

WTN06FRD

TYPE OF RECORD:	PERMANENT
CATEGORY OF RECORD:	CONTRACT
NAME OF CONTRACTOR:	WTN COEX II, LLC
SUBJECT/PROJECT:	F ½ ROAD PARKWAY IMPROVEMENTS COST SHARING
CITY DEPARTMENT:	PUBLIC WORKS AND PLANNING
YEAR:	2006
EXPIRATION DATE:	NONE
DESTRUCTION DATE:	NONE

AGREEMENT

This AGREEMENT is made and entered into effective August 31, 2006 by and between the **City of Grand Junction** (City) and **WTN CoEx II, LLC** (Developer), a Kansas Corporation.

RECITALS

Developer has received approval to develop certain property known as Canyon View Market Place located on the southeast corner of 24 Road and the proposed F ½ Road in Grand Junction, Colorado. The City plans to construct the proposed F ½ Road Parkway. Canyon View Market Place will be served by F ½ Road Parkway.

City and Developer have agreed that the City will construct certain F ½ Road improvements and other infrastructure supporting the Development (hereinafter referred to as the Improvements), that the Developer is required to have in order to develop the property, and that the Developer will reimburse the City for a portion of the cost of construction of the Improvements.

NOW THEREFORE for and in consideration of the promises contained herein, the Parties mutually covenant and agree as follows:

1. City agrees to construct surface and subsurface street improvements as set forth in the plans titled "F ½ Parkway Construction Drawings, Phase I" (hereinafter referred to as the Plans), which are attached hereto as Exhibit A and incorporated herein as if fully set forth. Improvements will be constructed in accordance with City controls, dimensions, designs, specifications and standards (hereinafter collectively referred to as City Standards).
2. Cost of the Improvements are estimated, based upon bids which have been received and evaluated by both parties, as follows:

Construction	\$1,217,396
Engineering	15,440
Testing	<u>7,491</u>
Total	\$1,240,327

3. Cost allocation between the Parties shall be as follows:

City	\$ 757,214.46
Developer	\$ 483,112.54

4. **Change orders.** Cost sharing for change orders will be based upon the nature of the work involved, as follows:

<u>Work relating to:</u>	<u>City %</u>	<u>Developer %</u>
Subgrade stabilization on F ½ Road	61.05%	38.95%

Right turn lane on 24 Road	100%	0%
Box culvert and wingwalls	16.13%	83.87%
Other (default)	61.05%	38.95%

Change orders for which the cost will be shared must be approved by Developer and by the City.

5. Reimbursable Work as used herein shall refer to the labor, materials and equipment for the Improvements in proportion to the Developer's cost allocation set forth in Paragraphs 3 and 4.

6. **Payment.** City will procure and pay for the Improvements; and the Developer will pay the total amount of its share of costs stated in Paragraphs 3 and 4 above. The Parties stipulate and agree that as of the signing of this contract, cost of completed construction of the Improvements has exceeded \$500,000. Therefore the Developer shall pay that amount set forth in Paragraph 3 (\$483,112.54) within thirty (30) days of the execution of this Agreement. Payment shall be made to the City for the use and benefit of Sorter Construction.

In addition, Developer shall reimburse the City for its portion of the cost of change orders pursuant to Paragraph 4. Payment shall be made within 30 days of completion of Reimbursable Work.

Payment shall not be deemed revenue to the City but instead payment by the Developer for its share of the costs.

7. **Inspection, rejection and final acceptance of work.** The City shall inspect any and all work, require certifications of the work, and otherwise take reasonable or necessary actions to ensure that the work is in conformance with City Standards. The City has the right to reject non-conforming or substandard work at any time up to fourteen (14) days following initial acceptance of the work.

8. **Whole agreement.** This Agreement incorporates all prior discussions and agreements of the Parties and may not be amended except in writing duly executed by the Parties.

9. **Non-assignment.** This Agreement is binding upon and inures only to the benefit of the Parties hereto. Developer shall not assign or delegate this Agreement or any portion thereof or any rights hereunder without the City's prior written consent.

10. **Arbitration agreement.** Any dispute hereunder shall be resolved by submission to binding arbitration pursuant to C.R.S. §13-22-201 *et seq.*

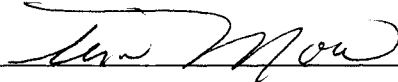
11. **Material provisions.** Each and every term and condition hereof shall be deemed to be a material element of this Agreement. In the even either party should fail or refuse to perform according to the terms of this Agreement, such party may be declared in default.

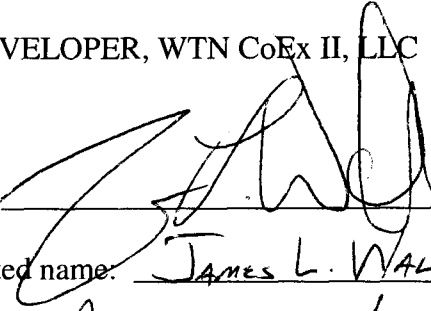
12. **Records.** The City shall receive originals of all documents, papers, and records of the Developer that are related to, prepared as a result of or required by this Agreement.

IN WITNESS WHEREOF, the Parties execute this Agreement:

CITY OF GRAND JUNCTION

DEVELOPER, WTN CoEx II, LLC

By: 

By: 

Printed name: Tim Moore

Printed name: JAMES L. WALKER

Title: PW:U Assistant Director

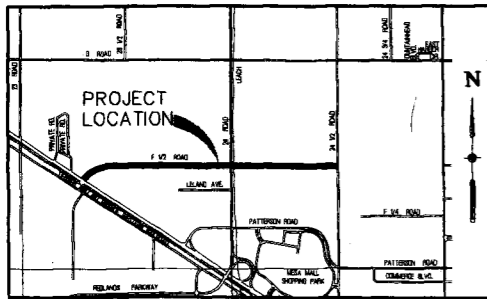
Title: AUTHORIZED AGENT

CITY OF GRAND JUNCTION
 GRAND JUNCTION, COLORADO

PLANS FOR
 CONSTRUCTION
 OF

F 1/2 ROAD IMPROVEMENTS
 24 ROAD TO MARKET STREET
 STA. 50+89.00 TO STA. 58+93.78 F 1/2 ROAD

JANUARY 27, 2006
 1ST. REVISION - FEBRUARY 22, 2006
 2ND REVISION - JULY 31, 2006



VICINITY MAP

SHEET PAGE
 NO. NO. TITLE

1	1	COVER SHEET
G1	2	GENERAL NOTES AND QUANTITIES
G2	3	CONSTRUCTION NOTES AND TYPICAL SECTIONS
C1	4	F 1/2 ROAD - ROADWAY PLAN AND PROFILE STA. 50+89 TO STA. 51+60
C2	5	F 1/2 ROAD - ROADWAY PLAN AND PROFILE STA. 51+60 TO STA. 56+80
C3	6	F 1/2 ROAD - ROADWAY PLAN AND PROFILE STA. 56+80 TO STA. 58+93.78
C4	7	24 ROAD - ROADWAY PLAN AND PROFILE STA. 9+80 TO STA. 14+80
SD-1	8	CONCRETE BOX CULVERT PLAN
SD-2	9	CONCRETE BOX CULVERT PLAN
SD-3	10	CONCRETE BOX CULVERT PLAN AND ELEVATIONS
SD-4	11	STORM DRAIN 2 PLAN AND PROFILE STA. 0+00 TO STA. 5+00
SD-5	12	STORM DRAIN 2 PLAN AND PROFILE STA. 5+00 TO STA. 7+88
SD-6	13	STORM DRAIN INLETS PLAN AND PROFILE
L1	14	STREET LIGHTING PLAN
S-1	15	STRIPING AND SIGNAGE PLAN
D1	16	MISCELLANEOUS DETAILS
X1	17	F 1/2 ROAD - CROSS SECTIONS STA. 51+39.40 TO STA. 52+00
X2	18	F 1/2 ROAD - CROSS SECTIONS STA. 52+50 TO STA. 53+50
X3	19	F 1/2 ROAD - CROSS SECTIONS STA. 54+00 TO STA. 55+00
X4	20	F 1/2 ROAD - CROSS SECTIONS STA. 55+50 TO STA. 56+80
X5	21	F 1/2 ROAD - CROSS SECTIONS STA. 57+00 TO STA. 57+93.94
X6	22	F 1/2 ROAD - CROSS SECTIONS STA. 58+93.78
X7	23	24 ROAD - CROSS SECTIONS STA. 10+31.72 TO STA. 10+77.14
X8	24	24 ROAD - CROSS SECTIONS STA. 11+21.81 TO STA. 12+00.00
X9	25	24 ROAD - CROSS SECTIONS STA. 12+50.00 TO STA. 13+84.38

VISTA ENGINEERING CORP.

SUMMARY OF QUANTITIES

NO.	DESCRIPTION	QUANTITY	UNITS
	SAW CUT EXISTING CURB AND GUTTER	10	LIN. FT.
	WHEEL CUT EXISTING ASPHALT PAVEMENT	363	LIN. FT.
	REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT	67	TON
	REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER	35	TON
03	CONSTRUCT STANDARD CURB AND GUTTER PER CITY STANDARD SPECIFICATION DETAIL C-05.	798	LIN. FT.
03	CONSTRUCT STANDARD CURB AND SPILL GUTTER PER CITY STANDARD SPECIFICATION DETAIL C-05.	818	LIN. FT.
03	CONSTRUCT CURB RAMP PER CITY STANDARD SPECIFICATIONS	1,742	SQ. FT.
03	CONSTRUCT 10 FT. WIDE CONCRETE SIDEWALK PER CITY STANDARD SPECIFICATIONS	654	LIN. FT.
31	CONSTRUCT TRIPLE 6 FT. TALL BY 12 FT. WIDE CONCRETE BOX CULVERT PER CDOT STANDARD PLAN NO. M-801-3	1	L.S.
31	CONSTRUCT STONE STRONG SEGMENTAL RETAINING WALL	1	L.S.
36	CONSTRUCT RIP-RAP SLOPE PROTECTION PER CDOT SPECIFICATION SECTION 506.050 = 12 INCHES.	1,564	TON
36	CONSTRUCT CONCRETE MT. GARFIELD GUARDRAIL	408	LIN. FT.
	CONSTRUCT STORM DRAIN INLET WITH VERTICAL CURB OPENING PER CITY STANDARD STORM DRAIN DETAIL NO. D-07	3	EA.
36	CONSTRUCT RIP-RAP APRON PER CDOT SPECIFICATION SECTION 506.050 = 12 INCHES	272	TON
	INSTALL QUAD GUARD SYSTEM IMPACT ATTENUATOR BY ENERGY ABSORPTION SYSTEMS	1	L.S.
	CONSTRUCT STANDARD STORM DRAIN MANHOLE PER STANDARD STORM DRAIN DETAIL NO. D-02.	4	EA.
	INSTALL 30 INCH RCP STORM DRAIN	788	LIN. FT.
	INSTALL 18 INCH RCP STORM DRAIN	160	LIN. FT.
	PERMANENT STRIPING AND SIGNAGE	1	L.S.
	PLANTING BITUMINOUS PAVEMENT	1,696	TON
	CLASS 5 AGGREGATE BASECOURSE	5,131	TON
	CLASS 2 AGGREGATE BASECOURSE	3,630	TON
	3/4" CRUSHED ROCK BASE	428	TON
	ROADWAY EXCAVATION	2,450	TON
	ROADWAY EMBANKMENT	6,099	TON
	INSTALL 18" RCP END SECTION	1	EA.
	INSTALL TRAFFIC SIGNAL POLE FOOTING, PULL BOXES, AND CONDUIT	1	L.S.

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF GRAND JUNCTION, DEPARTMENT OF PUBLIC WORKS AND UTILITIES, ENGINEERING DIVISION, STANDARD CONTRACT DOCUMENTS FOR CAPITAL IMPROVEMENTS CONSTRUCTION, MOST CURRENT EDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF GRAND JUNCTION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE CITY OF GRAND JUNCTION'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF GRAND JUNCTION 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS REQUIRED TO PERFORM CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.
- NOTES GIVEN HERE SHALL APPLY TO ALL SHEETS.
- INSTALLATION OF NEW IMPROVEMENTS, INCLUDING MATERIALS, CONSTRUCTION, AND TESTING, SHALL BE IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND REQUIREMENTS ADOPTED BY THE ENTITY OR AGENCY ACCEPTING THE IMPROVEMENTS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL STANDARDS AND REQUIREMENTS PRIOR TO CONSTRUCTION, AND SHALL BE SOLELY RESPONSIBLE FOR ENSURING THAT ALL NEW IMPROVEMENTS ARE IN COMPLIANCE.
- UNLESS OTHERWISE AGREED TO BY THE PROJECT OWNER, THE CONTRACTOR SHALL WARRANT ALL WORK IN ACCORDANCE WITH THE WARRANTY SPECIFIED BY THE ENTITY OR AGENCY ACCEPTING THE IMPROVEMENTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF SITE CONDITIONS ARE ENCOUNTERED WHICH ARE DIFFERENT THAN AS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF SITE CONDITIONS WARRANT A CHANGE IN DESIGN FROM THAT SHOWN ON THESE DRAWINGS.
- PRIOR TO BEGINNING INSTALLATION OF NEW UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL EXHAUSTIVELY EXISTING UTILITIES AT ALL CROSSING POINTS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES TO ENSURE THAT THE CROSSING CAN BE MADE AS SHOWN ON THESE DRAWINGS.
- SUBSURFACE INFORMATION IS NOT SHOWN ON THESE DRAWINGS. IT IS THE BORROWER/CONTRACTOR'S RESPONSIBILITY TO INQUIRE OF THE ENGINEER AND/OR PROJECT OWNER IF SUBSURFACE INFORMATION IS AVAILABLE, AND TO MAKE HIS OWN DETERMINATION AS TO ALL SUBSURFACE CONDITIONS.
- THE TYPE AND LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF EXISTING UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREIN. THE CONTRACTOR SHALL CALL THE LOCAL UTILITY LOCATION CENTER TO REQUEST EXACT FIELD LOCATIONS OF EXISTING UTILITIES AT LEAST 48 HOURS BEFORE EXCAVATION.
- NO CONSTRUCTION WORK SHALL BE PERFORMED OUTSIDE OF THE PROJECT OWNER'S PROPERTY BOUNDARY EXCEPT WITHIN CONSTRUCTION EASEMENTS, EASEMENTS, EASEMENTS, AND RIGHT-OF-WAY SHOWN ON THESE DRAWINGS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN LEGAL PERMISSION TO OCCUPY PROPERTY OTHER THAN THE PROJECT SITE IF THE CONTRACTOR DETERMINES THAT ACCESS IS REQUIRED.
- ALL ROAD CUTS AND CONSTRUCTION ACTIVITIES WITHIN EXISTING ROAD RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY CONTROLLING THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL FOR ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN WHEN REQUIRED.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION WORK IS ACCOMPLISHED IN ACCORDANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL QUANTITIES SHOWN ON THESE DRAWINGS ARE ESTIMATES PROVIDED AS AN AID TO BIDDERS/CONTRACTOR ONLY. BIDDERS/CONTRACTOR SHALL BE RESPONSIBLE FOR SCALING DRAWINGS TO VERIFY QUANTITIES PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND PERMITTING THE STORM WATER MANAGEMENT PLAN FOR SUBMITTAL AS REQUIRED WITH CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING AND MAILING THE APPLICATION, PAYING THE PERMIT FEE, PREPARING THE PLAN, IMPROVING THE PLAN, PERFORMING INSPECTIONS AS REQUIRED AND PERFORMING ALL REQUIRED CLOSE DIST INSPECTIONS. CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT/WATER QUALITY CONTROL DIVISION AT (303) 682-3500 FOR INFORMATION REGARDING THE STORM WATER MANAGEMENT PLAN PROGRAM.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THAT WATER SERVICE LINES AND FIRE HYDRANT LEADS MEET THE MINIMUM BURIAL DEPTH ESTABLISHED BY THE ACCEPTING AGENCY FOR INSTALLATIONS CROSSING UNDERNEATH BORROW DITCHES, DRAINAGE DITCHES, DRAINAGE SWALES, AND CANALS.
- ALL MATERIALS SHALL BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR, AND EQUIPMENT TO PERFORM THE WORK INDICATED ON THESE DRAWINGS FROM STA. 50+89 TO 1/2 ROAD EAST TO STA. 50+78 TO 1/2 ROAD INCLUDING WORK FROM STA. 10+17 (APPROX.) 24 ROAD NORTH TO STA. 13+64.30 24 ROAD.

ROADWAY NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF THE CITY OF GRAND JUNCTION STANDARD CONTRACT DOCUMENTS FOR CAPITAL IMPROVEMENTS CONSTRUCTION. CONTRACTOR SHALL HAVE ONE SIZED COPY OF PLANS AND A COPY OF THE CITY OF GRAND JUNCTION STANDARD SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- SUBGRADE AND CLASS 5 BASE COURSE SHALL BE COMPACTED TO 95% (1-180). CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL NECESSARY COMPACTION TESTS THROUGH A CERTIFIED SOILS LAB AT CONTRACTOR'S EXPENSE.
- WHERE PROPOSED PAVEMENT IS TO MATCH EXISTING PAVEMENT, EXISTING PAVEMENT TO BE SQUARE CUT FOR THE FULL BASE THICKNESS. EXISTING SURFACE TO BE TACK COATED BEFORE NEW ASPHALT SURFACE IS PLACED. THE NEW ASPHALT SHALL MATCH AND BE FLUSH WITH EXISTING ASPHALT EDGE. NO LIP OR CORROSION WILL BE ALLOWED AS TESTED WITH A STRAIGHT EDGE AND SHALL BE REPAIRED BY THE CONTRACTOR IF THE TRANSITION EXCEEDS 1/4" HIGH FOR 10 FEET TOLERANCE.
- CONTRACTOR TO PROTECT EXISTING UTILITIES AND APPURTENANCES, MANHOLES, CURB INLETS, UTILITY LINES, ETC., DAMAGED, COVERED OR FILLED WITH DIRT OR DEBRIS BY THE CONTRACTOR. THE CONTRACTOR SHALL BE CLEANED AND REPAIRED TO THE CITY OF GRAND JUNCTION'S STANDARDS.
- THE CONTRACTOR SHALL PROTECT THE SURFACE OF ALL CONCRETE AGAINST WEATHER, TRAFFIC, GRABBER, AND SIMILAR ITEMS. ANY CONCRETE DAMAGED FOR ANY REASON SHALL BE REPAIRED BY CONTRACTOR AT CONTRACTOR'S EXPENSE TO MEET THE CITY OF GRAND JUNCTION'S SPECIFICATIONS.
- ANY CONCRETE CURB AND GUTTER, SIDEWALK, OR CROSSWALK DAMAGED BY ROLLER CURING OR PRIOR TO FINISH, WILL BE REMOVED AND REPLACED BY CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE FINISH SURFACE OF THE ASPHALT MAT MUST BE 1/4" ABOVE ANY ADJACENT CONCRETE SURFACE.
- TRAFFIC SIGNAL CONTROL DEVICES AND PAVEMENT STRIPING SHALL COMPLY WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER OR THE CITY OF GRAND JUNCTION.
- CONTRACTOR TO VERIFY ALL "BE-HIND" GRADES PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGN ENGINEER.
- ALL CURVE DATA SHOWN HEREON ARE REFERENCED TO ROADWAY CENTER LINE (CL) OR FLOWLINE OF CURB AND GUTTER (FL).
- PAVEMENT DESIGN IS BASED UPON GEOTECHNICAL INVESTIGATION REPORT PREPARED BY GEOTECHNICAL ENGINEERING GROUP.
- STANDARD CURB AND GUTTER ON 24 ROAD SHALL HAVE AN 10" FACE TO MATCH EXISTING CURB AND GUTTER. TRANSITION FROM 10" FACE TO 6" FACE ON 1/2 ROAD WITHIN CURB RETURN.
- CONCRETE FOR MT. GARFIELD BARRIER WALL SHALL BE COLORED HARVEST GOLD PER DAVIS COLOR CHART # 3054 AT 1 POUND PER CUBIC YARD OF CONCRETE.

STORM SEWER NOTE:

- ALL STORM SEWER CONSTRUCTION AND CONCRETE BOX CULVERT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS AND CDOT STANDARDS AND SPECIFICATIONS.
- CONCRETE FOR MANHOLES AND HEADWALLS SHALL BE COLORED MOCHA PER DAVIS COLOR CHART # 3058 AT 1 POUND PER CUBIC YARD OF CONCRETE. CONTRACTOR SHALL PROVIDE COLOR TEST PANELS FOR APPROVAL OF THE COLOR PRIOR TO PLACING CONCRETE.
- CONTRACTOR SHALL APPLY 1 1/2" FRACTURED FIN FIRM LINER TO THE OUTSIDE FACE OF SOUTH HEADWALL AND MANHOLES.



CALL
1-800-822-1987
UTILITY NOTIFICATION
CENTER OF COLORADO



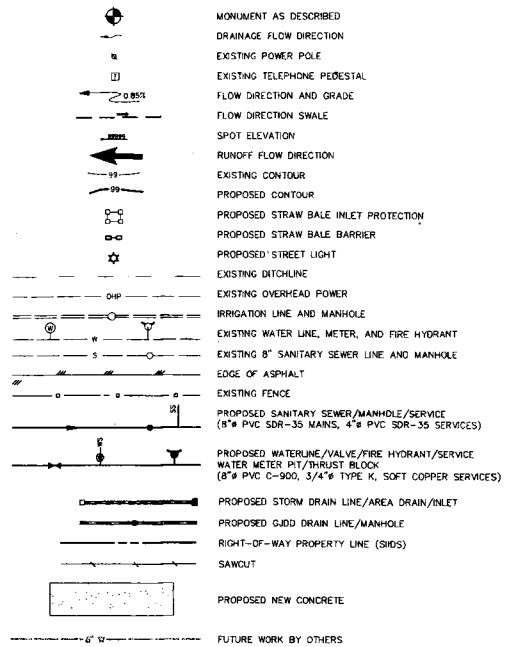
PROJECT BENCHMARK/CONTROL:

- ◆ S 1/4 CORNER
SECTION 4, T1S, R1E, 1/4M
MCSM NO. 839-2
NORTHING 44713.55
EASTING 113192.43
ELEVATION 4713.55 (NAVD '88)
- ◆ E 1/16 CORNER
SECTION 4 & 3, T1S, R1E, 1/4M
MCSM NO. 835-1
NORTHING 44711.84
EASTING 114513.89
ELEVATION 4718.24 (NAVD '88)

APPROVED FOR CONSTRUCTION:
[Signature] 8/1/06
City of Grand Junction

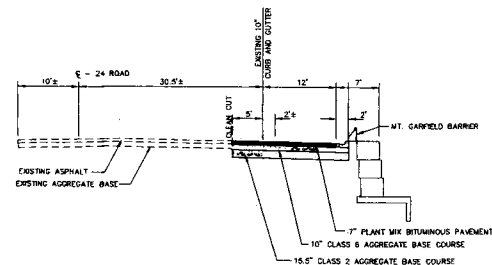
ACCEPTED AS CONSTRUCTED:
[Signature]
City of Grand Junction

LEGEND

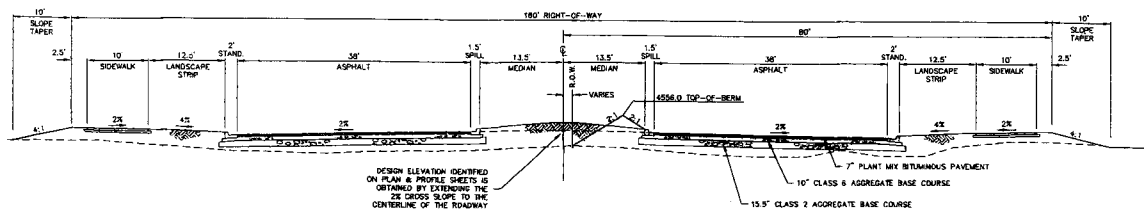


CONSTRUCTION NOTES

- 1 SAW CUT CURB AND GUTTER
- 2 CLEAN OUT PAVEMENT
- 3 REMOVE EXISTING ASPHALT PAVING
- 4 REMOVE EXISTING CURB AND GUTTER
- 5 REMOVE EXISTING INLET AND PIPE
- 60 INSTALL STOP LINE 24" WIDE (WHITE)
- 61 INSTALL LONGITUDINAL LINE 4" WIDE (WHITE)
- 62 INSTALL LONGITUDINAL LINE 4" WIDE (YELLOW)
- 63 INSTALL CENTER LINES 4" WIDE (YELLOW)
- 64 INSTALL EDGE LINE CONTINUOUS 4" WIDE (WHITE)
- 65 INSTALL CHANNELING LINE 8" WIDE (WHITE)
- 66 INSTALL PAVEMENT MARKING RIGHT ARROW (WHITE)
- 67 INSTALL "END OF ROAD" MARKER AND SUPPORT
- 70 INSTALL R1-1 SIGN AND SUPPORT
- 71 INSTALL R3-7 (RIGHT) SIGN AND SUPPORT
- 72 INSTALL R8-3A SIGN AND SUPPORT (NO PARKING)
- 80 INSTALL TRAFFIC SIGNAL POLE FOOTING PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10).
- 81 INSTALL LARGE PULL BOX PENCELL PE-30 HD OR APPROVED EQUAL PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10).
- 82 INSTALL 3" RIGID CONDUIT PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10), SCHEDULE 80 PVC.
- 83 INSTALL 2" RIGID CONDUIT PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10), SCHEDULE 80 PVC.
- 10 608.03 CONSTRUCT STANDARD CURB AND GUTTER PER SRD DTL C-05
- 11 608.03 CONSTRUCT CURB WITH SPILL GUTTER PER STD C-05
- 12 608.03 CONSTRUCT CURB RAMP
- 13 608.03 CONSTRUCT 10' WIDE CONCRETE SIDEWALK
- 14 601 CONSTRUCT TRIPLE CONCRETE BOX CULVERT PER CDOT STANDARD PLAN NO M-601-3
- 15 601 CONSTRUCT SEGMENTAL RETAINING WALL
- 16 506 CONSTRUCT RIP-RAP SLOPE PROTECTION PER CDOT SPECIFICATION SECTION 506-RIPRAP. D50 SIZE SHALL BE 12"
- 17 606 CONSTRUCT CONCRETE GUARD RAIL MT GARFIELD BARRIER PER CITY OF GRAND JUNCTION STANDARDS.
- 21 CONSTRUCT STORM DRAIN INLET WITH VERTICAL CURB OPENING PER STANDARD STORM DRAIN DETAIL SHEET D-07.
- 22 CONSTRUCT CONCRETE V-PAN PER CITY OF GRAND JUNCTION STANDARD DETAIL PAGE C-12
- 23 CONSTRUCT RIP-RAP APRON PER CDOT SPECIFICATION SECTION 506 RIP-RAP D50 SIZE SHALL BE 12"
- 25 CONSTRUCT STANDARD STORM DRAIN MAN HOLE PER STANDARD STORM DRAIN DETAIL SHEET D-03.
- 26 30" RCP END SECTION MATCH EXISTING FLOWLINE
- 27 INSTALL 30" RCP CLASS III STORM DRAIN
- 28 INSTALL 18" RCP CLASS III STORM DRAIN
- 29 INSTALL 18" RCP END SECTION MATCH SIDESLOPE OR FLOWLINE
- 30 CONSTRUCT PAVEMENT TO PER.
- 401 RELOCATE FIRE HYDRANT VALVES, PIPING AND APPURTENANCES.



TYPICAL ROADWAY SECTION 24 ROAD
SCALE: 1"=10'



TYPICAL ROADWAY SECTION F 1/2 ROAD
SCALE: 1"=10'
STA. 51+39.40 TO STA. 56+04.94 F 1/2 ROAD



CALL
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO

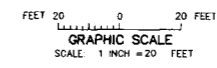
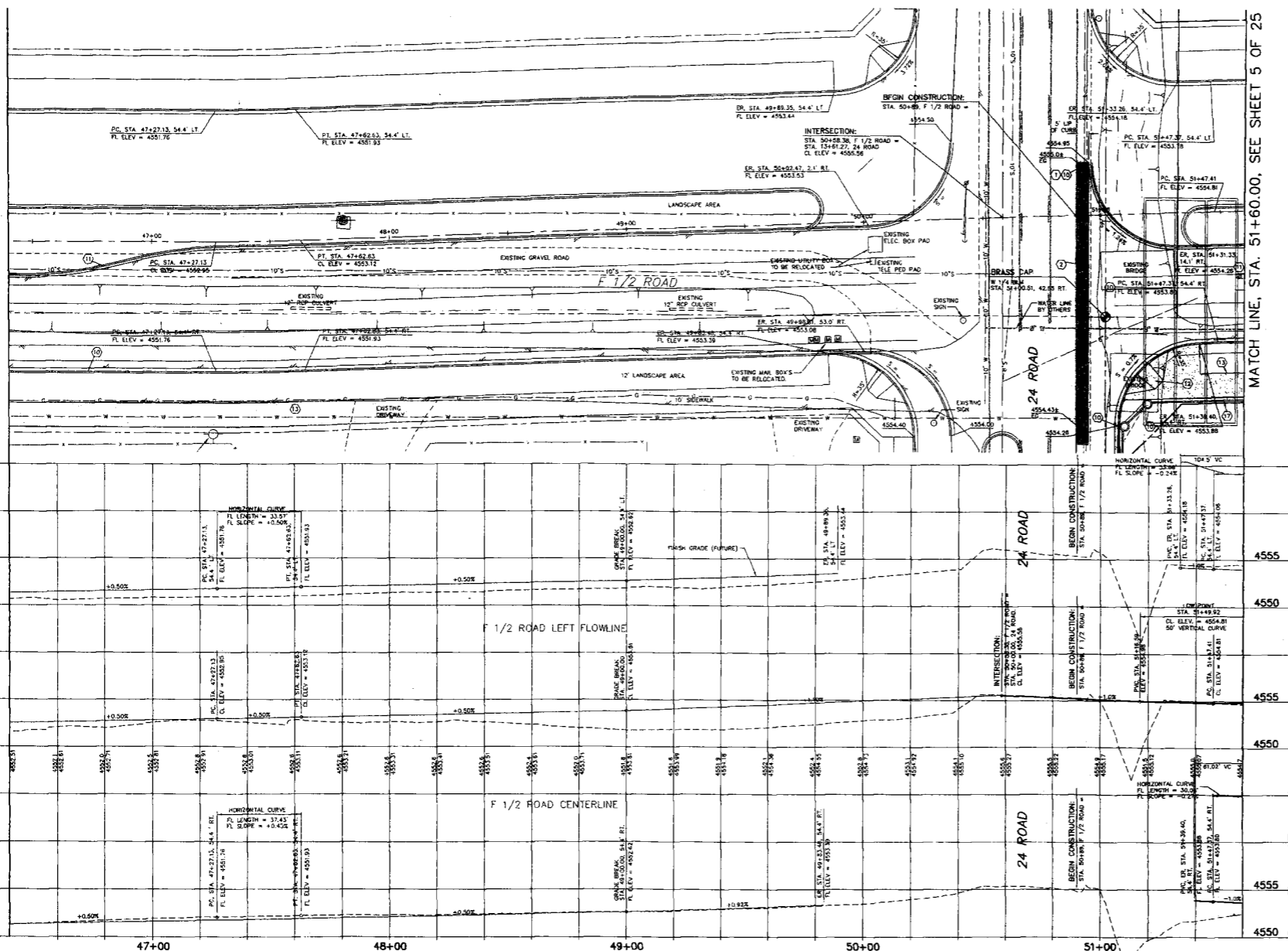


PROJECT BENCHMARK/CONTROL

- ◆ S 1/4 CORNER
SECTION 4, T1S, R1E, UM
MCSM NO. 839-2
NORTHING 44713.55
EASTING 113192.43
ELEVATION 4713.35 (NAVD '88)
- ◆ E 1/16 CORNER
SECTION 4 & 3, T1S, R1E, UM
MCSM NO. 835-1
NORTHING 44711.84
EASTING 114513.89
ELEVATION 4718.24 (NAVD '88)

APPROVED FOR CONSTRUCTION:
(for one year from this date)
David J. ... 8/1/06
City of Grand Junction Date

ACCEPTED AS CONSTRUCTED:
City of Grand Junction Date



CONSTRUCTION NOTES

- ① SAW CUT CURB AND GUTTER
- ② CLEAN CUT PAVEMENT
- ③ REMOVE EXISTING ASPHALT PAWING
- ④ REMOVE EXISTING CURB AND GUTTER

- ⑩ 608.03 CONSTRUCT STANDARD CURB PER SRD DTL C-05
- ⑪ 608.03 CONSTRUCT CURB WITH SPILL PER STD C-05
- ⑫ 608.03 CONSTRUCT CURB RAMP
- ⑬ 608.03 CONSTRUCT 10' WIDE CONCRETE
- ⑭ 601 CONSTRUCT TRIPLE CONCRETE PER CDOT STANDARD PLAN 1
- ⑮ 506 CONSTRUCT RIP-RAP SLOPE PER CDOT SECT 506-RRIPRAP SIZE SHA
- ⑯ 606 CONSTRUCT CONCRETE MT. G RAIL
- ⑰ 401 CONSTRUCT PAVEMENT TAPEI RELOCATE FIRE HYDRANT VAL APPURTENANCES.

NOTE:
1. SEE ROADWAY GENERAL NOTE NO. 1.



APPROVED FOR
Thomas Hinkle
CITY OF GRAND JUNCTION
ACCEPTED AS C

CALL 1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO
CITY OF GRAND JUNCTION, COLORADO

SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'
DATE: 1-27-06

DRAWN BY: F.J.B.	REVIEWED _____ DATE _____ FOR _____
CHECKED BY: D.E.C.	REVIEWED _____ DATE _____ FOR VISTA ENGINEERING CORP.

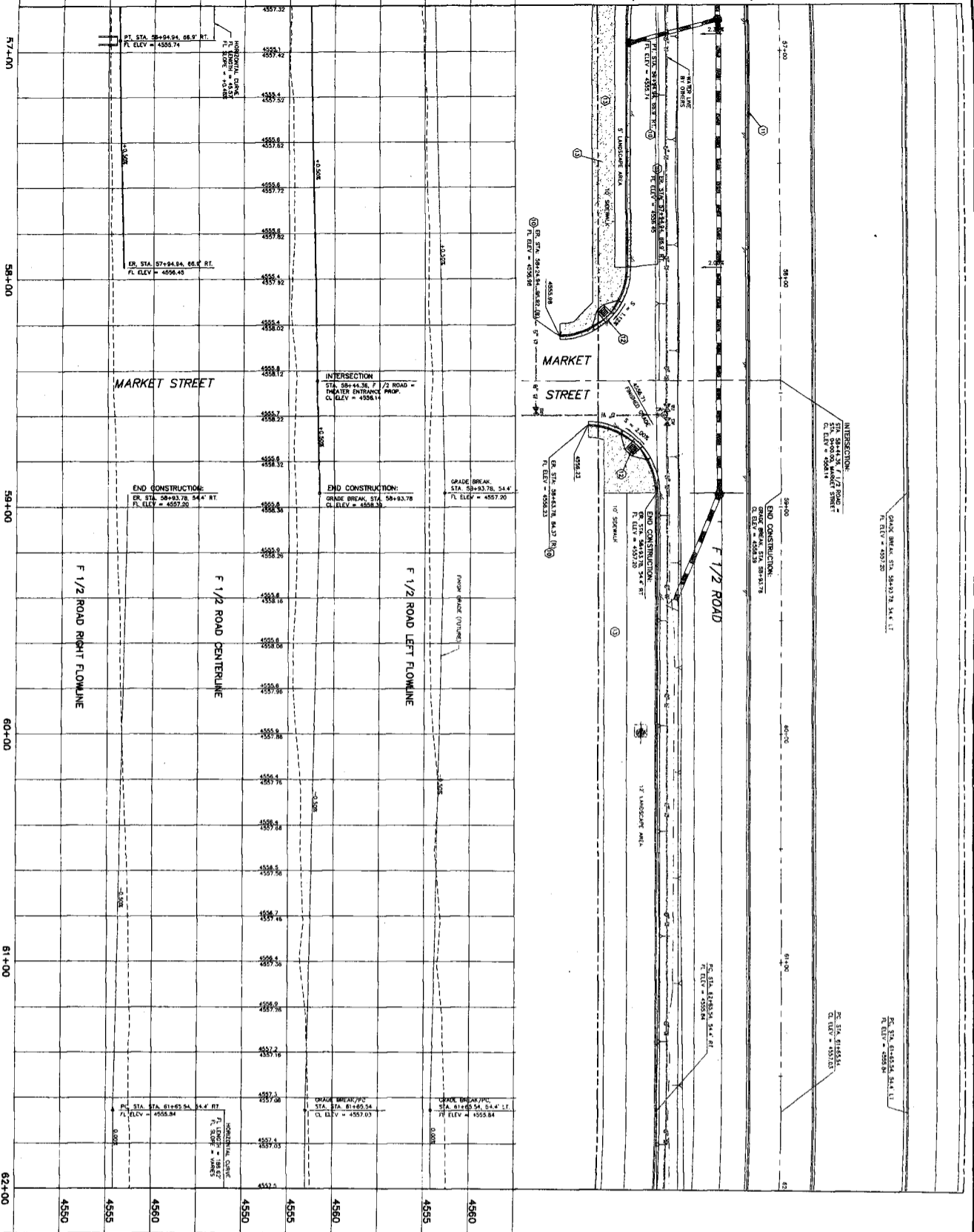
VISTA ENGINEERING CORP.
CONSULTING ENGINEERS AND LAND SURVEYORS
806 28 1/4 ROAD, SUITE B • GRAND JUNCTION, CO 81508 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	2-17-06	REVISED AS PER 1ST ROUND REVIEW COMMENTS	SOS	PFL
2	7-31-06	ADD SEGMENTAL RETAINING WALL	SOS	PFL

CITY OF GRAND JUNCTION

GRAND JUNCTION, COLORADO
F 1/2 ROAD IMPROVEMENTS
ROADWAY PLAN AND PROFILE, STA. 50+89.00 TO STA. 51+60.00
DATE: 1-27-06

MATCH LINE, STA. 51+60.00, SEE SHEET 5 OF 25



APPROVED FOR CONSTRUCTION:
Todd Marshall
 CITY OF SAND JUNCTION
 DATE: 6/1/08

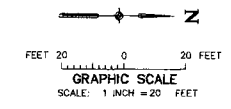
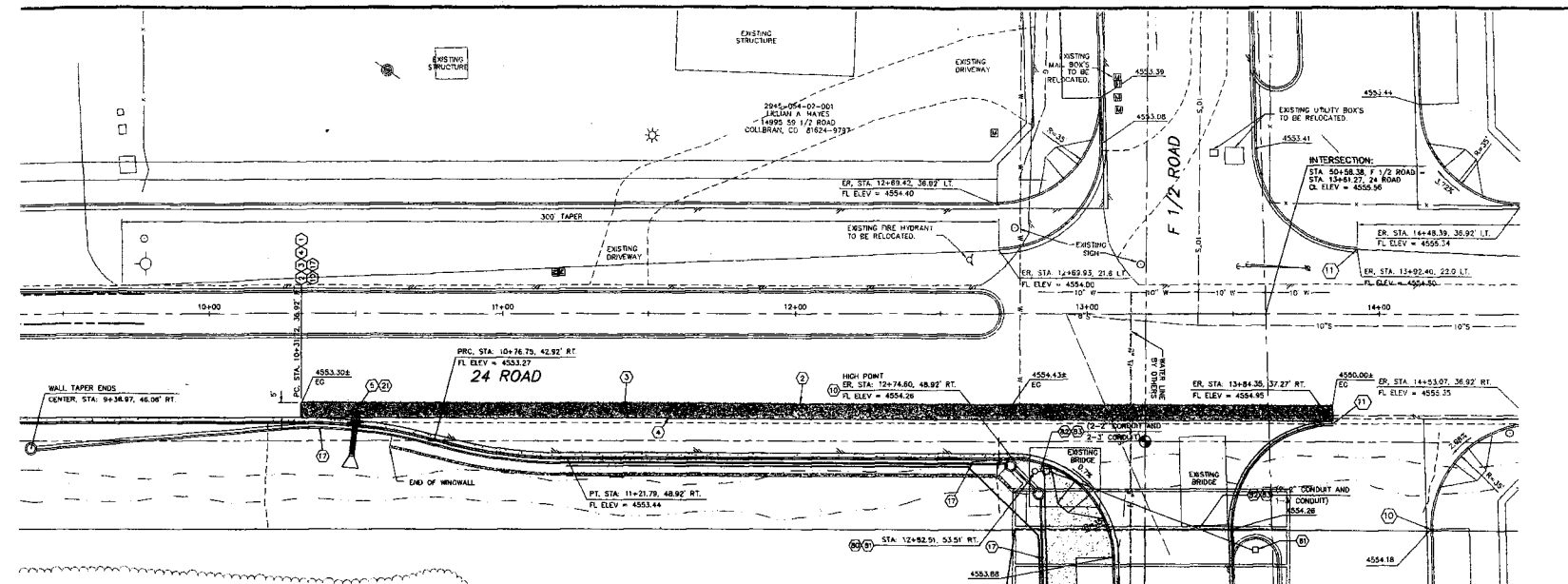
ACCEPTED AS CONSTRUCTED:

 CITY OF SAND JUNCTION
 DATE: _____

CELL: 1-800-422-1887
 PLANS: 10/1/07
 DATE: 10/1/07

GRAPHIC SCALE
 FEET 20
 0 20 FEET
 SCALE: 1" = 20' FEET

⑩ CONSTRUCT STANDARD CURB AND GUTTER
 ⑪ CONSTRUCT CURB WITH SPILL BUTTER
 PER STD C-05
 ⑫ CONSTRUCT CURB RAMP
 ⑬ CONSTRUCT 10' WIDE SIDEWALK



CONSTRUCTION NOTES

- (1) SAWCUT EXIST CURB AND GUTTER
- (2) CLEAN CUT PAVEMENT
- (3) REMOVE EXISTING ASPHALT PAVING
- (4) REMOVE EXISTING CURB AND GUTTER
- (5) REMOVE EXISTING INLET AND PIPE
- (10) CONSTRUCT STANDARD CURB AND GUTTER
- (11) CONSTRUCT CURB AND SPILL GUTTER
- (17) CONSTRUCT MT. GARFIELD CONCRETE GUARD RAIL PER CITY OF GRAND JUNCTION STANDARDS
- (21) CONSTRUCT STORM DRAIN INLET

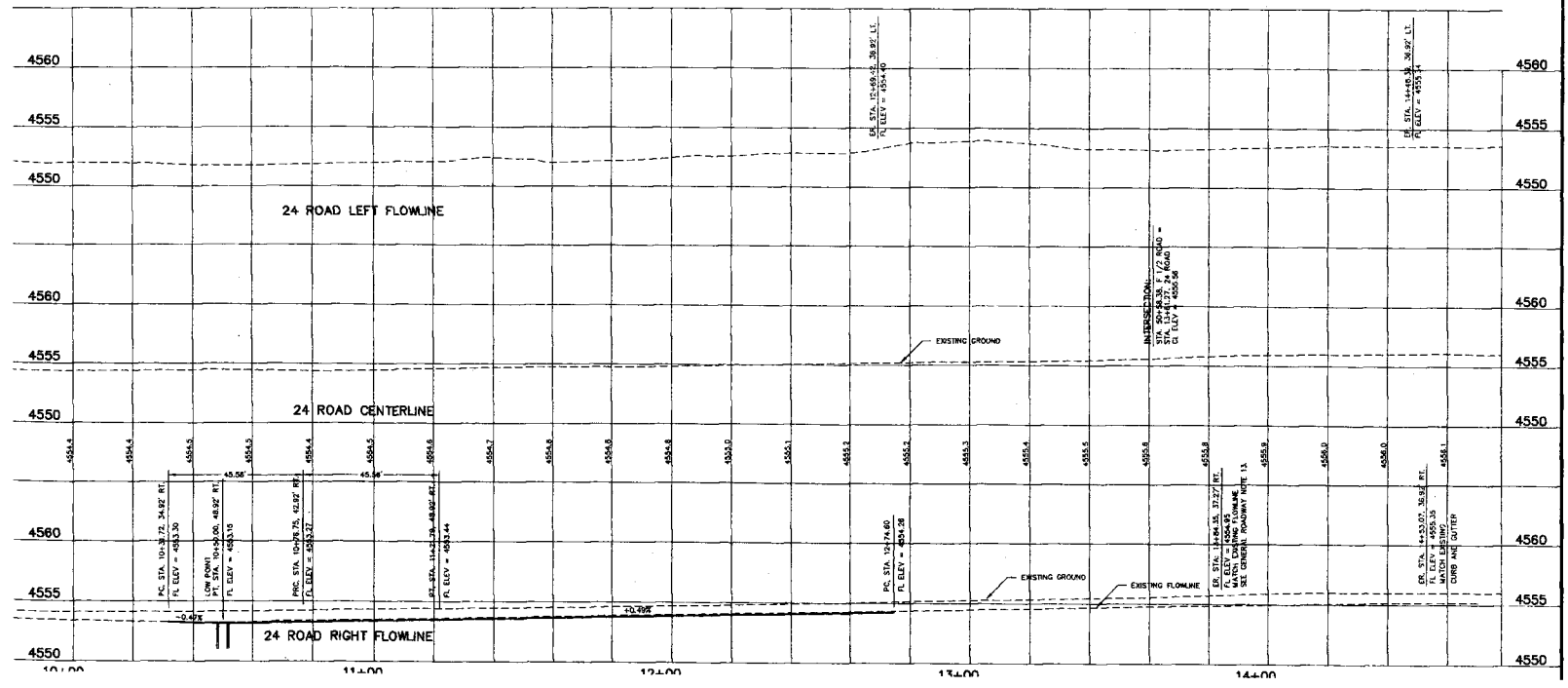
- (60) INSTALL TRAFFIC SIGNAL POLE FOOTING PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10).
- (61) INSTALL LARGE PULL BOX PENCIL PE-30 HD OR APPROVED EQUAL PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10).
- (62) INSTALL 3" RIGID CONDUIT PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10), SCHEDULE 80 PVC.
- (63) INSTALL 2" RIGID CONDUIT PER TYPICAL SIGNAL INSTALLATION AND DESIGN DETAILS (TEDS CHAPTER 10), SCHEDULE 80 PVC.

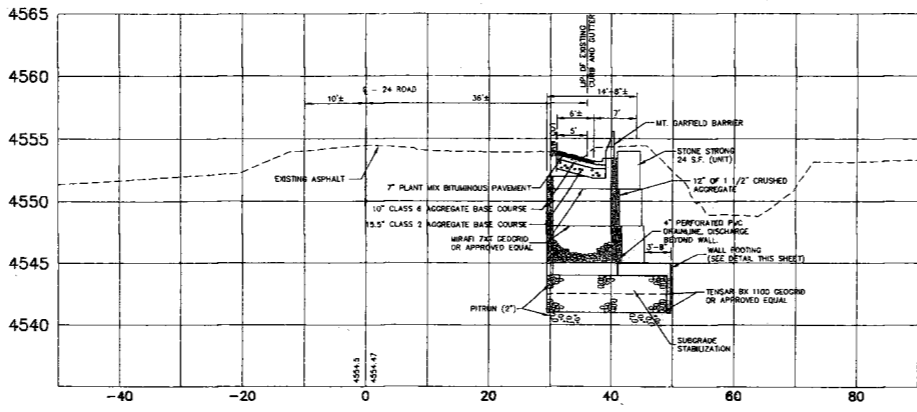
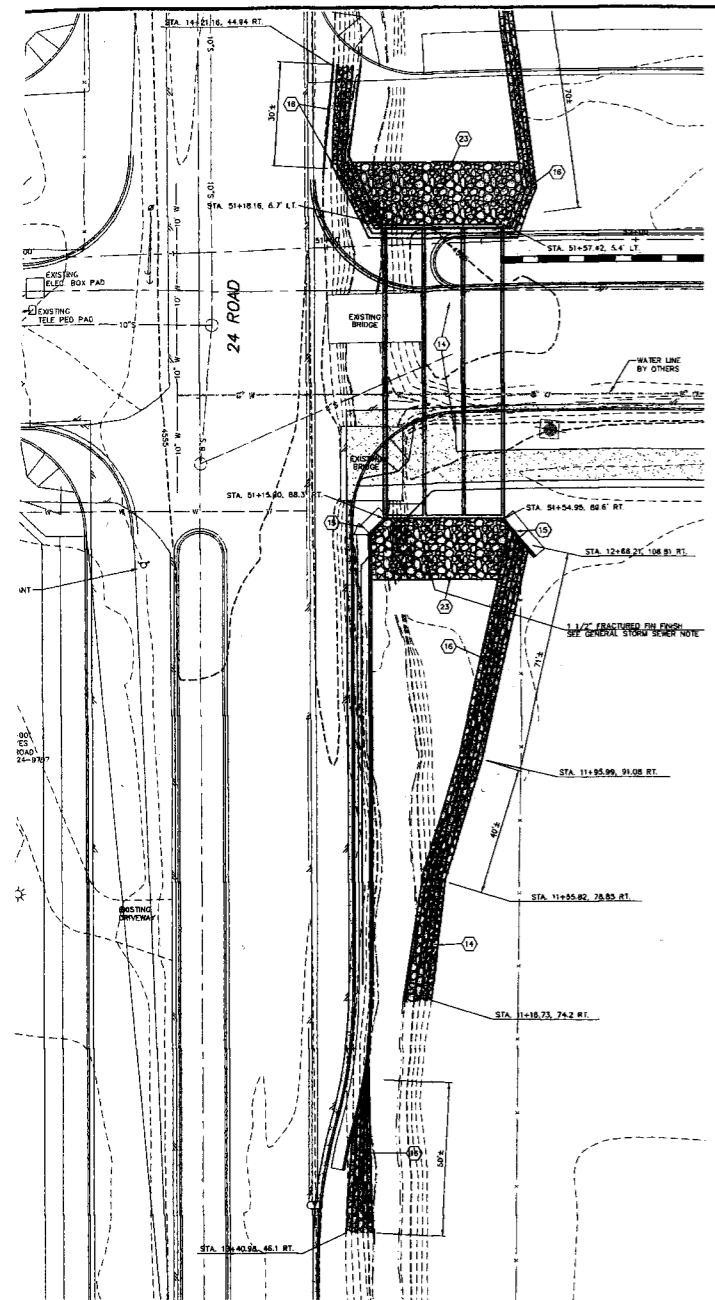
NOTE:
 1. SEE ROADWAY GENERAL NOTE NO. 13.
 2. SEE GENERAL NOTES.



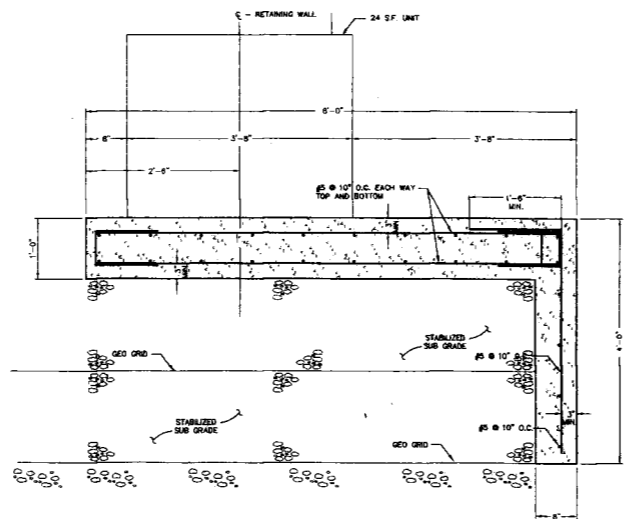
APPROVED FOR CONSTRUCTION:
Tom Hansen 8/1/06
 CITY OF GRAND JUNCTION DATE

ACCEPTED AS CONSTRUCTED:
 CITY OF GRAND JUNCTION DATE

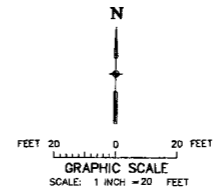




STONESTRONG SEGMENTAL RETAINING WALL
TYPICAL SECTION
 SCALE: 1"=10' HORIZONTAL
 1"=5' VERTICAL



RETAINING WALL FOOTING DETAIL
 SCALE: 1"=1'-0"

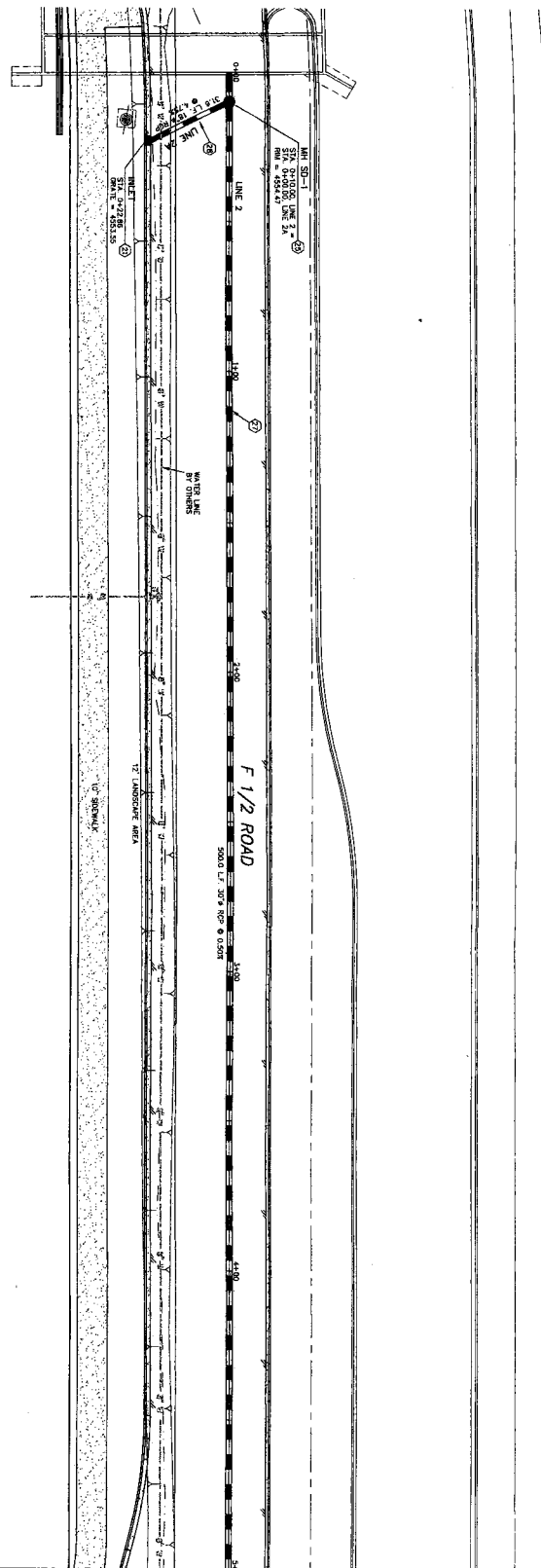


- NOTES:
1. SEE SHEET D1 FOR RIPRAP STORM DETENTION DETAIL.
 2. SEE SHEET D1 FOR RIPRAP APRON DETAIL.
 3. CONCRETE BOX CULVERT SHALL BE CONSTRUCTED PER CDDT STANDARD DRAWING M-601-3.
 4. WINGWALLS SHALL BE CONSTRUCTED PER CDDT STANDARD DRAWING M-601-20 WINGWALLS FOR PIPE OR BOX CULVERTS.

- CONSTRUCTION NOTES**
- (14) 601 CONSTRUCT TRIPLE CONCRETE BOX CULVERT PER CDDT STANDARD PLAN NO M-601-3
 - (15) 601 CONSTRUCT SEGMENTAL RETAINING WALL PER DETAIL THIS SHEET AND MANUFACTURERS RECOMMENDATIONS.
 - (16) 506 CONSTRUCT RIP-RAP SLOPE PROTECTION PER CDDT SECT 506-RIPRAP D50. SIZE SHALL BE 12"
 - (23) 506 CONSTRUCT RIP-RAP APRON PER CDDT SECT 506-RIPRAP D50. SIZE SHALL BE 12"



APPROVED FOR CONSTRUCTION:	
<i>[Signature]</i>	8/1/06
CITY OF GRAND JUNCTION	DATE
ACCEPTED AS CONSTRUCTED:	
CITY OF GRAND JUNCTION	DATE

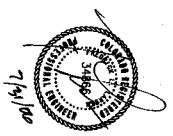


MATCH LINE, STA. 5+00.00, SEE SHEET 12 OF 25

4580	CONCRETE BOX CULVERT	STA. 0+00.00 TO 0+47.00	12' LANSBURY AREA
4555	MH SD-1	STA. 0+47.00 TO 0+54.45	12' LANSBURY AREA
4550	100' L.P.	STA. 0+54.45 TO 0+59.00	12' LANSBURY AREA
4545	100' L.P.	STA. 0+59.00 TO 0+64.00	12' LANSBURY AREA
4540	100' L.P.	STA. 0+64.00 TO 0+69.00	12' LANSBURY AREA
0+00			
0+40			
0+80			
1+20			
1+60			
2+00	STORM DRAIN LINE 2		
2+40			
2+80			
3+20			
3+60			
4+00			
4+40			
4+80			
4580			
4555			
4550			
4545			
4540			

FEET 20
 0
 20 FEET
 GRAPHIC SCALE
 SCALE: 1 INCH = 20 FEET

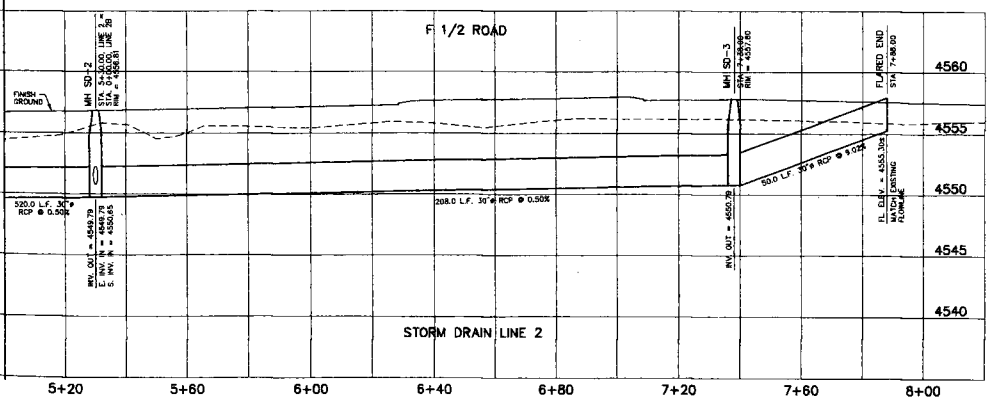
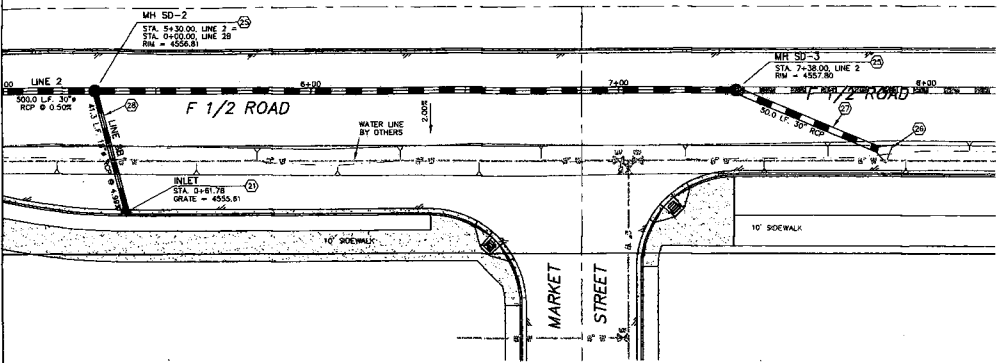
- ① CONSTRUCT STORM DRAIN INLET WITH VERTICAL CURB OPENING PER STORM DRAIN DETAIL PAGE 0-07
- ② CONSTRUCT STANDARD STORM SEWER MANHOLE PER DETAIL SHEET D-03
- ③ INSTALL 30" RCP CLASS III STORM DRAIN
- ④ INSTALL 18" RCP CLASS III STORM DRAIN



APPROVED FOR CONSTRUCTION:
Todd H. Hester
 DATE: 6/1/04
 CITY OF BALTIMORE
 ACCEPTED AS CONSTRUCTED:
 DATE: _____
 TITLE: _____

1-800-322-1987
 UTILITY NOTIFICATION
 CALL BEFORE YOU DIG

GRADE BREAK: STA. 58+83.76, 54' x 4" L.T.
 P. ELEV. = 4597.20



FEET 20 0 20 FEET
 GRAPHIC SCALE
 SCALE: 1 INCH = 20 FEET

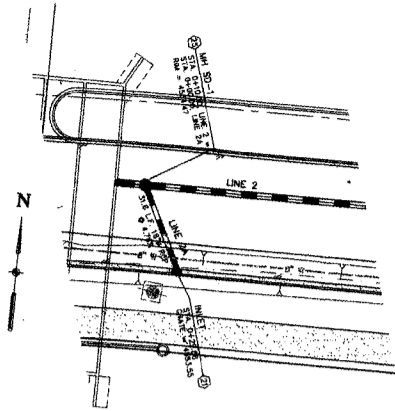
- (21) CONSTRUCT STORM DRAIN INLET WITH VERTICAL CURB OPENING PER STORM DRAIN DETAIL PAGE D-07
- (22) CONSTRUCT STANDARD STORM SEWER MANHOLE PER DETAIL SHEET D-03
- (23) 30" RCP END SECTION MATCH EXISTING FLOWLINE
- (27) INSTALL 30" RCP CLASS III STORM DRAIN
- (28) INSTALL 18" RCP CLASS III STORM DRAIN



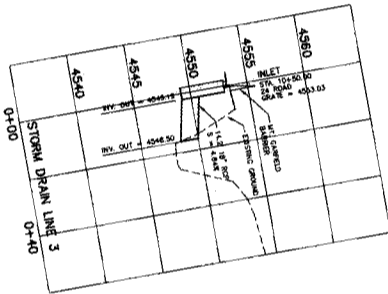
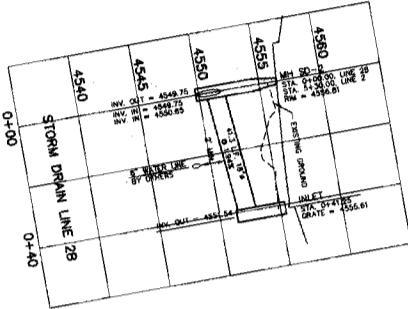
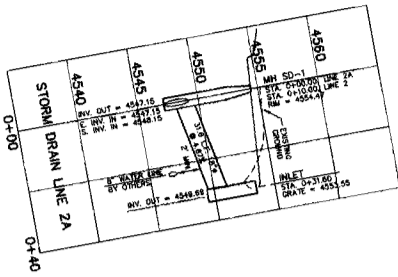
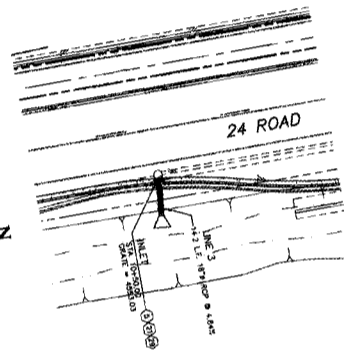
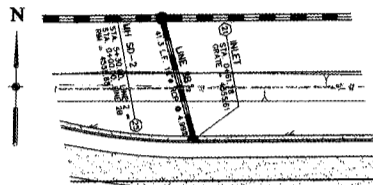
APPROVED FOR CONSTRUCTION:
Todd Johnson 8/1/06
 CITY OF GRAND JUNCTION DATE

ACCEPTED AS CONSTRUCTED:
 CITY OF GRAND JUNCTION DATE

CALL
 1-800-622-1887
 UTILITY NOTIFICATION
 CENTER OF COLORADO

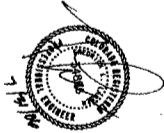


F 1/2 ROAD
LINE 2

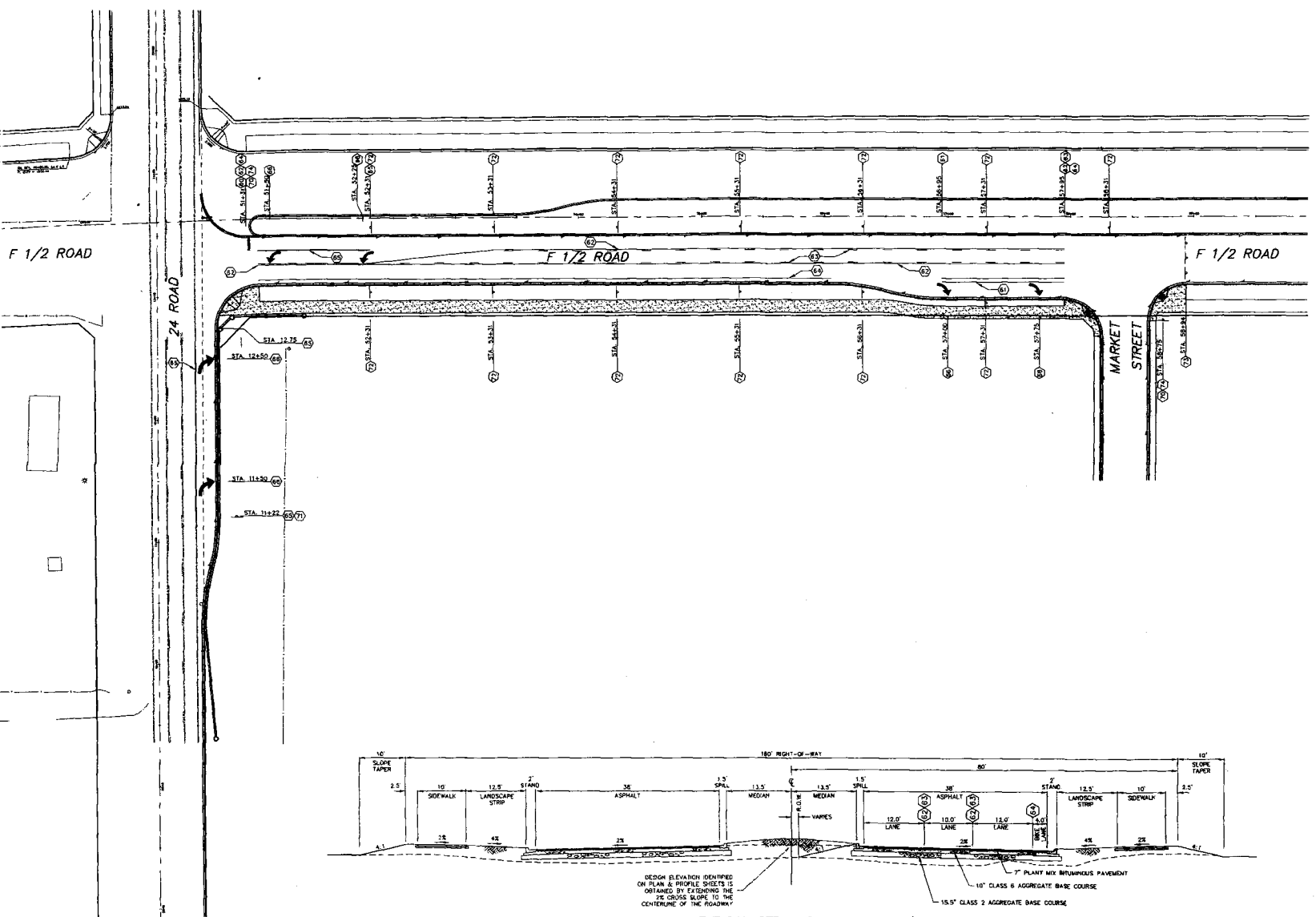


- ① REMOVE EXISTING INLET
- ② CONSTRUCT STORM DRAIN INLET WITH VERTICAL CURVE PER DETAIL PER STORM DRAIN DRAIN DETAIL PER D-07
- ③ CONSTRUCT STANDARD STORM SINKER MANHOLE PER DETAIL PER D-03
- ④ INSTALL 18" RCP END SECTION

FEET 20
GRAPHIC SCALE
SCALE: 1" = 20' FEET



APPROVED FOR CONSTRUCTION:
ACCEPTED AS CONSTRUCTED:
DATE: 8/1/14



TYPICAL STRIPING SECTION F 1/2 ROAD



FEET 40 0 40 FEET
 GRAPHIC SCALE
 SCALE: 1" = 40' FEET

- 60 INSTALL STOP LINE 24" WIDE (WHITE)
- 61 INSTALL LONGITUDINAL LINE 4" WIDE (WHITE)
- 62 INSTALL LONGITUDINAL LINE 4" WIDE (YELLOW)
- 63 INSTALL CENTER LINES 4" WIDE (YELLOW)
- 64 INSTALL EDGE LINE CONTINUOUS 4" WIDE (WHITE)
- 65 INSTALL CHANNELIZING LINE 8" WIDE (WHITE)
- 66 INSTALL PAVEMENT MARKING RIGHT ARROW (WHITE)
- 67 INSTALL PAVEMENTS MARKING LEFT ARROW (WHITE)

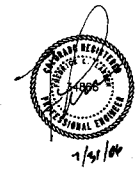
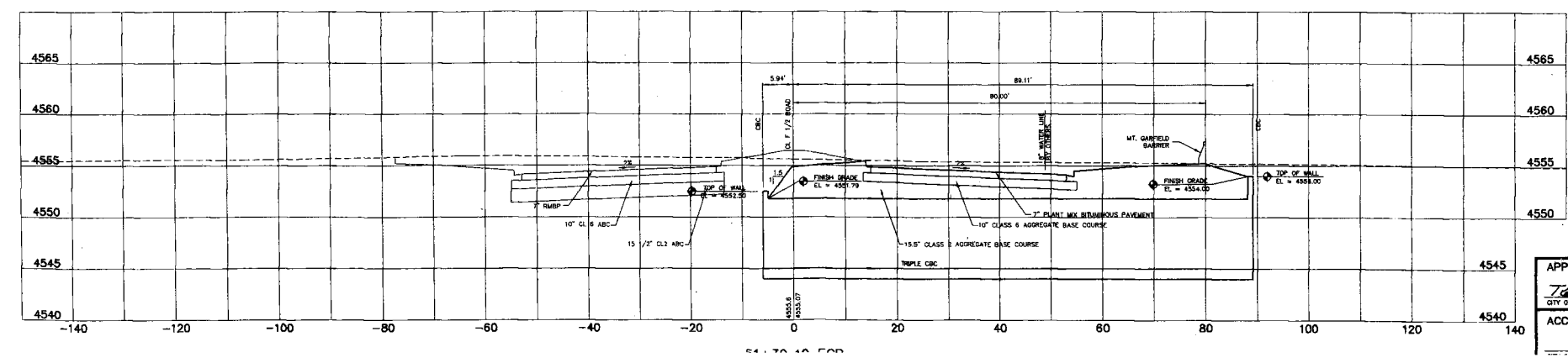
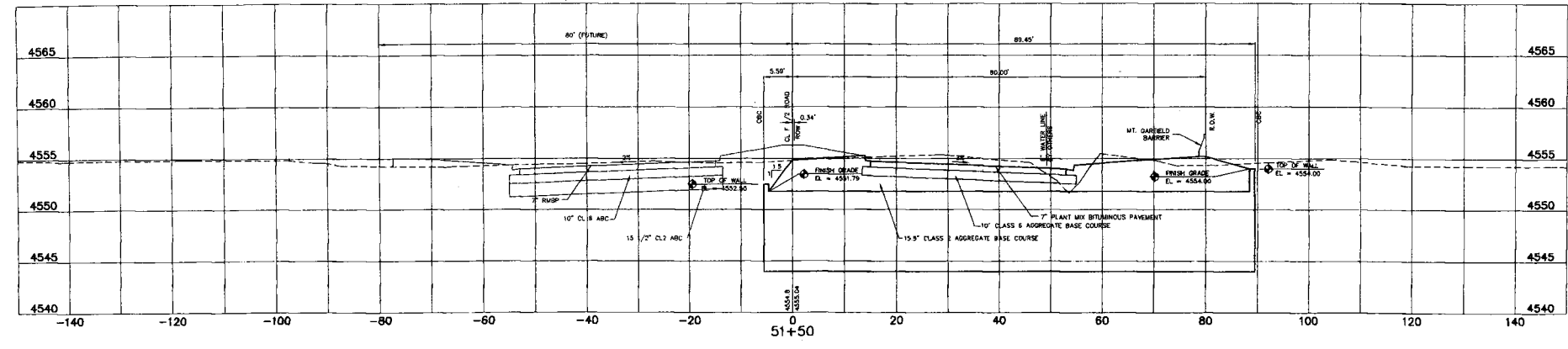
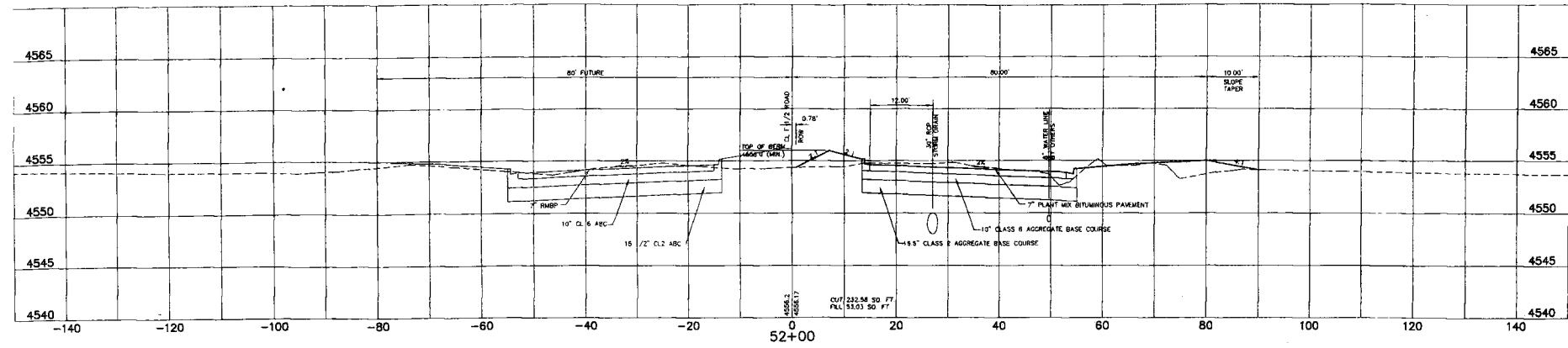
- 70 INSTALL R1-1 SIGN AND SUPPORT
- 71 INSTALL R3-7 (RIGHT) SIGN AND SUPPORT
- 72 INSTALL R8-3A SIGN AND SUPPORT (NO PARKING)
- 73 INSTALL OM 4-2 END OF ROAD MARKER SIGN AND SUPPORT
- 74 INSTALL O-3 (STREET NAME) SIGN AND SUPPORT



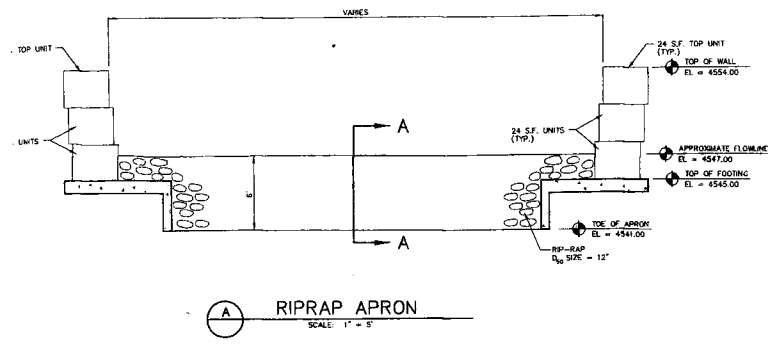
APPROVED FOR CONSTRUCTION:
David Haskel 8/1/08
 CITY OF GRAND JUNCTION DATE

ACCEPTED AS CONSTRUCTED:

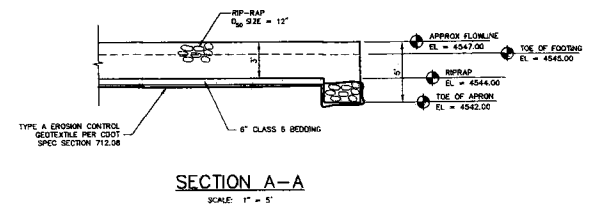
CALL
 1-800-922-1987
 UTILITY NOTIFICATION



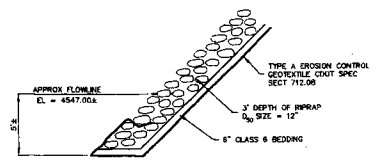
APPROVED FOR CONSTRUCTION:
Gregory W. Hester 8/1/04
 CITY OF GRAND JUNCTION DATE
 ACCEPTED AS CONSTRUCTED:



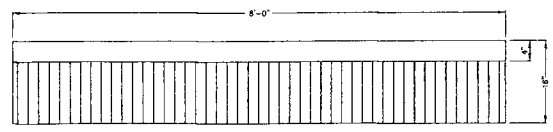
A RIPRAP APRON
SCALE: 1" = 5'



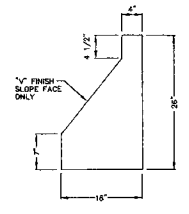
SECTION A-A
SCALE: 1" = 5'



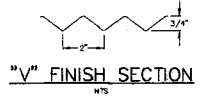
B RIPRAP SLOPE PROTECTION TYPICAL SECTION
SCALE: 1" = 5'



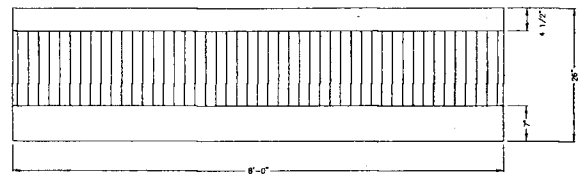
TOP VIEW



SIDE VIEW



"V" FINISH SECTION
NTS



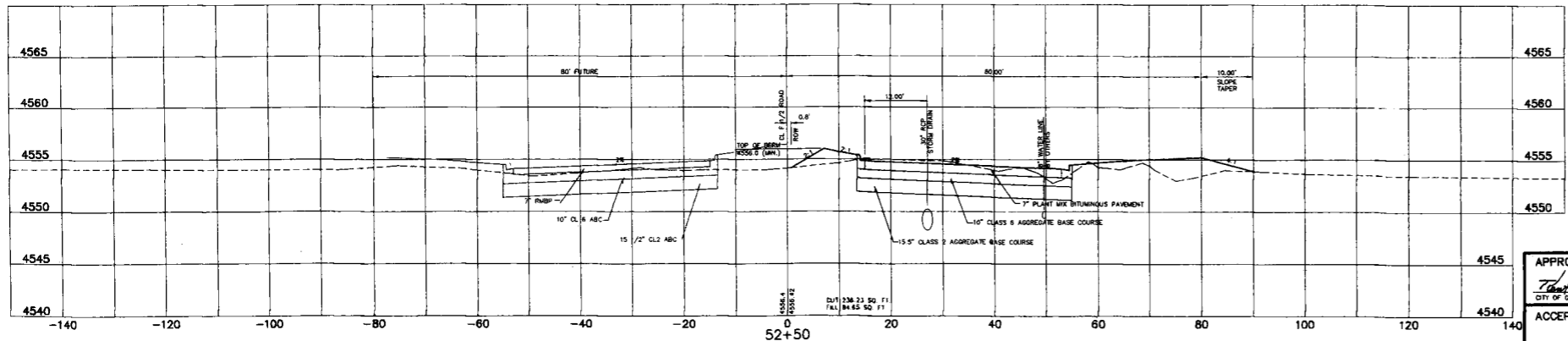
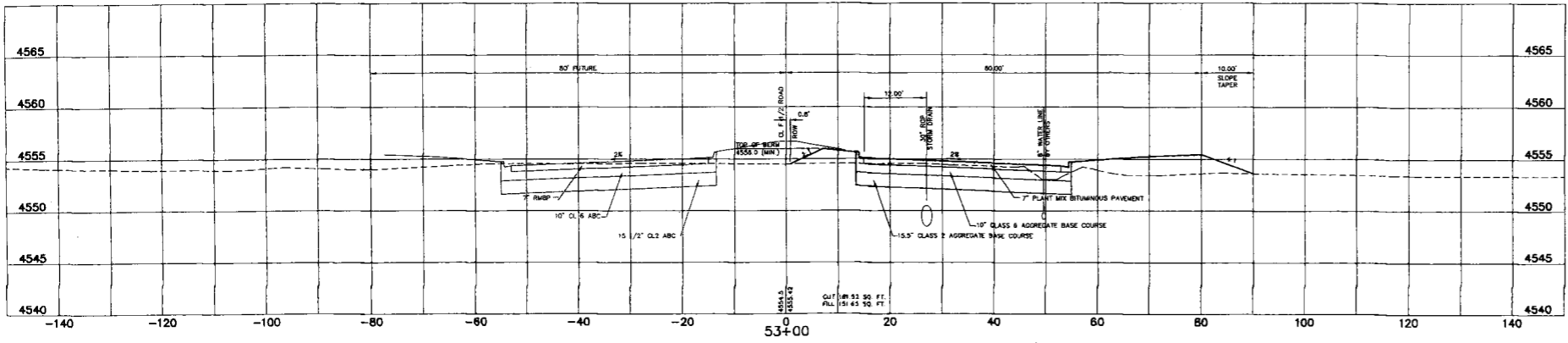
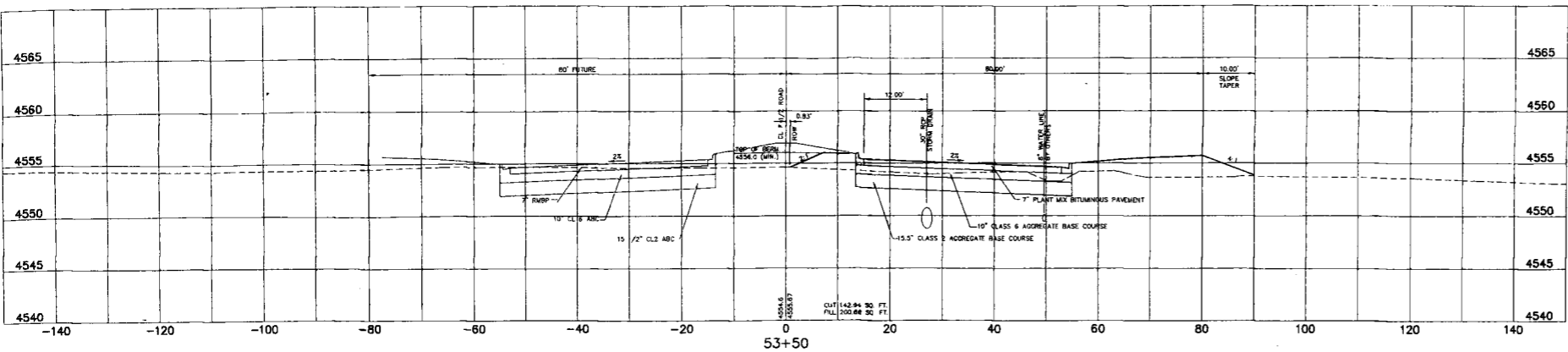
FRONT VIEW

MT. GARFIELD BARRIER DETAIL
SCALE: 1" = 1'-0"

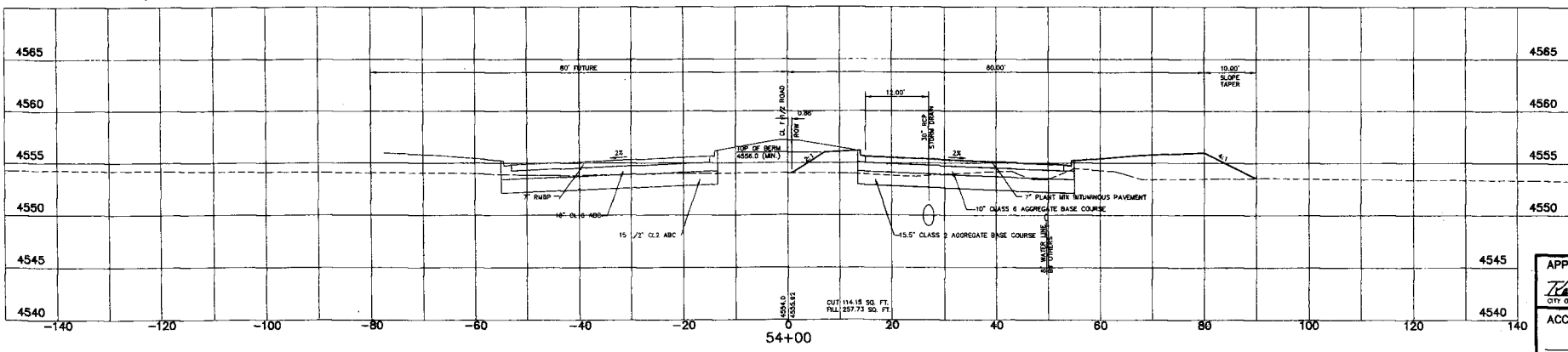
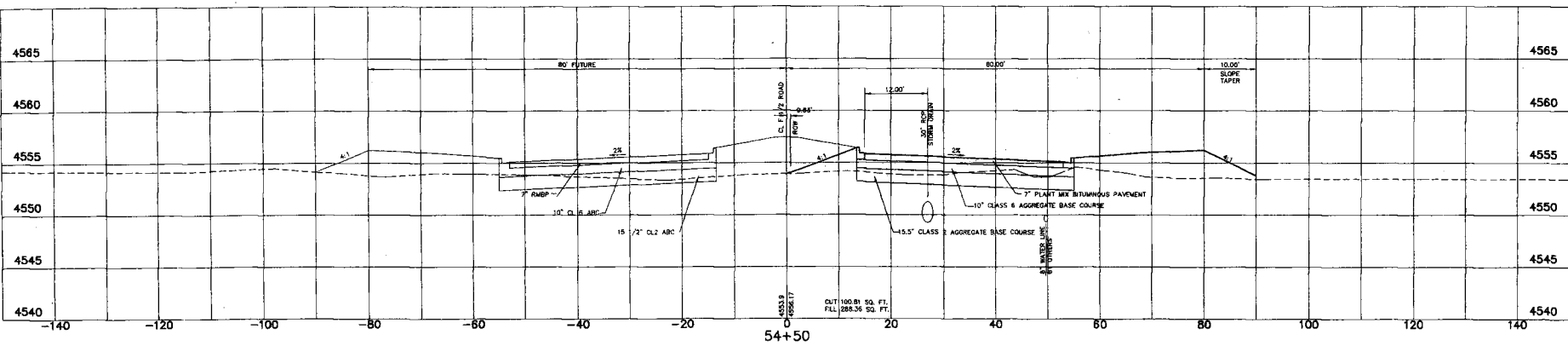
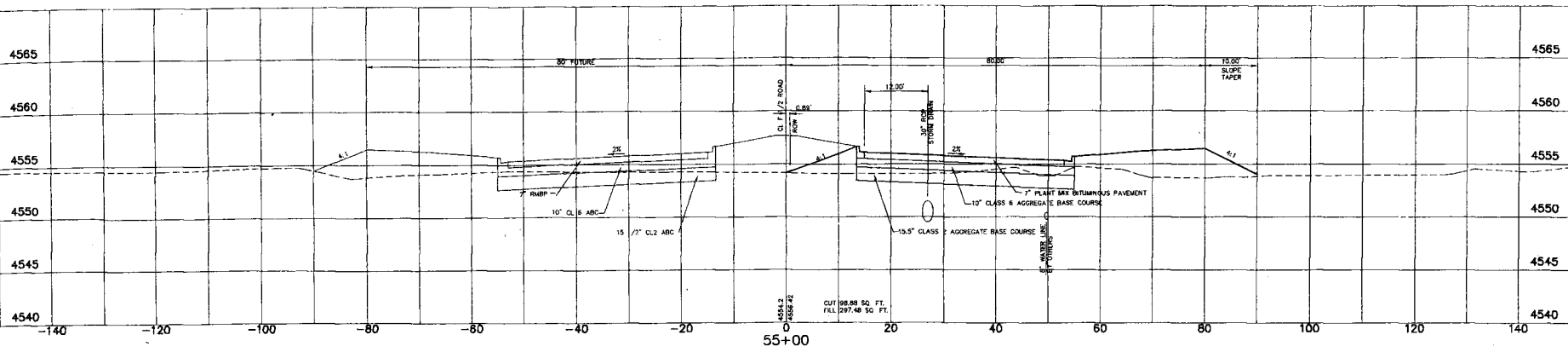


CALL
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO

APPROVED FOR CONSTRUCTION:
(for one year from this date)
David J. Hester 7/1/06
City of Grand Junction Date
ACCEPTED AS CONSTRUCTED:

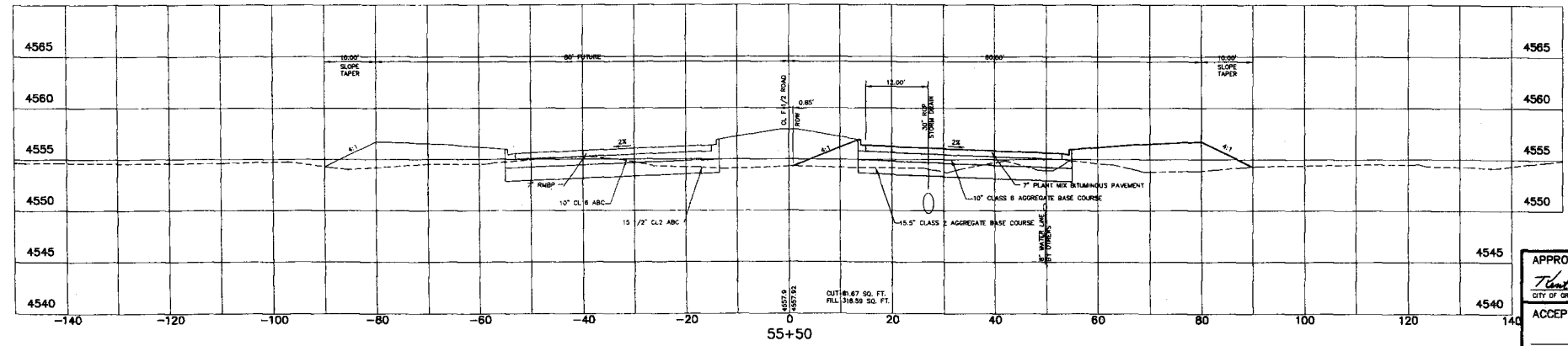
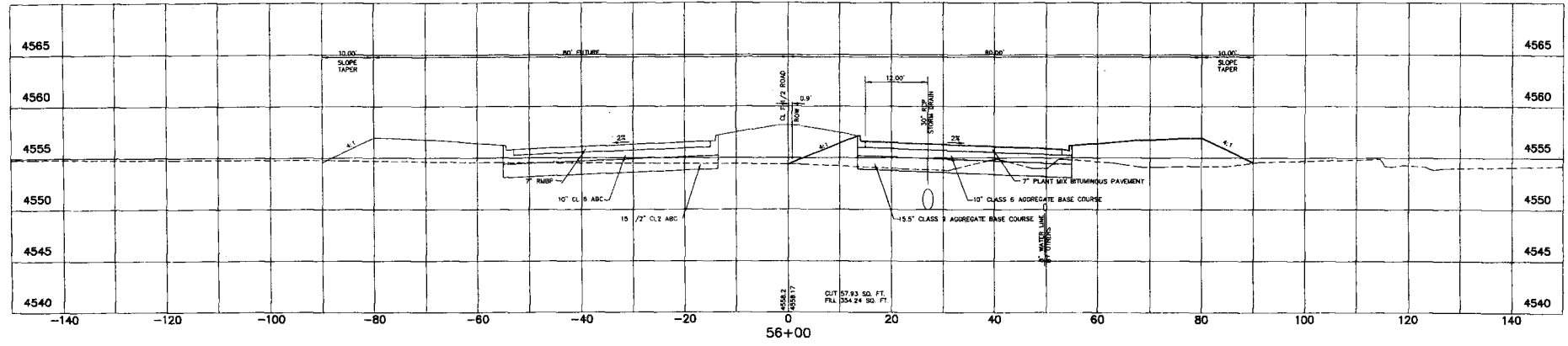
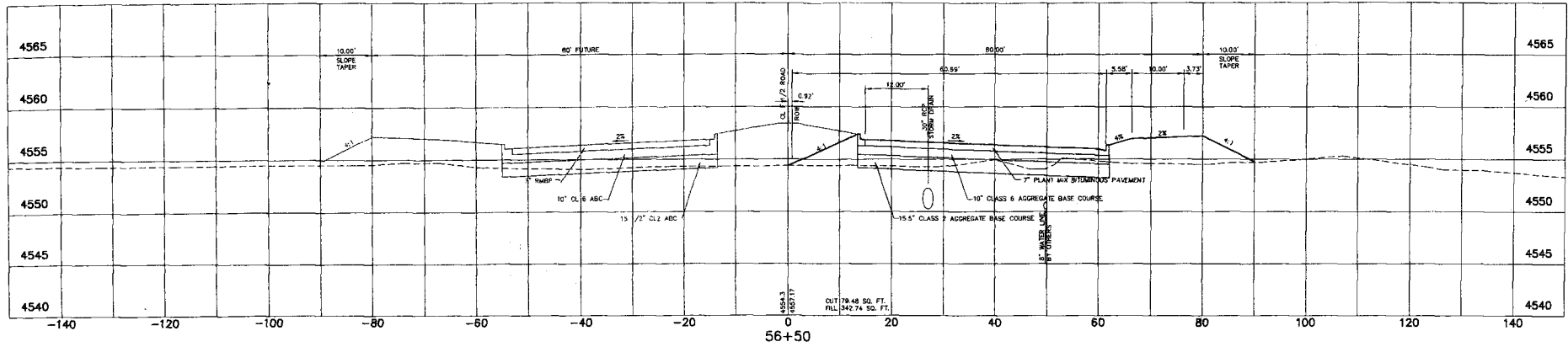


APPROVED FOR CONSTRUCTION:
Gregory R. Heston 8/1/06
 CITY OF GRAND JUNCTION DATE
 ACCEPTED AS CONSTRUCTED:

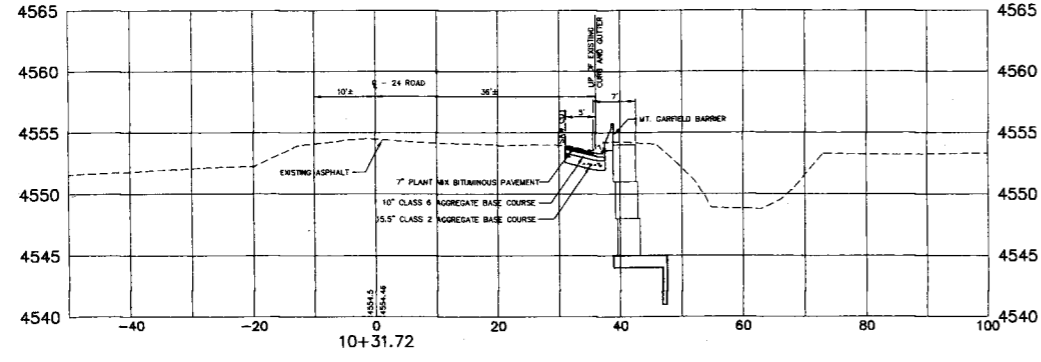
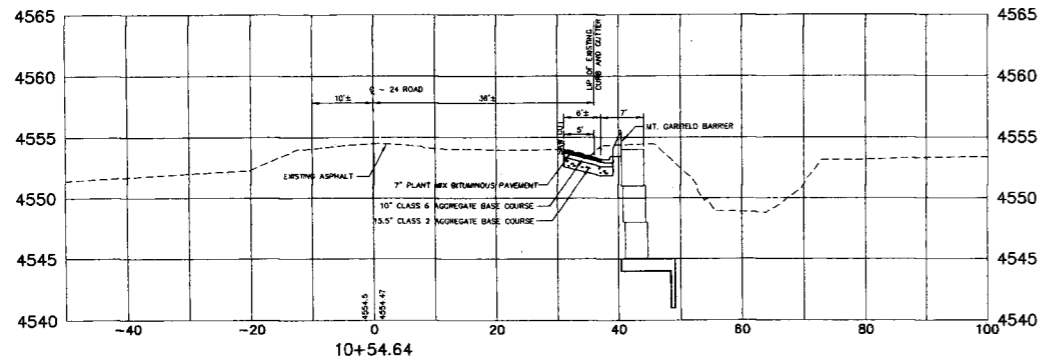
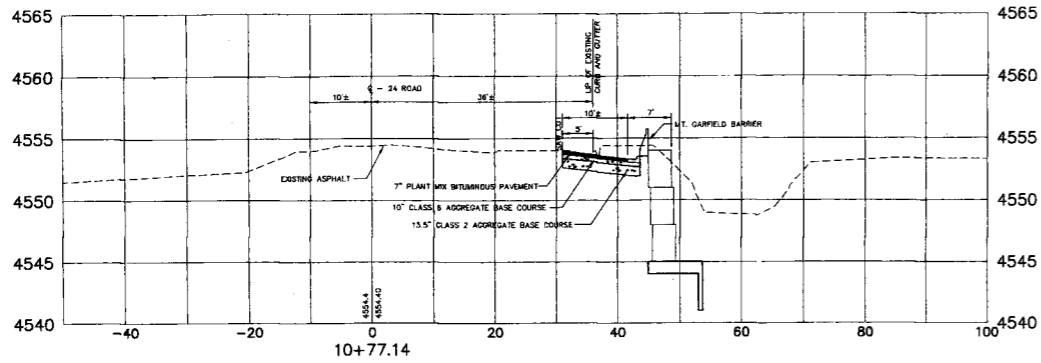


APPROVED FOR CONSTRUCTION:
[Signature] 8/1/06
 CITY OF GRAND JUNCTION DATE

ACCEPTED AS CONSTRUCTED:
 CITY OF GRAND JUNCTION DATE



APPROVED FOR CONSTRUCTION:
David Handberg 9/1/06
 CITY OF GRAND JUNCTION DATE
 ACCEPTED AS CONSTRUCTED:



APPROVED FOR CONSTRUCTION:
Robert Harkness 8/1/06
 CITY OF GRAND JUNCTION DATE

ACCEPTED AS CONSTRUCTED:

