multi-year fiscal obligations as required by Art X, Section 20 of the Colorado Constitution, and other applicable law(s).
- 2.59. Cooperative Purchasing:** Purchases as a result of this solicitation are primarily for the City/County. Other governmental entities may be extended the opportunity to utilize the resultant Contract award with the agreement of the successful provider and the participating agencies. All participating entities will be required to abide by the specifications, terms, conditions, and pricings established in this Bid. The quantities

furnished in this bid document are for only the City/County. It does not include quantities for any other jurisdiction. The City or County will be responsible only for the award for its jurisdiction. Other participating entities will place its own awards on its respective Purchase Orders through its purchasing office or use its purchasing card for purchase/payment as authorized or agreed upon between the provider and the individual entity. The Owner accepts no liability for payment of orders placed by other participating jurisdictions that choose to "piggy-back" on Owner's solicitation. Orders placed by participating jurisdictions under the terms of this solicitation will indicate its specific delivery and invoicing instructions.

2.60. Keep Jobs in Colorado Act: Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, Colorado Revised Statutes (C.R.S.) requiring 80% Colorado labor to be employed on public works. Contractor shall, upon reasonable notice provided by the Owner, permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17-101(2)(a). If Contractor claims it is entitled to a waiver pursuant to C.R.S. §8-17-101(1), Contractor shall state that there is insufficient Colorado labor to perform the Work such that compliance with Article 17 would create an undue burden that would substantially prevent a project from proceeding to completion and shall include evidence demonstrating the insufficiency and undue burden in its response.

Unless expressly granted a waiver by the Owner pursuant to C.R.S. §8-17-101(1), Contractor shall be responsible for ensuring compliance with Article 17 of Title 8, C.R.S. requiring 80% Colorado labor to be employed on public works. Contractor shall, upon reasonable notice provided by the Owner, permit the Owner to inspect documentation of identification and residency required by C.R.S. §8-17-101(2)(a).

2.60.1. "Public project" is defined as:

- (a) any construction, alteration, repair, demolition, or improvement of any land, building, structure, facility, road, highway, bridge, or other public improvement suitable for and intended for use in the promotion of the public health, welfare, or safety and any maintenance programs for the upkeep of such projects.
- (b) for which appropriate or expenditure of moneys may be reasonably expected to be \$500,000.00 or more in the aggregate for any fiscal year
- (c) except any project that receives federal moneys.

Section 3.0. Statement of Work

3.1 GENERAL: The City of Grand Junction is soliciting competitive bids from qualified and interested Contractors for all labor, equipment, and materials required to complete this Project which generally consists of re-gel coating and painting the flume of the existing 36' high and 259 ft long waterslide.

3.2. SPECIAL CONDITIONS & PROVISIONS:

3.2.1 Pre-Bid Meeting: A Pre-Bid Meeting will not be held for this project.

3.2.2 QUESTIONS REGARDING SOLICITATION PROCESS/SCOPE OF WORK:

Dolly Daniels; Senior Buyer
City of Grand Junction
dollyd@gjcity.org

3.2.3 Project Manager: The Project Manager for the Project is Larry Manchester, Recreation Supervisor, who can be reached by email at larrym@gjcity.org or (970) 254-3844. During Construction, all notices, letters, submittals, and other communications directed to the City shall be addressed and mailed or delivered to:

City of Grand Junction
Parks and Recreation
Attn: Larry Manchester, Project Manager
1340 Gunnison Ave
Grand Junction, CO 81501

3.2.4 Contract Administrator: The Contract Administrator for the Project is Duane Hoff Jr., Contract Administrator, who can be reached at (970)244-1545. During Construction, Contract related inquiries, issues, and other communications shall be directed to:

Duane Hoff Jr., Contract Administrator
duaneh@gjcity.org

3.2.5 Affirmative Action: The Contractor is not required to submit a written Affirmative Action Program for the Project.

3.2.6 Pricing: Pricing shall be all inclusive to include but not be limited to: all labor, equipment, supplies, materials, freight (F.O.B. Destination – Freight Pre-paid and Allowed to each site), travel, mobilization costs, fuel, set-up and take down costs, and full-time inspection costs, and all other costs related to the successful completion of the project.

The Owner shall not pay nor be liable for any other additional costs including but not limited to taxes, shipping charges, insurance, interest, penalties, termination payments, attorney fees, liquidated damages, etc.

3.2.7 Freight/Shipping: All freight/shipping shall be F.O.B. Destination – Freight Pre-Paid and Allowed to the project site(s), Grand Junction, CO. Contractor must meet all federal, state, and local rules, regulations, and requirements for providing such services.

3.2.8 Contract: A binding Contract shall consist of: (1) the IFB and any amendments thereto, (2) Additional Documents as stated in Section 1.10, (3) the Offeror's response (bid) to the IFB, (4) clarification of the bid, if any, and (5) the City's Purchasing Department's acceptance of the bid by "Notice of Award" or by "Purchase Order". All Exhibits and Attachments included In the IFB shall be incorporated into the Contract by reference.

A. The Contract expresses the complete agreement of the parties and, performance shall be governed solely by the specifications and requirements contained therein.

B. Any change to the Contract, whether by modification and/or supplementation, must be accomplished by a formal Contract amendment signed and approved by and between the duly authorized representative of the Offeror and the City Purchasing Division or by a modified Purchase Order prior to the effective date of such modification. The Offeror expressly and explicitly understands and agrees that no other method and/or no other document, including acts and oral communications by or from any person, shall be used or construed as an

amendment or modification to the Contract.

3.2.9 Time of Completion: This Project is to be completed by May 1, 2026.

Completion is achieved when site cleanup and all punch list items (resulting from the final inspection) have been completed. Completion shall have the meaning set forth in Article I, Section 3 (Definitions and Terms) of the General Contract Conditions.

3.2.10 Working Days and Hours: The working days and hours shall be as stated in the General Contract Conditions or as mutually agreed upon in the preconstruction meeting with the following exception:

All Work shall be performed between the hours of 7:00 AM to 5:00 PM, Monday through Friday.

3.2.11 Licenses and Permits: If required, Contractor is responsible for obtaining all necessary licenses and permits required for Construction, at Contractors expense. See Section 2.12. Contractor shall supply to Owner all copies of finalized permits.

3.2.12 Permits: The following permits are required for the Project and will be obtained by the City at no cost to the Contractor: None

3.2.13 City Furnished Materials: The City will furnish the following materials for the Project: None

3.2.14 Authorized Representatives of the City: Those authorized to represent the City shall include Purchasing Agent, Engineers, and Inspectors employed by the City, only.

3.2.15 Stockpiling Materials and Equipment: All stockpiling/storage shall be in accordance with General Contract Condition Section 51.

3.2.16 Clean-Up: The Contractor is responsible for cleaning up all loose materials that have been deposited or swept into gutters, and onto sidewalks and walkways. The costs for all clean-up work shall be considered incidental and will not be paid for separately.

3.2.17 Schedule of Submittals: Contractor shall deliver these submittals at least two days prior to work:

- Relevant Material Safety Data Sheets

3.2.18 Incidental Items: Any item of Work not specifically identified or paid for directly, but which is necessary for the satisfactory completion of any paid items of Work, will be considered as incidental to those items and will be included in the cost of items.

3.2.19 Work to be Performed by the City (Prior to Construction): N/A

3.3. SCOPE OF WORK:

Gel Coat interior:

- Repair all common fiberglass repairs in ride path
- All repairs will be done with vinyl-ester resin
- Prepare interior ride path for Gel Coat

- Add textured surface to start tub
- Refinish interior ride path of slide with Gel Coat
- Gel Coat will be applied to a thickness of 20-24 mils
- Premium Gel Coat will be used
- Re-caulk all seams
- Seal seams with premium caulk

Paint Exterior of slide

- Wash exterior of slide
- Prime-coat bare areas as needed
- Paint exterior with one coat of Poly – Siloxane Paint

3.4 Attachments:

A: Waterslide Specifications

B: Photos

3.5 Contractor Bid Documents: For Contractor’s convenience, the following is a list of forms/items to be submitted with the Contractor’s bid response. However, should a form/item not be listed in this section, but required in the solicitation documents, it is the Contractor’s responsibility to ensure all forms/items are submitted.

- Contractor’s Bid Form
- Price Bid Schedule

3.7 IFB TENTATIVE TIME SCHEDULE:

Invitation For Bids available on	November 10, 2025
Inquiry deadline, no questions after this date	November 17, 2025, 5:00 PM
Addendum Posted	November 18, 2025
Submittal deadline for bids	December 1, 2025, 2:00 PM
City Council Approval (<u>If Required</u>)	December 17, 2025
Notice of Award & Contract execution	December 19, 2025
Bonding & Insurance Cert due	January 5, 2026
Preconstruction meeting	TBD
Work begins no later than	Receipt of Notice to Proceed
Final Completion	Completed by May 1, 2026
Holidays:	
Veterans Day	November 11, 2025
Thanksgiving	November 27-28, 2025
Christmas	December 25, 2025
New Years Day	January 1, 2026
Martin Luther King Jr Day	January 19, 2026

*****NOTE*** If City Council approval is not required:
Notice of Award and Contract Execution
Bonding and Insurance Due**

December 4, 2025
December 15, 2025

4. Contractor's Bid Form

Bid Date: _____

Project: IFB-5756-26-DD "Lincoln Park Waterslide Re-Gel Coating"

Bidding Company: _____

Name of Authorized Agent: _____

Email _____

Telephone _____ **Address** _____

City _____ **State** _____ **Zip** _____

The undersigned Offeror, in compliance with the Invitation for Bids, having examined the Instruction to Offerors, General Contract Conditions, Statement of Work, Specifications, and any and all Addenda thereto, having investigated the location of, and conditions affecting the proposed Work, hereby proposes to furnish all labor, materials and supplies, and to perform all Work for the Project in accordance with Contract Documents, within the time set forth and at the prices stated below. These prices are to cover all expenses incurred in performing the Work required under the Contract Documents, of which this Contractor's Bid Form is a part.

The undersigned Contractor does hereby declare and stipulate that this offer is made in good faith without collusion or connection to any person(s) providing an offer for the same Work, and that it is made in pursuance of, and subject to, all terms and conditions of the Instructions to Offerors, the Specifications, and all other Solicitation Documents, all of which have been examined by the undersigned.

The Contractor also agrees that if awarded the Contract, to provide insurance certificates within ten (10) working days of the date of Notification of Award. Submittal of this offer will be taken by the Owner as a binding covenant that the Contractor will be prepared to complete the project in its entirety.

The Owner reserves the right to make the award on the basis of the offer deemed most favorable, to waive any formalities or technicalities and to reject any or all offers. It is further agreed that this offer may not be withdrawn for a period of sixty (60) calendar days after closing time. Submission of clarifications and revised offers automatically establish a new thirty day (30) period.

Prices in the bid proposal have not knowingly been disclosed with another provider and will not be prior to award.

- Prices in this bid proposal have been arrived at independently, without consultation, communication or agreement for the purpose of restricting competition.
- No attempt has been made nor will be to induce any other person or Contractor to submit a bid proposal for the purpose of restricting competition.
- The individual signing this bid proposal certifies they are a legal agent of the offeror, authorized to represent the offeror and is legally responsible for the offer with regard to supporting documentation and prices provided.
- Direct purchases by the City of Grand Junction are tax exempt from Colorado Sales or Use Tax. Tax exempt No. 98-03544. The undersigned certifies that no Federal, State, County or Municipal tax will be added to the above quoted prices.
- City of Grand Junction payment terms shall be Net 30 days.
- Prompt payment discount of _____ percent of the net dollar will be offered to the Owner if the invoice is paid within _____ days after the receipt of the invoice. The Owner reserves the right to take into account any such discounts when determining the bid award that are no less than Net 10 days.

RECEIPT OF ADDENDA: the undersigned Contractor acknowledges receipt of Addenda to the Solicitation, Specifications, and other Contract Documents.

State number of Addenda received: _____.

It is the responsibility of the Offeror to ensure all Addenda have been received and acknowledged.

By signing below, the Undersigned agree to comply with all terms and conditions contained herein.

Company: _____

Authorized Signature: _____

Title: _____

The undersigned Offeror proposes to subcontract the following portion of Work:

<u>Name & address of Sub-Contractor</u>	<u>Description of Work to be performed</u>	<u>% of Contract</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

The undersigned Offeror acknowledges the right of the City to reject any and all Bids submitted and to waive informalities and irregularities therein in the City's sole discretion.

By submission of the Bid, each Offeror certifies, and in the case of a joint Bid each party thereto certifies as to its own organization, that this Bid has been arrived at independently, without collusion, consultation, communication, or agreement as to any matter relating to this Bid with any other Offeror or with any competitor.

PRICE BID SCHEDULE: IFB-5756-26-DD “Lincoln Park Waterslide Re-Gel Coating”

Item No.	Description	Lump Sum Pricing
1	All labor equipment and materials required to complete this Project which generally consists of re-gel coating and painting the flume of the existing 36’ high and 259 ft long waterslide as described in Section 3.3 of this solicitation	\$ _____

Total Lump Sum Written:

_____ Dollars

State Applicable Manufacturer Warranty

By signing below, the Undersigned agree to comply with all terms and conditions contained herein.

Company: _____

Authorized Signature: _____

Title: _____

WATERSLIDE FOR THE CITY OF GRAND JUNCTION, CO

DETAIL SPECIFICATIONS FOR THE DESIGN, CONSTRUCTION AND INSTALLATION

1. FOUNDATIONS:

- (a) Design Conditions – Tower, pathway, fiberglass flume and under structure and all foundations shall be designed to meet industry guidelines for the design and installation of water slides with a minimum wind load design of 90 mph.
- (b) Unless otherwise specified, all foundations will be on a suitable soil with bearing capacity of not less than 2000 PSF.

2. CONCRETE:

- (a) Construction will conform to ACI-318.
- (b) Concrete strength will be 4000 PSI @ 28 days.
- (c) Reinforcing steel will conform to ASTM C-615 Grade 60.
- (d) Welded fabric will have a minimum lap of 3" on sides and 6" on ends.

3. CONCRETE PLACEMENT:

Concrete will be placed upon undisturbed soil or compacted granular fill to 90% of ASTM D 1557 density. The back fill around the concrete piers should also be 90% density.

4. BACK FILL:

Back fill will be compacted with excavated or granular fill materials.

5. STRUCTURAL STEEL:

- (a) Design, detailing, fabrication, and erection shall conform to AISC, 9th Edition.
- (b) All structural shapes will be ASTM A-36 unless otherwise specified.
- (c) Welding will conform to AWS standards.
- (d) Welding rods will be E-70XX.
- (e) Shop connections will be welded.
- (f) Field connections will be bolted.

6. SPECIFIC STRUCTURAL STEEL:

- (a) Tower Support System
 - (1) Legs will be TS 8 x 8 x 5/16", ASTM A-500 grade B
 - (2) Frame will be MC 10 x 8.4 with C6 x 8.2 joists.
- (b) Pathway and Stairs
 - (1) Stringer will be MC 10 x 8.4# ASTM A-36
 - (2) Tread brackets are die formed 2x10x3/16" from the stringer
 - (3) Stair width will be 38" unless otherwise specified.
 - (4) 6 7/8" riser, 11" tread.
 - (5) Rail height shall be 48" above deck.
 - (6) Picket spacing maximum will be 3 1/2" space between pickets.
 - (7) Stairs, treads and decking to be 6063-T6 extruded aluminum board with skid resistant surface.

(c) Flume Support System

- (1) Columns with multiple arm supports, will be ASTM A-500 GR. B steel structural tube, or structural grade pipe ASTM A-53B. Sizing to be determined by Miracle as shown on our construction drawings.
- (2) Singular columns without arm supports, will be ASTM A-53B structural steel pipe. Sizing to be determined by Miracle as shown on our construction drawings.
- (3) Support Arm, TS 6 x 3, 3/16" thick, ASTM A-500 Gr. B.
- (4) Plate and miscellaneous steel grade ASTM A-36 of size shown.

7. HANDRAILS/GUARDRAILS/TRIM MATERIALS: (STEEL)

- (a) Steel:
 - The guardrail and handrail frames are 1-1/4" x 1-1/4" x 16 gauge square tubing. Vertical restraint members are 1/2" square bar steel ASTM A-36.
 - Handrails are 1-1/2" diameter, ASTM A-53, Gr. B, 16 gauge steel tubing.
 - The handrails are attached on the inside of both the right and left stair guardrails.

8. PAINT:

A. All waterslide steel components including the tower and flume understructure are cleaned and hot dipped galvanized. The galvanizing includes coating the inside surfaces of tubes and cavities as well as the outside surfaces. The thickness of the galvanized coating is 1.9 to 3.9 mils. The steel components may be left galvanized and unpainted if the purchaser desires.

B. If the purchaser requires the steel to be painted, most of the hot dipped galvanized steel components are finished in Mira-Cote®. Mira-Cote® is a polyester powder coating finish that is applied using extreme heat. This finish gives metal parts long term protection from chipping, fading and peeling. Miracle's finishing system washes the metal parts with detergent and etches the metal for optimum adhesion. The part is then rinsed clean with water. The Mira-Cote® powder is then applied electrostatically to the metal part. The metal part is then baked at 500 degrees F to fuse a hard, smooth durable finish to the metal. Mira-Cote has an impact value of 160 in. lbs., flexibility value of 180 degrees-1/4" mandrel, shore hardness value H and a crosshatch adhesion of 100%. Mira-Cote® is tested in accordance with ASTM D-792, D-523, D-2794, D-1737, D-3363, D-3359 (b), B117 and D-2247. Mira-Cote is available in all 17 Miracle colors.

9. FLUME SECTIONS:

- (a) Rainbow Bend flume sections will conform to design dimension of Rainbow Bend DT-6 specifications.
- (b) Flume Dimensions
 - All sections will be 36" maximum width inside barrel and a depth of 28" on all straights. Outside to outside of sections will be a nominal 48". All curves will be a 230 degree high profile design. Standard radius will be a nominal 6'. Barrel will be 3/16" thick, weight 1.5# per sq. ft. Flanges will be 3/8" thick, "L" type.
- (c) Ride Configurations
 - All ride configurations will be constructed from Rainbow Bend standard sections consisting of:
 - Entry Tub
 - Accelerators
 - Transition Sections
 - Right Radius Sections
 - Left Radius Sections
 - Straights
 - Terminus Section

(b) Flume Dimensions

All sections will be 36" maximum width inside barrel. Outside to out side of sections will be a nominal 42". Standard radius will be a nominal 4', 6', 8' & 27'. Barrel will be 3/16" thick, weight 1.5# per sq. ft. Flanges will be 3/8" thick, "L" type.

(c) Ride Configurations

All ride configurations will be constructed from 360° standard sections consisting of:
Entry Tub
Radius Sections
Straights
Terminus Section

(b) Flume Dimensions (ENCLOSED 32")

All sections will be 32" maximum width inside barrel. Outside to out side of sections will be a nominal 42". Standard radius will be a nominal 8'-2", 14"-9" & 29'-6". Barrel will be 3/16" thick, weight 1.5# per sq. ft. Flanges will be 3/8" thick, "L" type.

(c) Ride Configurations

All ride configurations will be constructed from 360° standard sections consisting of:
Entry Tub
Radius Sections
Straights
Terminus Section

(d) Fiberglass Laminate Materials

- (1) Gelcoat
 - (ISO-THALIC TYPE, TAILORED FOR MARINE AND AQUATIC USE) 18 to 20 mils thick ride surface. 20 mils exterior coating on the exposed fiberglass.
- (2) Resins
 - Sprayed at 2:1 ratio with layers of chop and 18 oz. mat. No fillers added
- (3) Reinforcement
 - chop, and woving roving. No fillers added
- (e) Flange Joints
 - (1) Flume to flume joints will be fastened with 3/8" stainless steel bolts, nuts, washers, and lock washers.
 - (2) Flume to steel supports will be fastened with stainless steel hardware.

10. PUMP AND PLUMBING

The pump requirements are approximately:

1,000 GPM FOR FLUME "A"
1,000 GPM FOR FLUME "B"

The ASSIGNED CONTRACTOR will furnish a 3 PHASE, full centrifugal pump to provide the volume flow at low operation costs, [a flow meter must be used to accurately monitor water flow. Along with a butterfly valve and check valve to maintain a primed condition.] The installation contractor will be responsible for the proper installation of the pump. 6" SCH 40 piping will be required for connection to the slide start tub.

The OWNER will be responsible for supplying all required mechanical equipment, connections and an adequate electrical power supply to operate the motor size selected.

Installation of the pump/plumbing and electrical work must conform to all local and state plumbing and electrical codes.



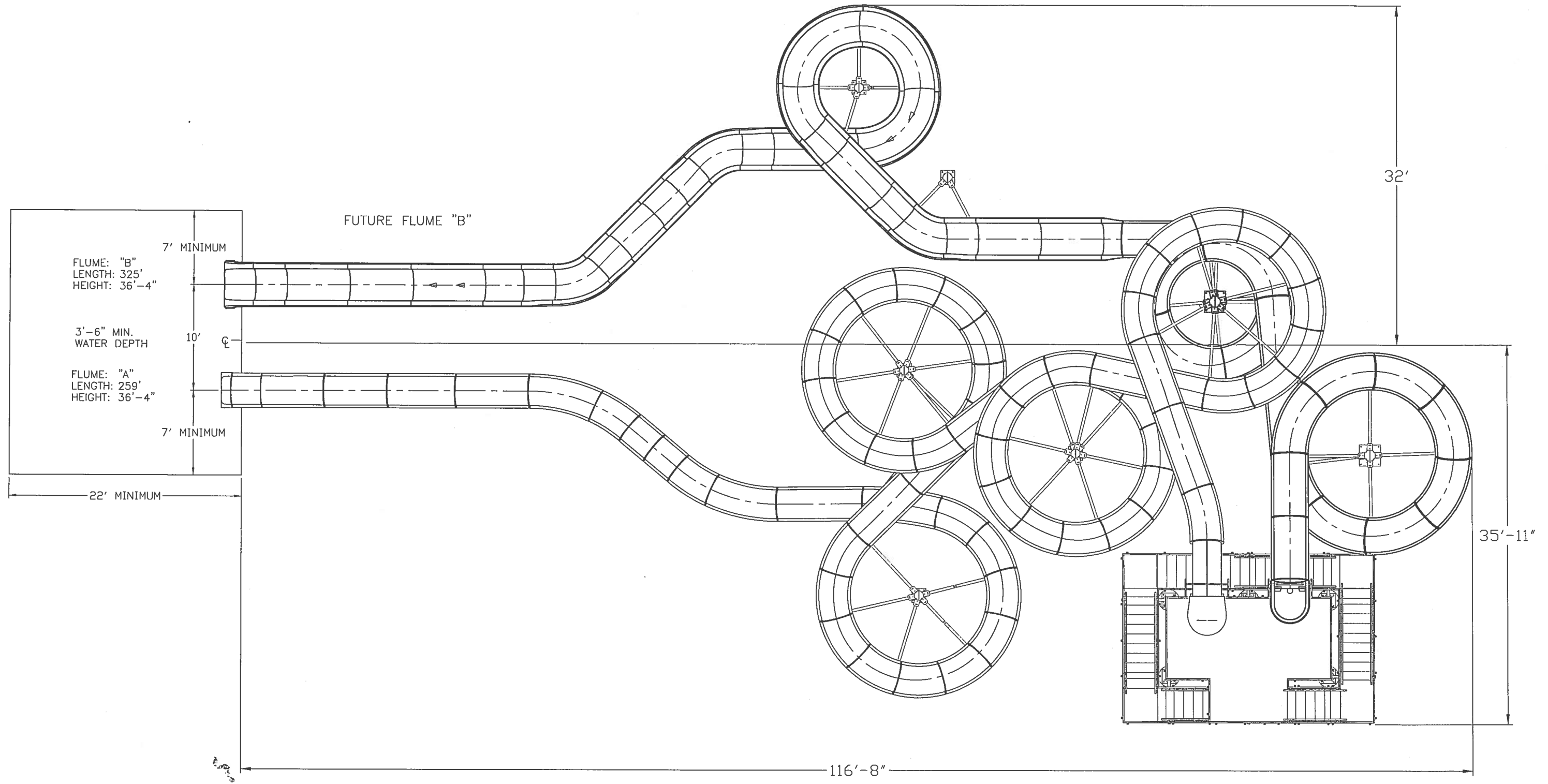
NOTE: STATUS OF WATER SLIDE WILL BE ON HOLD UNTIL CONSTRUCTION DRAWINGS AND COLOR CHOICES HAVE BEEN APPROVED AND RETURNED. AVERAGE LEAD TIME AFTER APPROVAL IS 6 - 8 WEEKS.



I HAVE REVIEWED THESE PLANS AND AGREE TO CONFORM TO THE INSTALLATION OF EQUIPMENT AS SPECIFIED.

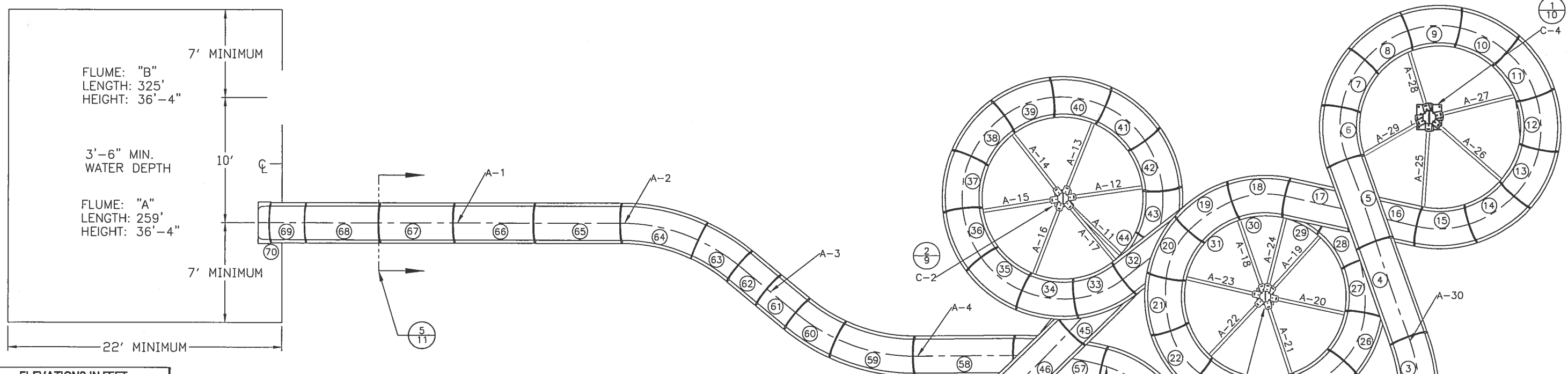
X _____

NOTE:
ALL ELEVATIONS TAKEN FROM
STATIC WATER

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO SPECIFICATIONS (PG 1 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008			
MODEL #: RT322564R		PROJECT #:	REV: B
		JW0278A	



	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERVILLE, NC 28078 PHONE 704.875.6550 · FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO FLUME PLAN (PG 2 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278B	REV: B
MODEL #: RT322564R			



ELEVATIONS IN FEET
FLOWLINE @ CENTERLINE

WATER ELEVATION	4000.000'
A-1	4002.950'
A-2	4004.293'
A-3	4005.465'
A-4	4006.963'
A-5	4008.708'
A-6	4009.730'
A-7	4010.754'
A-8	4011.751'
A-9	4012.746'
A-10	4013.741'
A-11	4015.323'
A-12	4016.243'
A-13	4017.320'
A-14	4018.317'
A-15	4019.313'
A-16	4020.308'
A-17	4021.302'
A-18	4022.503'
A-19	4023.498'
A-20	4024.493'
A-21	4025.488'
A-22	4026.484'
A-23	4027.481'
A-24	4028.974'
A-25	4030.216'
A-26	4031.185'
A-27	4032.151'
A-28	4033.599'
A-29	4035.048'
A-30	4036.723'
PLATFORM ELEVATION	4036.333'

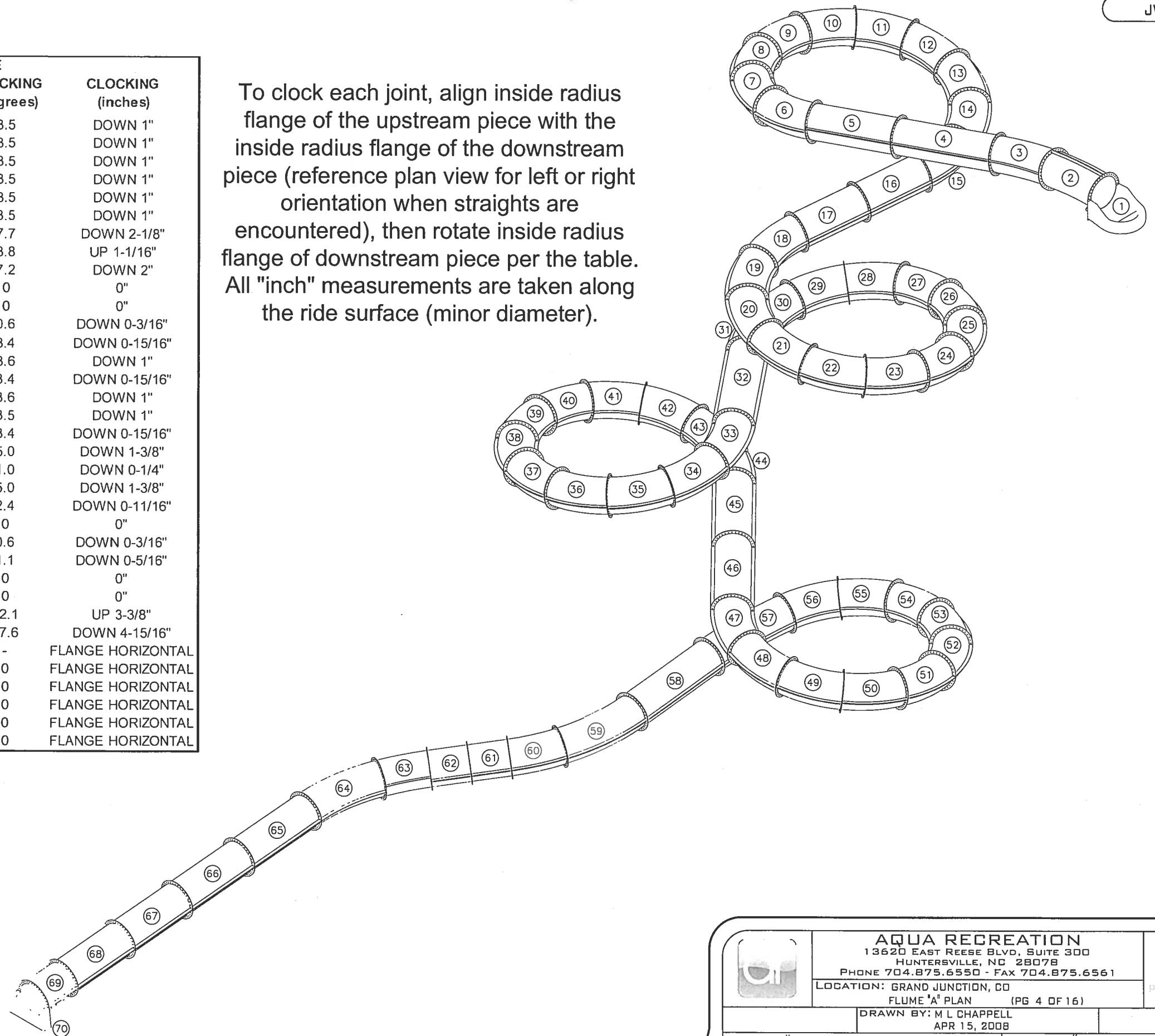
FLUME "A" SCHEDULE



REF	COMPONENT	PART NO	REF	COMPONENT	PART NO	REF	COMPONENT	PART NO
1	ENTRY SECTION	FA32058	24	32" 2.5M RAD 30 DEG	FA32001	47	32" 2.5M RAD 30 DEG	FA32001
2	32" 9.0M RAD 10 DEG	FA32056	25	32" 2.5M RAD 30 DEG	FA32001	48	32" 2.5M RAD 30 DEG	FA32001
3	32" 4.5M RAD 20 DEG	FA32046	26	32" 2.5M RAD 30 DEG	FA32001	49	32" 2.5M RAD 30 DEG	FA32001
4	2.44M STRAIGHT (8'-0")	FA32007	27	32" 2.5M RAD 30 DEG	FA32001	50	32" 2.5M RAD 30 DEG	FA32001
5	2.13M STRAIGHT (7'-0")	FA32009	28	32" 2.5M RAD 30 DEG	FA32001	51	32" 2.5M RAD 30 DEG	FA32001
6	32" 2.5M RAD 30 DEG	FA32001	29	32" 2.5M RAD 30 DEG	FA32001	52	32" 2.5M RAD 30 DEG	FA32001
7	32" 2.5M RAD 30 DEG	FA32001	30	32" 2.5M RAD 30 DEG	FA32001	53	32" 2.5M RAD 30 DEG	FA32001
8	32" 2.5M RAD 30 DEG	FA32001	31	32" 2.5M RAD 17 DEG	FA32034	54	32" 2.5M RAD 30 DEG	FA32001
9	32" 2.5M RAD 30 DEG	FA32001	32	2.44M STRAIGHT (8'-0")	FA32007	55	32" 2.5M RAD 30 DEG	FA32001
10	32" 2.5M RAD 30 DEG	FA32001	33	32" 2.5M RAD 30 DEG	FA32001	56	32" 2.5M RAD 30 DEG	FA32001
11	32" 2.5M RAD 30 DEG	FA32001	34	32" 2.5M RAD 30 DEG	FA32001	57	32" 9.0M RAD 14 DEG	FA32052
12	32" 2.5M RAD 30 DEG	FA32001	35	32" 2.5M RAD 30 DEG	FA32001	58	2.44M STRAIGHT (8'-0")	FA32007
13	32" 2.5M RAD 30 DEG	FA32001	36	32" 2.5M RAD 30 DEG	FA32001	59	32" 4.5M RAD 25 DEG	FA32041
14	32" 2.5M RAD 30 DEG	FA32001	37	32" 2.5M RAD 30 DEG	FA32001	60	32" 4.5M RAD 15 DEG	FA32051
15	32" 2.5M RAD 30 DEG	FA32001	38	32" 2.5M RAD 30 DEG	FA32001	61	0.91M STRAIGHT (3'-0")	FA32017
16	1.68M STRAIGHT (5'-6")	FA32012	39	32" 2.5M RAD 30 DEG	FA32001	62	0.91M STRAIGHT (3'-0")	FA32017
17	1.68M STRAIGHT (5'-6")	FA32012	40	32" 2.5M RAD 30 DEG	FA32001	63	32" 4.5M RAD 15 DEG	FA32051
18	32" 2.5M RAD 30 DEG	FA32001	41	32" 2.5M RAD 30 DEG	FA32001	64	32" 4.5M RAD 25 DEG	FA32041
19	32" 2.5M RAD 30 DEG	FA32001	42	32" 2.5M RAD 30 DEG	FA32001	65	2.13M STRAIGHT (7'-0")	FA32009
20	32" 2.5M RAD 30 DEG	FA32001	43	32" 2.5M RAD 30 DEG	FA32001	66	1.98M STRAIGHT (6'-6")	FA32010
21	32" 2.5M RAD 30 DEG	FA32001	44	32" 2.5M RAD 21 DEG	FA32030	67	1.83M STRAIGHT (6'-0")	FA32011
22	32" 2.5M RAD 30 DEG	FA32001	45	2.13M STRAIGHT (7'-0")	FA32009	68	1.83M STRAIGHT (6'-0")	FA32011
23	32" 2.5M RAD 30 DEG	FA32001	46	2.13M STRAIGHT (7'-0")	FA32009	69	0.91M STRAIGHT (3'-0")	FA32017
						70	EXIT SECTION	FA32007

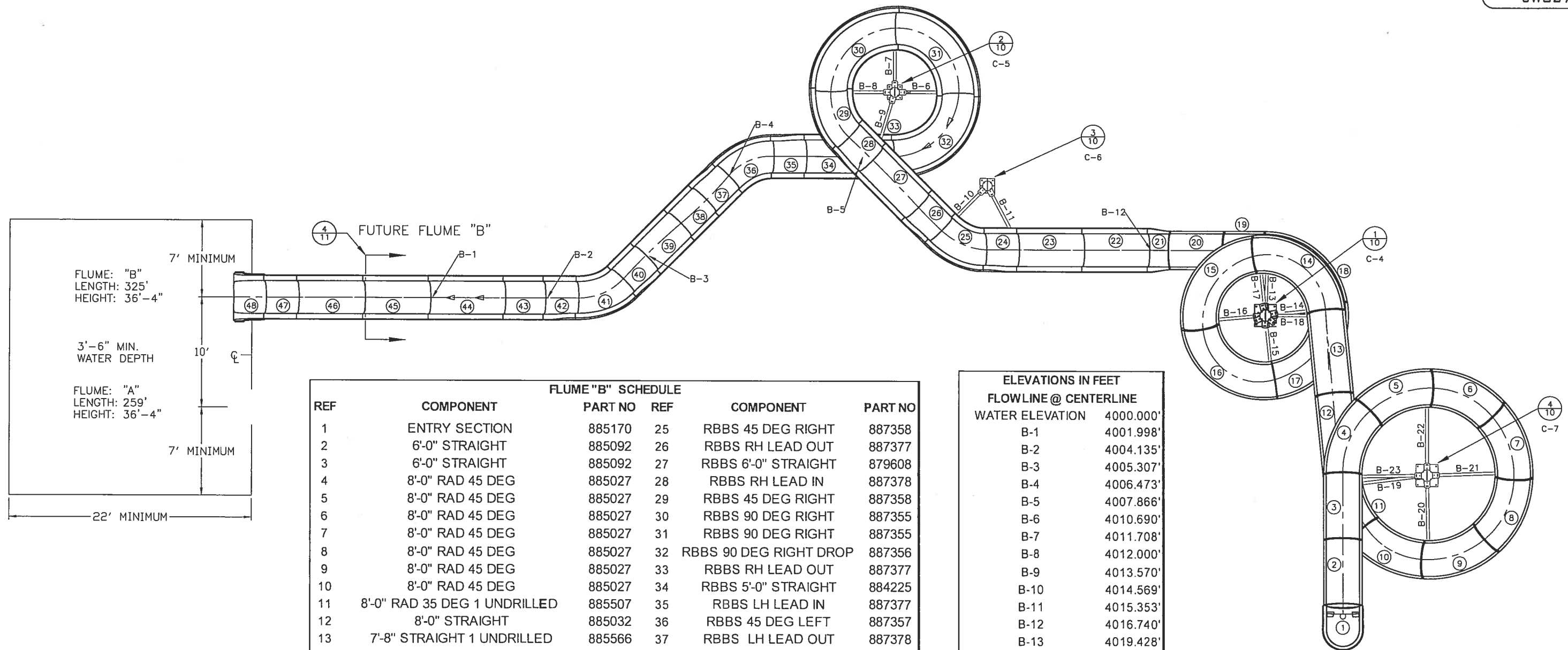
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FLUME "A" PLAN (PG 3 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		
MODEL #: RT322564R	PROJECT #: JW0278C	REV: B

FLUME 'A' CLOCKING SCHEDULE					
JOINT REF	CLOCKING (degrees)	CLOCKING (inches)	JOINT REF	CLOCKING (degrees)	CLOCKING (inches)
1-2	90.0	FLANGE VERTICAL	35-36	3.5	DOWN 1"
2-3	99.0	UP 27-5/8"	36-37	3.5	DOWN 1"
3-4	0	0"	37-38	3.5	DOWN 1"
4-5	0	0"	38-39	3.5	DOWN 1"
5-6	10.2	UP 2-7/8"	39-40	3.5	DOWN 1"
6-7	3.4	DOWN 0-15/16"	40-41	3.5	DOWN 1"
7-8	3.4	DOWN 0-15/16"	41-42	7.7	DOWN 2-1/8"
8-9	3.5	DOWN 1"	42-43	3.8	UP 1-1/16"
9-10	3.3	DOWN 0-15/16"	43-44	7.2	DOWN 2"
10-11	3.4	DOWN 0-15/16"	44-45	0	0"
11-12	3.4	DOWN 0-15/16"	45-46	0	0"
12-13	3.4	DOWN 0-15/16"	46-47	0.6	DOWN 0-3/16"
13-14	3.3	DOWN 0-15/16"	47-48	3.4	DOWN 0-15/16"
14-15	3.9	DOWN 1-1/16"	48-49	3.6	DOWN 1"
15-16	0	0"	49-50	3.4	DOWN 0-15/16"
16-17	0	0"	50-51	3.6	DOWN 1"
17-18	0.5	DOWN 0-1/8"	51-52	3.5	DOWN 1"
18-19	3.4	DOWN 0-15/16"	52-53	3.4	DOWN 0-15/16"
19-20	3.6	DOWN 1"	53-54	5.0	DOWN 1-3/8"
20-21	3.4	DOWN 0-15/16"	54-55	1.0	DOWN 0-1/4"
21-22	3.6	DOWN 1"	55-56	5.0	DOWN 1-3/8"
22-23	3.4	DOWN 0-15/16"	56-57	2.4	DOWN 0-11/16"
23-24	3.6	DOWN 1"	57-58	0	0"
24-25	3.4	DOWN 0-15/16"	58-59	0.6	DOWN 0-3/16"
25-26	3.6	DOWN 1"	59-60	1.1	DOWN 0-5/16"
26-27	3.4	DOWN 0-15/16"	60-61	0	0"
27-28	3.6	DOWN 1"	61-62	0	0"
28-29	3.4	DOWN 0-15/16"	62-63	12.1	UP 3-3/8"
29-30	3.6	DOWN 1"	63-64	17.6	DOWN 4-15/16"
30-31	2.6	DOWN 0-3/4"	64-65	-	FLANGE HORIZONTAL
31-32	0	0"	65-66	0	FLANGE HORIZONTAL
32-33	0.7	DOWN 0-3/16"	66-67	0	FLANGE HORIZONTAL
33-34	3.5	DOWN 1"	67-68	0	FLANGE HORIZONTAL
34-35	3.5	DOWN 1"	68-69	0	FLANGE HORIZONTAL
			69-70	0	FLANGE HORIZONTAL

To clock each joint, align inside radius flange of the upstream piece with the inside radius flange of the downstream piece (reference plan view for left or right orientation when straights are encountered), then rotate inside radius flange of downstream piece per the table. All "inch" measurements are taken along the ride surface (minor diameter).



	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO FLUME 'A' PLAN (PG 4 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278D	REV: B
MODEL #: RT322564R			



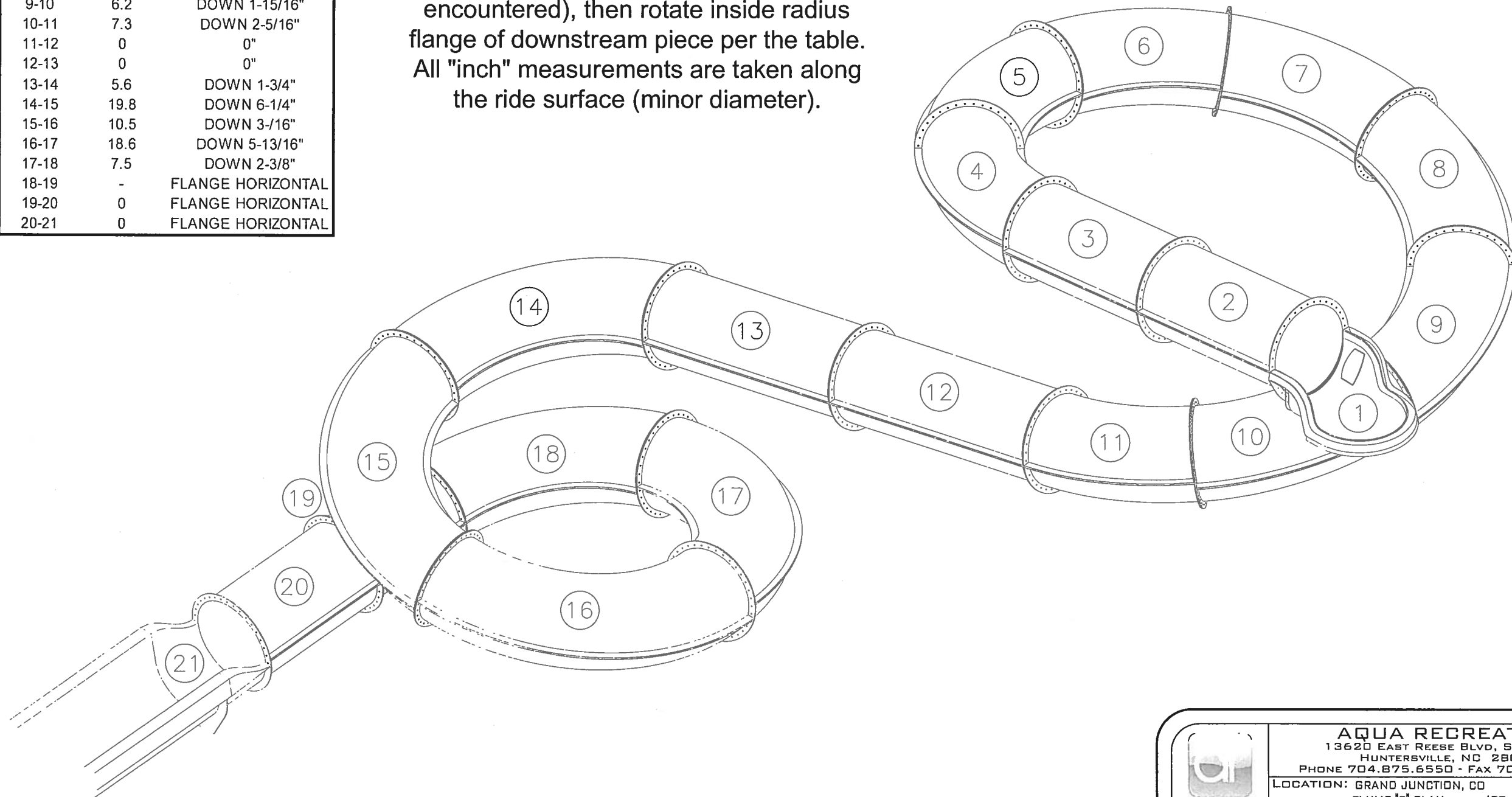
FLUME "B" SCHEDULE					
REF	COMPONENT	PART NO	REF	COMPONENT	PART NO
1	ENTRY SECTION	885170	25	RBBS 45 DEG RIGHT	887358
2	6'-0" STRAIGHT	885092	26	RBBS RH LEAD OUT	887377
3	6'-0" STRAIGHT	885092	27	RBBS 6'-0" STRAIGHT	879608
4	8'-0" RAD 45 DEG	885027	28	RBBS RH LEAD IN	887378
5	8'-0" RAD 45 DEG	885027	29	RBBS 45 DEG RIGHT	887358
6	8'-0" RAD 45 DEG	885027	30	RBBS 90 DEG RIGHT	887355
7	8'-0" RAD 45 DEG	885027	31	RBBS 90 DEG RIGHT	887355
8	8'-0" RAD 45 DEG	885027	32	RBBS 90 DEG RIGHT DROP	887356
9	8'-0" RAD 45 DEG	885027	33	RBBS RH LEAD OUT	887377
10	8'-0" RAD 45 DEG	885027	34	RBBS 5'-0" STRAIGHT	884225
11	8'-0" RAD 35 DEG 1 UNDRILLED	885507	35	RBBS LH LEAD IN	887377
12	8'-0" STRAIGHT	885032	36	RBBS 45 DEG LEFT	887357
13	7'-8" STRAIGHT 1 UNDRILLED	885566	37	RBBS LH LEAD OUT	887378
14	6'-0" RADIUS 90 DEG	885025	38	RBBS 3'-2" STRAIGHT	879678
15	6'-0" RADIUS 90 DEG	885025	39	RBBS 4'-4" STRAIGHT	884568
16	6'-0" RADIUS 90 DEG	885025	40	RBBS RH LEAD IN	887378
17	6'-0" RADIUS 90 DEG	885025	41	RBBS 45 DEG RIGHT	887358
18	6'-0" RADIUS 80 DEG	885144	42	RBBS RH LEAD OUT	887377
19	3'-9" STRAIGHT 1 UNDRILLED	885570	43	RBBS 3'-8" STRAIGHT	879632
20	5'-0" STRAIGHT 1 UNDRILLED	885037	44	RBBS 6'-8" DROP	879602
21	RBBS ENTRY TRANSITION	886883	45	RBBS 6'-0" STRAIGHT	879608
22	RBBS 6'-0" STRAIGHT	879608	46	RBBS 6'-0" STRAIGHT	879608
23	RBBS 6'-0" STRAIGHT	879608	47	RBBS 3'-0" STRAIGHT	879606
24	RBBS RH LEAD IN	887378	48	RBBS EXIT SECTION	884090



ELEVATIONS IN FEET	
FLOWLINE @ CENTERLINE	
WATER ELEVATION	4000.000'
B-1	4001.998'
B-2	4004.135'
B-3	4005.307'
B-4	4006.473'
B-5	4007.866'
B-6	4010.690'
B-7	4011.708'
B-8	4012.000'
B-9	4013.570'
B-10	4014.569'
B-11	4015.353'
B-12	4016.740'
B-13	4019.428'
B-14	4020.602'
B-15	4021.573'
B-16	4023.012'
B-17	4025.052'
B-18	4026.728'
B-19	4028.921'
B-20	4030.604'
B-21	4032.681'
B-22	4034.760'
B-23	4036.688'
PLATFORM ELEVATION	4036.333'

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FLUME 'B' PLAN (PG 5 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278E REV: B
MODEL #: RT322564R		PROJECT #: JW0278E REV: B

FLUME 'B' CLOCKING SCHEDULE		
JOINT REF	CLOCKING (degrees)	CLOCKING (inches)
1-2	0	FLANGE HORIZONTAL
2-3	0	FLANGE HORIZONTAL
3-4	6.4	DOWN 2"
4-5	3.8	DOWN 1-3/16"
5-6	7.5	DOWN 2-3/8"
6-7	7.6	DOWN 2-3/8"
7-8	7.5	DOWN 2-3/8"
8-9	7.5	DOWN 2-3/8"
9-10	6.2	DOWN 1-15/16"
10-11	7.3	DOWN 2-5/16"
11-12	0	0"
12-13	0	0"
13-14	5.6	DOWN 1-3/4"
14-15	19.8	DOWN 6-1/4"
15-16	10.5	DOWN 3-1/16"
16-17	18.6	DOWN 5-13/16"
17-18	7.5	DOWN 2-3/8"
18-19	-	FLANGE HORIZONTAL
19-20	0	FLANGE HORIZONTAL
20-21	0	FLANGE HORIZONTAL

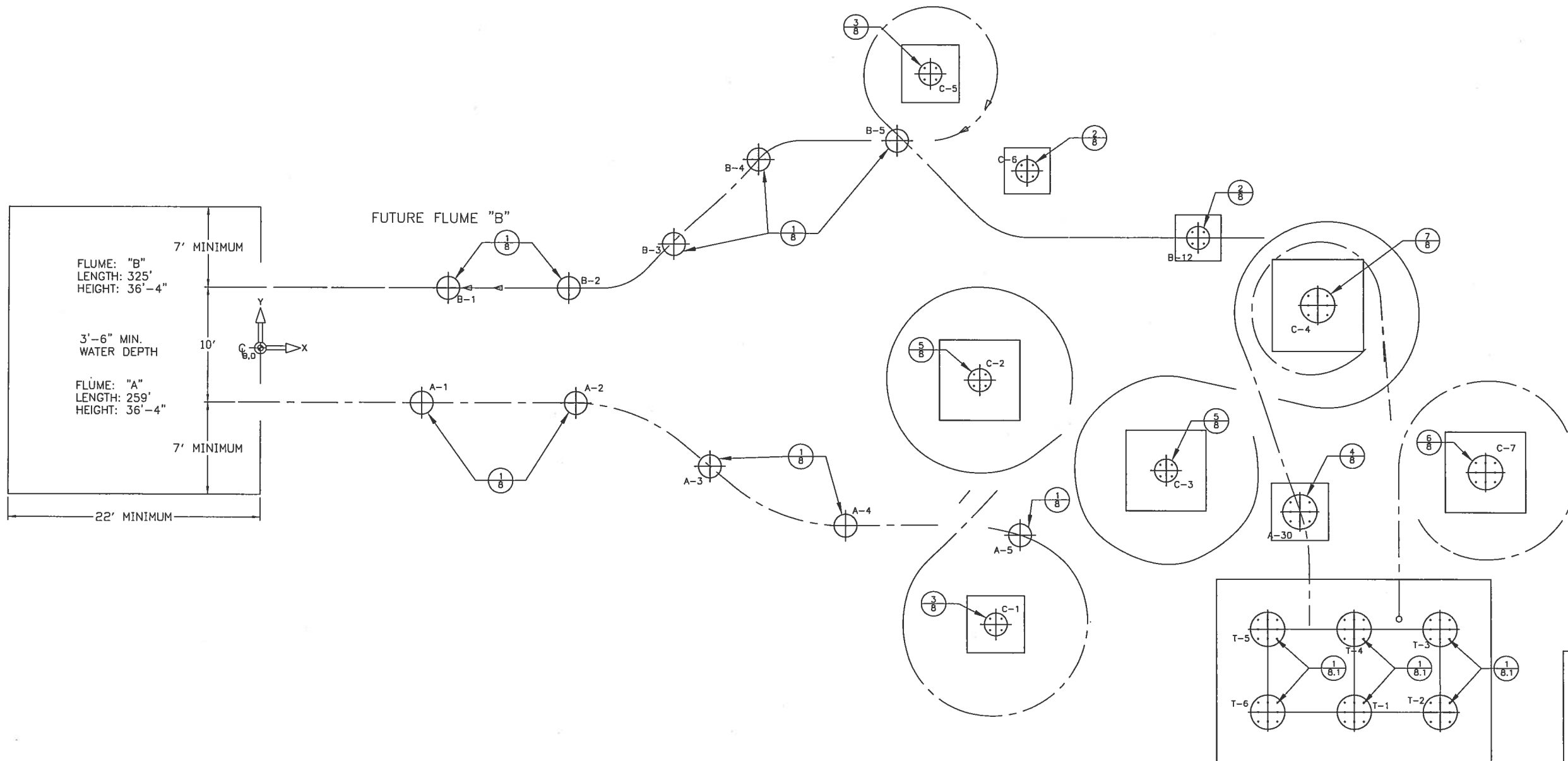
To clock each joint, align inside radius flange of the upstream piece with the inside radius flange of the downstream piece (reference plan view for left or right orientation when straights are encountered), then rotate inside radius flange of downstream piece per the table. All "inch" measurements are taken along the ride surface (minor diameter).



	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO FLUME 'B' PLAN (PG 6 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278F	REV: B
MODEL #: RT322564R			

FOUNDATION PLAN

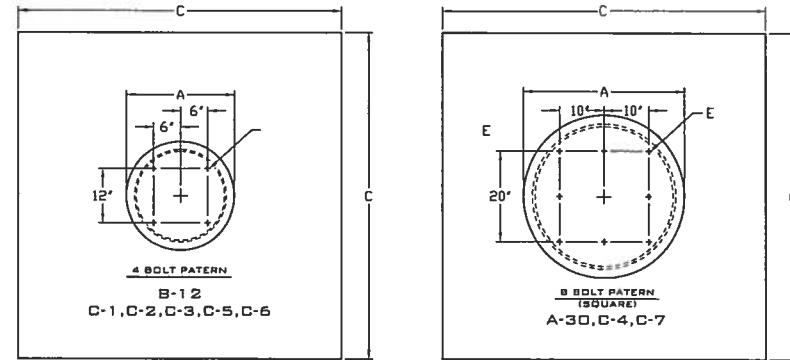
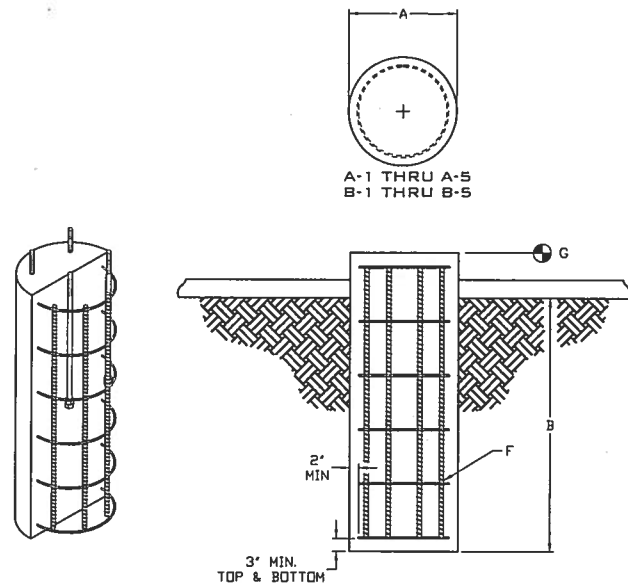
JW0278G



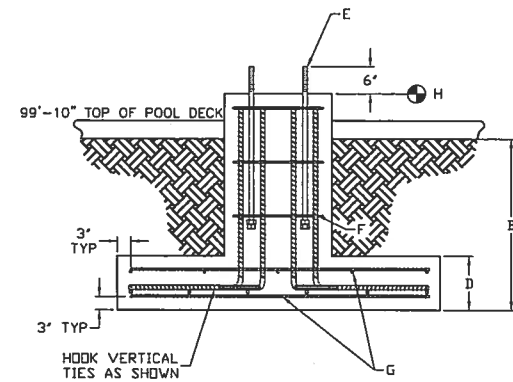
WATERSLIDE FOUNDATION X-Y SCHEDULE		
REF	X	Y
A-1	14'-1"	(-) 4'-9"
A-2	27'-6"	(-) 4'-9"
A-3	39'-3"	(-) 10'-2"
A-4	51'-0"	(-) 15'-4"
A-5	66'-3"	(-) 16'-2"
A-30	90'-9"	(-) 14'-1"
B-1	16'-5"	5'-3"
B-2	26'-11"	5'-3"
B-3	36'-1"	9'-2"
B-4	43'-5"	16'-6"
B-5	55'-6"	18'-2"
B-12	81'-10"	9'-9"
C-1	64'-2"	(-) 23'-11"
C-2	62'-9"	(-) 2'-8"
C-3	79'-1"	(-) 10'-6"
C-4	92'-4"	3'-10"
C-5	58'-5"	24'-0"
C-6	66'-11"	15'-7"
C-7	107'-0"	(-) 10'-8"
T-1	95'-5"	(-) 31'-7"
T-2	103'-0"	(-) 31'-7"
T-3	103'-0"	(-) 24'-4"
T-4	95'-5"	(-) 24'-4"
T-5	87'-11"	(-) 24'-4"
T-6	87'-11"	(-) 31'-7"

- NOTE:
- 1) ALL FOUNDATION ELEVATIONS ARE TAKEN FROM STATIC WATER AS 4000.00'
 - 2) ALIGN ANCHOR BOLT PATTERNS AS SHOWN ON FOUNDATION PLAN.
 - 3) MINIMUM OF 4' IN PIER DEPTH BELOW GRADE MUST BE BELOW FREEZE LINE.
 - 4) SOIL BEARING CAPACITY OF NOT LESS THAN 2000 PSF CONDITION IS REQUIRED FOR ALL FOUNDATION LOCATIONS.

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FOUNDATION LAYOUT (PG 7 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		
MODEL #: RT322564R	PROJECT #: JW0278G	REV: B

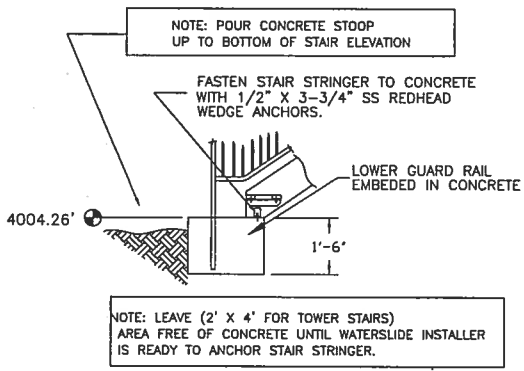


- NOTE:
- 1) ALL FOUNDATION ELEVATIONS ARE TAKEN FROM STATIC WATER AS 4000.00'
 - 2) ALIGN ANCHOR BOLT PATTERNS AS SHOWN ON FOUNDATION PLAN.
 - 3) MINIMUM OF 4' IN PIER DEPTH BELOW GRADE MUST BE BELOW FREEZE LINE.
 - 4) SOIL BEARING CAPACITY OF NOT LESS THAN 2000 PSF CONDITION IS REQUIRED FOR ALL FOUNDATION LOCATIONS.



FOUNDATION SCHEDULE (DRILLED PIER)						
A	B	C	D	E	F	G
24"	3'	N/A	N/A	N/A	(4) #8 VERT. W/ #3 TIES 12 O.C.	4001.29' @ A-1 4002.63' @ A-2 4003.79' @ A-3 4005.29' @ A-4 4007.02' @ A-5 4001.50' @ B-1 4003.64' @ B-2 4004.81' @ B-3 4005.97' @ B-4 4007.37' @ B-5

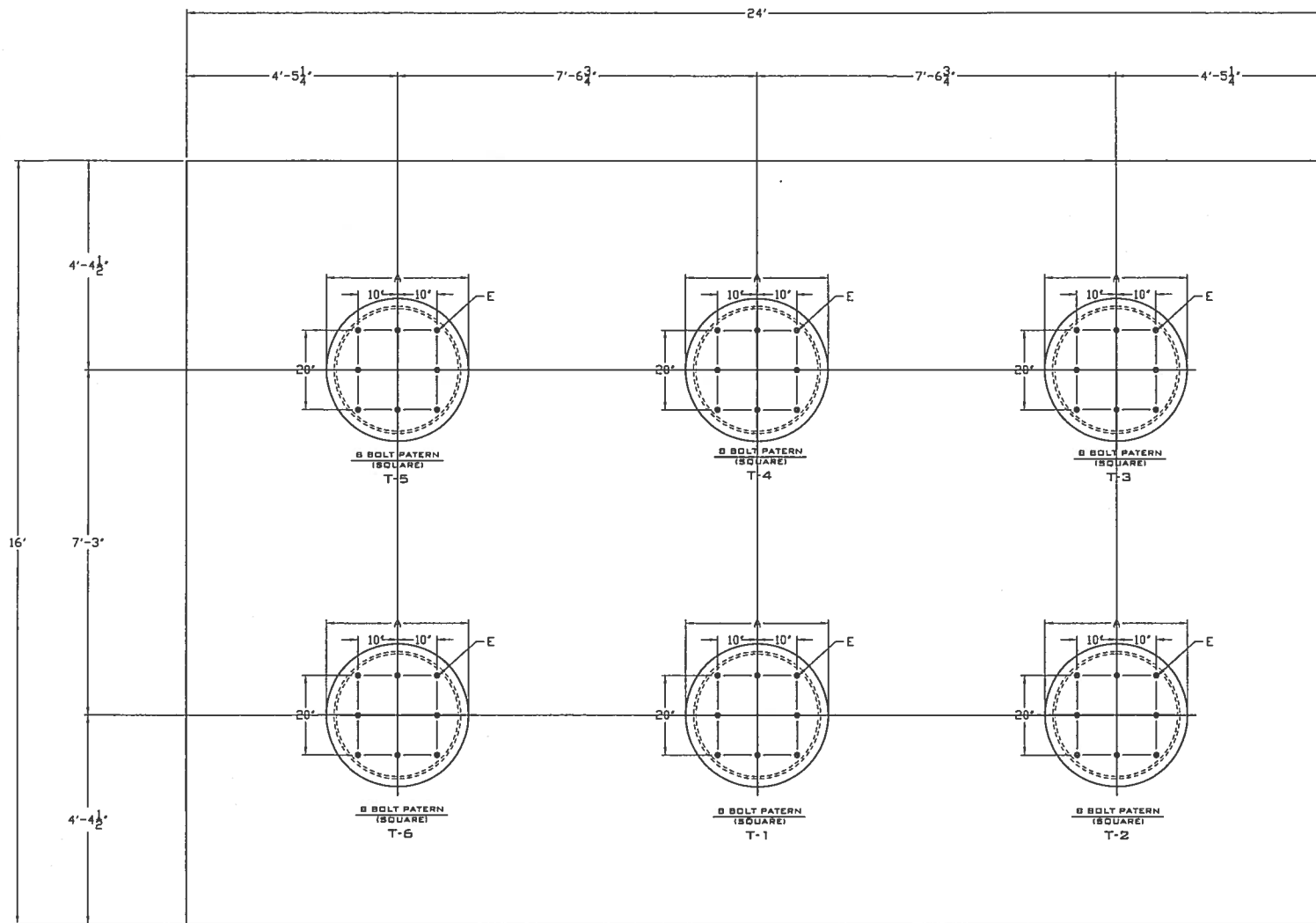
FOUNDATION SCHEDULE (SPREAD)							
A	B	C	D	E	F	G	H
24"	3'	4'	12"	(4) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(6) #6 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4007.58' @ C-6 4007.47' @ B-12
24"	3'	5'	12"	(4) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(6) #6 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4005.72' @ C-1 4006.00' @ C-5
36"	3'	5'	12"	(8) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(8) #8 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4005.17' @ A-30
24"	3'	7'	12"	(4) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(6) #6 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4008.89' @ C-2 4006.90' @ C-3
36"	3'	7'	12"	(8) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(8) #8 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	3999.53' @ C-7
36"	3'	8'	12"	(8) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(8) #8 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4005.49' @ C-4



16/8 THICKENED SLAB @ BOTTOM OF STAIRS
NO SCALE

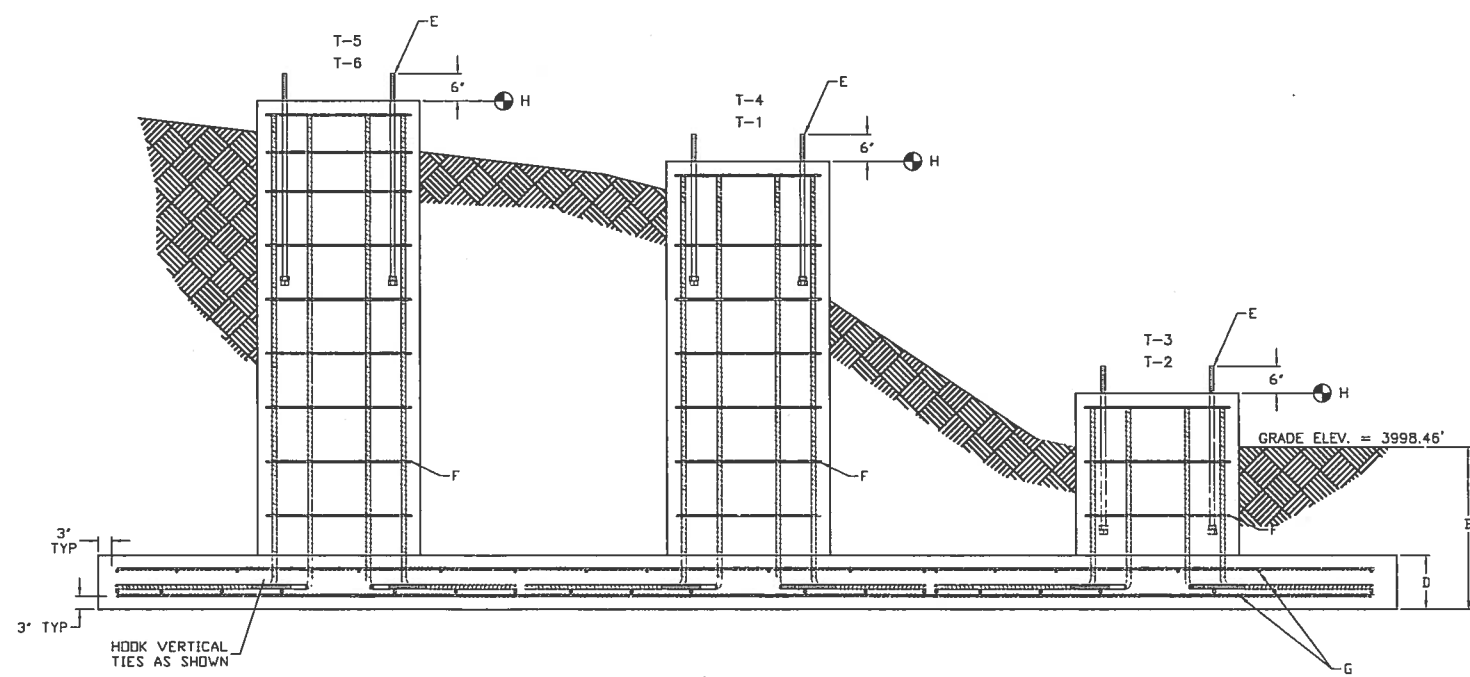
NOTE: IF POOL DECK ELEVATION AREA OF BOTTOM STOOP IS SUCH THAT DECK-TO-STOOP RISE IS GREATER THAN 7", OR IF DECK ELEVATION IS ABOVE STOOP ELEVATION, SLIDE MANUFACTURE MUST BE NOTIFIED TO MAKE APPROPRIATE REVISIONS TO BOTTOM STAIR.

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FOUNDATION DETAILS (PG 8 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278H REV: B
MODEL #: RT322564R		PROJECT #: JW0278H REV: B



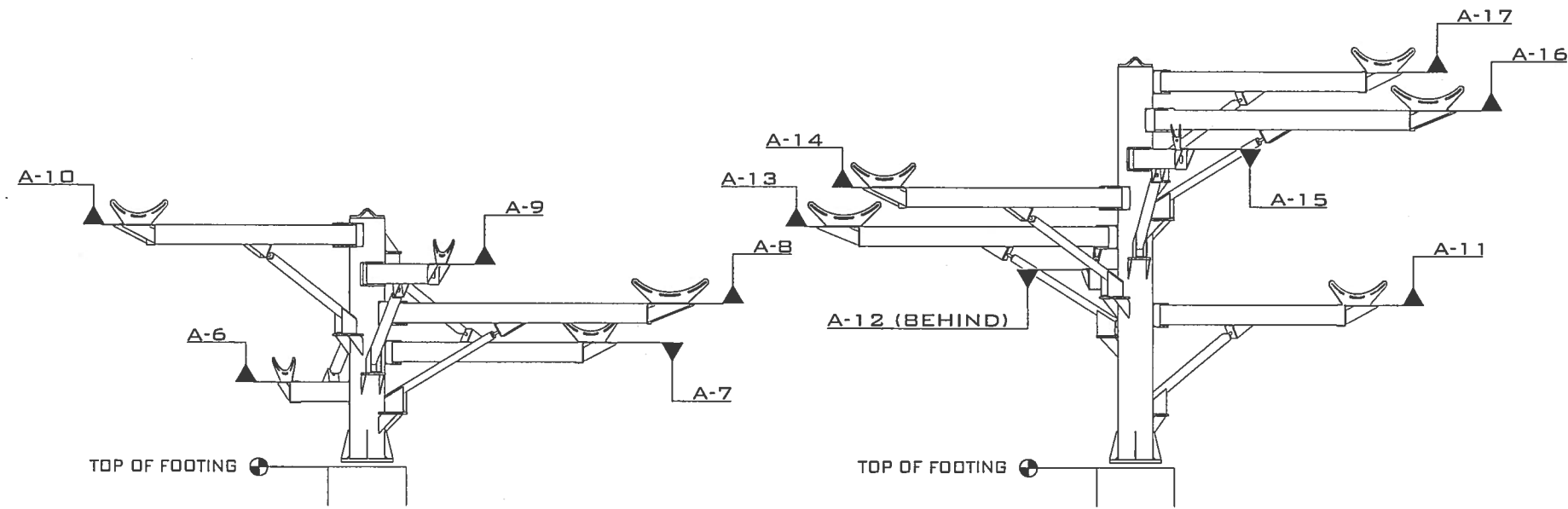
- NOTE:
- 1) ALL FOUNDATION ELEVATIONS ARE TAKEN FROM STATIC WATER AS 4000.00'
 - 2) ALIGN ANCHOR BOLT PATTERNS AS SHOWN ON FOUNDATION PLAN.
 - 3) MINIMUM OF 4' IN PIER DEPTH BELOW GRADE MUST BE BELOW FREEZE LINE.
 - 4) SOIL BEARING CAPACITY OF NOT LESS THAN 2000 PSF CONDITION IS REQUIRED FOR ALL FOUNDATION LOCATIONS.

FOUNDATION SCHEDULE (SPREAD)							
A	B	C	D	E	F	G	H
36"	3'	N/A	12"	(8) 1" x 36" ANCHOR BOLTS, DOUBLE NUT JAMMED TIGHT @ BOTTOM AND 6" THREADED @ TOP. A-449 ANCHOR BOLTS	(8) #6 VERTICAL #3 TIES @ 12" O.C.	#5 @ 12" O.C. E.W. TOP AND BOTTOM	4003.03' @ T-1
							3999.58' @ T-2
							3999.58' @ T-3
							4003.30' @ T-4
							4004.83' @ T-5
							4004.54' @ T-6



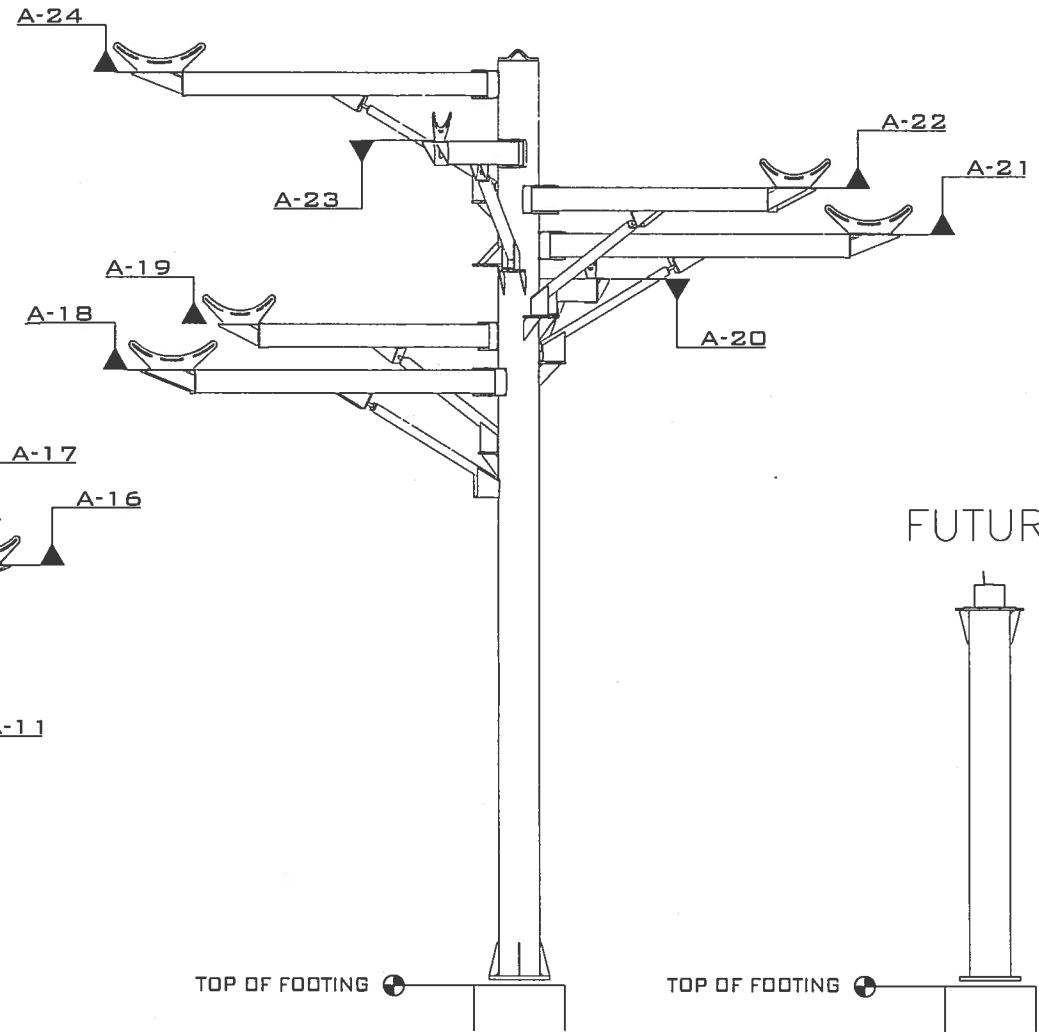
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FOUNDATION DETAILS (PGB.10F.16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		REV: B
MODEL #: RT322564R	PROJECT #: JW0278H	REV: B

COMPONENT LIST COLUMN C-1				COMPONENT LIST COLUMN C-2				COMPONENT LIST COLUMN C-3				COMPONENT LIST COLUMN B-12			
REF	ARM	KICKER	SADDLE	REF	ARM	KICKER	SADDLE	REF	ARM	KICKER	SADDLE	REF	ARM	MOUNT	SADDLE
A-6	885327	879443	885683-85	A-11	885349	879443	885683-85	A-18	885349	879443	885683-85	B-12	-	885285	889373
A-7	885327	879443	885683-85	A-12	885349	879443	885683-85	A-19	885349	879443	885683-85				
A-8	885349	879443	885683-85	A-13	885349	879443	885683-85	A-20	885349	879443	885683-85				
A-9	885349	879443	885683-85	A-14	885349	879443	885683-85	A-21	885349	879443	885683-85				
A-10	885349	879443	885683-85	A-15	885349	879443	885683-85	A-22	885349	879443	885683-85				
				A-16	885349	879443	885683-85	A-23	885349	879443	885683-85				
				A-17	885349	879443	885683-85	A-24	885349	879443	885683-85				



1 ELEVATIONS AT C-1
SCALE NONE

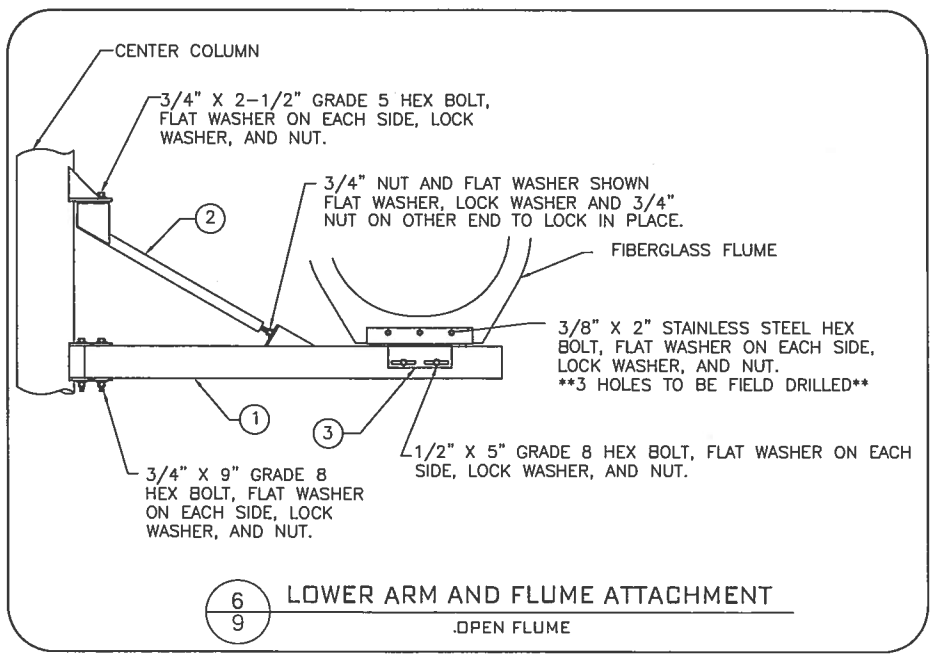
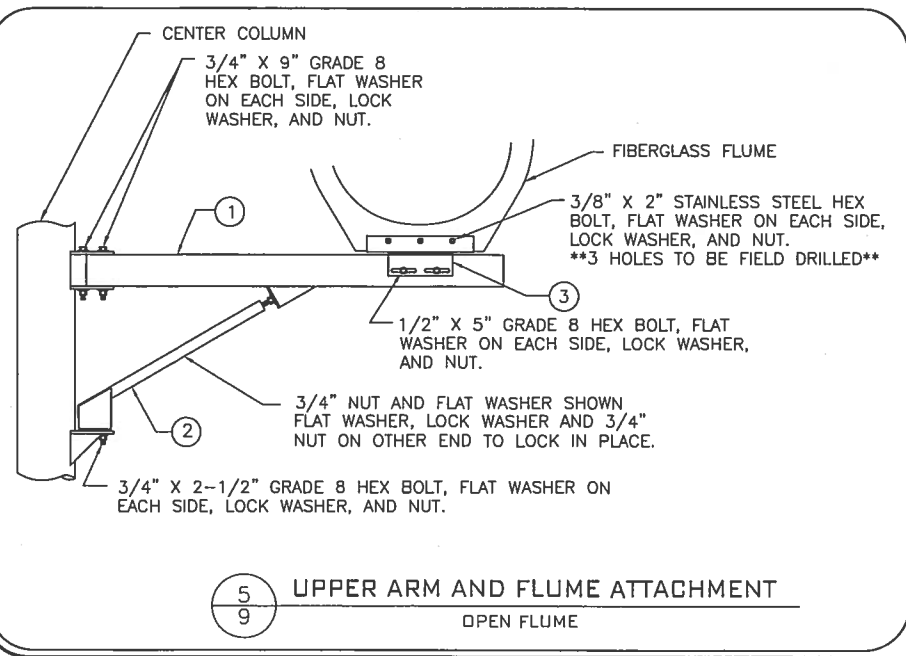
2 ELEVATIONS AT C-2
SCALE NONE



3 ELEVATIONS AT C-3
SCALE NONE

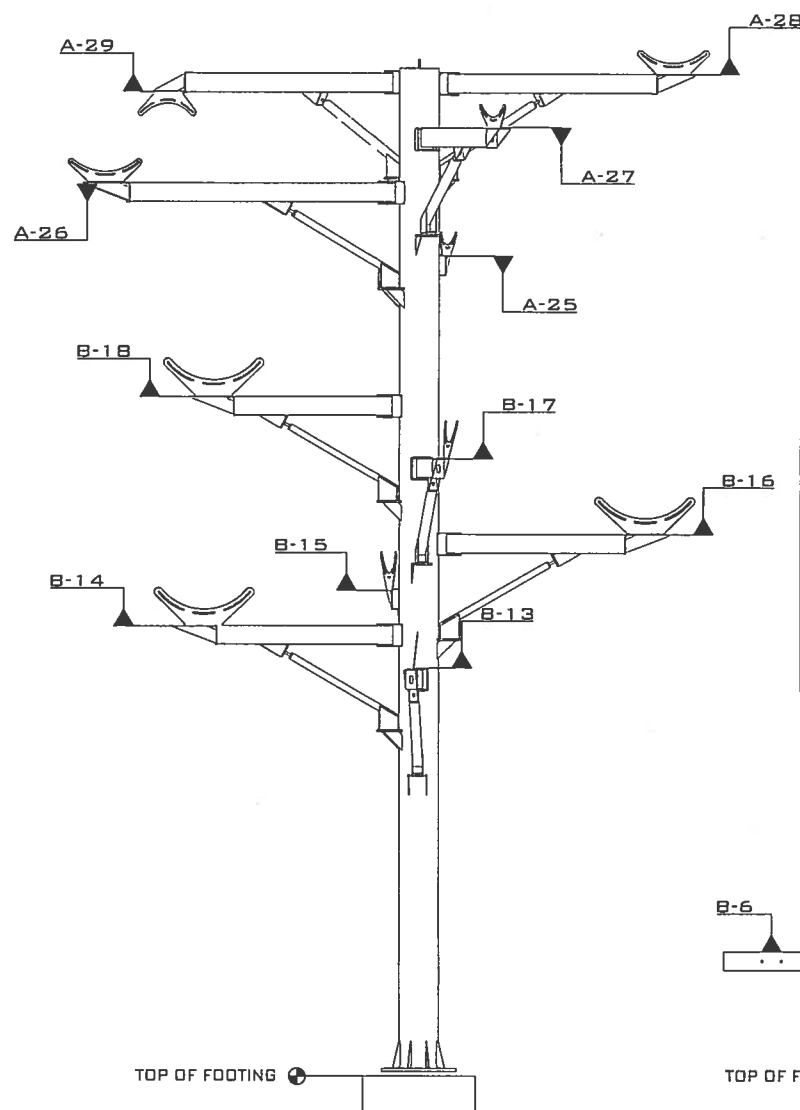
4 ELEVATIONS AT B-12
SCALE NONE

FUTURE



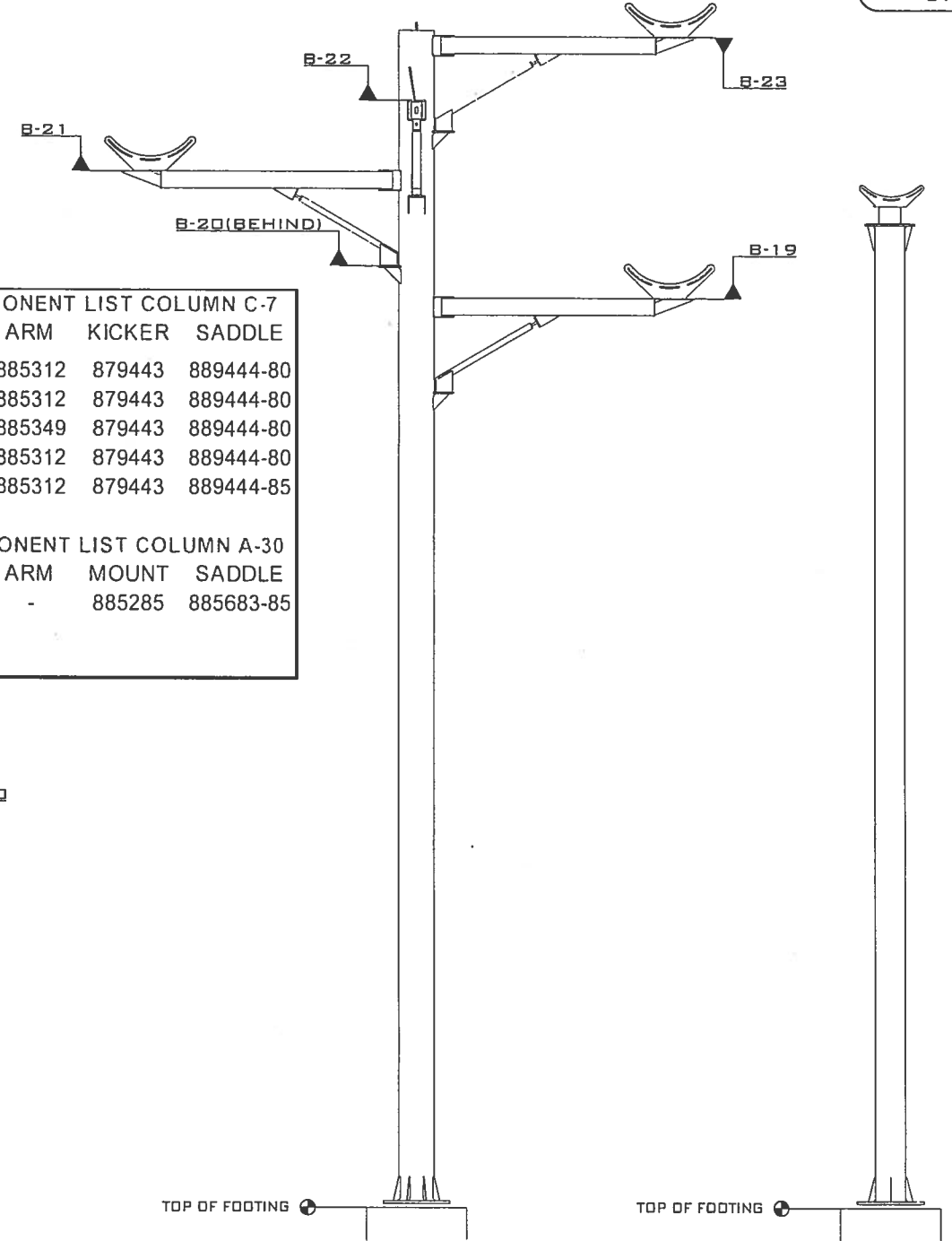
NOTE:
GRADE 5 BOLTS ARE EQUAL IN STRENGTH TO ASTM A325
GRADE 8 BOLTS ARE EQUAL IN STRENGTH TO ASTM A354

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FLUME SUPPORT AND DETAILS (PG 9 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW02781
MODEL #: RT322564R		REV: B



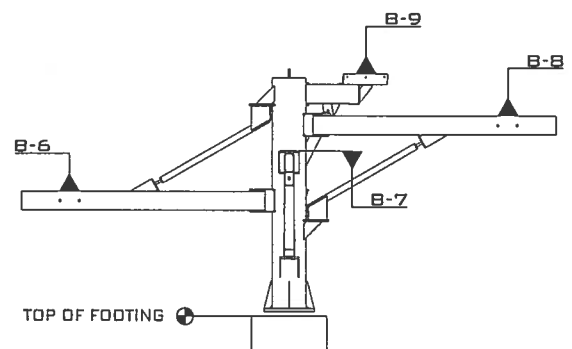
1
10 ELEVATIONS AT C-4
SCALE NONE

COMPONENT LIST COLUMN C-4				COMPONENT LIST COLUMN C-5				COMPONENT LIST COLUMN C-7			
REF	ARM	KICKER	SADDLE	REF	ARM	KICKER	SADDLE	REF	ARM	KICKER	SADDLE
B-13	885296	879443	889444-85	B-6	879527	879443	884178	B-19	885312	879443	889444-80
B-14	885296	879443	889444-85	B-7	879527	879443	884178	B-20	885312	879443	889444-80
B-15	885296	879443	889444-85	B-8	879527	879443	884178	B-21	885349	879443	889444-80
B-16	885296	879443	889444-85	B-9	888248	879443	884178	B-22	885312	879443	889444-80
B-17	888250	879443	889444-80					B-23	885312	879443	889444-85
B-18	888250	879443	889444-80	COMPONENT LIST COLUMN C-6				COMPONENT LIST COLUMN A-30			
A-25	885351	879443	889444-80	REF	ARM	KICKER	SADDLE	REF	ARM	MOUNT	SADDLE
A-26	885688	879443	885683-85	B-10	879527	879443	884178	A-30	-	885285	885683-85
A-27	885351	879443	885683-85	B-11	888248	879443	889373				
A-28	885324	879443	885683-85								
A-29	885312	879443	885683-85								



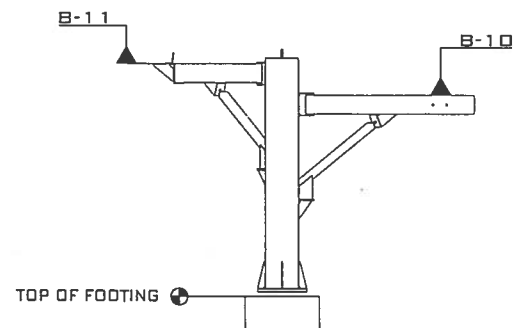
4
10 ELEVATIONS AT C-7
SCALE NONE

5
10 ELEVATIONS AT A-30
SCALE NONE



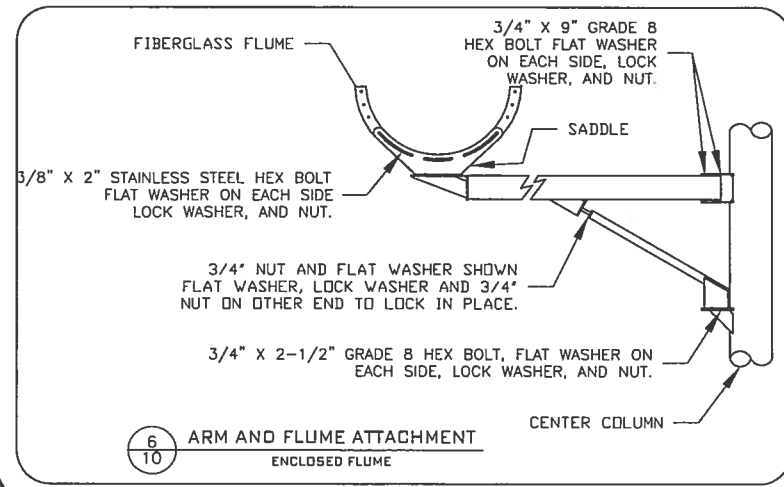
2
10 ELEVATIONS AT C-5
SCALE NONE

FUTURE



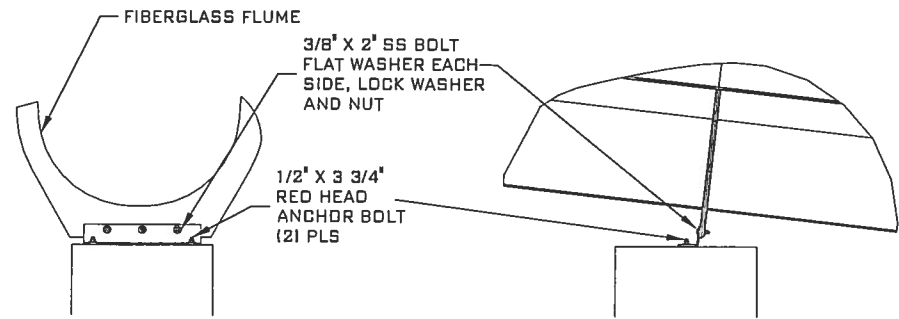
3
10 ELEVATIONS AT C-6
SCALE NONE

FUTURE

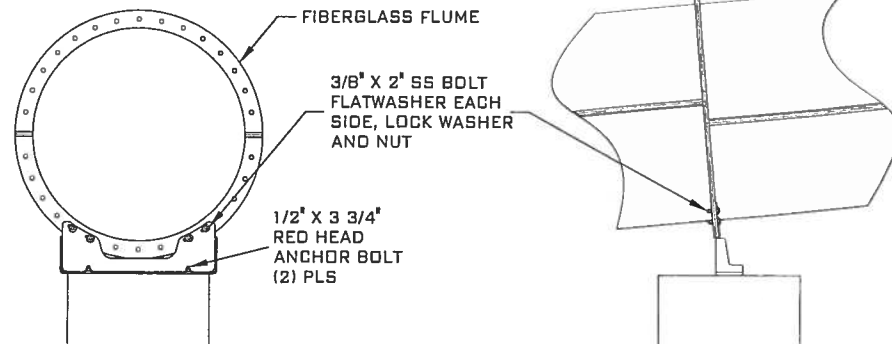


6
10 ARM AND FLUME ATTACHMENT
ENCLOSED FLUME

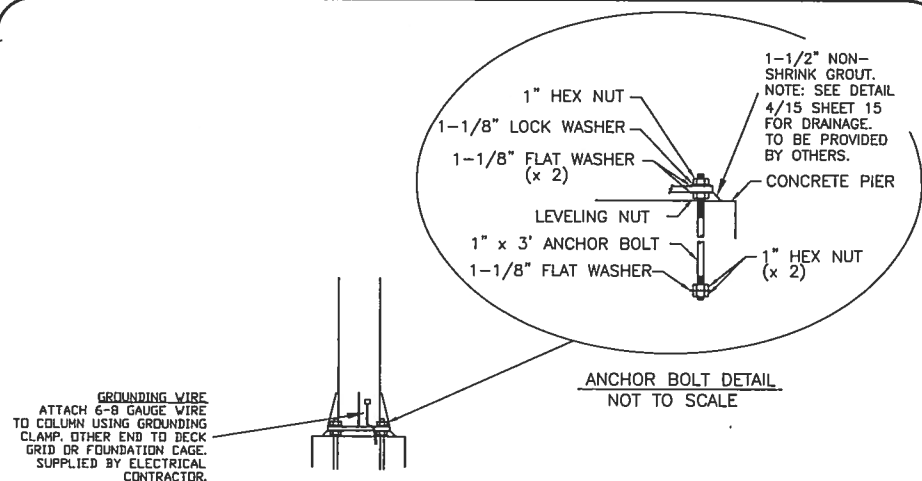
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FLUME SUPPORT AND DETAILS (PG 10 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		REV: B
MODEL #: RT322564R	PROJECT #: JW0278J	



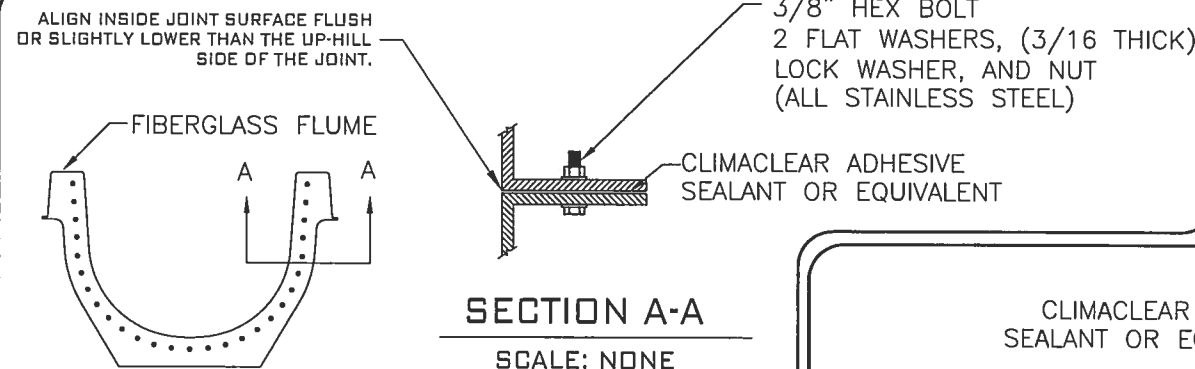
1
11 FLUME ATTACHMENT @ B-1 THRU B-5
SCALE: NONE



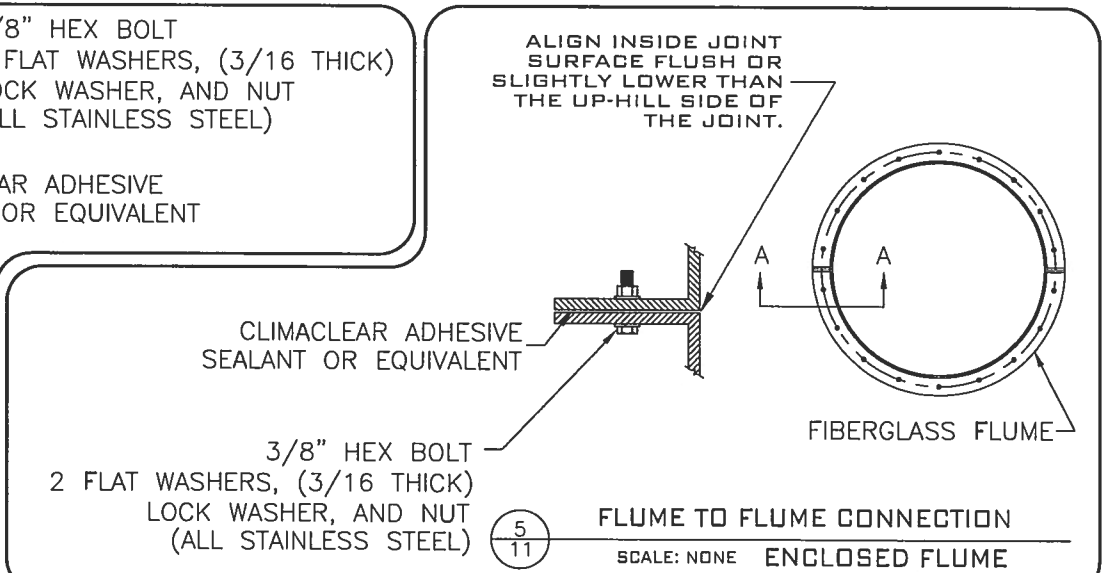
2
11 FLUME ATTACHMENT @ A-1 THRU A-5
SCALE: NONE



3
11 SINGLE WRAP COLUMN @ C-1 THRU C-7, A-30, B-12
SCALE: NONE

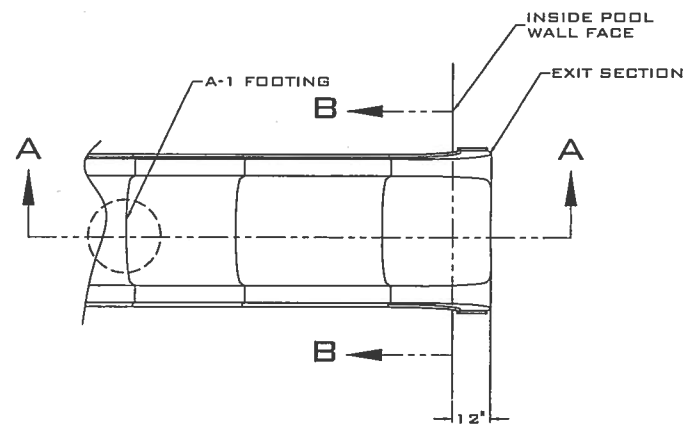


4
11 FLUME TO FLUME CONNECTION
SCALE: NONE OPEN FLUME

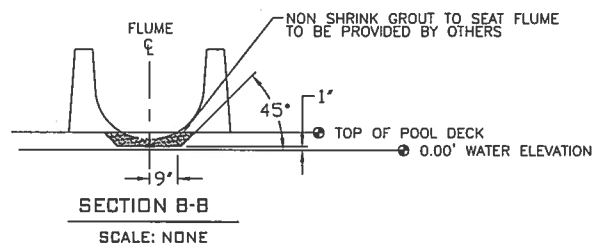


5
11 FLUME TO FLUME CONNECTION
SCALE: NONE ENCLOSED FLUME

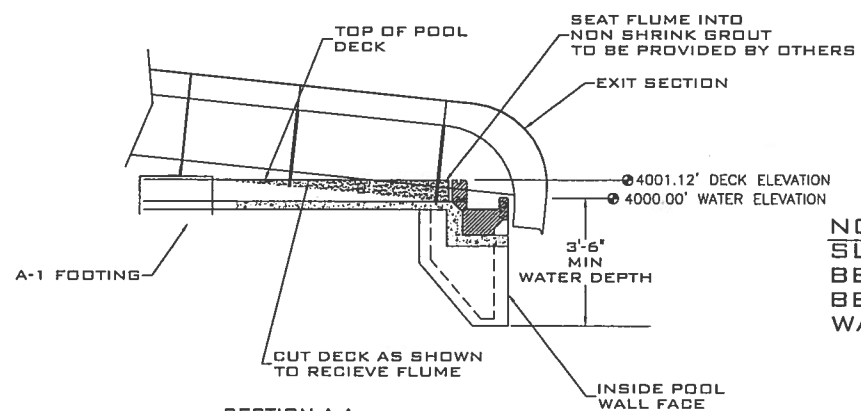
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO FLUME SUPPORT AND DETAILS (PG 11 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		REV: B
MODEL #: RT322564R	PROJECT #: JW0278K	



1
12 EXIT PLAN VIEW
SCALE NONE

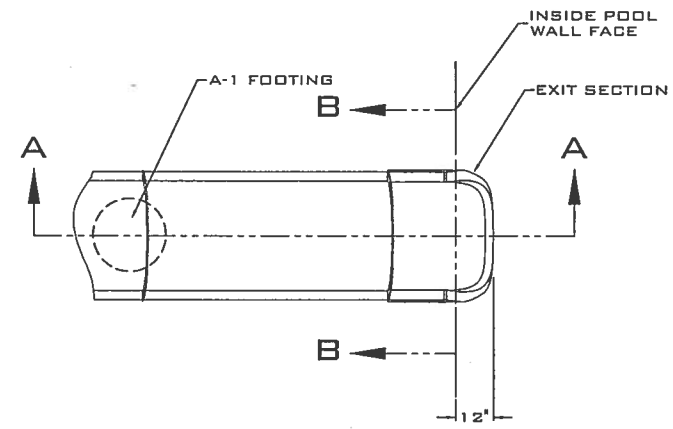


SECTION B-B
SCALE: NONE

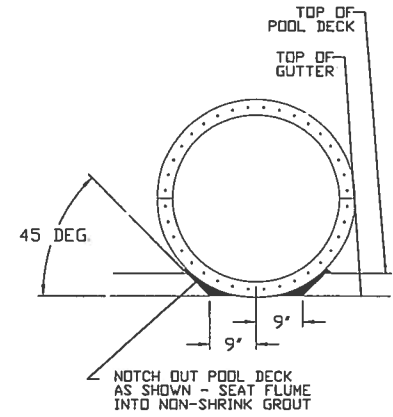


SECTION A-A
SCALE NONE

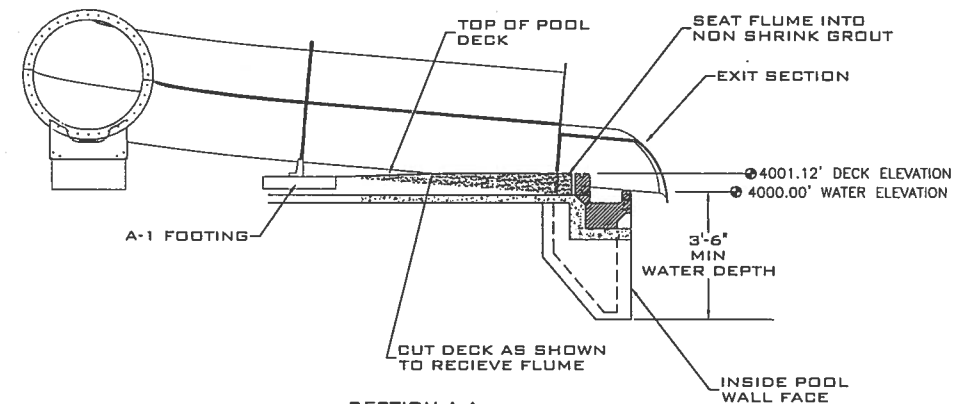
NOTE:
SLIDE MUST EXIT
BETWEEN 0" AND 2"
BELOW STATIC
WATER LEVEL.



1
9 EXIT PLAN VIEW
SCALE NONE





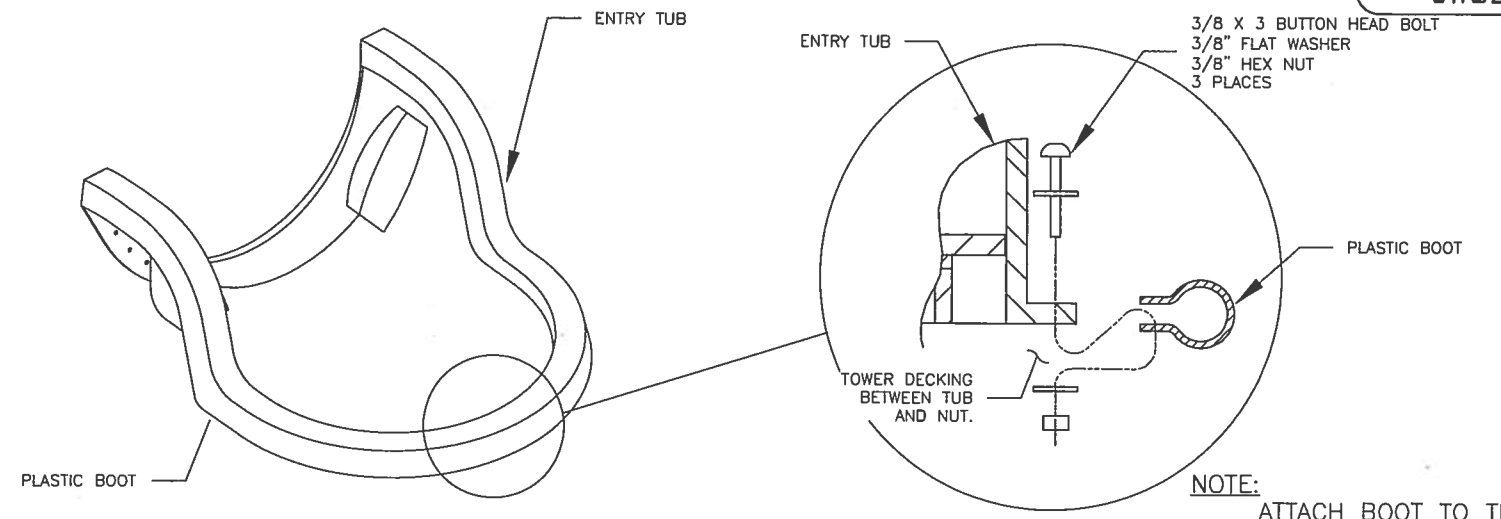
SECTION B-B
SCALE NONE



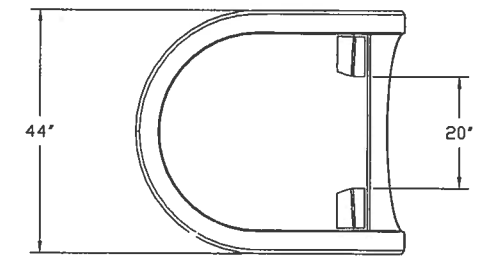
SECTION A-A
SCALE NONE

NOTE:
SLIDE MUST EXIT
BETWEEN 0" AND 2"
BELOW STATIC
WATER LEVEL.

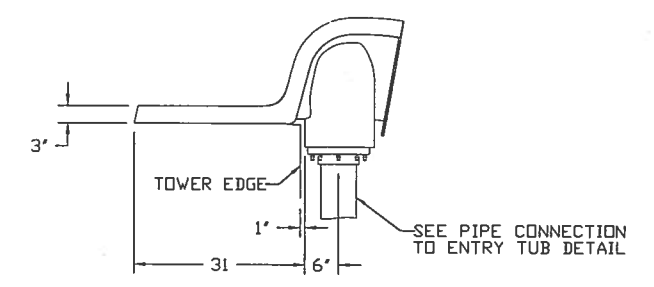
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO FLUME TERMINUS DETAIL (PG 12 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278L	REV: B
MODEL #: RT322564R		PROJECT #: JW0278L	



NOTE:
 ATTACH BOOT TO THE OUTER EDGE OF ENTRY TUB. DRILL HOLE THROUGH EDGE OF TUB AND ONE SIDE OF BOOT AS SHOWN. BOLT WILL EXTEND THROUGH THE DECKING.



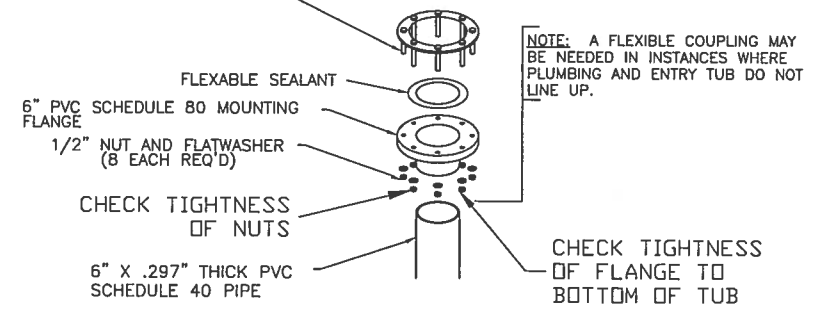
ENTRY TUB PLAN VIEW



1/13 ENTRY TUB ELEVATION VIEW

NOTE: FLANGE IS ASSEMBLED TO THE ENTRY TUB AT THE FACTORY. PLEASE TIGHTEN BOLTS HOLDING FLANGE ON

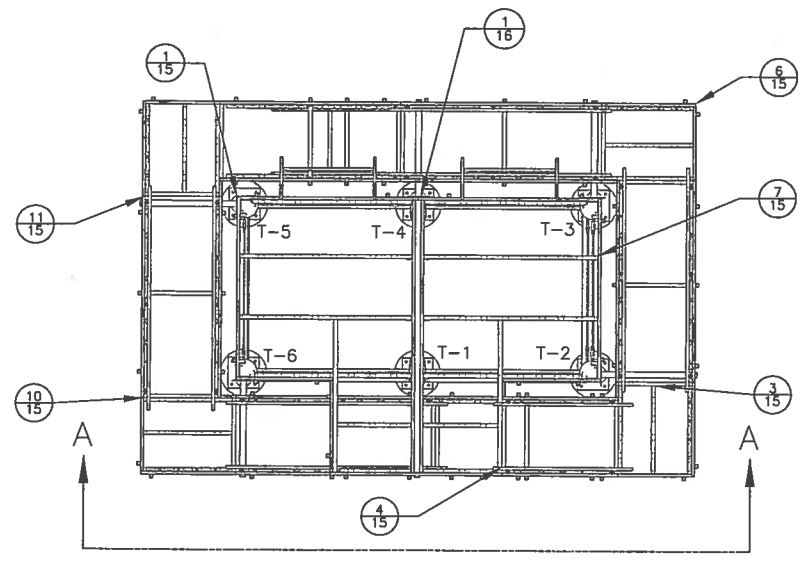
STAINLESS STEEL FLANGE ASSEMBLY IS LAMINATED INTO ENTRY TUB AT THE FACTORY. RING IS COMPLETELY SURROUNDED BY FIBERGLASS AND RESIN WITH BOLTS PROTRUDING FROM BOTTOM SIDE OF TUB



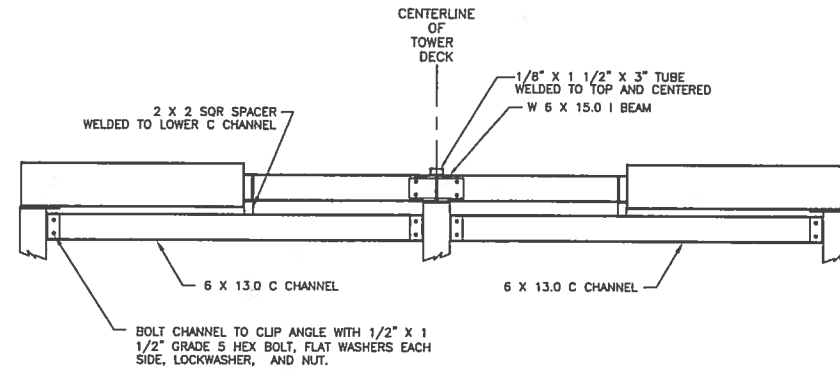
NOTE: A FLEXIBLE COUPLING MAY BE NEEDED IN INSTANCES WHERE PLUMBING AND ENTRY TUB DO NOT LINE UP.

2/13 PIPE CONNECTION @ ENTRY TUB
 NO SCALE

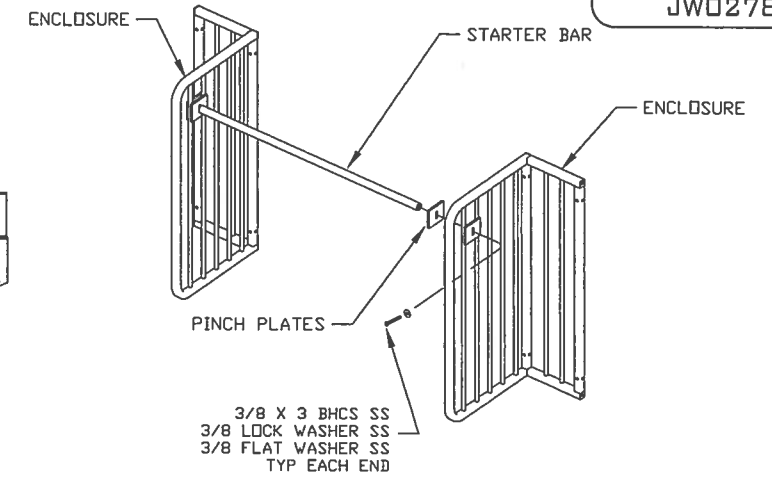
	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO PLUMBING SCHEMATIC DETAIL (PG 13 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		REV: B
MODEL #: RT322564R	PROJECT #: JW0278M	REV: B



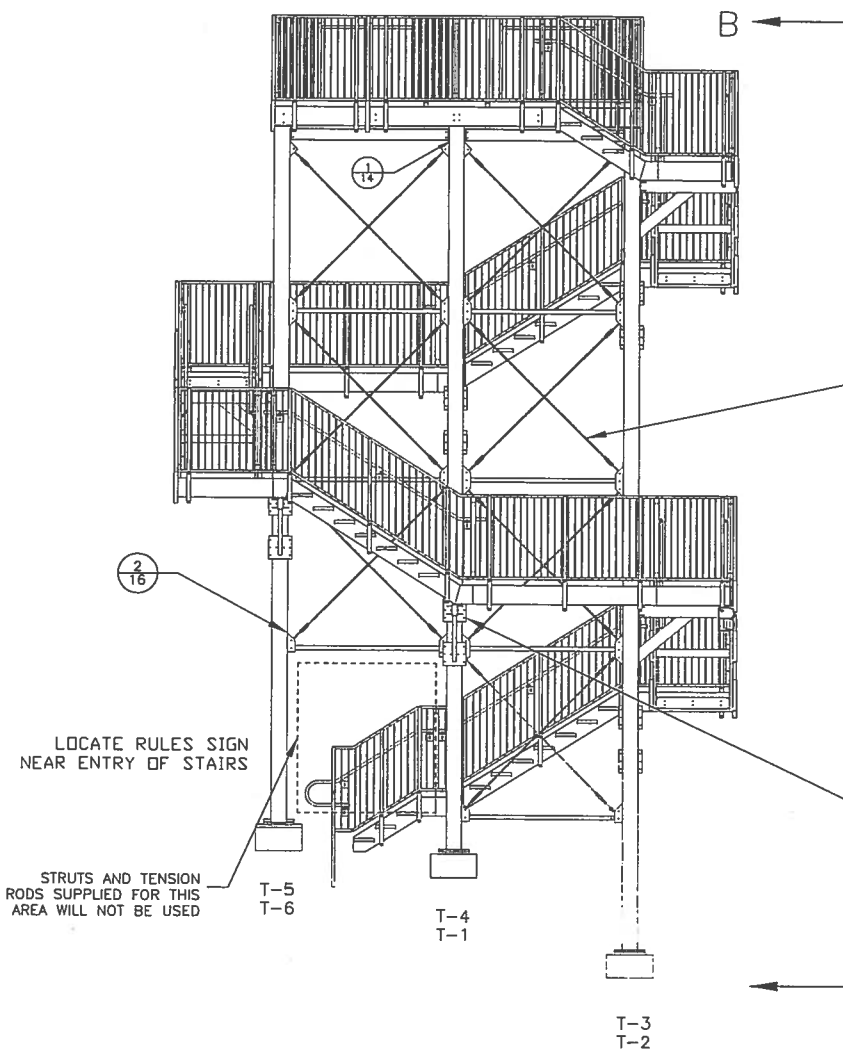
STAIR AND TOWER PLAN VIEW OF STRUCTURAL FRAMEWORK



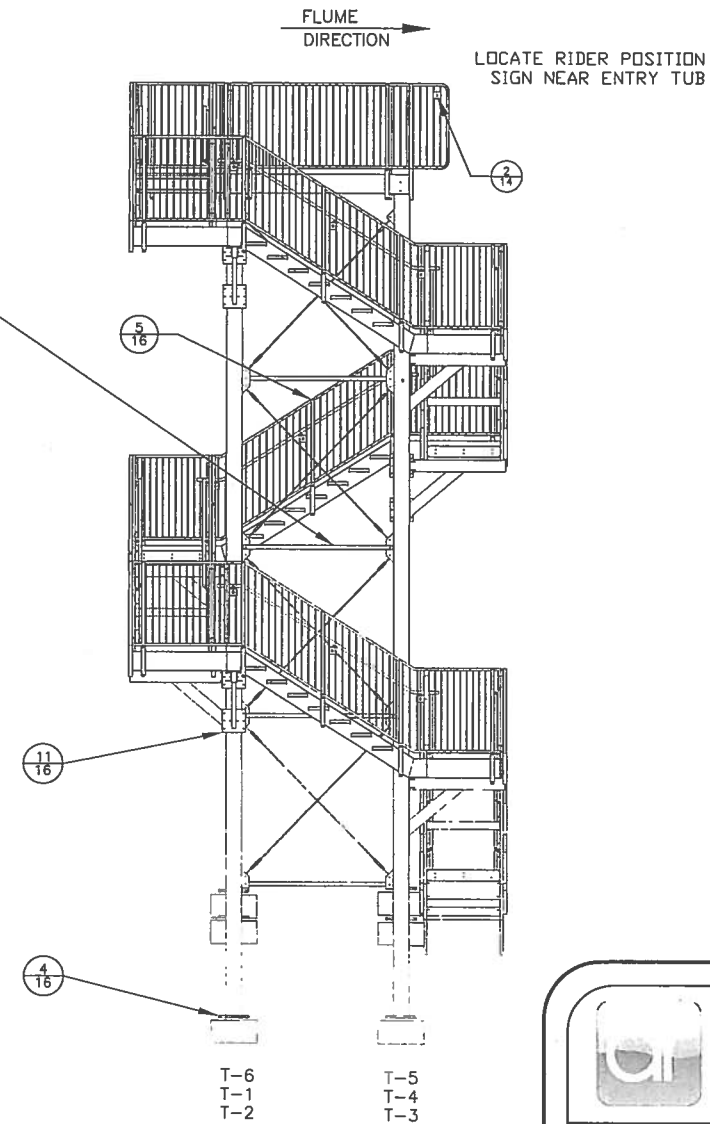
1
14 STAIR CHANNEL SUPPORT DETAIL



2
14 ENTRY TUB ENCLOSURE AND STARTER BAR DETAIL



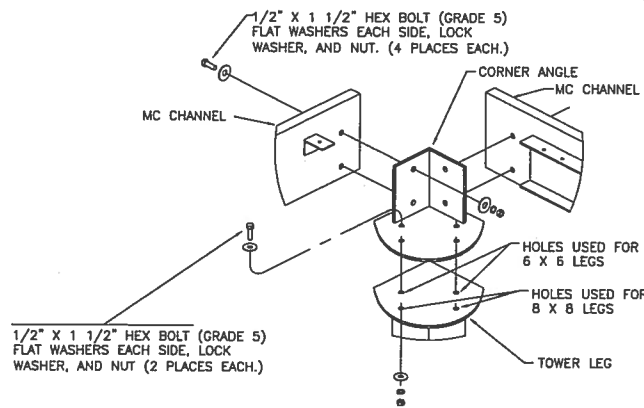
ELEVATION A-A



ELEVATION B-B

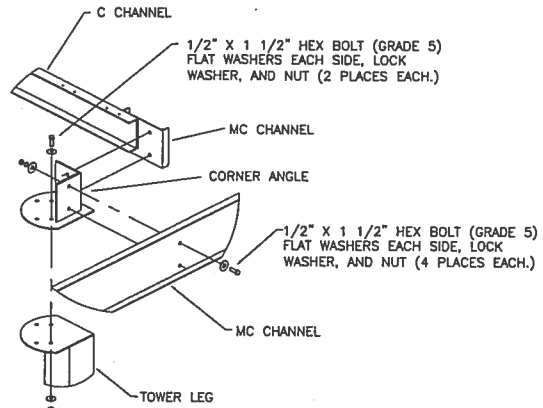
CROWN, STAIR & LANDING SCHEDULE (TOP DOWN)		
REF	PART NUMBER	DESCRIPTION
1	887170	DBL CROWN PKG 38"
2	886509	4R-4T STAIR PKG 38"
3	886467	LANDING PKG 38" CCW
4	886437	8R-8T STAIR PKG 38"
5	886951	LANDING PKG 94.5" X 38"
6	886467	LANDING PKG 38" CCW
7	886437	8R-8T STAIR PKG 38"
8	886467	LANDING PKG 38" CCW
9	886437	8R-8T STAIR PKG 38"
10	886951	LANDING PKG 94.5" X 38"
11	886467	LANDING PKG 38" CCW
12	886437	8R-8T STAIR PKG 38"
13	886467	LANDING PKG 38" CCW
14	886437	8R-8T STAIR PKG 38"
15	886533	4R-3T STAIR 38" WIDE

	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561	
	LOCATION: GRAND JUNCTION, CO TOWER ELEVATIONS (PG 14 OF 16)	
DRAWN BY: M L CHAPPELL APR 15, 2008		PROJECT #: JW0278N REV: B
MODEL #: RT322564R		PROJECT #: JW0278N REV: B



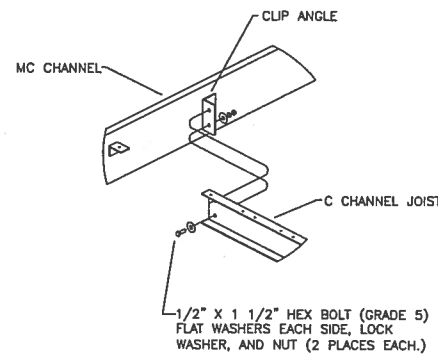
CORNER BOLTING DETAIL

1/12



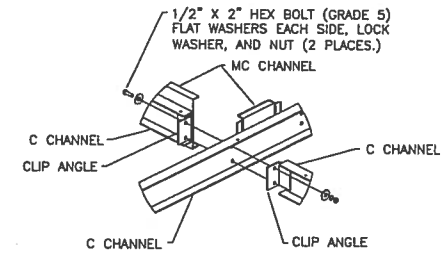
CORNER BOLTING DETAIL (1 PLACE)

2/12



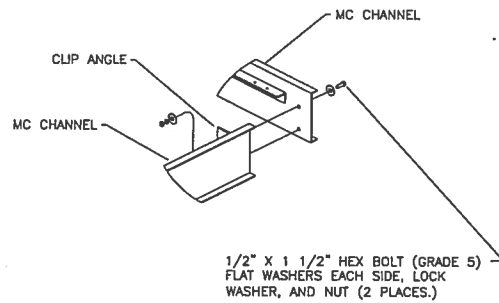
JOIST BOLTING DETAIL

3/12



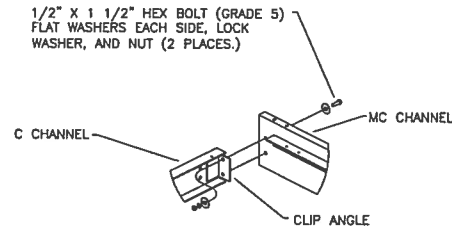
CONNECTION DETAIL AT CROWN LANDING

4/12



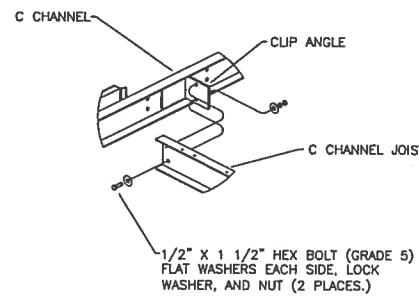
CORNER BOLTING DETAIL

5/12



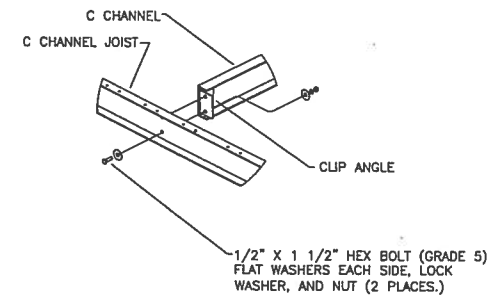
CROWN LANDING CORNER BOLTING DETAIL

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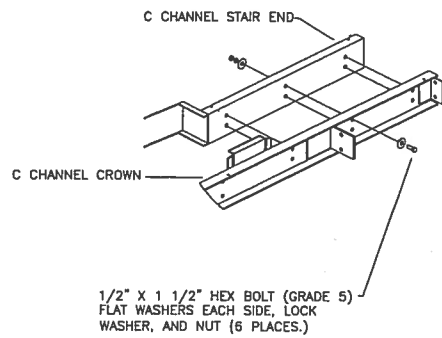
CROWN LANDING JOIST BOLTING DETAIL

7/12



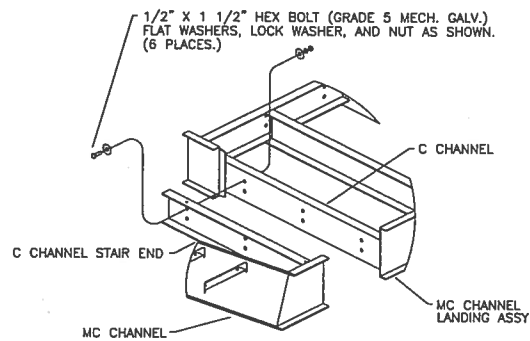
JOIST BOLTING DETAIL

8/12



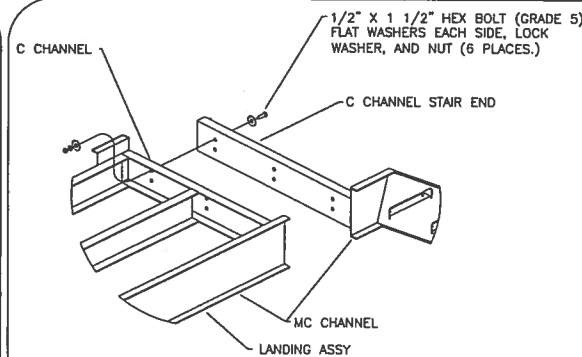
STAIR END CHANNEL BOLTED TO CROWN CHANNEL DETAIL

9/12



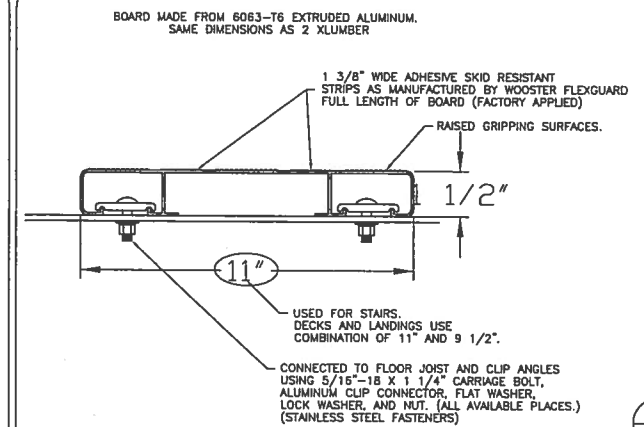
BOLTING DETAIL BOTTOM OF STAIR

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BOLTING DETAIL TOP OF STAIR

11/12



DECK FASTENING DETAIL

12/12



AQUA RECREATION
 13620 EAST REESE BLVD, SUITE 300
 HUNTERSVILLE, NC 28078
 PHONE 704.875.6550 - FAX 704.875.6561



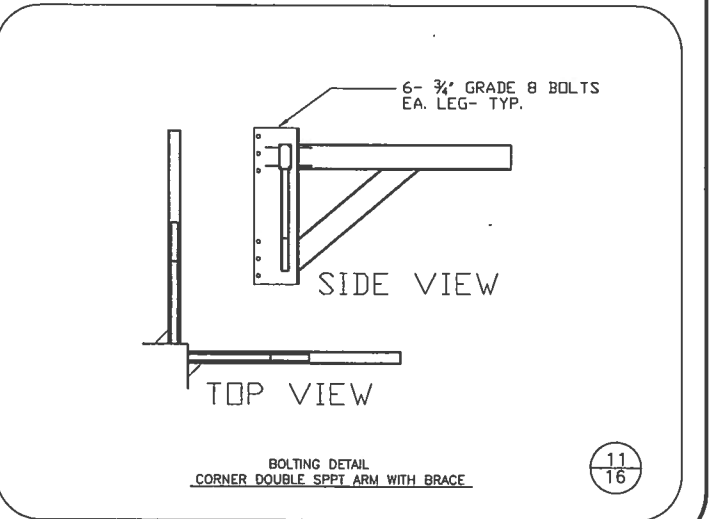
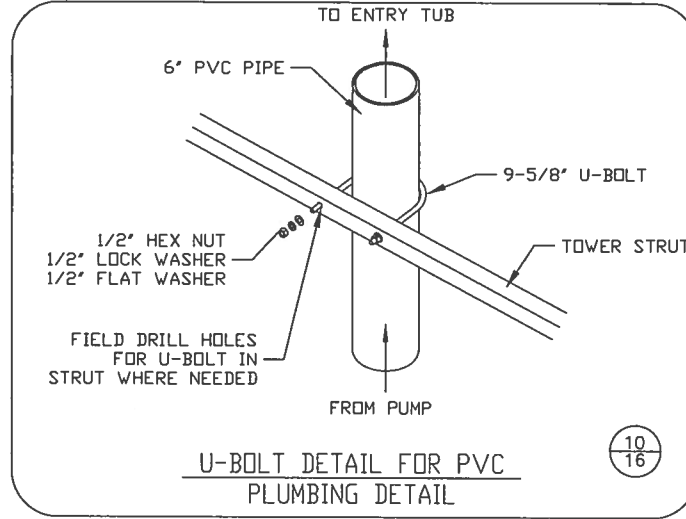
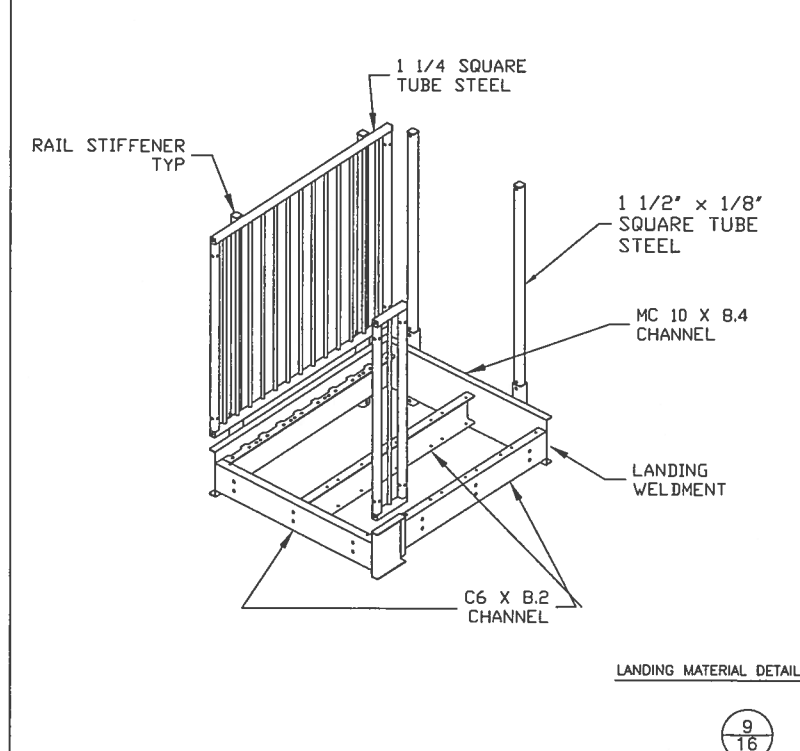
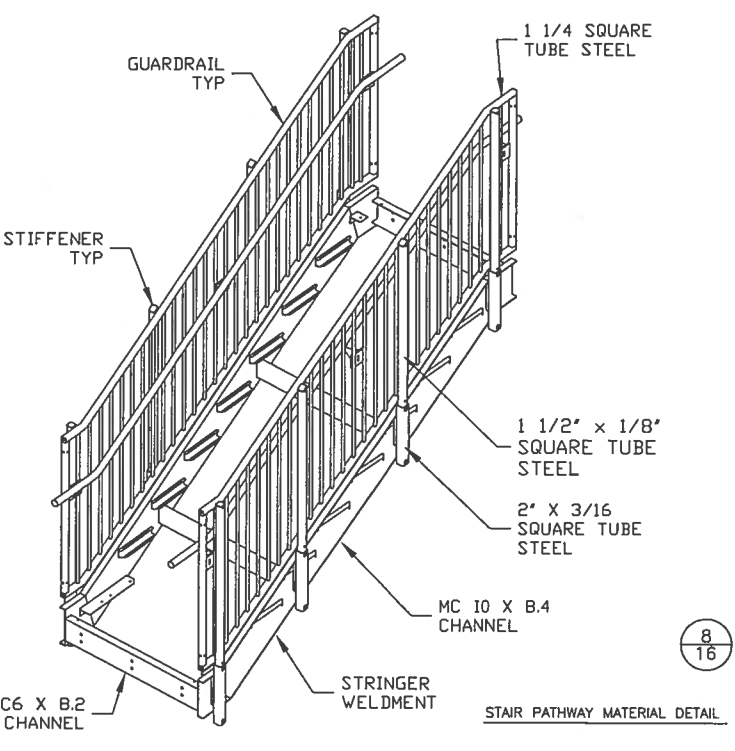
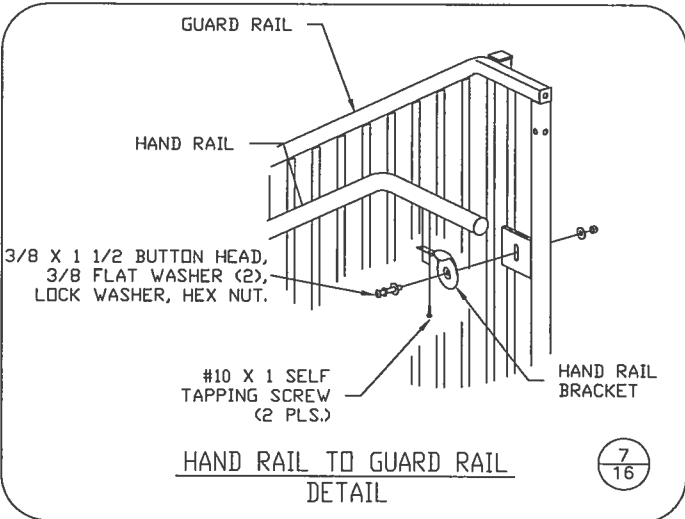
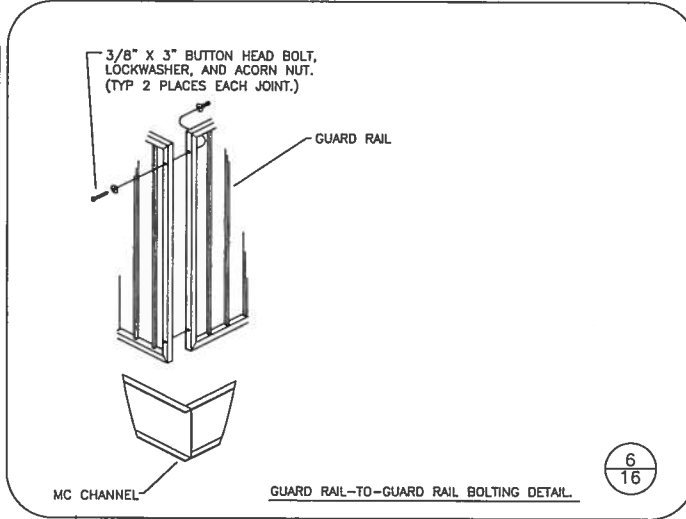
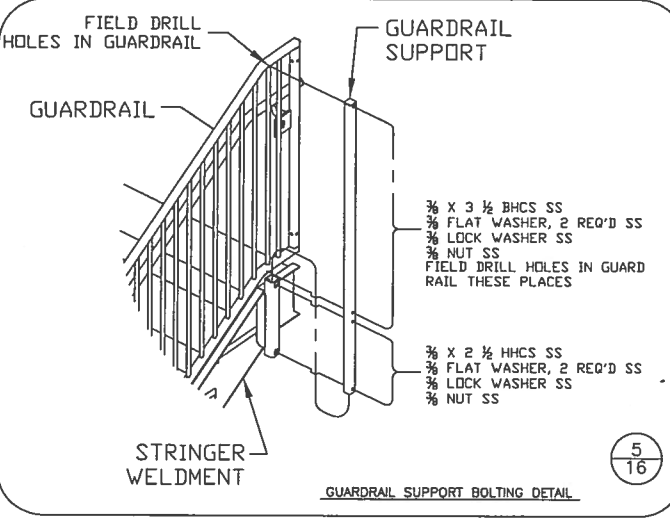
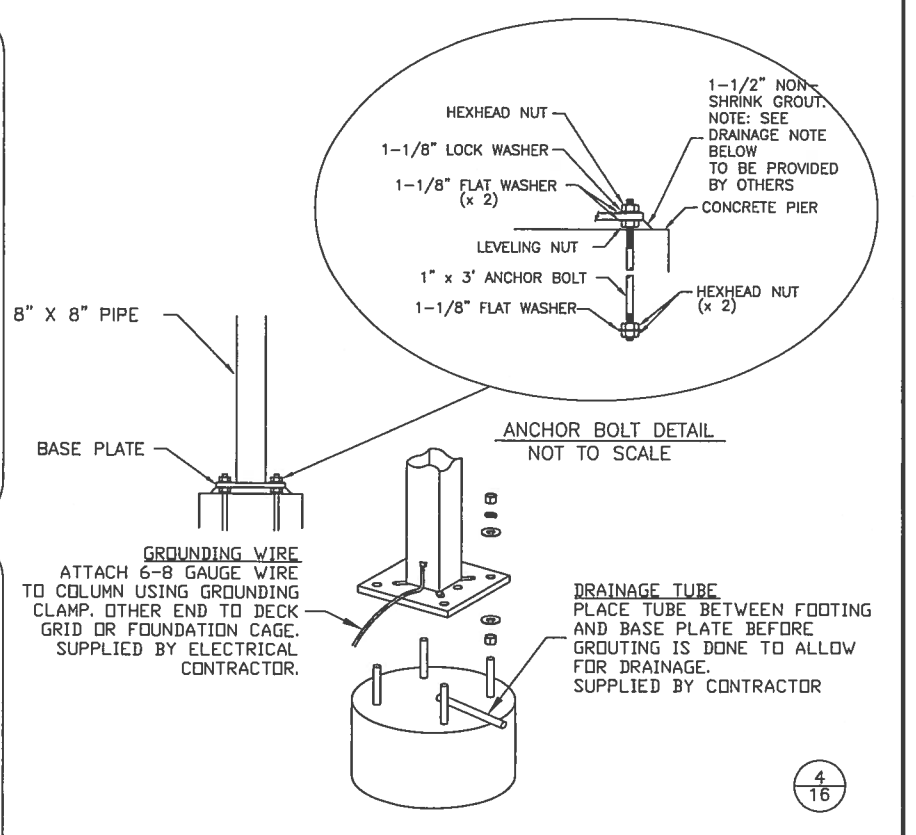
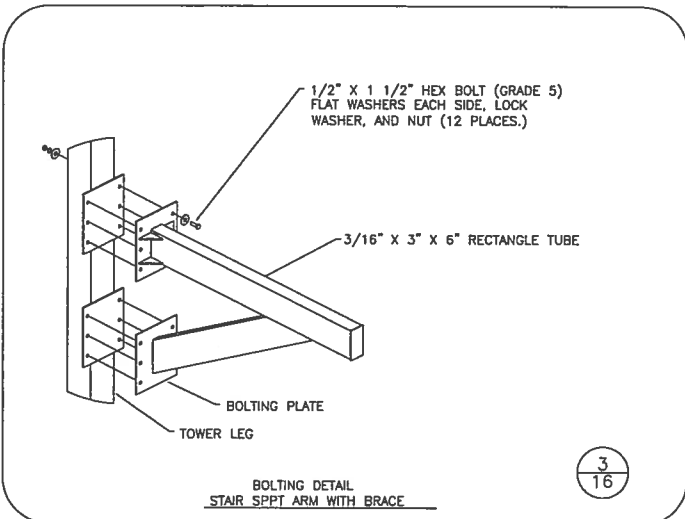
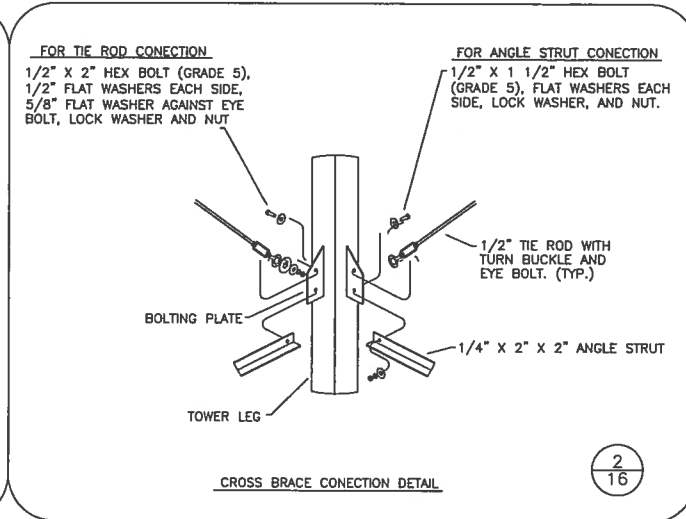
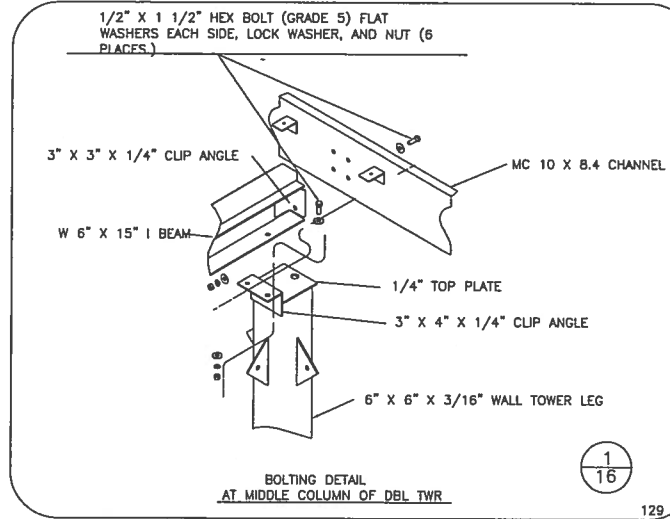
LOCATION: GRAND JUNCTION, CO
 TOWER DETAILS (PG 15 OF 16)

DRAWN BY: M L CHAPPELL
 APR 15, 2008

MODEL #: RT322564R

PROJECT #: JW02780

REV: B



	AQUA RECREATION 13620 EAST REESE BLVD, SUITE 300 HUNTERSVILLE, NC 28078 PHONE 704.875.6550 - FAX 704.875.6561		
	LOCATION: GRAND JUNCTION, CO TOWER DETAILS (PG 16 OF 16)		
DRAWN BY: M L CHAPPELL APR 15, 2008		MODEL #: RT322564R	PROJECT #: JW0278P
		REV: B	



