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**PLANNING COMMISSION AGENDA
IN-PERSON/VIRTUAL HYBRID MEETING
CITY HALL AUDITORIUM, 250 N 5th STREET
MONDAY, SEPTEMBER 29, 2025 - 5:30 PM**
Attend virtually: bit.ly/GJ-PC-09-29-25

Call to Order - 5:30 PM

Consent Agenda

1. Minutes of Previous Meeting(s)

Regular Agenda

1. Consider Amending Sections of the Zoning and Development Code (Title 21 of the Grand Junction Municipal Code) Regarding Zone Districts and Dimensional Standards, Use Standards, Off-Street Parking, and Measurements and Definitions

Other Business

Adjournment

**GRAND JUNCTION PLANNING COMMISSION
July 8, 2025, 5:30 PM
MINUTES**

The meeting of the Planning Commission was called to order at 5:30 p.m. by Chairman Ken Scissors.

Those present were Planning Commissioners; Andrew Teske, Shanon Secrest, Robert Quintero, Sandra Weckerly, Orin Zyvan, and Ian Moore.

Also present were Jamie Beard (Assistant City Attorney), Niki Galehouse (Planning Manager), Daniella Acosta Stine (Principal Planner), Thomas Lloyd (Senior Planner), and Madeline Robinson (Planning Technician).

There were 21 members of the public in attendance, and 1 virtually.

CONSENT AGENDA

1. Approval of Minutes

Minutes of Previous Meeting(s) from June 10, 2025.

Commissioner Secrest moved to approve the Consent Agenda.

Commissioner Zyvan seconded; motion passed 7-0.

REGULAR AGENDA

1. Dual Immersion Academy ROW Vacation

VAC-2025-203

Consider a request by the City of Grand Junction to vacate 4,000 square feet of a 20-foot-wide alley right-of-way between Riverside Parkway and West Main Street while reserving the westernmost 190.00 feet as a utility easement and the easternmost 10.00 feet as a multipurpose easement.

Staff Presentation

Daniella Acosta Stine, Principal Planner, introduced exhibits into the record and provided a presentation regarding the request.

Questions for Staff

No questions from commissioners to staff.

Public Hearing

The public comment period was opened at 5:00 p.m. on Tuesday, July 1, 2025, via www.GJSpeaks.org.

There were no comments from the public either in attendance or online.

The public comment period was closed at 5:39 p.m. on July 8, 2025.

The Public Hearing was closed at 5:40 p.m. on July 8, 2025.

Discussion

No discussion occurred.

Motion and Vote

Commissioner Quintero made the following motion “Mr. Chairman, on the request to vacate 4,000 square feet of a 20-foot-wide alley public right-of-way – while retaining a utility easement over the westernmost 190.00 feet and a multipurpose easement over the easternmost 10.00 feet of the vacated areas as set forth in the attached description and sketch, City file number VAC-2025-203, located near the Dual Immersion Academy between Riverside Parkway and West Main Street – I move that the Planning Commission forward a recommendation of approval to City Council with the finding of fact and conditions as listed in the staff report.”

Commissioner Secrest seconded; motion passed 7-0.

2. East Middle School Rezone

RZN-2025-246

Consider a request by Mesa County Valley School District 51, Property Owner, to rezone a total of 3 acres from RM-8 (Residential Medium 8) to P-2 (Public, Civic, and Institutional Campus), located at 830 Gunnison Avenue.

Staff Presentation

Thomas Lloyd, Senior Planner, introduced exhibits into the record and provided a presentation regarding the request.

Questions for Staff

Commissioner Weckerly asked about the maximum density in the P-2 zone district. Staff responded with there is no maximum density in the P-2 zone district. Weckerly continued that if MU-1 zoning had been requested it would impact the area more than with the requested zone district of P-2.

Commissioner Moore asked about the set plans for the applicant, and that the petition is more about opening their options for the future for the property. Staff responded that the set plans would not be a part of the rezoning process but would be addressed later at a site plan review process.

Mark Austin went to the public podium as the representative for the School District and explained that the School District is trying to conduct more office and administrative type uses, which currently is not allowed at this location with its existing zone district of RM-8.

Commissioner Quintero asked about the status of the building and remodels that could occur to the building. Austin replied that there are some interior remodels occurring and some access points may change, as well as some adjacent street improvements.

Public Hearing

The public comment period was opened at 5:00 p.m. on Tuesday, July 1, 2025, via www.GJSpeaks.org.

There were no comments from the public in attendance. The online attendee left the webinar.

The public comment period was closed at 6:07 p.m. on July 8, 2025.

The Public Hearing was closed at 6:09 p.m. on July 8, 2025.

Discussion

Discussion ensued about which other zone districts could have been chosen, instead of the P-2 by Commissioner Zyvan. Commissioner Secrest made comment about the school district doing a service to the community by utilizing the property more and is in favor of petition.

Motion and Vote

Commissioner Secrest made the following motion “Mr. Chairman, on the Rezone request for the property located at 830 Gunnison Avenue, City file number RZN-2025-246, I move that the Planning Commission forward a recommendation of approval to City Council with the finding of fact as listed in the staff report.”

Commissioner Quintero seconded; motion passed 7-0.

3. East Middle School Alley Vacation

VAC-2025-245

Consider a request by Mesa County Valley District 51 to vacate 7,772 square feet of a 20-foot-wide alley right-of-way located at 830 Gunnison Avenue between N 8th Street and the vacated N 9th St right-of-way adjacent to Washington Park.

Staff Presentation

Thomas Lloyd, Senior Planner, introduced exhibits into the record and provided a presentation regarding the request.

Questions for Staff

Commissioner Teske asked about clarification on the first condition referencing the vacation would not affect the public sewer line. Staff confirmed that a sanitary sewer easement would be granted to the City to help with the maintenance of the sewer line. Representative Mark Austin made himself available for any questions Commissioners may have.

Public Hearing

The public comment period was opened at 5:00 p.m. on Tuesday, July 1, 2025, via www.GJSpeaks.org.

There were no comments from the public.

The public comment period was closed at 6:18 p.m. on July 8, 2025.

The Public Hearing was closed at 6:19 p.m. on July 8, 2025.

Discussion

Discussion ensued questioning the two conditions that were included in the proposed motion by Commissioner Zyvan. Planning Manager Niki Galehouse answered that there was language in the motion that included those items.

Motion and Vote

Commissioner Quintero made the following motion “Mr. Chairman, on the request to vacate 7,772 square feet of a 20-foot-wide alley public right-of-way, City file number VAC-2025-245, located at 830 Gunnison Avenue – I move that the Planning Commission forward a recommendation of approval to City Council with the findings of fact and conditions as listed in the staff report.”

Commissioner Secrest seconded; motion passed 7-0.

4. 2426 G Road Rezone

RZN-2025-138

Consider a request by 2426 G Road LLC, property owner, to rezone approximately 4.33 acres from RL-4 (Residential Low 4) to RM-12 (Residential Medium 12), located at 2426 G Road.

Staff Presentation

Daniella Acosta Stine, Principal Planner, introduced exhibits into the record and provided a presentation regarding the request.

Questions for Staff

Commissioner Weckerly asked about the surrounding PD zone district and what underlying zone district was used for its implementation. Staff advised they could not find the underlying zone district and its associated ordinance. More research needed to be done. Weckerly continued her comments that it looked like the PD was developed with RM-8 zone district standards.

Applicant Brooks Cowles III made a small presentation about his company and overall goal for the property.

Public Hearing

The public comment period was opened at 5:00 p.m. on Tuesday, July 1, 2025, via www.GJSpeaks.org.

Kasey Watts made a comment about the underlying zone district that was used for the PD zone district of Spanish Trails needs to be confirmed. Also made concerns about traffic congestion on G Road and limited parking for Canyon View Park. Further felt that the property values of Spanish Trails will decline with this new development.

Kay Yeager agreed with previous comments made. Further elaborated on the roads not being able to handle the proposed traffic that will incur. Also stated that the current homeowners' views will be obstructed. Felt low residential and single-family homes would be encouraged and embraced for development, but not multi-family.

Deena Daniels (sp) commented that with events at Canyon View Park, when Caprock Academy is in session, and when the Church has services, the traffic is chaotic on G Road. She is not for this development.

Kimberly Carroll is in agreeance with previous comments made and not for this development. The developer knew the zoning of the property was RL-4 when they bought it.

Sydney Swaim is also in agreement with previous comments made referencing traffic. She has concerns about what other access points this property would have other than G Road.

Kay Yeager came back to the podium and made further comments that there is a small representation of her neighborhood present tonight, but more of her neighbors are opposed to this development and the rezoning of it.

Ivan Geer, applicant's representative with River City Consultants, made comments on how the traffic will be addressed with the development. Clarified that apartments would not be built but attached townhomes. Commissioner Secrest asked Geer about the height restriction that would be implemented. Geer responded that it would be restricted by the zone district.

The public comment period was closed at 7:03 p.m. on July 8, 2025.

The Public Hearing was closed at 7:07 p.m. on July 8, 2025.

Discussion

Discussion ensued about the public's concerns by Commissioner Quintero, saying that he had the same concerns that have been stated by members of the public when his neighborhood was seeing more development, but a lot of those concerns have not come to fruition.

Commissioner Moore thanked the public for attending tonight's meeting, but the Planning Commission deals more with the development of the valley and how it meets the Grand Junction's plan and its utilities. A traffic study would probably need to be conducted for the traffic concern.

Commissioner Weckerly made comments that it is not their decision to automatically agree with the developer. Looking at the surrounding neighborhood, it looks to be RM-8 and the proposed attached townhomes are a good product but also had concerns for the congested traffic seen on G Road.

Trent Prall, Engineering and Transportation Director, made comment about the concerns with G Road and the public parking that occurs within the Spanish Trail Subdivision. An estimated 400

trips a day would be added to G Road with this development, an increase of about 4-5%. The city also has further plans to improve surrounding roads to this development.

Commissioner Weckerly asked an additional question referring to the ingress and egress to the property. Staff commented that the decision made about the ingress and egress would be made during the site plan review, not at the rezone stage.

Commissioner Secrest asked staffed about any additional drainage requirements. Staff responded that the decision would also need to be met at the site plan review stage.

Commissioner Scissors also thanked the public for attending tonight's meeting and expressing their concerns. The traffic concerns though would be addressed at a different stage in this development; tonight's decision is addressing the rezoning of the property and meeting the Comprehensive Plan requirements.

Commissioner Weckerly made a comment that the height restriction in RL-4 is 40 feet and that with RM-8 the height restriction is 50 feet. More than likely the proposed development would be around 50 feet.

Commissioner Secrest stated that as a developer many of the public's concerns are thought about when a development occurs, and as a planning commissioner they look at other aspects of the development meeting the code and comprehensive plan the city has put in place.

Commissioner Zyvan made a comment that with this development would help with multi-modal modes of transportation.

Motion and Vote

Commissioner Secrest made the following motion "Mr. Chairman, on the Rezone request for the property located at 2426 G Road, City file number RZN-2025-138, I move that the Planning Commission forward a recommendation of approval to City Council with the findings of fact as listed in the staff report."

Commissioner Zyvan seconded; motion passed 6-0.

OTHER BUSINESS

Niki Galehouse requested that the Commissioners elect two members to serve on a 'Housing Affordability Code Task Force' that is being created.

Commissioner Weckerly and Commissioner Quintero volunteered to fill these roles.

ADJOURNMENT

Commissioner Quintero made a motion to adjourn the meeting.
The vote to adjourn was 7-0.

The meeting adjourned at 7:40 p.m.



Grand Junction Planning Commission

Regular Session

Item #1.

Meeting Date: September 29, 2025

Presented By: Daniella Acosta, Principal Planner, Tim Lehrbach, Principal Planner

Department: Community Development

Submitted By: Daniella Acosta Stine, Principal Planner
Tim Lehrbach, Principal Planner

Information

SUBJECT:

Consider Amending Sections of the Zoning and Development Code (Title 21 of the Grand Junction Municipal Code) Regarding Zone Districts and Dimensional Standards, Use Standards, Off-Street Parking, and Measurements and Definitions

RECOMMENDATION:

Staff recommends approval of this request.

EXECUTIVE SUMMARY:

There is a desire within the development community and among staff to achieve greater flexibility in allowed residential uses and to preserve and promote context-sensitive design across development types, specifically by expanding the range of housing types allowed in medium- and high-density residential zone districts, introducing new design standards for certain housing forms in these districts, and modifying dimensional standards including minimum setback requirements. If adopted, the amendment will:

- Reduce minimum front setback requirements in Residential Medium 8 (RM-8), Residential Medium 12 (RM-12), Residential High 16 (RH-16), Residential High 24 (RH-24), Mixed-Use Neighborhood (MU-1), Mixed-Use Light Commercial (MU-2), and Commercial General (CG), including an opt-in (with associated design requirements) to reduce to 0 feet in all of these except RM-8.
- Consolidate side, street side, and rear setbacks into a uniform “All Others” setback in most districts equal to the existing side setback for each.
- Establish maximum lot sizes and widths and maximum building heights for single-unit detached and duplex dwellings in certain zone districts.
- Allow single-unit detached dwellings in RM-12, RH-16, and RH-24.
- Allow duplex dwellings in RH-16 and RH-24.

- Allow accessory dwelling units (ADUs) in RH-16, RH-24, MU-1, and Public, Civic, and Institutional Campus (P-2) (ADUs must be allowed where single-unit detached dwellings are allowed per State Law).
- Align accessory dwelling unit setback and parking requirements with State Law.

These changes are intended to support housing diversity, ensure that lower-intensity housing types in higher-density districts are designed to complement their surroundings, and enable more efficient use of land and infrastructure. The amendment also positions the City to comply with State housing and accessory dwelling unit mandates, meet Proposition 123 housing production goals, and continue implementing the Comprehensive Plan's vision for appropriately scaled, connected, and livable neighborhoods.

There are additional minor changes to the Zoning and Development Code intended to improve readability and consistency and to resolve a contradiction between the measurement of lot coverage and its definition.

BACKGROUND OR DETAILED INFORMATION:

BACKGROUND

The Comprehensive Plan emphasizes housing diversity, infill development, efficient use of existing infrastructure, and neighborhood livability. While medium- and high-density residential zone districts (RM-12, RH-16, RH-24) are primarily intended for single-unit attached and multi-unit housing, the Comprehensive Plan recognizes that a mix of housing types can contribute to successful neighborhoods. Likewise, the RM-8 zone district presents options for infill development and redevelopment, which must be appropriate to both new and established neighborhoods. MU-1, MU-2, and CG, which predominantly support multi-unit, mixed-use, and commercial development, provide opportunities for innovative urban design in neighborhood and regional centers and along major corridors, which should be maximized by removing barriers to development that accords with the Comprehensive Plan.

The proposed amendment responds to multiple factors:

- **Housing Supply and Flexibility** – By allowing single-unit detached dwellings in RM-12, RH-16, and RH-24 zone districts, and duplex dwellings in RH-16 and RH-24 districts, and by reducing, consolidating, and eliminating setback requirements, the code facilitates a broader range of housing choices in higher-density settings. These changes are particularly valuable for infill sites where market conditions or financing realities favor smaller-scale building types.
- **State Housing Legislation** – In May 2024, the Colorado General Assembly enacted House Bill 24-1152, which requires local governments located within metropolitan planning organizations to allow ADUs by an administrative approval process in any zone district in which single-unit detached dwellings are allowed. This legislation was signed by the Governor on May 13, 2024. The bill limits the ability of local governments to impose restrictive design, setback, parking, or

owner-occupancy requirements that would effectively inhibit their development. It establishes a statewide baseline for ADU eligibility, ensuring that jurisdictions accommodate ADUs where there is sufficient physical space on the lot.

Additionally, the law preempts conflicting local zoning ordinances and includes provisions for financial support and technical assistance through state-managed grant and loan programs. The amendment adds ADUs to the allowed uses in RH-16, RH-24, and P-2 to ensure continued compliance upon the proposed expansion of single-unit detached dwelling as an allowed use across additional zone districts. The amendment also achieves compliance with respect to setbacks and parking.

- Urban Form and Design Quality – The amendment introduces lot standards, reduces minimum front setback requirements to 5 feet in higher-density residential, mixed-use, and commercial zone districts, and provides an optional 0-foot front setback to support a visually engaging residential environment, contribute to well-defined, human-scaled neighborhoods that enhance quality of life and neighborhood character, and enable street activation by principal structures in mixed-use and commercial zone districts.
- Alignment with Proposition 123 – By removing zoning barriers and facilitating additional housing production in infill locations, the amendment supports the City's commitment under Proposition 123 to accelerate housing delivery.

Through these changes, the City seeks to balance flexibility in housing production with community expectations that maintain compatibility, encourage active and connected neighborhoods, remove barriers to mixed-use and commercial development, and make efficient use of existing public investment in infrastructure.

PROPOSED AMENDMENTS

GJMC 21.03.040(e) Setback Exceptions

Staff proposes to delete the existing provision which allows a variance in street side setbacks subject to approval by the Director, in favor of an allowance for a reduction in front setback to 0 feet under specified circumstances. Deleting the existing provision follows from reduced and consolidated setback requirements across those zone districts where the existing street side setback variance provision might otherwise be useful. Such variance would be most appropriate for the very zone districts in which greater flexibility is proposed. The allowance for a 0-foot front setback restores an option for development that was provided by a previous Zoning and Development Code in the form-based districts. While these districts were not included in the 2023 Zoning and Development Code at the time of adoption, staff intends that the proposed amendments can provide substantial equivalence to the flexibility formerly provided by those districts.

GJMC 21.03.050(c),(h)-(m) Residential Districts, 21.03.060(c)-(f) Mixed-use Districts

Staff proposes new and revised lot and building standards within the RL-4, RL-5, RM-8, RM-12, RH-16, RH-24, MU-1, MU-2, MU-3, and CG zone districts.

Earlier amendments removed the vehicle storage setback from some, but not all (as was intended), residential zone districts. As written, the standard duplicates vehicle parking requirements by mandating that the required spaces be set back by a distance which itself provides for additional parking. The provision at 21.03.050(c)(1)(ii) may likewise be unnecessary – while this latter provision applies to private drives, shared drives, parking lots, or other private access ways, which are distinct from lots with direct access to the public right-of-way, a similar reasoning may prevail here inasmuch as the requisite parking must be provided for each dwelling irrespective of its distance from the access way.

The setback averaging provision at 21.03.050(c)(1)(i) is proposed for deletion, as it merely references the same standard, which will remain at 21.03.040(e)(4).

Revisions to setback requirements are proposed across most zone districts. Residential – Rural (R-R), Residential – Estate Retired (R-ER), Residential 1 Retired (R-1R), and Residential 2 Retired (R-2R) are not affected by these revisions because these are rural or low-density to such extent that any benefit to increased development flexibility, limited already by the relative scarcity of these districts, is arguably outweighed by attention to preserving their predominant building forms and neighborhood characteristics. The industrial zone districts are also unaffected because the intensity and outdoor activity characteristic of allowed uses necessitates the maintenance of more stringent setback requirements.

Setbacks within other districts are proposed to be amended to increase flexibility for site design and to simplify requirements. Side, street side, and rear setbacks are proposed to be consolidated into an “all others” setback equal to the minimum side setback in each zone district. Front setback requirements are proposed for reduction from 15 feet to 5 feet in the Residential Medium, Residential High, Mixed-Use (except Mixed-Use Downtown (MU-3), which has setbacks of 0 feet, or no minimum setback, on all sides), and Commercial districts. Additionally, an option to reduce the 5-foot front setback to 0 feet is available (except in RM-8), as described above.

The amendment introduces maximum lot sizes and lot widths for single-unit and duplex housing types in order to reinforce the urban form of medium- and high-density residential neighborhoods. These standards are intended to discourage low-density development patterns, promote compact and walkable blocks, and ensure a consistent streetscape character. By establishing upper limits on lot dimensions – alongside minimum frontage, setback, and building design standards – the amendment supports infill development and housing diversity while aligning with the density goals and form-based principles outlined in the Comprehensive Plan.

Across the affected zone district dimensional standards text and tables, there are edits to enhance consistency and clarity and to remove redundancy. The drawings depicting applicable dimensional standards are updated accordingly.

GJMC 21.04.020(e) Principal Use Table

Staff proposes to allow single-unit detached dwellings as a use by right in the RM-12, RH-16, and RH-24 zone districts and duplexes as a use by right in the RH-16 and RH-24 zone districts. This amendment is intended to provide greater flexibility in housing types while maintaining the density and form standards that define these medium- and high-density residential zones. By permitting single-unit detached dwelling units subject to minimum density requirements and applicable lot, bulk, and design standards, the City aims to support infill development, broaden housing choices, and promote a compact urban form that aligns with the goals of the Comprehensive Plan.

GJMC 21.04.040(d) Accessory Use Table

To ensure compliance with HB 24-1152, the City must amend its accessory use table to designate ADUs as an allowed use in all zone districts where single-unit detached dwellings are also allowed. It is mandatory to allow ADUs in MU-1 and P-2, which already allow single-unit detached dwellings. It is further proposed to allow single-unit detached dwellings in RM-12, RH-16, and RH-24; if this is adopted, the City is required to allow ADUs in these districts as well. This amendment will align local regulations with State law, promote housing flexibility, and position the City to access potential state funding and technical resources tied to implementation.

GJMC 21.04.040(e) Accessory Use-Specific Standards

State law requires that the minimum rear setback for an ADU may not exceed the greater of the accessory structure rear setback for the zone district or 5 feet. In most zone districts where ADUs are allowed, the rear setback for accessory structures is already set at 5 feet. However, in the rural and retired districts, the accessory structure rear setback far exceeds 5 feet. Language is proposed to clarify that the accessory structure setback applies.

GJMC 21.08.010 Off-Street Parking and Loading

The recent State law concerning ADUs affects the City's ability to require vehicle parking for an ADU. While the law does not preclude a parking requirement for an ADU altogether, the circumstances under which such requirements are lawful are so limited as to be potentially trivial in impact. Ordinance 5263 removed the parking requirement for ADUs within the accessory use-specific standards. However, it still needs to be removed from Table 21.08-2: Minimum Off-Street Vehicle Parking Requirements.

GJMC 21.09.040 Lot Layout and Design

The existing provision concerning maximum block length is proposed to introduce more restrictive block length requirements for the proposed single-unit and duplex development in Residential High zone districts. A maximum block length of 400 feet, only to be exceeded when alleys, trails, or dedicated pedestrian access are provided for every additional 200 feet of block length, ensures that the rhythm of human-scale, high-density block form is achieved in the applicable districts.

GJMC 21.14.020 Definitions

The definition of lot coverage contradicts its prescribed method of measurement at 21.14.010(c)(3)(i). The measurement constitutes its intended meaning. Staff proposes

revising the definition to match.

NOTIFICATION REQUIREMENTS

Notice was completed as required by Section 21.02.030(g). Notice of the public hearing was published on September 13, 2025 in the Grand Junction Daily Sentinel.

ANALYSIS

The criteria for review of a Zoning and Development Code text amendment are set forth in Section 21.02.050(d) of the Zoning and Development Code, which provides that the City may approve an amendment to the text of the Code if the applicant can demonstrate evidence proving each of the following criteria:

(A) Consistency with Comprehensive Plan. The proposed Code Text Amendment is generally consistent with applicable provisions of the Comprehensive Plan.

The proposed text amendment is consistent with the Grand Junction Comprehensive Plan's goals related to infill development, housing diversity, efficient infrastructure use, and neighborhood livability.

The amendment would add single-unit detached dwellings to allowed principal uses in the RM-12, RH-16, and RH-24 zone districts; duplex dwellings to the allowed principal uses in the RH-16 and RH-24 zone districts; and accessory dwelling units (ADUs) to the allowed accessory uses in the RH-16, RH-24, MU-1, and P-2 zone districts.

Changes to minimum setback requirements, including a 0-foot front setback option in most of the affected zone districts, increase flexibility in residential, mixed-use, and commercial site design. Lot and building standards applicable to (proposed) allowed single-unit and duplex dwellings in medium- and high-density residential zone districts, along with block standards for RH-16 and RH-24, facilitate the introduction of these housing types in lot patterns and scales compatible with the core urban fabric as well as the establishment of efficient residential land uses in suburban contexts.

This proposal responds directly to the Comprehensive Plan's identification of a limited supply of land with existing urban infrastructure, especially in Tier 1 and Tier 2 areas. While significant vacant land remains in the city's Urban Development Boundary, much of it in Tier 3 fringe areas lacks the infrastructure needed to support near-term growth. By allowing single-unit detached homes in medium- and high-density zone districts more commonly located in the urban core and established neighborhoods, this amendment enables private development to deliver a greater range of housing types without relying on costly greenfield expansion. It further grants additional flexibility for mixed-use and commercial development to support urban intensification. The changes support the Plan's emphasis on urban intensification and infrastructure efficiency.

The amendment also recognizes that single-unit detached and duplex homes remain preferred and proven housing products—widely supported by lenders, familiar to builders, and preferred by many residents seeking homeownership. Both housing types are commonly financed through conventional residential loan products, and in the case of duplexes, the potential for rental income can further enhance financing feasibility for

owner-occupants. By expanding the contexts in which these housing types can be built—subject to minimum density and site and structure standards—the City supports a housing model that is market-ready, financeable, and capable of adapting to evolving family needs.

Importantly, allowing smaller-lot single-family homes and duplexes in higher-density districts—particularly in infill contexts within the urban core—offers a strategy to soften urban transitions and retain elements of Grand Junction's neighborhood character. Many of the city's older, established areas—especially in and around the North Avenue corridor and central core—feature a mix of single-family homes on compact lots. Supporting the continuation of this pattern through a combination of expanded allowed uses and context-sensitive lot standards preserves a sense of place and cultural continuity, contributing to the Plan's goals to promote Grand Junction's unique Western identity rooted in local pride, agricultural heritage, and livable, human-scaled neighborhoods.

In summary, the proposed amendment supports the Comprehensive Plan by:

- Promoting infill development in Tier 1 and Tier 2 by reducing the need for private development to expand into Tier 3 fringe areas;
- Facilitating delivery of a viable and financeable housing type that supports attainable homeownership;
- Encouraging development patterns that preserve and enhance neighborhood character; and
- Advancing the community's vision for diverse, walkable neighborhoods that reflect Grand Junction's Western identity and livability values.

Staff finds this criterion has been met.

(B) Consistency with Zoning and Development Code Standards. The proposed Code Text Amendment is consistent with and does not conflict with or contradict other provisions of this Code.

The proposed Code Text Amendment is consistent with and does not conflict with or contradict other provisions of this Code.

The proposed amendments to the Zoning & Development Code are consistent with the rest of the provisions in the Code and do not create any conflicts with other provisions in the Code.

Staff finds this criterion has been met.

(C) Specific Reasons. The proposed Code Text Amendment shall meet at least one of the following specific reasons:

a. To address trends in development or regulatory practices;

Revisions pertaining to ADUs address trends in regulatory practices, bringing the code

into compliance with recent state law, removing barriers to their continued or expanded construction by revising setback requirements, allowing them as accessory in all zone districts where single-unit detached dwellings are also allowed (including those districts in which such allowance is proposed by this amendment), and by removing the vehicle parking calculation.

b. To expand, modify, or add requirements for development in general or to address specific development issues;

The amendment modifies requirements for setbacks in the RL-4, RL-5, RM-8, RM-12, RH-16, RH-24, MU-1, MU-2, and CG zone districts. The changes are intended to facilitate more flexible site design for development in general and simplifying setback requirements across most districts.

The amendment also adds requirements for single-unit detached and duplex dwellings in the RM-12, RH-16, and RH-24 districts, including maximum lot size and frontage, maximum building height, and block length and connectivity requirements. These changes address practical design concerns inherent to the introduction of single-unit detached and duplex dwellings in medium- and high-density residential zone districts, such as maintaining a consistent pattern of lot and block dimensions, ensuring a scale compatible with urban and suburban infill, and maximizing connectivity within larger sites. These standards incorporate several characteristics common to Grand Junction's traditional neighborhoods – such as buildings oriented to the street, walkable block lengths, and recessed garages – which have supported neighborhood connectivity and vibrancy, fostered daily activity and interaction along sidewalks and public spaces, allowed for incremental reinvestment, and accommodated a variety of housing types over time.

c. To add, modify or expand zone districts; or

The amendment modifies residential, mixed-use, and commercial zone districts by reducing, consolidating, or removing setback requirements, adding lot and building standards, and revising formatting and presentation of tables, text, and images.

The amendment expands the range of allowed uses in medium- and high-density residential zone districts, adding single-unit detached dwellings to RM-12, RH-16, and RH-24 and duplex dwellings to RH-16 and RH-24. The amendment expands the range of allowed accessory uses by adding ADUs to the RH-16, RH-24, MU-1, and P-2 zone districts.

d. To clarify or modify procedures for processing development applications.

Staff finds this criterion has been met.

FINDING OF FACT AND RECOMMENDATION

After reviewing the proposed amendments, the following finding of fact has been made:

In accordance with Section 21.02.050(d) of the Grand Junction Zoning and Development Code, the proposed text amendment to Title 21 is consistent with the Comprehensive Plan and the Zoning & Development Code Standards and meets at least one of the specific reasons outlined.

Therefore, staff recommends approval.

SUGGESTED MOTION:

Mr. Chairman, on the request to amend Title 21 Zoning and Development Code of the Grand Junction Municipal Code, City file number ZCA-2025-415, I move that the Planning Commission forward a recommendation of approval to City Council with the finding of fact listed in the staff report.

Attachments

1. Draft Ordinance

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTIONS OF THE ZONING AND DEVELOPMENT CODE (TITLE 21 OF THE GRAND JUNCTION MUNICIPAL CODE) REGARDING ZONE DISTRICTS AND DIMENSIONAL STANDARDS, USE STANDARDS, OFF-STREET PARKING, AND MEASUREMENTS AND DEFINITIONS

Recitals

The City Council recognizes the importance of maintaining effective zoning and development regulations that implement the vision and goals of the Comprehensive Plan while adapting to current housing needs and market realities. The Comprehensive Plan calls for expanding housing choices, promoting infill and redevelopment, and ensuring an adequate supply of attainable housing to meet the needs of a growing and diverse population. In support of these goals, the City seeks to remove unnecessary barriers that limit flexibility in housing development. Allowing single-unit detached and duplex housing in appropriate zone districts facilitates the production of housing types that are well-established in the local market, broadly recognized by the building industry, and generally more accessible to conventional financing, thereby improving the likelihood of timely and feasible housing development. This strategy also supports the State of Colorado's Proposition 123 objectives by removing local regulatory constraints and enabling more units to come online more quickly, helping the City meet state-established housing production commitments. Reducing setbacks in most districts, while allowing for the elimination of front setbacks altogether in some districts, likewise increases flexibility with building footprint and promotes suitable urban form for infill development in suitable zone districts.

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of the proposed amendments.

After public notice and public hearing, the Grand Junction City Council finds that the amendments to the Zoning & Development Code implement the vision and goals of the Comprehensive Plan and that the amendments provided in this Ordinance removes unnecessary zoning restrictions on housing types in higher-density residential districts, thereby supporting greater housing diversity, increasing the potential housing supply, and advancing the State of Colorado's Proposition 123 objectives to accelerate housing production. These amendments further the public health, safety, and welfare of the City and its residents by fostering more flexible and attainable housing opportunities.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The following sections of the zoning and development code (Title 21 of the Grand Junction Municipal Code) are amended as follows (deletions struck through, added language underlined):

...

21.03.040 DIMENSIONAL STANDARDS GENERAL RULES AND EXCEPTIONS

...

(e) Setback Exceptions.

...

(5) Special Setbacks. The following special setbacks shall apply where noted:

...

(i) ~~On corner lots, in areas where an existing parkway strip exceeds 10 feet in width between a sidewalk and the curb, the front yard setback on a side street may be varied by the Director under the conditions and restrictions listed below. A side street shall be considered that street corresponding to the side yard of the majority of the structures on a block. In unusual or conflicting circumstances, the Director shall designate which street is the side street.~~

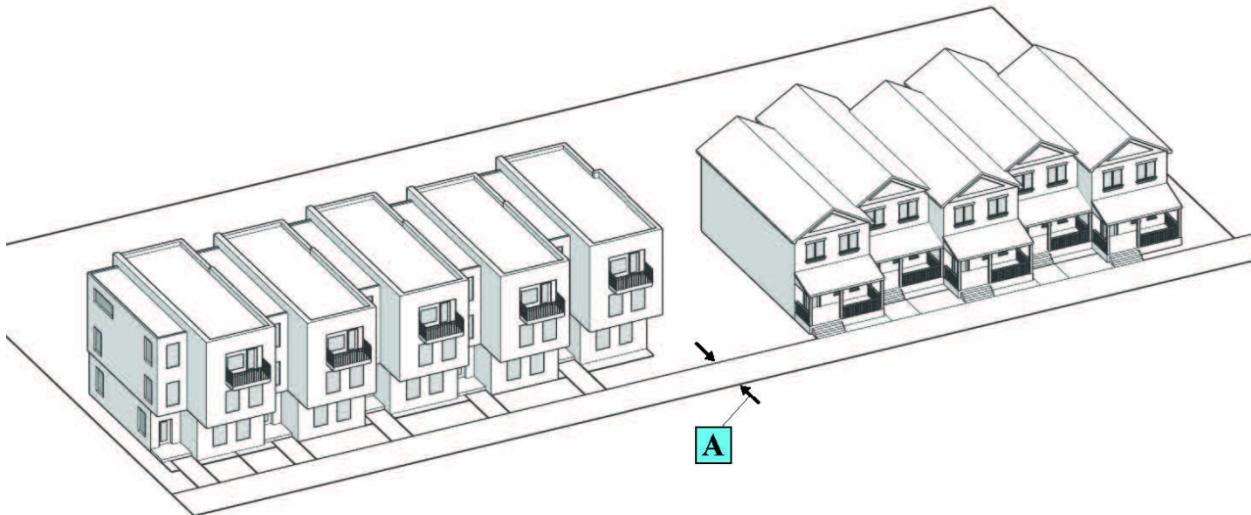
~~(A) No variance shall be approved to less than five feet from property line.~~

~~(B) A variance may be approved only for a single-unit residential use.~~

~~(C) Any variance approved shall meet all other provisions of this Code, including sight distance requirements. No variance shall be granted unless the City Engineer finds, in writing, that the proposal will not create a danger to pedestrians or vehicle circulation.~~

~~(D) No vehicular access shall be allowed from a side street to any structure approved for a variance under the provisions of this section.~~

~~(E) A variance shall only be effective if it is issued by the Director, contains the legal description and any terms and conditions, and is recorded by the applicant prior to issuance of a building permit.~~



(i) In the RM-12, RH-16, RH-24, MU-1, MU-2, and CG zone districts, the front setback may be reduced from 5 feet to 0 feet, provided that no vehicle access for single-unit or duplex residential will be allowed along the frontage of the lot, and provided one of the following conditions is met:

- (A) A 12-foot-wide attached sidewalk is provided along the entire frontage of the lot.
- (B) A [1] 6-foot-wide detached sidewalk with [2] 8-foot-wide right-of-way landscape including street trees is provided along the entire frontage of the lot.
- (C) If street improvements are deferred, the full right-of-way width for the standard street section exists or is dedicated.

...

21.03.050 RESIDENTIAL DISTRICTS

(e) Standards Applicable to All Residential Zone Districts.

(1) Setbacks.

- (i) Setback averaging [GJMC § 21.03.040(e)(4)] may be applied to primary and accessory setbacks and the vehicle storage setback may be adjusted proportionately.
- (ii) Attached single family dwellings that front onto a private drive, shared drive, parking lot, or other private access way shall be set back a minimum of 15 feet from the edge of the access way, with front loading garages set back a minimum of 20 feet from any vehicular or pedestrian access way.

...

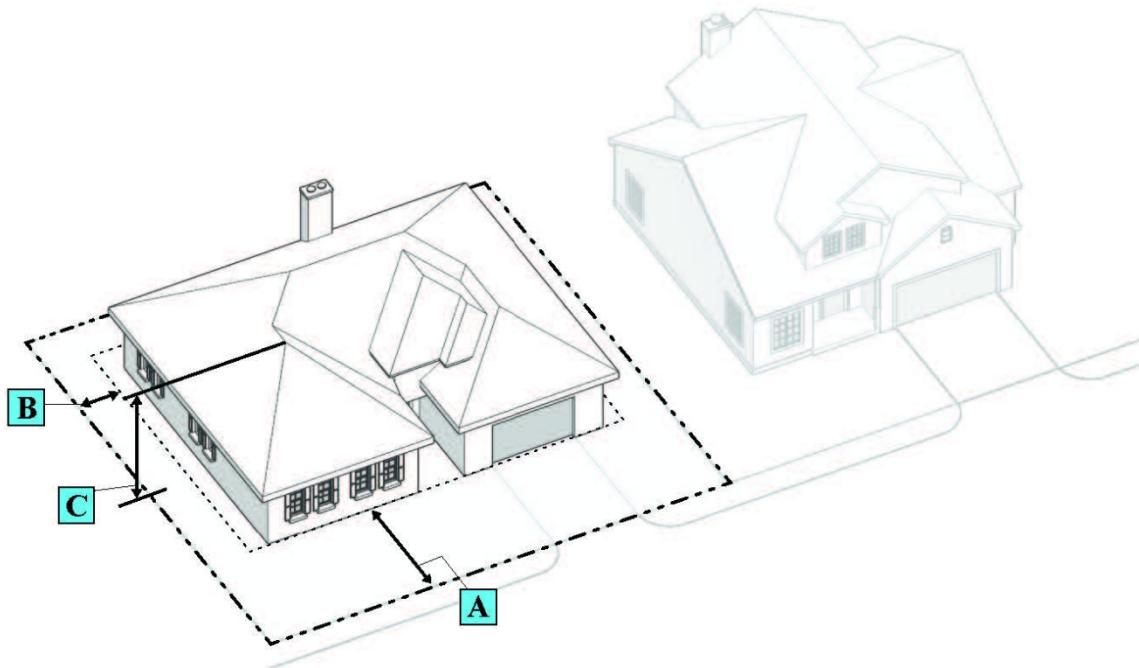
(h) Residential Low 4 (RL-4)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the R-4 RL-4 zone district:



Lot Standards		
Dimensions (minimum, length feet or area square feet)		
Lot Area		
Single-unit Detached, Duplex	7,000/structure	
Single-unit Attached	2,500/unit	
Multi-unit	Not allowed	
Civic and Institutional	20,000/structure	
Lot Width		
Lot area measured by structure	70	
Lot area measured by unit	25	
Lot Frontage	20	
Cluster allowed per 21.03.040(f) Error!	Yes	

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	15
B	Street Side All Others	15-7
C	Side	7
D	Rear	25

Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5

Lot Standards		Building Standards		
Reference source not found.				
Density (units/acre)[1]				
Minimum Maximum	2 4	E	C	Height
Cluster allowed per 21.03.040(f)	Yes			40
Lot Coverage (maximum)		Notes: [1] See 21.14.010(a). See 21.03.050(c) for setback adjustments.		
Lot Coverage	50%			
Maximum Number of Dwelling Units				
Single-unit Attached	4 per building			
All Other Residential Uses	As allowed by density			

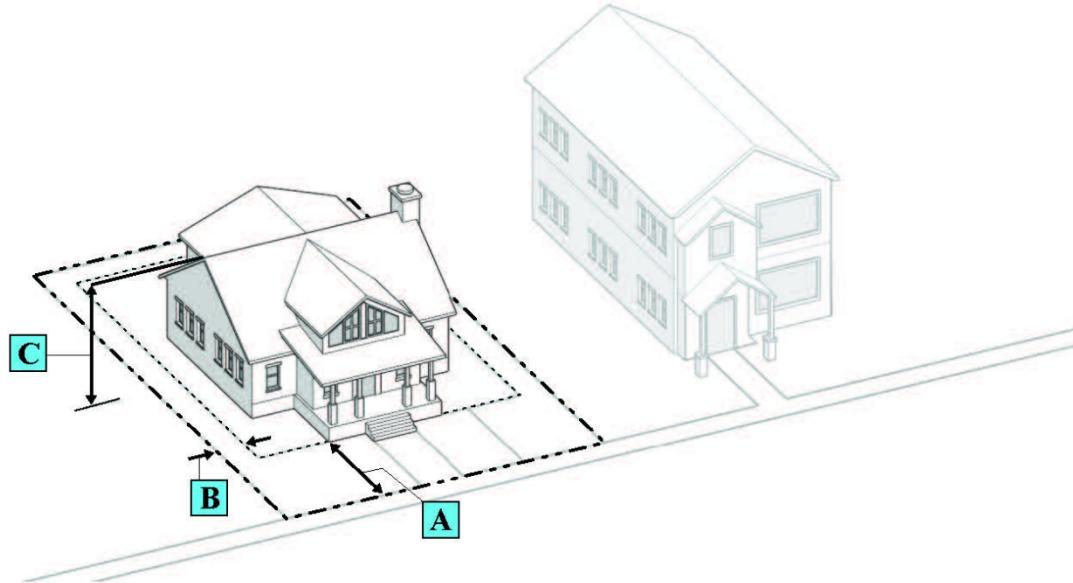
(i) **Residential Low 5 (RL-5)**

...

(2) **Uses and Dimensions.**

...

(ii) The following dimensions apply in the RL-5 zone district:



Lot Standards	
Dimensions (minimum, length feet or area square feet)	
Lot Area	
Single-unit Detached, Duplex	4,000/structure
Single-unit Attached	2,000/unit
Multi-unit	No min
Civic and Institutional	20,000
Lot Width	
Lot area measured by structure	40
Lot area measured by unit	20
Lot Frontage	20
Cluster allowed per 21.03.040(f)	Yes
Density (units/acre) [1]	
Minimum Maximum	3 5.5

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	15
B	Street Side All Others	15 5
C	Side	5
D	Rear	15
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		
E C	Height	40

Lot Coverage (maximum)

Lot Coverage	60%
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Maximum Number of Dwelling Units

Multi-unit	<u>4 per building</u>
All Other Residential Uses	As allowed by density

Notes: [1] See 21.14.010(a). See 21.03.050(c) for setback adjustments.

(j) Residential Medium 8 (RM-8)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RM-8 zone district:



Lot Standards		
Dimensions (minimum, length feet or area square feet)		
Lot Area		
Single-unit Detached, Duplex	3,000/structure	
Single-unit Attached	1,200/unit	
Multi-unit	No min	
Civic and Institutional	20,000	
Lot Width		
Lot Area Set by Structure	40 per lot	
Lot Area Set by Unit	16 per unit	
Lot Frontage	20 per lot	
Density (units/acre) [1]		
Minimum Maximum	5.5 8	
Lot Coverage (maximum)		
Lot coverage	75%	

Building Standards		
Setbacks: Principal Structure (minimum, feet) [2]		
A	Front	155
B	Street Side All Others	15 5
C	Side	5
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		
E C	Height	50

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [1] Vehicle storage, including a garage, required front setback is 20 ft. See 21.03.050(c) for setback adjustments

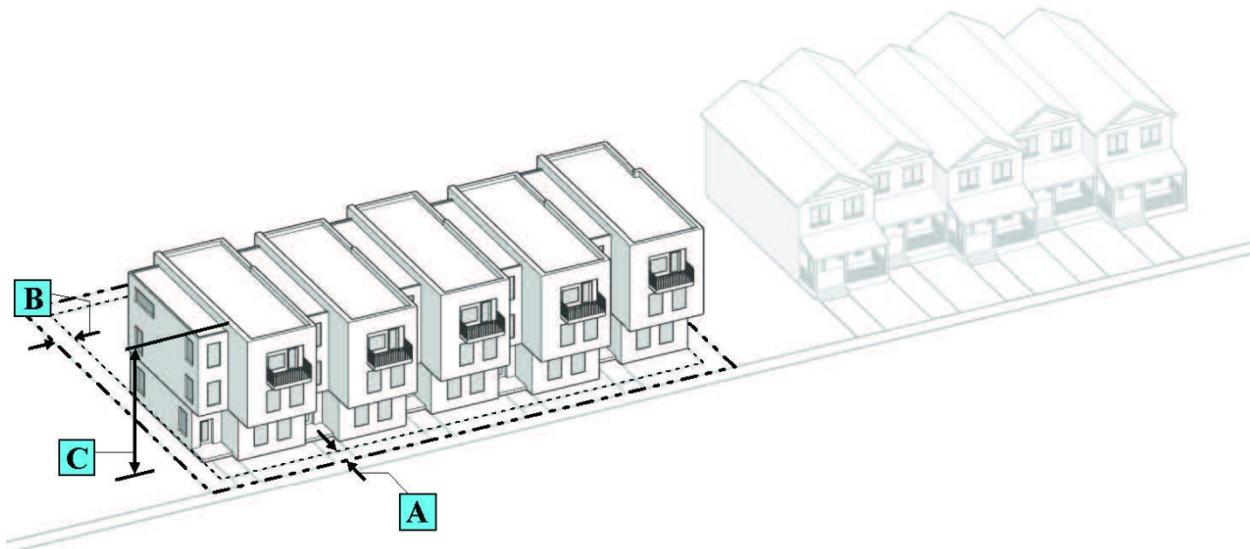
(k) Residential Medium 12 (RM-12)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RM-12 zone district:



Lot Standards		
Dimensions (minimum, length feet or area square feet)		
Lot Area (minimum), any type of unit	No min minimum	
Lot Area (maximum), Single-unit Detached and Duplex	8,000	
Lot Width (minimum)	30 per lot	
Triplex, Fourplex, Townhome (minimum)	16 per unit	
Single-unit Detached, Duplex (maximum)	50 per lot	
Lot Frontage (minimum)	20	
Single-unit Detached, Duplex (maximum)	40	
Density (units/acre) [1] GJMC § 21.14.010(a)		
Minimum Maximum	8 12	
Lot Coverage (maximum)		
Lot coverage	75%	
Building Standards		
Setbacks: Principal Structure (minimum, feet) [2]		
A	Front [1] [3]	155/0
B	Street Side All Others	15 5
C	Side	5
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		

Lot Standards		Building Standards	
<u>E</u>	<u>C</u>	Multi-unit (maximum)	65
		Single-unit Attached, Duplex (maximum)	50

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [1] Single family attached vehicle storage, including a garage required front setback is 20 feet. See § 21.03.050(c) for setback adjustments.

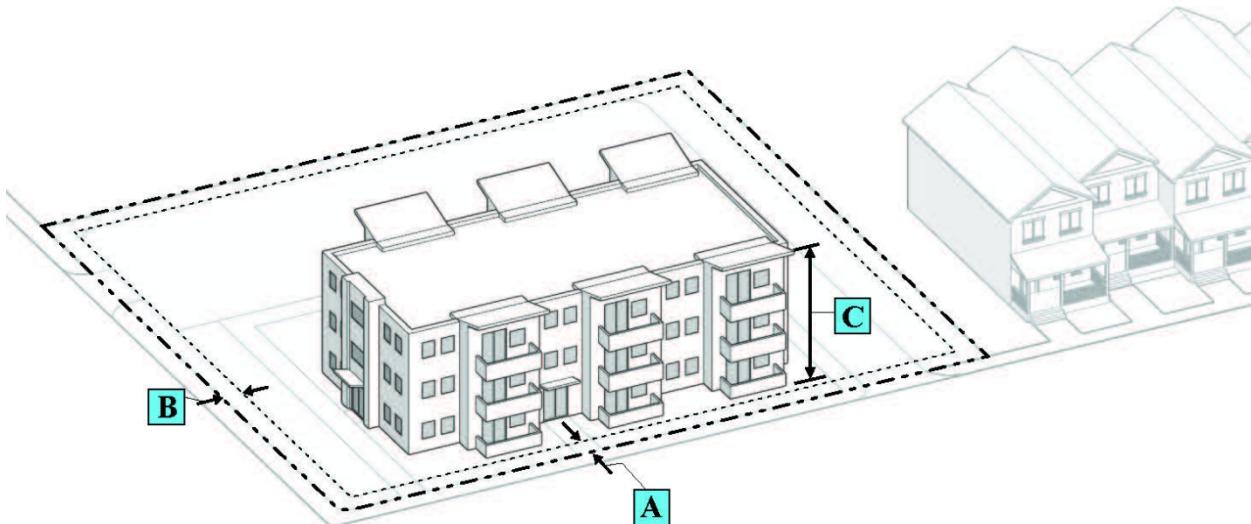
(I) Residential High 16 (RH-16)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RH-16 zone district:



Lot Standards		
Dimensions (minimum, length feet or area square feet)		
Lot Area (minimum), any type of unit	No minimum	
Lot Area (maximum), Single-unit Detached and Duplex	6,000	
Lot Width	30 per lot	
Triplex, Fourplex, Townhome (minimum)	16 per unit	
Single-unit Detached, Duplex (maximum)	50 per lot	
Lot Frontage (minimum)	20	
Single-unit Detached, Duplex (maximum)	40	
Density (units/acre) [1]		
Minimum Maximum	12 16	
<i>Density measurement GJMC 21.14.010(a)</i>		
Lot Coverage (maximum)		
Lot coverage	75%	
Setbacks: Principal Structure (minimum, feet) [2]		
A	Front [1] [3]	155/0
B	Street Side All Others	15 5
C	Side	5
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Street Side	20
	Side	3
	Rear	5
Height (maximum, feet)		

Lot Standards		Building Standards	
<u>E</u>	<u>C</u>	Multi-unit (maximum)	60
		Single-unit Attached, Duplex (maximum)	50

Notes: [1] See GJMC 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [4] Single-unit attached vehicle storage, including a garage, required front setback is 20 ft. See 21.03.050(c) for setback adjustments

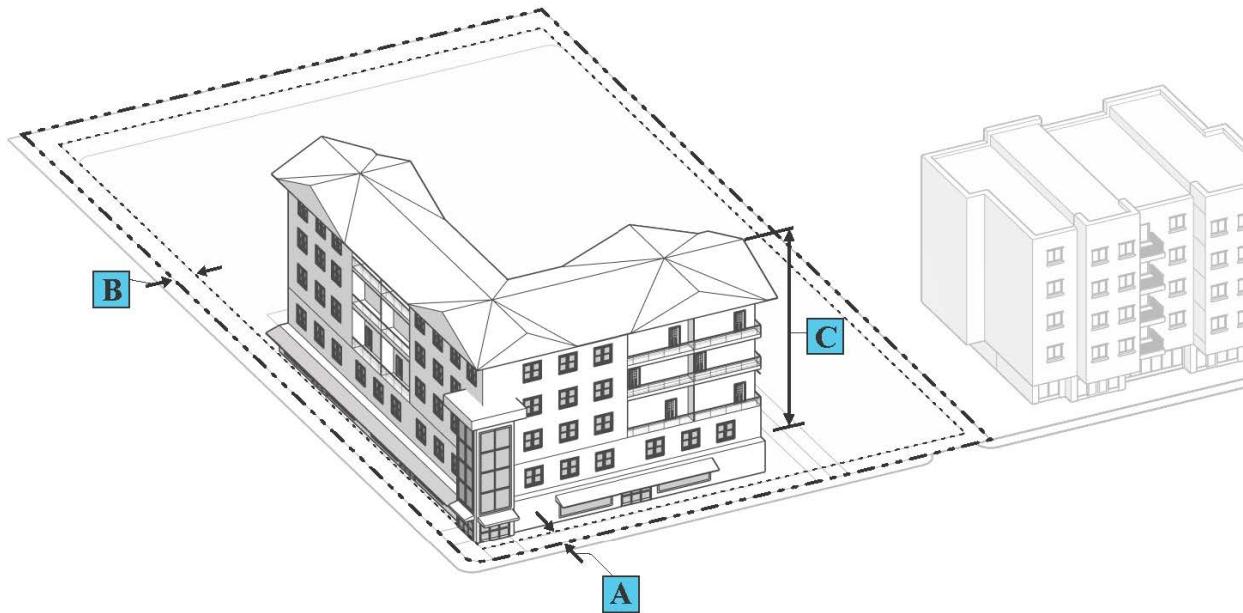
(m) Residential High 24 (RH-24)

...

(2) Uses and Dimensions.

...

(ii) The following dimensions apply in the RH-24 zone district:



Lot Standards		Building Standards	
Dimensions (minimum, length feet or area square feet)		Setbacks: Principal Structure (minimum) [2]	
Lot Area (minimum), all unit types	No minimum	A	Front [1] [3] <u>155/0</u>
Lot Area (maximum), Single-unit Detached and Duplex	<u>6,000</u>	B	Street Side All Others <u>15 5</u>
Lot Width	30 per lot	C	Side <u>5</u>
Triplex, Fourplex, Townhome (minimum)	16 per unit	D	Rear <u>10</u>
Single-unit Detached, Duplex (maximum)	<u>50 per lot</u>	Setbacks: Accessory Structure (minimum)	
Lot Frontage (minimum)	20		Front <u>25</u>
Single-unit Detached, Duplex (maximum)	<u>40</u>		Street Side <u>20</u>
Density (units/acre) [1]			Side <u>3</u>
Minimum Maximum	16 N/A		
Density measurement GJMC 21.14.010(a)			
Lot Coverage (maximum)			

Lot Standards		Building Standards	
Lot coverage	80%	Rear	5
Height (maximum, feet)			
E C	Multi-unit (maximum)	100	
	Single-unit Attached, Duplex (maximum)	50	

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [1] Single-unit attached vehicle storage, including a garage, required front setback is 20 ft. See 21.03.050(c) for setback adjustments

21.03.060 MIXED-USE DISTRICTS

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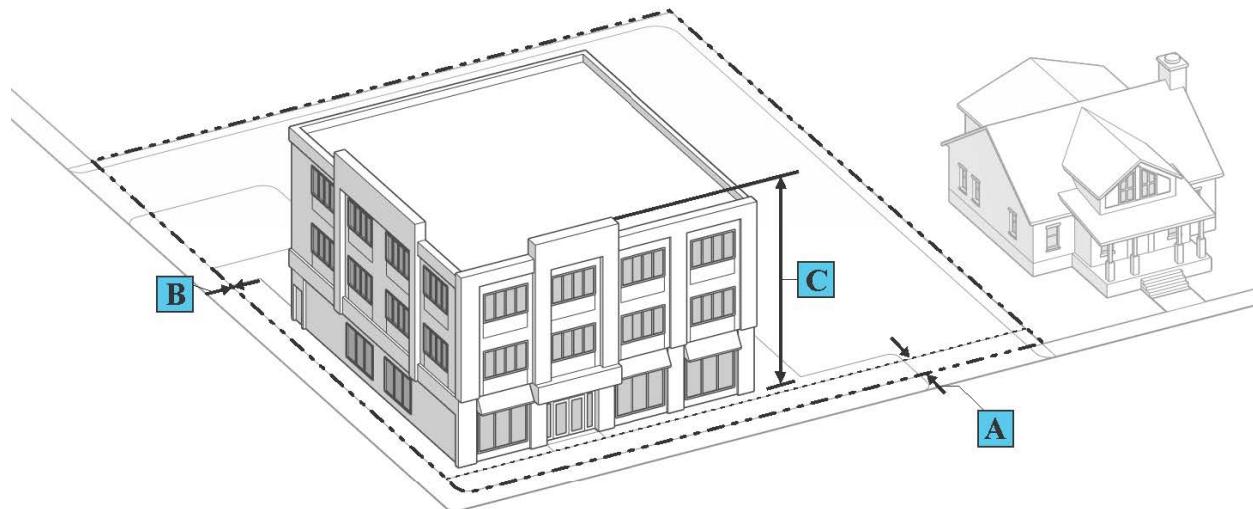
(c) Mixed-Use Neighborhood (MU-1)

...

(3) Dimensions

(i) The following dimensions apply in the MU-1 zone district as follows:

...



Lot Standards		
Residential Standards		
Applicable district standards [1]	RM-8 or RM-12	
Minimum density [2]	8 du/acre	
Mixed-Use Lot Standards		
Lot area (minimum, feet)	4,000	
Lot width (minimum, feet)	50	
Lot coverage (maximum)	70%	
Parking, Loading, Service		
Access and location	Side or Rear	
Use Limits		
Retail uses require a Conditional Use Permit on lots with a Comprehensive Plan land use designation including "Residential" in the title		
Building Standards		
Setbacks: Principal Structure (minimum, feet) [3]		
A	Front [4]	155/0
B	Side All Others	0
D	Rear	10
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Side	0
	Rear	0
Height (maximum, feet)		
E C	Height	40
Gross Floor Area (maximum, square feet)		
	Office	30,000

Lot Standards**Building Standards**

Notes: [1] Either district may be chosen at rezoning; the chosen district shall be applied consistently. [2] See 21.14.010(a). [3] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [4] See 21.03.040(e)(5)(i) for 0-foot setback requirements.

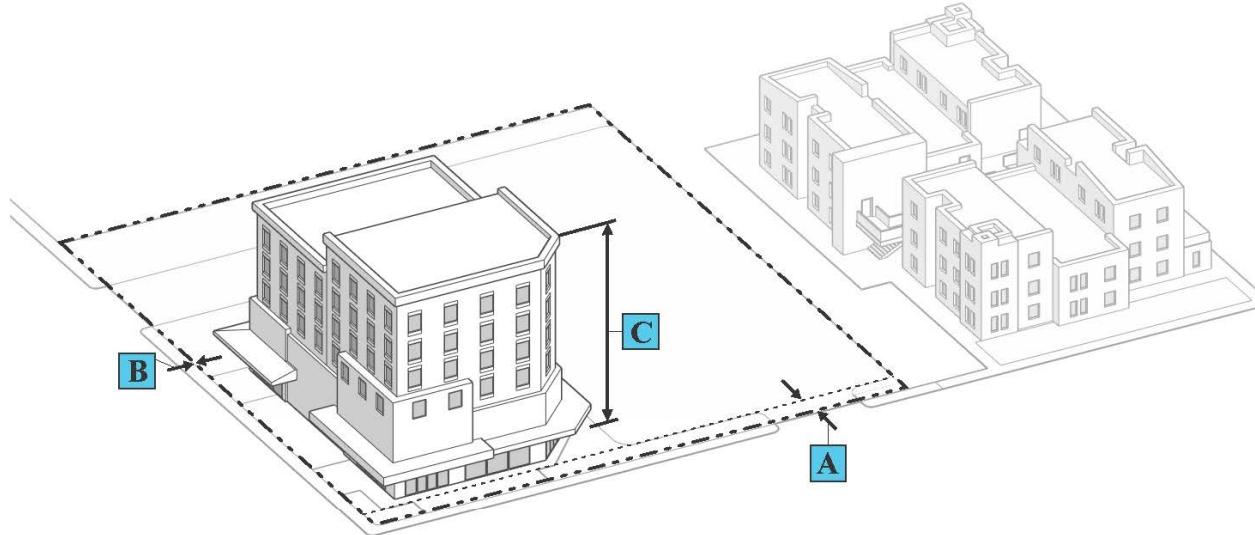
(d) Mixed-Use Light Commercial (MU-2)

...

(3) Dimensions

(i) The following dimensions apply in the MU-2 zone district as follows:

...



Lot Standards		
Residential Standards		
Applicable district standards [1]	RH-16 or RH-24	
Minimum density [2]	16 du/acre	
Mixed-Use Lot Standards		
Lot area (minimum, feet)	20,000	
Lot width (minimum, feet)	50	
Lot coverage (maximum)	100%	
Parking, Loading, Service		
Access and location: alley where available, otherwise side or rear		
Building Standards		
Setbacks: Principal Structure (minimum, feet) [3]		
A	Front [4]	155/0
B	Side All Others	0
D	Rear	10 [1]
Setbacks: Accessory Structure (minimum, feet)		
	Front	25
	Side	0
	Rear	10
Height (maximum, feet)		
E C	Height	65
Use Limits		
Outdoor storage is not allowed within the front setback.		

Notes: [1] Either district may be chosen at rezoning; the chosen district shall be applied consistently. [2] See 21.14.010(a). [3] Building

Lot Standards**Building Standards**

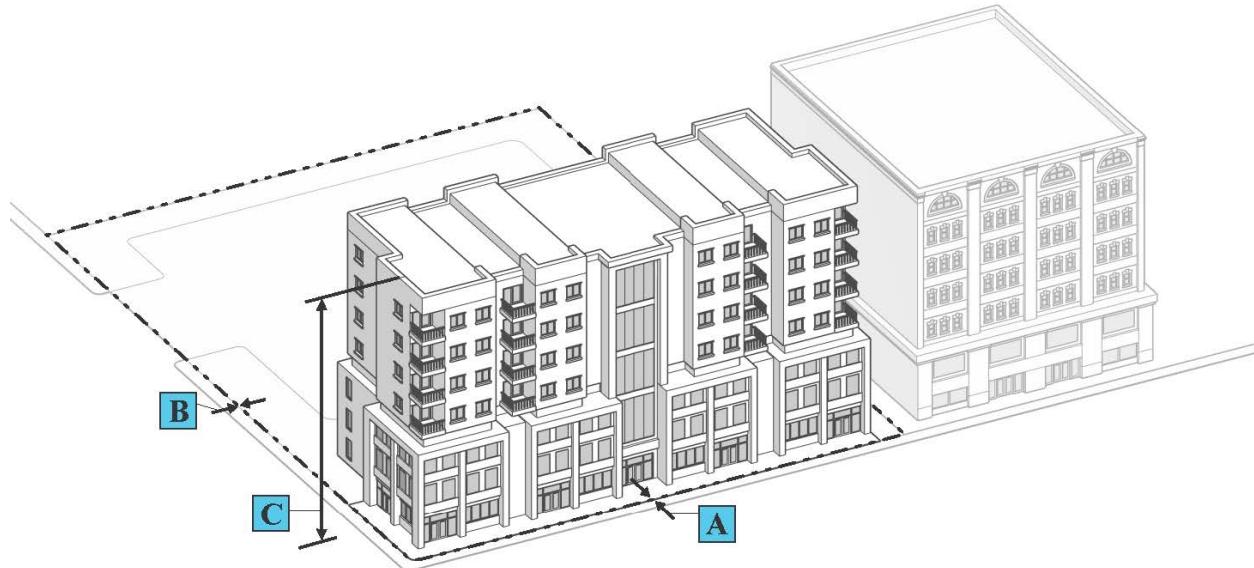
location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [4]
See 21.03.040(e)(5)(i) for 0-foot setback requirements. [1] 0 feet for a lot on an alley.

(e) Mixed-Use Downtown (MU-3)

...

(3) Dimensions

(i) The following dimensions apply in the MU-3 zone district as follows:



Lot Standards		
Residential Standards		
Minimum density [1]	8 du/acre	
Mixed-Use Lot Standards		
Lot area (minimum, feet)	n/a	
Lot width (minimum, feet)	n/a	
Lot coverage (maximum)	100%	
Parking, Loading, Service		
Access: alley where available, otherwise side or rear		
Location: side or rear		
Use Limits		
Outdoor Entertainment and Recreation uses require a Conditional Use Permit on lots adjacent to a residential zone district		

Building Standards		
Setbacks: Principal Structure (minimum, feet)		
A	Front	0
B	Side All Others	0
D	Rear	0
Setbacks: Accessory Structure (minimum, feet)		
	Front	0
	Side	0
	Rear	0
Height (maximum, feet)		
E C	Height	80

Notes: [1] See 21.14.010(a).

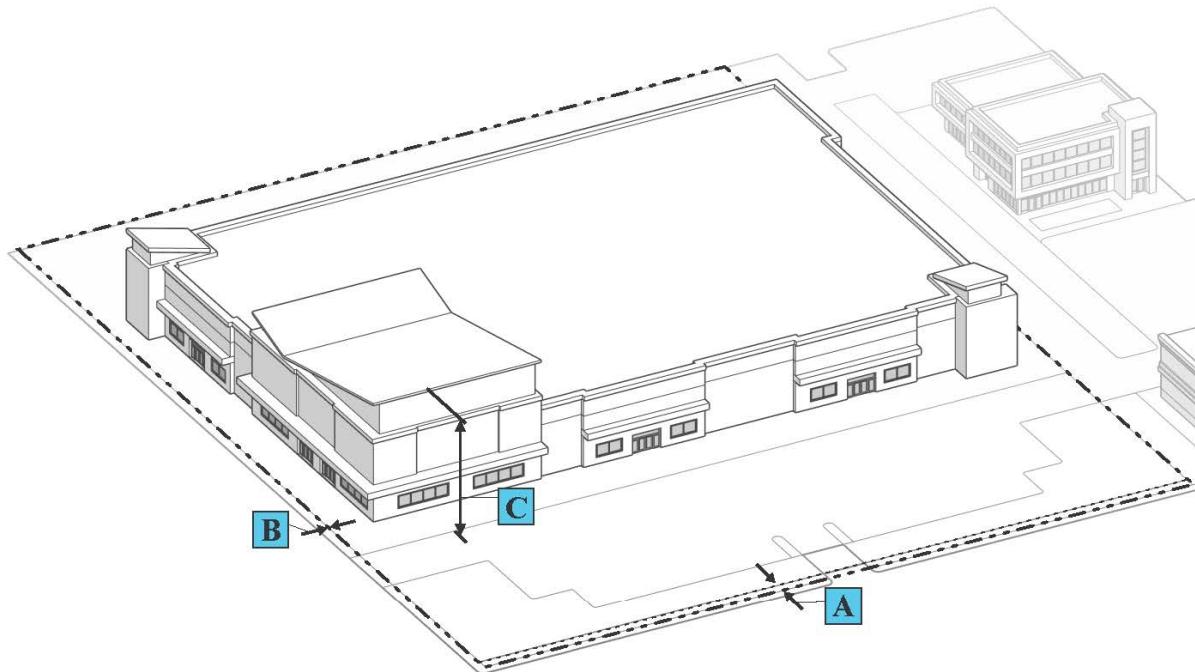
(f) Commercial General (CG)

...

(3) Dimensions

(i) The following dimensions apply in the CG zone district as follows:

...



Lot Standards		
Residential Standards		
Applicable district standards	RH-16	
Minimum density [1]	n/a	
Mixed-Use Lot Standards		
Lot area (minimum, feet)	20,000	
Lot width (minimum, feet)	50	
Lot coverage (maximum)	100%	
Parking, Loading, Service		
Access: Alley where available, otherwise side or rear		
Building Standards		
Setbacks: Principal Structure (minimum) [2]		
A	Front [3]	155/0
B	Side All Others	0
D	Rear	10 [1]
Setbacks: Accessory Structure (minimum)		
	Front	25
	Side	0
	Rear	10
Height (maximum, feet)		
E C	Height	65
Use Limits		
Outdoor uses are not allowed in a front setback.		

Lot Standards**Building Standards**

Notes: [1] See 21.14.010(a). [2] Building location subject to easement and sight zone requirements; see Title 29, Transportation Engineering Design Standards, Appendix. [3] See 21.03.040(e)(5)(i) for 0-foot setback requirements. [1] 0 feet for lot on an alley

21.04.020 PRINCIPAL USE TABLE

...

(e) Use Table.

Zone Districts	...	RL-4	RL-5	RM-8	RM-12	RH-16	RH-24	MU-1	...
Residential Uses	...								
Household Living									
...									
Dwelling, Single-unit Detached		A	A	A	<u>A</u>	<u>A</u>	<u>A</u>	A	
Dwelling, Duplex		A	A	A	A	<u>A</u>	<u>A</u>	A	
...									

21.04.040 ACCESSORY USES AND STRUCTURES

...

(d) Accessory Use Table.

Zone Districts	...	RL-4	RL-5	RM-8	RM-12	RH-16	RH-24	MU-1	...	P-2
Residential Uses
Household Living										
...										
Accessory Dwelling Unit		A	A	A	A	<u>A</u>	<u>A</u>	<u>A</u>		A
...										

(e) Accessory Use-Specific Standards.

(1) Residential Uses.

(i) Accessory Dwelling Unit.

...

(B) Structure Requirements.

...

e. An accessory dwelling unit, attached or detached, may utilize a minimum rear setback that is the minimum rear setback for all accessory structures.

21.08.010 OFF-STREET PARKING AND LOADING

Table 21.Error! No text of specified style in document.-1: Minimum Off-Street Vehicle Parking Requirements

GFA = Gross Floor Area

	Minimum Vehicle Parking
...	
Accessory Uses	
Residential Uses	
Accessory Dwelling Unit	1 per unit
...	

21.09.040 LOT LAYOUT AND DESIGN

...

(b) Maximum Block Length Standards.

- (1) No subdivision shall create a block that is greater than 1,400 feet in length in any direction.
- (2) Block Pattern Requirement for Developments that Include Single-unit Detached or Duplex Dwellings in the RH-16 and RH-24 Zone Districts.
 - (i) No subdivision shall create a block that is greater than 400 feet in length in any direction, except that a block may exceed 400 feet in length if one mid-block connection is provided for every additional 200 feet of block length.
 - (ii) Mid-block connections shall be spaced evenly throughout the block and may be an alley or an Active Transportation Corridor or other trail that provides safe, visible, and direct pedestrian access through the block and connect to public sidewalks, streets, or common open space.

21.14.020 DEFINITIONS

...

Lot coverage means that area of the lot or parcel which may be occupied by impervious surfaces the percentage of the total lot area covered by structures. It is calculated by dividing the square footage of structure coverage by the square footage of the lot.

...

INTRODUCED on first reading this 17th day of September 2025 and ordered published in pamphlet form.

ADOPTED on second reading this 1st day of October 2025 and ordered published in pamphlet form.

ATTEST:

Cody Kennedy
President of the City Council

Selestina Sandoval
City Clerk