C H A M B E R L I N
A R C H I T E C T S

TRANSMITTAL

DATE: October 16, 2014

TO: Duane Hoff
Senior Buyer
Purchasing Division
City of Grand Junction
250 N. 5th Street
Second Floor, Room # 245
Grand Junction, CO 81501

PROJECT: OMFS #4

FOR YOUR: signature

THE FOLLOWING:

Copies	Description	Date
2	AIA B101 Owner-Architect Agreement w/ Exhibits	10/4/14

REMARKS:

Duane,

Please sign both and return one copy to me.

Daniel Gartner, AIA, LEED AP
Chamberlin Architects

Method of Transmission: hand delivered

A PROFESSIONAL CORPORATION

437 MAIN STREET
GRAND JUNCTION, COLORADO 81501-2511
TELEPHONE (970) 242-6804
FAX (970) 245-4303
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DRAFT

AIA® Document B101™ – 2007

Standard Form of Agreement Between Owner and Architect

AGREEMENT made as of the 4th day of October in the year 2014
(In words, indicate day, month and year.)

BETWEEN the Architect's client identified as the Owner:
(Name, address and other information)

City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

and the Architect:
(Name, address and other information)

Chamberlin Architects, PC
437 Main Street
Grand Junction, Colorado 81501

for the following Project:
(Name, location and detailed description)

Orchard Mesa Fire Station No. 4
2880 B ½ Road
Grand Junction, Colorado 81505

The Owner and Architect agree as follows.

ADDITIONS AND DELETIONS: The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

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TABLE OF ARTICLES

ARTICLE 1 INITIAL INFORMATION

§ 1.1 This Agreement is based on the Initial Information set forth in this Article 1 and in optional Exhibit A, Initial Information:

(Complete Exhibit A, Initial Information, and incorporate it into the Agreement at Section 13.2, or state below Initial Information such as details of the Project's site and program, Owner's contractors and consultants, Architect's consultants, Owner's budget for the Cost of the Work, authorized representatives, anticipated procurement method, and other information relevant to the Project.)

See Exhibit A

§ 1.2 The Owner's anticipated dates for commencement of construction and Substantial Completion of the Work are set forth below:

.1 Commencement of construction date:

Spring 2015

.2 Substantial Completion date:

Fall 2015

§ 1.3 The Owner and Architect may rely on the Initial Information. Both parties, however, recognize that such information may materially change and, in that event, the Owner and the Architect shall appropriately adjust the schedule, the Architect's services and the Architect's compensation.

ARTICLE 2 ARCHITECT'S RESPONSIBILITIES

§ 2.1 The Architect shall provide the professional services as set forth in this Agreement.

§ 2.2 The Architect shall perform its services consistent with the professional skill and care ordinarily provided by architects practicing in the same or similar locality under the same or similar circumstances. The Architect shall perform its services as expeditiously as is consistent with such professional skill and care and the orderly progress of the Project.

§ 2.3 The Architect shall identify a representative authorized to act on behalf of the Architect with respect to the Project.

§ 2.4 Except with the Owner's knowledge and consent, the Architect shall not engage in any activity, or accept any employment, interest or contribution that would reasonably appear to compromise the Architect's professional judgment with respect to this Project.

§ 2.5 The Architect shall maintain insurance requirements for the duration of this Agreement, as per the solicitation documents.
(Identify types and limits of insurance coverage, and other insurance requirements applicable to the Agreement, if any.)

.1 General Liability

$1,000,000 per occurrence / $2,000,000 aggregate

.2 Automobile Liability

$1,000,000 per person / $1,000,000 per occurrence / $1,000,000 in property damage per occurrence

.3 Workers' Compensation

Per Colorado state law

.4 Professional Liability/Error & Omissions

$1,000,000 per claim / $2,000,000 aggregate

ARTICLE 3 SCOPE OF ARCHITECT'S BASIC SERVICES

§ 3.1 The Architect's Basic Services consist of those described in Article 3 and include usual and customary civil, landscape, structural, mechanical, and electrical engineering services. A geotechnical report will also be provided. Services not set forth in this Article 3 are Additional Services.

§ 3.1.1 The Architect shall manage the Architect's services, consult with the Owner, research applicable design criteria, attend Project meetings, communicate with members of the Project team and report progress to the Owner.

§ 3.1.2 The Architect shall coordinate its services with those services provided by the Owner and the Owner's consultants. The Architect shall be entitled to rely on the accuracy and completeness of services and information furnished by the Owner and the Owner's consultants. The Architect shall provide prompt written notice to the Owner if the Architect becomes aware of any error, omission or inconsistency in such services or information.

§ 3.1.3 As soon as practicable after the date of this Agreement, the Architect shall submit for the Owner's approval a schedule for the performance of the Architect's services. The schedule initially shall include anticipated dates for the commencement of construction and for Substantial Completion of the Work as set forth in the Initial Information. The schedule shall include allowances for periods of time required for the Owner's review, for the performance of the Owner's consultants, and for approval of submissions by authorities having jurisdiction over the Project. Once approved by the Owner, time limits established by the schedule shall not, except for reasonable cause, be exceeded by the Architect or Owner. With the Owner's approval, the Architect shall adjust the schedule, if necessary as the Project proceeds until the commencement of construction.

§ 3.1.4 The Architect shall not be responsible for an Owner's directive or substitution made without the Architect's approval.

§ 3.1.5 The Architect shall, at appropriate times, contact the governmental authorities required to approve the Construction Documents and the entities providing utility services to the Project. In designing the Project, the Architect shall respond to applicable design requirements imposed by such governmental authorities and by such entities providing utility services.

§ 3.1.6 The Architect shall assist the Owner in connection with the Owner's responsibility for filing documents required for the approval of governmental authorities having jurisdiction over the Project.

§ 3.2 SCHEMATIC DESIGN PHASE SERVICES

§ 3.2.1 The Architect shall review the program and other information furnished by the Owner, and shall review laws, codes, and regulations applicable to the Architect's services.

§ 3.2.2 The Architect shall prepare a preliminary evaluation of the Owner's program, schedule, budget for the Cost of the Work, Project site, and the proposed procurement or delivery method and other Initial Information, each in terms of the other, to ascertain the requirements of the Project. The Architect shall notify the Owner of (1) any inconsistencies discovered in the information, and (2) other information or consulting services that may be reasonably needed for the Project.

§ 3.2.3 The Architect shall present its preliminary evaluation to the Owner and shall discuss with the Owner alternative approaches to design and construction of the Project, including the feasibility of incorporating environmentally responsible design approaches. The Architect shall reach an understanding with the Owner regarding the requirements of the Project.

§ 3.2.4 Based on the Project's requirements agreed upon with the Owner, the Architect shall prepare and present for the Owner's approval a preliminary design illustrating the scale and relationship of the Project components.

§ 3.2.5 Based on the Owner's approval of the preliminary design, the Architect shall prepare Schematic Design Documents for the Owner's approval. The Schematic Design Documents shall consist of drawings and other documents including a site plan, if appropriate, and preliminary building plans, sections and elevations; and may include some combination of study models, perspective sketches, or digital modeling. Preliminary selections of major building systems and construction materials shall be noted on the drawings or described in writing.

§ 3.2.5.1 The Architect shall consider environmentally responsible design alternatives, such as material choices and building orientation, together with other considerations based on program and aesthetics, in developing a design that is consistent with the Owner's program, schedule and budget for the Cost of the Work. The Owner may obtain other environmentally responsible design services under Article 4.

§ 3.2.5.2 The Architect shall consider the value of alternative materials, building systems and equipment, together with other considerations based on program and aesthetics in developing a design for the Project that is consistent with the Owner's program, schedule and budget for the Cost of the Work.

§ 3.2.6 The Architect shall submit to the Owner an estimate of the Cost of the Work prepared in accordance with Section 6.3.

§ 3.2.7 The Architect shall submit the Schematic Design Documents to the Owner, and request the Owner's approval.

§ 3.3 DESIGN DEVELOPMENT PHASE SERVICES

§ 3.3.1 Based on the Owner's approval of the Schematic Design Documents, and on the Owner's authorization of any adjustments in the Project requirements and the budget for the Cost of the Work, the Architect shall prepare Design Development Documents for the Owner's approval. The Design Development Documents shall illustrate and describe the development of the approved Schematic Design Documents and shall consist of drawings and other documents including plans, sections, elevations, typical construction details, and diagrammatic layouts of building systems to fix and describe the size and character of the Project as to architectural, structural, mechanical and

electrical systems, and such other elements as may be appropriate. The Design Development Documents shall also include outline specifications that identify major materials and systems and establish in general their quality levels.

§ 3.3.2 The Architect shall work with the CM/GC, who will update the estimate of the Cost of the Work.

§ 3.3.3 The Architect shall submit the Design Development documents to the Owner, advise the Owner of any adjustments to the estimate of the Cost of the Work, and request the Owner's approval.

§ 3.4 CONSTRUCTION DOCUMENTS PHASE SERVICES

§ 3.4.1 Based on the Owner's approval of the Design Development Documents, and on the Owner's authorization of any adjustments in the Project requirements and the budget for the Cost of the Work, the Architect shall prepare Construction Documents for the Owner's approval. The Construction Documents shall illustrate and describe the further development of the approved Design Development Documents and shall consist of Drawings and Specifications setting forth in detail the quality levels of materials and systems and other requirements for the construction of the Work. The Owner and Architect acknowledge that in order to construct the Work the Contractor will provide additional information, including Shop Drawings, Product Data, Samples and other similar submittals, which the Architect shall review in accordance with Section 3.6.4.

§ 3.4.2 The Architect shall incorporate into the Construction Documents the design requirements of governmental authorities having jurisdiction over the Project.

§ 3.4.3 During the development of the Construction Documents, the Architect shall assist the Owner in the development and preparation of the Conditions of the Contract for Construction (General, Supplementary and other Conditions). The Architect shall also compile a project manual that includes the Conditions of the Contract for Construction and Specifications and may include bidding requirements and sample forms.

§ 3.4.4 The Architect shall work with the CM/GC, who will update the estimate for the Cost of the Work.

§ 3.4.5 The Architect shall submit the Construction Documents to the Owner, advise the Owner of any adjustments to the estimate of the Cost of the Work, take any action required under Section 6.5, and request the Owner's approval.

§ 3.5 BIDDING OR NEGOTIATION PHASE SERVICES

§ 3.5.1 GENERAL

Following the Owner's approval of the Construction Documents, the Architect shall assist the Owner in selecting the CM/GC.

§ 3.5.2 NEGOTIATED PROPOSALS

§ 3.5.2.1 Proposal Documents shall consist of proposal requirements and proposed Contract Documents.

§ 3.5.2.2 The Architect shall assist the Owner in obtaining proposals by

.1 participating in selection interviews with prospective contractors; and

.2 participating in negotiations with prospective contractors.

§ 3.5.2.3 The Architect shall consider requests for substitutions, if the Proposal Documents permit substitutions.

§ 3.6 CONSTRUCTION PHASE SERVICES

§ 3.6.1 GENERAL

§ 3.6.1.1 The Architect shall provide administration of the Contract between the Owner and the Contractor as set forth below and in AIA Document A201™–2007, General Conditions of the Contract for Construction. If the Owner and Contractor modify AIA Document A201–2007, those modifications shall not affect the Architect's services under this Agreement unless the Owner and the Architect amend this Agreement.

§ 3.6.1.2 The Architect shall advise and consult with the Owner during the Construction Phase Services. The Architect shall have authority to act on behalf of the Owner only to the extent provided in this Agreement. The Architect shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the

Architect be responsible for the Contractor's failure to perform the Work in accordance with the requirements of the Contract Documents. The Architect shall be responsible for the Architect's negligent acts or omissions, but shall not have control over or charge of, and shall not be responsible for, acts or omissions of the Contractor or of any other persons or entities performing portions of the Work.

§ 3.6.1.3 Subject to Section 4.3, the Architect's responsibility to provide Construction Phase Services commences with the award of the Contract for Construction and terminates on the date the Architect issues the final Certificate for Payment.

§ 3.6.2 EVALUATIONS OF THE WORK

§ 3.6.2.1 The Architect shall visit the site at intervals appropriate to the stage of construction, or as otherwise required in Section 4.3.3, to become generally familiar with the progress and quality of the portion of the Work completed, and to determine, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the Contract Documents. However, the Architect shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. On the basis of the site visits, the Architect shall keep the Owner reasonably informed about the progress and quality of the portion of the Work completed, and report to the Owner (1) known deviations from the Contract Documents and from the most recent construction schedule submitted by the Contractor, and (2) defects and deficiencies observed in the Work.

§ 3.6.2.2 The Architect has the authority to reject Work that does not conform to the Contract Documents. Whenever the Architect considers it necessary or advisable, the Architect shall have the authority to require inspection or testing of the Work in accordance with the provisions of the Contract Documents, whether or not such Work is fabricated, installed or completed. However, neither this authority of the Architect nor a decision made in good faith either to exercise or not to exercise such authority shall give rise to a duty or responsibility of the Architect to the Contractor, Subcontractors, material and equipment suppliers, their agents or employees or other persons or entities performing portions of the Work.

§ 3.6.2.3 The Architect shall interpret and decide matters concerning performance under, and requirements of, the Contract Documents on written request of either the Owner or Contractor. The Architect's response to such requests shall be made in writing within any time limits agreed upon or otherwise with reasonable promptness.

§ 3.6.2.4 Interpretations and decisions of the Architect shall be consistent with the intent of and reasonably inferable from the Contract Documents and shall be in writing or in the form of drawings. When making such interpretations and decisions, the Architect shall endeavor to secure faithful performance by both Owner and Contractor, shall not show partiality to either.

§ 3.6.2.5 Unless the Owner and Contractor designate another person to serve as an Initial Decision Maker, as that term is defined in AIA Document A201–2007, the Architect shall render initial decisions on Claims between the Owner and Contractor as provided in the Contract Documents.

§ 3.6.3 CERTIFICATES FOR PAYMENT TO CONTRACTOR

§ 3.6.3.1 The Architect shall review and certify the amounts due the Contractor and shall issue certificates in such amounts. The Architect's certification for payment shall constitute a representation to the Owner, based on the Architect's evaluation of the Work as provided in Section 3.6.2 and on the data comprising the Contractor's Application for Payment, that, to the best of the Architect's knowledge, information and belief, the Work has progressed to the point indicated and that the quality of the Work is in accordance with the Contract Documents. The foregoing representations are subject (1) to an evaluation of the Work for conformance with the Contract Documents upon Substantial Completion, (2) to results of subsequent tests and inspections, (3) to correction of minor deviations from the Contract Documents prior to completion, and (4) to specific qualifications expressed by the Architect.

§ 3.6.3.2 The issuance of a Certificate for Payment shall not be a representation that the Architect has (1) made exhaustive or continuous on-site inspections to check the quality or quantity of the Work, (2) reviewed construction means, methods, techniques, sequences or procedures, (3) reviewed copies of requisitions received from Subcontractors and material suppliers and other data requested by the Owner to substantiate the Contractor's right to

payment, or (4) ascertained how or for what purpose the Contractor has used money previously paid on account of the Contract Sum.

§ 3.6.3.3 The Architect shall maintain a record of the Applications and Certificates for Payment.

§ 3.6.4 SUBMITTALS

§ 3.6.4.1 The Architect shall review the Contractor's submittal schedule and shall not unreasonably delay or withhold approval. The Architect's action in reviewing submittals shall be taken in accordance with the approved submittal schedule or, in the absence of an approved submittal schedule, with reasonable promptness while allowing sufficient time in the Architect's professional judgment to permit adequate review.

§ 3.6.4.2 In accordance with the Architect-approved submittal schedule, the Architect shall review and approve or take other appropriate action upon the Contractor's submittals such as Shop Drawings, Product Data and Samples, but only for the limited purpose of checking for conformance with information given and the design concept expressed in the Contract Documents. The Architect's review shall not constitute approval of safety precautions or, unless otherwise specifically stated by the Architect, of any construction means, methods, techniques, sequences or procedures. The Architect's approval of a specific item shall not indicate approval of an assembly of which the item is a component.

§ 3.6.4.3 If the Contract Documents specifically require the Contractor to provide professional design services or certifications by a design professional related to systems, materials or equipment, the Architect shall specify the appropriate performance and design criteria that such services must satisfy. The Architect shall review shop drawings and other submittals related to the Work designed or certified by the design professional retained by the Contractor that bear such professional's seal and signature when submitted to the Architect. The Architect shall be entitled to rely upon the adequacy, accuracy and completeness of the services, certifications and approvals performed or provided by such design professionals.

§ 3.6.4.4 Subject to the provisions of Section 4.3, the Architect shall review and respond to requests for information about the Contract Documents. The Architect shall set forth in the Contract Documents the requirements for requests for information. Requests for information shall include, at a minimum, a detailed written statement that indicates the specific Drawings or Specifications in need of clarification and the nature of the clarification requested. The Architect's response to such requests shall be made in writing within any time limits agreed upon, or otherwise with reasonable promptness. If appropriate, the Architect shall prepare and issue supplemental Drawings and Specifications in response to requests for information.

§ 3.6.4.5 The Architect shall maintain a record of submittals and copies of submittals supplied by the Contractor in accordance with the requirements of the Contract Documents.

§ 3.6.5 CHANGES IN THE WORK

§ 3.6.5.1 Subject to the provisions of Section 4.3, the Architect shall prepare Change Orders and Construction Change Directives for the Owner's approval and execution in accordance with the Contract Documents.

§ 3.6.5.2 The Architect shall maintain records relative to changes in the Work.

§ 3.6.6 PROJECT COMPLETION

§ 3.6.6.1 The Architect shall conduct inspections to determine the date or dates of Substantial Completion and the date of final completion; issue Certificates of Substantial Completion; receive from the Contractor and forward to the Owner, for the Owner's review and records, written warranties and related documents required by the Contract Documents and assembled by the Contractor; and issue a final Certificate for Payment based upon a final inspection indicating the Work complies with the requirements of the Contract Documents.

§ 3.6.6.2 The Architect's inspections shall be conducted with the Owner to check conformance of the Work with the requirements of the Contract Documents and to verify the accuracy and completeness of the list submitted by the Contractor of Work to be completed or corrected.

§ 3.6.6.3 When the Work is found to be substantially complete, the Architect shall inform the Owner about the balance of the Contract Sum remaining to be paid the Contractor, including the amount to be retained from the Contract Sum, if any, for final completion or correction of the Work.

§ 3.6.6.4 The Architect shall forward to the Owner the following information received from the Contractor: (1) consent of surety or sureties, if any, to reduction in or partial release of retainage or the making of final payment; (2) affidavits, receipts, releases and waivers of liens or bonds indemnifying the Owner against liens; and (3) any other documentation required of the Contractor under the Contract Documents.

§ 3.6.6.5 Upon request of the Owner, and prior to the expiration of one year from the date of Substantial Completion, the Architect shall, without additional compensation, conduct a meeting with the Owner to review the facility operations and performance.

ARTICLE 4 ADDITIONAL SERVICES

§ 4.1 Services identified below as "not provided" are not included in Basic Services but may be required for the Project as Additional Services. The Architect shall provide the Basic Services specifically designated in the table below as the Architect's responsibility as part of the compensation identified in Section 11.1. The Owner shall compensate the Architect for the Additional Services identified below as provided in Section 11.2.
(Designate the Basic and Additional Services the Architect shall provide in the second column of the table below. In the third column indicate whether the service description is located in Section 4.2 or in an attached exhibit. If in an exhibit, identify the exhibit.)

Additional Services		Responsibility *(Architect, Owner or Not Provided)*	Location of Service Description *(Section 4.2 below or in an exhibit attached to this document and identified below)*
§ 4.1.1	Programming	Architect	Revise current Program
§ 4.1.2	Multiple preliminary designs	Architect	During Schematic Design Phase only
§ 4.1.3	Measured drawings	Not provided	
§ 4.1.4	Existing facilities surveys	Not provided	
§ 4.1.5	Site Evaluation and Planning (B203™–2007)	Architect	See limitations Article 1.1
§ 4.1.6	Building information modeling	Not provided	
§ 4.1.7	Civil engineering	Architect	See limitations Article 1.1
§ 4.1.8	Landscape design	Architect	See limitations Article 1.1
§ 4.1.9	Architectural Interior Design (B252™–2007)	Architect	
§ 4.1.10	Value Analysis (B204™–2007)	Not provided	
§ 4.1.11	Detailed cost estimating	Not provided	
§ 4.1.12	On-site project representation	Not provided	
§ 4.1.13	Conformed construction documents	Architect	Only if required, as decided by Owner
§ 4.1.14	As-Designed Record drawings	Architect	
§ 4.1.15	As-Constructed Record drawings	Not provided	
§ 4.1.16	Post occupancy evaluation	Architect	11 month warranty review only
§ 4.1.17	Facility Support Services (B210™–2007)	Not provided	
§ 4.1.18	Tenant-related services	Not provided	
§ 4.1.19	Coordination of Owner's consultants	Not provided	
§ 4.1.20	Telecommunications/data design	Architect	Raceways/conduits only
§ 4.1.21	Security Evaluation and Planning (B206™–2007)	Not provided	
§ 4.1.22	Commissioning (B211™–2007)	Not provided	
§ 4.1.23	Extensive environmentally responsible design	Not provided	
§ 4.1.24	LEED® Certification (B214™–2007)	Not provided	
§ 4.1.25	Fast-track design services	Not provided	
§ 4.1.26	Historic Preservation (B205™–2007)	Not provided	
§ 4.1.27	Furniture, Furnishings, and Equipment Design	Architect	

§ 4.2 Insert a description of each Basic Service designated in Section 4.1 as the Architect's responsibility, if not further described in an exhibit attached to this document.

The services indicated above as the responsibility of the Architect are included in Basic Services. All other services are Additional Services.

§ 4.3 Additional Services may be provided after execution of this Agreement, without invalidating the Agreement. Except for services required due to the fault of the Architect, any Additional Services provided in accordance with this Section 4.3 shall entitle the Architect to compensation pursuant to Section 11.3 and an appropriate adjustment in the Architect's schedule.

§ 4.3.1 Upon recognizing the need to perform the following Additional Services, the Architect shall notify the Owner with reasonable promptness and explain the facts and circumstances giving rise to the need. The Architect shall not proceed to provide the following services until the Architect receives the Owner's written authorization:

.1 Services necessitated by a change in the Initial Information, previous instructions or approvals given by the Owner, or a material change in the Project including, but not limited to, size, quality, complexity, the Owner's schedule or budget for Cost of the Work, or procurement or delivery method;

.2 Services necessitated by the Owner's request for extensive environmentally responsible design alternatives, such as unique system designs, in-depth material research, energy modeling, or LEED® certification;

.3 Changing or editing previously prepared Instruments of Service necessitated by the enactment or revision of codes, laws or regulations or official interpretations;

.4 Services necessitated by decisions of the Owner not rendered in a timely manner or any other failure of performance on the part of the Owner or the Owner's consultants or contractors;

.5 Preparing digital data for transmission to the Owner's consultants and contractors, or to other Owner authorized recipients;

.6 Preparation of design and documentation for alternate bid or proposal requests proposed by the Owner;

.7 Preparation for, and attendance at, a public presentation, meeting or hearing;

.8 Preparation for, and attendance at a dispute resolution proceeding or legal proceeding, except where the Architect is party thereto;

.9 Evaluation of the qualifications of bidders or persons providing proposals;

.10 Consultation concerning replacement of Work resulting from fire or other cause during construction; or

.11 Assistance to the Initial Decision Maker, if other than the Architect.

§ 4.3.2 To avoid delay in the Construction Phase, the Architect shall provide the following Additional Services, notify the Owner with reasonable promptness, and explain the facts and circumstances giving rise to the need. If the Owner subsequently determines that all or parts of those services are not required, the Owner shall give prompt written notice to the Architect, and the Owner shall have no further obligation to compensate the Architect for those services:

.1 Reviewing a Contractor's submittal out of sequence from the submittal schedule agreed to by the Architect;

.2 Responding to the Contractor's requests for information that are not prepared in accordance with the Contract Documents or where such information is available to the Contractor from a careful study and comparison of the Contract Documents, field conditions, other Owner-provided information, Contractor-prepared coordination drawings, or prior Project correspondence or documentation;

.3 Preparing Change Orders and Construction Change Directives that require evaluation of Contractor's proposals and supporting data, or the preparation or revision of Instruments of Service;

.4 Evaluating an extensive number of Claims as the Initial Decision Maker;

.5 Evaluating substitutions proposed by the Owner or Contractor and making subsequent revisions to Instruments of Service resulting therefrom; or

.6 To the extent the Architect's Basic Services are affected, providing Construction Phase Services 60 days after (1) the date of Substantial Completion of the Work or (2) the anticipated date of Substantial Completion identified in Initial Information, whichever is earlier.

§ 4.3.3 The Architect shall provide Construction Phase Services exceeding the limits set forth below as Additional Services. When the limits below are reached, the Architect shall notify the Owner:

.1 Two (2) reviews of each Shop Drawing, Product Data item, sample and similar submittal of the Contractor

.2 Twenty-six (26) visits to the site by the Architect over the duration of the Project during construction

.3 Two (2) inspections for any portion of the Work to determine whether such portion of the Work is substantially complete in accordance with the requirements of the Contract Documents

.4 One (1) inspections for any portion of the Work to determine final completion

§ 4.3.4 If the services covered by this Agreement have not been completed within fifteen (15) months of the date of this Agreement, through no fault of the Architect, extension of the Architect's services beyond that time shall be compensated as Additional Services.

ARTICLE 5 OWNER'S RESPONSIBILITIES

§ 5.1 Unless otherwise provided for under this Agreement, the Owner shall provide information in a timely manner regarding requirements for and limitations on the Project, including a written program which shall set forth the Owner's objectives, schedule, constraints and criteria, including space requirements and relationships, flexibility, expandability, special equipment, systems and site requirements. Within 15 days after receipt of a written request from the Architect, the Owner shall furnish the requested information as necessary and relevant for the Architect to evaluate, give notice of or enforce lien rights.

§ 5.2 The Owner shall establish and periodically update the Owner's budget for the Project, including (1) the budget for the Cost of the Work as defined in Section 6.1; (2) the Owner's other costs; and, (3) reasonable contingencies related to all of these costs. If the Owner significantly increases or decreases the Owner's budget for the Cost of the Work, the Owner shall notify the Architect. The Owner and the Architect shall thereafter agree to a corresponding change in the Project's scope and quality. An increase in the Owner's budget is a defacto increase in the Architect's scope of work and will entitle the Architect to additional compensation.

§ 5.3 The Owner shall identify a representative authorized to act on the Owner's behalf with respect to the Project. The Owner shall render decisions and approve the Architect's submittals in a timely manner in order to avoid unreasonable delay in the orderly and sequential progress of the Architect's services.

§ 5.4 The Owner shall furnish surveys to describe physical characteristics, legal limitations and utility locations for the site of the Project, and a written legal description of the site. The surveys and legal information shall include, as applicable, grades and lines of streets, alleys, pavements and adjoining property and structures; designated wetlands; adjacent drainage; rights-of-way, restrictions, easements, encroachments, zoning, deed restrictions, boundaries and contours of the site; locations, dimensions and necessary data with respect to existing buildings, other improvements and trees; and information concerning available utility services and lines, both public and private, above and below grade, including inverts and depths. All the information on the survey shall be referenced to a Project benchmark.

§ 5.5 The Owner shall coordinate the services of its own consultants with those services provided by the Architect. Upon the Architect's request, the Owner shall furnish copies of the scope of services in the contracts between the Owner and the Owner's consultants. The Owner shall furnish the services of consultants other than those designated in this Agreement, or authorize the Architect to furnish them as an Additional Service, when the Architect requests such services and demonstrates that they are reasonably required by the scope of the Project. The Owner shall require that its consultants maintain professional liability insurance as appropriate to the services provided.

§ 5.6 The Owner shall furnish tests, inspections and reports required by law or the Contract Documents, such as structural, mechanical, and chemical tests, tests for air and water pollution, and tests for hazardous materials.

§ 5.7 The Owner shall furnish all legal, insurance and accounting services, including auditing services, that may be reasonably necessary at any time for the Project to meet the Owner's needs and interests.

§ 5.8 The Owner shall provide prompt written notice to the Architect if the Owner becomes aware of any fault or defect in the Project, including errors, omissions or inconsistencies in the Architect's Instruments of Service.

§ 5.9 Except as otherwise provided in this Agreement, or when direct communications have been specially authorized, the Owner shall endeavor to communicate with the Contractor and the Architect's consultants through the Architect about matters arising out of or relating to the Contract Documents. The Owner shall promptly notify the Architect of any direct communications that may affect the Architect's services.

§ 5.10 Before executing the Contract for Construction, the Owner shall coordinate the Architect's duties and responsibilities set forth in the Contract for Construction with the Architect's services set forth in this Agreement. The Owner shall provide the Architect a copy of the executed agreement between the Owner and Contractor, including the General Conditions of the Contract for Construction.

§ 5.11 The Owner shall provide the Architect access to the Project site prior to commencement of the Work and shall obligate the Contractor to provide the Architect access to the Work wherever it is in preparation or progress.

ARTICLE 6 COST OF THE WORK

§ 6.1 For purposes of this Agreement, the Cost of the Work shall be the total cost to the Owner to construct all elements of the Project designed or specified by the Architect and shall include contractors' general conditions costs, overhead and profit. The Cost of the Work does not include the compensation of the Architect, the costs of the land, rights-of-way, financing, contingencies for changes in the Work or other costs that are the responsibility of the Owner.

§ 6.2 The Owner's budget for the Cost of the Work is provided in Initial Information, and may be adjusted throughout the Project as required under Sections 5.2, 6.4 and 6.5. Evaluations of the Owner's budget for the Cost of the Work, the preliminary estimate of the Cost of the Work and updated estimates of the Cost of the Work prepared by the Architect, represent the Architect's judgment as a design professional. It is recognized, however, that neither the Architect nor the Owner has control over the cost of labor, materials or equipment; the Contractor's methods of determining bid prices; or competitive bidding, market or negotiating conditions. Accordingly, the Architect cannot and does not warrant or represent that bids or negotiated prices will not vary from the Owner's budget for the Cost of the Work or from any estimate of the Cost of the Work or evaluation prepared or agreed to by the Architect.

§ 6.3 In preparing estimates of the Cost of Work, the Architect shall be permitted to include contingencies for design, bidding and price escalation; to determine what materials, equipment, component systems and types of construction are to be included in the Contract Documents; to make reasonable adjustments in the program and scope of the Project; and to include in the Contract Documents alternate bids as may be necessary to adjust the estimated Cost of the Work to meet the Owner's budget for the Cost of the Work. The Architect's estimate of the Cost of the Work shall be based on current area, volume or similar conceptual estimating techniques. If the Owner requests detailed cost estimating services, the Architect shall provide such services as an Additional Service under Article 4.

§ 6.4 If the Bidding or Negotiation Phase has not commenced within 90 days after the Architect submits the Construction Documents to the Owner, through no fault of the Architect, the Owner's budget for the Cost of the Work shall be adjusted to reflect changes in the general level of prices in the applicable construction market.

§ 6.5 If at any time the Architect's estimate of the Cost of the Work exceeds the Owner's budget for the Cost of the Work, the Architect shall make appropriate recommendations to the Owner to adjust the Project's size, quality or budget for the Cost of the Work, and the Owner shall cooperate with the Architect in making such adjustments.

§ 6.6 If the Owner's budget for the Cost of the Work at the conclusion of the Construction Documents Phase Services is exceeded by the lowest bona fide bid or negotiated proposal, the Owner shall

- **.1** give written approval of an increase in the budget for the Cost of the Work;
- **.2** authorize rebidding or renegotiating of the Project within a reasonable time;
- **.3** terminate in accordance with Section 9.5;
- **.4** in consultation with the Architect, revise the Project program, scope, or quality as required to reduce the Cost of the Work; or
- **.5** implement any other mutually acceptable alternative.

§ 6.7 If the Owner chooses to proceed under Section 6.6.4, the Architect, without additional compensation, shall modify the Construction Documents as necessary to comply with the Owner's budget for the Cost of the Work at the conclusion of the Construction Documents Phase Services, or the budget as adjusted under Section 6.6.1. The Architect's modification of the Construction Documents shall be the limit of the Architect's responsibility under this Article 6.

ARTICLE 7 COPYRIGHTS AND LICENSES

§ 7.1 The Architect and the Owner warrant that in transmitting Instruments of Service, or any other information, the transmitting party is the copyright owner of such information or has permission from the copyright owner to transmit such information for its use on the Project. If the Owner and Architect intend to transmit Instruments of Service or any other information or documentation in digital form, they shall endeavor to establish necessary protocols governing such transmissions.

§ 7.2 The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and shall retain all common law, statutory and other reserved rights, including copyrights. Submission or distribution of Instruments of Service to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the reserved rights of the Architect and the Architect's consultants.

§ 7.3 Upon execution of this Agreement, the Architect grants to the Owner a nonexclusive license to use the Architect's Instruments of Service solely and exclusively for purposes of constructing, using, maintaining, altering and adding to the Project, provided that the Owner substantially performs its obligations, including prompt payment of all sums when due, under this Agreement. The Architect shall obtain similar nonexclusive licenses from the Architect's consultants consistent with this Agreement. The license granted under this section permits the Owner to authorize the Contractor, Subcontractors, Sub-subcontractors, and material or equipment suppliers, as well as the Owner's consultants and separate contractors, to reproduce applicable portions of the Instruments of Service solely and exclusively for use in performing services or construction for the Project. If the Architect rightfully terminates this Agreement for cause as provided in Section 9.4, the license granted in this Section 7.3 shall terminate.

§ 7.3.1 In the event the Owner uses the Instruments of Service without retaining the author of the Instruments of Service, the Owner releases the Architect and Architect's consultant(s) from all claims and causes of action arising from such uses. The Owner, to the extent permitted by law, further agrees to indemnify and hold harmless the Architect and its consultants from all costs and expenses, including the cost of defense, related to claims and causes of action asserted by any third person or entity to the extent such costs and expenses arise from the Owner's use of the Instruments of Service under this Section 7.3.1. The terms of this Section 7.3.1 shall not apply if the Owner rightfully terminates this Agreement for cause under Section 9.4.

§ 7.4 Except for the licenses granted in this Article 7, no other license or right shall be deemed granted or implied under this Agreement. The Owner shall not assign, delegate, sublicense, pledge or otherwise transfer any license granted herein to another party without the prior written agreement of the Architect. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the Architect and the Architect's consultants.

ARTICLE 8 CLAIMS AND DISPUTES

§ 8.1 GENERAL

§ 8.1.1 The Owner and Architect shall commence all claims and causes of action, whether in contract, tort, or otherwise, against the other arising out of or related to this Agreement in accordance with the requirements of the method of binding dispute resolution selected in this Agreement within the period specified by applicable law, but in any case not more than 10 years after the date of Substantial Completion of the Work. The Owner and Architect waive all claims and causes of action not commenced in accordance with this Section 8.1.1.

§ 8.1.2 To the extent damages are covered by property insurance, the Owner and Architect waive all rights against each other and against the contractors, consultants, agents and employees of the other for damages, except such rights as they may have to the proceeds of such insurance as set forth in AIA Document A201–2007, General Conditions of the Contract for Construction. The Owner or the Architect, as appropriate, shall require of the contractors, consultants, agents and employees of any of them similar waivers in favor of the other parties enumerated herein.

§ 8.1.3 The Architect and Owner waive consequential damages for claims, disputes or other matters in question arising out of or relating to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either party's termination of this Agreement, except as specifically provided in Section 9.7.

§ 8.2 MEDIATION

§ 8.2.1 Any claim, dispute or other matter in question arising out of or related to this Agreement shall be subject to mediation as a condition precedent to binding dispute resolution. If such matter relates to or is the subject of a lien arising out of the Architect's services, the Architect may proceed in accordance with applicable law to comply with the lien notice or filing deadlines prior to resolution of the matter by mediation or by binding dispute resolution.

§ 8.2.2 The Owner and Architect shall endeavor to resolve claims, disputes and other matters in question between them by mediation which, unless the parties mutually agree otherwise, shall be administered by the American Arbitration Association in accordance with its Construction Industry Mediation Procedures in effect on the date of the Agreement. A request for mediation shall be made in writing, delivered to the other party to the Agreement, and filed with the person or entity administering the mediation. The request may be made concurrently with the filing of a complaint or other appropriate demand for binding dispute resolution but, in such event, mediation shall proceed in advance of binding dispute resolution proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. If an arbitration proceeding is stayed pursuant to this section, the parties may nonetheless proceed to the selection of the arbitrator(s) and agree upon a schedule for later proceedings.

§ 8.2.3 The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.

§ 8.2.4 If the parties do not resolve a dispute through mediation pursuant to this Section 8.2, the method of binding dispute resolution shall be the following:
(Check the appropriate box. If the Owner and Architect do not select a method of binding dispute resolution below, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, the dispute will be resolved in a court of competent jurisdiction.)

[ ] Arbitration pursuant to Section 8.3 of this Agreement

[ ] Litigation in a court of competent jurisdiction

[X] Other *(Specify)*

Any method allowed by law.

ARTICLE 9 TERMINATION OR SUSPENSION

§ 9.1 If the Owner fails to make payments to the Architect in accordance with this Agreement, such failure shall be considered substantial nonperformance and cause for termination or, at the Architect's option, cause for suspension of performance of services under this Agreement. If the Architect elects to suspend services, the Architect shall give seven days' written notice to the Owner before suspending services. In the event of a suspension of services, the Architect shall have no liability to the Owner for delay or damage caused the Owner because of such suspension of services. Before resuming services, the Architect shall be paid all sums due prior to suspension and any expenses incurred in the interruption and resumption of the Architect's services. The Architect's fees for the remaining services and the time schedules shall be equitably adjusted.

§ 9.2 If the Owner suspends the Project, the Architect shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the Architect shall be compensated for expenses incurred in the interruption and resumption of the Architect's services. The Architect's fees for the remaining services and the time schedules shall be equitably adjusted.

§ 9.3 If the Owner suspends the Project for more than 90 cumulative days for reasons other than the fault of the Architect, the Architect may terminate this Agreement by giving not less than seven days' written notice.

§ 9.4 Either party may terminate this Agreement upon not less than seven days' written notice should the other party fail substantially to perform in accordance with the terms of this Agreement through no fault of the party initiating the termination.

§ 9.5 The Owner may terminate this Agreement upon not less than seven days' written notice to the Architect for the Owner's convenience and without cause.

§ 9.6 In the event of termination not the fault of the Architect, the Architect shall be compensated for services performed prior to termination, together with Reimbursable Expenses then due and all Termination Expenses as defined in Section 9.7.

§ 9.7 Termination Expenses are in addition to compensation for the Architect's services and include expenses directly attributable to termination for which the Architect is not otherwise compensated.

§ 9.8 The Owner's rights to use the Architect's Instruments of Service in the event of a termination of this Agreement are set forth in Article 7 and Section 11.9.

ARTICLE 10 MISCELLANEOUS PROVISIONS

§ 10.1 This Agreement shall be governed by the law of the place where the Project is located, except that if the parties have selected arbitration as the method of binding dispute resolution, the Federal Arbitration Act shall govern Section 8.3.

§ 10.2 Terms in this Agreement shall have the same meaning as those in AIA Document A201–2007, General Conditions of the Contract for Construction.

§ 10.3 The Owner and Architect, respectively, bind themselves, their agents, successors, assigns and legal representatives to this Agreement. Neither the Owner nor the Architect shall assign this Agreement without the written consent of the other, except that the Owner may assign this Agreement to a lender providing financing for the Project if the lender agrees to assume the Owner's rights and obligations under this Agreement.

§ 10.4 If the Owner requests the Architect to execute certificates, the proposed language of such certificates shall be submitted to the Architect for review at least 14 days prior to the requested dates of execution. If the Owner requests the Architect to execute consents reasonably required to facilitate assignment to a lender, the Architect shall execute all such consents that are consistent with this Agreement, provided the proposed consent is submitted to the Architect for review at least 14 days prior to execution. The Architect shall not be required to execute certificates or consents that would require knowledge, services or responsibilities beyond the scope of this Agreement.

§ 10.5 Nothing contained in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party against either the Owner or Architect.

§ 10.6 Unless otherwise required in this Agreement, the Architect shall have no responsibility for the discovery, presence, handling, removal or disposal of, or exposure of persons to, hazardous materials or toxic substances in any form at the Project site.

§ 10.7 The Architect shall have the right to include photographic or artistic representations of the design of the Project among the Architect's promotional and professional materials. The Architect shall be given reasonable access to the completed Project to make such representations. However, the Architect's materials shall not include the Owner's confidential or proprietary information if the Owner has previously advised the Architect in writing of the specific information considered by the Owner to be confidential or proprietary. The Owner shall provide professional credit for the Architect in the Owner's promotional materials for the Project.

§ 10.8 If the Architect or Owner receives information specifically designated by the other party as "confidential" or "business proprietary," the receiving party shall keep such information strictly confidential and shall not disclose it to any other person except to (1) its employees, (2) those who need to know the content of such information in order

to perform services or construction solely and exclusively for the Project, or (3) its consultants and contractors whose contracts include similar restrictions on the use of confidential information.

ARTICLE 11 COMPENSATION

§ 11.1 For the Architect's Basic Services described under Article 3, the Owner shall compensate the Architect as follows:
(Insert amount of, or basis for, compensation.)

Program Development	$ 5,200.00	percent (	3	%)
Schematic Design	$ 20,519.00	percent (	14	%)
Design Development	$ 37,275.00	percent (	24	%)
Construction Documents	$ 43,223.00	percent (	28	%)
Bidding & Construction	$ 47,623.00	percent (	31	%)
Total Basic Compensation	$ 153,840.00	percent (	100	%)

§ 11.2 For Additional Services designated in Section 4.1, the Owner shall compensate the Architect as follows:
(Insert amount of, or basis for, compensation. If necessary, list specific services to which particular methods of compensation apply.)

Hourly basis at the Architect's then current hourly rates or fixed fee as mutually agreed upon.

§ 11.3 For Additional Services that may arise during the course of the Project, including those under Section 4.3, the Owner shall compensate the Architect as follows:
(Insert amount of, or basis for, compensation.)

Hourly basis at the Architect's then current hourly rates or fixed fee as mutually agreed upon.

§ 11.4 Compensation for Additional Services of the Architect's consultants when not included in Section 11.2 or 11.3, shall be the amount invoiced to the Architect plus ten percent ([redacted]), or as otherwise stated below:

N/A

§ 11.7 The hourly billing rates for services of the Architect and the Architect's consultants, if any, are set forth below. The rates shall be adjusted in accordance with the Architect's and Architect's consultants' normal review practices.
(If applicable, attach an exhibit of hourly billing rates or insert them below.)

See attached Exhibit B, 2014 hourly wage rates

Employee or Category	Rate

§ 11.8 COMPENSATION FOR REIMBURSABLE EXPENSES

§ 11.8.1 Reimbursable Expenses are in addition to compensation for Basic and Additional Services and include expenses incurred by the Architect and the Architect's consultants directly related to the Project, as follows:

.1 Transportation and authorized out-of-town travel and subsistence;
.2 Fees paid for securing approval of authorities having jurisdiction over the Project;
.3 Printing, reproductions, plots, standard form documents;
.4 Postage, handling and delivery;
.5 Expense of overtime work requiring higher than regular rates, if authorized in advance by the Owner;
.6 Renderings, models, mock-ups, professional photography, and presentation materials requested by the Owner;

.7 Architect's Consultant's expense of professional liability insurance dedicated exclusively to this Project, or the expense of additional insurance coverage or limits if the Owner requests such insurance in excess of that normally carried by the Architect's consultants;

.8 All taxes levied on professional services and on reimbursable expenses; and

.9 Other similar Project-related expenditures.

§ 11.8.2 For Reimbursable Expenses the compensation shall be the expenses incurred by the Architect and the Architect's consultants plus ten (10%) of the expenses incurred.

§ 11.9 COMPENSATION FOR USE OF ARCHITECT'S INSTRUMENTS OF SERVICE

If the Owner terminates the Architect for its convenience under Section 9.5, or the Architect terminates this Agreement under Section 9.3, the Owner shall pay a licensing fee as compensation for the Owner's continued use of the Architect's Instruments of Service solely for purposes of completing, using and maintaining the Project as follows:

None

§ 11.10 PAYMENTS TO THE ARCHITECT

§ 11.10.1 An initial payment of zero ($ 0.00) shall be made upon execution of this Agreement and is the minimum payment under this Agreement. It shall be credited to the Owner's account in the final invoice.

§ 11.10.2 Unless otherwise agreed, payments for services shall be made monthly in proportion to services performed. Payments are due and payable upon presentation of the Architect's invoice. Amounts unpaid thirty (30) days after the invoice date shall bear interest at the rate entered below, or in the absence thereof at the legal rate prevailing from time to time at the principal place of business of the Architect.
(Insert rate of monthly or annual interest agreed upon.)

18% per annum

§ 11.10.3 The Owner shall not withhold amounts from the Architect's compensation to impose a penalty or liquidated damages on the Architect, or to offset sums requested by or paid to contractors for the cost of changes in the Work unless the Architect agrees or has been found liable for the amounts in a binding dispute resolution proceeding.

§ 11.10.4 Records of Reimbursable Expenses, expenses pertaining to Additional Services, and services performed on the basis of hourly rates shall be available to the Owner at mutually convenient times.

ARTICLE 12 SPECIAL TERMS AND CONDITIONS

Special terms and conditions that modify this Agreement are as follows:

§ 12.1 LIMITATION OF LIABILITY

In recognition of the relative risks and benefits of the Project to both the Client and the Architect, the risks have been allocated such that the Client agrees, to the fullest extent permitted by law, to limit the liability of the Architect and Architect's officers, directors, partners, employees, shareholders, owners and sub-consultants for any and all claims, losses, costs, damages of any nature whatsoever or claims expenses from any cause or causes, including attorney's fees and costs and expert-witness fees and costs, so that the total aggregate liability of the Architect and Architect's officers, directors, partners, employees, shareholders, owners and sub-consultants shall not exceed $150,000, or the Architect's total fee for services rendered on this Project, whichever is greater. It is intended that this limitation apply to any and all liability or cause of action however alleged or arising, unless otherwise prohibited by law, except where faulty or defective design is the main cause of the damages, injury, or loss, in which case this limitation shall not apply.

§ 12.2 PROTOTYPE DESIGNS

It is understood that the Client intends to reuse the construction documents produced by the Architect under this agreement on other sites. Should the Client request that the Architect not provide the construction phase services normally provided on such projects then, in recognition of the risks to the Architect, the Client agrees to waive all claims against the Architect as his or her sub-consultants that might be contributed to or caused in any way by the

Architect's exclusion from the construction phase, and any claims that might, with reasonable certainty, have been avoided or mitigated had the Architect provided construction phase services on these projects involving the reuse of the construction documents.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Architect, his or her officers, directors, employees, agents and sub-consultants from and against all damage, liability or cost, including reasonable attorney's fees and defense costs, arising out of or in any way connected to the reuse of the construction documents on any other project or site without the involvement of the Architect in the services normally provided on such projects, excepting only those damages, liabilities or costs attributed to the sole negligence or willful misconduct by the Architect.

§ 12.3 UNAUTHORIZED CHANGES

In the event the Client, the Client's contractors or subcontractors, or anyone for whom the Client is legally liable makes or permits to be made any changes to any reports, plans, specifications or other construction documents prepared by the Architect and his or her sub-consultants without obtaining the Architect's written consent, the Client shall assume full responsibility for the results of such changes. Therefore the Client agrees to waive any claim against the Architect and to release the Architect from any liability arising directly or indirectly from such changes.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless the Architect, his or her officers, directors, employees, agents and sub-consultants from and against all damage, liability or cost, including reasonable attorney's fees and defense costs, arising from such changes.

In addition, the Client agrees to include in any contracts for construction appropriate language that prohibits the Contractor or and subcontractors of any tier from making any changes or modifications to the Architect's construction documents without the prior written approval of the Architect and that further requires the Contractor to indemnify both the Architect and the Client from any liability or cost arising from such changes made without such proper authorization.

§ 12.4 JOBSITE CONDITIONS

Neither the professional activities of the Architect, nor the presence of the Architect nor its employees and subconsultants at a construction site, shall relieve the General Contractor, Client or any other entity of their obligations, duties and responsibilities. These include, but are not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending or coordinating all portions of the Work of construction in accordance with the contract documents and any health or safety precautions required by any regulatory agencies. Neither the Architect nor its personnel shall have any authority to exercise any control over any construction contractor or other entity nor their employees in connection with their work or any health or safety precautions. The Client agrees that the General Contractor is solely responsible for jobsite safety and jobsite conditions. The Architect's provision of services shall not relieve others of any responsibility to perform according to their contract or applicable standards or specifications. The Architect is not acting as the Owner's Representative unless such a service is specifically contracted and paid for separate and apart from the services contracted herein.

ARTICLE 13 SCOPE OF THE AGREEMENT

§ 13.1 This Agreement represents the entire and integrated agreement between the Owner and the Architect and supersedes all prior negotiations, representations or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Architect.

§ 13.2 This Agreement is comprised of the following documents listed below:

.1 AIA Document B101™–2007, Standard Form Agreement Between Owner and Architect

N/A

.3 Other documents:
(List other documents, if any, including Exhibit A, Initial Information, and additional scopes of service, if a, forming part of the Agreement.)

Exhibit A: Initial Information including SOQ-3761-14-DH and Addenda.
Exhibit B: 2014 hourly wage rates.

This Agreement entered into as of the day and year first written above.

OWNER

(Signature)

Duane Hoff Jr., Senior Buyer, City of Grand Junction

(Printed name and title)

ARCHITECT

(Signature)

Daniel Gartner President, Chamberlin Architects, PC

(Printed name and title)

AIA® Document B101™ – 2007 Exhibit A

Initial Information

for the following PROJECT:
(Name and location or address)

Orchard Mesa Fire Station No. 4
2880 B ½ Road
Grand Junction, Colorado

THE OWNER:
(Name, legal status and address)

City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

THE ARCHITECT:
(Name, legal status and address)

Chamberlin Architects, P.C.
437 Main Street
Grand Junction, Colorado 81501

This Agreement is based on the following information.
(Note the disposition for the following items by inserting the requested information or a statement such as "not applicable," "unknown at time of execution" or "to be determined later by mutual agreement.")

ARTICLE A.1 PROJECT INFORMATION

§ A.1.1 The Owner's program for the Project:
(Identify documentation or state the manner in which the program will be developed.)

See Statement of Qualifications (SOQ-3761-14-DH) dated August 7, 2014 and Addenda.

§ A.1.2 The Project's physical characteristics:
(Identify or describe, if appropriate, size, location, dimensions, or other pertinent information, such as geotechnical reports; site, boundary and topographic surveys; traffic and utility studies; availability of public and private utilities and services; legal description of the site; etc.)

See Statement of Qualifications (SOQ-3761-14-DH) dated August 7, 2014 and Addenda.
Additional information will be provided by the Owner.

§ A.1.3 The Owner's budget for the Cost of the Work, as defined in Section 6.1:
(Provide total, and if known, a line item break down.)

TBD

§ A.1.4 The Owner's other anticipated scheduling information, if any, not provided in Section 1.2:

See Statement of Qualifications (SOQ-3761-14-DH) dated August 7, 2014 and Addenda.

ADDITIONS AND DELETIONS:
The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

§ A.1.5 The Owner intends the following procurement or delivery method for the Project:
(Identify method such as competitive bid, negotiated contract, or construction management.)

Construction Manager / General Contractor (CM/GC)

§ A.1.6 Other Project information:
(Identify special characteristics or needs of the Project not provided elsewhere, such as environmentally responsible design or historic preservation requirements.)

N/A

ARTICLE A.2 PROJECT TEAM

§ A.2.1 The Owner identifies the following representative in accordance with Section 5.3:
(List name, address and other information.)

Lee Cooper, Project Engineer, City of Grand Junction

§ A.2.2 The persons or entities, in addition to the Owner's representative, who are required to review the Architect's submittals to the Owner are as follows:
(List name, address and other information.)

TBD

§ A.2.3 The Owner will retain the following consultants and contractors:
(List discipline and, if known, identify them by name and address.)

Not known at this time.

§ A.2.4 The Architect identifies the following representative in accordance with Section 2.3:
(List name, address and other information.)

Daniel Gartner or Jonathan West

§ A.2.5 The Architect will retain the consultants identified in Sections A.2.5.1 and A.2.5.2.
(List discipline and, if known, identify them by name, legal status, address and other information.)

§ A.2.5.1 Consultants retained under Basic Services:

.1 Structural Engineer
Lindauer-Dunn, Inc.

.2 Mechanical Engineer
Ralston Mechanical Consulting, LLC.

.3 Electrical Engineer
Grand Valley Engineering Solutions

.4 Civil Engineer
Austin Civil Group, Inc.

.5 Landscape Architect
Julee Wolverton

.6 Geotechnical Report (No Construction Phase testing)
Huddleston-Berry Engineering

§ A.2.5.2 Consultants retained under Additional Services:

Any additional engineering services will be considered Additional Services.

§ A.2.6 Other Initial Information on which the Agreement is based:
(Provide other Initial Information.)

1. The Architect will attend planning meetings, provide the City of Grand Junction with design documents for the City to submit to planning, and respond to comments about the Architect's part of the project, but will not put the planning submittal together.
2. The Architect will not design of any off-site work.
3. The Architect will provide a biddable design document for FF&E.
4. Changes or additions that significantly alter the scope in the SOQ and Addenda are excluded.
5. Construction Documents will be produced in a single bid package.
6. No electronic As-Built Drawings will be provided. The Architect will review the Contractor's redlined As-Builts.
7. A six month construction duration is anticipated.
8. Survey work, traffic engineering, security systems, and hazardous materials remediation are not included.

EXHIBIT "B"

HOURLY RATE AND REIMBURSABLES SCHEDULE

Schedule Effective through December 31, 2014

ROLE	HOURLY
CHAMBERLIN ARCHITECTS	
Principal in Charge	$144
Project Architect:	$105
Interior Designer	$82
Junior Architect	$67
CAD Draftng	$55
AUSTIN CIVIL GROUP (CIVIL)	
Project Engineer	$110
Project Designer	$85
JULIE WOLVERTON (LANDSCAPE)	
Landscape Architect	$75
LINDAUER-DUNN (STRUCTURAL)	
Principal Engineer	$120
Project Engineer	$85
Design Engineer	$70
AutoCad Technician	$45
Clerical	$40
RALSTON MECHANICAL CONSULTING (MECHANICAL/PLUMBING)	
Engineer	$90
Senior Designer	$65
Designer	$50
CAD	$35
Clerical	$25
GRAND VALLEY ENGINEERING SOLUTIONS (ELECTRICAL)	
Engineer	$95
Engineer Intern	$65
Designer	$55
Drafting	$45
Clerical	$35
HUDDLESTON-BERRY (GEOTECH)	
Senior Manager	$105
Project Manager	$55
Technician	$45

Below is a sample of our reimbursable costs for in-house copying and printing. Any work done outside of contract is billed at cost + 10%.

Copies: $0.10 – B+W 8.5 x 11 per copy
$0.30 – Color 8.5 x 11 per copy
$0.50 – B+W 11 x 17 per copy
$1.00 – Color 11 x 17 per copy

Prints: N/A— Always done outside of our office.

Mileage: $0.565 per mile** only if traveling out of town *(not anticipated)*

**Per Current IRS Reimbursement Guidelines at time of execution of the Prime Agreement.

Statement of Qualifications
SOQ-3761-14-DH

Professional Architectural Services for Orchard Mesa Fire Station #4

RESPONSES DUE:
August 27, 2014 Prior to 3:00 p.m.
Accepting Electronic Responses Only
Responses Only Submitted Through the Rocky Mountain E-Purchasing System
https://www.rockymountainbidsystem.com/default.asp

PURCHASING REPRESENTATIVE:
Duane Hoff Jr.
Senior Buyer
duaneh@gjcity.org
970-244-1545

This solicitation has been developed specifically for a Statement of Qualifications intended to solicit competitive responses for this solicitation, and may not be the same as previous City of Grand Junction/Mesa County solicitations. All offerors are urged to thoroughly review this solicitation prior to submitting. Submittal by **FAX IS NOT ACCEPTABLE** for this solicitation.

ADMINISTRATIVE INFORMATION & CONDITIONS FOR SUBMITTAL

Issuing Office: This Statement of Qualifications (SOQ) is issued by the City of Grand Junction on behalf of the Grand Junction Fire Department. All contact regarding this SOQ is directed to:

SOQ Questions:
Duane Hoff Jr.
duaneh@gjcity.org

Purpose: The City of Grand Junction, on behalf of the Grand Junction Fire Department, is requesting qualifications form interested architectural firms for Professional Architectural Services for Orchard Mesa Fire Station #4.

The Owner: The Owner is the City of Grand Junction and/or Mesa County, Colorado and is referred to throughout this Solicitation. The term Owner means the Owner or his authorized representative.

Compliance: All participating Offerors shall agree to comply with all conditions, requirements, and instructions of this SOQ as stated or implied herein. Should the Owner omit anything from this packet which is necessary to the clear understanding of the requirements, or should it appear that various instructions are in conflict, the Offerors shall secure instructions from the Purchasing Division prior to the date and time of the submittal deadline shown in this SOQ.

Submission: Please refer to section 5.0 for what is to be included. ***Each submittal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (https://www.rockymountainbidsystem.com/default.asp).*** *This site offers both "free" and "paying" registration options that allow for full access of the Owner's documents and for electronic submission of proposals. (Note: "free" registration may take up to 24 hours to process. Please Plan accordingly.)* Please view our "**Electronic Vendor Registration Guide"** at http://www.gjcity.org/BidOpenings.aspx for details. For proper comparison and evaluation, the City requests that submittals be formatted as directed in Section 5.0 "Preparation and Submittal of Qualifications." Submittals received that fail to follow this format may be ruled non-responsive.

Altering Submittals: Any alterations made prior to opening date and time must be initialed by the signer of the submittal, guaranteeing authenticity. Submittals cannot be altered or amended after submission deadline.

Withdrawal of Submittal: A submittal must be firm and valid for award and may not be withdrawn or canceled by the Offeror prior to the sixty-first (61st) day following the submittal deadline date and only prior to award. The Offeror so agrees upon their submittal. After award this statement is not applicable.

Acceptance of Submittal Content: The contents of the submittal of the successful Offeror shall become contractual obligations if acquisition action ensues. Failure of the

successful Offeror to accept these obligations in a contract shall result in cancellation of the award and such vendor shall be removed from future solicitations.

Exclusion: No oral, telegraphic, or telephonic submittals shall be considered.

Addenda: All Questions shall be submitted in writing to the appropriate person as shown in Section 1.1. Any interpretations, corrections and changes to this SOQ or extensions to the opening/receipt date shall be made by a written Addendum to the SOQ by the City Purchasing Division. Sole authority to authorize addenda shall be vested in the City of Grand Junction Purchasing Representative. Addenda will be issued electronically through the City's website at www.gjcity.org by selecting the Bids link. Offerors shall acknowledge receipt of all addenda in their submittal.

Exceptions and Substitutions: All submittals meeting the intent of this SOQ shall be considered for award. Offerors taking exception to the specifications/scope of work/scope of services shall do so at their own risk. The Owner reserves the right to accept or reject any or all substitutions or alternatives. When offering substitutions and/or alternatives, Offeror must state these exceptions in the section pertaining to that area. Exception/substitution, if accepted, must meet or exceed the stated intent and/or specifications/scope of work/scope of services. The absence of such a list shall indicate that the Offeror has not taken exceptions, and if awarded a contract, shall hold the Offeror responsible to perform in strict accordance with the specifications/scope of work/scope of services contained herein.

Confidential Material: All materials submitted in response to this SOQ shall ultimately become public record and shall be subject to inspection after contract award. "Proprietary or Confidential Information" is defined as any information that is not generally known to competitors and which provides a competitive advantage. Unrestricted disclosure of proprietary information places it in the public domain. Only submittal information clearly identified with the words "***Confidential Disclosure***" shall establish a confidential, proprietary relationship. Any material to be treated as confidential or proprietary in nature must include a justification for the request. The request shall be reviewed and either approved or denied by the Purchasing Manager. If denied, the proposer shall have the opportunity to withdraw its entire submittal, or to remove the confidential or proprietary restrictions. Neither cost nor pricing information nor the total proposal shall be considered confidential or proprietary.

Response Material Ownership: All submittals become the property of the Owner upon receipt and shall only be returned to the Offeror at the Owner's option. Selection or rejection of the submittal shall not affect this right. The Owner shall have the right to use all ideas or adaptations of the ideas contained in any submittal received in response to this SOQ, subject to limitations outlined in the section 1.9 entitled "Confidential Material". Disqualification of a submittal does not eliminate this right.

Minimal Standards for Responsible Prospective Offerors: A prospective Offeror must affirmably demonstrate their responsibility. A prospective Offeror must meet the following requirements:

- Have adequate financial resources, or the ability to obtain such resources as required.
- Be able to comply with the required or proposed completion schedule.
- Have a satisfactory record of performance.
- Have a satisfactory record of integrity and ethics.
- Be otherwise qualified and eligible to receive an award and enter into a contract with the Owner.

Open Records: Submittals shall be received and publicly acknowledged at the location, date, and time stated herein. Offerors, their representatives and interested persons may be present. Submittals shall be received and acknowledged only so as to avoid disclosure of process. However, all submittals shall be open for public inspection after the contract is awarded. Trade secrets and confidential information contained in the submittal so identified by Offeror as such shall be treated as confidential by the Owner to the extent allowable in the Open Records Act.

Acceptance of SOQ Terms: An Offeror's submittal in response to this SOQ shall constitute a binding offer. Acknowledgment of this condition shall be indicated on the Letter of Interest or Cover Letter by the autographic signature of the Offeror or an officer of the Offeror legally authorized to execute contractual obligations. A submission in response to the SOQ acknowledges acceptance by the Offeror of all terms and conditions including compensation, as set forth herein. An Offeror shall identify clearly and thoroughly any variations between its submittal and the Owner's SOQ requirements. Failure to do so shall be deemed a waiver of any rights to subsequently modify the terms of performance, except as outlined or specified in the SOQ.

Execution, Correlation, Intent, and Interpretations: Owner will provide the contract. By executing the contract, the Offeror represents that he/she has familiarized himself/herself with the local conditions under which the Work/Services is to be performed, and correlated his/her observations with the requirements of the Contract Documents. The Contract Documents are complementary, and what is required by any one, shall be as binding as if required by all. The intention of the documents is to include all labor, materials, equipment and other items necessary for the proper execution and completion of the scope of work/scope of services as defined in the technical specifications and/or drawings contained herein. All drawings, specifications, and scopes copies furnished by the Owner are, and shall remain, Owner property. They are not to be used on any other project, and with the exception of one contract set for each party to the contract, are to be returned to the owner on request at the completion of the work/services.

Permits, Fees, & Notices: The Offeror shall secure and pay for all permits, governmental fees and licenses necessary for the proper execution and completion of the work/services. The Offeror shall give all notices and comply with all laws, ordinances, rules, regulations and orders of any public authority bearing on the performance of the work/services. If the Offeror observes that any of the Contract Documents are at

variance in any respect, he shall promptly notify the Owner in writing, and any necessary changes shall be adjusted by approximate modification. If the Offeror performs any work knowing it to be contrary to such laws, ordinances, rules and regulations, and without such notice to the Owner, he shall assume full responsibility and shall bear all costs attributable.

Responsibility for those Performing the Work/Services: The Offeror shall be responsible to the Owner for the acts and omissions of all his employees and all other persons performing any of the work/services under a contract with the Offeror.

Payment & Completion: The Contract Sum is stated in the Contract and is the total amount payable by the Owner to the Offeror for the performance of the work/services under the Contract Documents. Upon receipt of written notice that the work/services is ready for final inspection and acceptance and upon receipt of application for payment, the Owner's Project Manager will promptly make such inspection and, when he finds the work/services acceptable under the Contract Documents and the Contract fully performed, the Owner shall make payment in the manner provided in the Contract Documents. Partial payments will be based upon estimates, prepared by the Offeror, of the value of work/services performed and materials placed in accordance with the Contract Documents.

Changes in the Work/Services: The Owner, without invalidating the contract, may order changes in the work/services within the general scope of the contract consisting of additions, deletions or other revisions. All such changes in the work/services shall be authorized by Change Order and shall be executed under the applicable conditions of the contract documents. A Change Order is a written order to the Offeror signed by the Owner issued after the execution of the contract, authorizing a change in the work/services or an adjustment in the contract sum or the contract time.

Minor Changes in the Work/Services: The Owner shall have authority to order minor changes in the work/services not involving an adjustment in the contract sum or an extension of the contract time and not inconsistent with the intent of the contract documents.

Uncovering & Correction of Work/Services: The Offeror shall promptly correct all work/services found by the Owner as defective or as failing to conform to the contract documents. The Offeror shall bear all costs of correcting such rejected work/services, including the cost of the Owner's additional services thereby made necessary. The Owner shall give such notice promptly after discover of condition. All such defective or non-conforming work/services under the above paragraphs shall be removed from the site where necessary and the work/services shall be corrected to comply with the contract documents without cost to the Owner.

Amendment: No oral statement of any person shall modify or otherwise change, or affect the terms, conditions or specifications stated in the resulting contract. All amendments to the contract shall be made in writing by the Owner Purchasing Division.

Assignment: The Offeror shall not sell, assign, transfer or convey any contract resulting from this SOQ, in whole or in part, without the prior written approval from the Owner.

Compliance with Laws: Submittals must comply with all Federal, State, County and local laws governing or covering this type of service and the fulfillment of all ADA (Americans with Disabilities Act) requirements.

Confidentiality: All information disclosed by the Owner to the Offeror for the purpose of the work/services to be done or information that comes to the attention of the Offeror during the course of performing such work/services is to be kept strictly confidential.

Conflict of Interest: No public official and/or Owner employee shall have interest in any contract resulting from this SOQ.

Contract: This Statement of Qualifications, submitted documents, and any negotiations, when properly accepted by the Owner, shall constitute a contract equally binding between the Owner and Offeror. The contract represents the entire and integrated agreement between the parties hereto and supersedes all prior negotiations, representations, or agreements, either written or oral, including the submittall documents. The contract may be amended or modified with Change Orders, Field Orders, or Addendums.

Project Manager/Administrator: The Project Manager, on behalf of the Owner, shall render decisions in a timely manner pertaining to the work/services proposed or performed by the Offeror. The Project Manager shall be responsible for approval and/or acceptance of any related performance of the Scope of Work/Scope of Services.

Contract Termination: This contract shall remain in effect until any of the following occurs: (1) contract expires; (2) completion of work/services; (3) acceptance of work/services or, (4) for convenience terminated by either party with a written *Notice of Cancellation* stating therein the reasons for such cancellation and the effective date of cancellation at least thirty days past notification.

Employment Discrimination: During the performance of any services per agreement with the Owner, the Offeror, by submitting a Proposal, agrees to the following conditions:

- The Offeror shall not discriminate against any employee or applicant for employment because of race, religion, color, sex, age, disability, citizenship status, marital status, veteran status, sexual orientation, national origin, or any legally protected status except when such condition is a legitimate occupational qualification reasonably necessary for the normal operations of the Offeror. The Offeror agrees to post in conspicuous places, visible to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.

- The Offeror, in all solicitations or advertisements for employees placed by or on behalf of the Offeror, shall state that such Offeror is an Equal Opportunity Employer.

- Notices, advertisements, and solicitations placed in accordance with federal law, rule, or regulation shall be deemed sufficient for the purpose of meeting the requirements of this section.

Immigration Reform and Control Act of 1986 and Immigration Compliance: The Offeror certifies that it does not and will not during the performance of the contract employ illegal alien workers or otherwise violate the provisions of the Federal Immigration Reform and Control Act of 1986 and/or the immigration compliance requirements of State of Colorado C.R.S. § 8-17.5-101, *et.seq.* (House Bill 06-1343).

Expenses: Expenses incurred by prospective proposers in preparation, submission and presentation of this SOQ are the responsibility of the Offeror and cannot be charged to the Owner.

Ethics: The Offeror shall not accept or offer gifts or anything of value nor enter into any business arrangement with any employee, official, or agent of the Owner.

Failure to Deliver: In the event of failure of the Offeror to deliver work/services in accordance with the contract terms and conditions, the Owner, after due oral or written notice, may procure the services from other sources and hold the Offeror responsible for any costs resulting in additional purchase and administrative services. This remedy shall be in addition to any other remedies that the Owner may have.

Failure to Enforce: Failure by the Owner at any time to enforce the provisions of the contract shall not be construed as a waiver of any such provisions. Such failure to enforce shall not affect the validity of the contract or any part thereof or the right of the Owner to enforce any provision at any time in accordance with its terms.

Force Majeure: The Offeror shall not be held responsible for failure to perform the duties and responsibilities imposed by the contract due to legal strikes, fires, riots, rebellions, and acts of God beyond the control of the Offeror, unless otherwise specified in the contract.

Indemnification: Offeror shall defend, indemnify and save harmless the Owner, State of Colorado, and all its officers, employees, insurers, and self-insurance pool, from and against all liability, suits, actions, or other claims of any character, name and description brought for or on account of any injuries or damages received or sustained by any person, persons, or property on account of any negligent act or fault of the Offeror, or of any Offeror's agent, employee, subcontractor or supplier in the execution of, or performance under, any contract which may result from proposal award. Offeror shall pay any judgment with cost which may be obtained against the Owner growing out of such injury or damages.

Independent Firm: The Offeror shall be legally considered an Independent Firm and neither the Firm nor its employees shall, under any circumstances, be considered servants or agents of the Owner. The Owner shall be at no time legally responsible for any negligence or other wrongdoing by the Firm, its servants, or agents. The Owner shall not withhold from the contract payments to the Firm any federal or state unemployment taxes, federal or state income taxes, Social Security Tax or any other amounts for

benefits to the Firm. Further, the Owner shall not provide to the Firm any insurance coverage or other benefits, including Workers' Compensation, normally provided by the Owner for its employees.

Nonconforming Terms and Conditions: A submittal that includes terms and conditions that do not conform to the terms and conditions of this Statement of Qualifications is subject to rejection as non-responsive. The Owner reserves the right to permit the Offeror to withdraw nonconforming terms and conditions from its proposal prior to a determination by the Owner of non-responsiveness based on the submission of nonconforming terms and conditions.

Ownership: All plans, prints, designs, concepts, etc., shall become the property of the Owner.

Oral Statements: No oral statement of any person shall modify or otherwise affect the terms, conditions, or specifications stated in this document and/or resulting agreement. All modifications to this request and any agreement must be made in writing by the Owner.

Patents/Copyrights: The Offeror agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to the Offeror for any/all suits arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this SOQ.

Remedies: The Offeror and Owner agree that both parties have all rights, duties, and remedies available as stated in the Uniform Commercial Code.

Venue: Any agreement as a result of responding to this SOQ shall be deemed to have been made in, and shall be construed and interpreted in accordance with, the laws of the City of Grand Junction, Mesa County, Colorado.

Patents/Copyrights: The Offeror agrees to protect the Owner from any claims involving infringements of patents and/or copyrights. In no event shall the Owner be liable to a Offeror for any/all suits arising on the grounds of patent(s)/copyright(s) infringement. Patent/copyright infringement shall null and void any agreement resulting from response to this SOQ.

Sovereign Immunity: The Owner specifically reserves its right to sovereign immunity pursuant to Colorado State Law as a defense to any action arising in conjunction to this agreement.

Public Funds/Non-Appropriation of Funds: Funds for payment have been provided through the City of Grand Junction/Mesa County budget approved by the City Council/Board of County Commissioners for the stated fiscal year only. State of Colorado statutes prohibit the obligation and expenditure of public funds beyond the fiscal year for which a budget has been approved. Therefore, anticipated orders or other obligations that may arise past the end of the stated City of Grand Junction/Mesa County fiscal year

shall be subject to budget approval. Any contract will be subject to and must contain a governmental non-appropriation of funds clause.

Collusion Clause: Each Offeror by submitting a proposal certifies that it is not party to any collusive action or any action that may be in violation of the Sherman Antitrust Act. Any and all proposals shall be rejected if there is evidence or reason for believing that collusion exists among the proposers. The Owner may or may not, at the discretion of the Owner Purchasing Representative, accept future proposals for the same service or commodities for participants in such collusion.

Gratuities: The proposer certifies and agrees that no gratuities, kickbacks or contingency fees were paid in connection with this contract, nor were any fees, commissions, gifts or other considerations made contingent upon the award of this contract. If the proposer breaches or violates this warranty, the Owner may, at their discretion, terminate this contract without liability to the Owner.

Safety Warranty: Offeror also warrants that the services performed shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970.

OSHA Standards: All Offerors agree and warrant that services performed in response to this invitation shall conform to the standards declared by the US Department of Labor under the Occupational Safety and Health Act of 1970 (OSHA). In the event the services do not conform to OSHA Standards, the Owner may require the services to be redone at no additional expense to the Owner.

Performance of the Contract: The Owner reserves the right to enforce the performance of the contract in any manner prescribed by law or deemed to be in the best interest of the Owner in the event of breach or default of resulting contract award.

Benefit Claims: The Owner shall not provide to the Offeror any insurance coverage or other benefits, including Worker's Compensation, normally provided by the Owner for its employees.

Default: The Owner reserves the right to terminate the contract immediately in the event the Offeror fails to meet delivery or completion schedules, or otherwise perform in accordance with the accepted proposal. Breach of contract or default authorizes the Owner to purchase like services elsewhere and charge the full increase in cost to the defaulting Offeror.

Multiple Offers: Offerors must determine for themselves which product/services to offer. If said Offeror chooses to submit more than one offer, THE ALTERNATE OFFER must be clearly marked "Alternate Submittal". The Owner reserves the right to make award in the best interest of the Owner.

Cooperative Purchasing: Purchases as a result of this solicitation are primarily for the Owner. Other governmental entities may be extended the opportunity to utilize the resultant contract award with the agreement of the successful provider and the participating agencies. All participating entities will be required to abide by the

specifications, terms, conditions and pricings established in this Submittal. The quantities furnished in this submittal document are for only the Owner. It does not include quantities for any other jurisdiction. The Owner will be responsible only for the award for our jurisdiction. Other participating entities will place their own awards on their respective Purchase Orders through their purchasing office or use their purchasing card for purchase/payment as authorized or agreed upon between the provider and the individual entity. The Owner accepts no liability for payment of orders placed by other participating jurisdictions that choose to piggy-back on our solicitation. Orders placed by participating jurisdictions under the terms of this solicitation will indicate their specific delivery and invoicing instructions.

Public Disclosure Record: If the Offeror has knowledge of their employee(s) or sub-Offerors having an immediate family relationship with a Owner employee or elected official, the Offeror must provide the Purchasing Representative with the name(s) of these individuals. These individuals are required to file an acceptable "Public Disclosure Record", a statement of financial interest, before conducting business with the Owner.

DEFINITIONS

"Consultant" refers to the person, partnership, firm or corporation entering into an Agreement with the Owner for the services required and the legal representatives of said party or the agent appointed to act for said party in the performance of the service(s) contracted for.

"Offeror" refers to the person or persons legally authorized by the Consultant to make an offer and/or submit a bid (fee) proposal in response to the Owner's SOQ.

The term "Work" or "Services" includes all labor necessary to produce the requirements by the Contract Documents, and all materials and equipment incorporated or to be incorporated in such construction/services.

"Owner" is the City of Grand Junction/Mesa County, Colorado and is referred to throughout the Contract Documents. The term Owner means the Owner or his authorized representative. The Owner shall, at all times, have access to the work/services wherever it is in preparation and progress. The Offeror shall provide facilities for such access. The Owner will make periodic visits to the site to familiarize himself generally with the progress and quality of work/services and to determine, in general, if the work/services is proceeding in accordance with the contract documents. Based on such observations and the Offeror's Application for Payment, the Owner will determine the amounts owing to the Offeror and will issue Certificates for Payment in such amounts, as provided in the contract. The Owner will have authority to reject work/services which does not conform to the Contract documents. Whenever, in his reasonable opinion, he considers it necessary or advisable to insure the proper implementation of the intent of the Contract Documents, he will have authority to require the Offeror to stop the work/services or any portion, or to require special inspection or testing of the work/services, whether or not such work/services can be then be fabricated, installed, or completed. The Owner will not be responsible for the acts or omissions of

the Offeror, and sub-Contractor, or any of their agents or employees, or any other persons performing any of the work/services.

"Offeror" is the person or organization identified as such in the Agreement and is referred to throughout the Contract Documents. The term Offeror means the Offeror or his authorized representative. The Offeror shall carefully study and compare the General Contract Conditions of the Contract, Specification, Scope of Work, Scope of Services, and Drawings, Addenda and Modifications and shall at once report to the Owner any error, inconsistency or omission he may discover. Offeror shall not be liable to the Owner for any damage resulting from such errors, inconsistencies or omissions. The Offeror shall not commence work/services without clarifying Drawings, Specifications, or Interpretations.

INSURANCE REQUIREMENTS

Insurance Requirements: The selected Firm agrees to procure and maintain, at its own cost, policy(s) of insurance sufficient to insure against all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. Such insurance shall be in addition to any other insurance requirements imposed by this Contract or by law. The Firm shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to this Section by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.

Firm shall procure and maintain and, if applicable, shall cause any Subcontractor of the Firm to procure and maintain insurance coverage listed below. Such coverage shall be procured and maintained with forms and insurers acceptable to The Owner. All coverage shall be continuously maintained to cover all liability, claims, demands, and other obligations assumed by the Firm pursuant to this Section. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage. Minimum coverage limits shall be as indicated below unless specified otherwise in the Special Conditions:

(a) Worker Compensation insurance to cover obligations imposed by applicable laws for any employee engaged in the performance of work under this Contract, and Employers' Liability insurance with minimum limits of:

FIVE HUNDRED THOUSAND DOLLARS ($500,000) each accident,
FIVE HUNDRED THOUSAND DOLLARS ($500,000) disease - policy limit, and
FIVE HUNDRED THOUSAND DOLLARS ($500,000) disease - each employee

(b) General Liability insurance with minimum combined single limits of:

ONE MILLION DOLLARS ($1,000,000) each occurrence and
ONE MILLION DOLLARS ($1,000,000) per job aggregate.

The policy shall be applicable to all premises and operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket

contractual, products, and completed operations. The policy shall include coverage for explosion, collapse, and underground hazards. The policy shall contain a severability of interests provision.

(c) Comprehensive Automobile Liability insurance with minimum combined single limits for bodily injury and property damage of not less than:

ONE MILLION DOLLARS ($1,000,000) each occurrence and
ONE MILLION DOLLARS ($1,000,000) aggregate

(d) Professional Liability & Errors and Omissions Insurance policy with a minimum of:

ONE MILLION DOLLARS ($1,000,000) per claim

This policy shall provide coverage to protect the contractor against liability incurred as a result of the professional services performed as a result of responding to this Solicitation.

With respect to each of Consultant's owned, hired, or non-owned vehicles assigned to be used in performance of the Work. The policy shall contain a severability of interests provision. The policies required by paragraphs (a), (b), (c), and (d) above shall be endorsed to include the Owner and the Owner's officers and employees as additional insureds. Every policy required above shall be primary insurance, and any insurance carried by the Owner, its officers, or its employees, or carried by or provided through any insurance pool of the Owner, shall be excess and not contributory insurance to that provided by Consultant. No additional insured endorsement to any required policy shall contain any exclusion for bodily injury or property damage arising from completed operations. The Consultant shall be solely responsible for any deductible losses under any policy required above.

OVERVIEW AND INFORMATION

The City of Grand Junction is interested in hiring a professional licensed architect to provide design and construction collaboration services for the construction of the new Orchard Mesa Fire Station #4. The fire station is to be located on a site that has not been finalized. However, the City is currently conducting negotiations to purchase the real property in the vicinity of 29 Road and B ½ Road. This new station will be a relocation of fire department operations currently at 251 27 Road.

Fire station #4 is a full service fire station with firefighters who are also certified emergency medical service (EMS) technicians. All prospective architectural firms will be provided sufficient information to prepare and submit statements of qualifications for response to this solicitation.

The City believes the station square footage requirements to be approximately 8500 square feet, capable of housing 3 to 4 pieces of fire equipment including an engine and ambulance. The station will be staffed 24 hours a day (3 shifts of up to 6 fire personnel) A list of minimum and optional building/site requirements are included in this solicitation package.

The time line for this project is ambitious. All planning, design and construction efforts will be expedited to the extent possible. The City is desirous of a mid to late 2015 occupancy date.

SOQ GOALS

It is the intent of this SOQ to provide interested architectural firms with sufficient information to enable them to prepare and submit statements of qualifications for the project. Based on a rating of the qualified submittals by the evaluation team, a "short list" of the most qualified firms will be developed. Only the top "short list" firms will be invited for interviews and pricing proposals.

Pricing is not to be included with this SOQ submittal.

ARCHITECHTURAL FIRM INFORMATION

Provide information regarding the items listed below. Include any documentation that supports your responses.

1. Company Background – Provide a concise description of your firm including number of years in business, and the professional services typically provided. Include a comprehensive explanation of the firm's overall capabilities, experience and qualifications for this type of project.

2. Provide a reference list consisting of at least three projects similar in size and scope to the City of Grand Junction project. Provide a brief description of each project including the budget, work activities, any unique requirements to providing the professional services, and the name and telephone number of your project reference. Firms should also include design projects specific to Fire Stations.

3. Team qualifications and experience shall include résumé information for the design team to include the principal, assigned team manager, proposed designer(s) and any other key individuals with responsibility for providing the professional services as a result of this solicitation. Provide the name and a brief overview of the qualifications; including résumés, for each sub-consultant, if any, you propose to perform services on the project. Describe the sub-consultant's role on this project and related experience. Include projects on which your firm has worked with the listed sub-consultant. Key personnel shall be committed to this project for its duration, unless excused by the City. All proposed replacements must be approved by the City prior to the substitution being made.

4. Provide detailed descriptions of past experience designing Fire Station projects (provide at least 3).

5. Provide additional information that will demonstrate the firm's special qualifications and abilities relative to successfully performing this project (maximum 10-15 pages). This section should include the approach and method to successfully deliver the proposed

design. Any proposed cost control methods for the design/pre-construction phase of the project should also be included and your methods to maintain quality control during the design/pre-construction and construction phases.

6. Prepare a work schedule and address your firm's ability to complete the design by the required timeline.

SCOPE OF SERVICES

General/Background: Fire station #4 will be a full service fire station with firefighters certified as emergency medical service (EMS) technicians. Station square footage requirements are estimated to be approximately 8500 square feet and capable of housing 3 to 4 pieces of fire equipment including an engine and ambulance. The station will be staffed 24 hours a day (3 shifts of up to 6 fire personnel). Central HVAC plus special ventilation systems will be required. An amount equal to one percent (1%) of the construction expenditures will be used to provide for art work at the facility.

Special Conditions/Provisions:

Oral Interviews: Only respondents who demonstrate the required qualifications and experience for this project will be considered for participation in oral presentations. It is the intent of the Owner to invite three to five firms to prepare a detailed pricing proposal and participate in oral interviews for the required architectural services.

Fees: ***DO NOT INCLUDE ANY PRICING OR FEE SCHEDULES WITH YOUR SUBMITTAL TO THIS SOQ***. If your firm is selected as one of the finalists, you may be invited for an oral interview. At that time, you will be required to provide a complete list of standard fees and payment schedule requirements in a separate sealed envelope. Any additional consultant fees must also be included. All fees will be considered by the Owner to be negotiable based on the final scope of services and deliverables. The fee proposals will not be opened by the Owner until a prospective awarded firm has been determined. Then, only the fee proposal of the successful preferred proposer will be opened. However, the Owner reserves the right to open competing fee proposals and consider their contents if a contract agreement cannot be negotiated with the number one selected firm or if it is considered in the best interest of the Owner to do so.

Short Listed Firms: Finalist, short listed firms, may be provided detailed questions developed by the evaluation committee during the review process that finalists will be required to respond. Additional information that may delineate the firm's ability to work within a limited timeline, in collaboration with a GC/CM firm on fire station facilities may also be requested at that time. Firms will be limited to a previously determined amount of time for their presentations. It is the intent of the Owner to participate in oral interviews with a minimum of three (3) firms, but not more than five (5). Presentations should be made by principals and key personnel who can respond to any additional questions the evaluation team may pose during the oral interviews. Presentations are to be professional in nature, but concise and to the point with illustrations relevant to the firm's abilities with regard to the prospective project. Visual aids to include Power Point or

other objective information that will assist the evaluation team are recommended, but not required.

Should the Owner not be able to agree on the details of the contract with the top rated firm through good-faith negotiations, they will proceed to the next highest ranked firm and enter into negotiations.

Scope of Services:

NOTE: The City of Grand Junction owns plans from the previously developed and constructed Fire Station #5, and intends to use these plans as the basis for the new Fire Station #4 development and construction. (See attached PDF plans) Actual electronic plans will be provided to the awarded architectural firm. The architect will work with the City to modify the existing plans, as needed, for the new fire station. From this, the awarded firm shall provide final drawings, scope, and specifications for the new proposed Fire Station #4. It is the City's intent that these plans serve as a prototype design for future fire stations of similar size.

Primary Areas:

- Residential Space
- Office Space
- Public Space
- Fire Equipment Storage and Maintenance Space
- Apparatus Storage Space
- Department Special Equipment Storage (throughout facility).

Residential Space:

- Dayroom to accommodate 8-10 personnel.
- Kitchen with three (3) separate food storage lockers (min. 28 cu. ft. ea.) and provisions for three (3) refrigerators (min. 22 cu. ft. ea.), two (2) microwaves, one (1) dishwasher, and one (1) gas stove.
- Dining area sufficient in size for 8-10 personnel
- Six (6) to eight (8) individual bedrooms each with: 3 clothing lockers (min. 44 cu. ft. ea.), cable service, phone service and computer connections with sufficient space for a desk.
- Minimum of three (3) individual restrooms with one (1) shower, one (1) sink, one (1) toilet, and one (1) urinal in each.
- Laundry room with washer and dryer hookups, a utility sink, and storage for laundry supplies. (2 washer/dryer sets preferred)

Office Space:

- Office #1 with individual work space for 4 fire personnel, each with a computer, 1-2 shared desk phones and 1 shared printer/fax/copier unit.
- Office #2 is a private office with work space for 1 fire Captain with a desk phone, computer and printer.

Public Space:

- One (1) public unisex restroom.

- Space for a drinking fountain.

Fire Fighter and Equipment Storage/Maintenance Space:

- Shop area.
- SCBA compressor room with 208v 3-phase electrical power.
- Bunker storage and cleaning area (21 bunker set minimum).
- Physical fitness room.
- Hose cleaning, drying and storage area. A hose tower is preferred for drying hose.
- EMS storage area
- General supplies storage area.

Fire Apparatus Storage Space:

- Three (3) drive-through bays (minimum - 60 feet long) with full length floor trench drains in each.
- Apparatus exhaust system.
- Infrared radiant heat throughout.
- Three (3) phase electrical power (208 volt) supply for air trailer.
- Six (6) ceiling mounted, retractable, compressed air cord reels (copper piped to fixed compressor).
- Six (6) ceiling mounted, retractable, electric cord reels.
- Two (2) ceiling mounted, 2" cold water outlets with shut-off valves.

Miscellaneous Equipment Space (located in various locations throughout the facility):

- Emergency generator.
- Industrial capacity, stationary air compressor.
- SCBA compressor
- Bunker gear extraction washer.
- Hose washer.
- Hose racks.
- Radio antenna.
- Communication line. Fiber optic preferred.
- First In station alerting system.
- Flag pole.
- Information Technology (IT) room (minimum 8 ft. x 8 ft.)
- Fire sprinkler system.
- Employee parking
- Public parking
- Dumpster enclosure

The architectural firm awarded as a result of this SOQ and subsequent proposal shall:

- Based off of previously developed Fire Station #5 plans, drawings, scope, and specifications, prepare all necessary plans, drawings, scope, and specifications for the construction of Fire Station #4 facility to include site and utility infrastructure.

- Accomplish and prepare required reports for survey and testing.

- Site/landscape planning and design.

- Building design and engineering.

- Develop layout and flow of facility in collaboration with the City Fire Department team.

- On-site inspection of engineered features.

- Assurance of specification compliance.

- Participate with the City Fire Department, Public Works Department, Community Development Department, and the selected Construction Management Firm to facilitate required public hearings and neighborhood meetings as a part of the zoning and permit process. In addition, neighborhood stakeholder meetings may be held throughout the process to insure the neighboring community is kept informed of the process.

- All construction drawings shall be stamped by a professional architect, registered in the State of Colorado.

- The Architectural Firm awarded as a result of this SOQ process will be required to fully collaborate with the City Project Manager, City Fire Department Team, and the selected Construction Management Firm. They shall insure the final design and construction of the facility complies with the requirements of the Fire Department, and City of Grand Junction conditions, covenants and restrictions. The City shall require maximum collaboration by the Design Firm and the Construction Management Firm to insure value engineering through constructability assessments during the preconstruction phase as well as the construction phase of the project.

The City of Grand Junction shall provide:

- Apply for and coordinate all City required permits, zoning changes, etc. including costs.

- Provide plans, drawings, scope, and specifications originally developed for Fire Station #5, which shall be the basis for development of plans, drawings, scope and specifications for Fire Station #4.

- Provide a base map of the property showing topographic contour, existing features, property pins, boundary survey, existing ditches, etc. as necessary to develop building site plan. Base map will be provided electronically in Auto Cad drawing format.

- Develop drainage plan for site once a building site plan has been completed including any off-site drainage requirements.

- Schedule any neighborhood meetings including facilitate public notices and mailings.

- Provide a list of mandatory station requirements and optional desires.

Questions Regarding Scope of Services:

Duane Hoff Jr., Senior Buyer
duaneh@gjcity.org

ANTICIPATED SCHEDULE OF ACTIVITIES

• Statement of Qualifications Available	August 6, 2014
• Last Day for Questions	August 20, 2014
• Addendum Posted	August 22, 2014
• Due Date for Submittals	August 27, 2014
• Review and Shortlist	September 3, 2014
• Selected Shortlist Firms Notified	September 4, 2014
• Shortlist Interviews	September 12, 2014
• Selection of Finalist (and negotiations, if required)	September 16, 2014
• City Council Approval	October 1, 2014
• Contract Award	October 2, 2014
• Contract Services Start Date	October 6, 2014
• Selection of design layout by City	TBD
• Completed Site Plan	TBD
• Final Design Submittal	TBD

ADMINISTRATIVE REQUIREMENTS AND INSTRUCTIONS

Submission: ***Each submittal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website (https://www.rockymountainbidsystem.com/default.asp).*** *This site offers both "free" and "paying" registration options that allow for full access of the Owner's documents and for electronic submission of proposals. (Note: "free" registration may take up to 24 hours to process. Please Plan accordingly.)* Please view our "**Electronic Vendor Registration Guide"** at http://www.gjcity.org/BidOpenings.aspx for details.

A. **Cover Letter:** A cover letter shall be provided which succinctly explains the Offeror's interest in the project. The letter shall contain the name/address/phone number/email address of the person who will serve as the principal contact person and shall identify individual(s) who will be authorized to make presentations on behalf of the firm. The statement shall bear the signature of the person having proper authority to make formal commitments on behalf of the firm. By submitting a response to this solicitation the Offeror agrees to all requirements herein. Offeror shall also acknowledge receipt of any and all addenda.

B. **Qualifications/Experience/Credentials:** Proposers shall provide their qualifications for consideration as a contract provider to the Owner and include prior experience in similar projects, specifically designing Fire Station projects. **Include all items from the "Architectural Firm Information" Section.**

C. **Strategy and Implementation Plan:** Describe your (the firm's) interpretation of the Owner's objectives with regard to this SOQ. Describe the proposed strategy and/or plan for achieving the objectives of this SOQ. The Firm may utilize a written narrative or any other printed technique to demonstrate his/her ability to satisfy the Scope of Services. The narrative should describe a logical progression of tasks and efforts starting with the initial steps or tasks to be accomplished and continuing until all proposed tasks are fully described and the SOQ objectives are accomplished. Include a **time schedule** for completion of your firm's implementation plan and an estimate of time commitments from Owner staff.

D. **Fees:** See Item titled "Fees" under the Special Conditions/Provisions section.

E. **References:** A minimum of three (3) **references** with their names, addresses and telephone numbers that can attest to your experience in projects of similar scope and size.

F. **Additional Data (optional):** Along requested information from the "Architectural Firm Information" section of this solicitation, provide any additional information that will aid in evaluation of your qualifications with respect to this project.

EVALUATION CRITERIA AND FACTORS

Evaluation: An evaluation team shall review all responses and select the proposal or proposals that best demonstrate the capability in all aspects to perform the scope of services and possess the integrity and reliability that will ensure good faith performance.

Intent: Only respondents who meet the qualification criteria will be considered.
Therefore, it is imperative that the submitted proposal clearly indicate the firm's ability to provide the services described herein.

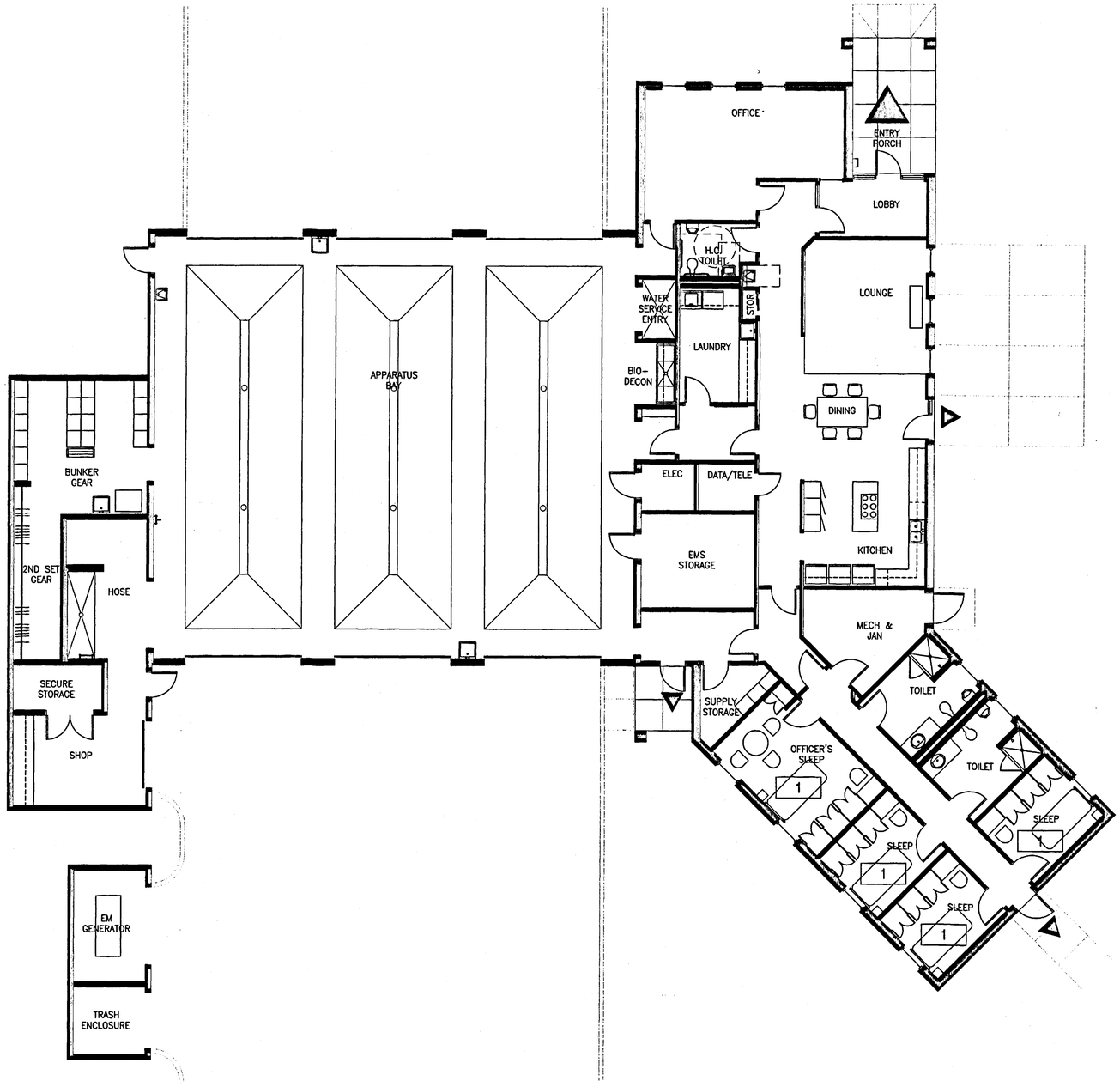
Submittal evaluations will be done in accordance with the criteria and procedure defined herein. The Owner reserves the right to reject any and all Statements. The following parameters will be used to evaluate the submittals (in no particular order of priority):

- Responsiveness of submittal to the SOQ
- Understanding of the project and the objectives
- Experience designing Fire Station projects, and working in a CM/GC environment
- Necessary resources
- Strategy & Implementation Plan
- Demonstrated capability and use of Controls (cost, schedule, and quality)
- References

The Owner will undertake negotiations with the top rated firm and will not negotiate with lower rated firms unless negotiations with higher rated firms have been unsuccessful and terminated. Should the Owner not be able to agree on the details of the contract with the top rated firm through good-faith negotiations, they will proceed to the next highest ranked firm and enter into negotiations.

Oral Interviews: It is the Owner's intent to invite three to five of the most qualified rated Offerors to participate in oral interviews.

Award: Firms shall be ranked or disqualified based on the criteria listed herein. The Owner reserves the right to consider all of the information submitted and/or oral presentations, if required, in selecting the project Offeror.



1 CODE PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

CODE KEY

MAIN ENTRY

EXITS

1 SQUARE FOOT OF ROOM/ OCCUPANT LOAD FACTOR = NUMBER OF OCCUPANTS

CODE REVIEW

OCCUPANCY TYPE: B BUSINESS

TYPE OF CONSTRUCTION: TYPE V NON-RATED

ALLOWABLE FLOOR AREA: 9,000 S.F. 2 STORY 40'-0" (IBC TABLE 503)

AREA INCREASE FOR SPRINKLER SYSTEM= IBC 506.3
200% FOR MULTI-STORY BUILDINGS- 18,000 S.F.
300% FOR SINGLE-STORY BUILDING- 27,000 S.F.

BUILDING GROSS FLOOR AREA: 7480 S.F.

SPRINKLERS: PROVIDED- NOT REQUIRED (IBC 903)

TOTAL OCCUPANTS: 4 FIRE FIGHTERS
NOTE: DESIGNED FOR ACTUAL NUMBER OF OCCUPANTS OF EACH SPACE (IBC 1003.2.2.1)

NUMBER OF EXITS REQUIRED: 2

NUMBER OF EXITS PROVIDED: 4

MIN. WATER CLOSETS REQUIRED: 1:50 PEOPLE

PUBLIC PROVIDED: 1 UNISEX
PRIVATE PROVIDED: 2 (IBC 2902.2 EXCEPTION 2)

MIN. LAVATORIES REQUIRED: 1:80 PEOPLE

PUBLIC PROVIDED: 1 UNISEX
PRIVATE PROVIDED: 2 (IBC 2902.2 EXCEPTION 2)

DRINKING FOUNTAINS REQUIRED: 1:100 PEOPLE
PROVIDED: 2

TSP
To Solve. To Excel. Together.
TSP Five, Inc.
8751 E Hampden
Suite A-1
Denver, CO 80231

phone: (303) 695-1997
fax: (303) 695-1938
www.teamtsp.com

Architecture
Engineering
Construction

CONSULTANTS:

STATE OF COLORADO JOHN HENRY KNAPP 37814 LICENSED ARCHITECT

PROJECT TITLE:

FIRE DEPT.

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION

PROJECT NUMBER:	0503006
CAD FILE:	A-100.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
FLOOR PLAN

A-100

09104315.tif

BUILDING INFORMATION

Address: 2155 Broadway

Site Area: 3 Acres

Code Used: 2000 I.B.C.

Occupancy Classification: Type B - Business

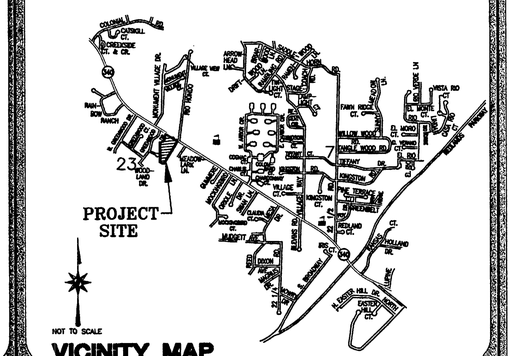
Construction Type: V - Non-Rated

Allowable Building Area: 27000 Sq. ft. (9000 x 300%- I.B.C. 506.3)

Approximate Building Size 7480 sq. ft.

Occupant Load: 4
Fire Fighters: 4 (1 per sleeping room)

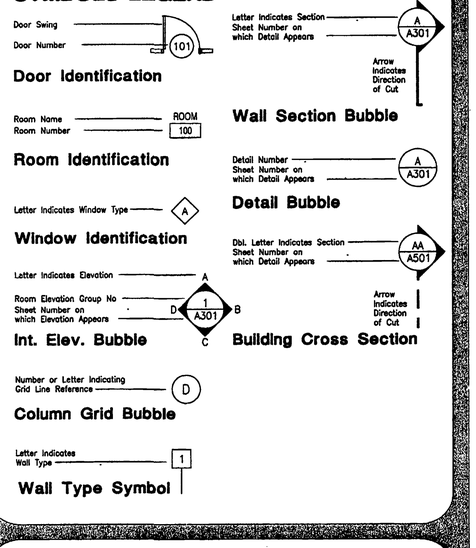
Number of Stories: One



VICINITY MAP

INDEX TO DRAWINGS

SYMBOLS LEGEND



MATERIALS LEGEND

Plan/Section

- Earth
- Drainage Fill
- Concrete
- Terrazzo
- Brick
- Lightweight Masonry Unit
- Plaster
- Gypsum Wall Board
- Batt or Loose Fill Insulation
- Concrete Masonry Unit
- Stone
- Steel
- Finish Wood
- Wood Blocking
- Plywood
- Tile
- Wood Stud Partition
- Steel Stud Partition

LIST OF ABBREVIATIONS

#	POUND
ATC	ACOUSTICAL TILE CEILING
ADJ	ADJUST(ABLE)
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ALT.	ALTERNATE
APPROX	APPROXIMATE
ARCH	ARCHITECT/ARCHITECTURAL
ANOD	ANODIZED
APPROV	APPROVED
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BM	BENCH MARK
BOT	BOTTOM
B.O.	BOTTOM OF
BRG	BEARING
BSMT	BASEMENT
B.U.R.	BUILT UP ROOF
CTR	CENTER, CENTERED
CIR	CIRCLE
CIRC	CIRCUMFERENCE
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
COMB	COMBINATION
COMP	COMPACT, COMPACTED
CONC	CONCRETE
CONT	CONTINUOUS
CONSTR	CONSTRUCTION
COORD.	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
D	DEEP, DRYER
DBL	DOUBLE
DEMO	DEMOLITION
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DTL	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DISPL	DISPOSAL
DIV	DIVISION
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DWG	DRAWING
E	EAST
EA	EACH
ELEC	ELECTRIC
ELEV	ELEVATION, ELEVATOR
EQ	EQUAL
EQMT	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST, (E)	EXISTING
ETR	EXIST. TO REMAIN
EXT	EXTERIOR
EXP	EXPANSION
EJ	EXPANSION JOINT
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
F.F.E.	FINISH FLOOR ELEVATION
FIN	FINISH
FIXT	FIXTURE
FLR	FLOOR
FND	FOUNDATION
FR	FIRE RATED
FRMG	FRAMING
FRZ	FREEZER
FTG	FOOTING
FUT	FUTURE
GA	GAGE
GALV	GALVANIZED
GB	GRAB BAR
GR	GROUND
G.C.	GENERAL CONTRACTOR
GYP BD	GYPSUM BOARD
H	HIGH
HB	HOSE BIBB
HC	HANDICAPPE.
HD	HEAVY DUTY
HDWR	HARDWARE
HM	HOLLOW METAL
HO	HOLD OPENS
HORZ	HORIZONTAL
HT	HEIGHT
HTG	HEATING
ID	INSIDE DIAMETER
INCL	INCLUDE, INCLUDING
INSUL	INSULATION, INSULATED
INT	INTERIOR
JT	JOINT
JST	JOIST
KIT	KITCHEN
L	LENGTH
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
L.F.	LINEAL FEET
LB	POUND
LVR	LOUVER
MAS	MASONRY
MO	MASONRY OPENING
MAT'L	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER(S)
MTL	METAL
N	NORTH
NEC	NECESSARY
N.I.C.	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
O.C.	ON CENTER
OH	OVERHEAD
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD, WAFFERBOARD
PART	PARTICLE
PERIM	PERIMETER PLATE, PROPERTY LINE
P-LAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PT	PAINT
R	RISER
R	RADIUS
RB	RUBBER BASE
RE	REFER TO
REC	RECESSED
REF	REFERENCE
REFL	REFLECTED
REM	REMOVE, REMOVABLE
REQ'D	REQUIRED
RET	RETURN
REV	REVISION
RM	ROOM
S	SOUTH, STEEL
SB	SPLASH BACK
SCH	SCHEDULE
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FOOT
SHWR	SHOWER
SHT	SHEET
SIM	SIMILAR
SOG	SLAB ON GRADE
SPEC	SPECIFICATION
SPECS	SPECIFICATIONS
SPK	SPEAKER
SQ	SQUARE
STD	STANDARD
STL	STEEL
STR	STAIR
STRUC	STRUCTURE, STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
T	THICK
T	TREAD
TBD	TO BE DETERMINED
TEMP	TEMPORARY, TEMPERED
T&G	TONGUE AND GROOVE
THK	THICK(NESS)
T.O._	TOP OF ___(EG. STEEL)
TLT/TOIL	TOILET
TP	TOILET PAPER
TS	TUBE STEEL
TYP	TYPICAL
UC	UNDERCUT
UNO	UNLESS OTHERWISE NOTED
V.B.	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VENT	VENTILATOR
VERT	VERTICAL
VEST	VESTIBULE
VIN	VINYL
W	WIDE, WEST, WASHER
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WIN	WINDOW
WR	WATER RESISTANT
WWF	WELDED WIRE FABRIC

New Building for:

City of Grand Junction Fire Department Redlands Fire Station No. 5

2155 Broadway
Grand Junction, Colorado
Project No. 0503006
Date: October 8, 2003

Construction Bid Set

Owner:
City of Grand Junction
Fire Department
202 North Avenue #267
Grand Junction, Colorado 81501
Phone: (970) 244-1405 Fax: (970) 244-1471

Architects:
TSP Five, Inc.
8751 E. Hampden Avenue, Suite A-1
Denver, Colorado 80231
Phone: (303) 695-1997 Fax: (303) 695-1938

In Association With:
Michael E. Oney, Architect LLC
8115 N. Fifth Street, Suite 409
Grand Junction, Colorado 81501
Phone: (970) 254-9089 Fax: (970) 254-9062

Contractor:
FCI Constructors, Inc.
P.O. Box 1767
Grand Junction, CO 81502
Phone: (970) 434-9093 Fax: (970) 434-7583

Civil Engineers:
Rolland Engineering
7405 Ridges Blvd
Grand Junction, Colorado 81503
Phone: (970) 243-8300 Fax: (970) 241-1273

Landscape Design:
Angeline Barrett, Landscape Design
2259 Broadway
Grand Junction, Colorado 81503
Phone: (970) 241-6003 Fax: (970) 242-6481

Structural Engineers:
L.J. Lindauer, Inc.
802 Rood Avenue
Grand Junction, Colorado 81501
Phone: (970) 241-0900 Fax: (970) 243-2430

Mechanical & Electrical Engineers
MKK Consulting Engineers, Inc.
827 Rood Avenue
Grand Junction, CO 81501
Phone: (970) 245-3177 Fax: (970) 245-4450

Copy of As Built

29

MEP As-Built 5/24/04

Fire Station No. 5

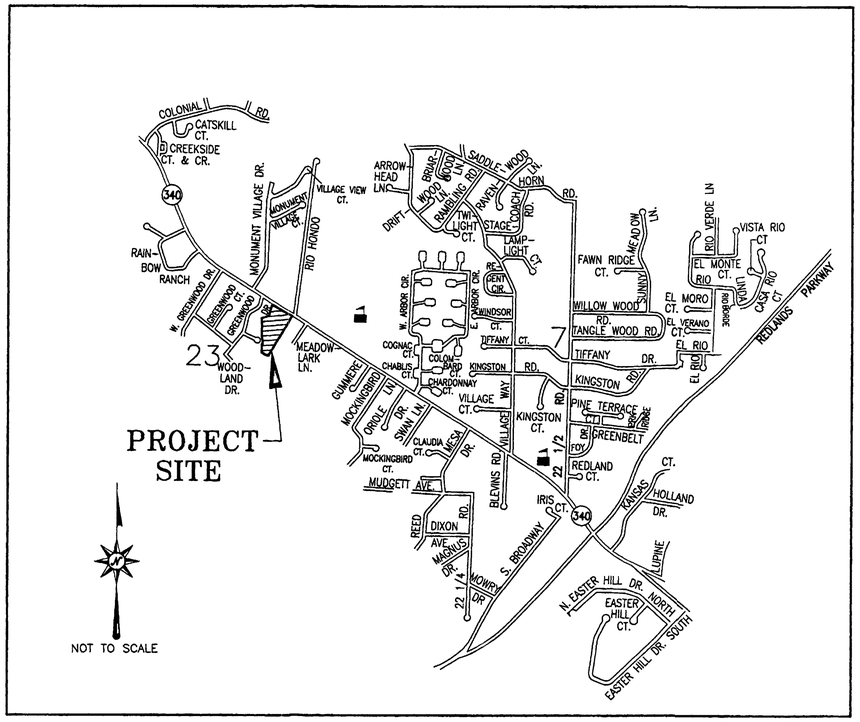
09104801.TIF

CITY OF GRAND JUNCTION
REDLANDS FIRE STATION NO. 5

PREPARED FOR:
TSP Five Inc.
8751 E. Hampden Ave.
Denver, CO 80231

PREPARED BY:
ROLLAND ENGINEERING
405 RIDGES BLVD.
GRAND JUNCTION, CO 81503

VICINITY MAP



CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2 BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

INDEX OF SHEETS

BENCHMARK

WHITE POINT DOT ON SIDEWALK ON THE
NORTH SIDE OF BROADWAY 61.4 FEET EAST
OF THE NORTHWEST PROPERTY CORNER
NORTH: 46564.27
EAST: 67221.32
ELEV: 4655.50 (NAVD '88)

ACCEPTED FOR CONSTRUCTION	ACCEPTED AS CONSTRUCTED
CITY DEVELOPMENT ENGINEER	CITY DEVELOPMENT ENGINEER
DATE	DATE
CITY UTILITY ENGINEER	CITY UTILITY ENGINEER
DATE	DATE
COMMUNITY DEVELOPMENT	COMMUNITY DEVELOPMENT
DATE	DATE

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To Solve. To Excel. Together.
TSP Five, Inc.
8751 E Hampden
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Denver, CO 80231
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fax: (303) 695-1938
www.teamtsp.com
Architecture
Engineering
Construction

CONSULTANTS:

ROLLAND ENGINEERING
405 Ridges Blvd
Grand Jct, CO 81503
(970) 243-8300

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 0503006
CAD FILE: 304BCOV1.DWG
DRAWN BY: ESS 10/7/03
CHECK BY: TDR

SHEET TITLE:
COVER SHEET

PROJECT TITLE:
City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

C1.0

09104802.TIF

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION STANDARDS, EXHIBITS, AND SPECIFICATIONS (EXCLUDING MEASUREMENT AND PAYMENT) UNLESS OTHERWISE NOTED.

2. ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH UTE WATER STANDARDS AND SPECIFICATIONS (EXCLUDING MEASUREMENT AND PAYMENT). ALL DISINFECTION AND TESTING IS THE CONTRACTORS RESPONSIBILITY. THE WATER LINE SHALL BE APPROVED PRIOR TO PAVING.

3. WATER LINE SHALL BE C-900 PVC PIPE, UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TYPICALLY TO FACE OF CURB, CENTER OF STRIPE, PROPERTY LINE OR BUILDING FACE. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.

5. SUBGRADE SHALL BE INSPECTED BY THE CIVIL OR GEOTECHNICAL ENGINEER 1) PRIOR TO PLACEMENT OF BASE COURSE AND 2) PRIOR TO PLACEMENT OF ASPHALT. CONTRACTOR SHALL PROOF ROLL AS NECESSARY IF REQUESTED TO VISUALLY INSPECT COMPACTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE PLANS AND A COPY OF THE CITY OF GRAND JUNCTION'S STANDARD EXHIBITS AND SPECIFICATIONS ON SITE AT ALL TIMES.

7. CONSTRUCTION STAKING IS THE CONTRACTORS RESPONSIBILITY.

8. THE OWNER WILL PROVIDE COMPACTION AND MATERIAL TESTING. THIS TESTING WILL BE PER THE CITY OF GRAND JUNCTION SPECIFICATION. PAGE RB-3. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL TESTING. ALL RE-TESTING WILL BE AT THE CONTRACTOR'S EXPENSE.

9. THE CONTRACTOR SHOULD REFER TO THE GEOTECHNICAL ENGINEERING STUDY PREPARED BY LAMBERT AND ASSOCIATED, DATED MARCH 21, 2003, PROJECT NUMBER M03037GE.

10. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. SIGNIFICANT EFFORT HAS BEEN MADE TO IDENTIFY THE EXISTING UTILITIES; HOWEVER, UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE DRAWINGS. ADDITIONALLY, THE DEPTH OF EXISTING UTILITIES IS NOT KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, PUBLIC AND PRIVATE, IN THE FIELD BEFORE PERFORMING ANY WORK ON OR AROUND THEM.

11. THE CONTRACTOR SHALL COORDINATE WITH ALL AFFECTED UTILITIES REGARDING RELOCATION'S AND ADJUSTMENTS DURING CONSTRUCTION TO ACCOMPLISH THE WORK IN A TIMELY MANNER WITH MINIMUM DISRUPTION IN SERVICE.

12. UNLESS OTHERWISE SPECIFIED, ALL FILL SHALL BE COMPACTED TO AT LEAST 95% OF ASTM-D698 WITHIN 2% OF OPTIMUM MOISTURE CONTENT.

13. THE CONTRACTOR SHALL PROVIDE EROSION AND DUST CONTROL ACCORDING TO CITY OF GRAND JUNCTION REQUIREMENTS.

14. EXCESS SOIL MATERIAL FREE OF DEBRIS SHALL BE DISPOSED OF OFF-SITE.

15. ELEVATIONS PROVIDED WHERE PROPOSED IMPROVEMENTS TIE TO EXISTING IMPROVEMENTS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THAT GRADES WILL MATCH EXISTING IMPROVEMENTS.

16. ALL PAVEMENT REMOVAL IN THE CITY RIGHT-OF-WAY SHALL BE DONE BY WHEEL CUT OR JACKHAMMER. PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS AND MUST PERFORMED USING INFRARED PAVEMENT PATCHING TECHNIQUES WHEN THE CUT LINE IS PERPENDICULAR TO STREET TRAFFIC FLOW.

17. DUST CONTROL MEASURES MUST BE TAKEN DURING CONSTRUCTION IN ACCORDANCE WITH MUNICIPAL CODE 16-126, AND CONSTRUCTION PARKING AREAS MAINTAINED AS REQUIRED AT ZD 6.6.A.9.b.

ABBREVIATIONS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
ABC	AGGREGATE BASE COURSE
ADA	AMERICANS WITH DISABILITIES ACT
AH	AHEAD
ANG	ANGLE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AVE.	AVENUE
B.O.W., B/W	BACK-OF-WALK
BK	BACK
BLDG	BUILDING
BSMT.	BASEMENT
C	CUT
C.D.O.T.	COLORADO DEPARTMENT OF TRANSPORTATION
C.G.	CURB AND GUTTER
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
C.O.	CLEANOUT
CON	CONCRETE
CONC.	CONCRETE
CONST.	CONSTRUCTION
CP	CONCRETE PIPE
C.Y.	CUBIC YARD
CU. YD.	CUBIC YARD
DEG.	DEGREE
DIA	DIAMETER
DWY	DRIVEWAY
E	EAST
EA.	EACH
EC	EDGE OF CONCRETE
E.G.	EDGE OF GRAVEL
EL	ELEVATION
EP	EDGE OF PAVEMENT
EQ	EQUATION
EX GDWY	EXISTING GRAVEL DRIVEWAY
EX.or EXIST.	EXISTING
F	FILL
F.F.	FINISH FLOOR
FH	FIRE HYDRANT
FL or F.L.	FLOWLINE
FT.	FOOT
GB	GRADE BREAK
HBP	HOT BITUMINOUS PAVEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE
I.D.	INSIDE DIAMETER
INV.	INVERT
IR or IRR.	IRRIGATION
IRMH	IRRIGATION MANHOLE
IRWV	IRRIGATION WATER VALVE
L.F.	LINEAL FEET
LF	LINEAL FEET
L.S.	LUMP SUM
LT, L	LEFT
MAX.	MAXIMUM
MCSM	MESA COUNTY SURVEY MONUMENT
MIN	MINIMUM
N	NORTH
NO.	NUMBER
NRCP	NONREINFORCED CONCRETE PIPE
NTS	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF	OFFSET
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PBX	PULL BOX
PC	POINT OF CURVATURE
PNT	POINT
PSCO	PUBLIC SERVICE OF COLORADO
PT	POINT OF TANGENCY
PVC	POINT VERTICAL CURVE
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT VERTICAL INTERSECT
PVMT	PAVEMENT
PVT	POINT VERTICAL TANGENCY
R	RADIUS
R.O.W.	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
RT, R	RIGHT
S	SOUTH
S.Y.	SQUARE YARD
SD	SIGHT DISTANCE
SER.	SERVICE
STA.	STATION
S.S. LAT.	SANITARY SEWER LATERAL
STD	STANDARD
STR.	STRUCTURE
SW	SIDEWALK
TEMP	TEMPORARY
TYP	TYPICAL
U.S.	UNITED STATES
USPS	UNITED STATES POSTAL SERVICE
UTIL	UTILITY
VC	VERTICAL CURVE
W	WEST
WM	WATER METER

LEGEND

FF	FINISH FLOOR
CB	CATCH BASIN
PIN	PROPERTY PIN
	IRRIGATION RISER
	SPRINKLER HEAD
#1	TEST HOLE
	UTILITY POLE
	VALVE (WATER)
CO	CLEAN OUT
	PEDESTAL (TELEPHONE)
	SIGN
MB	MAILBOX
	TRAFFIC SIGNAL POLE AND MAST ARM UTILITY POLE
	STORM DRAIN MANHOLE
	VEGATATION (HEDGE OR BUSH)
	VEGATATION (TREE) (CALIPER SIZE NOTED)
	FENCE (CHAIN LINK)
	FENCE (WOOD)
	FENCE (WOVEN WIRE)
OHP	OVERHEAD UTILITY LINES
W	UNDERGROUND WATERLINE
E	UNDERGROUND ELECTRIC LINE
G	UNDERGROUND GAS LINE
T	UNDERGROUND TELEPHONE LINE
SD	UNDERGROUND STORM DRAIN LINE
	EXISTING EDGE PAVEMENT

CALL UTILITY NOTIFICATION CENTER OF COLORADO

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ACCEPTED FOR CONSTRUCTION	ACCEPTED AS CONSTRUCTED
CITY DEVELOPMENT ENGINEER	CITY DEVELOPMENT ENGINEER
DATE	DATE
CITY UTILITY ENGINEER	CITY UTILITY ENGINEER
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CONSULTANTS:

ROLLAND ENGINEERING
405 Ridges Blvd
Grand Jct, CO 81503
(970) 243-8300

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

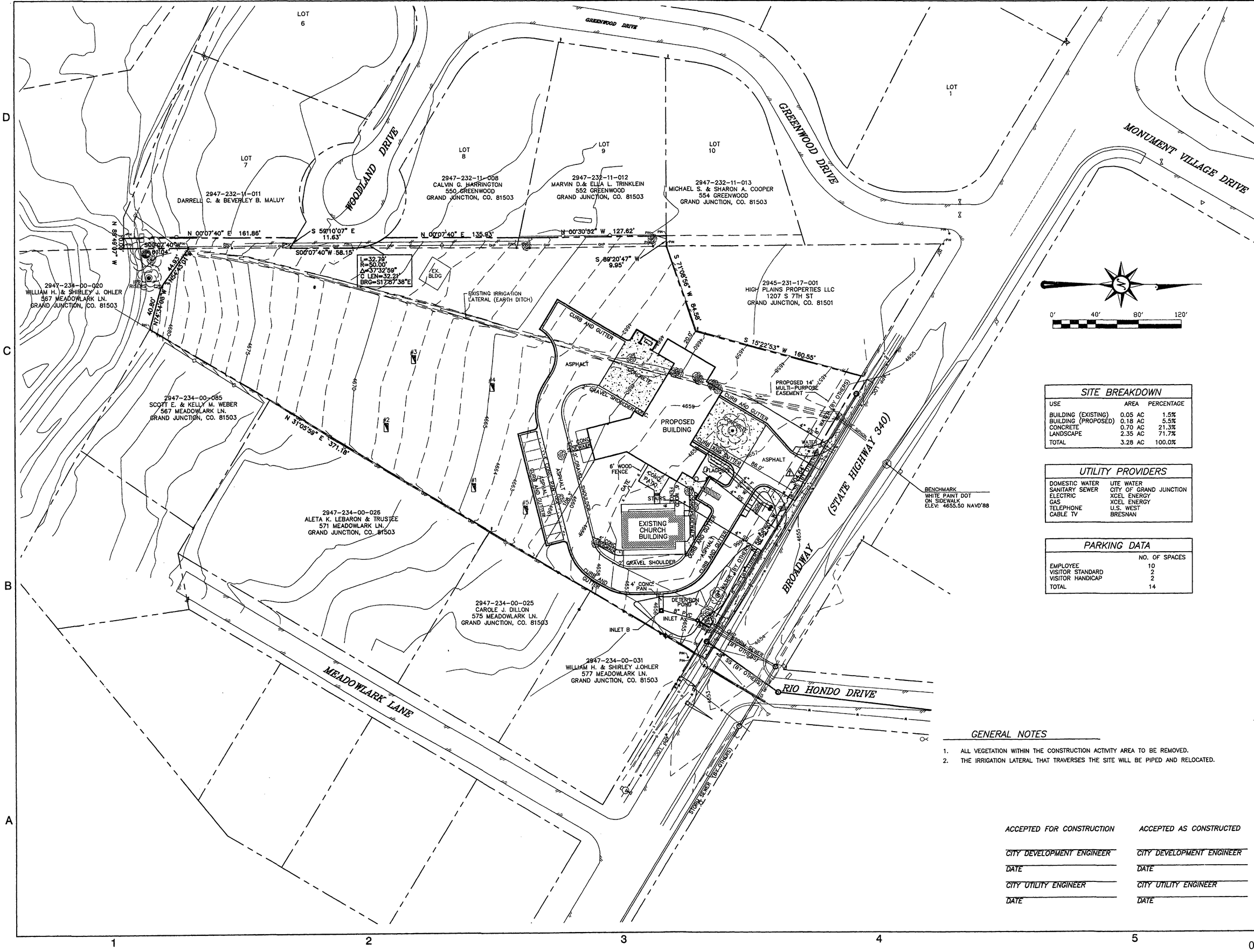
MARK	DATE	DESCRIPTION
1	10/17/03	NOTES

PROJECT NUMBER: 0503006
CAD FILE: 3048COV1.DWG
DRAWN BY: ESS 10/07/03
CHECK BY: TDR

SHEET TITLE:
GENERAL NOTES AND LEGEND

C1.1

09104803.TIF



SITE BREAKDOWN

USE	AREA	PERCENTAGE
BUILDING (EXISTING)	0.05 AC	1.5%
BUILDING (PROPOSED)	0.18 AC	5.5%
CONCRETE	0.70 AC	21.3%
LANDSCAPE	2.35 AC	71.7%
TOTAL	3.28 AC	100.0%

UTILITY PROVIDERS

DOMESTIC WATER	UTE WATER
SANITARY SEWER	CITY OF GRAND JUNCTION
ELECTRIC	XCEL ENERGY
GAS	XCEL ENERGY
TELEPHONE	U.S. WEST
CABLE TV	BRESNAN

PARKING DATA

	NO. OF SPACES
EMPLOYEE	10
VISITOR STANDARD	2
VISITOR HANDICAP	2
TOTAL	14

GENERAL NOTES

1. ALL VEGETATION WITHIN THE CONSTRUCTION ACTIVITY AREA TO BE REMOVED.
2. THE IRRIGATION LATERAL THAT TRAVERSES THE SITE WILL BE PIPED AND RELOCATED.

ACCEPTED FOR CONSTRUCTION

CITY DEVELOPMENT ENGINEER

DATE

CITY UTILITY ENGINEER

DATE

ACCEPTED AS CONSTRUCTED

CITY DEVELOPMENT ENGINEER

DATE

CITY UTILITY ENGINEER

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PROJECT TITLE:

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Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	ENTRANCE LOCATION

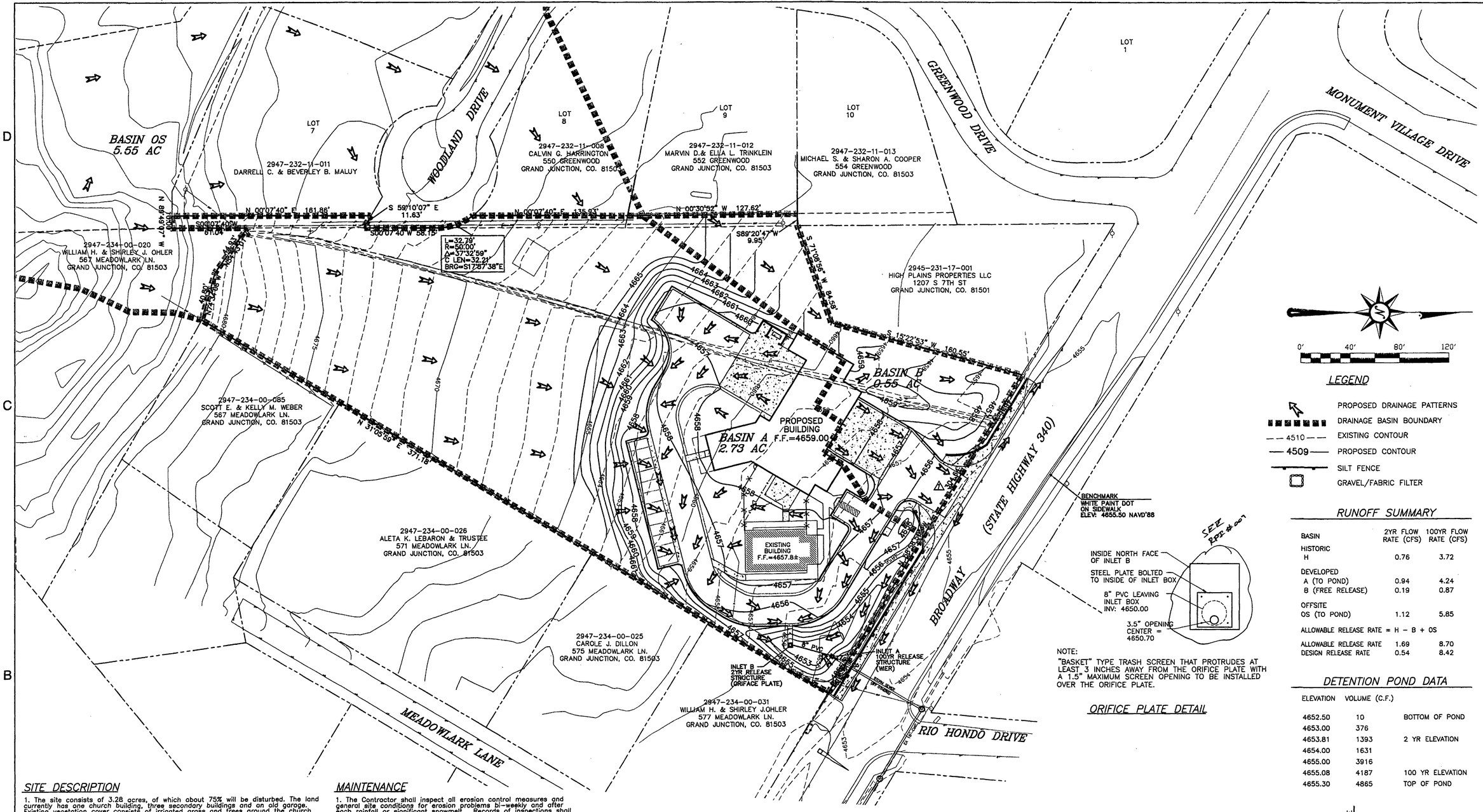
PROJECT NUMBER: 0503006
CAD FILE: 3048OVST.DWG
DRAWN BY: ESS 10/07/03
CHECK BY: TDR

SHEET TITLE:

OVERALL
SITE PLAN

C2.1

09104804.TIF



LEGEND

- PROPOSED DRAINAGE PATTERNS
- DRAINAGE BASIN BOUNDARY
- 4510 EXISTING CONTOUR
- 4509 PROPOSED CONTOUR
- SILT FENCE
- GRAVEL/FABRIC FILTER

RUNOFF SUMMARY

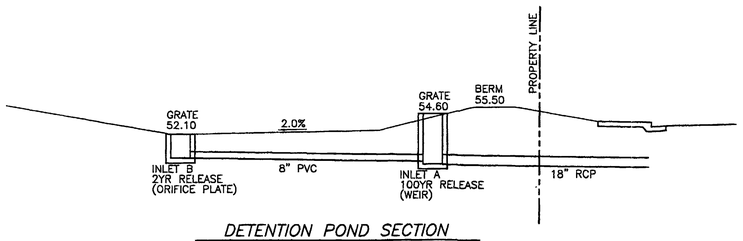
BASIN	2YR FLOW RATE (CFS)	100YR FLOW RATE (CFS)
HISTORIC		
H	0.76	3.72
DEVELOPED		
A (TO POND)	0.94	4.24
B (FREE RELEASE)	0.19	0.87
OFFSITE		
OS (TO POND)	1.12	5.85
ALLOWABLE RELEASE RATE = H - B + OS		
ALLOWABLE RELEASE RATE	1.69	8.70
DESIGN RELEASE RATE	0.54	8.42

DETENTION POND DATA

ELEVATION	VOLUME (C.F.)	
4652.50	10	BOTTOM OF POND
4653.00	376	
4653.81	1393	2 YR ELEVATION
4654.00	1631	
4655.00	3916	
4655.08	4187	100 YR ELEVATION
4655.30	4865	TOP OF POND

NOTE:
"BASKET" TYPE TRASH SCREEN THAT PROTRUDES AT LEAST 3 INCHES AWAY FROM THE ORIFICE PLATE WITH A 1.5" MAXIMUM SCREEN OPENING TO BE INSTALLED OVER THE ORIFICE PLATE.

ORIFICE PLATE DETAIL



DETENTION POND SECTION

SITE DESCRIPTION

1. The site consists of 3.28 acres, of which about 75% will be disturbed. The land currently has one church building, three secondary buildings and an old garage. Existing vegetation cover consists of irrigated grass and trees around the church building, trees along the irrigation lateral that traverses the property and native grasses on the southern two thirds of the site.

2. As described in the "Geotechnical Engineering Study", dated March 21, 2003, prepared by Lambert and Associates, the soils materials encountered on site consist of clayey sand and gravel to a depth of about fifteen feet.

3. The existing 100 year runoff coefficient of the site is about 0.39, when construction activities are complete and all of the lots have been built on the finished runoff coefficient for the 100 year storm will be about 0.51.

4. Stormwater from this site is collected by inlets and conveyed to the storm water detention pond at the north east corner of the site. Stormwater will be released at rates less than historic to a newly constructed storm sewer on the north side of Broadway. This storm sewer flows east for about 500 feet to a natural drainage channel that flows north to the Colorado River.

5. Anticipated construction activity consists of, in approximately the following order: overlot grading, building construction, underground utility installations, including storm sewer, sanitary sewer, waterline and sleeving for dry utilities, final street grading and construction of curb, gutter and sidewalk, installation of dry utilities and asphalt paving.

EROSION CONTROL MEASURES

Erosion control measures consist of construction sequencing, silt fence, permanent proposed drainage facilities, and temporary inlet protection. The Contractor may propose a different sequence for approval by the Owner's Representative.

1. Install silt fence as shown on the Grading, Drainage and Erosion Control Plan prior to any overlot grading or clearing and grubbing.

2. Immediately following the installation of the storm sewer and inlets, install inlet protection at all inlets receiving runoff from disturbed areas. Inlet protection may consists of hay bales, gravel/fabric filters or other approved methods.

3. The Contractor shall control dust at all times in accordance with the City of Grand Junction standards. If dust control measures are inadequate, the Owner's Representative will require the Contractor to apply a dust palliative, tackifier, or temporary seeding at no additional cost.

MAINTENANCE

1. The Contractor shall inspect all erosion control measures and general site conditions for erosion problems bi-weekly and after each rainfall or significant snowmelt. Records of inspections shall be maintained and kept on site at all times.

2. Needed sediment removal and erosion repairs shall be performed immediately. Sediment shall be removed before it reaches one-half the fabric height on the silt fence. Sediment shall be uniformly spread in open areas and seeded if necessary.

3. Erosion control measures shall stay in place until permanent landscaping and surfacing is installed or until site conditions warrant different controls.

ADDITIONAL CONTRACTOR INFORMATION

1. This Stormwater Management Plan establishes the minimum acceptable requirements for stormwater pollution prevention on site. The Contractor may supplement these requirements as appropriate for specific construction activities. Any changes to the practices shown on this plan must be approved by the Owner's Representative prior to implementation.

2. The Contractor shall obtain a Colorado Stormwater Construction General Permit (Permit No. COR-030000).

3. The Contractor shall prepare a refueling plan and submit it to the Owner's Representative for approval.

4. The Contractor shall supplement this plan to show the storage locations for all chemicals, fertilizers, and other potential pollution sources stored on site. Additionally, the Contractor shall provide descriptions of all of these materials.

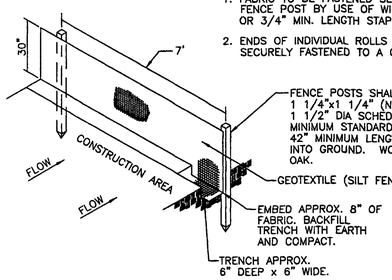
5. All chemicals shall be stored in their original containers or in other properly labeled containers. All spills shall be cleaned up immediately and properly disposed of.

6. A copy of this plan and the product descriptions shall be maintained on site at all times.

SILT FENCE INSTALLATION

1. FABRIC TO BE FASTENED SECURELY TO FENCE POST BY USE OF WIRE TIES OR HOG RINGS, OR 3/4" MIN. LENGTH STAPLES. FIVE FASTENERS PER POST.

2. ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE SHALL BE SECURELY FASTENED TO A COMMON POST OR OVERLAPPED 3' MIN.



SILT FENCE DETAIL

N.T.S.

BENCHMARK

WHITE PAINT DOT ON SIDEWALK ON THE NORTH SIDE OF BROADWAY 61.4 FEET EAST OF THE NORTHWEST PROPERTY CORNER
NORTH: 46564.27
EAST: 67221.32
ELEV: 4655.50 (NAVD '88)

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CITY UTILITY ENGINEER	CITY UTILITY ENGINEER
DATE	DATE

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Grand Jct, CO 81503
(970) 243-8300

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	ENTRANCE LOCATION

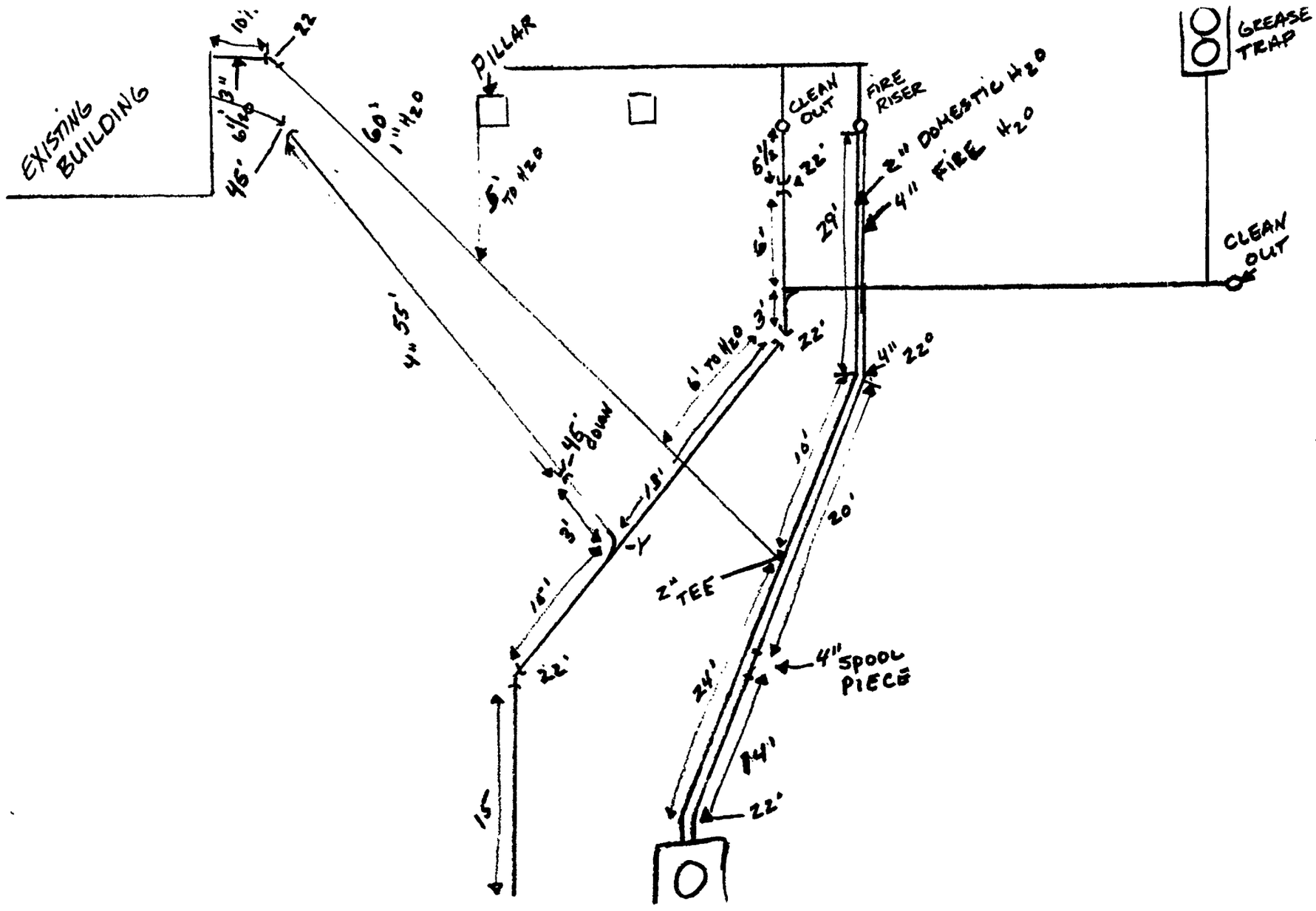
PROJECT NUMBER:	0503006
CAD FILE:	3048DRST.DWG
DRAWN BY:	ESS 10/17/03
CHECK BY:	TDR

SHEET TITLE:

DRAINAGE AND STORMWATER MANAGEMENT PLAN

C2.2

09104805.TIF



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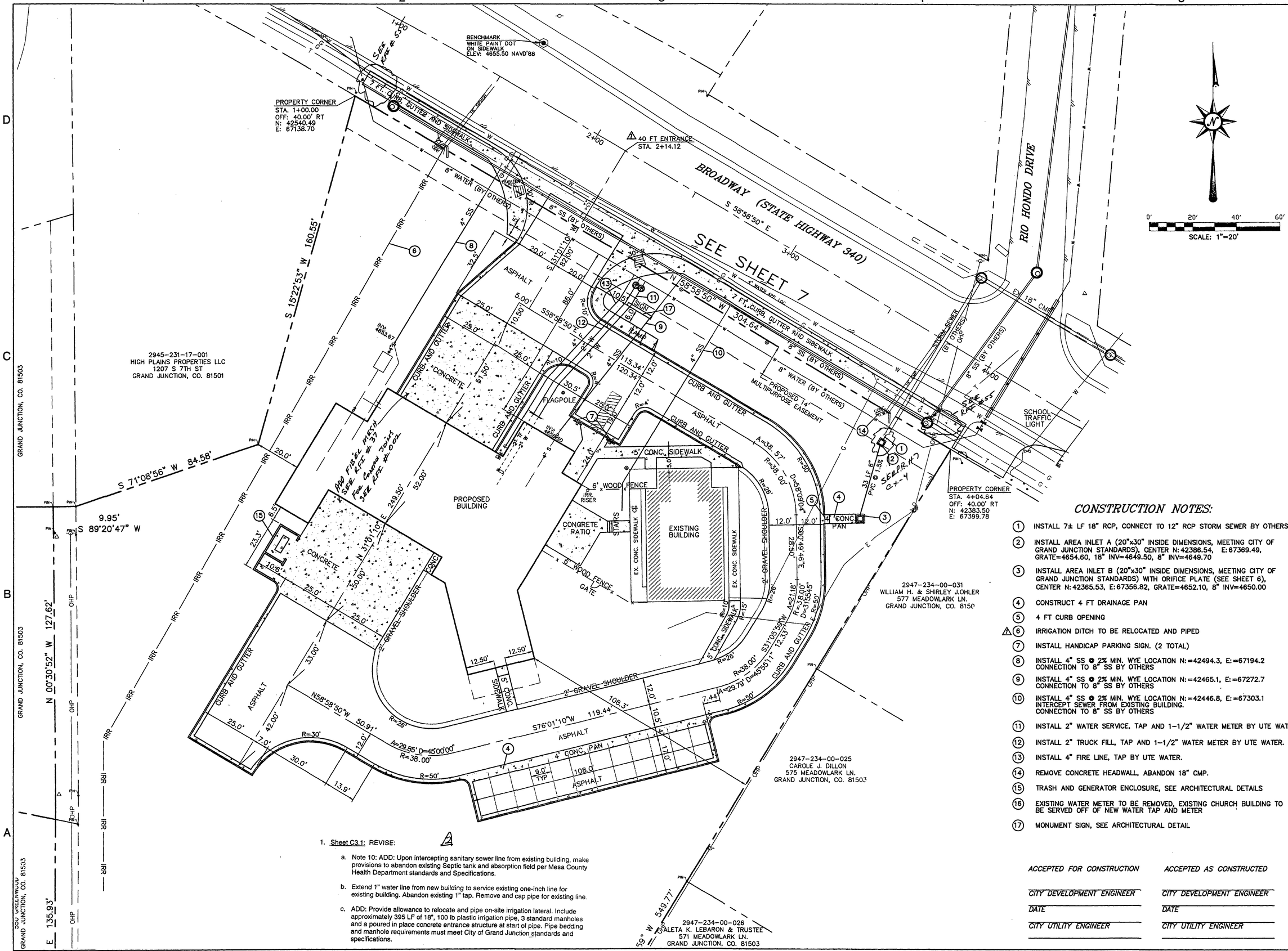

1. Sheet C3.1: REVISE: ⚠4

   a. Note 10: ADD: Upon intercepting sanitary sewer line from existing building, make provisions to abandon existing Septic tank and absorption field per Mesa County Health Department standards and Specifications.

   b. Extend 1" water line from new building to service existing one-inch line for existing building. Abandon existing 1" tap. Remove and cap pipe for existing line.

   c. ADD: Provide allowance to relocate and pipe on-site irrigation lateral. Include approximately 395 LF of 18", 100 lb plastic irrigation pipe, 3 standard manholes and a poured in place concrete entrance structure at start of pipe. Pipe bedding and manhole requirements must meet City of Grand Junction standards and specifications.

CONSTRUCTION NOTES:

1. INSTALL 7± LF 18" RCP, CONNECT TO 12" RCP STORM SEWER BY OTHERS.
2. INSTALL AREA INLET A (20"x30" INSIDE DIMENSIONS, MEETING CITY OF GRAND JUNCTION STANDARDS), CENTER N: 42386.54, E: 67369.49, GRATE=4654.60, 18" INV=4649.50, 8" INV=4649.70
3. INSTALL AREA INLET B (20"x30" INSIDE DIMENSIONS, MEETING CITY OF GRAND JUNCTION STANDARDS) WITH ORIFICE PLATE (SEE SHEET 6), CENTER N: 42365.53, E: 67356.82, GRATE=4652.10, 8" INV=4650.00
4. CONSTRUCT 4 FT DRAINAGE PAN
5. 4 FT CURB OPENING
6. ⚠ IRRIGATION DITCH TO BE RELOCATED AND PIPED
7. INSTALL HANDICAP PARKING SIGN. (2 TOTAL)
8. INSTALL 4" SS @ 2% MIN. WYE LOCATION N:=42494.3, E:=67194.2 CONNECTION TO 8" SS BY OTHERS
9. INSTALL 4" SS @ 2% MIN. WYE LOCATION N:=42465.1, E:=67272.7 CONNECTION TO 8" SS BY OTHERS
10. INSTALL 4" SS @ 2% MIN. WYE LOCATION N:=42446.8, E:=67303.1 INTERCEPT SEWER FROM EXISTING BUILDING. CONNECTION TO 8" SS BY OTHERS
11. INSTALL 2" WATER SERVICE, TAP AND 1-1/2" WATER METER BY UTE WATER.
12. INSTALL 2" TRUCK FILL, TAP AND 1-1/2" WATER METER BY UTE WATER.
13. INSTALL 4" FIRE LINE, TAP BY UTE WATER.
14. REMOVE CONCRETE HEADWALL, ABANDON 18" CMP.
15. TRASH AND GENERATOR ENCLOSURE, SEE ARCHITECTURAL DETAILS
16. EXISTING WATER METER TO BE REMOVED, EXISTING CHURCH BUILDING TO BE SERVED OFF OF NEW WATER TAP AND METER
17. MONUMENT SIGN, SEE ARCHITECTURAL DETAIL

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DATE	DATE
CITY UTILITY ENGINEER	CITY UTILITY ENGINEER

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(970) 243-8300

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
⚠	10/17/03	ENTRANCE, EX BLDG, IRR

PROJECT NUMBER: 0503006
CAD FILE: 3048DSTU.DWG
DRAWN BY: ESS 10/07/03
CHECK BY: TDR

SHEET TITLE:
DETAILED SITE AND UTILITY PLAN

C3.1

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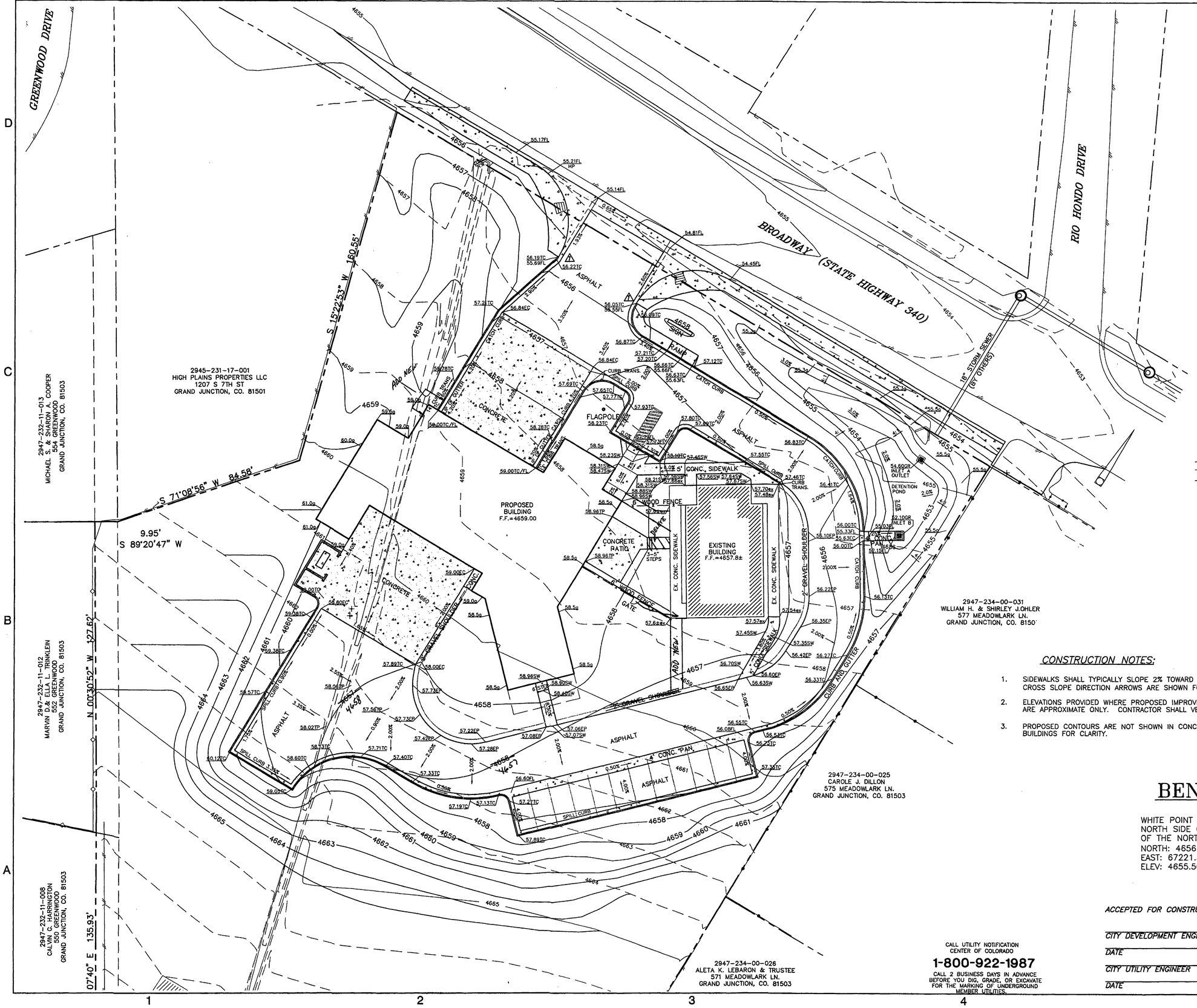

LEGEND

94.0g	GROUND
93.80TA	TOP OF ASPHALT
95.04SW	SIDEWALK
95.52TP	TOP OF PAVEMENT
94.49TC	TOP OF CURB
95.09FL	FLOW LINE
95.50RIM	MANHOLE RIM
93.63GR	INLET GRATE
94.30TW	TOP OF WALL
93.5EX	EXISTING
4656	PROPOSED CONTOUR
4657	EXISTING CONTOUR
	GRADE BREAK OR SWALE

CONSTRUCTION NOTES:

1. SIDEWALKS SHALL TYPICALLY SLOPE 2% TOWARD STREET OR AWAY FROM BUILDINGS. CROSS SLOPE DIRECTION ARROWS ARE SHOWN FOR 6' CONCRETE WALK.
2. ELEVATIONS PROVIDED WHERE PROPOSED IMPROVEMENTS TIE TO EXISTING IMPROVEMENTS, ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THAT GRADES WILL MATCH.
3. PROPOSED CONTOURS ARE NOT SHOWN IN CONCRETE AREAS AS WELL AS ADJACENT TO BUILDINGS FOR CLARITY.

BENCHMARK

WHITE POINT DOT ON SIDEWALK ON THE NORTH SIDE OF BROADWAY 61.4 FEET EAST OF THE NORTHWEST PROPERTY CORNER
NORTH: 46564.27
EAST: 67221.32
ELEV: 4655.50 (NAVD '88)

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PROJECT TITLE:

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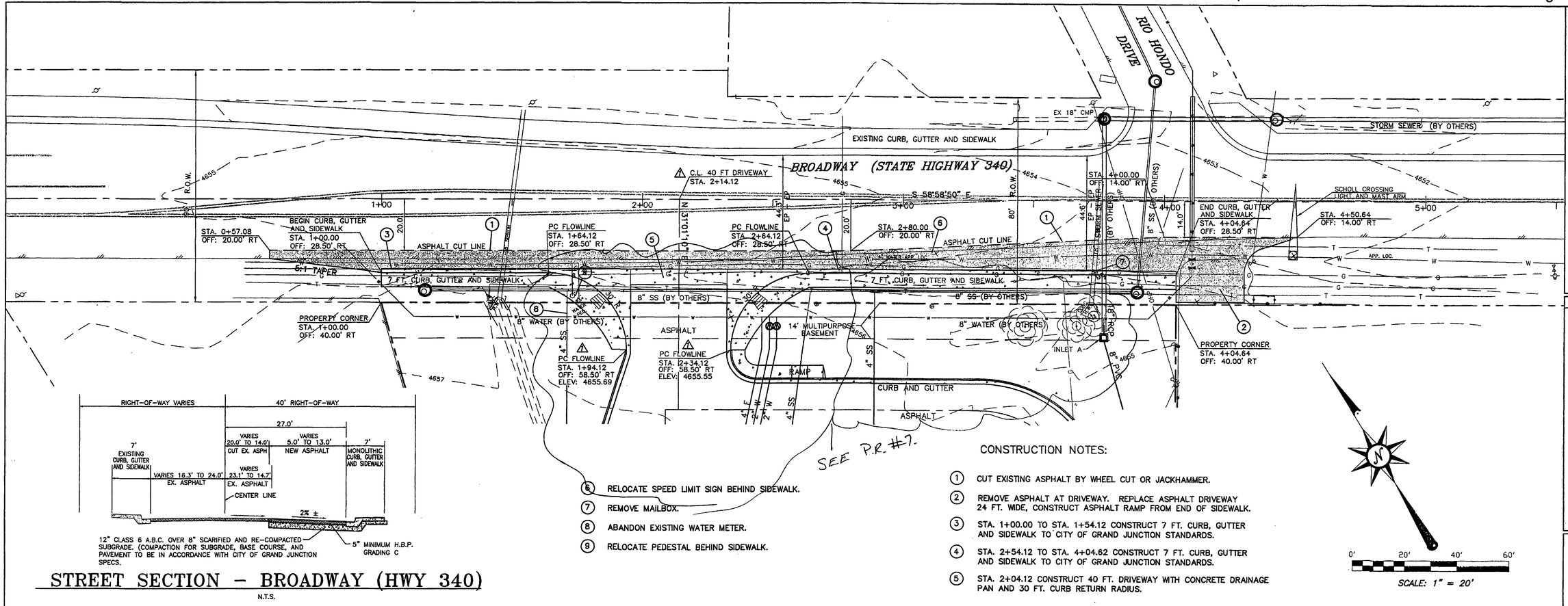
MARK	DATE	DESCRIPTION
1	10/17/03	ENTRANCE LOCATION

PROJECT NUMBER:	0503006
CAD FILE:	3048GRDG.DWG
DRAWN BY:	ESS 10/07/03
CHECK BY:	TDR

SHEET TITLE:
GRADING PLAN

C3.2

09104808.TIF



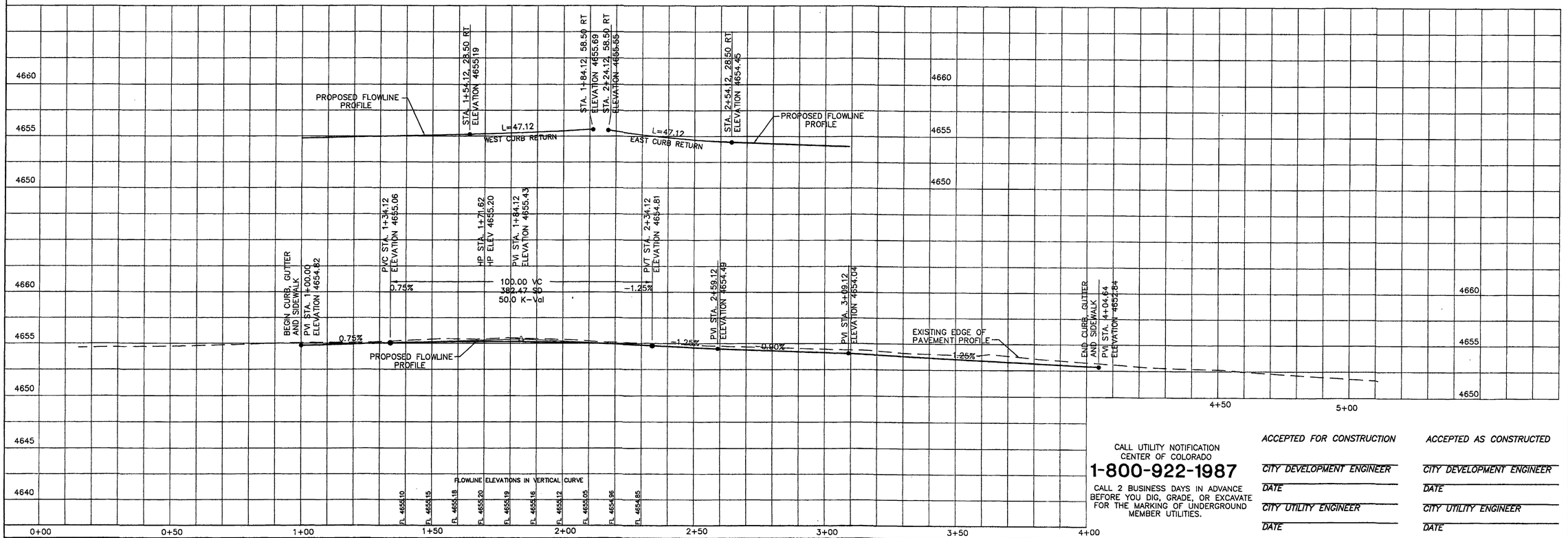
STREET SECTION – BROADWAY (HWY 340)

N.T.S.

CONSTRUCTION NOTES:

1. CUT EXISTING ASPHALT BY WHEEL CUT OR JACKHAMMER.
2. REMOVE ASPHALT AT DRIVEWAY. REPLACE ASPHALT DRIVEWAY 24 FT. WIDE, CONSTRUCT ASPHALT RAMP FROM END OF SIDEWALK.
3. STA. 1+00.00 TO STA. 1+54.12 CONSTRUCT 7 FT. CURB, GUTTER AND SIDEWALK TO CITY OF GRAND JUNCTION STANDARDS.
4. STA. 2+54.12 TO STA. 4+04.62 CONSTRUCT 7 FT. CURB, GUTTER AND SIDEWALK TO CITY OF GRAND JUNCTION STANDARDS.
5. STA. 2+04.12 CONSTRUCT 40 FT. DRIVEWAY WITH CONCRETE DRAINAGE PAN AND 30 FT. CURB RETURN RADIUS.
6. RELOCATE SPEED LIMIT SIGN BEHIND SIDEWALK.
7. REMOVE MAILBOX.
8. ABANDON EXISTING WATER METER.
9. RELOCATE PEDESTAL BEHIND SIDEWALK.

SCALE: 1" = 20'



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1-800-922-1987
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ACCEPTED FOR CONSTRUCTION
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DATE
CITY UTILITY ENGINEER
DATE

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	ENTRANCE LOCATION

PROJECT NUMBER: 0503006
CAD FILE: 3048BROADWAY.DWG
DRAWN BY: ESS 10/07/03
CHECK BY: TDR

SHEET TITLE:
BROADWAY
PLAN AND PROFILE

C4.1

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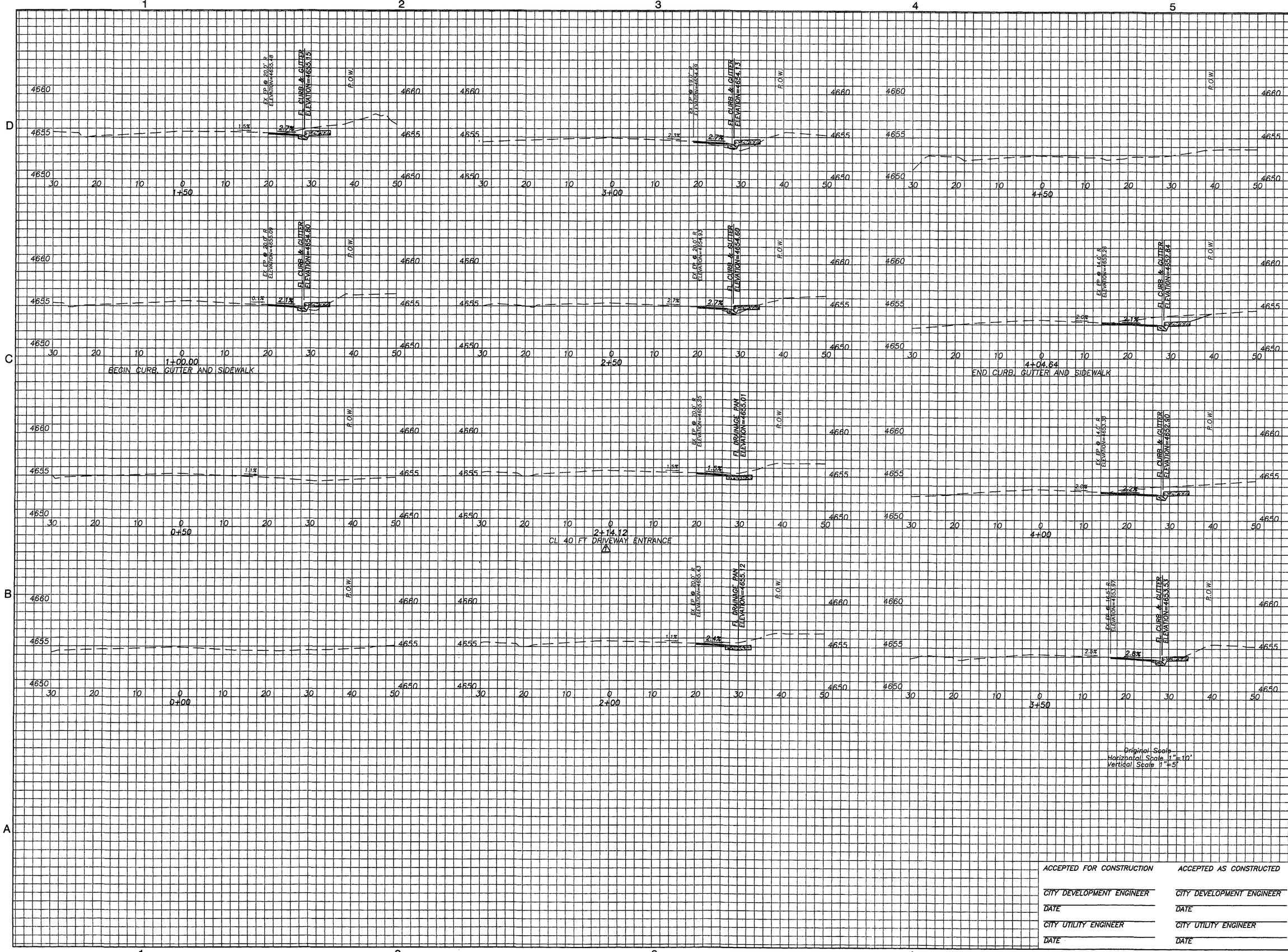

Original Scale
Horizontal Scale 1"=10'
Vertical Scale 1"=5'

ACCEPTED FOR CONSTRUCTION

CITY DEVELOPMENT ENGINEER

DATE

CITY UTILITY ENGINEER

DATE

ACCEPTED AS CONSTRUCTED

CITY DEVELOPMENT ENGINEER

DATE

CITY UTILITY ENGINEER

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CAD FILE: 3048BROADWAY.DWG
DRAWN BY: ESS 10/07/03
CHECK BY: TDR

SHEET TITLE:

BROADWAY
CROSS SECTIONS

C4.2

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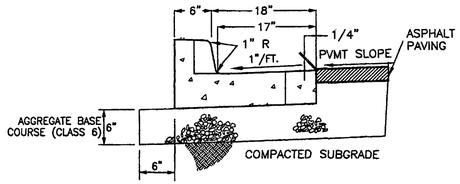
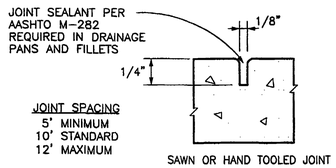


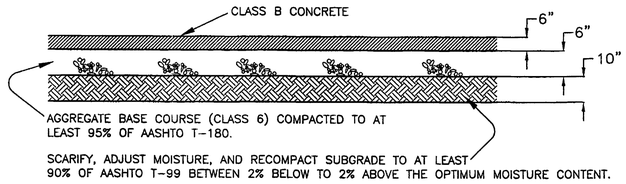
'CATCH' CURB & GUTTER

ON SITE ONLY
N.T.S.



CONTRACTION JOINT DETAIL

ON SITE ONLY
N.T.S.



CONCRETE PAVEMENT SECTION

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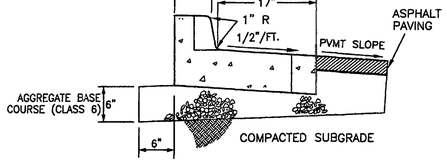
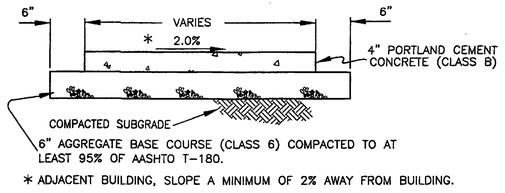
N.T.S.



'SPILL' CURB & GUTTER

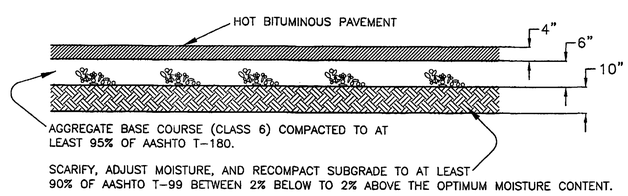
ON SITE ONLY
N.T.S.

CURB NOTES
1. COMPACT BASE COUNSE TO AT LEAST 95% OF AASHTO T-180.
2. COMPACT SUBGRADE TO AT LEAST 95% IF AASGTI T-199 WITHIN 2% OF OPTIMUM MOISTURE CONTENT.



SIDEWALK DETAIL

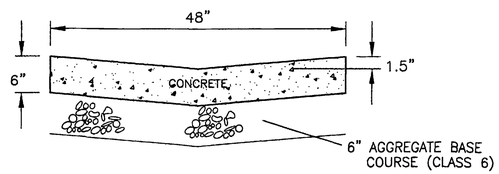
ON SITE ONLY
N.T.S.



ASPHALT PAVEMENT SECTION

ON SITE ONLY
N.T.S.

NOTE
1. 2 FT GRAVEL SHOULDER SHALL BE 10" COMPACTED CLASS C ROAD BASE



CONCRETE DRAINAGE PAN

ON SITE ONLY
N.T.S.

⚠ 1. SEE SHEET C4.1 FOR STATE HIGHWAY 340 PAVEMENT SECTION.
⚠ 2. REFER TO CITY OF GRAND JUNCTION "STANDARD CONTRACT DOCUMENT FOR CAPITAL IMPROVEMENTS FOR IMPROVEMENTS" FOR STANDARD DETAILS IN STATE HIGHWAY 340 RIGHT-OF-WAY.

ACCEPTED FOR CONSTRUCTION	ACCEPTED AS CONSTRUCTED
CITY DEVELOPMENT ENGINEER	CITY DEVELOPMENT ENGINEER
DATE	DATE
CITY UTILITY ENGINEER	CITY UTILITY ENGINEER
DATE	DATE

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CONSULTANTS:

ROLLAND ENGINEERING
405 Ridges Blvd
Grand Jct, CO 81503
(970) 243-8300

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
⚠	10/17/03	DETAILS AND NOTES

PROJECT NUMBER:	0503006
CAD FILE:	3048COV1.DWG
DRAWN BY:	ESS 10/07/03
CHECK BY:	TDR

SHEET TITLE:
DETAIL SHEET

C5.1

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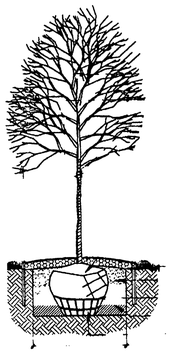


Deciduous Tree Planting Detail

Do not cut leader.
Prune damaged or dead wood after planting and staking
Keep crown shape typical of species

14 gauge galv. wire with approved tree strap collar, do not twist

4' metal t posts posts 2 ea 6/8'ht, 3 ea over 6' ht
keep stakes plumb and tops even
drive 12" into undisturbed subgrade outside planting pit.

Plant tree 2"-4" above surrounding grade level on undisturbed soil, set trunk plumb

Specified mulch 0" at trunk 4" depth at edge of ring, inside 4" watering saucer
Remove saucer upon sodding/seeding in irrigated areas

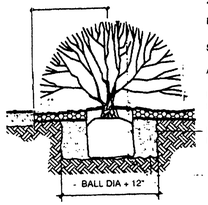
Water saucer to be 2 ½" from trunk of deciduous trees.

Backfill mixture of soil with 1/3 organic material and amendments as specified

Remove bottom of wire basket before placing tree in pit

Remove all twine and wire from ball and remaining wire basket

Compact backfill in three layers at 1/3 depth per layer, undisturbed pit bottom for solid root ball base



Shrub Planting Detail

Prune all damaged or dead wood after planing and mulching

Set shrub a grade grown in container.

Apply specified mulch to 3" depth

Fill plant pit with backfill soil mixed with 1/3 organic material and soil amendments as specified

Remove container
Place root ball on undisturbed soil.

FIRE STATION PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	QUAN
TREES:			
Crataegus abigua	Russian Hawthorne	1 1/2" cal	11
Fraxinus pennsylvanica	"Autumn Purple" Ash	1 1/2" cal	4
Koelreuteria paniculata	Golden Rain Tree	1 1/2" cal	5
Malus	Prairiefire Crabapple	1 1/2" cal	7
Pinus edulis	Pinyon Pine	6'	9
SHRUBS:			
LARGE –			
Cotinus coggygria	Smoke Bush	5 gal	8
Juniperus scopulorum	"Witchita Blue" Juniper	15 gal	10
Pinus mugo mugo	Mugo Pine	10 gal	4
Pyracantha coccinea "Wyattii"	"Firethorn"	5 gal	6
Rhus typhina	Staghorn Sumac	5 gal	9
MEDIUM –			
Artemesia	"Powis Castle" Sage	5 gal	21
Caryopteris "Blue Knight"	Blue Mist	5 gal	11
Euonymous alata	Compact Burning Bush	5 gal	15
Juniperus chinensis	Armstrong Juniper	5 gal	9
Perovkia atriplicifolia	Russian Sage	5 gal	15
Rosa	Morden "Fire" Shrub Rose	3 gal	32
LOW -			
Juniperus horizontalis	"Blue Chip" Juniper	5 gal	23
Mahonia repens	Creeping Mahonia	1 gal	15
Spirea bumalda	"Goldflame" Spirea	5 gal	23
Rhus aromatica	"Gro-Low Aromatic Sumac	5 gal	17
Rosa sp.	"Autumn Blaze" Miniature Rose	3 gal	21
VINES:			
Parthenocissus quinqefolia	Englemann Ivy	1 gal	1
Campsis radicans	Trumpet Vine	1 gal	1
ACCENTS:			
Yucca glauca	Soapweed Yucca	5 gal	26
ORNAMENTAL GRASSES:			
Festuca ovina glauca	"Elijah Blue" Blue Fescue	1 gal	11
Pennisetum alopecuroides	"Hamelin's Dwarf" Fountain Grass	1 gal	21
Miscanthus gracillimus	Maiden Grass	1 gal	9
PERENNIALS:			
Black-eyed Susan		1 gal	19
Bronze Chrysanthemum		1 gal	14
Homestead Purple Verbena		1 gal	8
Red Hot Poker		1 gal	12
Stella d'Oro Daylilly		1 gal	32
Walker's Low Catmint		1 gal	8

NATIVE GRASS MIX:
This grass mix is to be seeded at a rate of 2 pounds per 1000 sf, drilled or raked into the soil.
Native grass mix shall be -

Blue Gramma Grass	30%
Buffalo Grass	25%
Western Wheat Grass	25%
Sand Drop Seed	15%
Side Oats Gramma Grass	5%

HARDSCAPE NOTES:

Top dressing or ("groundcover") on all planting beds shall be DeWitt fused weed barrier or equal and Buff colored 1" minus crushed granite spread to a depth of 3" thick.

Shrub beds shall be edged with 4" steel edging, welded together at the seams and secured with steel edging pins.

Topsoil shall be scraped aside and stockpiled for use in the landscape.

Lawn area shall be amended with a compost derived from decomposed plant material, free of excessive salts, weed seeds and debris at a rate of 3 cubic yards per 1000 sf.

Backfill for tree and shrub planting shall be plant derived compost, mixed with native soil at a rate of 1/3 amendment to 2/3 native soil.

IRRIGATION NOTES:

An underground, pressurized irrigation system shall be provided.

The lawn and native grass areas are to be irrigated with water from the Redlands Canal.
A sump and pumping system shall be constructed according to industry guidelines.
System shall be automatic, using a Rainbird ESP - LX Controller and PESB Series Electric valves.
Rainbird Maxipaw imact sprinkler heads shall be used to irrigate native grass areas and
Rainbird Series 1804 pop-up sprinklers shall be used to irrigate lawn areas.

A Rainbird Xerigation drip irrigation system shall be used to water all plants in the shrub beds.
This system will use potable water and is to be tied into the waterline at an appropriate connecting point.
Use RPBA Reduced Pressure Backflow Assembly installed mounted 12" above grade according to City Standards.

Each tree shall be watered by at least 3 adjustable head Xeri-bubblers. All shrubs, grasses and perennials shall be provided with at least one 2-gal per hour drip emitterand two for larger shrubs.

All irrigation systems shall be installed in a workman like manner and according to industry standards.

Areas:

Native Grass Area -	39088 sf
Lawn Area-	3575 sf
Shrub Beds -	13400 sf
Metal Edge -	825 lf

Landscape Design by Angeline Barrett

Meadowlark Garden
2259 Broadway Grand Junction, Colorado 241-6006

Scale 1" = 20'

Redlands Fire Station

Date: October 27, 2003

SHEET L-1

Landscape Plan

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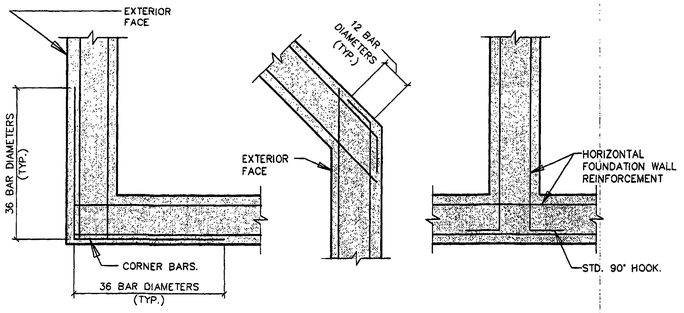
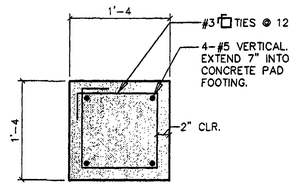


TYPICAL CORNER DETAILS 1"=1'-0



P-1

TYPICAL PILASTER DETAILS 1"=1'-0

ABBREVIATIONS

A.B.	– ANCHOR BOLT	FLR.	– FLOOR	REQ'D.	– REQUIRED
ADD'L	– ADDITIONAL	F.O.B.	– FACE OF BRICK	RM.	– ROOM
ADJ.	– ADJACENT	F.O.CONC.	– FACE OF CONCRETE	SCHED.	– SCHEDULE
A.I.S.C.	– AMERICAN INSTITUTE OF STEEL CONSTRUCTION	F.O.W.	– FACE OF WALL	SECT.	– SECTION
		FS.	– FLAT SLAB	SHT.	– SHEET
ALT.	– ALTERNATE	FT.	– FOOT	SIM.	– SIMILAR
ARCH.	– ARCHITECTURAL	FTG.	– FOOTING	S.L.V.	– SHORT LEG VERTICAL
A.S.T.M.	– AMERICAN SOCIETY FOR TESTING & MATERIALS	F.W.	– FILLET WELD	SPC.	– SPACE
		GA.	– GAUGE	SPEC.	– SPECIFICATION
BLDG.	– BUILDING	GAL.	– GALVANIZED	SQ.	– SQUARE
BM.	– BEAM	G.L.	– GLU-LAM BEAM	STD.	– STANDARD
B.O.	– BOTTOM OF	GR.	– GRADE	STIFF.	– STIFFENER
BOT.	– BOTTOM	GR. BM.	– GRADE BEAM	STL.	– STEEL
BSMT.	– BASEMENT	H.A.S.	– HEADED ANCHOR STUD	STOR.	– STORAGE
BTWN.	– BETWEEN	HORIZ.	– HORIZONTAL	SYM.	– SYMMETRICAL
CANT.	– CANTILEVER	H.S.B.	– HIGH STRENGTH BOLT	T.&B.	– TOP AND BOTTOM
CB.	– CARDBOARD	H.S.S.	– HOLLOW STRUCTURAL SECTION	THK.	– THICKNESS
CH.	– CHAMFER	I.D.	– INSIDE DIAMETER	T.O.	– TOP OF
C.J.	– CONTROL/CONSTRUCTION JOINT	I.F.	– INSIDE FACE	TYP.	– TYPICAL
CLR.	– CLEAR, CLEARANCE	IN.	– INCH	U.N.O.	– UNLESS NOTED OTHERWISE
C.M.U.	– CONCRETE MASONRY UNIT	INT.	– INTERIOR	VAR.	– VARIES
COL.	– COLUMN	JNT.	– JOINT	VERT.	– VERTICAL
CONC.	– CONCRETE	LB.	– POUND	V.I.F.	– VERIFY IN FIELD
CONN.	– CONNECTION	LIN. FT.	– LINEAL FEET	WT.	– WEIGHT
CONST.	– CONSTRUCTION	L.L.V.	– LONG LEG VERTICAL		
CONT.	– CONTINUOUS	MAT'L.	– MATERIAL		SYMBOLS
CONTR.	– CONTRACTOR	MAX.	– MAXIMUM	℄	CENTER LINE
CTRD.	– CENTERED	MECH.	– MECHANICAL	ϕ	DIAMETER
DET.	– DETAIL	MID.	– MIDDLE		ELEVATION
DIAG.	– DIAGONAL	MIN.	– MINIMUM	&	AND
DIAM.	– DIAMETER	MISC.	– MISCELLANEOUS	W/	WITH
DIM.	– DIMENSION	MTL.	– METAL	ℙ	PLATE
DISCONT.	– DISCONTINUOUS	N.I.C.	– NOT IN CONTRACT	X	BY
DWG.	– DRAWING	NO.	– NUMBER	#	NUMBER
EA.	– EACH	NOM	– NOMINAL	@	AT
E.F.	– EACH FACE	N.T.S.	– NOT TO SCALE	⌽	SQUARE
EL.	– ELEVATION	O.C.	– ON CENTER	L	ANGLE
ELECT.	– ELECTRICAL	O.F.	– OUTSIDE FACE		
ELEV.	– ELEVATOR	O.D.	– OUTSIDE DIAMETER		
EQ.	– EQUAL	O.H.	– OPPOSITE HAND		
E.W.B.	– END WALL BARS	OPNG.	– OPENING		
E.W.	– EACH WAY	P.A.F.	– POWDER ACTUATED FASTENERS		
EXIST.	– EXISTING	PL.	– PLATE		
EXP. JNT.	– EXPANSION JOINT	P.S.F.	– POUND PER SQUARE FOOT		
EXT.	– EXTERIOR	P.S.I.	– POUND PER SQUARE INCH		
FDN.	– FOUNDATION	R.	– RADIUS		
FIN.	– FINISH	REINF.	– REINFORCEMENT		

C.M.U. REINFORCING SCHEDULE

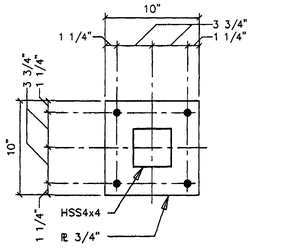
1. PROVIDE #5 @ 32 VERTICAL REINFORCING AT 8" C.M.U. AND #6 @ 32 VERTICAL REINFORCING AT 10" C.M.U. GROUT ALL VERTICAL REINFORCING SOLID. VERTICAL REINFORCEMENT SHALL EXTEND THROUGH BOND BEAMS TO 2" CLR. BELOW TOP OF C.M.U. USE STANDARD "DUR-O-WAL" "LADUR TYPE" @ 16" O.C. HORIZONTAL REINFORCING.
2. PROVIDE #5 CONT. VERTICAL EACH SIDE OF ALL OPENINGS AND CONTROL JOINTS. EXTEND 2'-0 MINIMUM EACH SIDE OF OPENING. GROUT SOLID.
3. LAP ALL VERTICAL REINFORCING MINIMUM OF 40 BAR DIAMETERS.
4. PROVIDE #5 x 4'-0 @ 32 DOWELS FROM STEMWALL TO C.M.U. LAP 2'-0 WITH VERTICAL REINFORCING AND GROUT SOLID.

FOOTING SCHEDULE

MARK	SIZE	REINFORCEMENT	REMARKS
A	2'-6 x 2'-6 x 0'-10	3-#5 EACH WAY BOTTOM	
B	3'-6 x 3'-6 x 0'-10	4-#5 EACH WAY BOTTOM	
C	5'-3 x 5'-3 x 1'-0	6-#5 EACH WAY BOTTOM	

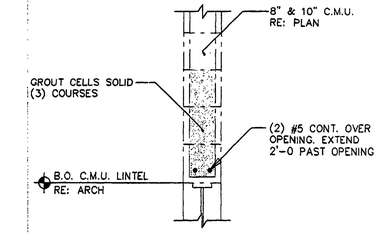
GENERAL NOTES

1. LIVE LOADS USED IN DESIGN:
   - A. ROOF (SNOW) ---------- 30 PSF
   - B. WIND
     - EXPOSURE ---------- B
     - BUILDING CATEGORY ---------- I
     - IMPORTANCE FACTOR (Iw) ---------- 1.0
     - V_{3s} ---------- 90 mph
     - V_{fm} ---------- 75 mph
   - C. SEISMIC
     - SEISMIC USE GROUP ---------- I
     - IMPORTANCE FACTOR ---------- 1.0
     - R COEFFICIENT ---------- 3
     - SPECTRAL RESPONSE COEFFICIENTS
       - Sds ---------- 0.302
       - Sd1 ---------- 0.095
     - SITE CLASS ---------- C
     - BASIC SEISMIC FORCE RESISTING SYSTEM ---------- ORDINARY REINFORCED MASONRY SHEAR WALLS
     - DESIGN BASE SHEAR ---------- 183k
     - ANALYSIS PROCEDURE ---------- EQUIVALENT LATERAL FORCE PROCEDURE
2. CAST-IN-PLACE CONCRETE:
   - A. ALL CONCRETE SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. EXCEPT SLABS ON GRADE SHALL DEVELOP 3,500 PSI. USE 1 1/2" NON-POROUS AGGREGATE IN SLABS. AND PRECAST CONCRETE LINTELS SHALL DEVELOP 5,000 PSI. MAINTAIN CONSISTENT TOP AND BOTTOM MOISTURE ON SLAB SURFACE DURING CURING.
   - B. ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, EXCEPT TIES, STIRRUPS, AND DOWELS TO SLAB ON GRADE MAY BE GRADE 40.
   - C. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 36 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
   - D. STAGGER SPLICES A MINIMUM OF 4'-0 FOR TOP AND BOTTOM CONTINUOUS BARS IN FOUNDATIONS, UNLESS OTHERWISE SHOWN OR NOTED.
   - E. DETAIL BARS IN ACCORDANCE WITH A.C.I. DETAILING MANUAL AND A.C.I. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, LATEST EDITIONS.
   - F. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE DRAWINGS.
   - G. REINFORCEMENT PROTECTION SHALL BE AS FOLLOWS:
     - (1) CONCRETE POURED AGAINST EARTH ---------- 3"
     - (2) FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ---------- 1 1/2"
     - (3) FORMED STAIRS OR WALLS NOT EXPOSED TO WEATHER ---------- 3/4"
   - H. PLACE 2-#5 (ONE EACH FACE) WITH 2'-0 PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS OTHERWISE SHOWN OR NOTED.
   - I. WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH +2" AT SIDE AND END LAPS, AND SHALL BE TIED TOGETHER.
3. STEEL:
   - A. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 (Fy = 50ksi). ALL OTHER SHAPES AND PLATE STEEL SHALL CONFORM TO ASTM A36 (Fy = 36ksi).
   - B. ALL HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500 GRADE B (Fy = 46ksi) FOR TUBES, ASTM A35 (GRADE B) OR A501 (Fy = 35ksi) FOR PIPES.
   - C. STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISIONS OF THE A.I.S.C. MANUAL OF STEEL CONSTRUCTION.
   - D. USE FRAMED BEAM CONNECTIONS WITH 3/4" DIAMETER ASTM A325 BOLTS, OR WELDED EQUIVALENT, UNLESS OTHERWISE SHOWN OR NOTED. FOR BEAMS WITHOUT DESIGNATED LOADS ON DRAWING, SELECT CONNECTIONS TO SUPPORT 60% OF TOTAL UNIFORM LOAD CAPACITY IN BENDING FOR EACH GIVEN BEAM AND SPAN, PLUS THE REACTION DUE TO ANY CONCENTRATED LOADS, MINIMUM OF (2) BOLTS PER CONNECTION.
   - E. ALL HIGH-STRENGTH BOLTS IN BEARING TYPE CONNECTIONS SHALL BE SNUG TIGHT. THE SNUG TIGHT CONDITION IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH MAY ATTAIN THIS.
   - F. STEEL ROOF DECK
     - (1) STEEL DECK SHALL BE ERECTED AND CONNECTED TO SUPPORTS IN ACCORDANCE WITH MANUFACTURER'S SUGGESTED SPECIFICATIONS.
     - (2) ROOF DECK SHALL BE 1 1/2" x 22 GA., TYPE 'B' OR TYPE 'BA' ACOUSTICAL DECK, SHOP PAINTED. RE: PLANS FOR LOCATIONS.
     - (3) WELD DECK TO SUPPORTS WITH 5/8"ϕ PUDDLE WELDS AT 36/4 PATTERN. USE #10 SELF-TAPPING SCREWS (3 PER SPAN) AT SIDE LAPS.
   - G. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE A.W.S. STANDARD QUALIFICATION TESTS.
   - H. SEE ARCHITECTURAL DRAWINGS FOR NAILER HOLES OR OTHER HOLES REQUIRED IN STEEL MEMBERS.
4. MASONRY:
   - A. PROVIDE SPECIAL INSPECTION IN ACCORDANCE WITH 2000 IBC SECTION 1704.5.3.
   - B. ALL REINFORCING IN MASONRY WALLS SHALL BE FULLY ENCLOSED WITH GROUT. USE PEA GRAVEL MIX WITH f'c = 3,000 PSI.
   - C. CONCRETE MASONRY SHALL CONSIST OF LIGHTWEIGHT CONCRETE BLOCK WITH A COMPRESSIVE STRENGTH OF 1,900 PSI.
   - D. FILL ALL VOIDS AND BLOCK CELLS SOLID WITH MORTAR FOR A DISTANCE OF 24" BENEATH AND 12" EACH SIDE OF ALL BEAM REACTIONS OR OTHER CONCENTRATED LOADS, UNLESS OTHERWISE SHOWN OR NOTED.
   - E. MASONRY IS TO BE LAID IN TYPE "M" OR "S" MORTAR IN ACCORDANCE WITH TABLE NO. 24-A IN THE UNIFORM BUILDING CODE. TYPE "N" MASONRY CEMENT MORTAR IS NOT ACCEPTABLE.
   - F. MASONRY WALLS MUST BE ADEQUATELY BRACED DURING CONSTRUCTION TO WITHSTAND WIND AND SEISMIC LOADS. BRACING MUST REMAIN IN PLACE UNTIL ROOF DIAPHRAGMS ARE FULLY CAPABLE OF PROVIDING LATERAL SUPPORT.
5. FOUNDATIONS:
   FOUNDATION DESIGN IS BASED ON RECOMMENDATIONS BY LAMBERT & ASSOCIATES, JOB NO. M03037GE. RECOMMENDATIONS IN THIS REPORT SHOULD BE FOLLOWED.
   - A. ALLOWABLE SOIL BEARING PRESSURE ---------- 2,000 PSF
   A QUALIFIED SOILS ENGINEER SHALL EXAMINE EXCAVATION TO VERIFY BEARING PRESSURE AND SOILS CONDITIONS PRIOR TO CONSTRUCTION.
6. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

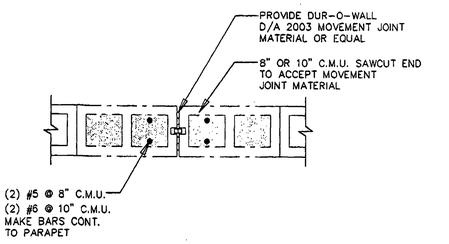


TYPICAL BASE PLATE DETAILS 1 1/2"=1'-0

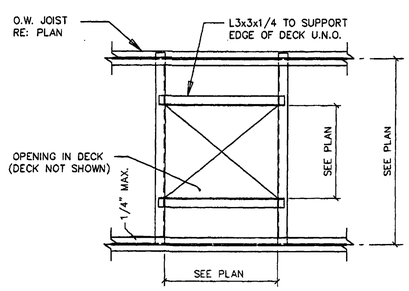
1. PLACE ALL BASE PLATES ON 1" MINIMUM NON-SHRINK GROUT.
2. ALL BOLTS ARE TO BE 3/4"ϕ x 1'-0 3" A.B.'S.



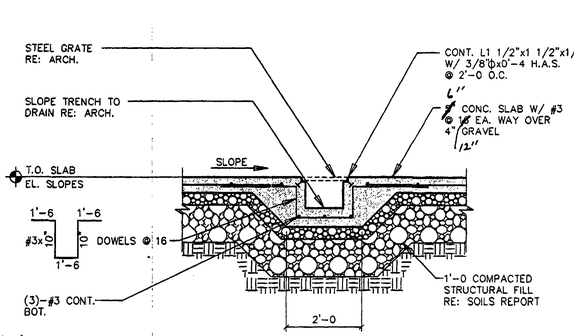
TYPICAL C.M.U. LINTEL 3/4"=1'-0



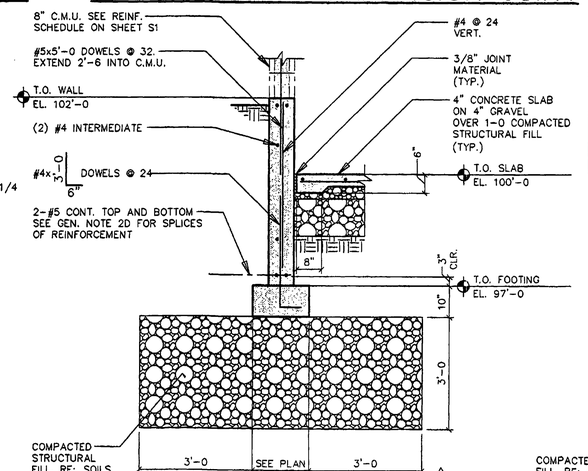
TYPICAL C.M.U. EXPANSION JOINT



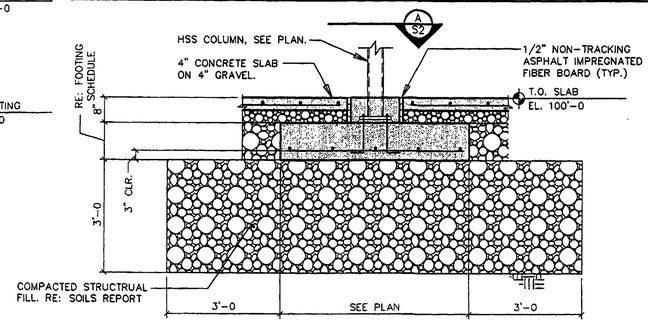
TYPICAL EDGE SUPPORT AT METAL DECK PENETRATION (DECK NOT SHOWN)



SECTION 10/S1 1/2"=1'-0



SECTION 11/S1 1/2"=1'-0



SECTION 12/S1 1/2"=1'-0

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STRUCTURAL ENGINEERS
802 Rood Avenue
Grand Junction, CO 81501
PHONE 970-241-0900
FAX 970-243-2430
www.ljlindauer.com

PROJECT TITLE:

FIRE HOUSE DEPT.

City of Grand Junction
Fire Department
Redlands Fire Station
No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	CONSTRUCTION
	10/7/03	PERMIT

PROJECT NUMBER: 03089
CAD FILE:
DRAWN BY: DJP
CHECK BY: AJD

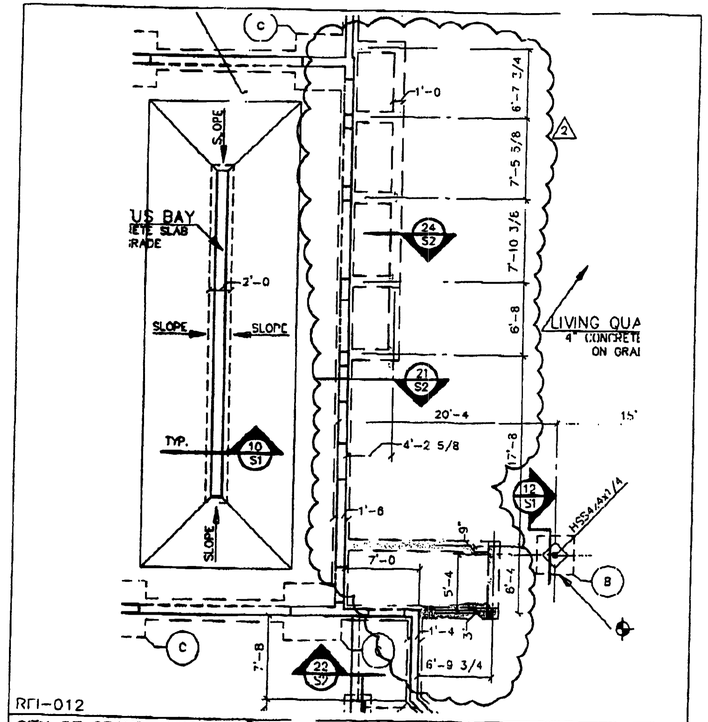
SHEET TITLE:
GENERAL NOTES

S1

24

09104813.TIF

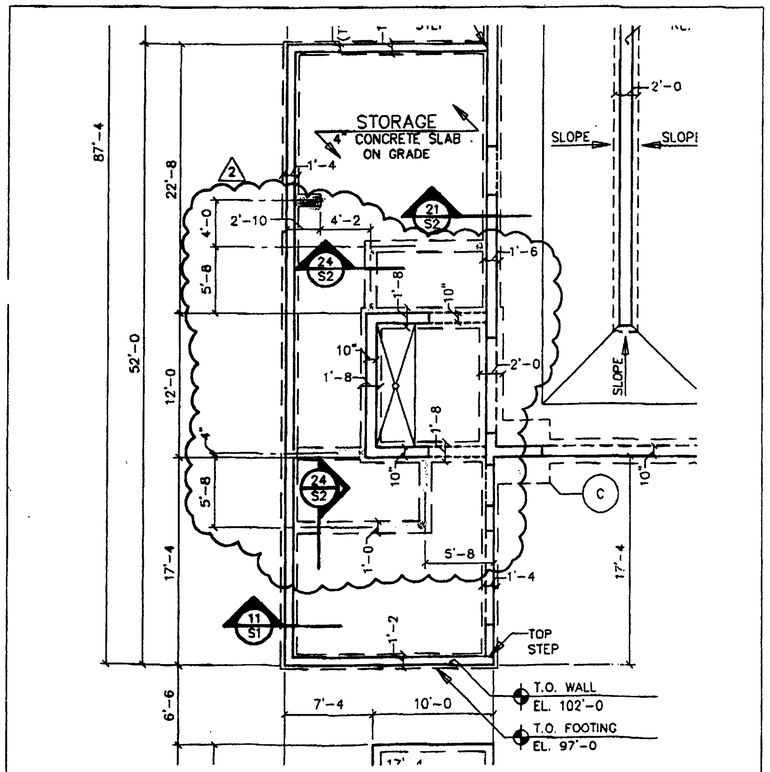
RFI#12-SK-2



RFI-012

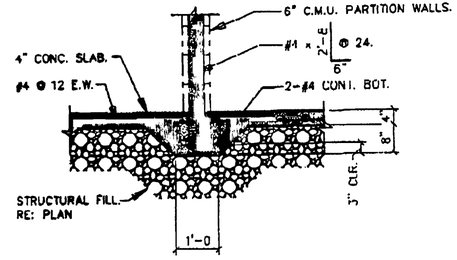
CITY OF GRAND JUNCTION FIRE DEPARTMENT FIRE STATION NO. 5 FOR: TSP JOB #03089	Date: 11/12/03 Scale: 1/8"=1'-0 Drawn: KDN	Sheet: S2	STRUCTURAL ENGINEERS 802 Rood Avenue Grand Junction, CO 81501 PHONE 970-241-0800 FAX 970-243-2430 www.tjlindauer.com

RFI#12-SK-3



RFI-012

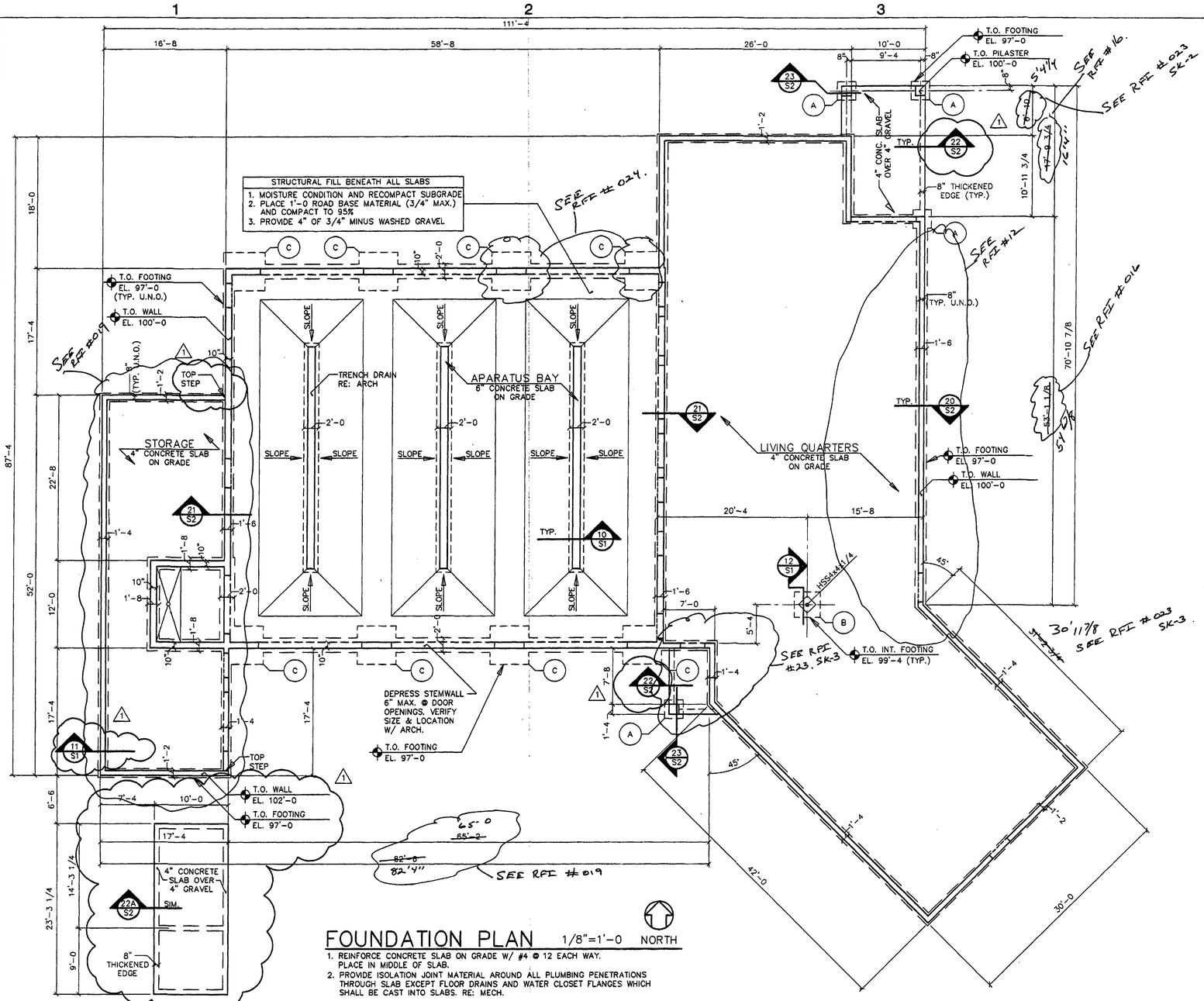
RFI#12-SK-1



SECTION 24/S2 1/2"=1'-0

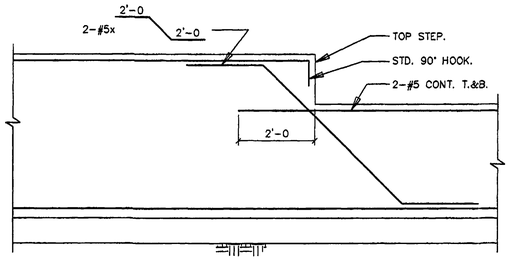
RFI-012

CITY OF GRAND JUNCTION FIRE DEPARTMENT FIRE STATION NO. 5 FOR: TSP JOB #03089	Date: 11/12/03 Scale: 1/2"=1'-0 Drawn: KDN	Sheet: S2	STRUCTURAL ENGINEERS 802 Rood Avenue Grand Junction, CO 81501 PHONE 970-241-0800 FAX 970-243-2430 www.tjlindauer.com

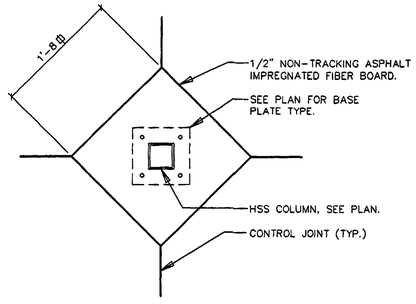


FOUNDATION PLAN 1/8"=1'-0 NORTH

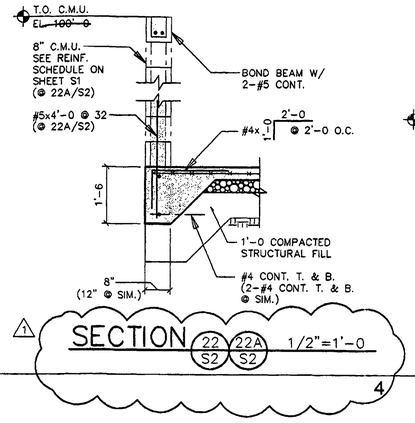
1. REINFORCE CONCRETE SLAB ON GRADE W/ #4 @ 12 EACH WAY. PLACE IN MIDDLE OF SLAB.
2. PROVIDE ISOLATION JOINT MATERIAL AROUND ALL PLUMBING PENETRATIONS THROUGH SLAB EXCEPT FLOOR DRAINS AND WATER CLOSET FLANGES WHICH SHALL BE CAST INTO SLABS. RE: MECH.



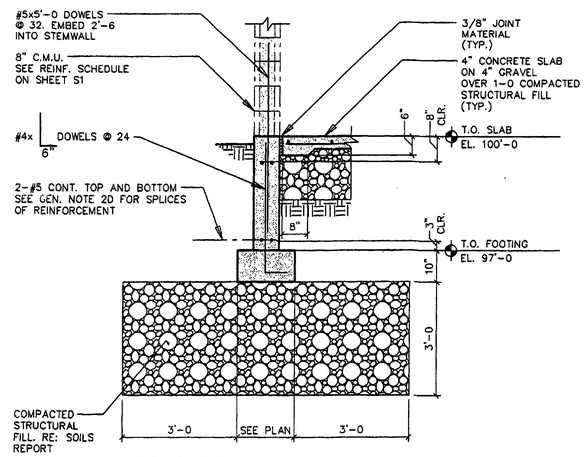
TYPICAL STEP DETAIL NO SCALE



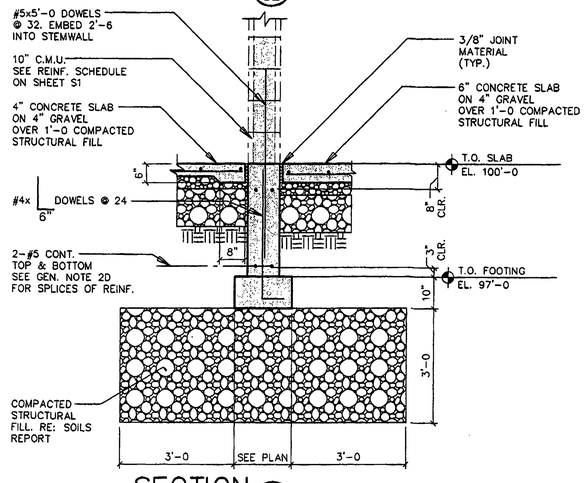
DETAIL A S2 1"=1'-0



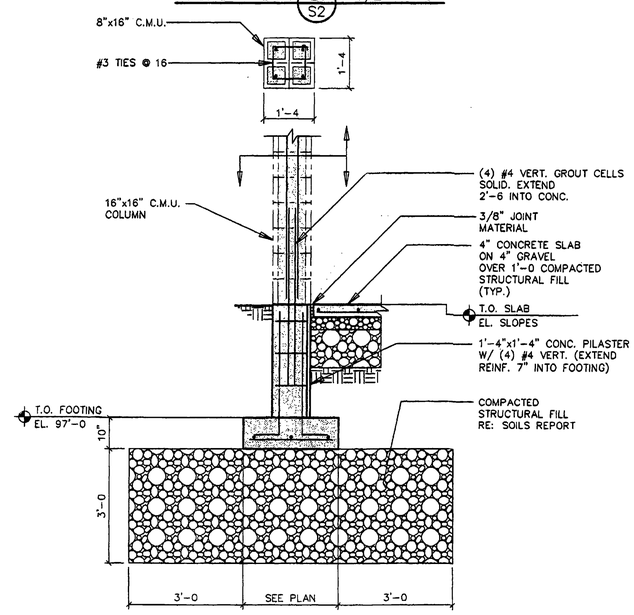
SECTION 22 S2 / 22A S2 1/2"=1'-0



SECTION 20 S2 1/2"=1'-0



SECTION 21 S2 1/2"=1'-0



SECTION 23 S2 1/2"=1'-0

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	CONSTRUCTION
	10/15/03	PERMIT

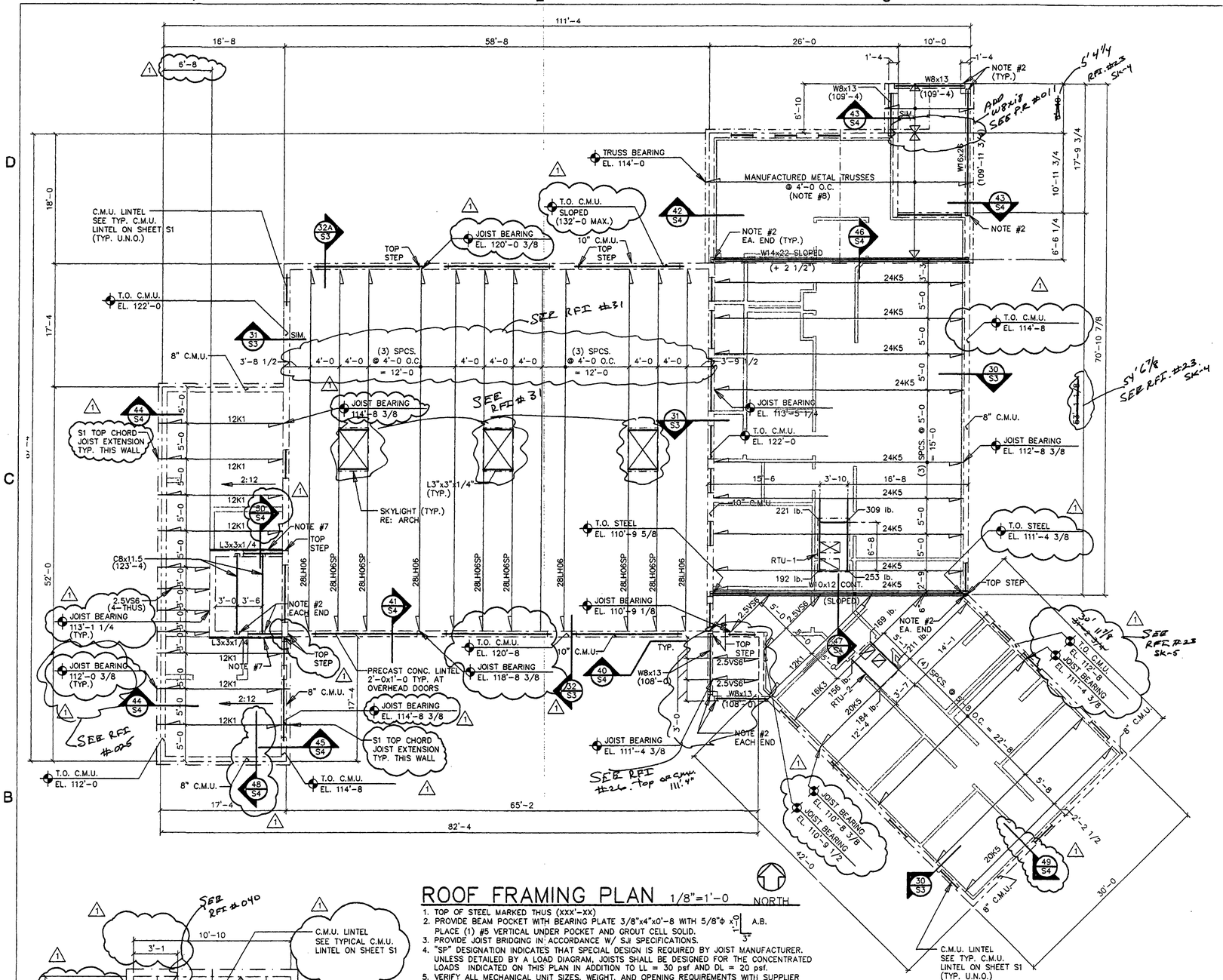
PROJECT NUMBER:	03089
CAD FILE:	
DRAWN BY:	DJP
CHECK BY:	AJD

SHEET TITLE:

FOUNDATION PLAN

S2

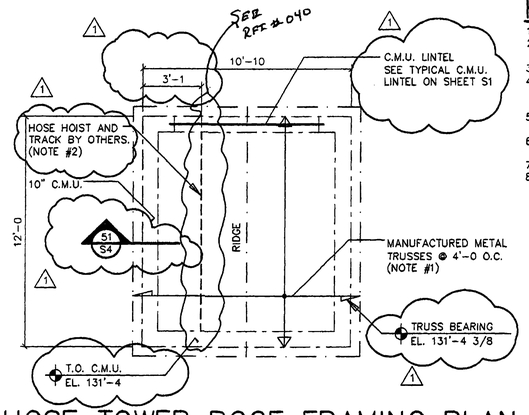
09104815.TIF



ROOF FRAMING PLAN 1/8"=1'-0

NORTH

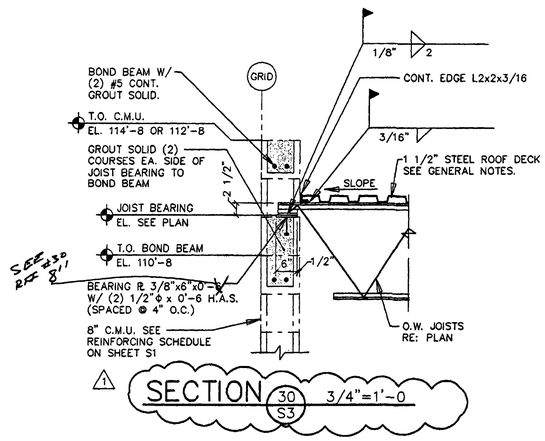
1. TOP OF STEEL MARKED THUS (XXX'-XX)
2. PROVIDE BEAM POCKET WITH BEARING PLATE 3/8"x4"x0'-8 WITH 5/8"ϕ x 1'-0 A.B. PLACE (1) #5 VERTICAL UNDER POCKET AND GROUT CELL SOLID.
3. PROVIDE JOIST BRIDGING IN ACCORDANCE W/ SJI SPECIFICATIONS.
4. "SP" DESIGNATION INDICATES THAT SPECIAL DESIGN IS REQUIRED BY JOIST MANUFACTURER. UNLESS DETAILED BY A LOAD DIAGRAM, JOISTS SHALL BE DESIGNED FOR THE CONCENTRATED LOADS INDICATED ON THIS PLAN IN ADDITION TO LL = 30 psf AND DL = 20 psf.
5. VERIFY ALL MECHANICAL UNIT SIZES, WEIGHT, AND OPENING REQUIREMENTS WITH SUPPLIER PRIOR TO CONSTRUCTION.
6. PROVIDE 3/8" WEB STIFFENER PLATES EACH SIDE OF BEAM WEB. CENTER OVER COLUMN BELOW. TYPICAL AT INTERIOR COLUMNS ONLY UNLESS NOTED OTHERWISE.
7. ATTACH L3x3x1/4 TO C.M.U. WITH 5/8"ϕ EXP. ANCHORS AT 32 (MINIMUM EMBEDMENT = 4").
8. MANUFACTURED METAL ROOF TRUSS TOP CHORDS SHALL BE 20 GAUGE MINIMUM.



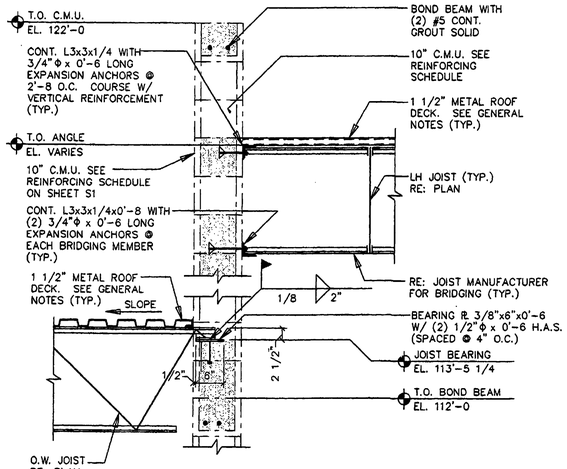
HOSE TOWER ROOF FRAMING PLAN 1/4"=1'-0

NORTH

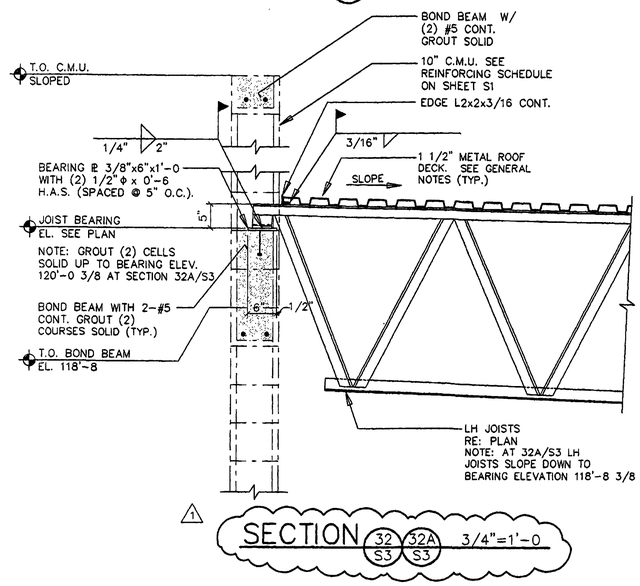
1. MANUFACTURED METAL ROOF TRUSS TOP CHORDS SHALL BE 20 GAUGE MIN.
2. COORDINATE HOSE HOIST AND TRACK LOADS WITH METAL TRUSS MANUFACTURER.



SECTION 30/S3 3/4"=1'-0



SECTION 31/S3 3/4"=1'-0



SECTION 32/S3 32A/S3 3/4"=1'-0

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10/17/03	CONSTRUCTION
	10/7/03	PERMIT

PROJECT NUMBER:	03089
CAD FILE:	
DRAWN BY:	DJP
CHECK BY:	N/A

SHEET TITLE:

ROOF PLAN

S3

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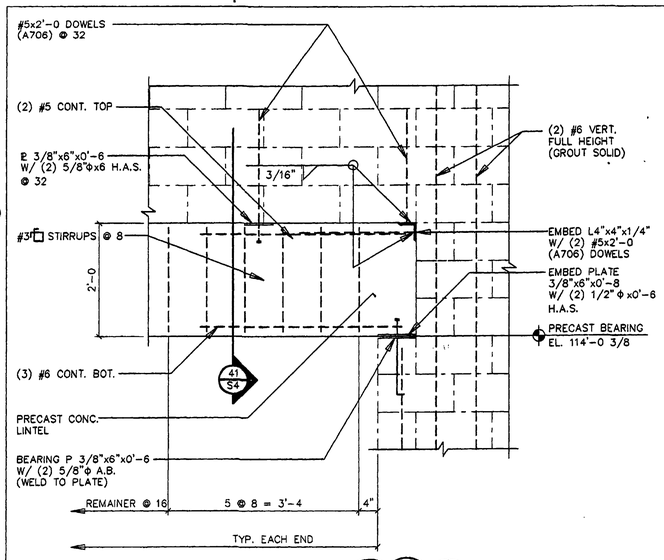
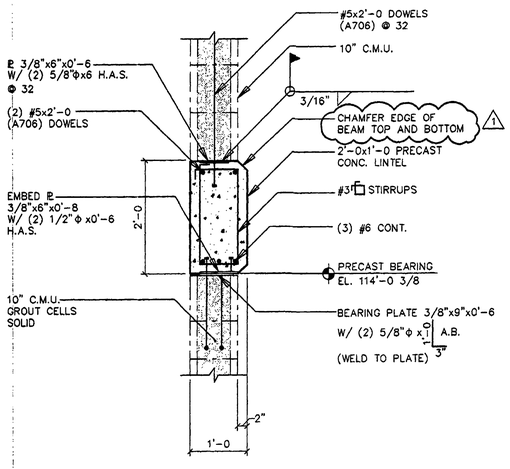
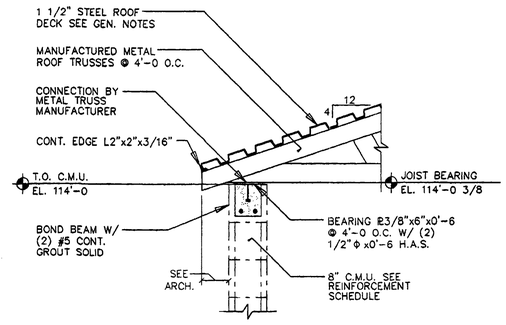


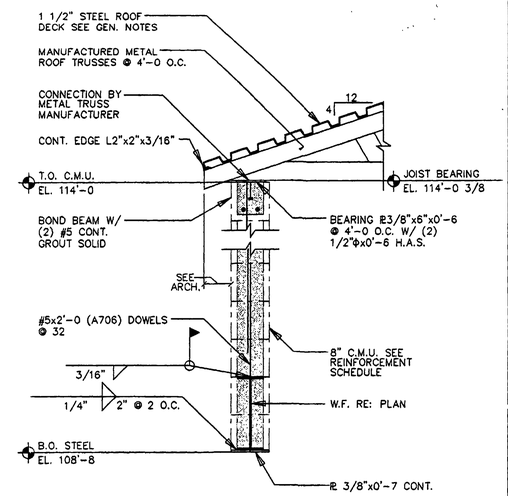
SECTION 40 S4 3/4"=1'-0 ⚠1



SECTION 41 S4 3/4"=1'-0



SECTION 42 S4 3/4"=1'-0



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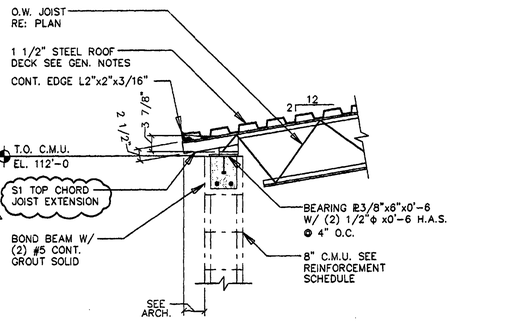
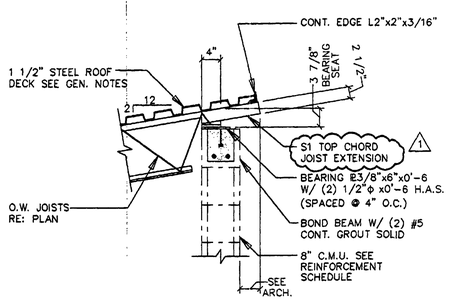
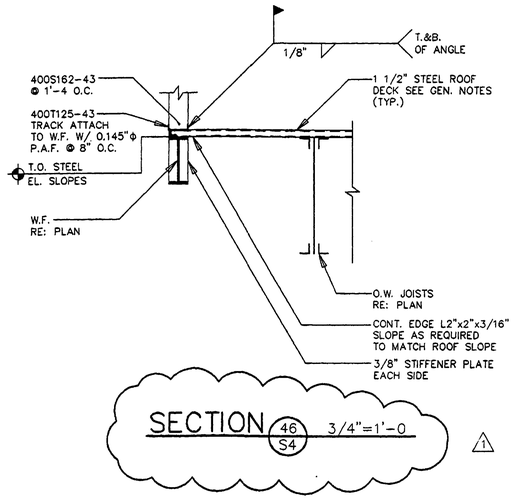


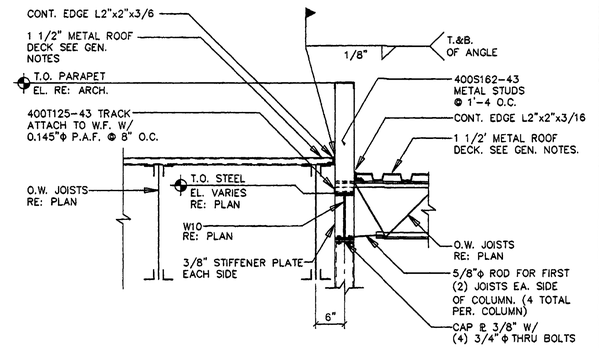
SECTION 44 S4 3/4"=1'-0



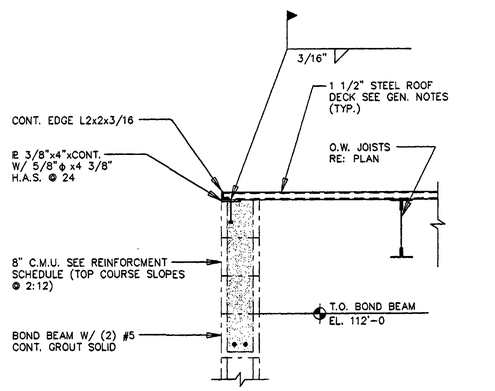
SECTION 45 S4 3/4"=1'-0



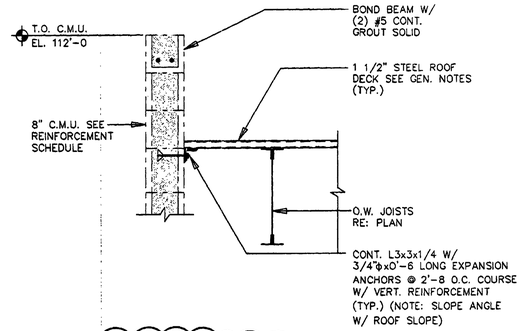
SECTION 46 S4 3/4"=1'-0 ⚠1



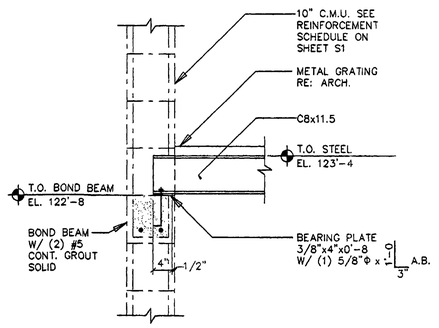
SECTION 47 S4 3/4"=1'-0



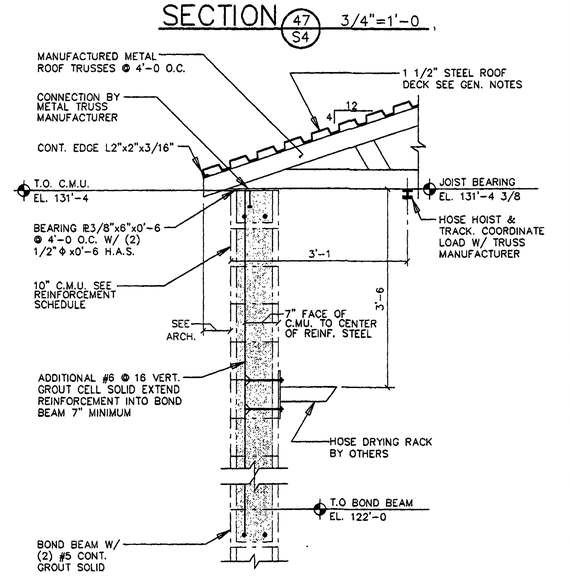
SECTION 48 S4 3/4"=1'-0 ⚠1



SECTION 49 S4 3/4"=1'-0 ⚠1



SECTION 50 S4 3/4"=1'-0 ⚠1



SECTION 51 S4 3/4"=1'-0 ⚠1

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
⚠	10/17/03	CONSTRUCTION
	10/7/03	PERMIT

PROJECT NUMBER:	03089
CAD FILE:	
DRAWN BY:	DJP
CHECK BY:	AJD

SHEET TITLE:

SECTIONS

S4

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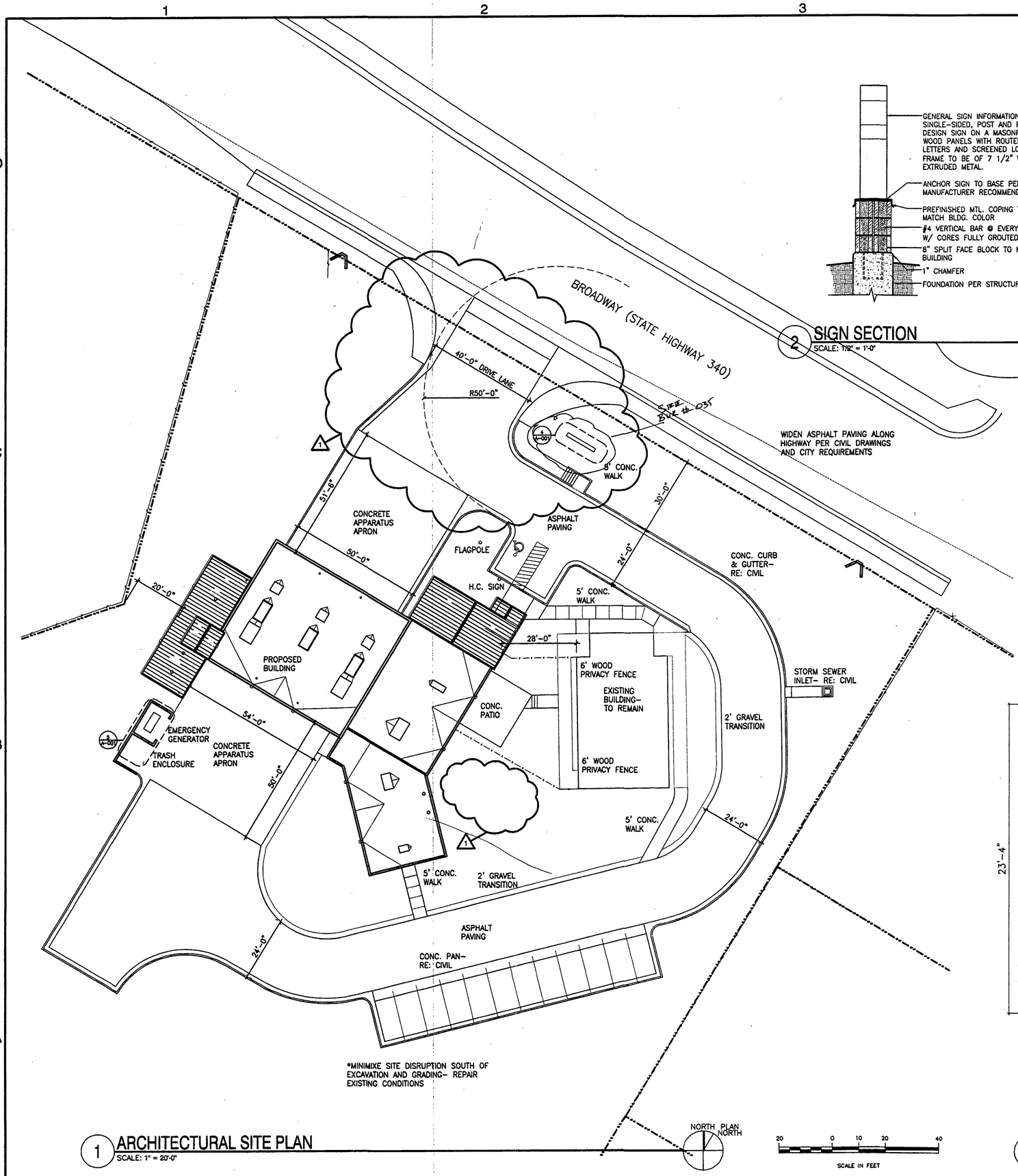
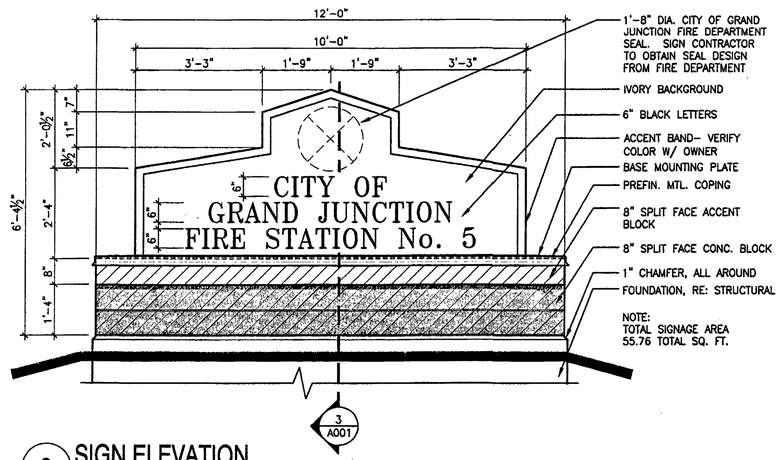
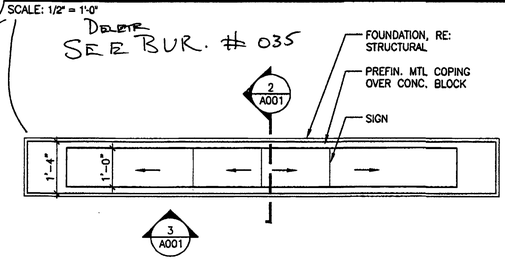


1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

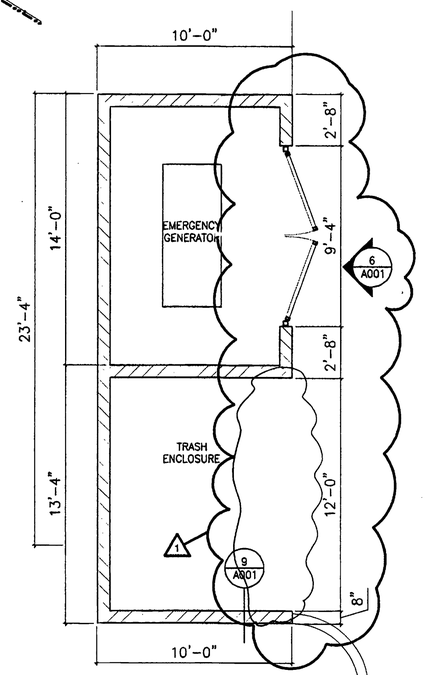
2 SIGN SECTION
SCALE: 1 1/2" = 1'-0"



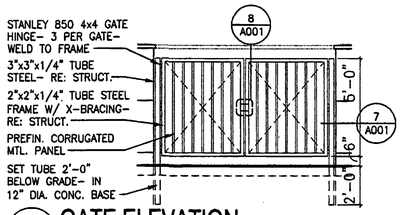
3 SIGN ELEVATION
SCALE: 1/2" = 1'-0"



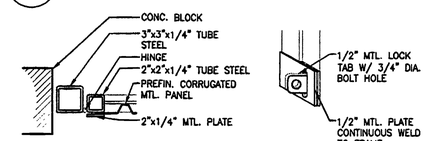
4 SIGN PLAN
SCALE: 1/2" = 1'-0"



5 ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

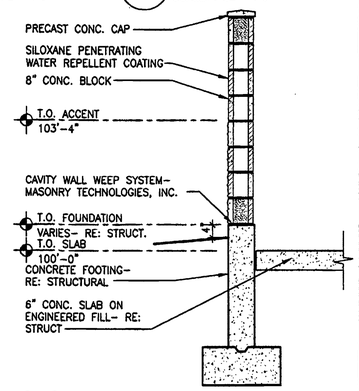


6 GATE ELEVATION
SCALE: 1/4" = 1'-0"



7 GATE DETAIL
SCALE: 1 1/2" = 1'-0"

8 HASP DETAIL
SCALE: 1 1/2" = 1'-0"



9 ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

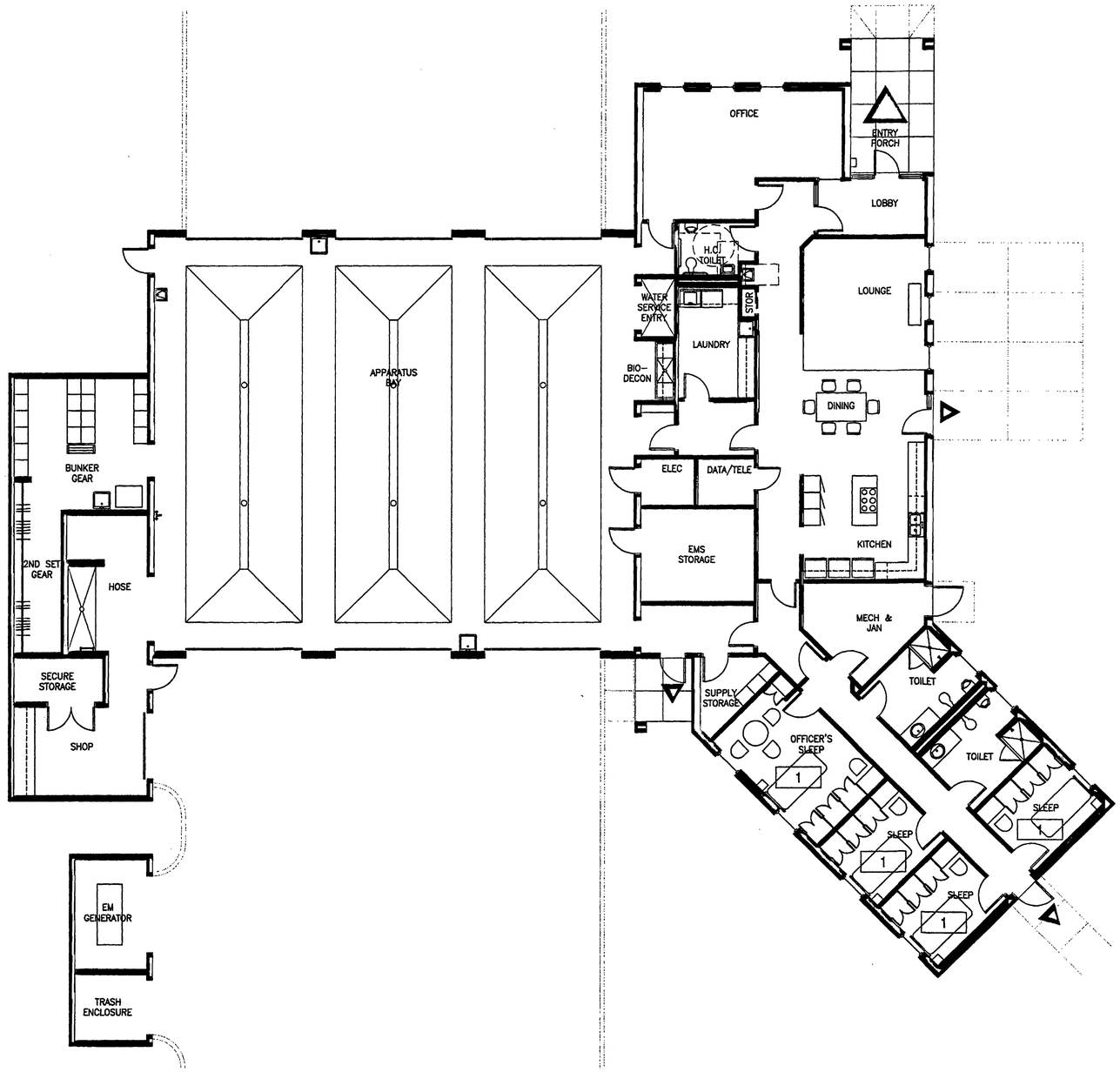
MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-001.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
ARCHITECTURAL SITE PLAN AND DETAILS

A-001

09104818.TIF



1 CODE PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

CODE KEY

MAIN ENTRY

EXITS

1 SQUARE FOOT OF ROOM/ OCCUPANT LOAD FACTOR = NUMBER OF OCCUPANTS

CODE REVIEW

OCCUPANCY TYPE: B BUSINESS

TYPE OF CONSTRUCTION: TYPE V NON-RATED

ALLOWABLE FLOOR AREA: 9,000 S.F. 2 STORY 40'-0" (IBC TABLE 503)

AREA INCREASE FOR SPRINKLER SYSTEM= IBC 506.3
200% FOR MULTI-STORY BUILDINGS- 18,000 S.F.
300% FOR SINGLE-STORY BUILDING- 27,000 S.F.

BUILDING GROSS FLOOR AREA: 7480 S.F.

SPRINKLERS: PROVIDED- NOT REQUIRED (IBC 903)

TOTAL OCCUPANTS: 4 FIRE FIGHTERS
NOTE: DESIGNED FOR ACTUAL NUMBER OF OCCUPANTS OF EACH SPACE (IBC 1003.2.2.1)

NUMBER OF EXITS REQUIRED: 2

NUMBER OF EXITS PROVIDED: 4

MIN. WATER CLOSETS REQUIRED: 1:50 PEOPLE

PUBLIC PROVIDED: 1 UNISEX
PRIVATE PROVIDED: 2 (IBC 2902.2 EXCEPTION 2)

MIN. LAVATORIES REQUIRED: 1:80 PEOPLE

PUBLIC PROVIDED: 1 UNISEX
PRIVATE PROVIDED: 2 (IBC 2902.2 EXCEPTION 2)

DRINKING FOUNTAINS REQUIRED: 1:100 PEOPLE
PROVIDED: 2

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www.teamtsp.com

Architecture
Engineering
Construction

CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

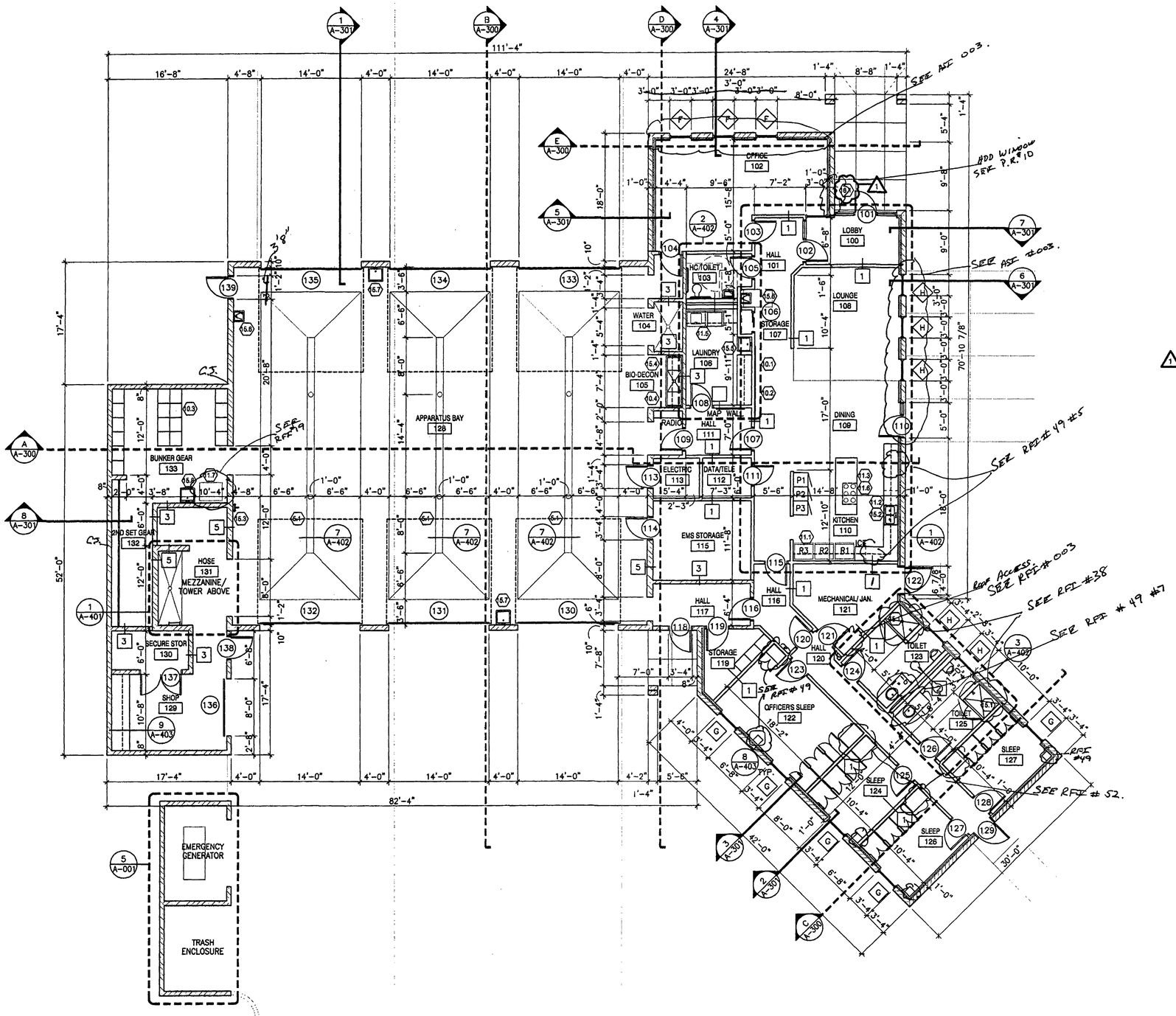
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	0503006
CAD FILE:	A-100.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
FLOOR PLAN

A-100

09104819.TIF



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

General Notes:

1. The Contractor shall field verify all dimensions and existing conditions before construction. If there are any discrepancies, notify the Architect before proceeding with the construction.
2. All dimensions on the drawings are to the face of studs, masonry openings or edge of foundation.
3. The Contractor shall maintain the construction site and the building to keep them free of debris that will be hazardous or disruptive to the usage of the building by the Owner while construction is in progress.
4. See Sheet A-501 for Room Finish Schedule and Door Schedule.
5. Protect and cover all furnishings and equipment to remain while construction activities are occuring.
6. The Contractor shall coordinate all items provided and installed by the Owner during construction.
7. All interior non-load bearing walls shall be constructed with slip joints to allow 1" (min.) movement.
8. Door, Window and Wall Types on sheet A-501.
9. Provide 5 melamine shelves with PVC edging on Knape & Vogt standards #87ANO & brackets #187LLANO for storage closet 107
10. Provide bullnose units for all concrete block openings not scheduled for a door frame.
11. Provide and Install 400 sq. ft. resilient exercise flooring in existing Church building. Coordinate location with Owner. Include cost to demolish existing floor covering and proper floor preparation.
12. Provide 4' Concrete Splash block at all downspout locations.

1 WALL TYPE TAGS ADDED FOR CLARIFICATION SEE A-501

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
4.4	PRECAST CONCRETE HEAD AND/OR SILL, SEE DETAILS ON A501- SEE SPECIFICATION NO. 03450
5.1	PRE-FABRICATED STEEL TRENCH DRAIN GRATE - SEE SPECIFICATION NO. 05500
7.1	STANDING SEAM MTL ROOF - SEE SPECIFICATION NO. 07411
7.2	60 MIL FULLY ADHERED EPDM MEMBRANE ON FIBER COVER BOARD OVER RIGID INSULATION - SEE SPECIFICATION NO. 07531
7.3	PRE-FINISHED MTL FLASHING AND TRIM - SEE SPECIFICATION NO. 07620
7.4	PRE-FINISHED MTL GUTTER, CONDUCTOR, OVERFLOW SCUPPER AND DOWNSPOUT - SEE SPECIFICATION NO. 07715
7.5	PRE-FABRICATED UNIT SKYLIGHT - SEE SPECIFICATION NO. 07820?
7.6	ALUMINUM SOFFIT - SEE SPECIFICATION NO. 07715
9.1	PORCELAIN FLOOR TILE - SEE SPECIFICATION NO. 09300
9.2	2x4 ACOUSTIC CEILING TILE & GRID - SEE SPECIFICATION NO. 09511
9.3	CARPET - COLOR TO BE SPECIFIED BY ARCHITECT - SEE SPECIFICATION NO. 09680
10.1	4'x4' ERASABLE MARKER BOARD - TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.2	4'x4' CORK TACK BOARD, TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.3	(18) PRE-FINISHED METAL BUNKER GEAR STORAGE UNITS - SEE SPECIFICATION NO. 10510
10.4	18" DEEP STAINLESS STEEL WIRE RACK AT 6'-0" AFF, VERIFY LENGTH IN FIELD - SEE SPECIFICATION NO. 10670
11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
11.3	COMMERIAL RANGE AND OVEN - SEE SPECIFICATION NO. 11451
11.4	CLOTHES WASHING MACHINE AND DRYER - SEE SPECIFICATION NO. 11451
11.5	(2) MICROWAVES - SEE SPECIFICATION NO. 11451
11.6	KITCHEN EXHAUST HOOD - SEE SPECIFICATION NO. 11451
11.7	EXTRACTOR- BY OWNER ON 6" CONCRETE HOUSEKEEPING PAD - BY CONTRACTORWNER
11.8	18" UNDER COUNTER MOUNTED ICE MAKER - SEE SPECIFICATION NO. 11451
15.1	3'x4' PRE-FABRICATED TERRAZO SHOWER BASIN - SEE SPECIFICATION NO. 15410
15.2	STAINLESS STEEL KITCHEN SINK - SEE SPECIFICATION NO. 15440
15.3	FOLD AWAY WALL FAUCET - SEE MECHANICAL
15.4	STAINLESS STEEL BIODECONTAMINATION SINK - SEE SPECIFICATION NO. 15440
15.5	PRE-FABRICATED PORCELAIN MOP SINK - SEE SPECIFICATION NO. 15440
15.6	ELECTRIC WATER COOLER - SEE MECHANICAL
15.7	STAINLESS STEEL UTILITY SINK - SEE SPECIFICATION NO. 15440
15.8	PORCELAIN UTILITY SINK - SEE SPECIFICATION NO. 15440
16.1	911 EMERGENCY PHONE BOX - COORDINATE WITH OWNER

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Redlands Fire Station No. 5
Grand Junction, Colorado

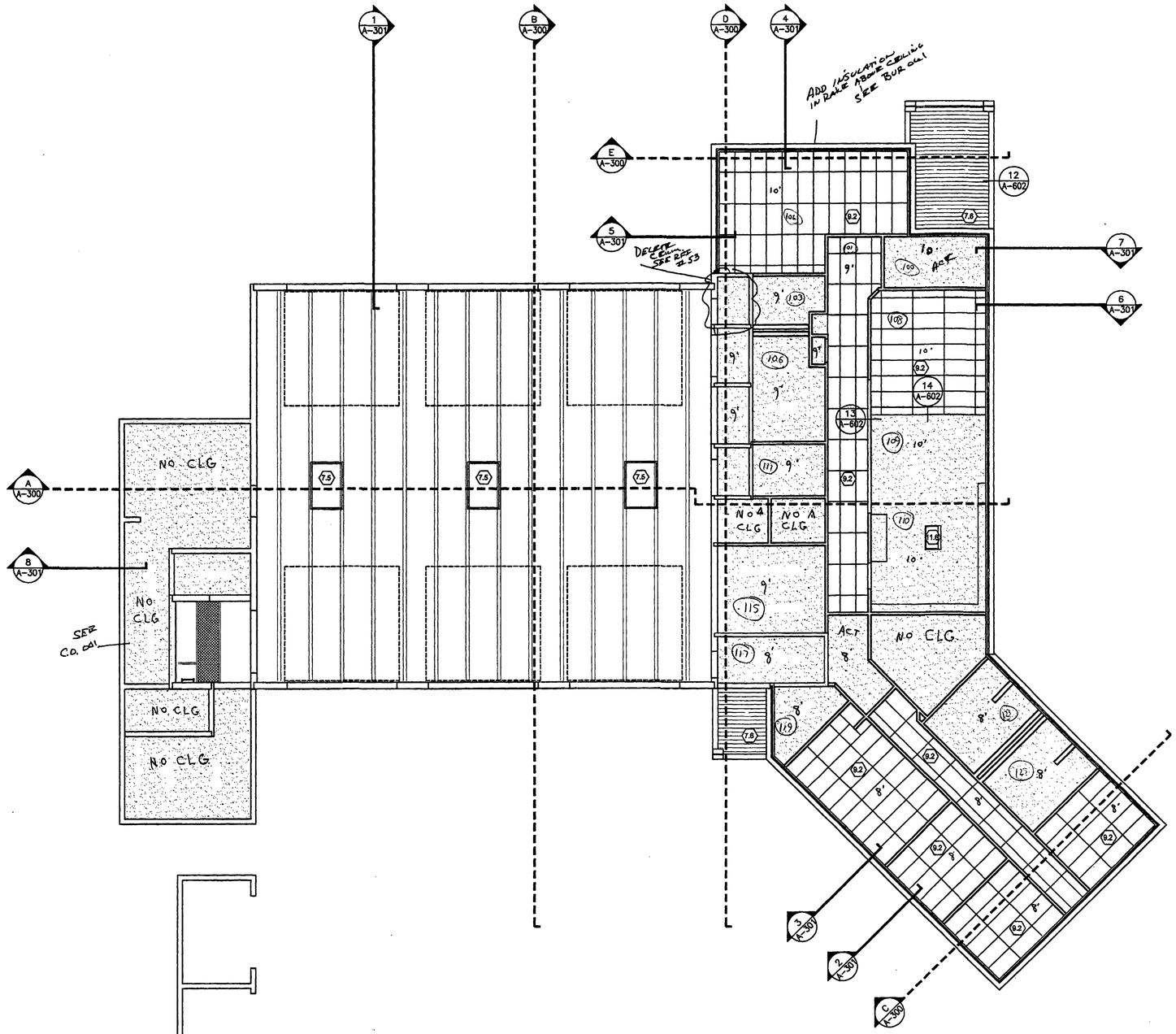
MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-101.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
FLOOR PLAN

A-101

09104820.TIF



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

NOTES

- SUSPENDED ACOUSTIC GRID CEILING
- GYP. BD. –PT.
- PREFIN. ALUMINUM SOFFIT

1. COORDINATE LIGHT LOCATIONS WITH ELECTRICAL DRAWINGS
2. COORDINATE DIFFUSER AND RETURN GRILLE LOCATIONS WITH MECHANICAL DRAWINGS
3. WHERE POSSIBLE, CENTER LIGHTS AND DIFFUSERS IN ACOUSTIC GRID OR CENTER OF ROOM.
4. CENTER SPRINKLER HEADS IN ACOUSTIC GRID.
5. CEILING HEIGHTS AND FINISHES CALLED OUT IN ROOM FINISH SCHEDULE.

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
4.4	PRECAST CONCRETE HEAD AND/OR SILL, SEE DETAILS ON A601 - SEE SPECIFICATION NO. 03450
5.1	PRE-FABRICATED STEEL TRENCH DRAIN GRATE - SEE SPECIFICATION NO. 05500
7.1	STANDING SEAM MTL ROOF - SEE SPECIFICATION NO. 07411
7.2	60 MIL FULLY ADHERED EPDM MEMBRANE ON FIBER COVER BOARD OVER RIGID INSULATION - SEE SPECIFICATION NO. 07531
7.3	PRE-FINISHED MTL FLASHING AND TRIM - SEE SPECIFICATION NO. 07620
7.4	PRE-FINISHED MTL GUTTER, CONDUCTOR, OVERFLOW SCUPPER AND DOWNSPOUT - SEE SPECIFICATION NO. 07715
7.5	PRE-FABRICATED UNIT SKYLIGHT - SEE SPECIFICATION NO. 07820?
7.6	ALUMINUM SOFFIT - SEE SPECIFICATION NO. 07715
9.1	PORCELAIN FLOOR TILE - SEE SPECIFICATION NO. 09300
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9.3	CARPET - COLOR TO BE SPECIFIED BY ARCHITECT - SEE SPECIFICATION NO. 09680
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10.3	(18) PRE-FINISHED METAL BUNKER GEAR STORAGE UNITS - SEE SPECIFICATION NO. 10510
10.4	18" DEEP STAINLESS STEEL WIRE RACK AT 6'-0" AFF, VERIFY LENGTH IN FIELD - SEE SPECIFICATION NO. 10670
11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
11.3	COMMERIAL RANGE AND OVEN - SEE SPECIFICATION NO. 11451
11.4	CLOTHES WASHING MACHINE AND DRYER - SEE SPECIFICATION NO. 11451
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11.6	KITCHEN EXHAUST HOOD - SEE SPECIFICATION NO. 11451
11.7	EXTRACTOR- BY OWNER ON 6" CONCRETE HOUSEKEEPING PAD - BY CONTRACTORWNER
11.8	18" UNDER COUNTER MOUNTED ICE MAKER - SEE SPECIFICATION NO. 11451
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15.2	STAINLESS STEEL KITCHEN SINK - SEE SPECIFICATION NO. 15440
15.3	FOLD AWAY WALL FAUCET - SEE MECHANICAL
15.4	STAINLESS STEEL BIODECONTAMINATION SINK - SEE SPECIFICATION NO. 15440
15.5	PRE-FABRICATED PORCELAIN MOP SINK - SEE SPECIFICATION NO. 15440
15.6	ELECTRIC WATER COOLER - SEE MECHANICAL
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City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

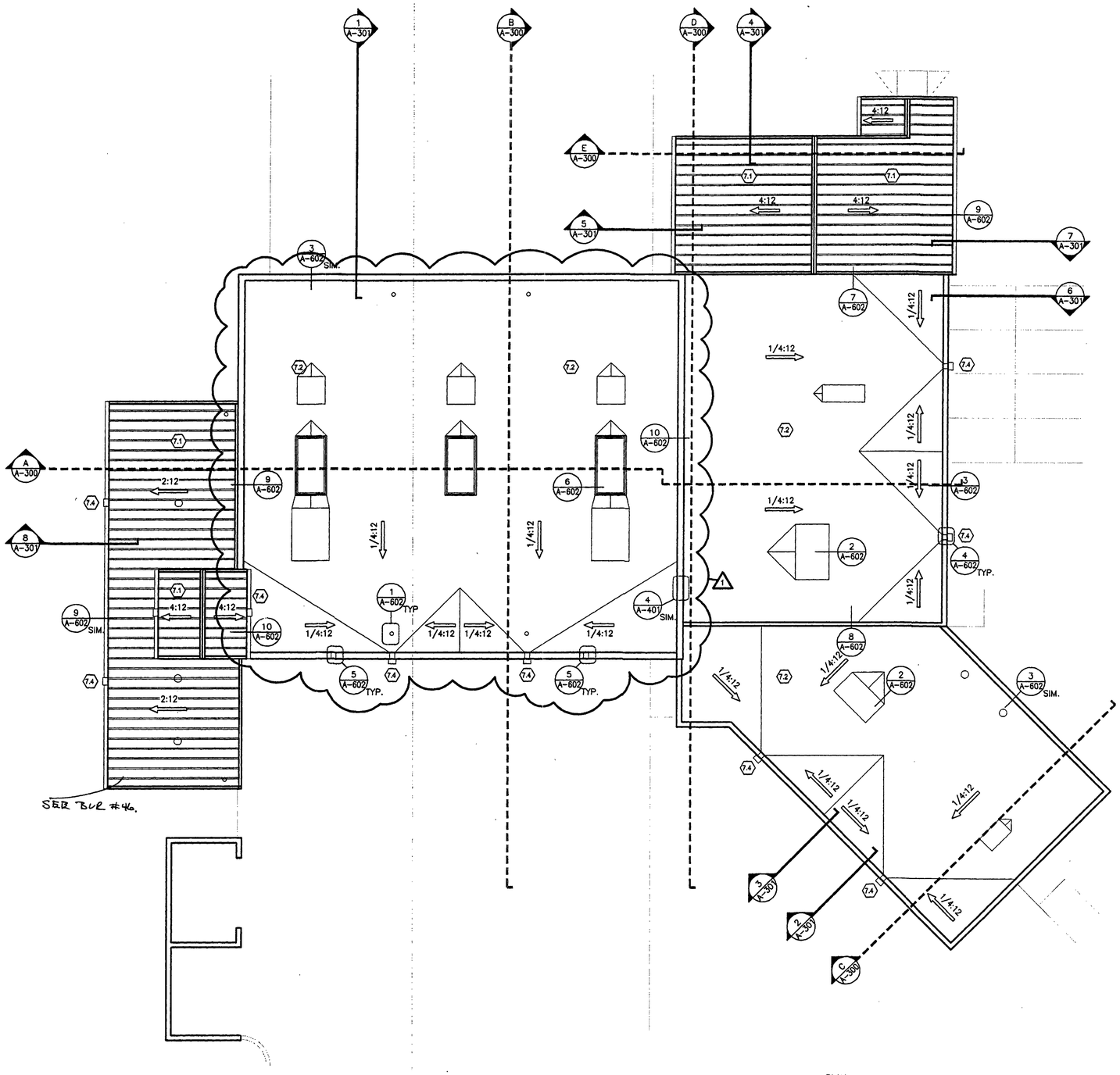
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	0503006
CAD FILE:	A–102.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
REFLECTED CEILING PLAN

A-102

09104821.TIF



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
4.4	PRECAST CONCRETE HEAD AND/OR SILL, SEE DETAILS ON A601 - SEE SPECIFICATION NO. 03450
5.1	PRE-FABRICATED STEEL TRENCH DRAIN GRATE - SEE SPECIFICATION NO. 05500
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7.2	60 MIL FULLY ADHERED EPDM MEMBRANE ON FIBER COVER BOARD OVER RIGID INSULATION - SEE SPECIFICATION NO. 07531
7.3	PRE-FINISHED MTL FLASHING AND TRIM - SEE SPECIFICATION NO. 07620
7.4	PRE-FINISHED MTL GUTTER, CONDUCTOR, OVERFLOW SCUPPER AND DOWNSPOUT - SEE SPECIFICATION NO. 07715
7.5	PRE-FABRICATED UNIT SKYLIGHT - SEE SPECIFICATION NO. 078207
7.6	ALUMINUM SOFFIT - SEE SPECIFICATION NO. 07715
9.1	PORCELAIN FLOOR TILE - SEE SPECIFICATION NO. 09300
9.2	2x4 ACOUSTIC CEILING TILE & GRID - SEE SPECIFICATION NO. 09511
9.3	CARPET - COLOR TO BE SPECIFIED BY ARCHITECT - SEE SPECIFICATION NO. 09680
10.1	4'x4' ERASABLE MARKER BOARD - TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.2	4'x4' CORK TACK BOARD, TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
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10.4	18" DEEP STAINLESS STEEL WIRE RACK AT 6'-0" AFF, VERIFY LENGTH IN FIELD - SEE SPECIFICATION NO. 10670
11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
11.3	COMMERIAL RANGE AND OVEN - SEE SPECIFICATION NO. 11451
11.4	CLOTHES WASHING MACHINE AND DRYER - SEE SPECIFICATION NO. 11451
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11.7	EXTRACTOR- BY OWNER ON 6" CONCRETE HOUSEKEEPING PAD - BY CONTRACTORWNER
11.8	18" UNDER COUNTER MOUNTED ICE MAKER - SEE SPECIFICATION NO. 11461
15.1	3'x4' PRE-FABRICATED TERRAZO SHOWER BASIN - SEE SPECIFICATION NO. 15410
15.2	STAINLESS STEEL KITCHEN SINK - SEE SPECIFICATION NO. 15440
15.3	FOLD AWAY WALL FAUCET - SEE MECHANICAL
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Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

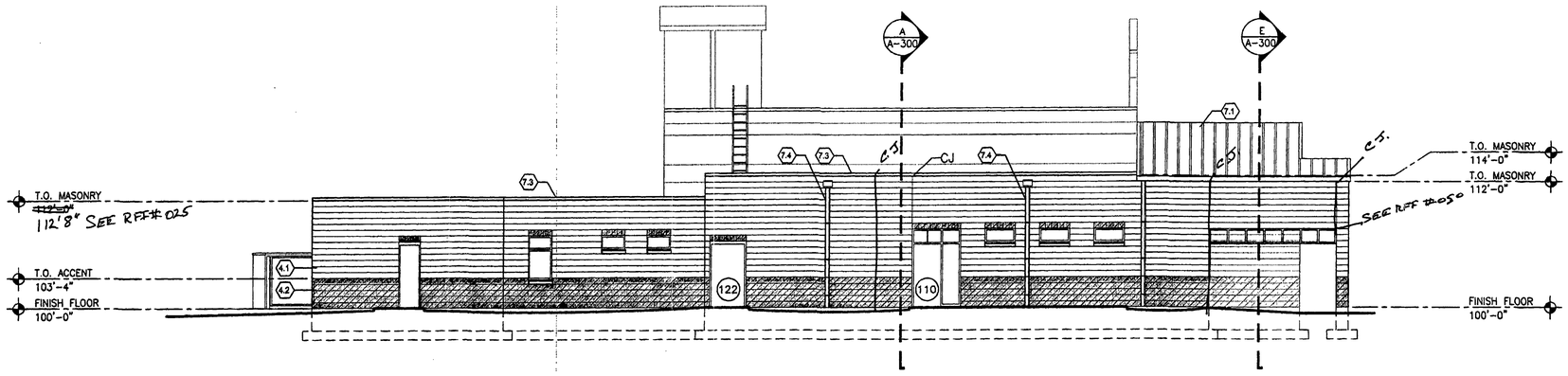
PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:

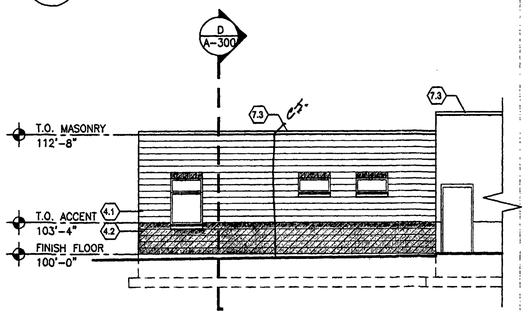
ROOF PLAN

A-103

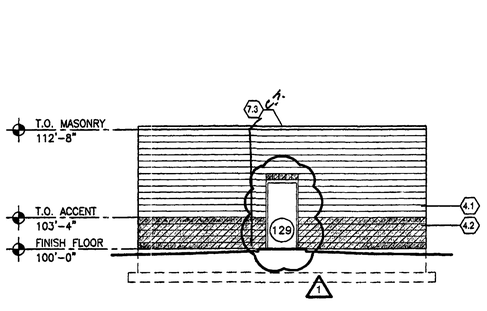
091048122TIF



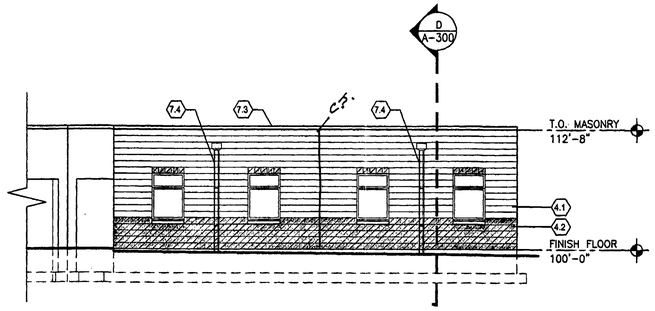
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



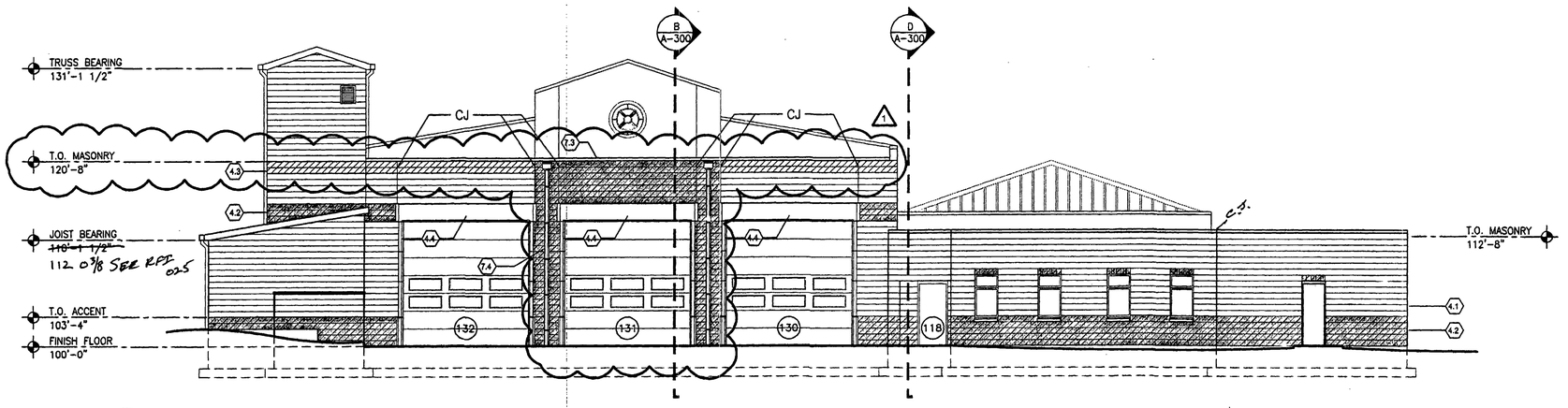
2 NORTHEAST ELEVATION (SLEEPING WING)
SCALE: 1/8" = 1'-0"



2 SOUTHEAST ELEVATION (SLEEPING WING)
SCALE: 1/8" = 1'-0"



2 SOUTHWEST ELEVATION (SLEEPING WING)
SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
4.4	PRECAST CONCRETE HEAD AND/OR SILL, SEE DETAILS ON A601 - SEE SPECIFICATION NO. 03450
6.1	PRE-FABRICATED STEEL TRENCH DRAIN GRATE - SEE SPECIFICATION NO. 05500
7.1	STANDING SEAM MTL ROOF - SEE SPECIFICATION NO. 07411
7.2	60 MIL FULLY ADHERED EPDM MEMBRANE ON FIBER COVER BOARD OVER RIGID INSULATION - SEE SPECIFICATION NO. 07531
7.3	PRE-FINISHED MTL FLASHING AND TRIM - SEE SPECIFICATION NO. 07620
7.4	PRE-FINISHED MTL GUTTER, CONDUCTOR, OVERFLOW SCUPPER AND DOWNSPOUT - SEE SPECIFICATION NO. 07715
7.5	PRE-FABRICATED UNIT SKYLIGHT - SEE SPECIFICATION NO. 07820?
7.6	ALUMINUM SOFFIT - SEE SPECIFICATION NO. 07715
9.1	PORCELAIN FLOOR TILE - SEE SPECIFICATION NO. 09300
9.2	2x4 ACOUSTIC CEILING TILE & GRID - SEE SPECIFICATION NO. 09511
9.3	CARPET - COLOR TO BE SPECIFIED BY ARCHITECT - SEE SPECIFICATION NO. 09680
10.1	4'x4' ERASABLE MARKER BOARD - TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.2	4'x4' CORK TACK BOARD, TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.3	(18) PRE-FINISHED METAL BUNKER GEAR STORAGE UNITS - SEE SPECIFICATION NO. 10510
10.4	18" DEEP STAINLESS STEEL WIRE RACK AT 6'-0" AFF, VERIFY LENGTH IN FIELD - SEE SPECIFICATION NO. 10670
11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
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15.2	STAINLESS STEEL KITCHEN SINK - SEE SPECIFICATION NO. 15440
15.3	FOLD AWAY WALL FAUCET - SEE MECHANICAL
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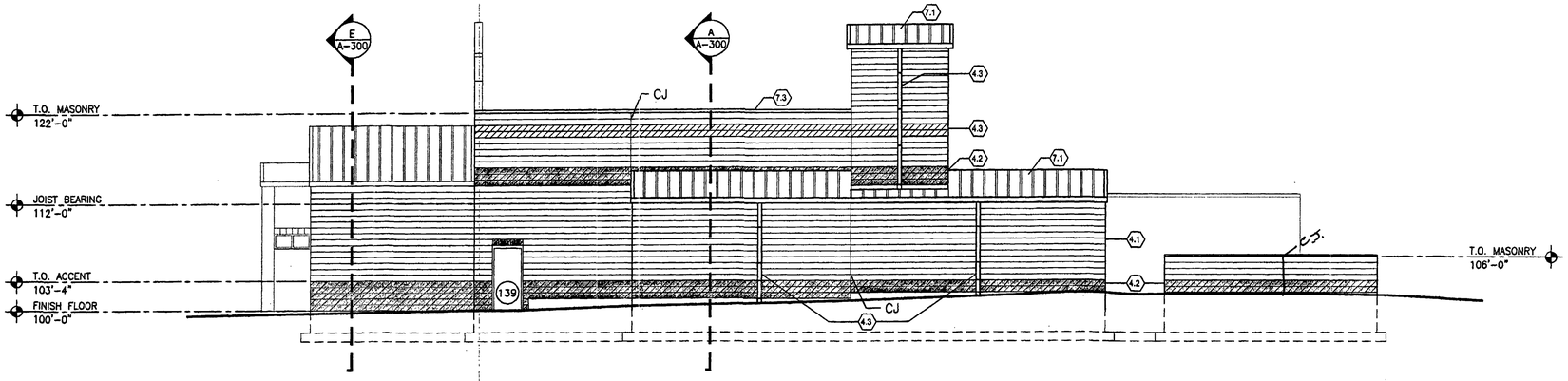
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

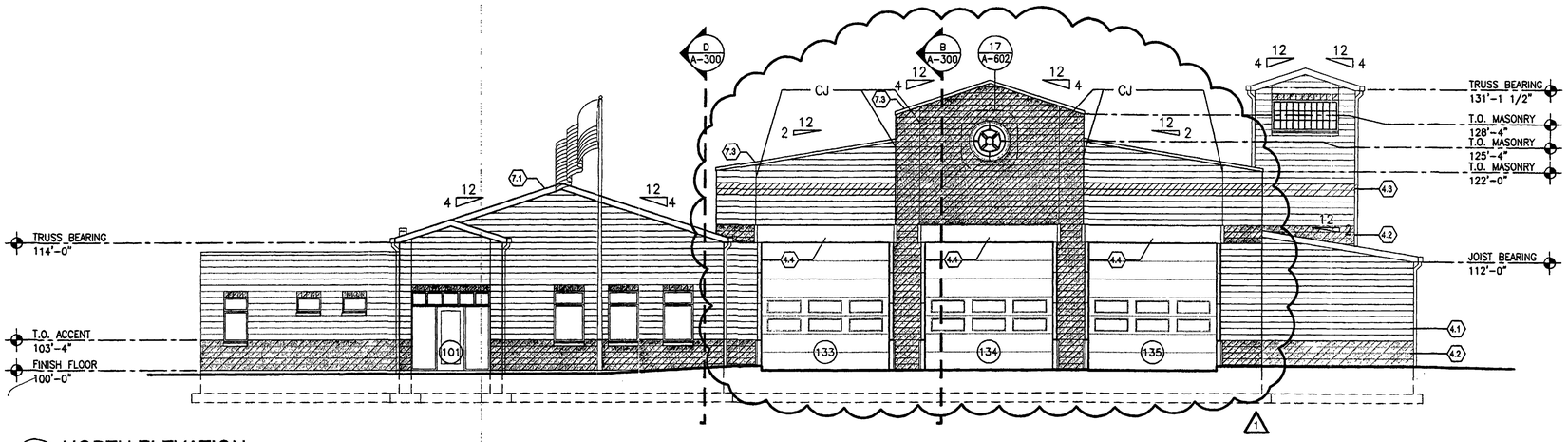
SHEET TITLE:
BUILDING ELEVATIONS

A-200

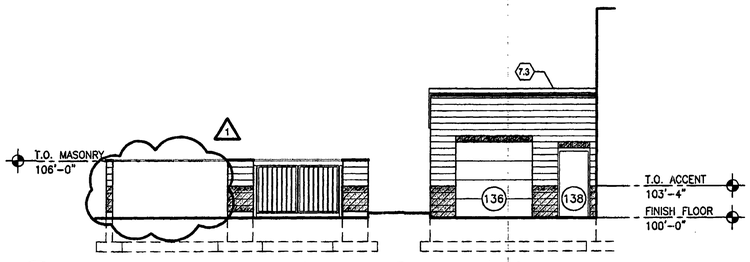
091048123.TIF



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION (APPARATUS WING)
SCALE: 1/8" = 1'-0"

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
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11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
11.3	COMMERIAL RANGE AND OVEN - SEE SPECIFICATION NO. 11451
11.4	CLOTHES WASHING MACHINE AND DRYER - SEE SPECIFICATION NO. 11451
11.5	(2) MICROWAVES - SEE SPECIFICATION NO. 11451
11.6	KITCHEN EXHAUST HOOD - SEE SPECIFICATION NO. 11451
11.7	EXTRACTOR- BY OWNER ON 6" CONCRETE HOUSEKEEPING PAD - BY CONTRACTORWNER
11.8	18" UNDER COUNTER MOUNTED ICE MAKER - SEE SPECIFICATION NO. 11451
15.1	3'x4' PRE-FABRICATED TERRAZO SHOWER BASIN - SEE SPECIFICATION NO. 15410
15.2	STAINLESS STEEL KITCHEN SINK - SEE SPECIFICATION NO. 15440
15.3	FOLD AWAY WALL FAUCET - SEE MECHANICAL
15.4	STAINLESS STEEL BIODECONTAMINATION SINK - SEE SPECIFICATION NO. 15440
15.5	PRE-FABRICATED PORCELAIN MOP SINK - SEE SPECIFICATION NO. 15440
15.6	ELECTRIC WATER COOLER - SEE MECHANICAL
15.7	STAINLESS STEEL UTILITY SINK - SEE SPECIFICATION NO. 15440
15.8	PORCELAIN UTILITY SINK - SEE SPECIFICATION NO. 15440
16.1	911 EMERGENCY PHONE BOX - COORDINATE WITH OWNER

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Architecture
Engineering
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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

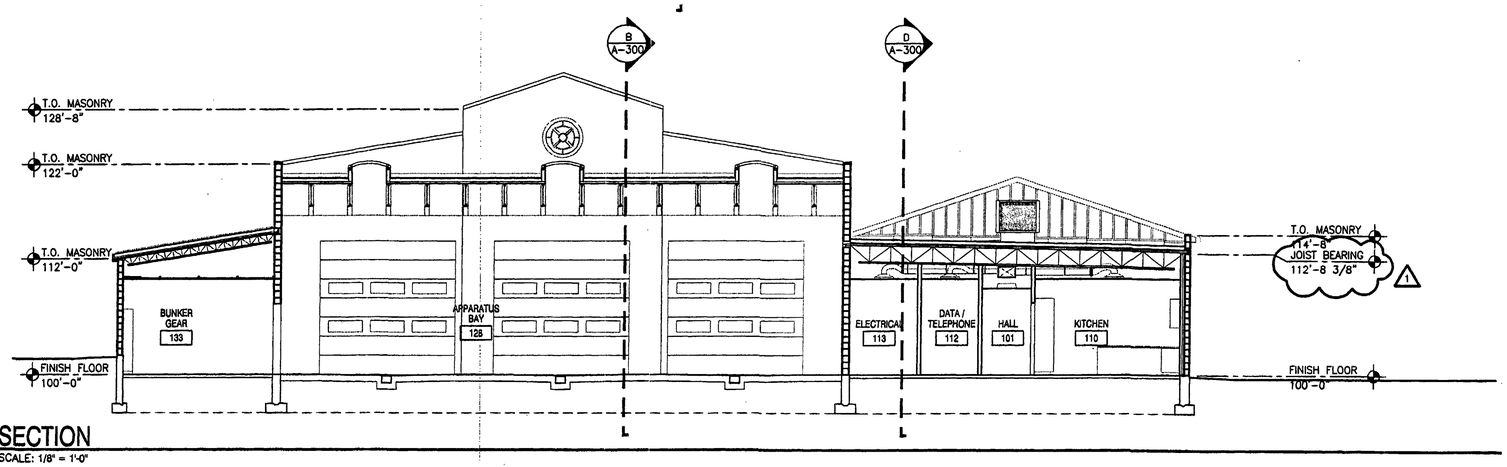
MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

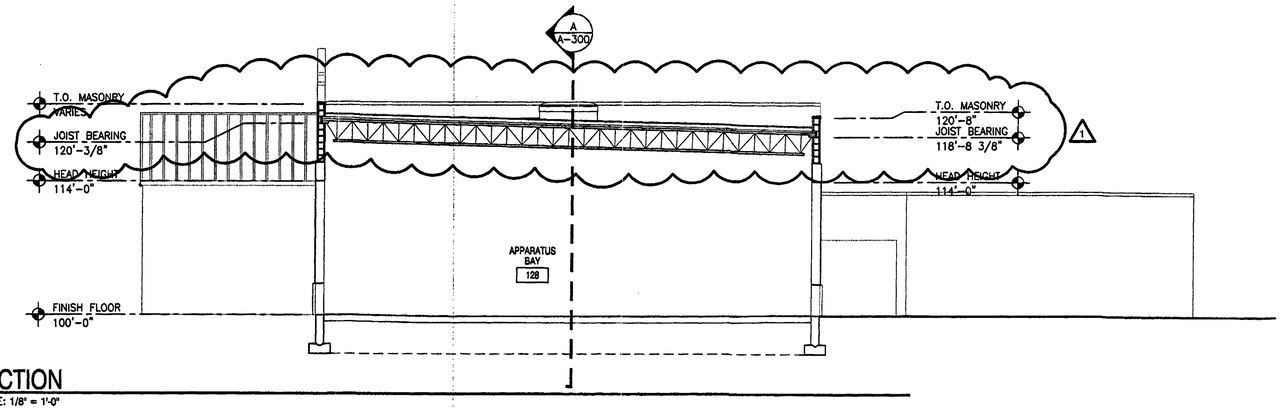
SHEET TITLE:
BUILDING ELEVATIONS

A-201

091048124.TIF



A SECTION
SCALE: 1/8" = 1'-0"



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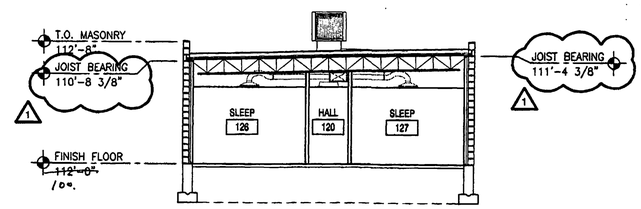

C SECTION
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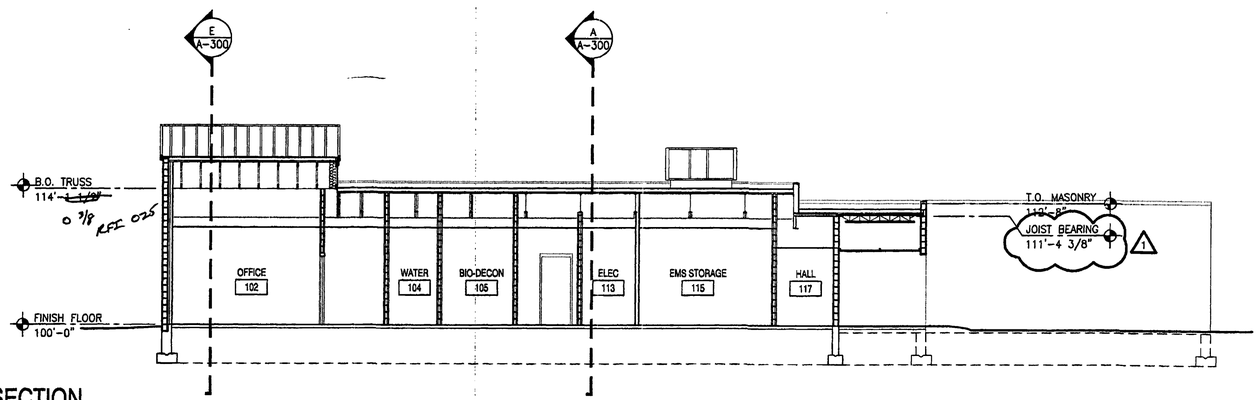

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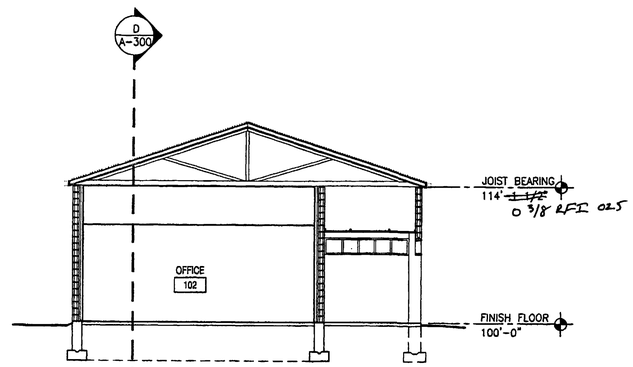

E SECTION
SCALE: 1/8" = 1'-0"

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Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

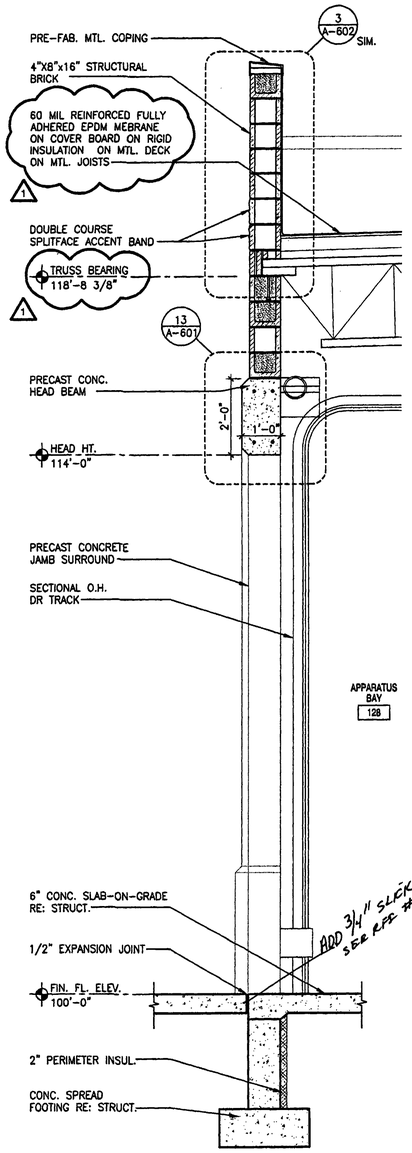
MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

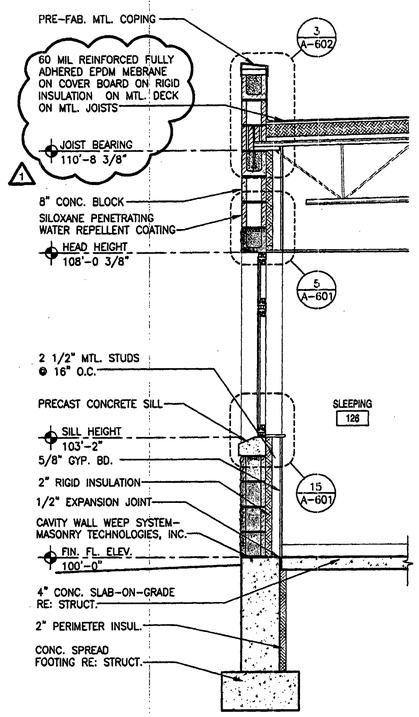
SHEET TITLE:
BUILDING SECTIONS

A-300

091048125.TIF



1 WALL SECTION
SCALE: 1/2" = 1'-0"



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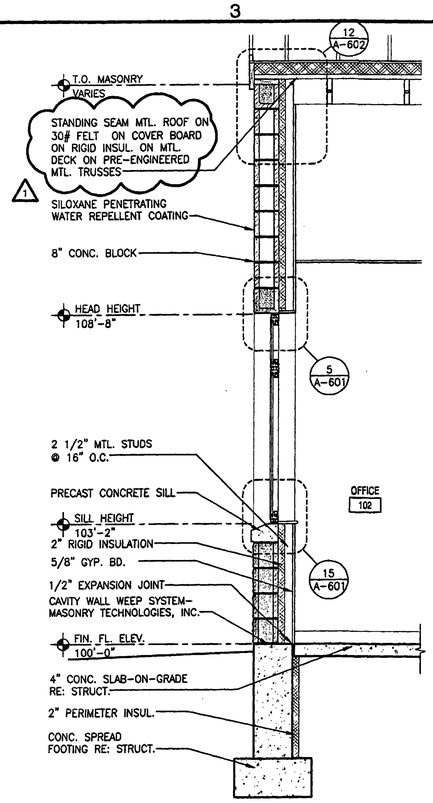
SCALE: 1/2" = 1'-0"



4 WALL SECTION
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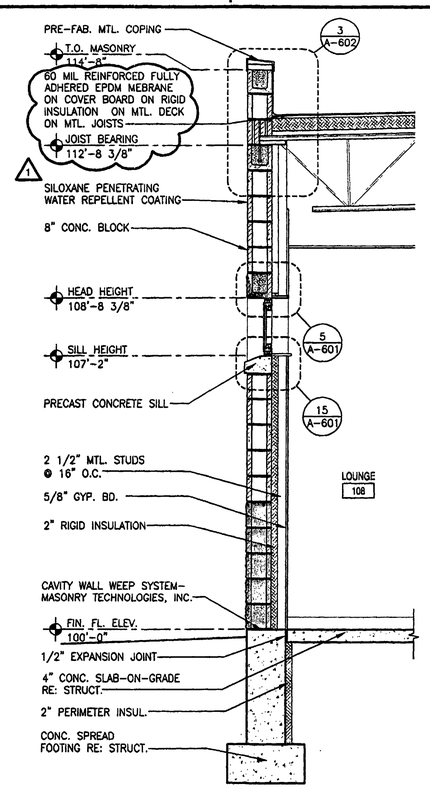
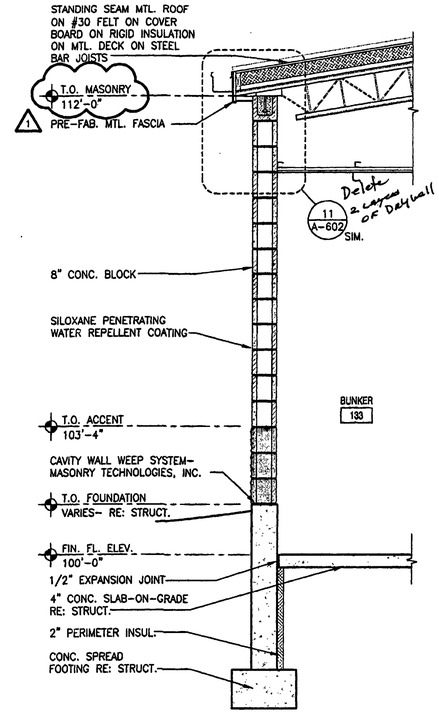
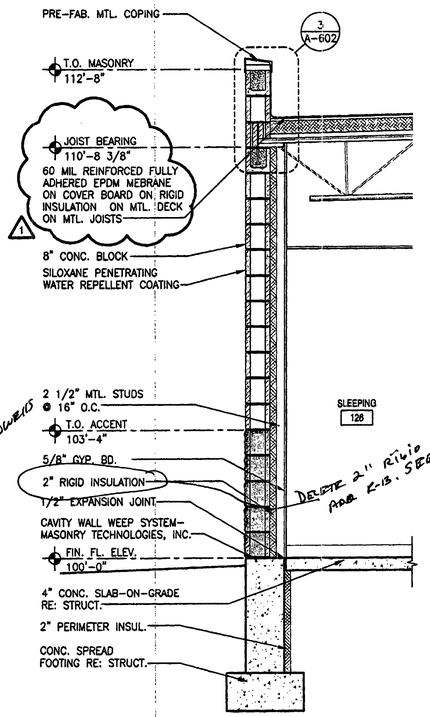


6 WALL SECTION
SCALE: 1/2" = 1'-0"



8 WALL SECTION
SCALE: 1/2" = 1'-0"



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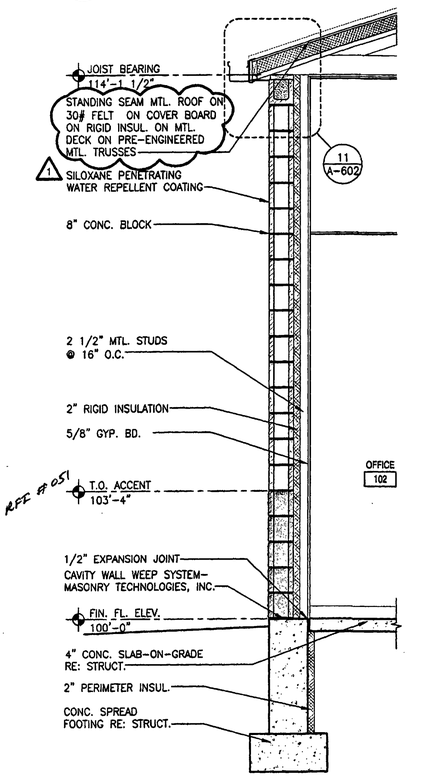
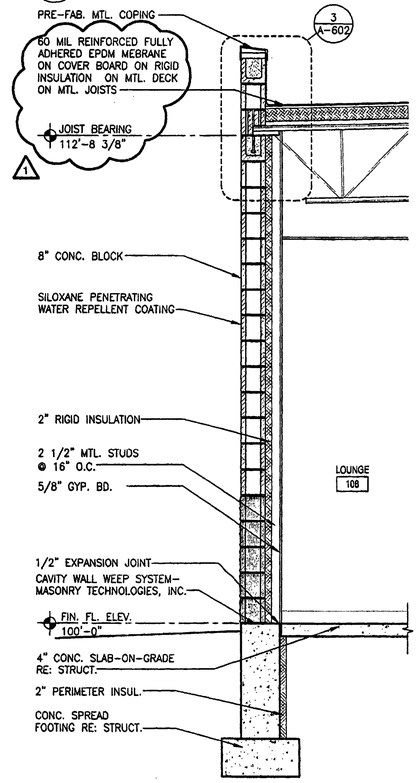
SCALE: 1/2" = 1'-0"



5 WALL SECTION
SCALE: 1/2" = 1'-0"



7 WALL SECTION
SCALE: 1/2" = 1'-0"

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

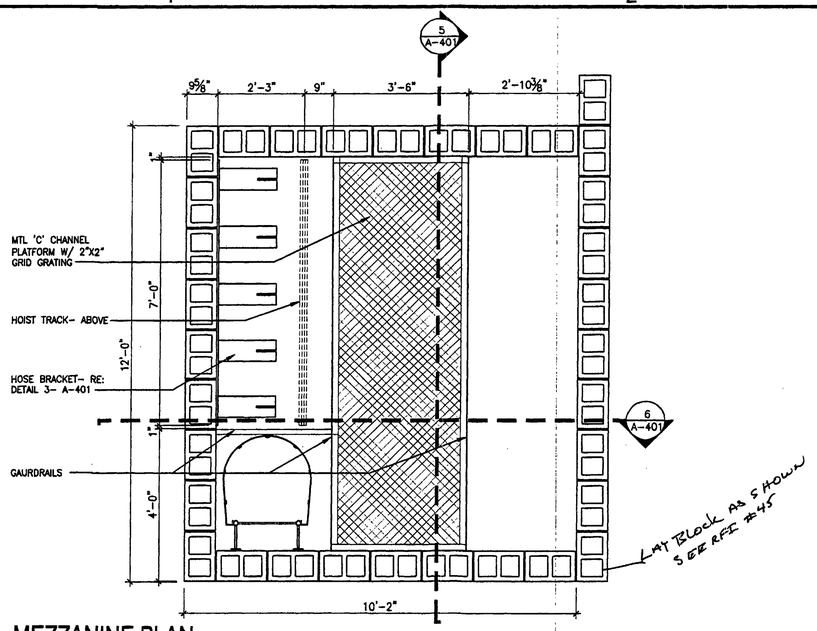
MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
WALL SECTIONS

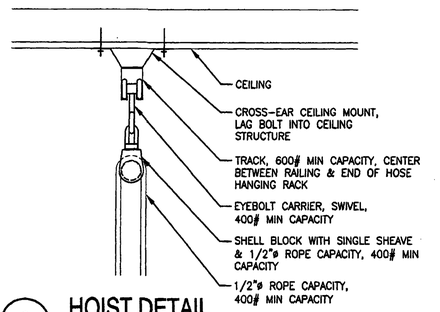
A-301

091048126.TIF



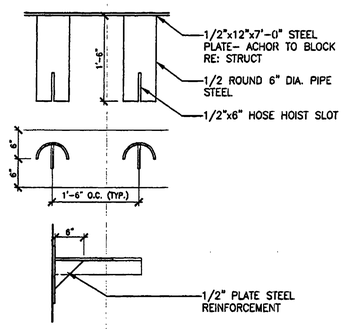
1 MEZZANINE PLAN

Scale: 1/2" = 1'-0"



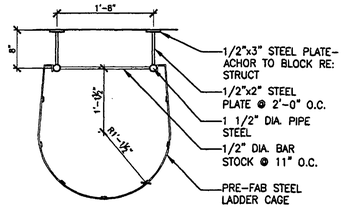
2 HOIST DETAIL

Scale: 1 1/2" = 1'-0"



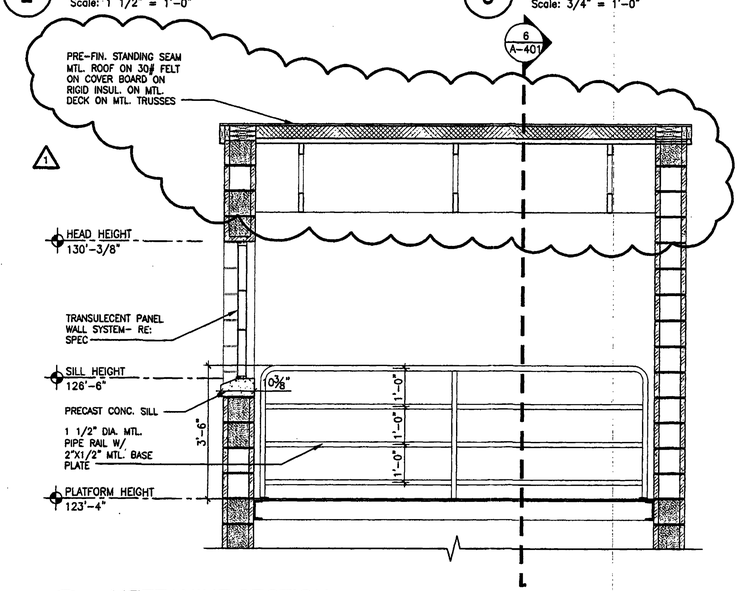
3 HOSE BRACKET DETAIL

Scale: 3/4" = 1'-0"



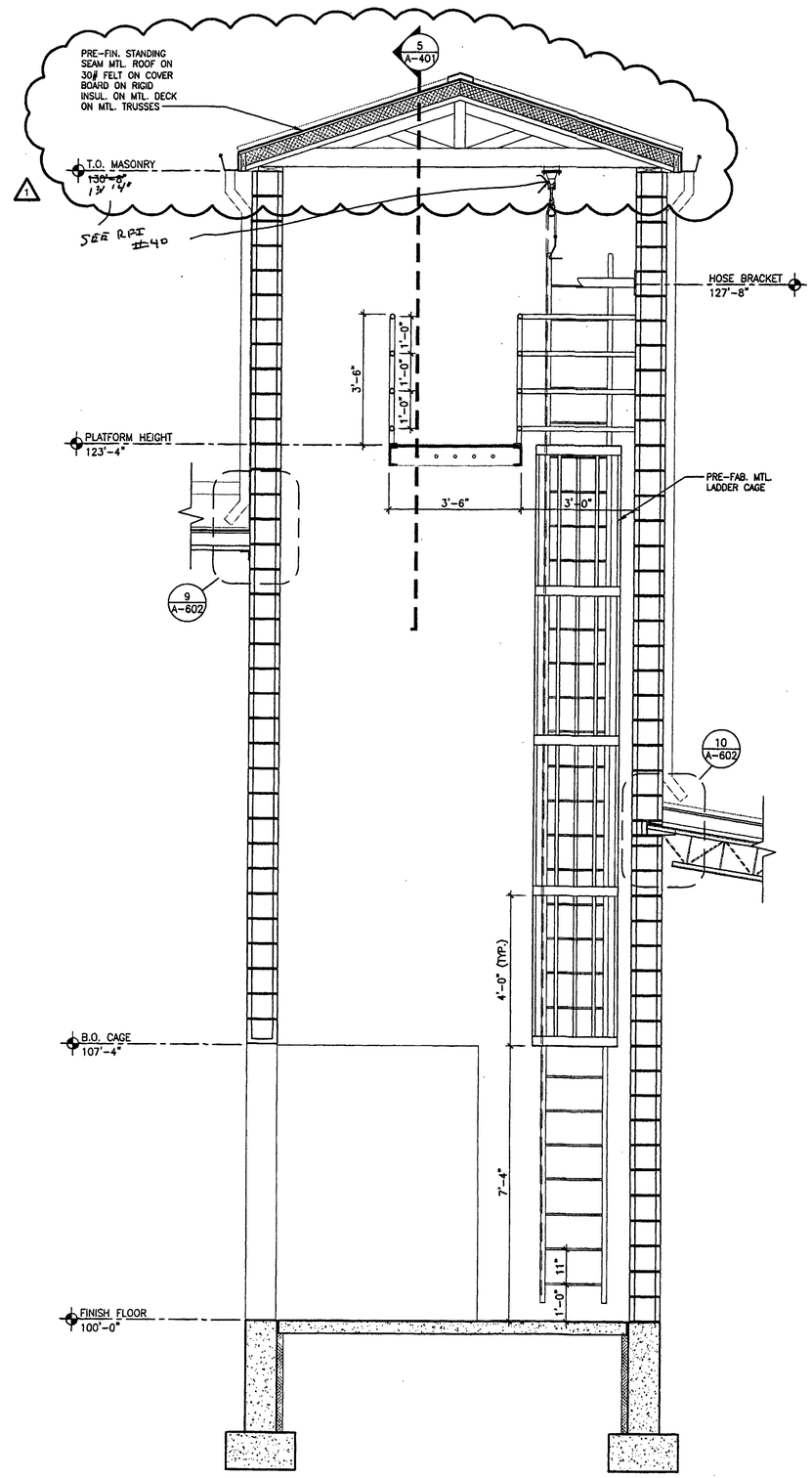
4 LADDER CAGE DETAIL

Scale: 3/4" = 1'-0"



5 MEZZANINE SECTION

Scale: 1/2" = 1'-0"



5 MEZZANINE SECTION

Scale: 1/2" = 1'-0"

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MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

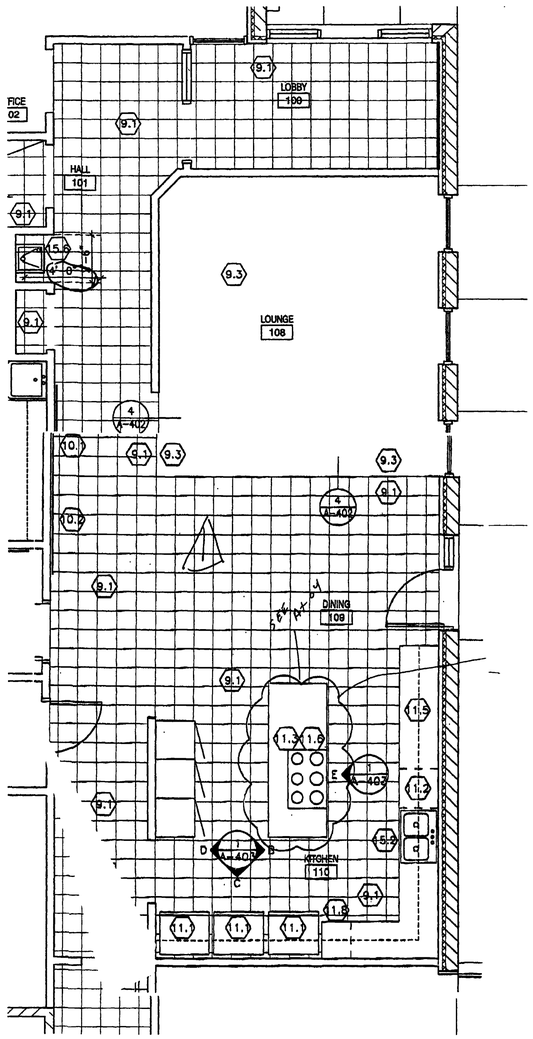
PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:

MEZZANINE PLAN, SECTION AND DETAILS

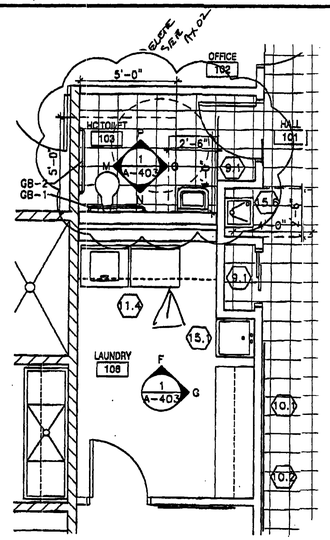
A-401

091048127.TIF



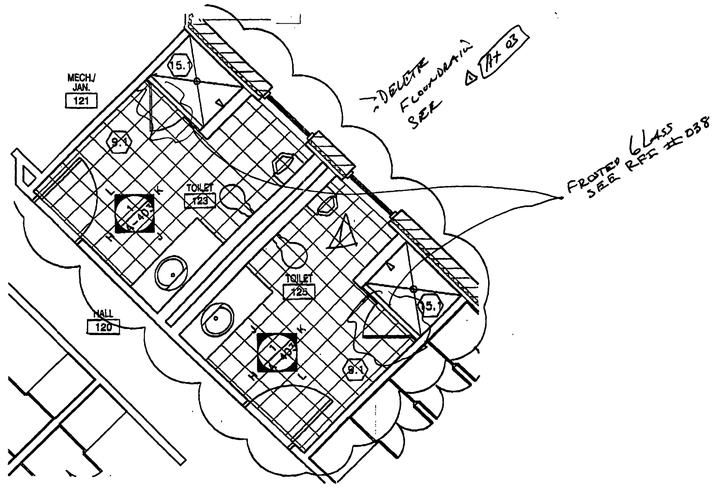
1 LOBBY / LOUNGE /KITCHEN / DINING ENLARGED FLOOR PLANS

Scale: 1/4" = 1'-0"



2 ADA ACCESSIBLE TOILET / LAUNDRY ENLARGED FLOOR PLANS

Scale: 1/4" = 1'-0"



3 RESIDENT TOILET ENLARGED FLOOR PLANS

Scale: 1/4" = 1'-0"

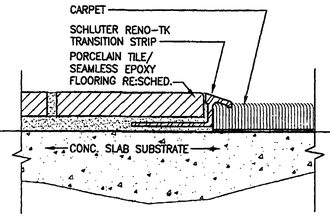
25A-B618

3-10-04

Message:
Per the Owner, the 6" x 8" cove base is approved at the Redlands Fire Station. Also, at the bathrooms, the 4" x 4" tile is to sit on top of the 6" x 8" cove base and at these locations, take the floor grout color up to the top of the cove base and then from there it will be the wall grout color.

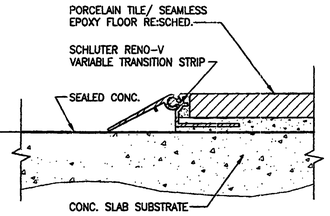
1 KITCHEN ENLARGED FLOOR PLAN

Scale: 1/4" = 1'-0"



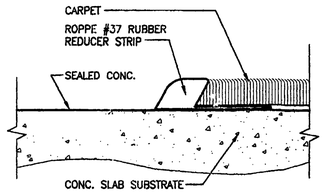
4 CARPET/ TILE TRANSITION DETAIL

Scale: FULL SCALE



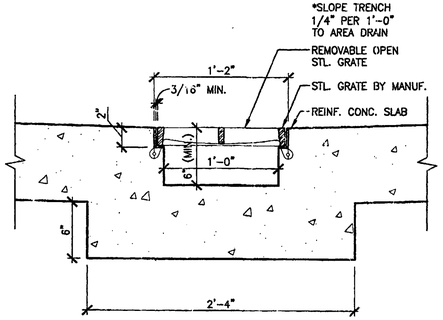
5 TILE/ CONCRETE TRANSITION DETAIL

Scale: FULL SCALE



6 CARPET/ CONC. TRANSITION DETAIL

Scale: FULL SCALE



7 TRENCH DRAIN DETAIL

Scale: 1 1/2"=1'-0"

Keynotes

4.1	GROUND FACE CONCRETE BLOCK - SEE SPECIFICATION NO. 04810
4.2	SPLIT FACE CONCRETE BLOCK, ACCENT COLOR - SEE SPECIFICATION NO. 04810
4.3	SPLIT FACE CONCRETE BLOCK, ACCENT BAND - SEE SPECIFICATION NO. 04810
4.4	PRECAST CONCRETE HEAD AND/OR SILL, SEE DETAILS ON A601- SEE SPECIFICATION NO. 03450
5.1	PRE-FABRICATED STEEL TRENCH DRAIN GRATE - SEE SPECIFICATION NO. 05500
7.1	STANDING SEAM MTL ROOF - SEE SPECIFICATION NO. 07411
7.2	60 MIL FULLY ADHERED EPDM MEMBRANE ON FIBER COVER BOARD OVER RIGID INSULATION - SEE SPECIFICATION NO. 07531
7.3	PRE-FINISHED MTL FLASHING AND TRIM - SEE SPECIFICATION NO. 07620
7.4	PRE-FINISHED MTL GUTTER, CONDUCTOR, OVERFLOW SCUPPER AND DOWNSPOUT - SEE SPECIFICATION NO. 07715
7.5	PRE-FABRICATED UNIT SKYLIGHT - SEE SPECIFICATION NO. 07820?
7.6	ALUMINUM SOFFIT - SEE SPECIFICATION NO. 07715
9.1	PORCELAIN FLOOR TILE - SEE SPECIFICATION NO. 09300
9.2	2x4 ACOUSTIC CEILING TILE & GRID - SEE SPECIFICATION NO. 09511
9.3	CARPET - COLOR TO BE SPECIFIED BY ARCHITECT - SEE SPECIFICATION NO. 09680
10.1	4'x4' ERASABLE MARKER BOARD - TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.2	4'x4' CORK TACK BOARD, TO BOARD AT 7'-0" AFF - SEE SPECIFICATION NO. 10100
10.3	(18) PRE-FINISHED METAL BUNKER GEAR STORAGE UNITS - SEE SPECIFICATION NO. 10510
10.4	18" DEEP STAINLESS STEEL WIRE RACK AT 6'-0" AFF, VERIFY LENGTH IN FIELD - SEE SPECIFICATION NO. 10670
11.1	(3) REFRIGERATOR - SEE SPECIFICATION NO. 11451
11.2	DISHWASHER - SEE SPECIFICATION NO. 11451
11.3	COMMERIAL RANGE AND OVEN - SEE SPECIFICATION NO. 11451
11.4	CLOTHES WASHING MACHINE AND DRYER - SEE SPECIFICATION NO. 11451
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CONSULTANTS:

MARK	DATE	DESCRIPTION

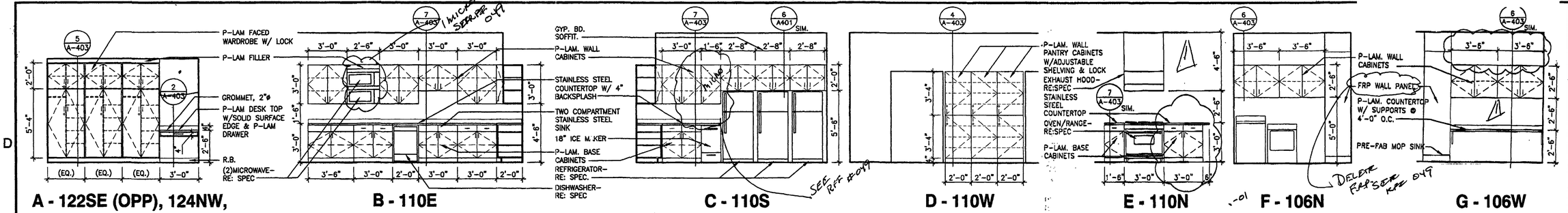
PROJECT NUMBER: 0503006
CAD FILE: A-103.DWG
DRAWN BY: JLR
CHECK BY: DWC

PROJECT TITLE:
City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

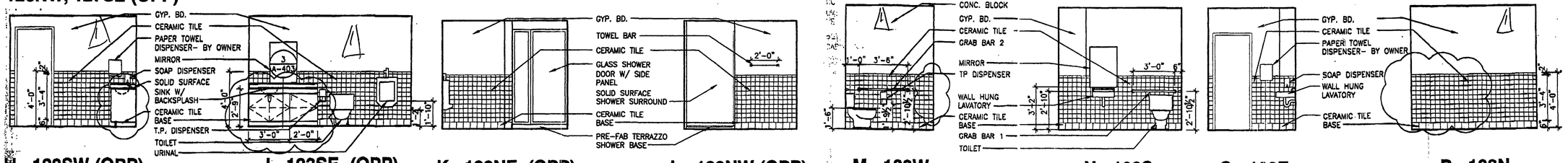
SHEET TITLE:
ENLARGED FLOOR PLANS AND DETAILS

A-402

091048128.TIF

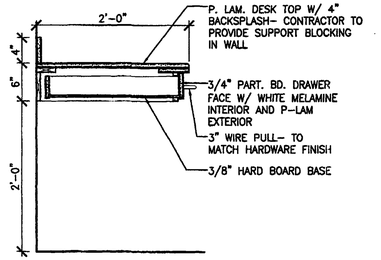


A - 122SE (OPP), 124NW, 126NW, 127SE (OPP) **B - 110E** **C - 110S** **D - 110W** **E - 110N** **F - 106N** **G - 106W**

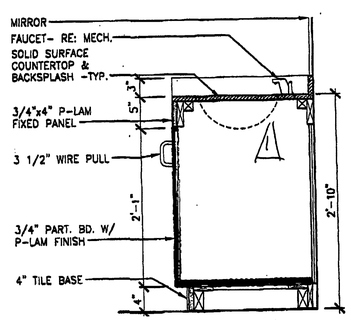


H - 123SW (OPP), 125 SW **J - 123SE (OPP), 125 NW** **K - 123NE (OPP), 125 NE** **L - 123NW (OPP) 125 NW** **M - 103W** **N - 103S** **O - 103E** **P - 103N**

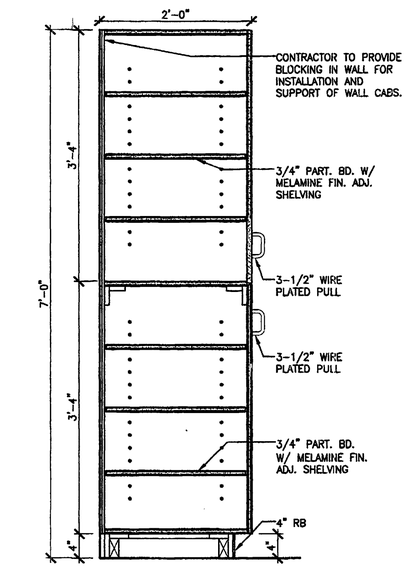
1 INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"



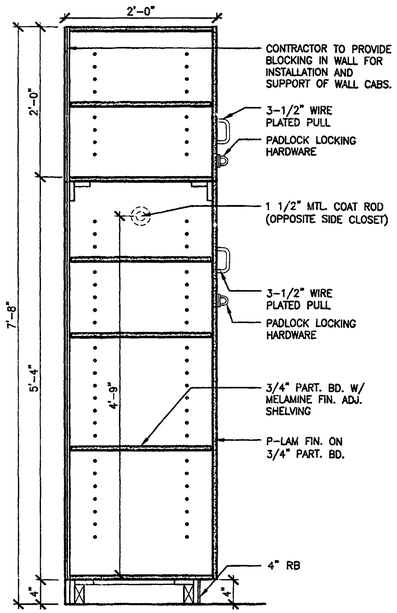
2 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



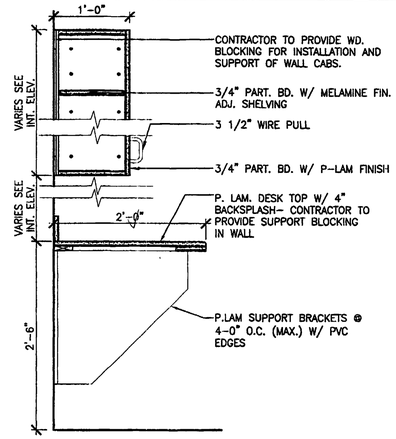
3 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



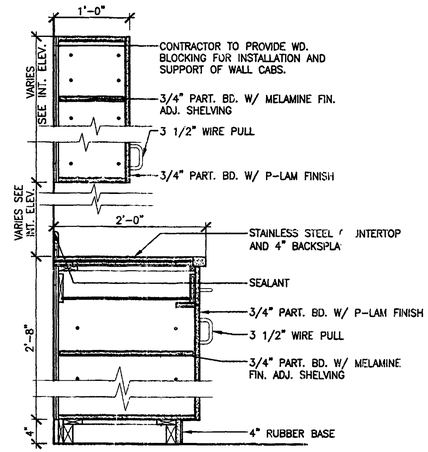
4 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



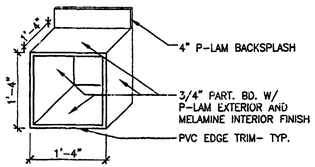
5 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



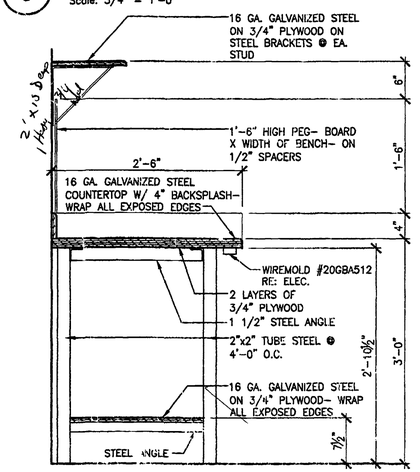
6 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



7 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



8 CASEWORK DETAIL
Scale: 3/4" = 1'-0"



9 CASEWORK DETAIL
Scale: 1/2" = 1'-0"

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

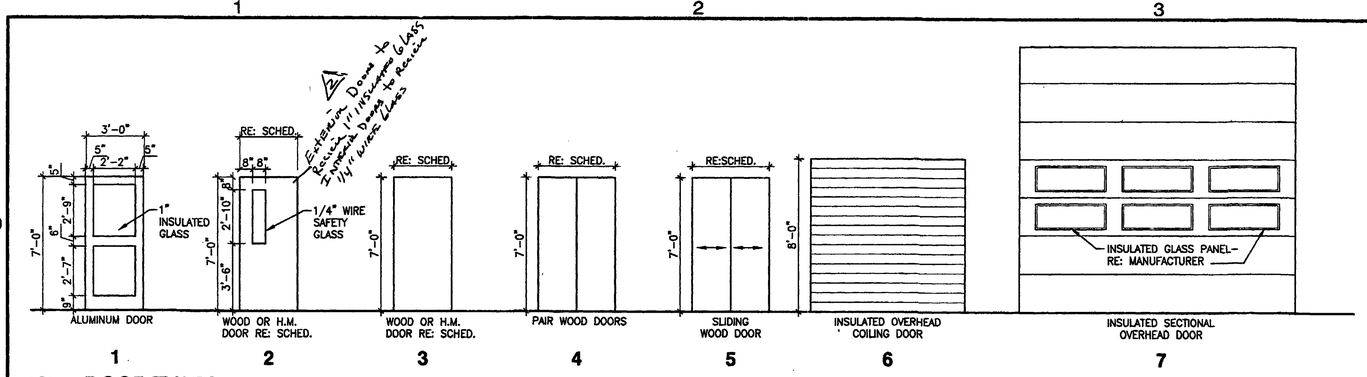
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	0503006
CAD FILE:	A-103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
INTERIOR ELEVATIONS AND DETAILS

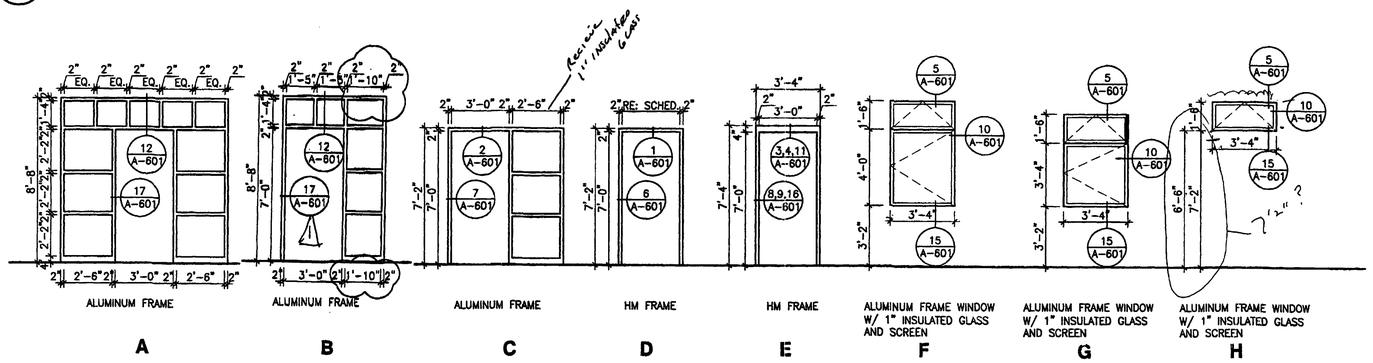
A-403

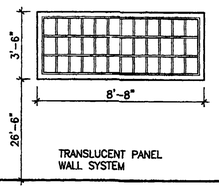
091048129.TIF



1 DOOR TYPES

Scale: 1/4" = 1'-0"





Sheet A-501: CLARIFICATION:

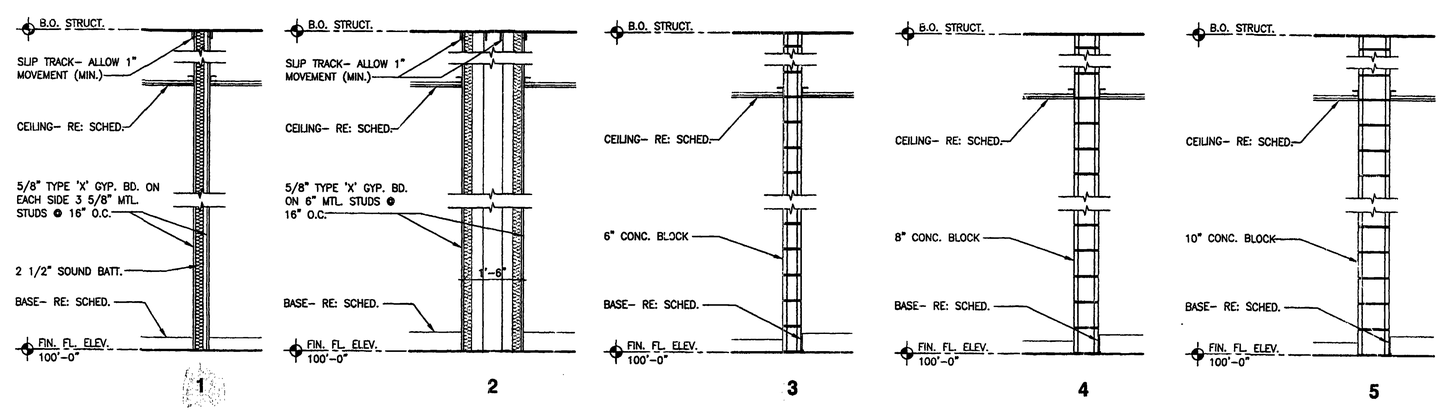
a. Door Type 2: Exterior doors to receive 1" insulated glass. Interior Doors to receive ¼ wire safety glass.

b. Frame Type C: To receive 1" insulated glass

c. Door 101 and Door 102 both receive keypad entry. Vestibule is to provide area for secure delivery without access to building.

2 FRAME TYPES

Scale: 1/4" = 1'-0"



3 WALL TYPES

Scale: 1/2" = 1'-0"

2 Sheet A-501: CLARIFICATION: Room Finish Schedule: All areas calling for exposed structure are to receive finish paint. Follow specification requirements for painted metals.

Room Finish Schedule

ROOM	ROOM NAME	FLOOR MATERIAL	FINISH	BASE	WALLS N	WALLS E	WALLS S	WALLS W	CEILING	CEILING HEIGHT	REMARKS
100	LOBBY	CONC	PORC	PORC	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	10'-0"	
101	HALL	CONC	PORC	PORC	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	9'-0"	
102	OFFICE	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	10'-0"	
103	HC TOILET	CONC	PORC	PORC	GYP2 CMT	GYP1 CMT	GYP2 CMT	CMU CMT	GYP1 PT	9'-0"	
104	WATER SERVICE	CONC	SEALER		CMU PT	CMU PT	CMU PT	CMU PT	GYP1 PT	9'-0"	
105	BIO-DECON	CONC	SEALER		CMU EP	CMU EP	CMU EP		GYP1 EP	9'-0"	
106	LAUNDRY	CONC	SEALER	RB	GYP1 EP	GYP2 EP	GYP1 EP	CMU EP	GYP1 PT	9'-0"	
107	STORAGE	CONC	PORC	PORC	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	9'-0"	
108	LOUNGE	CONC	CPT	RB	GYP1 PT	GYP1 PT		GYP1 PT	ACT	10'-0"	
109	DINING	CONC	PORC	PORC		GYP1 PT		GYP1 PT	GYP1 PT	10'-0"	
110	KITCHEN	CONC	PORC	PORC		GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	10'-0"	
111	HALL	CONC	SEALER	RB	GYP1 PT	GYP1 PT	GYP1 PT	CMU PT	GYP1 PT	9'-0"	
112	DATA/ TELE	CONC	SEALER	RB	GYP1 PT	GYP1 PT	PLYWD PT	PLYWD PT	~~GYP1 PT~~	9'-0"	CHANGE ACT
113	ELECTRIC	CONC	SEALER	RB	PLYWD PT	PLYWD PT	GYP1 PT	CMU PT	~~GYP1 PT~~	9'-0"	CHANGE ACT
114	NOT USED										
115	EMS STORAGE	CONC	SEALER	RB	GYP1 PT	GYP1 PT	CMU PT	CMU PT	~~GYP1 PT~~	9'-0"	ACT
116	HALL	CONC	PORC	PORC	GYP1 PT	GYP1 PT	GYP1 PT	CMU PT	ACT	8'-0"	
117	HALL	CONC	SEALER	RB	CMU PT	CMU PT	CMU PT	CMU PT	GYP1 PT	8'-0"	
118	NOT USED										
119	STORAGE	CONC	SEALER	RB	CMU PT	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	8'-0"	
120	HALL	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	8'-0"	
121	MECHANICAL/ JAN.	CONC	SEALER	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	8'-0"	
122	OFFICER'S SLEEP	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	8'-0"	
125	TOILET	CONC	PORC	PORC	GYP1 CMT	GYP2 CMT	GYP1 CMT	GYP1 CMT	GYP1 PT	8'-0"	
124	SLEEP	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	8'-0"	
125	TOILET	CONC	PORC	PORC	GYP1 CMT	GYP2 CMT	GYP1 CMT	GYP1 CMT	GYP1 PT	8'-0"	
126	SLEEP	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	8'-0"	
127	SLEEP	CONC	CPT	RB	GYP1 PT	GYP1 PT	GYP1 PT	GYP1 PT	ACT	8'-0"	
128	APPARATUS BAY	CONC	SEALER		CMU EP	CMU EP	CMU EP	CMU EP	ES	VARIES	
129	SHOP	CONC	SEALER		CMU PT	CMU PT	CMU PT	CMU PT	GYP1 PT	10'-0"	
130	SECURE STORAGE	CONC	SEALER		CMU PT	CMU PT	CMU PT	CMU PT	GYP1 PT	10'-0"	
131	HOSE	CONC	SEALER		CMU PT	CMU PT	CMU PT	CMU PT	ES	VARIES	
132	SECOND SET GEAR	CONC	SEALER		CMU PT	CMU PT	CMU PT	CMU PT	GYP1 PT	10'-0"	
133	BUNKER GEAR	CONC	SEALER		CMU PT	CMU PT	CMU EP	CMU PT	GYP1 PT	10'-0"	

* ALL FLOORING MATERIAL TRANSITIONS ARE DENOTED ON THE PLAN OR UNDER THRESHOLDS IN THE DOOR SCHEDULE.

Schedule Abbreviations of Interior Materials and Finishes

Abbreviation Legend		Abbreviation Legend	
ACT	2'x4' SUSPENDED ACOUSTICAL GRID CEILING-NON RATED	FRP	FIBERGLASS REINF. PLASTIC
CMT	CERAMIC TILE	GYP1	5/8" GYPSUM BOARD-TYPE 'X'
CMU	CONCRETE BLOCK	GYP2	5/8" GYPSUM BOARD-WATER RESISTANT
CONC	CONCRETE	PLYWD	PLYWOOD
CPT	CARPET	PORC	PORCELAIN TILE
EF	EXERCISE FLOORING	PT	PAINT
EP	EPOXY PAINT	RB	RUBBER BASE
ES	EXPOSED STRUCTURE	SEALER	CONCRETE SEALER

Door Schedule

DOOR NO.	DOOR SIZE	DOOR TYPE	DOOR MAT.	TYPE FRAME	FRAME MAT.	HDW. TYPE	HEAD/ JAMB	THRESHOLD	REMARKS
101	3'-0"x7'-0"x1 3/4"	1	AL	A	AL	2	12A601, 17A601		KEYPAD ENTRY
102	3'-0"x7'-0"x1 3/4"	1	AL	C	AL	4	2A501,7A501		KEYPAD ENTRY
103	3'-0"x7'-0"x1 3/4" WINDOW	2	WD	D	HM	11	1A601, 6A601	4 A402	
104	3'-0"x7'-0"x1 3/4" WINDOW	2	HM	E	HM	12	3A601, 8A601	6 A402	
105	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601		
106	(2)1'-4"x7'-0"x1 3/4"	5	WD	D	HM	16	1A601, 6A601		SLIDERS
107	3'-0"x7'-0"x1 3/4" WINDOW	2	WD	D	HM	7	1A601, 6A601	5 A402	
108	3'-0"x7'-0"x1 3/4"	3	HM	D	HM	7	1A601, 6A601		
109	3'-0"x7'-0"x1 3/4" WINDOW	2	HM	E	HM	8	3A601, 8A601		
110	3'-0"x7'-0"x1 3/4"	1	AL	B	AL	3	12A601, 17A601		INSTALL SCREEN DOOR
111	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	13	1A601, 6A601		
112	NOT USED	-	-	-	-		-		
113	3'-0"x7'-0"x1 3/4"	3	HM	E	HM	14	11A601, 16A601		
114	3'-0"x7'-0"x1 3/4"	3	HM	E	HM	9	~~11A601, 16A601~~		SEE BUR ONS EH HARDW Locks
115	3'-0"x7'-0"x1 3/4" WINDOW	2	WD	D	HM	7	1A601, 6A601		
116	3'-0"x7'-0"x1 3/4" WINDOW	2	HM	E	HM	7	3A601, 8A601	5 A402	
117	NOT USED								
118	3'-0"x7'-0"x1 3/4" WINDOW	2	HM	E	HM	6	11A601, 16A601		
119	3'-0"x7'-0"x1 3/4"	3	HM	D	HM	13	1A601, 6A601		
120	3'-0"x7'-0"x1 3/4" WINDOW	2	WD	D	HM	5	1A601 6A601	4 A402	
121	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	13	1A601, 6A601	6 A402	
122	3'-8"x7'-0"x1 3/4"	3	HM	E	HM	5	4A601, 9A601		
123	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	11	1A601, 6A601		
124	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601	4 A402	
125	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601		
126	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601	4 A402	
127	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601		
128	3'-0"x7'-0"x1 3/4"	3	WD	D	HM	10	1A601, 6A601		
129	3'-0"x7'-0"x1 3/4"	3	HM	E	HM	6	4A601, 9A601		
130	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
131	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
132	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
133	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
134	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
135	14'-0"x14'-0"x2"	7	HM			1	13A601,18A601		INSUL. OVERHEAD DOOR
136	8'-0"x8'-0"x2"	6	HM			1	14A601, 19A601		OVERHEAD COILING DOOR
137	(2)3'-0"x7'-0"x1 3/4"	4	HM	E	HM	15	11A601, 16A601		
138	3'-0"x7'-0"x1 3/4" WINDOW	2	HM	E	HM	6	11A601, 16A601		
139	3'-08"x8'-0"x1 3/4" WINDOW	2	HM	E	HM	6	11A601, 16A601		

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 0503006
CAD FILE: A-103.DWG
DRAWN BY: JLR
CHECK BY: DWC

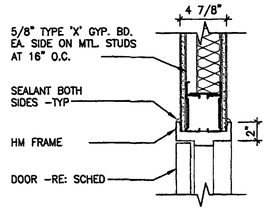
SHEET TITLE:
DOOR & FRAME TYPES, SCHEDULES AND DETAILS

A-501

091048130.TIF

2

Sheet A-601: REVISE: All walls are to be constructed with Concrete block. Modify notes referencing Structural Brick to reflect concrete block.



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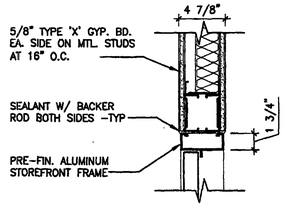

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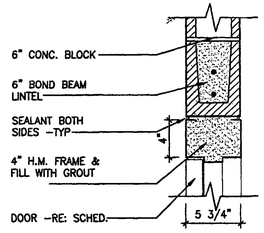

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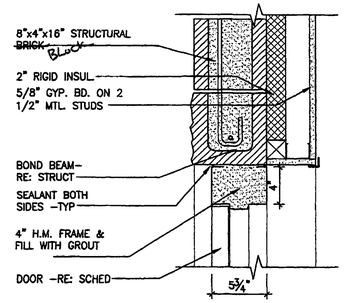

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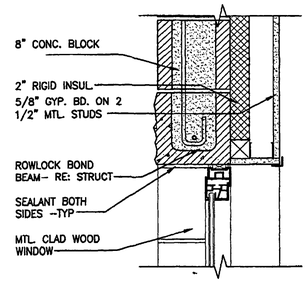

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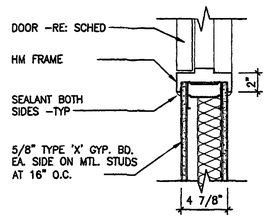

6 JAMB DETAIL
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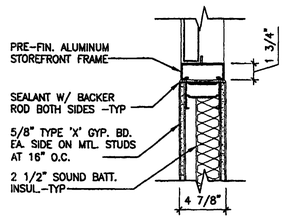

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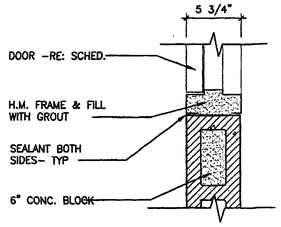

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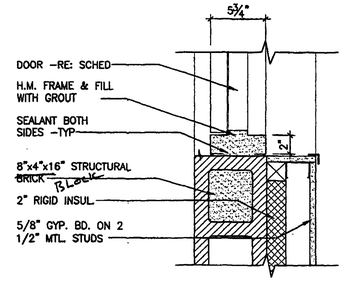

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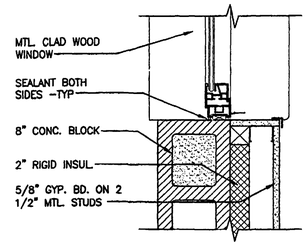

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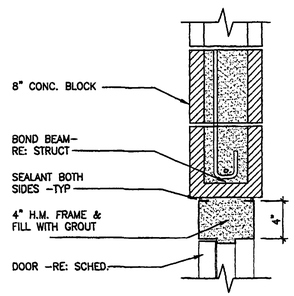

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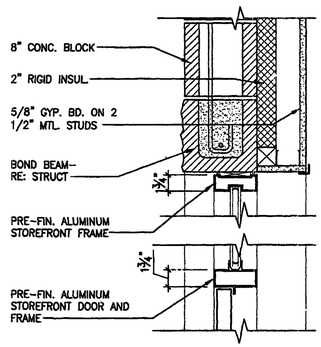

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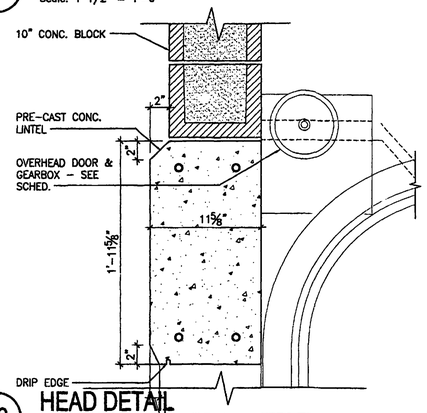

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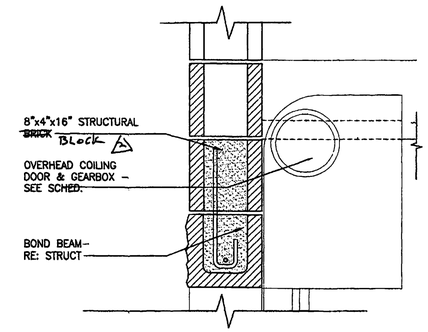

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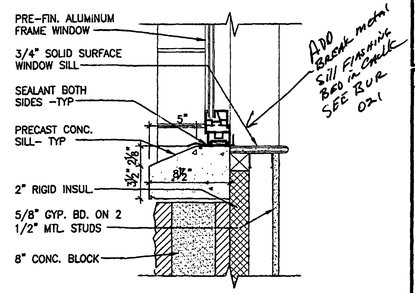

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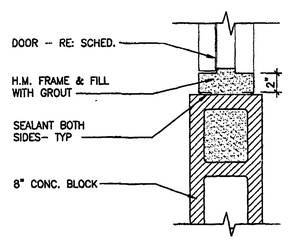

16 JAMB DETAIL
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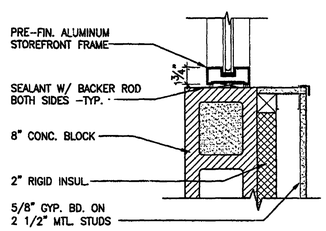

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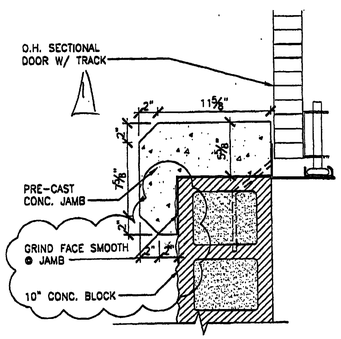

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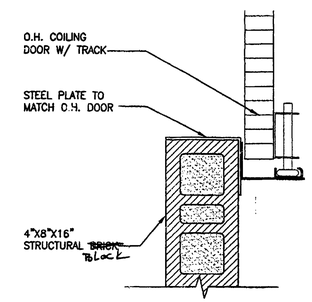

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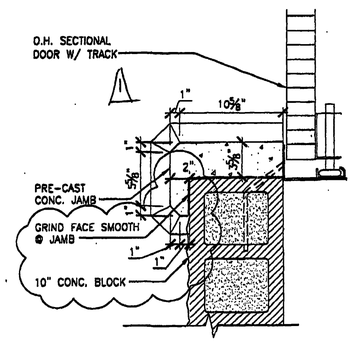

20 JAMB DETAIL
Scale: 1 1/2" = 1'–0"

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

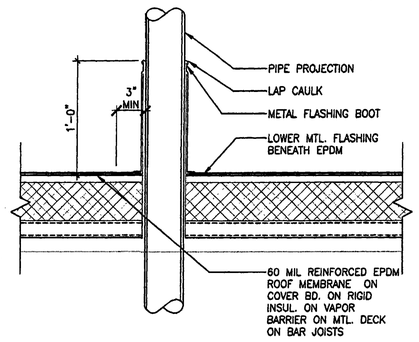
MARK	DATE	DESCRIPTION

PROJECT NUMBER:	0503006
CAD FILE:	A–103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

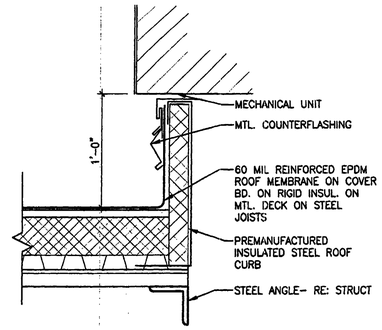
SHEET TITLE:
DETAILS

A-601

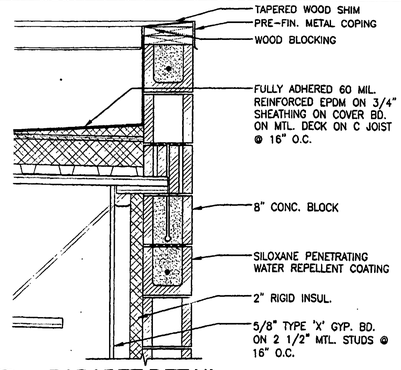
091048131.TIF



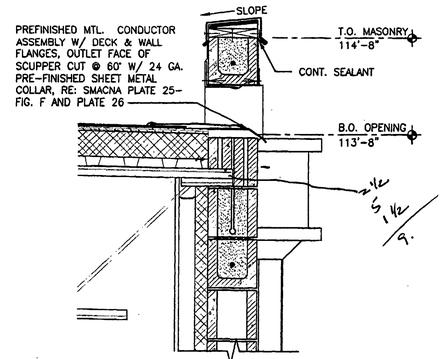
1 ROOF PENETRATION DETAIL
Scale: 3" = 1'-0"



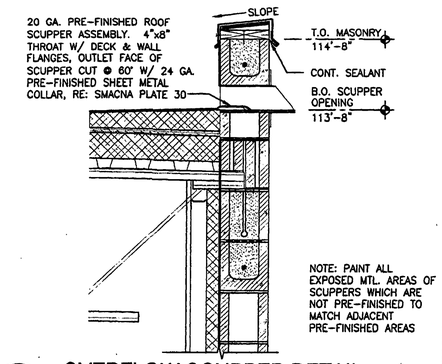
2 ROOF CURB DETAIL
Scale: 1 1/2" = 1'-0"



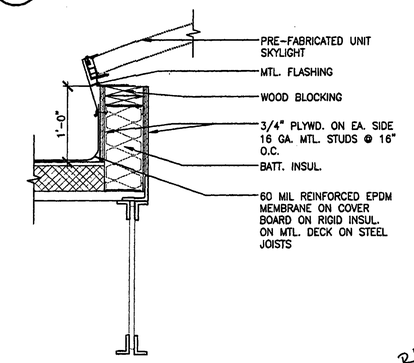
3 PARAPET DETAIL
Scale: 1" = 1'-0"



4 DOWNSPOUT DETAIL
Scale: 1" = 1'-0"

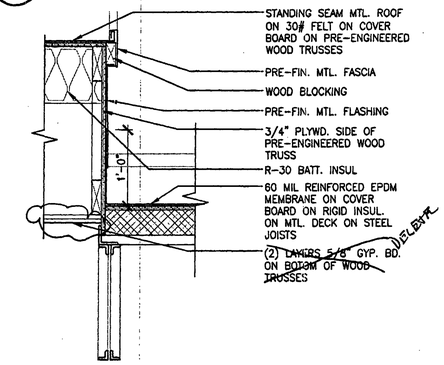


5 OVERFLOW SCUPPER DETAIL
Scale: 1" = 1'-0"

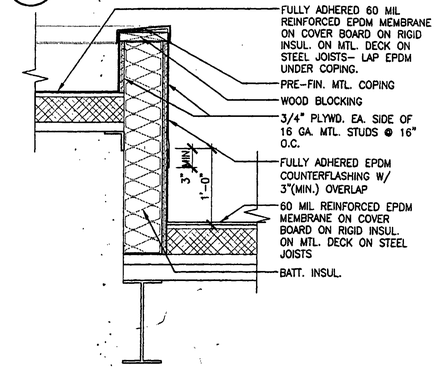


6 SKYLIGHT CURB DETAIL
Scale: 1" = 1'-0"

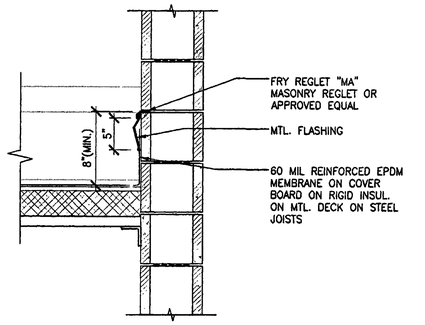
SEE RFI #021



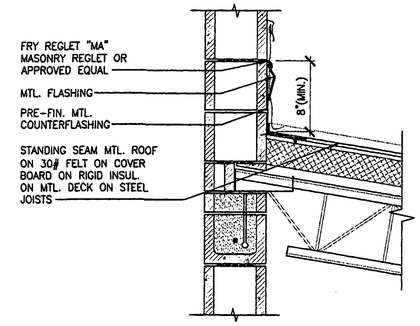
7 ROOF DETAIL
Scale: 1" = 1'-0"



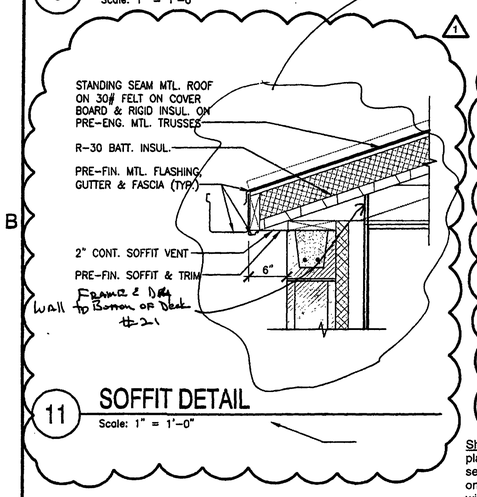
8 PARAPET DETAIL
Scale: 1" = 1'-0"



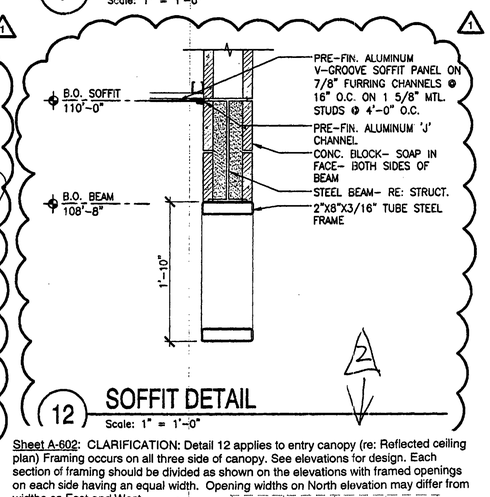
9 ROOF DETAIL
Scale: 1" = 1'-0"



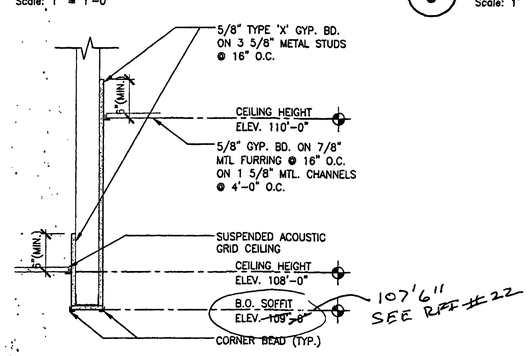
10 ROOF DETAIL
Scale: 1" = 1'-0"



11 SOFFIT DETAIL
Scale: 1" = 1'-0"

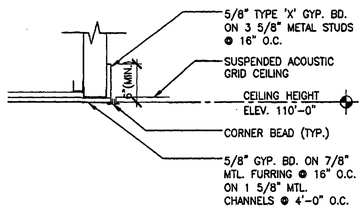


12 SOFFIT DETAIL
Scale: 1" = 1'-0"



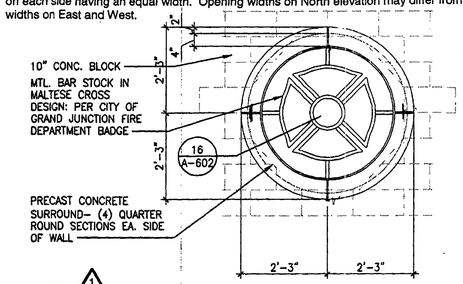
107'6" SEE RFI #22

13 SOFFIT DETAIL
Scale: 1 1/2" = 1'-0"

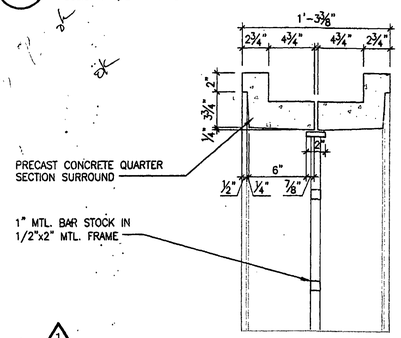


14 CEILING TRANSITION DETAIL
Scale: 1" = 1'-0"

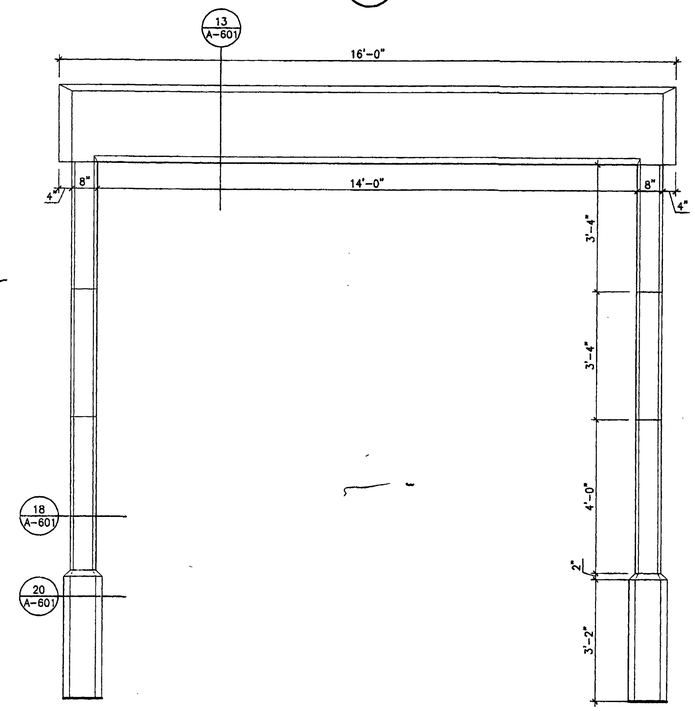
Sheet A-602: CLARIFICATION: Detail 12 applies to entry canopy (re: Reflected ceiling plan) Framing occurs on all three side of canopy. See elevations for design. Each section of framing should be divided as shown on the elevations with framed openings on each side having an equal width. Opening widths on North elevation may differ from widths on East and West.



15 PRECAST CONCRETE DETAIL
Scale: 1" = 1'-0"



16 PRECAST CONCRETE DETAIL
Scale: 1/2" = 1'-0"



17 PRECAST CONCRET DETAIL
Scale: 1/2" = 1'-0"

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CONSULTANTS:

PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
1	10-17-03	ADDENDUM #1

PROJECT NUMBER:	0503006
CAD FILE:	A-I103.DWG
DRAWN BY:	JLR
CHECK BY:	DWC

SHEET TITLE:
DETAILS

A-602

091048132.TIF

MECHANICAL LEGEND

NOTE: ALL SYMBOLS SHOWN ON LEGEND ARE NOT NECESSARILY USED

PIPING

- D — DRAIN PIPE

VALVES & SPECIALTIES

- FLOW INDICATOR
- SHUT-OFF VALVE
- GLOBE VALVE
- CHECK VALVE
- FLOW CONTROL VALVE W/ CHECK
- PLUG OR BALANCING SHUT-OFF VALVE
- N.O. VALVE W/ LOCKING COVER
- PLUG OR BALANCING SHUT-OFF VALVE IN RISER
- SHUT OFF VALVE IN RISER
- DRAIN VALVE W/ HOSE END
- STRAINER W/ BLOW-OFF VALVE
- TEMPERATURE CONTROL VALVE, 3-WAY
- TEMPERATURE CONTROL VALVE, 2-WAY
- PRESSURE REDUCING VALVE
- SAFETY OR RELIEF VALVE
- AIR VENT
- PRESSURE - TEMP. TAP
- PRESSURE GAUGE W/ PIG TAIL & COCK
- THERMOMETER
- VACUUM BREAKER
- PIPE EXPANSION JOINT
- FLEXIBLE PIPE CONNECTOR
- FLEXIBLE EQUIPMENT CONNECTOR
- PIPE UNION
- PIPE CAP
- PIPE ANCHOR
- PIPE GUIDE

FIRE PROTECTION

- FS — FLOW SWITCH
- F.A. — FIRE ALARM
- F — FIRE PIPE
- NEW FIRE SPRINKLER
- O.S. & Y VALVE
- SHUT-OFF VALVE W/TAMPER SWITCH
- FIRE DEPARTMENT CONNECTION-WALL TYPE

MISCELLANEOUS

- SECTION CUT: (A) SECTION I.D. (1) SHEET NO. WHERE SHOWN.
- U.C. 1" — UNDERCUT DOOR, 1".

PLUMBING

- DOMESTIC COLD WATER
- DOMESTIC HOT WATER
- DOMESTIC HOT WATER CIRCULATING
- T — TEMPERED WATER
- NP — NON-POTABLE WATER
- TF — TRUCK FILL WATER
- NG — NATURAL GAS
- V — PLUMBING VENT PIPE
- W — SANITARY WASTE PIPE
- SOW — SAND/OIL WASTE PIPE
- ST — STORM DRAIN/ BUILDING STORM SEWER PIPE
- OST — OVERFLOW STORM DRAIN PIPE
- CA — COMPRESSED AIR PIPE
- HORIZONTAL CLEANOUT
- VERTICAL CLEANOUT

HVAC DUCTWORK

- FIRE DAMPER
- S — SMOKE DAMPER
- FS — COMBINATION FIRE / SMOKE DAMPER
- TURNING VANES SHOWN IN 90° ELBOW.
- OPPOSED BLADE DAMPER (O.B.D.)
- 24/12 — DUCT SIZES ARE OUTSIDE SHEET METAL DIMENSIONS. 1st NO. IS SIZE OF SURFACE SHOWN. 2nd NO. IS DUCT. DEPTH.
- SIZE / CFM — SUPPLY DIFFUSER. ALL DIFFUSERS FOUR-WAY THROW UNLESS NOTED OTHERWISE.
- SECTION THRU SUPPLY AIR DUCT.
- SECTION THRU OUTSIDE AIR INTAKE, RETURN AIR OR EXHAUST DUCT.
- OA, RA OR EXH DUCT DOWN
- SUPPLY AIR DUCT DOWN
- UP — CHANGE OF ELEVATION {UP(UP) DOWN (DN)} IN DIRECTION OF AIR FLOW
- FLEXIBLE CONNECTION
- BACKDRAFT DAMPER
- RETURN AIR GRILLE W/SOUND BOOT SHADING INDICATES OPEN END
- FLEXIBLE DUCT

CONTROLS

- T — THERMOSTAT/SENSOR
- STARTER
- PS — PRESSURE SWITCH
- $ — SWITCH
- FM — FLOW METER
- LT — LOW LIMIT THERMOSTAT
- TEMPERATURE CONTROL (T.C.) DAMPER
- SD — SMOKE DETECTOR (DUCT)
- CT — CIRCUIT TRANSFORMER
- PDS — PRESSURE DIFFERENTIAL SENSOR

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ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	LBS OR #	POUNDS
AFG	ABOVE FINISHED GRADE	LF	LINEAR FEET
ALT	ALTITUDE	LRA	LOCKED ROTOR AMPS
BHP	BRAKE HORSEPOWER	LWT	LEAVING WATER TEMPERATURE
BTU	BRITISH THERMAL UNIT	MAX	MAXIMUM
C	COMMON PORT	MCA	MINIMUM CIRCUIT AMPS
Cv	COEFFICIENT, VALVE FLOW	MBH	BTU PER HOUR (THOUSAND)
CU FT	CUBIC FEET	MIN	MINIMUM
CU IN	CUBIC INCH	NC	NOISE CRITERIA
CFM	CUBIC FEET PER MINUTE	N.O.	NORMALLY OPEN
SCFM	CFM, STANDARD CONDITIONS	N.C.	NORMALLY CLOSED
dB	DECIBEL	N/A	NOT APPLICABLE
DCW	DOMESTIC COLD WATER	NIC	NOT IN CONTRACT
DEG OR °	DEGREE	NTS	NOT TO SCALE
DHW	DOMESTIC HOT WATER	NO	NUMBER
DIA	DIAMETER	OA	OUTSIDE AIR
DB	DRY-BULB	OD	OUTSIDE DIAMETER
DN	DOWN	PPM	PARTS PER MILLION
EAT	ENTERING AIR TEMP.	%	PERCENT
EFF	EFFICIENCY	PH OR ø	PHASE (ELECTRICAL)
ELEV	ELEVATION	PSF	POUNDS PER SQUARE FOOT
ESP	EXTERNAL STATIC PRESSURE	PSI	POUNDS PER SQUARE INCH
EWT	ENTERING WATER TEMP.	PSIA	PSI ABSOLUTE
EXH	EXHAUST	PSIG	PSI GAUGE
F	FAHRENHEIT	PRESS	PRESSURE
FLA	FULL LOAD AMPS	RA	RETURN AIR
FPM	FEET PER MINUTE	RECIRC	RECIRCULATE
FPS	FEET PER SECOND	RH	RELATIVE HUMIDITY
FT	FOOT OR FEET	RLA	RUNNING LOAD AMPS
FU	FIXTURE UNITS	RPM	REVOLUTIONS PER MINUTE
GA	GAUGE	SL	SEA LEVEL
GAL	GALLONS	SENS	SENSIBLE
GPH	GALLONS PER HOUR	SPEC	SPECIFICATION
GPM	GALLONS PER MINUTE	SQ	SQUARE
HD	HEAD	STD	STANDARD
HG	MERCURY	SP	STATIC PRESSURE
HGT	HEIGHT	SA	SUPPLY AIR
HORZ	HORIZONTAL	TEMP	TEMPERATURE
HP	HORSEPOWER	TD	TEMPERATURE DIFFERENCE
HR	HOUR(S)	TF	TRUCK FILL
HWC	HOT WATER CIRCULATING (DOMESTIC)	TSP	TOTAL STATIC PRESSURE
HZ	HERTZ	TSTAT	THERMOSTAT
ID	INSIDE DIAMETER	TONS	TONS OF REFRIGERATION
IE	INVERT ELEVATION	VAV	VARIABLE AIR VOLUME
IN	INCHES	VEL	VELOCITY
IN W.C.	INCHES WATER COLUMN	VERT	VERTICAL
KW	KILOWATT	V	VOLT
KWH	KILOWATT HOUR	VOL	VOLUME
LAT	LEAVING AIR TEMPERATURE	W	WATT
		WT	WEIGHT
		WB	WET-BULB

GENERAL NOTES (FOR ALL MECHANICAL DRAWINGS)

1. CONTRACTOR IS TO PROVIDE COMPLETE CONNECTIONS TO ALL NEW AND RELOCATED OWNER FURNISHED EQUIPMENT.
2. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR PARKING, COORDINATE ANY EQUIPMENT DOWNTIME, AND COORDINATE GENERAL WORK SCHEDULE WITH THE PROPERTY MANAGER.
3. CONTRACTOR SHALL VISIT THE SITE BEFORE SUBMITTING BID, AND VERIFY DIMENSIONS AND EXISTING CONDITIONS RELATED TO THE WORK.
4. ALL CUTTING, PATCHING AND CORE DRILLING FOR THE INSTALLATION OF NEW EQUIPMENT, DUCTS, HANGERS, ETC. SHALL BE HELD TO A MINIMUM AND BE ACCOMPLISHED IN A CAREFUL MANNER. ALL PATCHING SHALL MATCH EXISTING CONSTRUCTION, TEXTURE AND FINISH AND BE DONE BY SKILLED CRAFTSMAN OF THE TRADES INVOLVED AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR TO COORDINATE THE LOCATION OF ALL DUCTWORK, CEILING DEVICES, GRILLES, REGISTERS AND DIFFUSERS WITH REFLECTED CEILING PLAN AND STRUCTURE PRIOR TO BEGINNING WORK.
6. DUCT DIMENSIONS GIVEN ARE OUTSIDE SHEET METAL DIMENSIONS.
7. MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
8. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, CONSTRUCTION SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM HIS WORK.
9. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE CODES, LOCAL CODES AND OWNER'S STANDARDS INDICATED BY THE CONSTRUCTION DOCUMENTS.
10. ALL EXTERIOR WALL AND ROOF PENETRATIONS SHALL BE SEALED WATERPROOF.
11. ALL MECHANICAL WORK UNDER THIS CONTRACT IS TO FIVE (5) FEET OUTSIDE THE BUILDING, UNLESS SPECIFICALLY NOTED ON THE DRAWING.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	1449SM0
DRAWN BY:	JMP
CHECK BY:	JMP

SHEET TITLE:

MECHANICAL COVER SHEET

M0

091048133.TIF

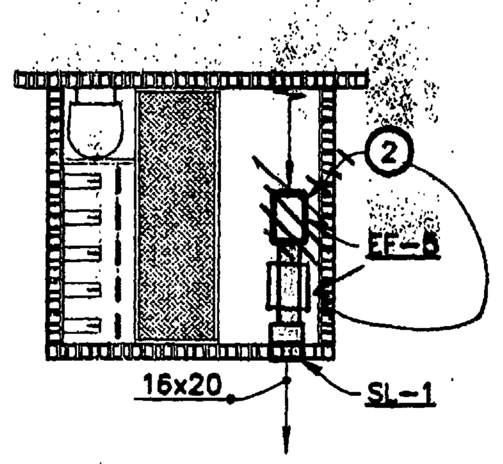
1 2 3 4 5

D

C

B

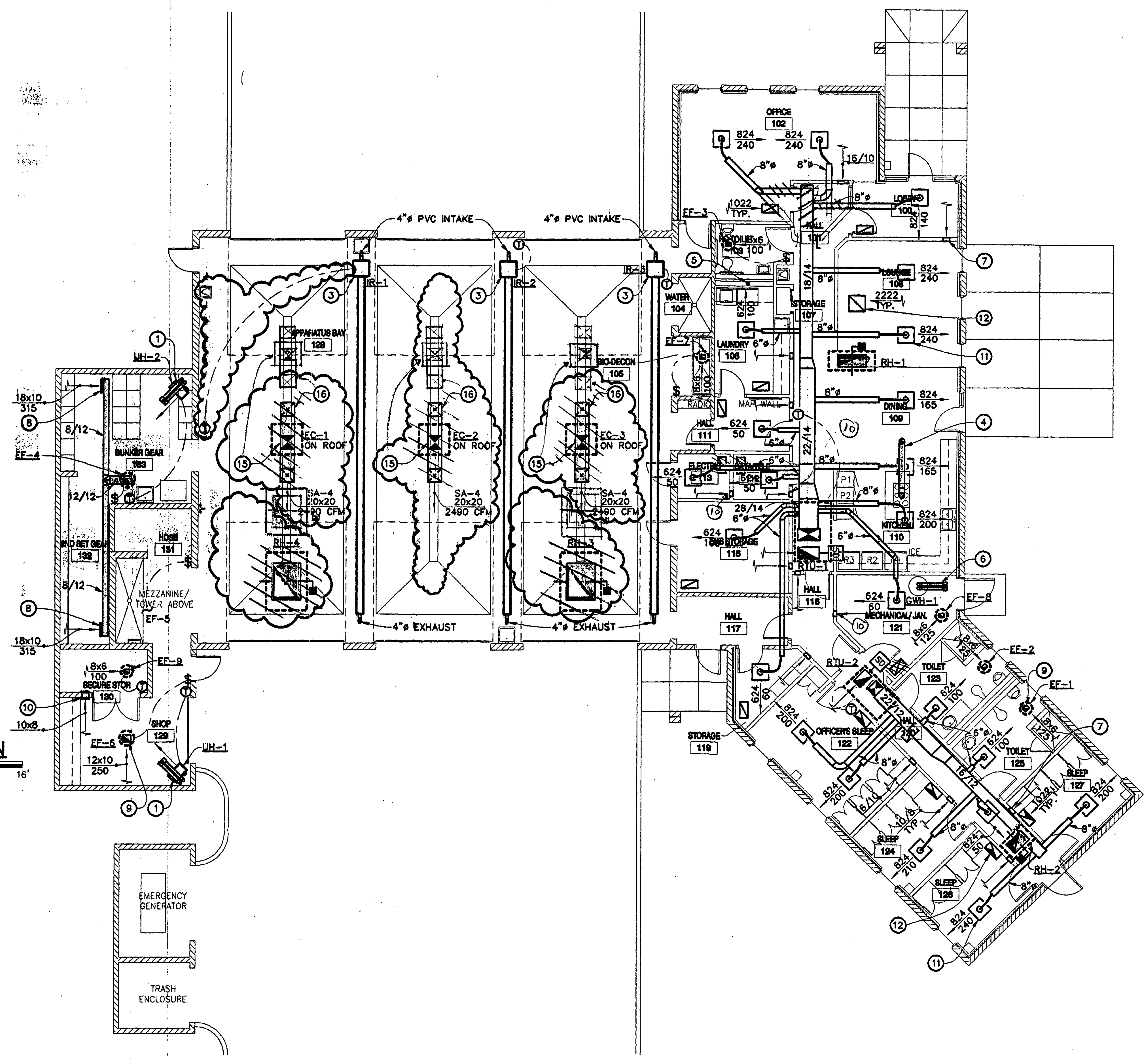
A



NORTH

MECHANICAL HOSE TOWER PLAN

SCALE: 1/8" = 1'-0" 8' 0 8' 16'



NORTH

MECHANICAL FLOOR PLAN

SCALE: 1/8" = 1'-0" 8' 0 8' 16'

GENERAL NOTES:

1. ALL DOORS INTO TOILET ROOMS SHALL HAVE A 1" UNDERCUT.
2. SEE DETAIL © ON DWG M2 FOR CONCENTRIC VENT THROUGH ROOF SCHEMATIC DETAIL.
3. SEE DETAIL Ⓑ ON DWG M2 FOR RETURN AIR GRILLE SOUND BOOT DETAIL.
4. SEE DETAIL Ⓐ ON DWG M2 FOR ROUND DUCT TAKE-OFF FITTINGS. ALL ROUND DUCT TAKE-OFF'S OFF OF THE MAIN TRUNK DUCT SHALL HAVE TAKE-OFF FITTINGS PER THE DETAIL.
5. TRANSITION SUPPLY AND RETURN DUCT TO UNIT SUPPLY AND RETURN CONNECTIONS AS REQUIRED.

FLAG NOTES: ○

1. SEALED COMBUSTION GAS FIRED UNIT HEATER. ROUTE 4"ø COMBUSTION AIR AND FLUE DUCTS TO FACTORY PROVIDED VERTICAL CONCENTRIC VENT/COMBUSTION AIR CAP.
2. IN-LINE EXHAUST FAN IN HOSE TOWER. MOUNT FAN AS CLOSE TO THE BOTTOM OF THE CEILING IN THE TOWER AS POSSIBLE.
3. INFRA-RED GAS TUBE-HEATER. PROVIDE OUTSIDE AIR ROOF TERMINAL FOR COMBUSTION AIR AND APPROVED TYPE "B" VENT ROOF CAP FOR DISCHARGE. MOUNT INFRA-RED HEATERS AT APPROXIMATELY 12' AFF.
4. 8"ø EXHAUST DUCT FOR KITCHEN HOOD. REFER TO ARCHITECTURAL FOR HOOD SPECIFICATIONS. ROUTE 8"ø DUCT TO ROOF AND TERMINATE WITH CAP APPROVED BY HOOD MANUFACTURER.
5. 4"ø DRYER VENT. ROUTE UP THROUGH ROOF AND TERMINATE WITH AN APPROVED DRYER VENT CAP.
6. ROUTE COMBUSTION AIR AND FLUE DUCTS FOR SEALED COMBUSTION GAS WATER HEATER UP TO ROOF. TERMINATE AT ROOF WITH APPROVED CONCENTRIC VERTICAL VENT/COMBUSTION AIR CAP.
7. TRANSFER AIR OPENING IN WALL ABOVE CEILING, TYP.
8. ER-2, EXHAUST REGISTER.
9. EG-2, EXHAUST GRILLE, TYP.
10. TG-2, TRANSFER GRILLE ON EACH SIDE OF WALL.
11. SD-1, SUPPLY DIFFUSER, TYP.
12. RG-3, RETURN GRILLE, TYP.
13. SR-4, ~~[illegible]~~ SUPPLY REGISTER, TYP. 24x18
14. ~~[illegible]~~
15. 20"x20" SUPPLY AIR DUCT FROM COOLER ON ROOF.
16. 20"x20" SUPPLY AIR DUCT AT 16'-0" AFF.

EF-9 CONTROLS:

EF-9 SHALL BE CONTROLLED WITH A LINE VOLTAGE DEAD BAND THERMOSTAT TO MAINTAIN THE FOLLOWING CONDITIONS:

WHEN THE TEMPERATURE IN THE SECURE STORAGE ROOM DROPS BELOW 40°F (ADJ.) THE EXHAUST FAN SHALL START AND RUN UNTIL THE ROOM TEMPERATURE RISES 5°F (ADJ.).

WHEN THE TEMPERATURE IN THE SECURE STORAGE ROOM RISES ABOVE 90°F (ADJ.) THE EXHAUST FAN SHALL START AND RUN UNTIL THE ROOM TEMPERATURE DROPS 5°F (ADJ.).

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PROJECT TITLE:

FIRE DEPT. CITY OF GRAND JUNCTION COLORADO

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
△1	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	14495M1
DRAWN BY:	JMP
CHECK BY:	JMP

SHEET TITLE:

MECHANICAL PLAN

M1

091048134.TIF

ROOFTOP HVAC UNIT SCHEDULE (GAS FIRED HTG./ DX CLG.)

ITEM	DWG. NO.	SERVICE	SUPPLY AIR FAN DATA						SUPPLY FAN MOTOR DATA			MIN. CIRCUIT AMPACITY	HEATING CAPACITY			COOLING CAPACITY					OP. WT. LBS.	MANUFACTURER & MODEL NO.	NOTES SEE EQUIPMENT SOUND DATA SCHEDULE	CONTROLS
			CFM	MIN. OSA CFM	KITCHEN HOOD MIN. OSA CFM	FAN TYPE	TSP IN. W.C. @ ALT.	RPM	HP	V–ø	STRTR		FUEL TYPE	INPUT MBH @S.L.	OUTPUT MBH @S.L.	MBH	EAT °F DB/WB	LAT °F DB	COND. TEMP.°F	AIR Δ P IN. W.C.				
RTU–1	M1	ADMIN AREA	2,100	220	600	FC	1.0	946	1.0	208–3	INTEGRAL	32.2	NG	120.9	97.9	52.7	78/59	55	105	–	1010	TRANE YSC072A3	CYCLE FROM REMOTE PROGRAMMABLE T–STAT	7
RTU–2	M1	LIVING QUARTERS	1,250	120	–	FC	1.0	1026	1.0	208–3	INTEGRAL	20.6	NG	96.7	77.4	28.9	78/59	55	105	–	664	TRANE YSC036A3	CYCLE FROM REMOTE PROGRAMMABLE T–STAT	7

MECHANICAL/ELECTRICAL EQUIPMENT SCHEDULE

CONTROLS (NOTE B. BELOW) REFERENCES THE "CONTROLS" COLUMN OF THE EQUIPMENT SCHEDULES

NOTES:

A. SEE SPECIFICATIONS SECTION 15010 "ELECTRICAL EQUIPMENT AND WIRING FOR MECHANICAL DIVISION" FOR FURTHER INFORMATION.

B. CONTROLS: (1) FROM LIGHT SWITCH (2) SEPARATE WALL SWITCH (3) SWITCH WITH PILOT LIGHT (4) RUNS CONTINUOUSLY (5) INTERLOCK TO RUN WITH OTHER EQUIPMENT (6) CONTROLLED BY DIVISION 15900 (7) CYCLE FROM REMOTE THERMOSTAT (8) OTHER; SEE REMARKS * CARRIES FULL CURRENT. WIRING DONE BY DIVISION 16 FOR CONTROL. SEE SPECIFICATIONS. ALSO SEE "TEMPERATURE CONTROL" SPECIFICATIONS.

C. MAGNETIC STARTERS TO HAVE MAINTAIN CONTACT UNLESS NOTED. ALL STARTERS BY MECHANICAL UNLESS NOTED TO BE BY ELECTRICAL.

D. MOTORS 1/2 HP AND LESS TO BE 1750 RPM, 115/60/1, MOTORS 3/4 HP AND ABOVE TO BE AS NOTED BELOW.

E. THREE PHASE STARTERS ON MOTORS 5 HP OR GREATER TO HAVE PHASE MONITOR CONTROL RELAY, SEE SPECIFICATION.

EQ. NO.	EQUIPMENT	ELECTRICAL CHARACTERISTICS	LOCATION SEE PLANS	CONTROL	REMARKS
–	–	–	–	–	–

EXHAUST FAN SCHEDULE

ITEM	DWG. NO.	TYPE	AREA SERVED	CFM	S.P. IN. W.C. @ ALT.	DRIVE TYPE	SONES	MOTOR DATA				OP. WT. LBS.	MANUFACTURER & MODEL NO.	NOTES	CONTROLS
								HP	RPM	V–ø	STRTR				
EF–1	M1	DOME	TOILET 125	125	0.375	BELT	4.5	1/4	1093	115–1	INT	45	GREENHECK GB070	INTERLOCK TO RUN WITH RTU–2	5
EF–2	M1	DOME	TOILET 123	125	0.375	BELT	4.5	1/4	1093	115–1	INT	45	GREENHECK GB070	INTERLOCK TO RUN WITH RTU–2	5
EF–3	M1	DOME	TOILET 103	100	0.375	BELT	3.3	1/4	939	115–1	INT	45	GREENHECK GB070	–	2
EF–4	M1	DOME	BUNKER	625	0.5	BELT	7.8	1/4	1247	115–1	INT	45	GREENHECK GB090	TIMER	8
EF–5	M1	IN–LINE	HOSE TOWER	510	0.5	BELT	13.9	1/4	1655	115–1	INT	75	GREENHECK BSQ–80	–	3
EF–6	M1	DOME	SHOP	250	0.5	BELT	8.5	1/4	1556	115–1	INT	45	GREENHECK GB070	–	3
EF–7	M1	DOME	BIO–DECON	125	0.375	BELT	4.5	1/4	1093	115–1	INT	45	GREENHECK GB070	–	3
EF–8	M1	DOME	MECH./JAN.	125	0.375	BELT	4.5	1/4	1093	115–1	INT	45	GREENHECK GB070	–	1
EF–9	M1	DOME	SECURE STRG.	100	0.375	BELT	3.3	1/4	939	115–1	INT	45	GREENHECK GB070	–	7

INFRARED HEATER SCHEDULE

ITEM	DWG. NO.	TYPE	HEATING CAPACITY		MOTOR DATA				OP. WT. LBS.	MANUFACTURER & MODEL NO.	NOTES	CONTROLS
			FUEL TYPE	INPUT (MBH)@S.L.	STARTING AMPS	RUNNING AMPS	V–ø	STRTR				
IR–1	M1	TUBE	NG	115	–	1.0	115–1	INTEGRAL	270	ROBERTS GORDON BH–115	45' TUBE	7, 5 INTERLOCK TO SHUT OFF W/ DOOR
IR–2	M1	TUBE	NG	115	–	1.0	115–1	INTEGRAL	270	ROBERTS GORDON BH–115	45' TUBE	7, 5 INTERLOCK TO SHUT OFF W/ DOOR
IR–3	M1	TUBE	NG	115	–	1.0	115–1	INTEGRAL	270	ROBERTS GORDON BH–115	45' TUBE	7, 5 INTERLOCK TO SHUT OFF W/ DOOR

UNIT HEATER SCHEDULE (GAS FIRED)

ITEM	DWG. NO.	CFM	HEATING CAP. MBH	CFH	LAT (°F)	MOTOR HP	V–ø	MOUNTING	UNIT WT.	MANUFACTURER & MODEL NO.	NOTES	CONTROLS
UH–1	M1	630	37.4	–	105	1/30	115–1	HORIZONTAL	60	REZNOR UDAS 45	SEALED COMBUSTION	7
UH–2	M1	630	37.4	–	105	1/30	115–1	HORIZONTAL	60	REZNOR UDAS 45	SEALED COMBUSTION	7

STATIONARY LOUVER SCHEDULE

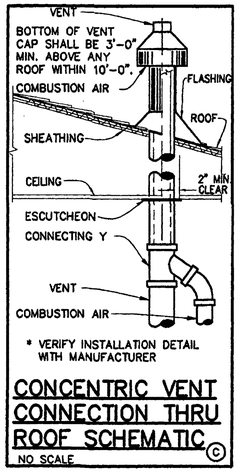
ITEM	DWG. NO.	SERVICE	CFM	S.P. LOSS IN.	VELOCITY FPM	MINIMUM FREE/AREA SQ FT	LOUVER SIZE IN. W x IN. H	MANUFACTURER & MODEL NO.	NOTES
SL–1	M1	EF–5	510	0.25	1000	0.51	16"x20"	RUSKIN L811	–

HOOD SCHEDULE

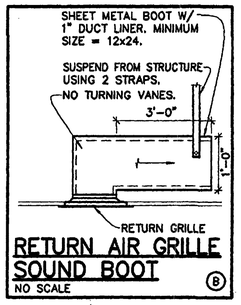
ITEM	DWG. NO.	SERVICE	CFM	S.P. LOSS IN.	THROAT SIZE IN.	HOOD SIZE IN.	MANUFACTURER & MODEL NO.	NOTES
RH–1	M1	RTU–1	2200	0.05	18x42	28x68	PENN AIRETTE	–
RH–2	M1	RTU–2	1300	0.05	18x30	28x48	PENN AIRETTE	–
RH–3	M1	SC–1	7500	0.05	42x54	60x85	PENN AIRETTE	–
RH–4	M1	SC–1	7500	0.05	42x54	60x85	PENN AIRETTE	–

EVAPORATIVE COOLER SCHEDULE

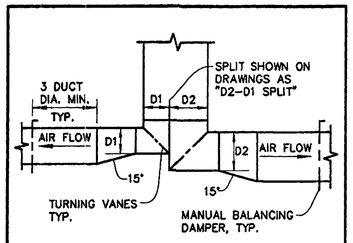
ITEM	DWG. NO.	AREA SERVED	FAN CFM	S.P. IN. W.C. @ ALT.	COOLING EFF	MOTOR DATA				OP. WT. LBS.	MANUFACTURER & MODEL NO.	NOTES	CONTROLS
						HP	RPM	V–ø	STRTR				
~~EVC–1~~	M1	APPARATUS BAY	15,000	0.10	80%	5.0	440	208–3	MAG–HOA	1100	CHAMPION COOLER AD 150B	SEE SPECIFICATIONS	8
EC.1	M1		5			1		110-1			Convair Breezair EM 275		
EC-2	M1		5			1		110.1					
EC-3	M1		5			1		110.1					



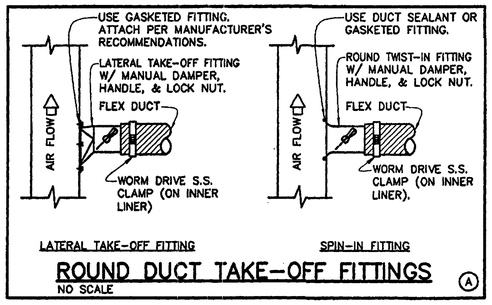
CONCENTRIC VENT CONNECTION THRU ROOF SCHEMATIC Ⓒ
NO SCALE



RETURN AIR GRILLE SOUND BOOT Ⓑ
NO SCALE



MAIN DUCT SPLIT DETAIL Ⓓ
NO SCALE



LATERAL TAKE–OFF FITTING — SPIN–IN FITTING

ROUND DUCT TAKE–OFF FITTINGS Ⓐ
NO SCALE

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Englewood, Colorado 80111
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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

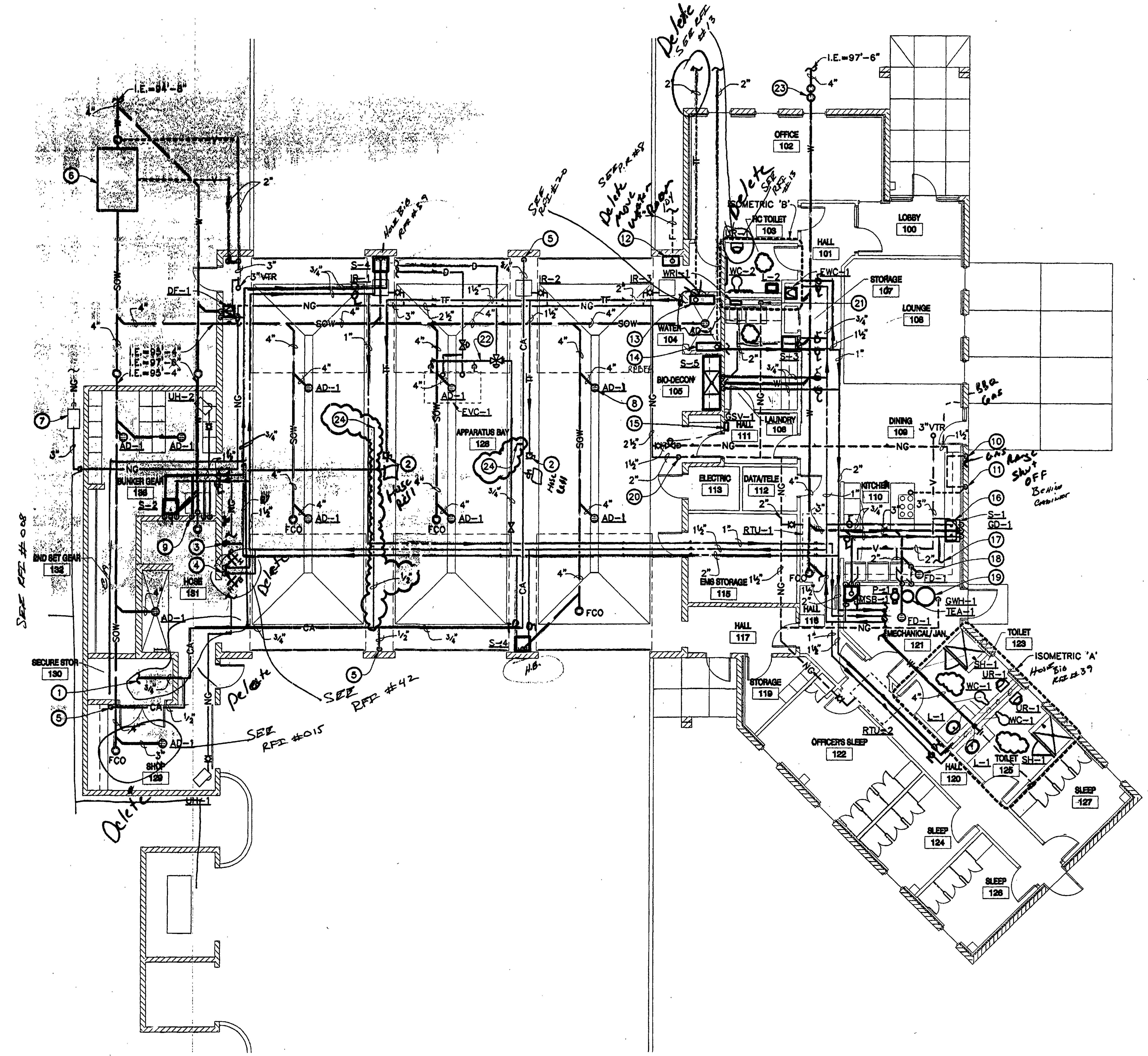
PROJECT NUMBER:	0503008
CAD FILE:	14495M2
DRAWN BY:	JMP
CHECK BY:	JMP

SHEET TITLE:

MECHANICAL SCHEDULES/DETAILS

M2

09104835.TIF



NORTH

PLUMBING PLAN

SCALE: 1/8" = 1'-0"

8' 0 8' 16'

GENERAL NOTES:

1. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAND/OIL INTERCEPTOR AND ALL WASTE PIPING TO 5' DOWN STREAM OF THE INTERCEPTOR, INCLUDING THE WASTE BRANCH CONNECTING JUST DOWNSTREAM OF THE INTERCEPTOR, AS INDICATED ON THE DRAWING.
2. INSTALL TRAP PRIMERS TO SERVE ALL FLOOR DRAINS IN ALL OF THE RESTROOMS, MECH./JAN., AND LAUNDRY.
3. INVERT ELEVATIONS ARE BASED ON A FINISHED FLOOR ELEVATION OF 100'-0"
4. ALL FLOOR DRAINS ARE TO BE 2" UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
5. WCO, WALL CLEANOUT. SEE DETAIL (I) ON DWG P2.
6. FCO, FLOOR CLEANOUT. SEE DETAIL (G) ON DWG P2.

FLAG NOTES: ○

1. CONNECT CA PIPING TO AIR COMPRESSOR FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR. CONNECT TO COMPRESSOR WITH 3/4" FLEX CONNECTOR, UNION, PRESSURE GAUGE, AND ISOLATION VALVE. SUPPLY PRESSURE AT 120 PSI.
2. 1-1/2" COLD WATER FOR TRUCK FILL STATION. TERMINATE WITH BALL VALVE AND 1-1/2" NATIONAL STANDARD THREAD AT 15' AFF. COORDINATE LOCATION WITH INFRA-RED HEATERS AND LIGHTS SO THAT TRUCK FILL STATION IS ACCESSIBLE.
3. 1-1/2" COLD WATER AT 24" AFF FOR HOSE TESTING. TERMINATE WITH BALL VALVE AND 1-1/2" NATIONAL STANDARD THREAD.
4. 3/4" HOT AND COLD WATER FOR CONNECTION TO FUTURE HOSE WASHER. TERMINATE AT 24" AFF WITH HOSE BIBB, HB-1.
5. COMPRESSED AIR DROP. PROVIDE "HIGH PRESSURE" COMPRESSED AIR SERVICE OUTLET WITH QUICK COUPLER. SEE DETAIL (B) ON DWG P3.
6. 500 GALLON SAND/OIL INTERCEPTOR. SEE DETAIL (A) ON DWG P3.
7. 1100 CFH GAS METER BY LOCAL UTILITY COMPANY. METERING DELIVERY PRESSURE OF 7 IN.W.C.
8. LOCATE AREA DRAIN IN LOW SPOT OF TRENCH DRAIN, TYP. TRENCH DRAIN AND GRATE BY OTHERS.
9. TWO 3/4" HOT WATER DROPS AND ONE 3/4" COLD WATER DROP FOR CONNECTION TO WASHER EXTRACTOR. TERMINATE EACH DROP WITH A HOSE BIBB, HB-1, AT 24" AFF. STUB 3" DRAIN UP THROUGH FLOOR DIRECTLY ADJACENT TO WALL AS SHOWN. CAP 3" WASTE PIPE AT 12" AFF FOR FUTURE CONNECTION.
10. NATURAL GAS ROUGH-IN WITH GAS COCK FOR GAS GRILLE. GAS PIPE SHALL BE RUN DOWN IN WALL IN A SLEEVE THAT VENTS ONLY TO THE OUTSIDE AT THE ROOF AND AT THE WALL OUTLET.
11. NATURAL GAS PIPING DOWN IN WALL TO BELOW SLAB TO SERVE RANGE. GAS PIPING SHALL BE RUN IN A SLEEVE DOWN THE WALL AND BELOW THE SLAB THAT VENTS ONLY TO THE OUTSIDE AT THE ROOF AND AT THE POINT WHERE IN PENETRATES THE SLAB INTO THE CASEWORK.
12. FIRE ENTRY, SEE FIRE ENTRY PIPING DETAIL ON DWG FP1.
13. BACKFLOW AND PRESSURE REDUCING STATION FOR TRUCK FILL. SEE DETAIL (J) ON DWG P2.
14. BACKFLOW AND PRESSURE REDUCING STATION FOR DOMESTIC WATER SERVICE. SEE DETAIL (H) ON DWG P2.
15. GAS VALVE STATION. STATION TO SERVICE GAS SUPPLY TO KITCHEN EQUIPMENT AND GAS GRILL. COORDINATE EXACT MOUNTING LOCATION WITH ARCHITECT.
16. SEE ISOMETRIC 'C' ON DWG P3 FOR WASTE AND WATER CONNECTION TO DISHWASHER. ROUTE WATER PIPING DOWN IN INTERIOR WALL AND THROUGH CABINET KICK SPACE TO SINK.
17. SEE ISOMETRIC 'D' ON DWG P3 FOR WATER CONNECTION TO ICE-MAKER AND REFRIGERATORS.
18. FLOOR DRAIN UNDER COUNTER FOR ICE-MAKER. COORDINATE EXACT LOCATION WITH ARCHITECTURAL.
19. SEE DETAIL (F) ON DWG P2 FOR DOMESTIC WATER HEATER PIPING DETAIL.
20. NATURAL GAS PIPING OUT FROM INSIDE OF APPARATUS BAY ONTO ROOF OF THE LIVING QUARTERS.
21. NATURAL GAS PIPING DOWN THROUGH ROOF AND DOWN IN WALL TO SERVE NATURAL GAS CLOTHES DRYER.
22. COLD WATER TO EVAPORATIVE COOLER. PIPE PER MANUFACTURERS SPECIFICATIONS. KEEP ALL VALVING FOR PIPING IN THE CONDITIONED SPACE. PIPE DRAIN LINES TO SINK, S-4. TERMINATE 1" ABOVE FLOOD RIM LEVEL OF SINK.
23. SEE DETAIL (D) ON DWG P2 FOR TWO-WAY GRADE CLEANOUT DETAIL.
24. 1/2" COMPRESSED AIR PIPING TO HOSE REEL AT CEILING. CONTRACTOR SHALL SUPPLY AND INSTALL A HOSE REEL SIMILAR TO GRAINGER STOCK NUMBER 5PG07 AUTO-RETRACTABLE WITH 75'-0" OF HOSE.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
△	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	14495P1
DRAWN BY:	JMP
CHECK BY:	JMP

SHEET TITLE:

PLUMBING PLAN

P1

SHOCK ABSORBER CAPACITIES

CONN. SIZE	PDI SIZE (SA-#)	FIXTURE UNIT CAPACITY	UNIT VOLUME
½"	A	1 TO 11	5
3/4"	B	12 TO 32	7
1"	C	33 TO 60	11

FIXTURE CONNECTION SCHEDULE

FIXTURE	TW	HW	CW	WASTE	VENT
WATER CLOSET (FLUSH TANK)	–	–	1/2"	4"	2"
URINAL (WASHDOWN)	–	–	3/4"	2"	1½"*
LAVATORY	–	1/2"	1/2"	1½"*	1½"*
SERVICE SINK (S-3A)	–	1/2"	1/2"	3"	2"
BIO-DECON SINK (S-5A)	–	1/2"	1/2"	3"	2"
MOP SERVICE BASIN	–	1/2"	1/2"	3"	2"
DRINKING FOUNTAIN / E.W.C.	–	–	1/2"	1½"*	1½"*
KITCHEN SINK W/ DISPOSER	–	1/2"	1/2"	2"	1½"*
SHOWER	–	3/4"	3/4"	2"	1½"*
CLOTHES WASHER ROUGH-IN	–	1/2"	1/2"	2"	1½"*
DISHWASHER ROUGH-IN	–	1/2"	–	2"	1½"*
BAR SINK	–	1/2"	1/2"	1½"*	1½"
WASHER EXTRACTOR	–	3/4"	3/4"	3"	2"

SIZES SHOWN ARE MINIMUM PIPE SIZES TO A SINGLE FIXTURE.
MINIMUM PIPE SIZE TO 2 OR MORE FIXTURES IS 3/4".
ALL FIXTURES LISTED ARE NOT NECESSARILY USED ON THIS PROJECT.

* WASTE PIPES BELOW SLABS ON GRADE ARE A MINIMUM OF 2" DIA.

GAS CONNECTION SCHEDULE

EQUIPMENT	INPUT MBH @ S.L.	CFH	PIPE CONNECTION SIZE
UH-1	38	43	3/4"
UH-2	38	43	3/4"
IR-1	115	130	1-1/4"
IR-2	115	130	1-1/4"
IR-3	115	130	1-1/4"
RTU-1	121	137	1-1/4"
RTU-2	97	110	1-1/4"
GWH-1	125	142	1-1/4"
DRYER	35	40	3/4"
GRILL	50	57	1"
RANGE	120	136	1-1/4"
TOTAL GAS LOAD	969	1098	

CFH CONVERSION IS 882 BTU/CFH.

WATER HEATER SCHEDULE (GAS FIRED)

ITEM	DWG. NO.	TANK GAL.	CAPACITY MBH INPUT @ S.L.	RECOVERY GPH	TEMP. RISE °F	MANUFACTURER & MODEL NO.	NOTES
GWH-1	P1	60	125	115	100	A.O. SMITH CYCLONE BTH-120	SEALED COMBUSTION

THERMAL EXPANSION ABSORBER SCHEDULE

ITEM	DWG. NO.	SERVICE	VOLUME		FILL PRESS PSI	OP. WT. LBS	MANUFACTURER & MODEL NO.	NOTES
			TANK	ACCEP-TANCE				
TEA-1	P1	GWH-1	2.6	0.9	60	70	AMTROL ST-12	–

PUMP SCHEDULE

ITEM	DWG. NO.	TYPE	SERVICE	GPM	TOTAL HEAD FT. W.C.	MOTOR DATA				OP. WT. LBS.	MANUFACTURER & MODEL NO.	NOTES	CON-TROLS
						HP	RPM	V-ø	STRTR				
P-1	P1	CIRC.	DOMESTIC	5	15	1/12	–	115-1	–	11	GRUNDFOS UP26-64F	INTEGRAL TIMER	8,*

WATER PRESSURE REDUCING VALVE STATION SCHEDULE

ITEM	DWG. NO.	TOTAL FLOW GPM	VALVE						MANUFACTURER & MODEL NO.	NOTES
			NO.	SIZE IN.	GPM	INITIAL PRESS. PSI	FINAL PRESS. PSI	VARIATION PSI		
			1	2	60	90	65	10	CASH ACME TYPE E-55	
PRV-1	P1	80	2	1	20	90	75	15	CASH ACME TYPE E-41 SERIES 3	–
			3	2	60	90	65	10	CASH ACME TYPE E-55	
PRV-2	P1	80	4	1	20	90	75	15	CASH ACME TYPE E-41 SERIES 3	–

MECHANICAL/ELECTRICAL EQUIPMENT SCHEDULE

CONTROLS (NOTE B. BELOW) REFERENCES THE "CONTROLS" COLUMN OF THE EQUIPMENT SCHEDULES

NOTES:

A. SEE SPECIFICATIONS SECTION 15010 "ELECTRICAL EQUIPMENT AND WIRING FOR MECHANICAL DIVISION" FOR FURTHER INFORMATION.

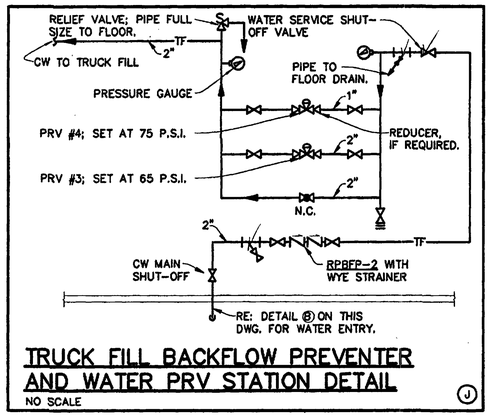
B. CONTROLS: (1) FROM LIGHT SWITCH (2) SEPARATE WALL SWITCH (3) SWITCH WITH PILOT LIGHT (4) RUNS CONTINUOUSLY (5) INTERLOCK TO RUN WITH OTHER EQUIPMENT (6) CONTROLLED BY DIVISION 15900 (7) CYCLE FROM REMOTE THERMOSTAT (8) OTHER; SEE REMARKS * CARRIES FULL CURRENT. WIRING DONE BY DIVISION 16 FOR CONTROL. SEE SPECIFICATIONS. ALSO SEE "TEMPERATURE CONTROL" SPECIFICATIONS.

C. MAGNETIC STARTERS TO HAVE MAINTAIN CONTACT UNLESS NOTED. ALL STARTERS BY MECHANICAL UNLESS NOTED TO BE BY ELECTRICAL.

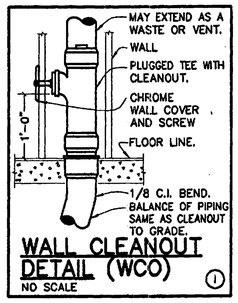
D. MOTORS 1/2 HP AND LESS TO BE 1750 RPM, 115/60/1, MOTORS 3/4 HP AND ABOVE TO BE AS NOTED BELOW.

E. THREE PHASE STARTERS ON MOTORS 5 HP OR GREATER TO HAVE PHASE MONITOR CONTROL RELAY, SEE SPECIFICATION.

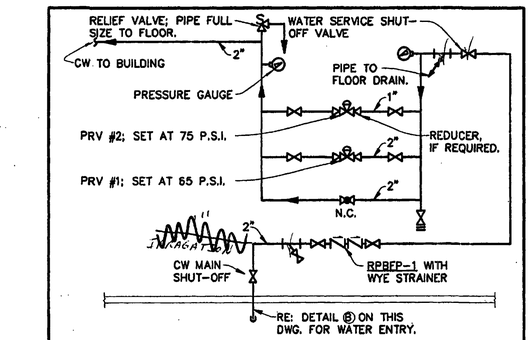
EQ. NO.	EQUIPMENT	ELECTRICAL CHARACTERISTICS	LOCATION SEE PLANS	CONTROL	REMARKS
EWC-1	ELECTRIC WATER COOLER	115-1ø, 10 A	HALL 101, APPARATUS BAY	*	PROVIDE RECEPTACLE TO PLUG UNIT IN
GD-1	GARBAGE DISPOSER	115-1ø, 1 HP	KITCHEN 110	2	–
¢SV-1	GAS VALVE CONTROL STATION	120-1ø	APPARATUS BAY	*	SOLENOID VALVE REQUIRES 11.8 WATTS



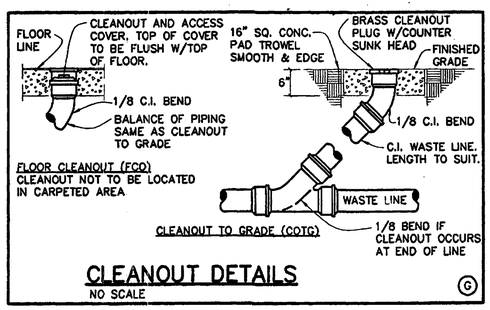
TRUCK FILL BACKFLOW PREVENTER AND WATER PRV STATION DETAIL
NO SCALE (J)



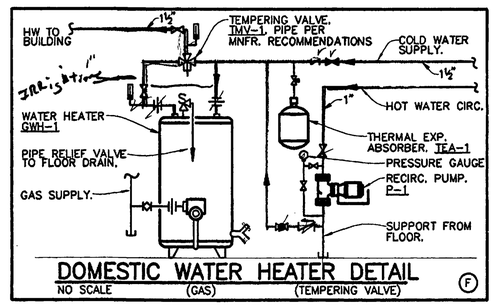
WALL CLEANOUT DETAIL (WCO)
NO SCALE (I)



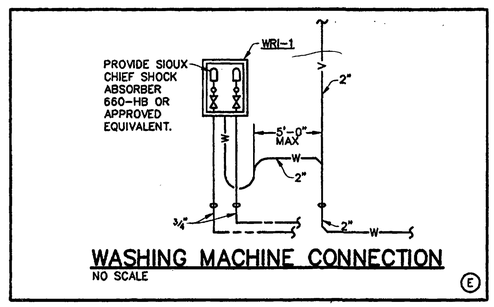
DOMESTIC BACKFLOW PREVENTER AND WATER PRV STATION DETAIL
NO SCALE (H)



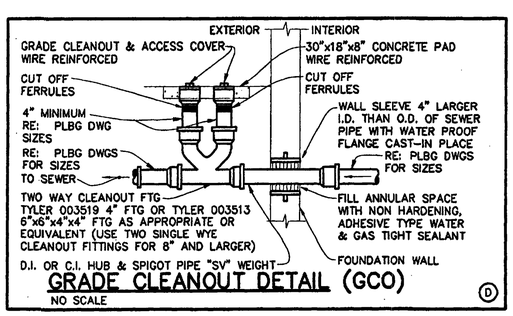
CLEANOUT DETAILS
NO SCALE (G)



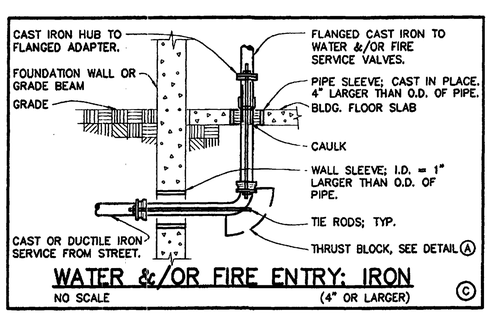
DOMESTIC WATER HEATER DETAIL
NO SCALE (GAS) (TEMPERING VALVE) (F)



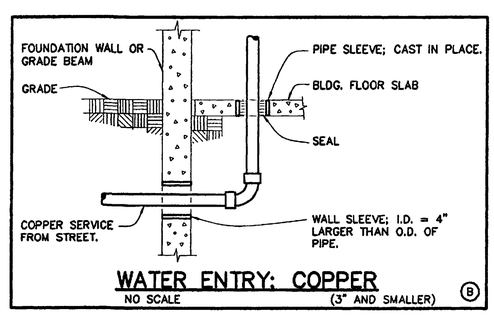
WASHING MACHINE CONNECTION
NO SCALE (E)



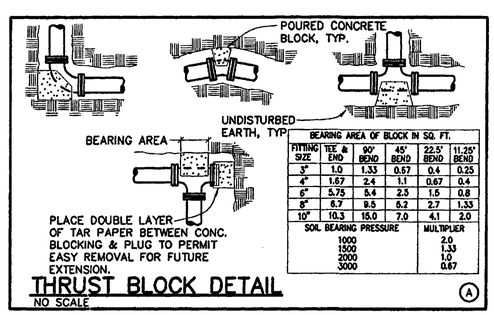
GRADE CLEANOUT DETAIL (GCO)
NO SCALE (D)



WATER &/OR FIRE ENTRY; IRON
NO SCALE (4" OR LARGER) (C)



WATER ENTRY; COPPER
NO SCALE (3" AND SMALLER) (B)



BEARING AREA OF BLOCK IN SQ. FT.

FITTING SIZE	TEE & END	90° BEND	45° BEND	22.5° BEND	11.25° BEND
3"	1.0	1.33	0.67	0.4	0.25
4"	1.67	2.4	1.1	0.67	0.4
6"	3.75	5.4	2.5	1.5	0.8
8"	6.7	9.5	4.2	2.7	1.35
10"	10.3	15.0	7.0	4.1	2.0

SOIL BEARING PRESSURE	MULTIPLIER
1000	2.0
1500	1.33
2000	1.0
3000	0.67

THRUST BLOCK DETAIL
NO SCALE (A)

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503008
CAD FILE:	14495P2
DRAWN BY:	JMP
CHECK BY:	JMP

SHEET TITLE:

ISOMETRICS, DETAILS & SCHEDULES

P2

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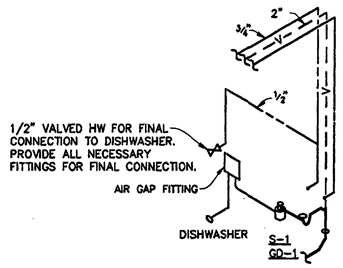
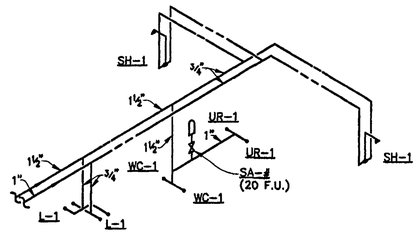
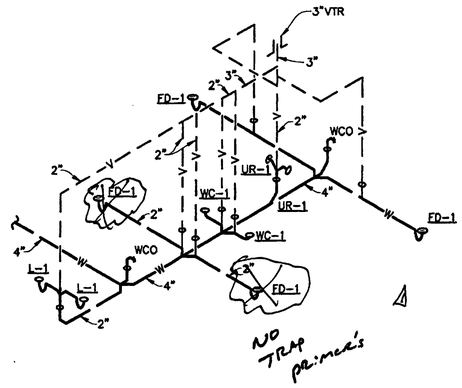


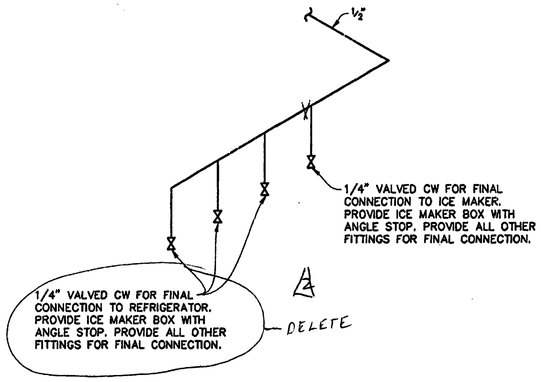
SINK/DISHWASHER ISOMETRIC 'C'
NO SCALE



WATER SUPPLY ISOMETRIC 'A'
NO SCALE



WASTE AND VENT ISOMETRIC 'A'
NO SCALE



REFRIGERATOR/ICE-MAKER ISOMETRIC 'D'
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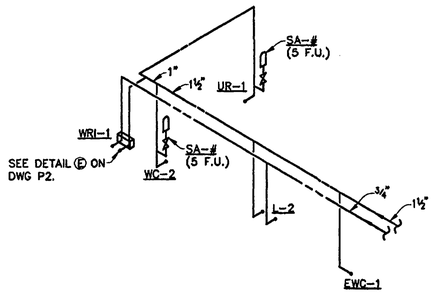

WATER SUPPLY ISOMETRIC 'B'
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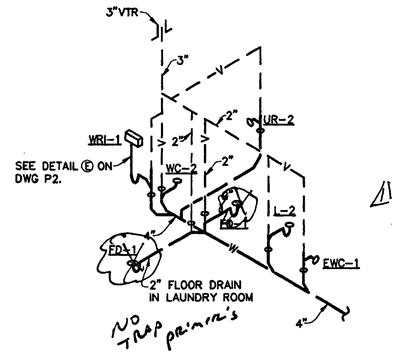

WASTE AND VENT ISOMETRIC 'B'
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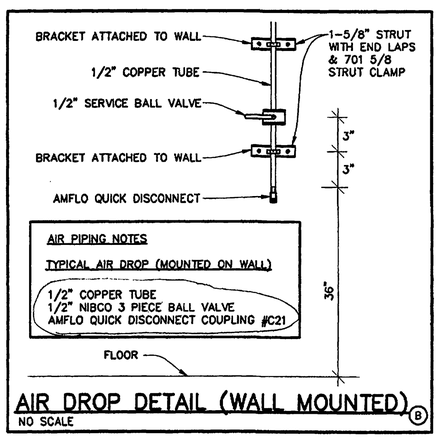
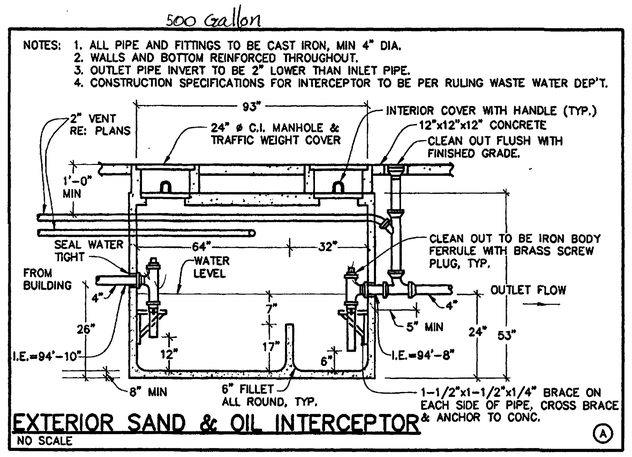


AIR DROP DETAIL (WALL MOUNTED) Ⓑ
NO SCALE



EXTERIOR SAND & OIL INTERCEPTOR Ⓐ
NO SCALE

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Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

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SHEET TITLE:

PLUMBING ISOMETRICS

P3

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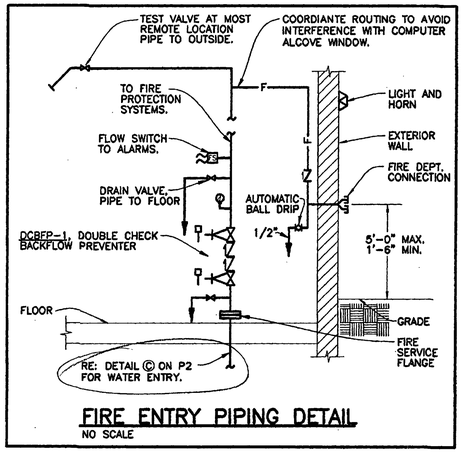
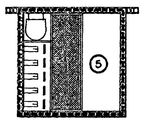
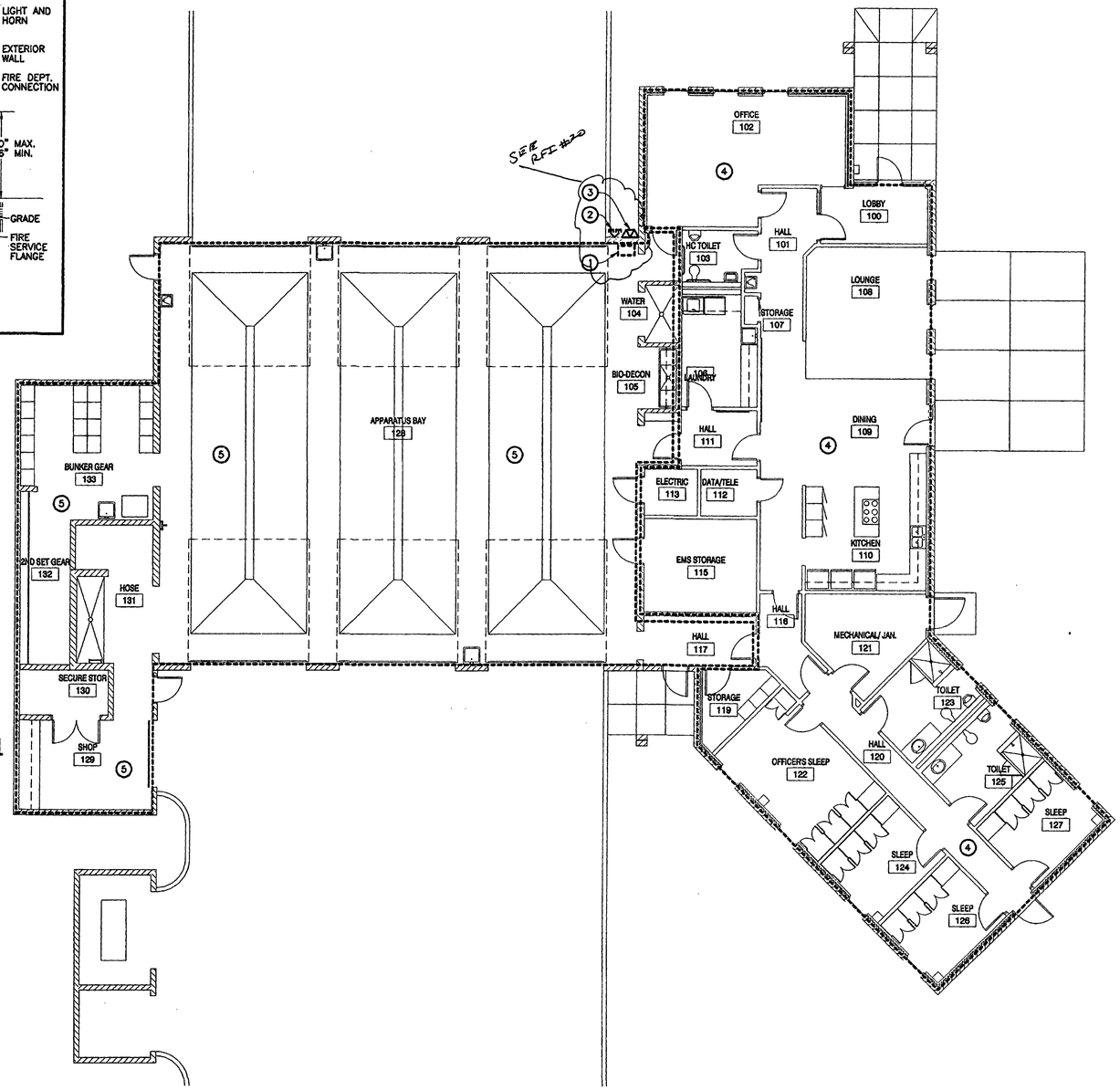


FIRE ENTRY PIPING DETAIL

NO SCALE





NORTH

HOSE TOWER FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"

8' 0 8' 16'

NORTH

FIRE PROTECTION PLAN

SCALE: 1/8" = 1'-0"

8' 0 8' 16'

GENERAL NOTES:

1. UNLESS NOTED OTHERWISE, ALL SPRINKLER HEADS ARE TO BE OF THE WET RECESED TYPE.

FLAG NOTES: ○

1. 4" FIRE ENTRY. PROVIDE DCBFP-1, 4" DOUBLE CHECK BACKFLOW PREVENTER. RE: FIRE ENTRY PIPING DETAIL ON THIS DWG.
2. FIRE DEPARTMENT CONNECTION. SEE FIRE ENTRY PIPING DETAIL ON THIS DWG.
3. LIGHT AND HORN ASSEMBLY.
4. PROTECT THESE AREAS WITH AUTOMATIC WE SPRINKLER SYSTEM. DESIGN THE SYSTEM BASED ON LIGHT HAZARD PER NFPA 13, 1996 EDITION USING QUICK RESPONSE ORDINARY TEMPERATURE (UNLESS SPECIFIED OTHERWISE) SPRINKLER HEADS WITH THE FOLLOWING DESIGN CRITERIA:
   DESIGN DENSITY: 0.10 GPM/SQ. FT.
   AREA OF OPERATION: 1500 SQ. FT.
   HOSE STREAM DEMAND: 100 GPM
5. PROTECT THESE AREAS WITH AUTOMATIC WET SPRINKLER SYSTEM. DESIGN THE SYSTEM BASED ON ORDINARY HAZARD GROUP 1 PER NFPA 13, 1993 EDITION WITH THE FOLLOWING DESIGN CRITERIA:
   DESIGN DENSITY: 0.15 GPM/SQ. FT.
   AREA OF OPERATION: 1500 SQ. FT.
   HOSE STREAM DEMAND: 250 GPM

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SHEET TITLE:

FIRE PROTECTION PLAN

FP1

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ELECTRICAL LEGEND

NOTE: ALL SYMBOLS SHOWN ON LEGEND ARE NOT NECESSARILY USED.

LIGHTING

- DOWNLIGHT
- WALL MOUNTED FLUORESCENT OR INCANDESCENT LUMINAIRE, AS NOTED
- CEILING OR WALL MOUNTED HID LUMINAIRE
- SURFACE MOUNTED FLUORESCENT LUMINAIRE
- RECESS MOUNTED FLUORESCENT LUMINAIRE
- FLUORESCENT STRIP LUMINAIRE
- DIRECTIONAL ACCENT OR WALL-WASH LUMINAIRE
- EXTERIOR POLE MOUNTED LUMINAIRE, AS SCHEDULED
- BOLLARD
- CEILING OR WALL MOUNTED EXIT SIGN, INSTALL FACES AS INDICATED BY SHADING
- EMERGENCY LIGHT AS NOTED

POWER

- STRAIGHT BLADE DUPLEX RECEPTACLE
  - SUBSCRIPTS:
    - GFI = GROUND FAULT INTERRUPTER
    - AC = 6" ABOVE COUNTER
- STRAIGHT BLADE DOUBLE DUPLEX RECEPT. (FOURPLEX)
- STRAIGHT BLADE DUPLEX RECEPT. ON EMERGENCY CIRCUIT
- OUTLET WITH SPECIAL DEVICE, AS NOTED
- WALL MOUNTED OUTLET WITH SPECIAL DEVICE, AS NOTED
- FLOOR MOUNTED POWER BOX, AS NOTED
- FLOOR MOUNTED COMBINATION OUTLET BOX, AS NOTED
- JUNCTION BOX, AS NOTED
- OUTLET BOX
- WALL MOUNTED OUTLET BOX
- PULL BOX
- CONNECTION TO MOTOR
- MAGNETIC MOTOR STARTER
- SAFETY DISCONNECT SWITCH
- FUSED DISCONNECT SWITCH
- COMBINATION DISCONNECT AND STARTER
- ENCLOSED CIRCUIT BREAKER, MOLDED-CASE, THERMAL-MAGNETIC
  - SUBSCRIPTS:
    - AT = ADJUSTABLE TRIP
    - GFCI = GROUND FAULT CIRCUIT INTERRUPTER
    - ST = SHUNT TRIP
- CONNECTION TO PRE-WIRED EQUIPMENT
- BREAKER PANEL
- TRANSIENT VOLTAGE SURGE SUPPRESSOR
- TRANSFORMER
- ENGINE GENERATOR

CIRCUITING

- CONDUIT RUN
- CIRCUIT HOMERUN TO PANEL OR CABINET, NO. OF ARROWS INDICATE NO. OF CIRCUITS
- CIRCUIT TURNED UP
- CIRCUIT TURNED DOWN
- CONDUIT STUB-OUT - CAP & MARK
- CIRCUIT IN FLEXIBLE CONDUIT
- SEALOFF

SWITCHING

- S WALL MOUNTED SWITCH
  - SUBSCRIPTS:
    - 3 = 3-WAY
    - 4 = 4-WAY
    - D = DIMMER
    - K = KEY-OPERATED
    - P = PILOT LIGHT
    - T = THERMAL OVERLOAD

LIGHTNING PROTECTION/GROUNDING SYSTEM

- CONNECTION TO GROUND RING
- INSPECTION SLEEVE
- CONCRETE INSPECTION SLEEVE
- GROUND ROD WITH INSPECTION SLEEVE
- AIR TERMINAL
- GROUND RING SPLICE
- GROUND BAR
- MASTER GROUND BAR - MGB

SCHEMATIC WIRING GRAPHICS

- METER
- GROUND CONNECTION AS NOTED
- DISCONNECT SWITCH
- FUSES
- MAGNETIC MOTOR STARTER
- ENCLOSED CIRCUIT BREAKER, MOLDED-CASE, THERMAL-MAGNETIC
  - SUBSCRIPTS:
    - AT = ADJUSTABLE TRIP
    - IF = INTEGRALLY FUSED
    - GFCI = GROUND FAULT CIRCUIT INTERRUPTER
    - ST = SHUNT TRIP
- ENCLOSED CIRCUIT BREAKER, MOLDED-CASE, THERMAL-MAGNETIC
- ENCLOSED FUSED DISCONNECT SWITCH
- POWER TRANSFORMER
- CURRENT TRANSFORMER
- AMMETER
- VOLT METER
- TRANSFER SWITCH
- G GENERATOR
- 3 MOTOR, NUMBER INDICATES HORSEPOWER

FIRE ALARM SYSTEM

- FACP FIRE ALARM CONTROL PANEL
- FAGP FIRE ALARM GRAPHIC PANEL
- FAAP FIRE ALARM ANNUNCIATOR PANEL
- F MANUAL PULL STATION
- FIRE ALARM STROBE
- F FIRE ALARM COMBINATION HORN/STROBE
- H FIRE ALARM HORN
- F CEILING OR WALL MOUNTED DETECTOR
  - SUBSCRIPTS:
    - I = IONIZATION
    - T = THERMAL, FIXED AND RATE-OF-RISE
    - P = PHOTOELECTRIC
- F SMOKE DETECTOR IN VENTILATING DUCT
- FAD FAN SHUT-DOWN CONNECTION
- F MAG. DOOR HOLDER
- F SPRINKLER SYSTEM FLOW SWITCH
- T SPRINKLER SYSTEM TAMPER SWITCH
- P REMOTE PILOT LIGHT
- P/T REMOTE PILOT LIGHT WITH TEST SWITCH
- MONITOR MODULE
- CONTROL MODULE
- DAMPER CONNECTION

COMMUNICATION SYSTEM

- FLOOR MOUNTED TELEPHONE AND/OR DATA OUTLET BOX, AS NOTED
- WALL MOUNTED TELEPHONE OUTLET
- WALL MOUNTED DATA OUTLET
- WALL MOUNTED COMBINATION TELEPHONE/DATA OUTLET BOX
- W WALL MOUNTED TELEPHONE OUTLET, +48" AFF
- TELEPHONE TERMINAL BOARD - TTB
- S CEILING OR WALL MOUNTED SPEAKER
- V VOLUME CONTROL
- TV CATV OUTLET
- A AMPLIFIER

NOTATIONS

1 - UPPER CASE LETTER AT LUMINAIRES (F1, I1, ETC.) INDICATES LUMINAIRE TYPE. (F1) = TYPE F1 LUMINAIRES IN AREA INDICATED.

2 - LOWER CASE LETTER AT LUMINAIRES AND SWITCHES (a, b, ETC.) INDICATE ASSOCIATED UNITS FOR SWITCHING.

3 - SHADING WITHIN LUMINAIRE DENOTES UNIT ON EMERGENCY CIRCUIT.

4 - PLUS (+) SIGN WITH DIMENSION AT OUTLET INDICATES HEIGHT ABOVE FINISHED FLOOR OR GRADE TO CENTERLINE OF OUTLET.

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175 N. 27th St., Suite 902
Billings, Montana 59101
(406) 256-1141

ABBREVIATIONS

NOTE: ALL ABBREVIATIONS SHOWN ARE NOT NECESSARILY USED.

AC	-	ABOVE COUNTER
AFC	-	ABOVE FINISHED CEILING
AFF	-	ABOVE FINISHED FLOOR
AFG	-	ABOVE FINISHED GRADE
AHJ	-	AUTHORITY HAVING JURISDICTION
AIC	-	AMPS INTERRUPTING CURRENT
AL	-	ALUMINUM
BFG	-	BELOW FINISHED GRADE
CB	-	CIRCUIT BREAKER
CT	-	CURRENT TRANSFORMER
CU	-	COPPER
ELR	-	END OF LINE RESISTOR
EM	-	EMERGENCY
ES	-	EMERGENCY STOP
EWC	-	ELECTRIC WATER COOLER
FLA	-	FULL LOAD AMPS
FWE	-	FURNISHED WITH EQUIPMENT
GFI	-	GROUND FAULT INTERRUPTER
GRC	-	GALVANIZED RIGID CONDUIT
HP	-	HORSEPOWER
LC	-	LIGHTING CONTACTOR
LT	-	LET THROUGH
MCA	-	MINIMUM CIRCUIT AMPS
MCB	-	MAIN CIRCUIT BREAKER
MCCB	-	MOLDED CASE CIRCUIT BREAKER
MCP	-	MOTOR CIRCUIT PROTECTION
MLO	-	MAIN LUGS ONLY
NIC	-	NOT IN CONTRACT
NL	-	NIGHT LIGHT
NO	-	NORMALLY OPEN
NTS	-	NOT TO SCALE
OC	-	OVER CURRENT
OL	-	OVERLOAD
SC	-	SHORT CIRCUIT
TTB	-	TELEPHONE TERMINAL BOARD
UG	-	UNDERGROUND
WG	-	WIREGUARD
WP	-	WEATHERPROOF
XFMR	-	TRANSFORMER

GENERAL NOTES (FOR ALL ELECTRICAL SHEETS)

1. THESE DRAWINGS ARE DIAGRAMMATIC. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS.
2. ALL 120V BRANCH CIRCUITS SHALL BE 3-WIRE (PHASE,NEUTRAL,GROUND). PHASE, NEUTRAL, AND GROUND CONDUCTORS SHALL BE SIZE 12 AWG UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL PLANS, ELEVATIONS AND DIAGRAMS FOR LOCATIONS OF FLOOR AND WALL DEVICES. LOCATION WILL INDICATE VERTICAL AND/ OR HORIZONTAL MOUNTING. IF DEVICES ARE NOT NOTED OTHERWISE THEY SHALL BE MOUNTED LONG AXIS HORIZONTAL AT +18" AFF TO CENTER.
4. COORDINATE EXACT EQUIPMENT LOCATIONS WITH OWNER PRIOR TO ROUGH-INS. COORDINATE LOCATION OF ALL OUTLETS WITH ARCHITECTURAL ELEVATIONS, CASEWORK SHOP DRAWINGS AND EQUIPMENT INSTALLATION DRAWINGS. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL PLANS AND MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN. COORDINATE LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLANS.
5. ANY ITEMS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
6. PROVIDE (1) 3/4"C WITH BUSHING AND PULL WIRE FROM EACH TELEPHONE, DATA, COMBINATION, OR CATV OUTLET SHOWN, TO ABOVE ACCESSIBLE CEILING.
7. ALL ITEMS SHOWN HEAVY LINE WEIGHT ARE NEW.
8. THE LOCATIONS OF ALL SMOKE DETECTORS SHOWN ARE CONSIDERED TO BE SCHEMATIC ONLY. THE ACTUAL LOCATIONS (SPACING TO ADJACENT DETECTORS, WALLS, ETC.) ARE REQUIRED TO MEET NFPA 72.
9. ADA COMPLIANCE: ALL ADA HORN/STROBE UNITS SHALL BE MOUNTED +80" AFF OR 6" BELOW FINISHED CEILING, WHICH EVER IS LOWER. ELECTRICAL DEVICES PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" AND 80" AFF SHALL PROTRUDE NO MORE THAN 4" INTO WALKS OR CORRIDORS. ELECTRICAL AND COMMUNICATIONS SYSTEMS RECEPTACLES ON WALLS SHALL BE 18" MINIMUM AFF TO CENTER OF COVERPLATE.
10. ALL GENERAL PURPOSE OUTLETS IN COMMERCIAL GARAGES SHALL BE MOUNTED AT +42" AFF. COORDINATE MOUNTING HEIGHT OF RECEPTACLES SERVING SPECIAL EQUIPMENT IN COMMERCIAL GARAGES WITH OWNER AND ARCHITECT PRIOR TO ROUGH-INS. NO RECEPTACLES SHALL BE MOUNTED BELOW +18" AFF IN COMMERCIAL GARAGES.
11. ALL 120V, 1Ø, GENERAL PURPOSE RECEPTACLES IN COMMERCIAL GARAGES SHALL BE GFCI TYPE AS REQUIRED BY NEC 511.12.
12. SITE PLAN DOES NOT INDICATE ALL OF THE UG UTILITY LINES, RE: CIVIL DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES OF ALL TRADES PRIOR TO ANY SITE WORK.
13. COORDINATE LOCATION OF LUMINAIRES WITH ARCHITECTURAL REFLECTED CEILING PLANS.
14. ALL EMERGENCY RECEPTACLE DEVICES SHALL BE RED IN COLOR.
15. CONTRACTOR SHALL NOT ROUTE ANY CONDUIT WITHIN STRUCTURAL OR TOPPING SLABS OF FLOORS UNLESS NOTED TO DO SO.

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Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503008
CAD FILE:	14495E0
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CHECK BY:	RWO

SHEET TITLE:

ELECTRICAL
COVER SHEET

E0

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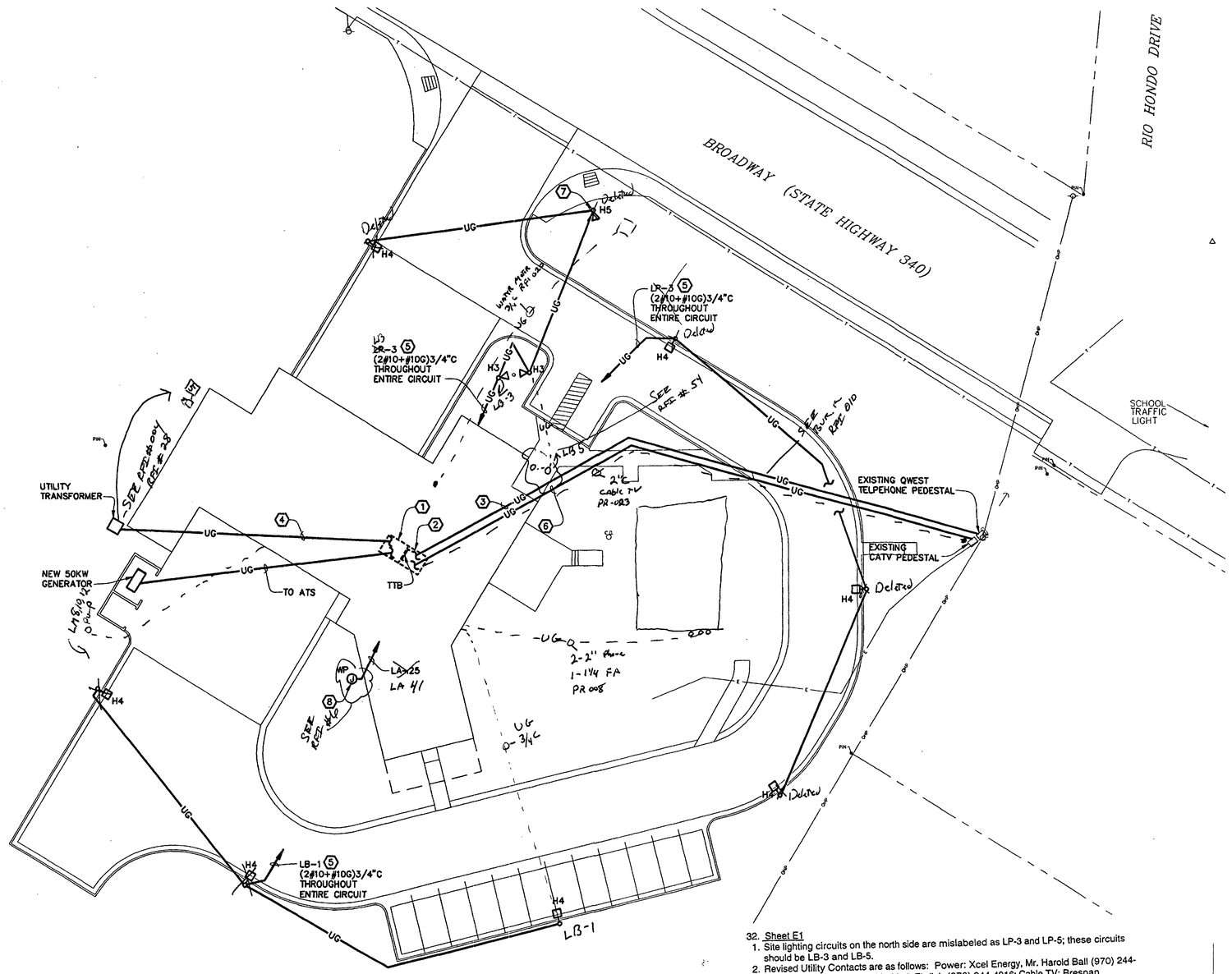


FLAG NOTES THIS SHEET: ⬡

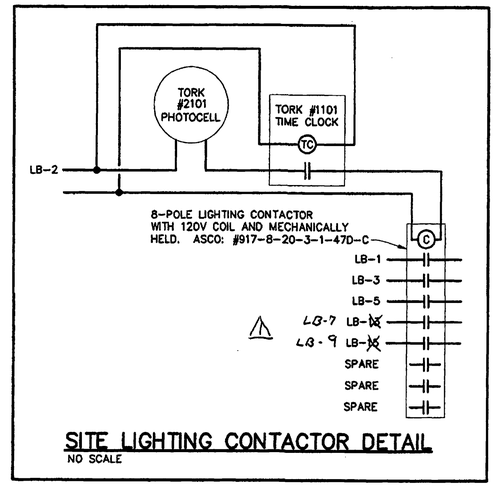
1. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
2. APPROXIMATE LOCATION OF DATA/TELEPHONE ROOM.
3. PROVIDE (1) EMPTY 4" PVC CONDUIT WITH PULL-STRING FROM NEW TTB TO EXISTING TELEPHONE PEDESTAL. COORDINATE EXACT REQUIREMENTS WITH UTILITY COMPANY.
4. NEW SECONDARY SERVICE FROM NEW UTILITY TRANSFORMER. REFER TO ELECTRICAL ONE-LINE DIAGRAM ON SHEET E6 FOR ADDITIONAL REQUIREMENTS.
5. CIRCUIT CONTROLLED VIA LIGHTING CONTACTOR. REFER TO SITE LIGHTING CONTACTOR DETAIL, THIS SHEET, FOR ADDITIONAL REQUIREMENTS.
6. PROVIDE (1) EMPTY 4" PVC CONDUIT WITH PULL-STRING FOR CATV SERVICE FROM EXISTING CATV PEDESTAL. COORDINATE EXACT REQUIREMENTS WITH UTILITY COMPANY.
7. VERIFY EXACT LOCATION OF MONUMENT SIGN WITH ARCHITECT PRIOR TO INSTALLATION OF LUMINAIRE.
8. PROVIDE 120V CONNECTION FOR IRRIGATION CONTROLLER. VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.

UTILITY CONTACTS

POWER:
XCEL ENERGY
MR. HRAOLD BALL
(970)244-2626

TELEPHONE:
QWEST
MR. JUSTIN DILLON
(970)244-4311

CABLE:
BRESNAN
(800)743-3793



SITE LIGHTING CONTACTOR DETAIL

NO SCALE

32. Sheet E1
1. Site lighting circuits on the north side are mislabeled as LP-3 and LP-5; these circuits should be LB-3 and LB-5.
2. Revised Utility Contacts are as follows: Power: Xcel Energy, Mr. Harold Ball (970) 244-2626; Telephone: Qwest, Mr. Mark Ehrlich (970) 244-4916; Cable TV: Bresnan Communications, Mr. Chuck Wiedman (970) 245-8777.
3. Changed circuits LB-13 and LB-15 on Site Lighting Contactor Detail to LB-7 and LB-9.

NORTH

ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"

20' 0

Electrical Items:

1. Refer to Sheet E1, Site Plan.
   a. Provide (2) 3" empty conduits with pull strings a minimum of 24" BFG from the new fire station Data/Tele 112 to the southeast corner of the existing church building. In room 112, turn these conduits up through the slab in front of the TTB and terminate 12" AFF (provide bushings on conduits). At the existing church, provide rigid 90° elbows to turn conduits above grade on exterior wall of building, utilize "LB" fittings to penetrate the building wall, and extend and conduits to just inside the wall (terminate and provide bushings). Coordinate the exact location of conduit penetration to the church building wall with Owner or Architect.
   b. Provide a 1-¼" conduit from the new fire station FACP below grade in the same trench with the new phone/data conduits above to the southeast corner of the church building. Penetrate the church building wall and terminate the same as the phone/data conduits.
   c. Provide two new smoke detectors, one in the Church building Sanctuary and one in the Narthex (main entry). These devices shall either be single station type with integral audible and visible alarms, or the contractor shall provide a separate horn/strobe alarm centered on the wall of each room. Provide the proper cabling for these devices back to the FACP, and pull spare conductors for up to three future FA initiation devices in the church.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503008
CAD FILE:	1449SE1
DRAWN BY:	RAR
CHECK BY:	HWO

SHEET TITLE:

ELECTRICAL SITE PLAN

E1

14495 PROJ. ENG. JMP/RAR PROJ. MGR. JMP STAMPED BY RLR

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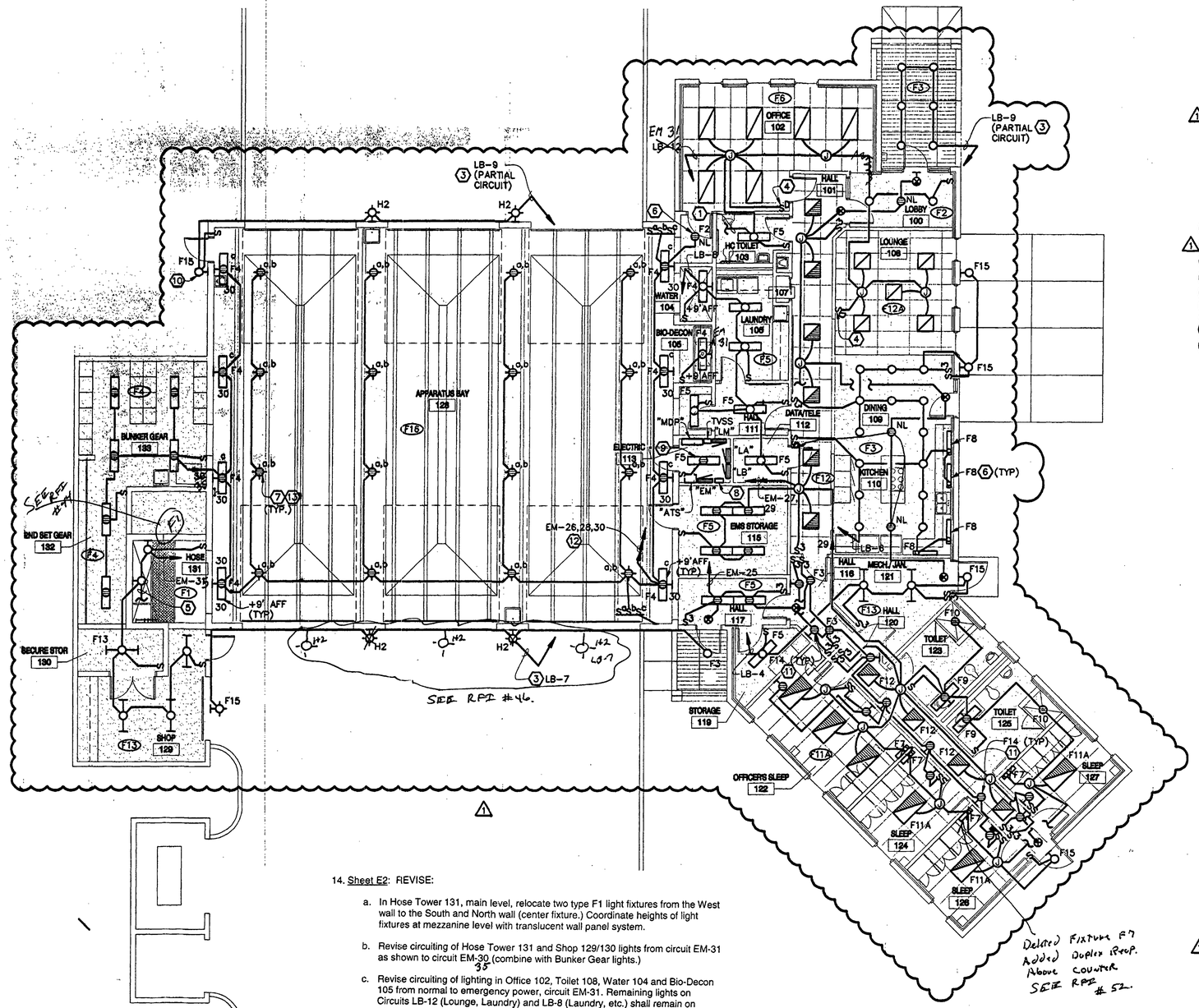
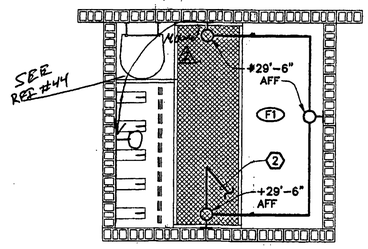


FLAG NOTES THIS SHEET: ○

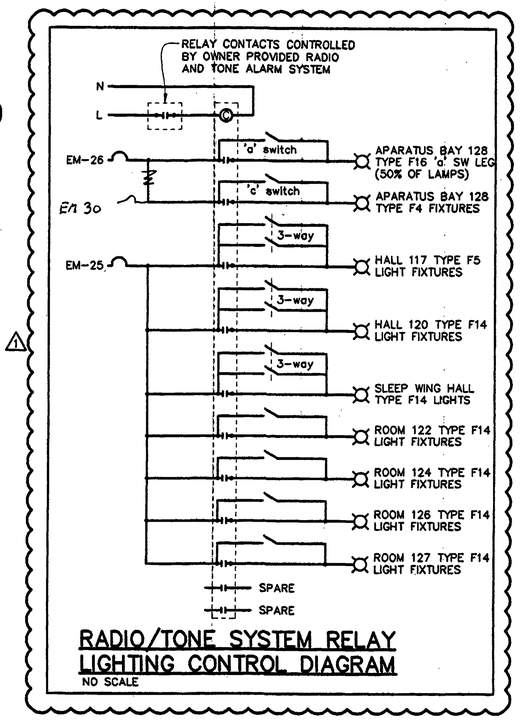
1. TO EXHAUST FAN. REFER TO SHEET E4 FOR CONTINUATION OF CIRCUIT.
2. CONTINUATION OF LIGHTING CIRCUIT FROM LOWER LEVEL OF HOSE TOWER.
3. CIRCUIT CONTROLLED VIA LIGHTING CONTACTOR. REFER TO SITE LIGHTING CONTACTOR DETAIL, SHEET E1, FOR ADDITIONAL REQUIREMENTS.
4. PROVIDE DIMMER SWITCH FOR CONTROL OF LOUNGE LUMINAIRES. COORDINATE COLOR OF SWITCH PRIOR TO ROUGH-IN. HUBBELL: #AS103.
5. REFER TO ENLARGED MEZZANINE PLAN FOR CONTINUATION OF CIRCUIT.
6. CONNECT TO UNSWITCHED PORTION OF LIGHTING BRANCH CIRCUIT. ⚠1
7. PROVIDE BRACING TO AVOID LATERAL FIXTURE MOVEMENT.
8. LOCATION OF TIMECLOCK AND LIGHTING CONTACTOR. REFER TO SHEET E1 FOR ADDITIONAL REQUIREMENTS.
9. CONNECT TO CIRCUIT EM-29. ⚠1
10. FIXTURE SHALL BE PHOTOCELL AND LOCAL SWITCH CONTROLLED.
11. RECESSED WALL SCONCES TO PROVIDE LOW LEVEL LIGHTING IN SLEEPING ROOMS AND CORRIDOR. ARROW INDICATES ROOM SERVED BY RECESSED SCONCE. ⚠1
12. SWITCHED PORTION OF CIRCUITS INDICATED ARE ALSO TO BE CONTROLLED BY RADIO TONE SYSTEM RELAY CONTACTS. SEE CONTROL DIAGRAM ON THIS SHEET. LUMINAIRES INDICATED SHALL TURN ON AUTOMATICALLY UPON TONE ALARM SIGNAL FROM RADIO SYSTEM. PROVIDE ALL NECESSARY COMPONENTS TO MAKE A COMPLETE OPERATIONAL SYSTEM. COORDINATE WITH OWNER AND EQUIPMENT SUPPLIER PRIOR TO WORK.
13. THE TYPE F16 APPARATUS BAY PENDANT FIXTURES ARE TO BE DUAL-LEVEL SWITCHED. CIRCUIT EM-26 AND EM-28 SHALL BE PULLED TO EACH FIXTURE. SWITCH INPUT TO POWER 50% OF THE LAMPS EACH (ONE HALF CONTROLLED BY WALL SWITCH "c", THE OTHER HALF CONTROLLED BY WALL SWITCH "b".



NORTH **ENLARGED HOSE TOWER MEZZANINE LIGHTING PLAN**
SCALE: 1/4" = 1'-0" (4' 0 4' 8')

14. Sheet E2: REVISE:
    a. In Hose Tower 131, main level, relocate two type F1 light fixtures from the West wall to the South and North wall (center fixture.) Coordinate heights of light fixtures at mezzanine level with translucent wall panel system.
    b. Revise circuiting of Hose Tower 131 and Shop 129/130 lights from circuit EM-31 as shown to circuit EM-30 (combine with Bunker Gear lights.)
    c. Revise circuiting of lighting in Office 102, Toilet 108, Water 104 and Bio-Decon 105 from normal to emergency power, circuit EM-31. Remaining lights on Circuits LB-12 (Lounge, Laundry) and LB-8 (Laundry, etc.) shall remain on normal power.

NORTH **LIGHTING PLAN**
SCALE: 1/8" = 1'-0" (8' 0 8' 16')



RADIO/TONE SYSTEM RELAY LIGHTING CONTROL DIAGRAM
NO SCALE

33. Sheet E2 – REPLACE:
    1. Added low level lighting sconces in sleeping rooms and hall (type F14 fixture).
    2. Added control diagram for radio/tone alarm system relay control of low level lighting, corridor and apparatus bay lights.
    3. Added more lighting circuits to emergency panel EM.
    4. Added exterior lights for patio and other exit doors.
    5. Changed Bunker Gear Lighting to fluorescent (Type F4 gasketed).
    6. Changed Kitchen and Dining Room down lights to Type F3 fluorescent.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
⚠	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	14495E2
DRAWN BY:	RAR
CHECK BY:	HVO

SHEET TITLE:
LIGHTING PLAN

E2

09104842.TIF

PROPOSAL REQUEST #13

GJ Redlands Fire Station No. 5
2155 Broadway
Grand Junction, CO 81505

Provide and install a complete back up radio system and antenna. Coordinate work with the Grand Junction Fire Department.

1. Provide and install 1 ¼ conduit from TTB in Data/Elect 112 to Roof of Hose Tower 131. Run conduit overhead if possible. Terminate outside of tower onto wall near roof line, using a weather-head of other sealed installation method.

2. Provide and install back-up radio system power supply, transmitter and received, per attached "Grand Junction Fire Station #5 back-up Radio System" in Data/Tele 112. Locate on TTB plywood panel near 120V EM receptacle for ease of connection.

3. Provide and install RG-58 coaxial cable (inside 1¼" conduit per Item 1) from back-up radio system head-end equipment (Room 112) and antenna located on the hose tower roof. Provide and install necessary connectors, fittings tools and materials necessary to connect cable at each end. Run cable to greatest extend possible concealed and neatly where exposed.

4. Provide and install a ¾" conduit from TTB in Data/Tele 112 to location adjacent to Z-Tron Tone Alert System station for back-up radio microphone station. Locate 5' AFF, center between west wall of radio alcove and Z-Tron J-box (which is 18" off east wall of radio alcove). Use a 3-gang J-box and RJ 45 wall plate. The detachable microphone comes with the Motorola unit and will plug in the wall at the radio alcove. Provide and install wiring and cabling as required between back-up radio head-end equipment to hang-up station, and terminate on standard microphone jack. Run conduit and cable concealed in walls where exposed, run neatly and cleanly.

5. Refer to Sheet E3, Power & System Plan

a. In addition to the electrical power and rough-in provisions for the "Back-Up" Radio System equipment and antenna, provide a turn-key back-up radio system, including head-end equipment, racks, mounting hardware, accessories, and coax cabling. Furnish and install the complete system, and provide testing to insure proper operation of system, training of Fire Department personnel by the selected vendor, and vendor warranty on the complete system. This radio system shall be comprised of the equipment, hardware and accessories as listed in the attached parts list provided by the Fire Department.

6. For the Z-Tron System (provided by owner), provide a ½" conduit from Room 112 to radio alcove. Locate a single-gang J-box 6' AFF and 18" west of the east wall of the radio alcove.

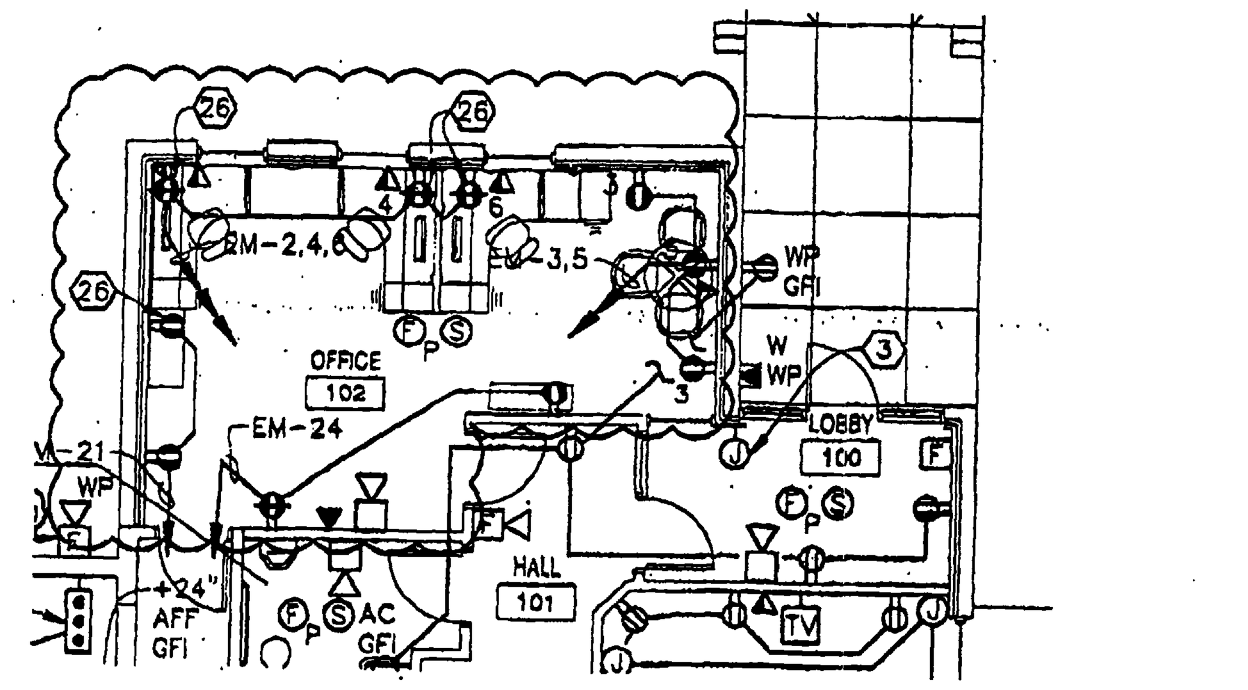
7. The PA amplifier already in contract will be used by the phone system, Z-Tron system, back-up radio system, and PA system. According to the owner, this will require 2 auxiliary ports and 1 telephone port. Verify AMP model spec'd meets the needs described herein and if not, propose an alternate.

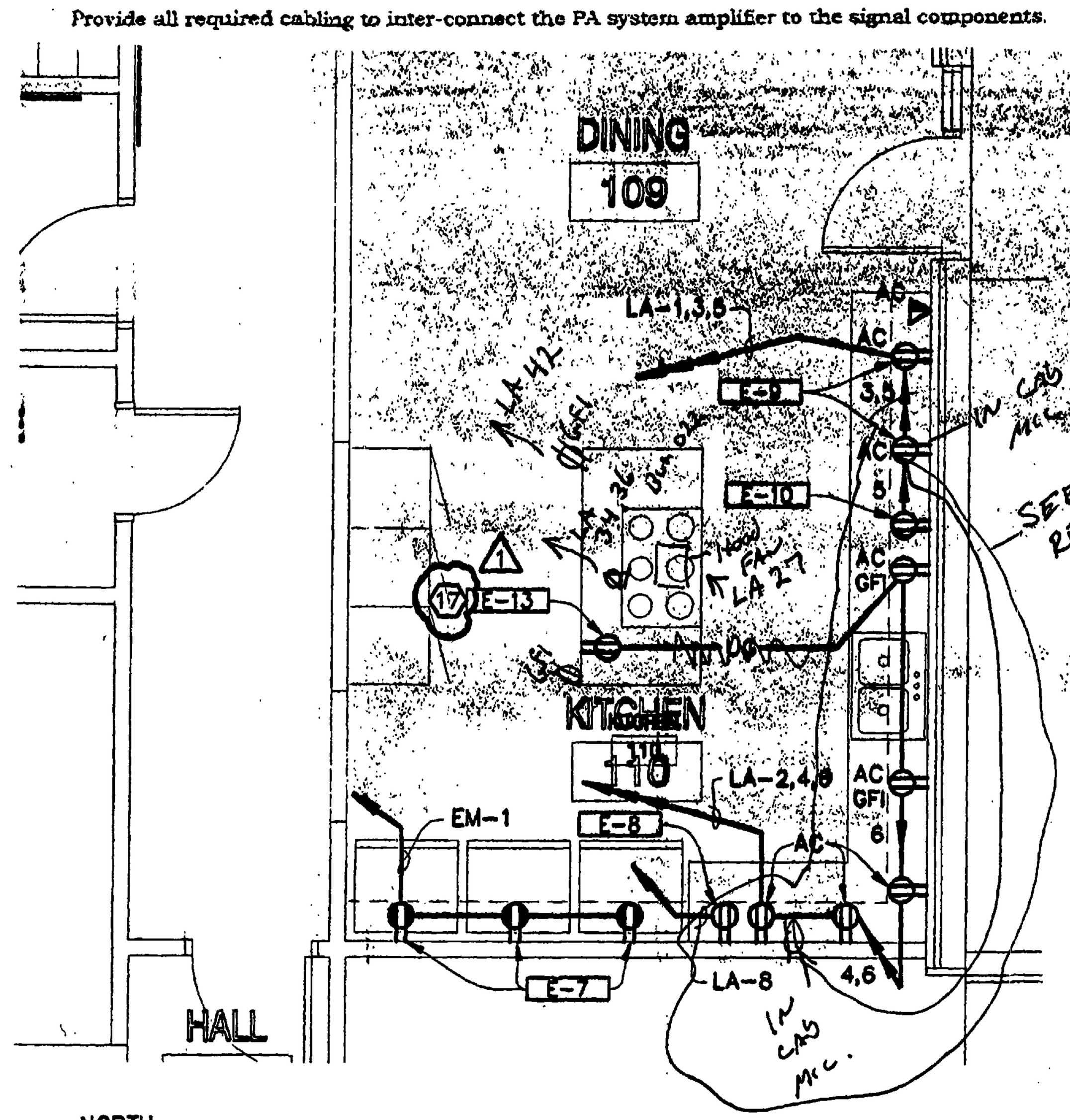
Signals to the amp have the following priority.
1. Z-Tron system
2. Back-up radio system
3. Phone, paging system

Provide all required cabling to inter-connect the PA system amplifier to the signal components.

34. Sheet E3 – REPLACE:
1. Added provisions for portable air compressor in Apparatus Bay, including disconnect, NEMA 15-60 outlet, and home run to MDP.
2. Added Hubbell catalog number for cord reels in apparatus bay to flag note #1.
3. Revised flag note #6 for extractor.
4. Revised flag note #14 for portable air compressor outlet.
5. Changed second flag note "#21" to #22.
6. Added flag note #23 for air compressor.
7. Added flag note #24 to provide additional 4000 raceway on north wall of office, similar to flag note #21.
8. Added 20 LF of 4000 raceway at north wall of office.
9. Revised circuiting for cord reels in apparatus bay.
10. Added location of flag note #17 (at receptacle for E-13) to Enlarged Kitchen Plan.

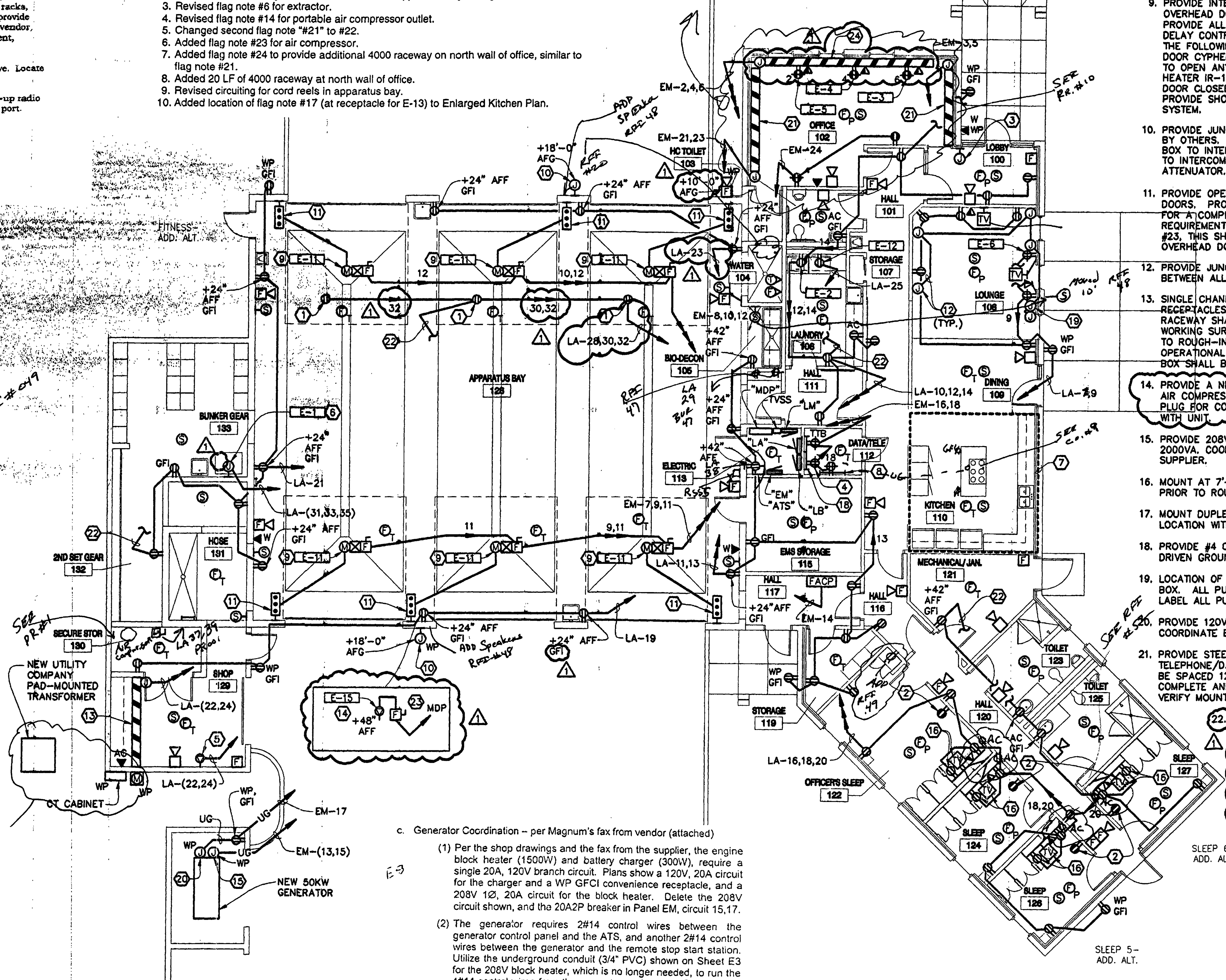
2. Refer to Sheet E3, Power & Systems Plan.
a. In Office 102, delete (credit) the Wiremold 4000 dual-channel surface raceway called out in flag notes 21 and 24. Provide the new receptacle and phone/data outlet layout for this room as shown on the attached revision sketch SKE-2. Revise circuiting as shown, and revise panel circuit directory descriptions as necessary.





NORTH

ENLARGED KITCHEN PLAN
SCALE: 1/4" = 1'-0"



c. Generator Coordination – per Magnum's fax from vendor (attached)

(1) Per the shop drawings and the fax from the supplier, the engine block heater (1500W) and battery charger (300W), require a single 20A, 120V branch circuit. Plans show a 120V, 20A circuit for the charger and a WP GFCI convenience receptacle, and a 208V 1Ø, 20A circuit for the block heater. Delete the 208V circuit shown, and the 20A2P breaker in Panel EM, circuit 15,17.

(2) The generator requires 2#14 control wires between the generator control panel and the ATS, and another 2#14 control wires between the generator and the remote stop start station. Utilize the underground conduit (3/4" PVC) shown on Sheet E3 for the 208V block heater, which is no longer needed, to run the 4#14 control wires from the generator enclosure to Electric 113. In Electric 113, land two wires at the ATS, and continue the other 2#14 in ½"C to the remote start/stop station. Locate the remote start/stop station on the east wall of the Apparatus Bay, between the doors into Electric 113 and EMS Storage 115.

NORTH

POWER & SYSTEMS PLAN
SCALE: 1/8" = 1'-0"

FLAG NOTES THIS SHEET: ⬡

1. PROVIDE CEILING MOUNTED DROP DOWN CORD REEL WITH DUPLEX RECEPTACLE ON END OF 45'-0" CORD. MOUNT ON BOTTOM SIDE OF CEILING STRUCTURAL STEEL. VERIFY EXACT LOCATION WITH ARCH. PRIOR TO ROUGH-IN. HUBBELL: #HBL501232W, WITH #HBL16PB BASE.
2. RECEPTACLE SHALL BE ON CIRCUIT EM-19.
3. PROVIDE DOOR BELL AND TIE INTO INTERCOM SYSTEM. VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. PROVIDE 120V CONNECTION FOR INTERCOM SYSTEM.
5. PROVIDE 50A, 208V-1ø SPECIAL RECEPTACLE, NEMA 6-50R. CONFIRM NEMA CONFIGURATION WITH OWNER PRIOR TO ROUGH-IN.
6. THE EXTRACTOR IS TO BE PROVIDED BY OWNER (FUTURE). PROVIDE JUNCTION BOX WITH BLANK COVER (LEAVE 6" COIL ON END OF WIRE).
7. REFER TO ENLARGED KITCHEN PLAN, THIS SHEET, FOR ADDITIONAL REQUIREMENTS.
8. CABLE TV TERMINAL BOARD. COORDINATE EXACT REQUIREMENTS WITH UTILITY COMPANY.
9. PROVIDE INTEGRATED CONTROL SYSTEM FOR INTERCONNECTION OF OVERHEAD DOORS WITH APPARATUS BAY VENTILATION SYSTEM. PROVIDE ALL NECESSARY INTERCONNECTION WIRING, RELAYS, TIME DELAY CONTROLS AND LOW VOLTAGE TRANSFORMERS TO PERFORM THE FOLLOWING SEQUENCE OF OPERATION: WHEN ANY OVERHEAD DOOR CYPHER LOCK OR OPEN-STOP-CLOSE SWITCH IS ACTIVATED TO OPEN ANY OVERHEAD DOOR IT SHALL ALSO DEACTIVATE INFRARED HEATER IR-1A,2A,3A. WHEN ALL THE DOORS ARE CLOSED, THE DOOR CLOSED LIMIT SWITCHES SHALL ACTIVATE 1R-1A, IR-2A, IR-3A. PROVIDE SHOP DRAWINGS AND SCHEMATIC DESIGN FOR THIS CONTROL SYSTEM.
10. PROVIDE JUNCTION BOX FOR SPEAKER. SPEAKER TO BE FURNISHED BY OTHERS. ROUTE 3/4" CONDUIT WITH WIRING FROM JUNCTION BOX TO INTERCOM CONTROL PANEL IN DATA/TELE #112. CONNECT TO INTERCOM SYSTEM VIA A SEPARATE LOWATT VOLUME CONTROL ATTENUATOR.
11. PROVIDE OPEN-STOP-CLOSE PUSHBUTTON FOR CONTROL OF OVERHEAD DOORS. PROVIDE ALL NECESSARY CONTROL WIRING AND TRANSFORMER FOR A COMPLETE AND OPERATIONAL SYSTEM. COORDINATE EXACT REQUIREMENTS WITH OVERHEAD DOOR SUPPLIER. REFER TO FLAGNOTE #23, THIS SHEET, FOR ADDITIONAL CONTROL REQUIREMENTS FOR OVERHEAD DOOR AND HEATING SYSTEM.
12. PROVIDE JUNCTION BOX AND EMPTY 1" CONDUIT WITH PULL-STRINGS BETWEEN ALL JUNCTION BOXES FOR FUTURE SURROUND SOUND SYSTEM.
13. SINGLE CHANNEL, STEEL RACEWAY WITH (10) SINGLE, 15A RECEPTACLES 12" ON CENTER AND PRE-WIRED WITH (2) CIRCUITS. RACEWAY SHALL BE MOUNTED ON UNDERSIDE OF FRONT EDGE OF WORKING SURFACE. COORDINATE MOUNTING WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE ALL COMPONENTS FOR A COMPLETE AND OPERATIONAL SYSTEM. WIREMOLD: #20GBA512, #20GBA612. JUNCTION BOX SHALL BE MOUNTED ON WALL BELOW COUNTERTOP.
14. PROVIDE A NEMA 15-60, 250V RECEPTACLE FOR PORTABLE AIR COMPRESSOR. (SEE SCHEDULE ON E6) FURNISH MATCHING PLUG FOR COMPRESSOR, AND INSTALL ON S.O. CORD. PROVIDE WITH UNIT.
15. PROVIDE 208V CONNECTION FOR JACKET WATER HEATER, 2000VA. COORDINATE EXACT REQUIREMENTS WITH GENERATOR SUPPLIER.
16. MOUNT AT 7'-0" AFF. VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
17. MOUNT DUPLEX RECEPTACLE INSIDE OF CABINETRY. VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
18. PROVIDE #4 COPPER GROUNDING CONDUCTOR AND CONNECT TO DRIVEN GROUND ROD FOR TTB.
19. LOCATION OF SURROUND SOUND SYSTEM TERMINATION JUNCTION BOX. ALL PULL-STRINGS SHALL TERMINATE AT THIS LOCATION. LABEL ALL PULL-STRINGS FRO EACH FUTURE SPEAKER.
20. PROVIDE 120V CONNECTION FOR BATTERY CHARGER, 200VA. COORDINATE EXACT REQUIREMENTS WITH GENERATOR SUPPLIER.
21. PROVIDE STEEL, DUAL-CHANNEL RACEWAY FOR POWER AND TELEPHONE/DATA SERVICE. RECEPTACLES AND OUTLETS SHALL BE SPACED 12" ON CENTER. PROVIDE ALL COMPONENTS FOR A COMPLETE AND OPERATIONAL SYSTEM. WIREMOLD: #4000 SERIES, VERIFY MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGH-IN.
22. TO RECEPTACLE ON ROOF. REFER TO SHEET E4 FOR CONTINUATION OF CIRCUIT.
23. PROVIDE LOCAL FUSED DISCONNECT SWITCH, 100A/3P WITH 80A FUSES ADJACENT TO COMPRESSOR RECEPTACLE.
24. PROVIDE STEEL, DUAL-CHANNEL RACEWAY, SIMILAR TO NOTE 21 ABOVE, EXCEPT PROVIDE RECEPTACLES AND VOICE/DATA OUTLETS AS SHOWN.

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PROJECT TITLE:
City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

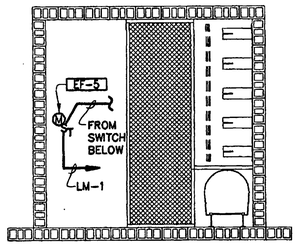
MARK	DATE	DESCRIPTION
1	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	14495E3
DRAWN BY:	RAR,KLT
CHECK BY:	HVO,SRP

SHEET TITLE:
POWER & SYSTEMS PLAN

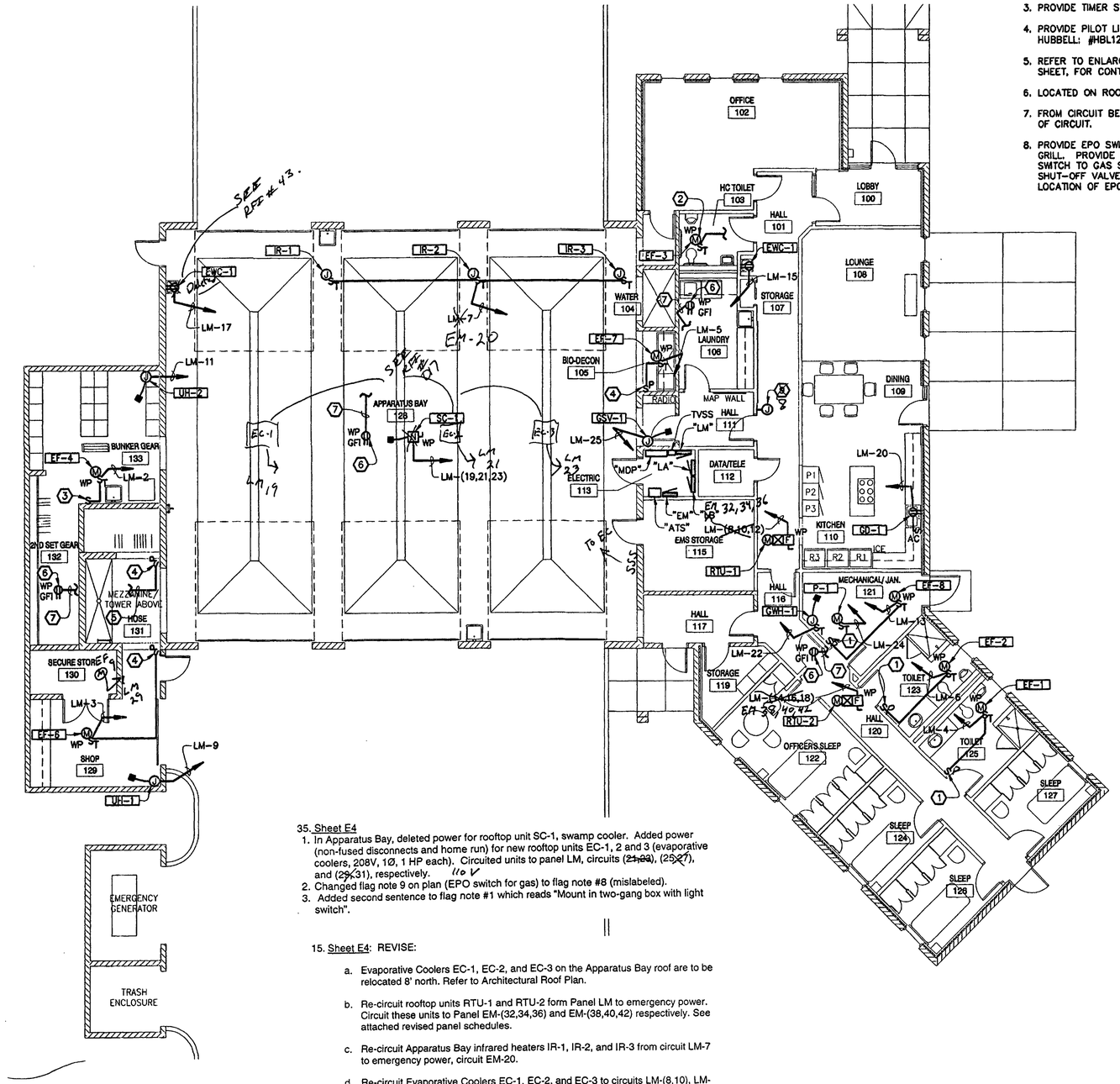
E3

09104843.TIF



ENLARGED HOSE TOWER MEZZANINE MECHANICAL EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



35. Sheet E4
1. In Apparatus Bay, deleted power for rooftop unit SC-1, swamp cooler. Added power (non-fused disconnects and home run) for new rooftop units EC-1, 2 and 3 (evaporative coolers, 208V, 1Ø, 1 HP each). Circuited units to panel LM, circuits (~~21,23~~), (~~25~~,27), and (~~29~~,31), respectively. 110 V
2. Changed flag note 9 on plan (EPO switch for gas) to flag note #8 (mislabeled).
3. Added second sentence to flag note #1 which reads "Mount in two-gang box with light switch".

15. Sheet E4: REVISE:

a. Evaporative Coolers EC-1, EC-2, and EC-3 on the Apparatus Bay roof are to be relocated 8' north. Refer to Architectural Roof Plan.

b. Re-circuit rooftop units RTU-1 and RTU-2 form Panel LM to emergency power. Circuit these units to Panel EM-(32,34,36) and EM-(38,40,42) respectively. See attached revised panel schedules.

c. Re-circuit Apparatus Bay infrared heaters IR-1, IR-2, and IR-3 from circuit LM-7 to emergency power, circuit EM-20.

d. Re-circuit Evaporative Coolers EC-1, EC-2, and EC-3 to circuits LM-(8,10), LM-(10-12) and LM-(14,16) respectively. See attached revised panel schedules.

NORTH

MECHANICAL EQUIPMENT PLAN

SCALE: 1/8" = 1'-0"

FLAG NOTES THIS SHEET:

1. SWITCH FOR CONTROL OF EXHAUST FAN.
2. EXHAUST FAN IS CONTROLLED VIA LIGHT SWITCH. REFER TO SHEET E2 FOR CONTINUATION OF CIRCUIT.
3. PROVIDE TIMER SWITCH FOR CONTROL OF EXHAUST FAN.
4. PROVIDE PILOT LIGHT SWITCH FOR CONTROL OF EXHAUST FAN. HUBBELL: #HBL1221PL.
5. REFER TO ENLARGED HOSE TOWER MEZZANINE PLAN, THIS SHEET, FOR CONTINUATION OF CIRCUIT.
6. LOCATED ON ROOF. SEAL ALL ROOF PENETRATIONS.
7. FROM CIRCUIT BELOW. REFER TO SHEET E3 FOR CONTINUATION OF CIRCUIT.
8. PROVIDE EPO SWITCH FOR SHUT DOWN OF GAS RANGE AND BBQ GRILL. PROVIDE EMPTY 1" CONDUIT WITH PULL-WIRE FROM EPO SWITCH TO GAS SHUT-OFF VALVE. COORDINATE LOCATION OF GAS SHUT-OFF VALVE WITH MECHANICAL CONTRACTOR. VERIFY EXACT LOCATION OF EPO SWITCH WITH ARCHITECT PRIOR TO ROUGH-IN.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503008
CAD FILE:	14495E4
DRAWN BY:	
CHECK BY:	

SHEET TITLE:

MECHANICAL EQUIPMENT PLAN

E4

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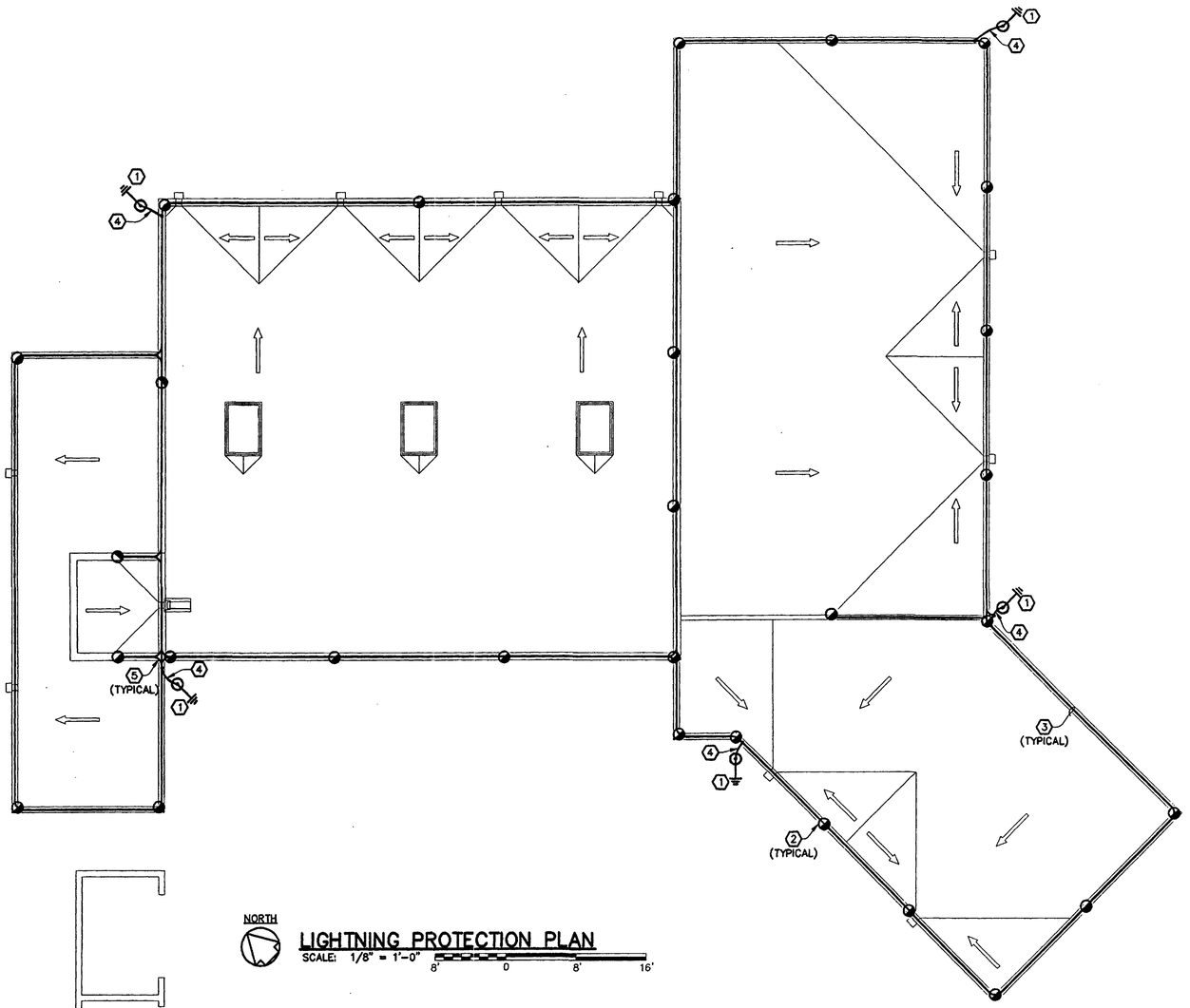
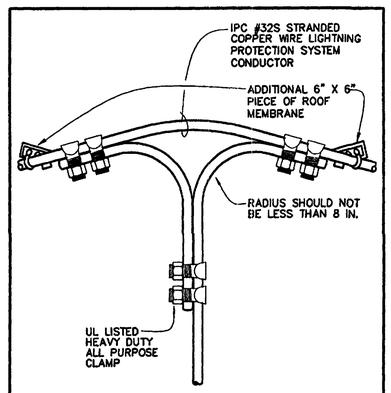


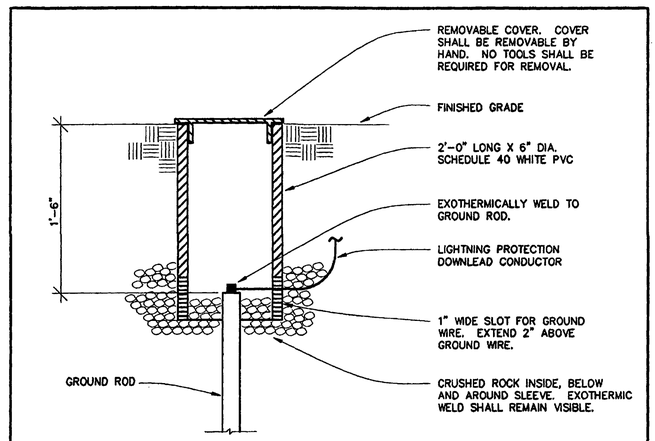
NORTH

LIGHTNING PROTECTION PLAN
SCALE: 1/8" = 1'-0"

8' 0 8' 16'



NON-DIRECTIONAL CONNECTION
NO SCALE



GROUND ROD INSPECTION SLEEVE DETAIL
NO SCALE

GENERAL NOTES:

1. GROUND RODS TO BE DRIVEN BY HAND SLEDGING, SLIDE HAMMER, OR POWER DRIVER TO THE RING WIRE DEPTH, UTILIZING A GROUND ROD DRIVING SHIELD TO PREVENT MUSHROOMING OF THE TOPS OF THE RODS.
2. WHERE GROUND RODS CANNOT BE DRIVEN VERTICALLY, DRIVE PARALLEL TO OR AWAY FROM EXTERIOR WALL, ANGLE SHALL NOT EXCEED 45°.
3. GROUND RODS ARE TO BE DRIVEN IN UNDISTURBED OR THOROUGHLY COMPACTED FILL AREAS.
4. DO NOT DRIVE OR LAY RODS IN GRAVEL BEDS WHICH ARE USED FOR DRAINAGE, UNLESS THE RODS EXTEND THROUGH SUCH BEDS FAR ENOUGH TO PROVIDE AT LEAST 8'-0" OF CONTACT WITH THE UNDISTURBED EARTH UNDERNEATH.
5. BEFORE BACK FILLING THE GROUNDING ELECTRODE SYSTEM, AN ELECTRICAL CONTINUITY CHECK SHALL BE MADE AT THIS TIME TO ENSURE THAT ALL CONNECTIONS ARE INTACT. A WRITTEN RECORD OF THIS CHECK, WITH PHOTOS, SHALL BE PLACED IN THE OFFICE RECORDS FOR FUTURE REFERENCE.
6. AFTER BACK FILLING AND COMPACTING, AN EARTH RESISTIVITY MEASUREMENT SHALL BE MADE ON THE EXTERIOR GROUND RING SYSTEM PRIOR TO CONNECTION TO THE BUILDING GROUND SYSTEM. THE READING SHALL BE 5 OHMS OR LESS AND BE INCLUDED IN THE OFFICE RECORDS FOR FUTURE REFERENCE.
7. ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALLS SHALL BE IN 1" PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTOR SLEEVES.
8. ALL REINFORCING STEEL AND ALL OTHER EMBEDDED METALLIC ITEMS SHALL BE GROUNDED PER THE NEC AND ALL LOCAL ELECTRICAL CODES.
9. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO OXIDE A" BY DEARBORN CHEMICAL COMPANY ON ALL CONNECTORS. PROVIDE LOCK WASHERS ON ALL MECHANICAL CONNECTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS, REPAINT TO MATCH EXISTING AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE TYPES OF METALS BEING ATTACHED TO.
10. FURNISH AND INSTALL ALL MATERIALS AND LABOR REQUIRED TO PROVIDE A COMPLETE FUNCTIONAL LIGHTNING PROTECTION AND COMMON GROUND SYSTEM FOR THE BUILDING AS SHOWN AND DETAILED ON THE PLANS.
11. ALL MATERIALS FOR THIS SYSTEM SHALL BE NEW AND THE STANDARD PRODUCT OF A MANUFACTURER REGULARLY ENGAGED IN THE PRODUCTION OF LIGHTNING PROTECTION SYSTEMS AND SHALL BE OF THE LATEST APPROVED DESIGNS. EQUIPMENT SHALL BE UL LISTED.
12. SYSTEM MATERIALS IN GENERAL SHALL BE COPPER AND HIGH COPPER-CONTENT BRONZE CASTINGS, AND SHALL COMPLY IN WEIGHT, SIZE, AND COMPOSITION FOR THE CLASS OF STRUCTURE TO BE PROTECTED. THE SYSTEM SHALL CONSIST OF ALL NECESSARY CABLES, AIR TERMINALS, MOUNTING BASES, FITTINGS, COUPLINGS, CONNECTORS, FASTENERS, ETC., AS REQUIRED TO GIVE A COMPLETE AND COORDINATED SYSTEM. ALL CABLE AND ALL AIR TERMINALS SHALL BEAR PROPER UL LABELS.
13. ALL SYSTEM FITTINGS EXCEPT CABLE HOLDERS, REGARDLESS OF STRUCTURE CLASSIFICATION SHALL BE HEAVY-DUTY TYPE MADE FROM BRONZE CASTINGS AND SECURED WITH BOLTED-PRESSURE CLAMPS. PRESSURE PLATES MADE FROM STAMPED OR PRESSED METAL PARTS, OR FITTINGS UTILIZING CRIMP-TYPE PRESSURE DEVICES WILL NOT BE ALLOWED. ALL BOLTS, SCREWS AND RELATED TYPE HARDWARE SHALL BE 300 SERIES STAINLESS STEEL. ALL CABLE TO CABLE, CABLE TO LUG, CABLE TO GROUND ROD, AND CABLE TO STRUCTURAL STEEL CONNECTIONS SHALL BE EXOTHERMICALLY WELDED OR ACCEPTED EQUIVALENT. CONTRACTOR SHALL NOTIFY ENGINEER WHERE CONNECTIONS CANNOT BE USED.
14. A COMMON GROUND SHALL BE PROVIDED BETWEEN THE LIGHTNING PROTECTION SYSTEM AND THE BUILDING ELECTRIC AND TELEPHONE SERVICE GROUNDS. IN ADDITION, ALL UNDERGROUND METALLIC PIPING SYSTEMS SHALL BE BONDED WITH FULL SIZE CONDUCTOR; INCLUDING WATER, GAS, SEWER, AND ANY OTHER PIPING SYSTEM, AT POINTS WHERE THESE PIPINGS ENTER THE BUILDING. BONDING OF UTILITY PIPING SYSTEMS IS SUBJECT TO THEIR COOPERATION AND APPROVAL.
15. BONDING OF ALL METALLIC OBJECTS AND SYSTEMS AT ROOF LEVELS AND ELSEWHERE ON THE STRUCTURE SHALL BE COMPLETE. PRIMARY BONDS FOR METAL BODIES OF CONDUCTANCE SHALL BE BONDED WITH APPROPRIATE FITTINGS AND FULL-SIZE CONDUCTOR; AND SHALL CONSIST OF, BUT NOT BE LIMITED TO, THE FOLLOWING: ROOF EXHAUST FAN, WINDOW WASHING TRACKS, ETC. EXTERIOR ARCHITECTURAL METAL FASCIA AND/OR CURTAIN WALLS OR MULLIONS, WHICH EXTEND THE FULL HEIGHT OF THE STRUCTURE SHALL ALSO BE BONDED, IF NOT INHERENTLY BONDED THROUGH THE BUILDING FRAME.

FLAG NOTES THIS SHEET: ⬡

1. PROVIDE 5/8" x 10'-0" COPPER CLAD GROUND RODS AT LOCATIONS SHOWN. PROVIDE INSPECTION SLEEVE AND EXOTHERMICALLY WELD TO DOWNLEAD CONDUCTOR. SEE GROUND ROD INSPECTION SLEEVE DETAIL THIS SHEET.
2. PROVIDE AIR TERMINAL ON ROOF AS INDICATED. AIR TERMINALS SHALL BE SOLID, 5/8" DIAMETER ROUND COPPER BAR, FULL NICKEL PLATED, AND OF SUFFICIENT LENGTH TO PROJECT 10" MINIMUM ABOVE THE OBJECT TO BE PROTECTED, AND UL LABELED. SPACING SHALL NOT EXCEED 20'-0" BETWEEN TERMINALS ALONG PEAKS. TERMINALS IN MIDDLE OF ROOF. PROVIDE MASTIC COMPATIBLE WITH ROOF AND ALL NECESSARY HARDWARE TO SECURELY MOUNT AIR TERMINALS IN A PERMANENT AND RIGID MANNER. COORDINATE WITH ROOF INSTALLER FOR PROVIDING AN ADDITIONAL 12" X 12" PIECE OF ROOF MEMBRANE AT EACH TERMINAL LOCATION. DO NOT PENETRATE ROOF MEMBRANE.
3. PROVIDE IPC#32S STRANDED COPPER, OR APPROVED EQUIVALENT, FOR INTERCONNECTING CONDUCTORS. ROUTE ALONG ROOF BETWEEN TERMINALS AS INDICATED. SECURE CONDUCTORS TO ROOF WITH APPROVED FASTENERS, SPACED 3'-0" MAXIMUM. COORDINATE WITH ROOF INSTALLER FOR PROVIDING AN ADDITIONAL 6" X 6" PIECE OF MEMBRANE AT EACH ROOF ATTACHMENT LOCATION. DO NOT PENETRATE ROOF MEMBRANE. TYPICAL FOR ALL INTERCONNECTING CONDUCTORS.
4. PROVIDE DOWNLEAD CONDUCTOR TO CONNECT LIGHTNING PROTECTION SYSTEM TO BURIED GROUND RODS. ROUTE CONDUCTOR DOWN CORNERS OF BUILDING IN LOCATIONS SHOWN. COORDINATE DETAILS WITH ARCHITECTURAL AND STRUCTURAL ENGINEER. PROVIDE EXOTHERMIC WELD AT CONNECTION TO BURIED GROUND ROD. SEE DETAILS, THIS SHEET.
5. PROVIDE NON-DIRECTIONAL CONNECTION FOR ROOFTOP CONDUCTORS. SEE DETAIL, THIS SHEET.

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER:	0503008
CAD FILE:	14495E5
DRAWN BY:	
CHECK BY:	

SHEET TITLE:

LIGHTNING PROTECTION PLAN

E5

PROJ. ENG. JMP/RAR PROJ. MGR. JMP STAMPED BY RLR
14495

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SPECIAL EQUIPMENT SCHEDULE

KEY	DESCRIPTION	LOAD	VOLT-ø	FEEDER	O.C. PROTECTION C.B.	O.C. PROTECTION FUSE	REMARKS
E-1	EXTRACTOR 3HP	3.81 KVA	208-3	(3#12+#12G)1/2"C	25A3P	15A FRN-R	DEDUCT ALTERNATE
E-2	CLOTHES WASHER	1200 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-3	COMPUTER	800 VA	120-1	(2#12+#12G)1/2"C	20A1P		
E-4	PRINTER	1500 VA	120-1	(2#12+#12G)1/2"C	20A1P		
E-5	FAX MACHINE	1000 VA	120-1	(2#12+#12G)1/2"C	20A1P		
E-6	BIG SCREEN TV	800 VA	120-1	(2#12+#12G)1/2"C	20A1P		
E-7	REFRIGERATOR	800 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-8	UNDER COUNTER ICE MACHINE	1200 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-9	MICROWAVE	1200 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-10	DISHWASHER	1200 VA	120-1	(2#12+#12G)1/2"C	20A1P		
E-11	OVERHEAD DOOR OPENER △1	1500 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-12	GAS CLOTHES DRYER CONTROLS 1/4HP	[illegible] VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-13	GAS RANGE/OVEN CONTROLS	100 VA	120-1	(2#12+#12G)1/2"C	20A1P		VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-14	RANGE HOOD	- -	-	- -	- -	- -	VERIFY EXACT REQ. WITH EQUIP. SUPPLIER
E-15 △1	PORTABLE AIR COMPRESSOR 20HP, 51A, FLA	18.4 KVA	203-3	(3#2+#4G)1-1/4"C	100A3P	80A FRN-R	EQUIP. HAS (3#4+#4G) S.O. CORD. PROVIDE DISC. SW, MATCHING NEMA PLUG AND RECEPTACLE.

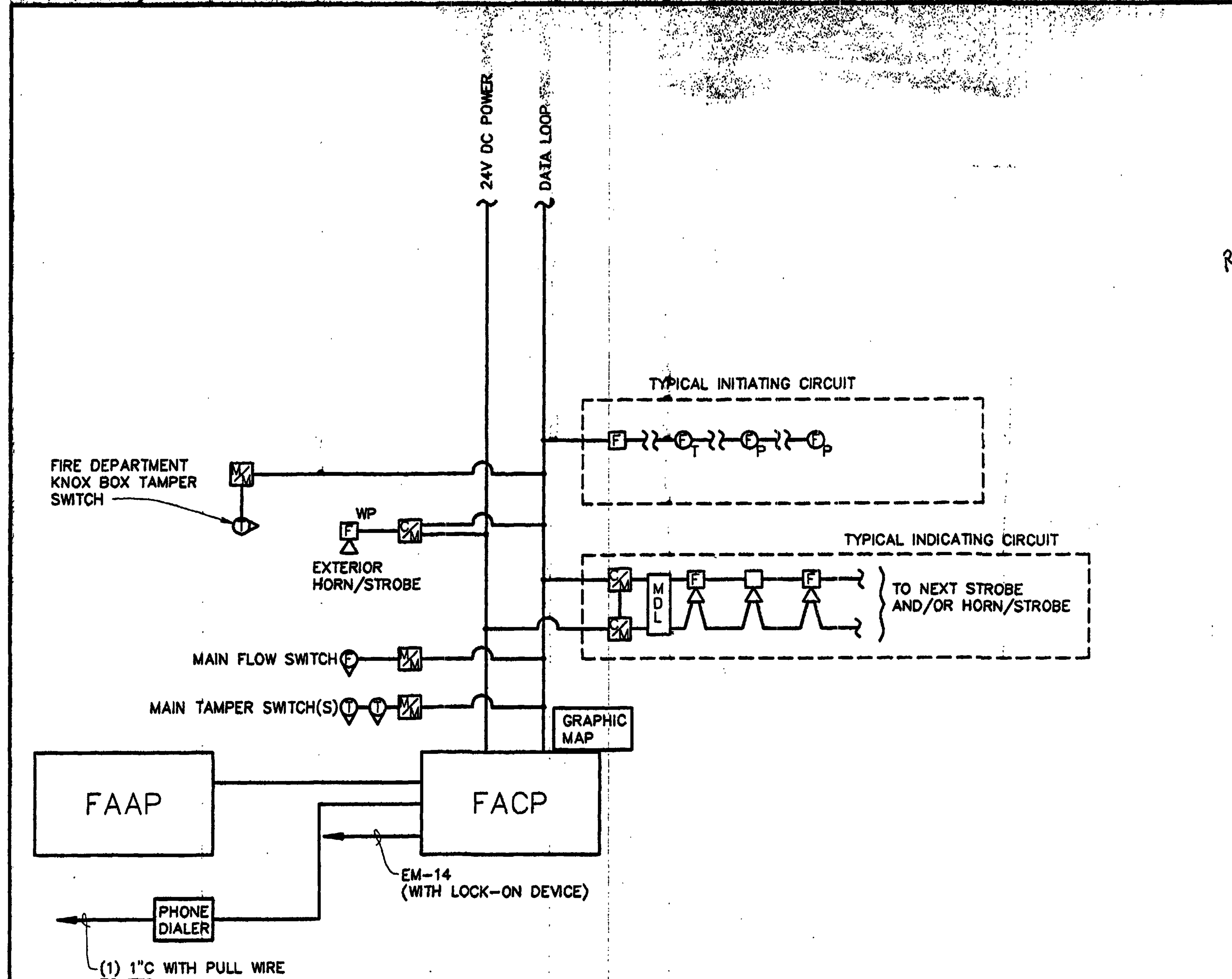
LUMINAIRE SCHEDULE

TYPE	LAMPS QTY.	LAMPS CAT. NO.	DESCRIPTION	VOLT	MOUNTING	MANUFACTURER, CAT. NUMBER
F1	1	CF26DT/835	COMPACT FLUORESCENT WALL SCONCE WITH ELECTRONIC BALLAST	120	SURFACE	SISTEMALUX: S6008 - COLOR PER ARCHITECT
F2	2	CF18DD/835	6" OPEN REFLECTOR COMPACT FLUORESCENT DOWNLIGHT WITH ELECTRONIC BALLAST	120	RECESSED	LITHONIA: AF-2/18DTT-6AR-120-GEB
△1 F3	2	CF18DD/835 △1	SIMILAR TO F2, EXCEPT ADD POLYCARBONATE LENS; DAMP LOCATION RATED.	120	RECESSED	LITHONIA: AF-2/18DTT-6AR-120-GEB-PCL △1
F4 △1	3	F032/735	4 FT. FLUORESCENT, GASKETED LUMINAIRE WITH ELECTRONIC BALLAST	120	SURFACE WALL/CLG △1	LITHONIA: DMW-3-32-AR-120-GEB
F5	2	F032/735	1'x4' FLUORESCENT ACRYLIC SURFACE WRAP WITH ELECTRONIC BALLAST	120	SURFACE	LITHONIA: LB-2-32-120-GEB
F6	~~2~~ 3	F032/735	2'x4' RECESSED, DIRECT/INDIRECT FLUORESCENT LUMINAIRE WITH DIMMABLE BALLAST	120	RECESSED	LITHONIA: 2AV-G-2-32-MDR-120-GEB
F7	1	F15T8/D	2' FLUORESCENT UNDERCABINET LIGHT WITH ROCKER SWITCH	120	SURFACE	LITHONIA: N2S-17-120-SWR GEB
F8	1	F15T8/D	36" FLUORESCENT UNDERCABINET LIGHT WITH ROCKER SWITCH	120	SURFACE	LITHONIA: N2S-25-120-SWR-GEB
F9	2	F032/735	4' FLUORESCENT VANITY WALL BRACKET	120	PER ARCH WALL	LITHONIA: WC-2-32-120-GEB
F10	1	CF18DD/835	6" DROP LENS SHOWER LIGHT WITH ELECTRONIC BALLAST	120	RECESSED GYPSUM	LITHONIA: LP6F-18DTT-120-6LF1-SF
F11	2	F032/735	2'x4' RECESSED LUMINAIRE WITH ACRYLIC LENS AND ELECTRONIC BALLAST	120	RECESSED GRID	LITHONIA: 2SP8-G-2-32-A12125-120-GEB
F11A	3	F032/735	SIMILAR TO F11, EXCEPT NUMBER OF LAMPS	120	RECESSED GRID	LITHONIA: 2SP8-G-2-32-A12125-120-1/3-GEB
F12	2	FB032/735/6	2'x2' RECESSED FLUORESCENT LUMINAIRE WITH ELECTRONIC BALLAST	120	RECESSED GRID	LITHONIA: 2SP8-G-2-U316-A12125-120-GEB
F12A	2	FB032/735/6	SIMILAR TO F12, EXCEPT WITH DIMMING BALLAST	120	RECESSED GRID	LITHONIA: 2SP8-G-2-U316-A12125-120-DIMMING BALLAST
F13	3	F032/735	4' FLUORESCENT LOUVERED INDUSTRIAL FIXTURE WITH ELECTRONIC BALLAST AND WIRE GUARD.	120	SURFACE	LITHONIA: AFST-3-32-12-WGAFPV11
F14	1	CF26DT/735	RECESSED PERFORATED COMPACT FLUORESCENT WALL SCONCE, 14.5" SQ. WITH 1-3/16" PROJECTION. MOUNT IN DOWNLIGHT POSITION (DIFFUSER UP).	120	RECESSED WALL +48' AFF TO BOTTOM	LITHONIA: AVSR-C26-MDR-120
F15	1	CF42DT/735	MINI WALL PACK, CUTOFF TYPE.	120	SURFACE WALL +10' AFG	LITHONIA: TWAC-42TRT-120
△1 F16	4	CF42DT/735	MULTI-USE, LENSED AND GASKETED ACRYLIC LOW BAY FIXTURE WITH 4 CF LAMPS; DUAL LEVEL SWITCHING.	120	PENDANT +16'-0" TO BOTTOM	SPORTLITE: GX400-T42-35K-21PP-21DLCP-120-2SL.
H1			NOT USED.			
H2	1	LU150/D	WALL MOUNTED, HIGH PRESSURE SODIUM SHOE BOX, 150W	120	SURFACE WALL +20'-0"AFG	LITHONIA: KSE1-150S-R4SC-120-WB04
H3	1	MP70/U/MED	IN-GRADE METAL HALIDE MEDIUM FLOOD FOR FLAGPOLE	120	IN-GRADE	LITHONIA: M9720-B-70M-120-MFL
H4	1	LU250/D	20'-0" POLE MOUNTED HIGH PRESSURE SODIUM SHOE SHOE BOX, 250W. COLOR PER ARCHITECT.	120	POLE	LITHONIA: KSE2-250S-R2-120-SP04 POLE SSS-20-4G
H5	1	70W PAR 38	IN-GRADE METAL HALIDE FLOOD WITH ADJUSTABLE AIMING FOR MONUMENT SIGN	120	IN-GRADE	HYDREL: 4440-B-P3870-120-FLC-LS
⊗	-	PROVIDED W/ UNIT	LED EXIT SIGN, (COORD. COLOR WITH AHJ) ON WHITE FACE ARROWS AND FACES AS SHOWN ON PLANS	120	UNIVERSAL	LITHONIA: LE-S-W-2-G-120/277

Revised

36. Sheet E6 – REPLACE:
1. Luminaire Schedule: Added lens to downlight type F3 and changed lamp; Deleted fixture types I1 and I2; Changed type F4 to 3-lamps from 2; Revised type F13 to louvered industrial with wire guard; Added types F14, F15 and F16 fluorescent fixtures; Deleted type H1 metal halide high bay fixture; Changed type H2 and H4 fixtures to square shoebox and changed lighting source to high pressure sodium.
2. Special Equipment Schedule: Added load information on overhead door openers E-11; Added unit E-15, Portable air compressor, 208V, 3Ø, 51A.
3. One Line Diagram: Added breaker and feeder for Air Compressor, downsized ATS, feeder breaker and generator breaker from 200A3P to 150A3P.

16. Sheet E6: REVISE:
a. Luminaire Schedule: Change number of lamps for fixture type F6 from 2 to 3.
b. Luminaire Schedule: Add "House-side Shield" option to pole mounted Luminaire Type H4.
c. One Line Diagram: Downsize circuit breaker sizes for Panels LB and LM in the MDP from 200A3P to 100A3P. Reduce the feeders for these panels from 200A to 100A, i.e. change (4#2+#8G) 1-1/4"C (add to feeder Schedule as feeder type 6.)



FIRE ALARM SYSTEM ONE-LINE DIAGRAM

NO SCALE

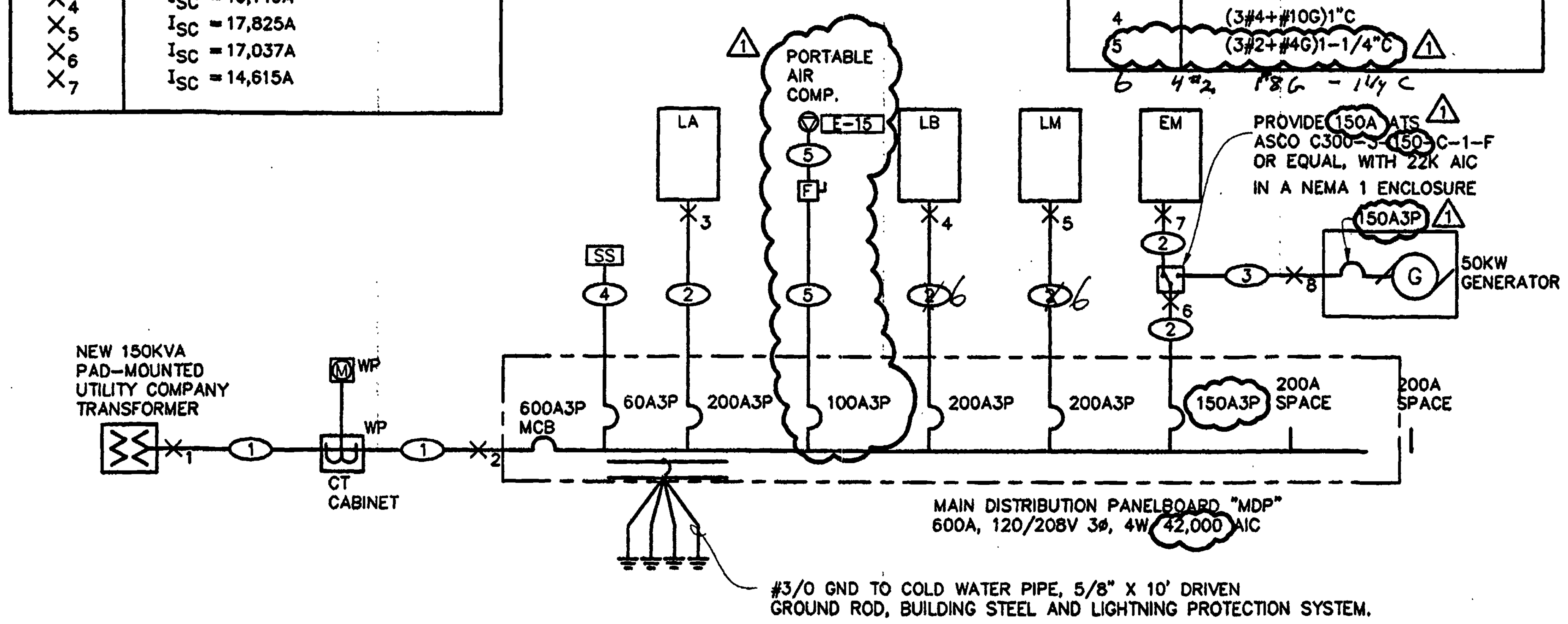
NOTES:
1. REFER TO FLOOR PLANS FOR QUANTITIES AND LOCATIONS OF DEVICES.
2. FIRE ALARM CONDUCTOR NUMBER AND SIZE TO BE AS PER MANUFACTURER'S REQUIREMENTS.
3. ALL WIRING SHALL BE INSTALLED IN CONDUIT SIZED PER NEC.
4. CONTROL MODULES MUST BE LOCATED WITHIN 3'-0" OF DEVICE OR EQUIPMENT THEY ARE CONTROLLING.
5. COORDINATE WITH FIRE SPRINKLER CONTRACTOR ON EXACT QUANTITIES AND LOCATIONS OF FLOW AND TAMPER SWITCHES.

SHORT CIRCUIT

X_1	I_{SC} = 29,500A (FROM XCEL ENERGY)
X_2	I_{SC} = 19,153A
X_3	I_{SC} = 17,037A
X_4	I_{SC} = 16,146A
X_5	I_{SC} = 17,825A
X_6	I_{SC} = 17,037A
X_7	I_{SC} = 14,615A

FEEDER SCHEDULE

⬭	WIRE AND CONDUIT SIZE
1	2[(4#350KCMIL)2-1/2"C]
2	(4#3/0+#6G)2"C
3	(4#2/0+#6G)2"C
4	(3#4+#10G)1"C
5	(3#2+#4G)1-1/4"C △1
6	4#2, 1#8G - 1¼ C



ELECTRICAL ONE-LINE DIAGRAM

NO SCALE

600A, 120/208V, 3ø, 4W

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
△1	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER:	0503006
CAD FILE:	14495E6
DRAWN BY:	
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SHEET TITLE:

ELECTRICAL ONE-LINE DIAGRAMS & SCHEDULES

E6

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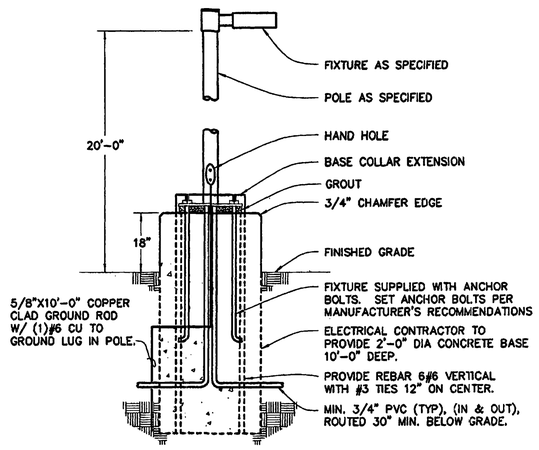

POLE MOUNTING DETAIL FOR FIXTURE "H4"

NO SCALE

NOTES:
1. POLE BASE DEPTH, DIAMETER, REBAR QUANTITIES AND SIZES ARE SHOWN FOR ESTIMATION PURPOSES ONLY.
2. CONTRACTOR SHALL PROVIDE AND SUBMIT TO THE ENGINEER, A POLE BASE INSTALLATION DETAIL WHICH HAS BEEN PREPARED AND SEALED BY A STRUCTURAL ENGINEER. THE DETAIL SHALL SPECIFY EXACT POLE BASE DIMENSIONS, MATERIALS, ETC. FOR ALL LUMINAIRES AND POLES PROVIDED FOR THIS PROJECT. ALL LUMINAIRE POLES AND POLE BASES SHALL BE PROVIDED AS REQUIRED FOR PROPER STRUCTURAL AND WIND LOADING SUPPORT.

MECHANICAL EQUIPMENT SCHEDULE

KEY	DESCRIPTION	LOAD	VOLT–Ø	FEEDER	O.C. PROTECTION C.B.	O.C. PROTECTION FUSE	REMARKS
EF–1,2,8	EXHAUST FAN 1/4 HP	670 VA	120–1	(2#12+#12G)1/2"C	20A1P		CONTROLLED VIA WALL SWITCH
EF–3	EXHAUST FAN 1/4 HP	670 VA	120–1	(2#12+#12G)1/2"C	20A1P		CONTROLLED VIA LIGHT SWITCH
EF–4	EXHAUST FAN 1/4 HP	670 VA	120–1	(2#12+#12G)1/2"C	20A1P		CONTROLLED VIA TIMER
EF–5,6,7 & 8	EXHAUST FAN 1/4 HP	670 VA	120–1	(2#12+#12G)1/2"C	20A1P		CONTROLLED VIA SWITCH W/ PILOT LIGHT
EWC–1	ELECTRIC WATER COOLER 10A	1200 VA	120–1	(2#12+#12G)1/2"C	20A1P		
GD–1	GARBAGE DISPOSAL 3/4 HP	1.59 KVA	120–1	(2#12+#12G)1/2"C	30A1P		
GSV–1	GAS SOLENOID CONTROL STATION 168W	11.8 VA	120–1	(2#12+#12G)1/2"C	20A1P		
GWH–1	GAS WATER HEATER 5A	600 VA	120–1	(2#12+#12G)1/2"C	20A1P		
IR–1,2,3	INFRARED RADIANT HEATER 1.0 A	120 VA	120–1	(2#12+#12G)1/2"C	20A1P		
P–1	RECIRCULATION PUMP 1/12 HP, 1.7A	204 VA	120–1	(2#12+#12G)1/2"C	20A1P		
RTU–1	ROOFTOP UNIT 31A FLA, 32.2 MCA	11.17 KVA	208–3	(3#8+#10G)3/4"C	50A3P HACR	50A FRN–R	
RTU–2	ROOFTOP UNIT 17.8 FLA, 20.6 MCA	6.41 KVA	208–3	(3#10+#10G)3/4"C	30A3P HACR	30A FRN–R	
SC–1	SWAMP COOLER 2 HP FAN, (2) 1/20 HP PUMPS	3.1 KVA	208–3	(3#12+#12G)1/2"C	20A3P		SINGLE POINT CONNECTION
UH–1,2	UNIT HEATER 2.4A	288 VA	120–1	(2#12+#12G)1/2"C	20A1P		DISCONNECT PROVIDED WITH UNIT

SEE PAGE #1 #3

37. Sheet E7
1. Mechanical Equipment Schedule: Deleted unit SC-1. Added units EC-1, 2 and 3, Evaporative Coolers, 208V, 1Ø, 1 HP, 6.3 FLA each; with feeders at (2#12 +#12G)1/2"C and 15A/2P circuit breaker and 15A/2P local disconnect switch.
2. MDP Schedule: Added Portable Air Compressor (100A3P breaker, 6120 VA per phase) to panel schedule.

MKK FORM EE-3a
October 1998

PANEL " MDP "

120 / 208 VOLT, 3 PHASE, 4 WIRE SERVICE
600 AMP: MAIN BREAKER [X] LUGS ONLY [ ] MOUNTING: SURFACE [X]
22,000 AIC: GROUND BUS [X] NEUTRAL [X] FLUSH [ ]

DESCRIPTION	L	R	T|S|O M|A|E	A	B	C	L	R	T|S|O M|A|E	DESCRIPTION
PANELBOARD "LA"			S 11480	200 1	2 200				S 2800	PANELBOARD "LB"
--			S 13830	3	4				S 1810	--
--			S 13610	5	6				S 4037	--
PANELBOARD "LM"			S 5112	200 7	8	200			S 17175	PANELBOARD "EM"
--			S 4928	9	10				S 15920	--
--			S 4532	11	12				S 15064	--
TVSS				60 13	14	100			M 6120	PORTABLE AIR COMP
--				15	16				M 6120	PORTABLE AIR COMP
--				17	18				M 6120	PORTABLE AIR COMP
SPR				19	20					SPR
SPR				21	22					SPR
SPR				23	24					SPR
SP				25	26					SP
SP				27	28					SP
SP				29	30					SP
SP				31	32					SP
SP				33	34					SP
SP				35	36					SP
SP				37	38					SP
SP				39	40					SP
SP				41	42					SP
TOTAL			M A E	LOADS IN VOLT-AMPERES					M 18360 A E	TOTAL

	CONNECTED	D.F.	DEMAND
LIGHTING	14.1	1.25	17.7
RECEPT. (FIRST 10 KW)	10.0	1.00	10.0
RECEPT. (REMAINDER)	4.0	0.50	2.0
MOTORS	43.3	1.00	43.3
LARGEST MOTOR	18.4	1.25	23.0
APPLIANCES		1.00	
EQUIPMENT	38.5	1.00	38.5
HEATING		1.00	
TRANSFORMER		1.00	
OTHER	0.4	1.00	0.4
TOTAL	128.7 KVA		134.8 KVA
LOAD	357.1 AMPS		374.1 AMPS
DESIGN			600.0 AMPS
SPARE			225.9 AMPS

CONNECTED	128.7 KVA
DESIGN	216.2 KVA
DEMAND	134.8 KVA
SPARE	81.4 KVA
CONNECTED	
PHASE A	42.7 KVA
PHASE B	42.6 KVA
PHASE C	43.4 KVA
PHASE BALANCE	
A TO B	100%
B TO C	98%
C TO A	98%

ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE UNLESS NOTED OTHERWISE

L = LIGHTING, R = RECEPTACLE, M = MOTOR, T = TRANSFORMER, SP = SPACE
S = SUBFEED, E = EQUIPMENT, A = APPLIANCE, O = OTHER, SPR = SPARE

NOTES:

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PROJECT TITLE:

City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

MARK	DATE	DESCRIPTION
	10/08/03	

PROJECT NUMBER: 0503008
CAD FILE: 14495E7
DRAWN BY:
CHECK BY:

SHEET TITLE:

ELECTRICAL SCHEDULES AND DETAILS

E7

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PANEL LA

1 E9 MICROWAVE
3 E9 MICROWAVE
5 E10 DISHWASHER
7 R - Lounge EXTERIOR
9 R - Lounge E-6
11 R HALL, APPAR
13 R - STORAGE, HALL
15 Shop wire Mold
17 Shop wire mold
19 R-APPAR, EXT, Shop
21 R-APPAR, EXTERIOR
23 R-APPAR N WALL
25 E-12 Clothes DRYER
27 Kit Hood FAN
29 R - Radio chargers
31 E-1 EXTRACTOR
33 E1 EXTRACTOR
35 E-1 EXTRACTOR
37 Shop AIR COMPRESSOR
39 Shop AIR COMPRESSOR
41 ~~Shop~~ Irg Controller

2 R Kitchen
4 R Kitchen
6 R Kitchen E-13
8 E-8 Kit Ice Machine
10 R Hall Laundry
12 E-2 clothes wash.
14 R - Lobby, Hall R.R.
16 R Hall Sleep
18 R Hall, Sleep
20 R Sleep, Toilet Rms
22 Shop Special Equipment
24 Shop " "
26 SPARE
28 Cord Reel E-15
30 Cord Reel E-15
32 Cord Reel E-15
34 Kit Range
36 Kit Range
38 R Elect, Room
40 SPARE
42 Kit Island Recps

MKK FORM EE-3a
October 1998

PANEL " LA "

120/208 VOLT — 3 PHASE — 4 WIRE SERVICE
200 AMP: MAIN BREAKER ☒ — LUGS ONLY ☐ — MOUNTING: SURFACE ☒
22,000 AIC: GROUND BUS ☒ — NEUTRAL ☒ — FLUSH ☐

DESCRIPTION	L	R	T/S/O M/A/E		A B C		L	R	T/S/O M/A/E		DESCRIPTION
E-9 (MICROWAVE)			E	1200	1	2		360			R-KITCHEN
E-9 (MICROWAVE)			E	1200	3	4		1080			R-KITCHEN
E-10 (DISHWASHER)			E	1200	5	6		360	E	100	R-KITCHEN, E-13
R-LOUNGE, EXTERIOR		1080			7	8			E	1200	E-8 (ICE MACHINE)
R-LOUNGE, E-6		360	E	500	9	10		900			R-HALL, LAUNDRY
R-HALL, APPAR.,ELEC.		1080			11	12			E	1200	E-2 (CLOTHES WASH.)
R-STORAGE, HALL		1080			13	14		720			R-LOBBY, HALL, R.R.
SHOP WIREMOLD			E	1000	15	16		720	E	600	R-HALL, SLEEP
SHOP WIREMOLD			E	1000	17	18		900	E	300	R-HALL, SLEEP
R-APPAR., EXT., SHOP		720			19	20		1080	E	300	R-SLEEP,TOILET RMS
~~R-APPAR. EXTERIOR~~		540			21	22 50			E	4160	SPECIAL EQUIPMENT
R-APPAR. N. WALL		540			23	24			E	4160	--
~~E-12 (CLOTHES DRYER)~~			M	670	25	26			E	300	~~IRRIGATION CONTR.~~ Spare
~~SPR~~ Kit Hood Fan					27	28			E	1500	CORD REEL, E-15
~~SPR~~ Recp Radio Chargers					29	30			E	1500	CORD REEL, E-15
[1] E-1 (EXTRACTOR)			M	1270	25 31	32			E	1500	CORD REEL, E-15
--			M	1270	33	34					~~SPR~~ Kit Range
--			M	1270	35	36					~~SPR~~ Kit Range
SP Shop Air Compressor					37	38					~~SPR~~ Recp Elect Room
SP " " "					39	40					~~SPR~~ SPR
SP Irg Controller					41	42					~~SPR~~ Kit Island Recps
TOTAL		5400	M / A / E	4480 / / 6100	LOADS IN VOLT-AMPERES			6120	M / A / E	/ / 16820	TOTAL

	CONNECTED		D.F.	DEMAND	
LIGHTING			1.25		
RECEPT. (FIRST 10 KW)	10.0		1.00	10.0	
RECEPT. (REMAINDER)	1.5		0.50	0.8	
MOTORS	0.7		1.00	0.7	
LARGEST MOTOR	3.8		1.25	4.8	
APPLIANCES			1.00		
EQUIPMENT	22.9		1.00	22.9	
HEATING			1.00		
TRANSFORMER			1.00		
OTHER			1.00		
TOTAL	38.9	KVA		39.1	KVA
LOAD	108.0	AMPS		108.6	AMPS
DESIGN				200.0	AMPS
SPARE				91.4	AMPS

CONNECTED	38.9 KVA
DESIGN	72.1 KVA
DEMAND	39.1 KVA
SPARE	32.9 KVA
CONNECTED	
PHASE A	11.5 KVA
PHASE B	13.8 KVA
PHASE C	13.6 KVA
PHASE BALANCE	
A TO B	83%
B TO C	98%
C TO A	84%

ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE UNLESS NOTED OTHERWISE

L = LIGHTING R = RECEPTACLE M = MOTOR T = TRANSFORMER SP = SPACE
S = SUBFEED E = EQUIPMENT A = APPLIANCE O = OTHER SPR = SPARE

MKK FORM EE-3a
October 1998

Change to 100A, 30 circuit

PANEL " LB "

120 / 208 VOLT — 3 PHASE — 4 WIRE SERVICE
100 AMP: MAIN BREAKER ☒ — LUGS ONLY ☐ — MOUNTING: SURFACE ☒
22,000 AIC: GROUND BUS ☒ — NEUTRAL ☒ — FLUSH ☐

DESCRIPTION	L	R	T/S/O M/A/E	A B C		L	R	T/S/O M/A/E	DESCRIPTION
[1] SITE LIGHTING	900			1	2			E 200	TIMECLK, LTG.CONT.
[1] SITE LIGHTING	900			3	4	300			L-STOR, MECH/JAN
[1] SITE LIGHTING	775			5	6	1660			L-KITCHEN, DINING
[1] L-EXTERIOR (SOUTH)	500			7	8	1200			L-HALL, STOR.
[1] L-EXTERIOR (NORTH)	610			9	10				SPR
SPR				11	12	932		M 670	L-OFFICE, LOUNGE
SPR				13	14				SPR
SPR				15	16				SPR
SPR				17	18				SPR
SPR				19	20				SPR
SPR				21	22				SPR
SPR				23	24				SPR
SPR				25	26				SPR
SPR				27	28				SPR
SPR				29	30				SPR
				~~31~~	~~32~~				
				~~33~~	~~34~~				
				~~35~~	~~36~~				
				~~37~~	~~38~~				
				~~39~~	~~40~~				
				~~41~~	~~42~~				
TOTAL	3685		M / A / E	LOADS IN VOLT-AMPERES		4092		M 670 / A / E 200	TOTAL

	CONNECTED		D.F.	DEMAND	
LIGHTING	7.8		1.25	9.7	
RECEPT. (FIRST 10 KW)			1.00		
RECEPT. (REMAINDER)			0.50		
MOTORS			1.00		
LARGEST MOTOR	0.7		1.25	0.8	
APPLIANCES			1.00		
EQUIPMENT	0.2		1.00	0.2	
HEATING			1.00		
TRANSFORMER			1.00		
OTHER			1.00		
TOTAL	8.6	KVA		10.8	KVA
LOAD	24.0	AMPS		29.9	AMPS
DESIGN				100.0	AMPS
SPARE				70.1	AMPS

CONNECTED	8.6 KVA
DESIGN	36.0 KVA
DEMAND	10.8 KVA
SPARE	25.3 KVA
CONNECTED	
PHASE A	2.8 KVA
PHASE B	1.8 KVA
PHASE C	4.0 KVA
PHASE BALANCE	
A TO B	65%
B TO C	45%
C TO A	69%

ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE UNLESS NOTED OTHERWISE

L = LIGHTING R = RECEPTACLE M = MOTOR T = TRANSFORMER SP = SPACE
S = SUBFEED E = EQUIPMENT A = APPLIANCE O = OTHER SPR = SPARE

NOTES: [1] VIA LIGHTING CONTACTOR.

MKK FORM EE-3a
October 1998

Change to 100A, 30 circuit

PANEL " LM "

120 / 208 VOLT — 3 PHASE — 4 WIRE SERVICE
100 AMP: MAIN BREAKER ☒ — LUGS ONLY ☐ — MOUNTING: SURFACE ☒
22,000 AIC: GROUND BUS ☒ — NEUTRAL ☒ — FLUSH ☐

DESCRIPTION	L	R	T/S/O M/A/E	A B C		L	R	T/S/O M/A/E	DESCRIPTION
EF-5			M 670	1	2			M 670	EF-4
EF-6			M 670	3	4			M 670	EF-1
EF-7			M 670	5	6			M 670	EF-2
SPARE				7	8 10			M 750	~~EC-1~~ Irrigation Pump
UH-1			M 288	9	10 2			M 750	-- "
UH-2			M 288	11	12 15			M 750	~~EC-2~~ Irrigation Time clock
EF-8			M 670	13	14			M 750	-- Spare
EWC-1 (HALL)			E 1200	15	16 15			M 750	EC-3 Spare
~~EWC-1 (APPARATUS)~~ Spare			E 1200	17	18			M 750	-- Spare
~~GSV-1~~ EC-1			E 12	19	20 30			M 1590	GD-1
~~SPR~~ EC-2				21	22			E 600	GWH-1
SPR EC-3				23	24			M 204	P-1
SPR GSV-1				25	26				SPR
SPR				27	28				SPR
SPR EF-9				29	30				SPR
				~~31~~	~~32~~				
				~~33~~	~~34~~				
				~~35~~	~~36~~				
				~~37~~	~~38~~				
				~~39~~	~~40~~				
				~~41~~	~~42~~				
TOTAL			M 3256 / A / E 2412	LOADS IN VOLT-AMPERES				M 8304 / A / E 600	TOTAL

	CONNECTED		D.F.	DEMAND	
LIGHTING			1.25		
RECEPT. (FIRST 10 KW)			1.00		
RECEPT. (REMAINDER)			0.50		
MOTORS	10.0		1.00	10.0	
LARGEST MOTOR	1.6		1.25	2.0	
APPLIANCES			1.00		
EQUIPMENT	3.0		1.00	3.0	
HEATING			1.00		
TRANSFORMER			1.00		
OTHER			1.00		
TOTAL	14.6	KVA		15.0	KVA
LOAD	40.4	AMPS		41.6	AMPS
DESIGN				100.0	AMPS
SPARE				58.4	AMPS

CONNECTED	14.6 KVA
DESIGN	36.0 KVA
DEMAND	15.0 KVA
SPARE	21.1 KVA
CONNECTED	
PHASE A	5.1 KVA
PHASE B	4.9 KVA
PHASE C	4.5 KVA
PHASE BALANCE	
A TO B	96%
B TO C	92%
C TO A	89%

ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE UNLESS NOTED OTHERWISE

L = LIGHTING R = RECEPTACLE M = MOTOR T = TRANSFORMER SP = SPACE
S = SUBFEED E = EQUIPMENT A = APPLIANCE O = OTHER SPR = SPARE

NOTES:

MKK FORM EE-3a
October 1998

PANEL " EM "

120 / 208 VOLT — 3 PHASE — 4 WIRE SERVICE
150 AMP: MAIN BREAKER ☒ — LUGS ONLY ☐ — MOUNTING: SURFACE ☒
22,000 AIC: GROUND BUS ☒ — NEUTRAL ☒ — FLUSH ☐

DESCRIPTION	L	R	T/S/O M/A/E	A B C		L	R	T/S/O M/A/E	DESCRIPTION
(3) E-7 (REFRIG.)			E 1500	1	2			E 1000	E-5 (FAX MACHINE)
OFFICE WIREMOLD			E 1000	3	4			E 1500	E-4 (PRINTER)
OFFICE WIREMOLD			E 1000	5	6			E 500	E-3 (COMPUTER)
E-11 (OVERHEAD DR)			M 1500	7	8			M 1500	E-11 (OVERHEAD DR)
E-11 (OVERHEAD DR)			M 1500	9	10			M 1500	E-11 (OVERHEAD DR)
E-11 (OVERHEAD DR)			M 1500	11	12			M 1500	E-11 (OVERHEAD DR)
JACKET WATER HTR.			E 1250	20 13	14			E 500	FACP [1]
--			E 1250	15	16		360		R-DATA/TELE. ROOM
BATTERY CHARGER		180	E 840	17	18		720		R-INTERCOM/RADIO
R-SLEEP		720		19	20			O 360	IR-1, IR-2, IR-3
OFFICE WIREMOLD			E 1000	21	22				SPR
OFFICE WIREMOLD			E 1000	23	24		540		R-OFFICE
L-SLEEP,HALL LO LEV	700			25	26	1475		-	L-APPARATUS BAY
L-SLEEP HALL CEILIN(	500			27	28	1450			L-APPARATUS BAY
L-HALL 101,KITCH,EM!	824			29	30	600			L-BUNKER GEAR
L-OFFICE,WATER,BIO	810			31	32 50			M 3723	RTU-1
~~SPR~~ Cont Control ckt				33	34			M 3723	--
~~SPR~~ L-Bunker Hose shop				35	36			M 3723	--
SPR				37	38 30			M 2137	RTU-2
SPR				39	40			M 2137	--
SPR				41	42			M 2137	--
TOTAL	2834	900	M 4500 / A / E 8840	LOADS IN VOLT-AMPERES		3525	1620	M 22080 / A / E 3860	TOTAL

	CONNECTED		D.F.	DEMAND	
LIGHTING	6.4		1.25	7.9	
RECEPT. (FIRST 10 KW)	2.5		1.00	2.5	
RECEPT. (REMAINDER)			0.50		
MOTORS	15.4		1.00	15.4	
LARGEST MOTOR	11.2		1.25	14.0	
APPLIANCES			1.00		
EQUIPMENT	12.3		1.00	12.3	
HEATING			1.00		
TRANSFORMER			1.00		
OTHER	0.4		1.00	0.4	
TOTAL	48.2	KVA		52.5	KVA
LOAD	133.7	AMPS		145.8	AMPS
DESIGN				150.0	AMPS
SPARE				4.2	AMPS

CONNECTED	48.2 KVA
DESIGN	54.0 KVA
DEMAND	52.5 KVA
SPARE	1.5 KVA
CONNECTED	
PHASE A	17.2 KVA
PHASE B	15.9 KVA
PHASE C	15.1 KVA
PHASE BALANCE	
A TO B	93%
B TO C	95%
C TO A	88%

ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE UNLESS NOTED OTHERWISE

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S = SUBFEED E = EQUIPMENT A = APPLIANCE O = OTHER SPR = SPARE

NOTES: [1] PROVIDE LOCK-ON DEVICE FOR CIRCUIT BREAKER.

To Solve. To Excel. Together.
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www.mkkeng.com

PROJECT TITLE:
City of Grand Junction
Fire Department
Redlands Fire Station No. 5
Grand Junction, Colorado

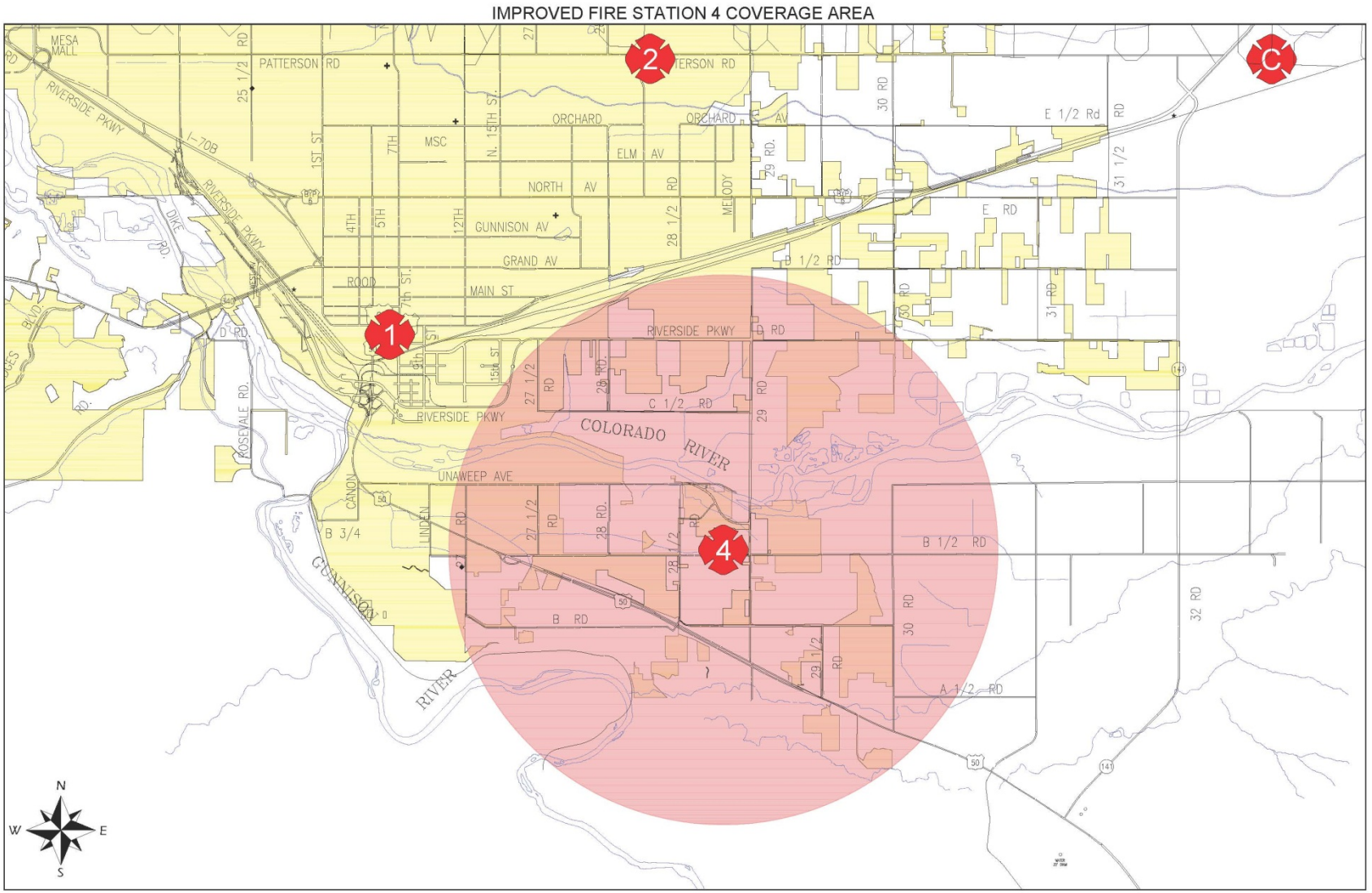
MARK	DATE	DESCRIPTION
⚠	10/17/03	ADDENDUM NO. 1
	10/08/03	

PROJECT NUMBER: 0503006
CAD FILE: 14495E7
DRAWN BY:
CHECK BY:
SHEET TITLE:
PANEL SCHEDULES

E8

09104848.TIF

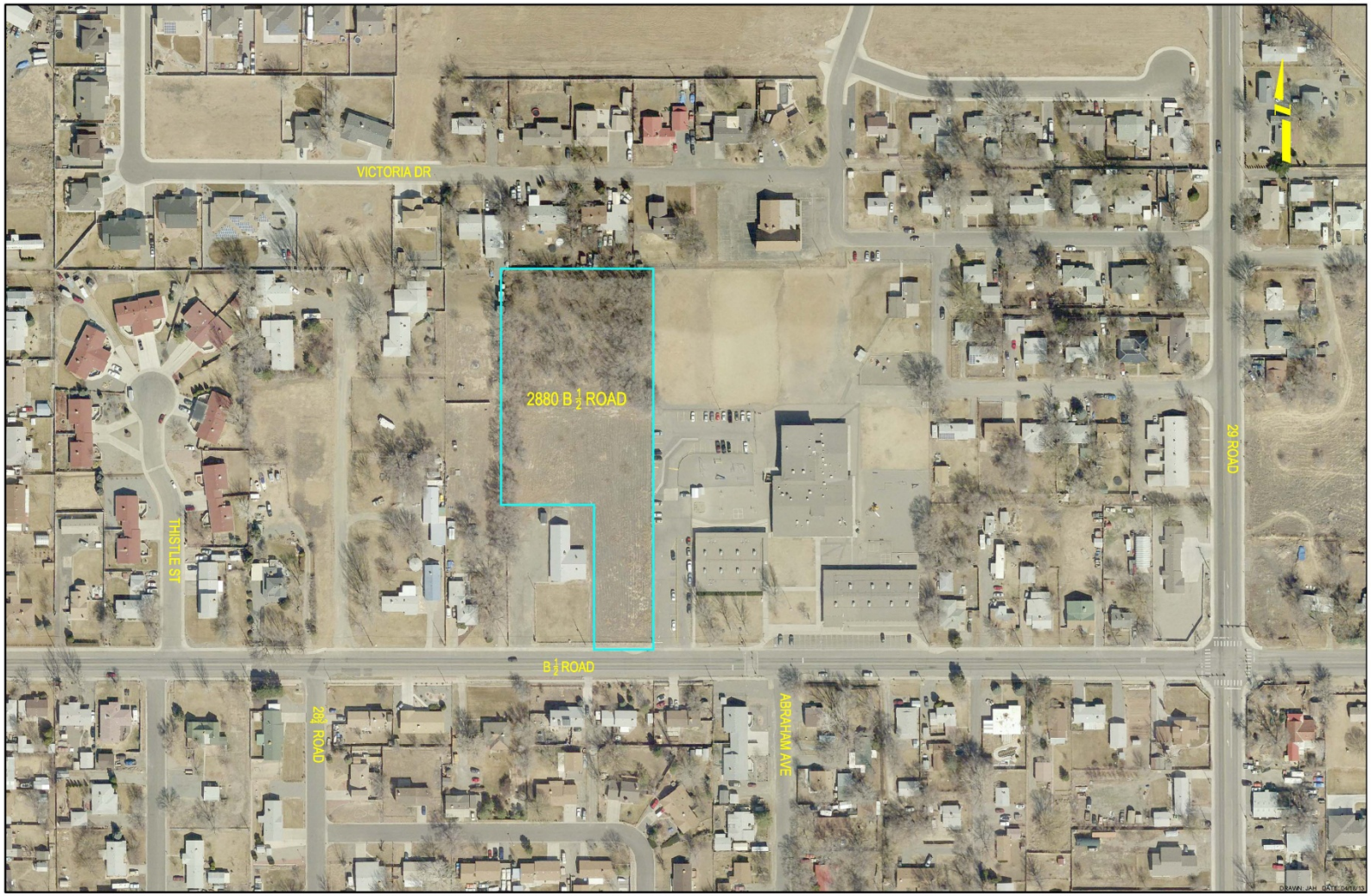
Response Time Map



Site Map

2880 B ½ ROAD FIRE STATION SITE

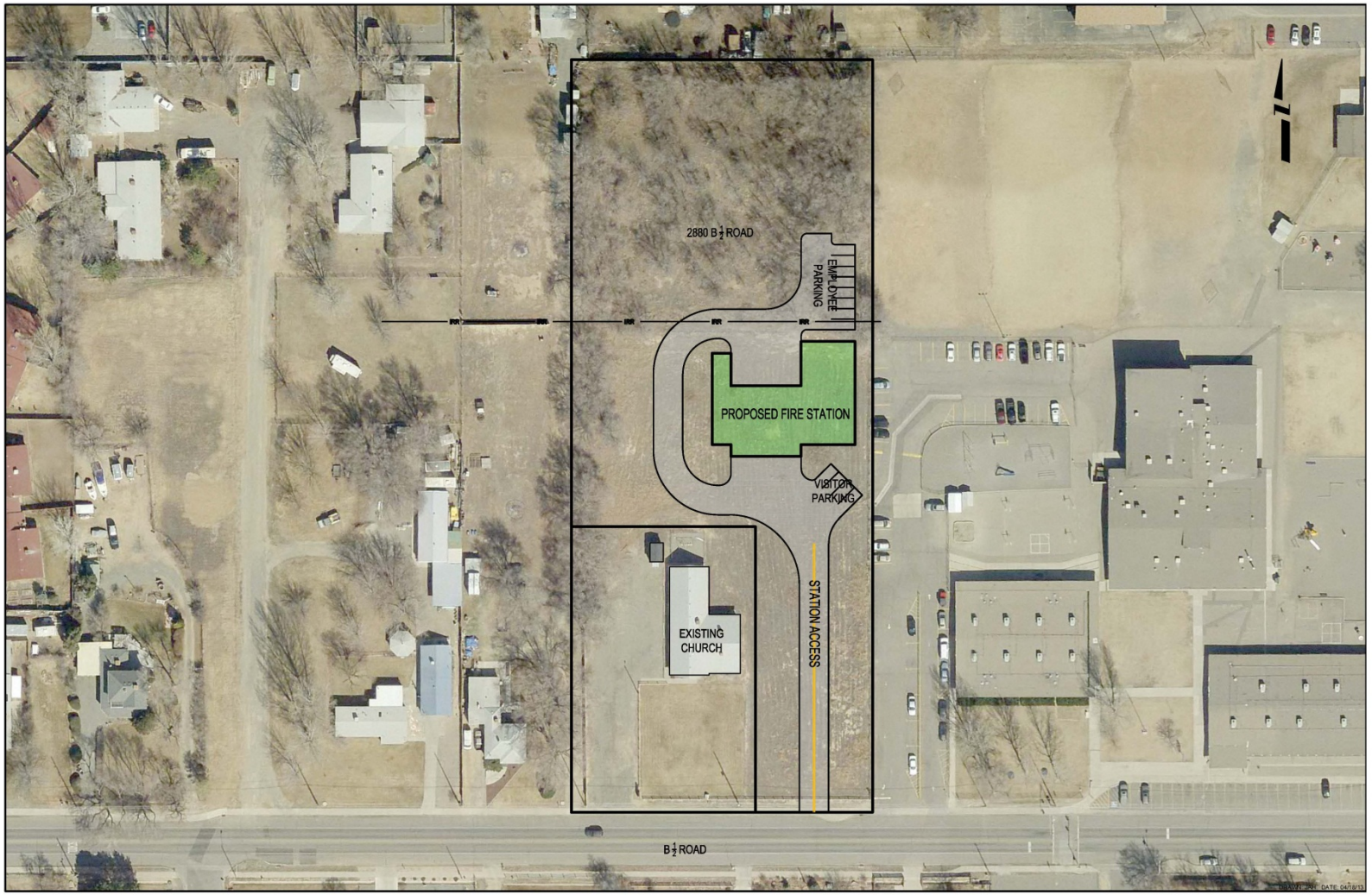
AREA MAP



Concept Map

2880 B ½ ROAD FIRE STATION SITE

SEPARATE STATION AND CHURCH ACCESS CONCEPT



CITY OF Grand Junction COLORADO

MESA COUNTY

Purchasing Division

ADDENDUM NO. 1

DATE: August 11, 2014
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: SOQ-3761-14-DH Professional Architectural Services for Orchard Mesa Fire Station #4

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. Q. Page 2 references Section 5, but we could not find section labels – does this refer to items 1-6 requested on pages 13 and 14, or items A-E on page 19, or both?

   A. This refers to the section titled "Administrative Requirements and Instructions" on page 19 of the solicitation document.

2. Q. On page 14, the SOQ requests that we prepare a Work Schedule to address our ability to meet the design timelines. The timeline provided on page 18 lists design activities as TBD. Would it be possible to get some target dates that the City has in mind, or would you prefer that we create a timeline based on our experience with similar projects?

   A. Under the section titled "Anticipated Schedule of Activities", the items dated as TBD were left that way to allow the proposing firms to create and submit a timeline based on your experience with similar projects.

3. Q Would it be possible to tour the existing station at 251 27 Road to get a better understanding of current operations? Similarly, would it be possible to tour Station #5 to get a better sense of the design that the City wants to use?

   A. **Optional Site Visit/Briefing: Prospective bidders are encouraged to attend an optional site visit/briefing on August 14, 2014 beginning at 9:00am**. Meeting location shall be at the Orchard Mesa Fire Station #4, 251 27 Road, Grand Junction CO 81503. The purpose of this visit will be to inspect and to clarify the contents of this Invitation for Bids (IFB).

4. Q. Page 17 indicates the City will provide drainage plans for the site. Should we anticipate involvement of a civil consulting engineer for on-site utility work, or will all civil engineering services be provided by the City?

   A. The awarded Architect shall be responsible for all civil site designs, including drainage plans. The City has done a boundary survey, located the utilities horizontally and vertically, and a topographic survey of the site.

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,

Duane Hoff Jr., Senior Buyer
City of Grand Junction, Colorado

CITY OF Grand Junction COLORADO

MESA COUNTY

Purchasing Division

ADDENDUM NO. 2

DATE: August 13, 2014
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: SOQ-3761-14-DH Professional Architectural Services for Orchard Mesa Fire Station #4

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. Q. Page 19 – "D. Fees**:** See Item titled "Fees" under the Special Conditions/Provisions section." On page 14 is says "Fees: *DO NOT INCLUDE ANY PRICING OR FEE SCHEDULES WITH YOUR SUBMITTAL TO THIS SOQ.*" Are fees required at this time or not? If not, what should we include in section D?

   A. Section "D" Page 19, and the "Fees" Section on Page 14, shall apply to those firms that are selected for interviews. Firms shall not include any pricing or fee schedules with your submittal to this SOQ, therefore, nothing should be submitted for Section "D" with your initial submittal.

2. Q. The Architectural Firm Information section that we need to include for section B requests identical items that are requested in the Administrative Requirements and Instructions: 3 references (item 2, page 13), a Project Approach (item 5, page 13), and Additional Data (item 5). The Administrative Requirements and Instructions request references (section E), "project approach" (section C), and additional data (section F). Would you like us to include each of these items in both sections, or can we pull the similar requests out of Section B and include them in Sections C, E, and F?

   A. You may pull the similar requests out of Section B and include them in Sections C, E, and F.

3. Q. Is there a final date to ask questions?

   A. As per Section "Anticipated Schedule of Activities" on Page 18 of the solicitation document, the Last Day for Questions is August 20, 2014 (prior to end of business).

4. Q. In reviewing submittal requirements for the **SOQ- 3761-14-DH** for the Orchard Mesa Fire Station, page 19 requires **"Each submittal shall be submitted in electronic format only, and only through the Rocky Mountain E-Purchasing website."** I was not able to locate the electronic submittal link on the Rocky Mtn E-Purchase Summary Notice page and followed up with a call to Rocky Mtn E-Purchasing to confirm that this function is not activated for this project. Please advise if the submittal is required thru the Rocky Mtn E-Purchasing website and if so, when this function will be "live". If not, advise how the submittal should be made? Thanks for the clarification.

   A. There was a technical error with Rocky Mountain E-Purchasing website for this solicitation. The solicitation has been re-issued under the same name, number, dates, etc. and should now be available to receive your online responses.

5. Q. Will the 8/14 site visit include a tour of Fire Station #5?

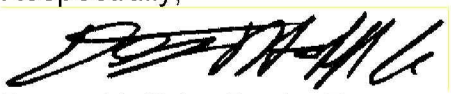
   A. Yes. We will start with Fire Station #4 and finish with Fire Station #5, which is located at 2155 Broadway, Grand Junction, CO.

6. NOTE: The other questions and clarification requests that we have received, thus far are still under review and will be addressed in further addendum(s) to be released.

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,



Duane Hoff Jr., Senior Buyer
City of Grand Junction, Colorado

Purchasing Division

ADDENDUM NO. 3

DATE: August 22, 2014
FROM: City of Grand Junction Purchasing Division
TO: All Offerors
RE: SOQ-3761-14-DH Professional Architectural Services for Orchard Mesa Fire Station #4

Offerors responding to the above referenced solicitation are hereby instructed that the requirements have been clarified, modified, superseded and supplemented as to this date as hereinafter described.

Please make note of the following clarifications:

1. Q. Based on the SOQ, it appears that the City owns the rights to use the plans from station #4. Is there any anticipated involvement from the original architect? We assume another firm would be able to use the design without any copyright, liability, or royalty concerns. Is this accurate?

   A. The original architect is no longer in business. However, the City will address this topic once the selection is made for this solicitation process.

2. Q. On page 14, the solicitation explains that shortlisted firms "will be required to provide a list of standard fees and payment schedule requirements" including "any additional consultant fees". Is this a request for hourly rates? Or is this a request for a fixed fee to provide all architectural and engineering services - from program verification through construction phase services? To provide a fixed fee for the entire project, should we assume the site, building size, and program will be as identified in the solicitation? Should we assume the modifications to Fire Station #5 design will be quite minor?

   A. Firms shall provide fees as stated in the solicitation documents. We are not looking for a fixed fee at this time. Should it be determined that one is necessary, negotiations shall be had with the selected firm to provide a guaranteed maximum price for said services.

3. Q. Which parts of the "program" on pages 15-16 are different than Fire Station #5?

   A. Significant differences are the addition of a physical fitness room, 6-8 bedrooms instead of the 4 that were built in fire station 5, lengthening of apparatus bays, and ability to accommodate 8-10 personnel which we anticipate will change the size of the dayroom/dining/kitchen areas.

1. Q. In the Scope of Services for the design team (pages 16-17), we have the following questions:
    a. Is the design team to provide testing services (these are typically provided by the Owner)? Does this include construction phase testing?
    b. Does "on-site inspection of engineered features" simply mean that you expect the design team to provide on-site observations during construction?
    c. Can we see the pre-application meeting notes and checklist from City Planning? How many neighborhood meetings should we assume? Is attending meetings and providing the City with completed design documents the extent of the design team's responsibility for obtaining a planning clearance?
    d. When will the CM/GC be hired? Will we be part of that process?

    A. a – design team is to include a geotechnical engineer to produce the geotechnical report used for the architect's design. During construction the City will test all subgrade, base, concrete and asphalt.
    b –The consultant will be responsible for all onsite inspections other than those listed in item "a" above.
    c – Yes, the general meeting checklist and notes shall be attached to this addendum. The consultant shall assume one neighborhood meeting. Yes - The consultants attendance at meetings and providing the city with the completed design documents
    d – After conceptual design. The architects part in the selection of the CM/GC is TBD.

4. Q. Is the City completing the subdivision process to carve off the existing church from the rest of the property?

    A. Yes.

5. Q. Addendum #1, Question #4, changes the responsibility for "development of drainage plan for site once a building site plan has been accomplished" to the design team. Can we assume that stormwater will be connected to a yet-unbuilt off-site storm sewer infrastructure given the flat topography of the site or should we assume that we will create an on-site retention pond?

    A. Refer to development engineers general meeting notes (attached).

6. Q. Will the City take care of addressing any Transportation Engineering Design Standards Exceptions Requests? It does not appear the access would meet spacing criteria for TEDS.

    A. Yes. The City will be requesting a TEDS exception.

7. Q. It appears there may be an irrigation main line running along the property. Does the City have any information on this line?

    A. There is an irrigation lateral running east and west across the property approximately 410 ft. north of B ½ Road.

8. Q. What is the source for irrigation water for landscape work?

    A. Orchard Mesa Irrigation.

9. Q. What does the City see happening with the northern end of the site?

A. Unknown at this time.

10. Q. On Page 17, under 'Scope of Service' you list "Accomplish and prepare required reports for survey and testing." Can you please clarify this statement? (e.g.) Is your intent the Design Team is to include:
    - a Geotechnical Engineer to produce a geotechnical report?
    - a testing agency to perform testing during construction?
    - A surveyor to perform surveying to supplement the Owner provided info?

    A. The design team will be responsible for a geotechnical investigation for the design of the foundation. design team is to include a geotechnical engineer to produce the geotechnical report used for the architect's design. During construction the City will test all subgrade, base, concrete and asphalt. The city will provide supplemental information for surveying for design purposes. The contractor will be responsible for construction surveying.

11. Q. Will the City provided base map include all underground utilities on and near the site and any easement encumbrances?

    A. Yes.

12. Q. Is the City providing all of the drainage design, drainage report and Construction stormwater management plan?

    A. The consultant is anticipated to provide the drainage design, drainage report and construction storwater management plan, and obtain stormwater permits, in accordance with the stormwater management manual. http://www.codepublishing.com/co/grandjunction/ click on "Volume II Development Regulations" and then on "Title 26 Stormwater Management Manual."

13. Q. The property appears to be in the County and I'm not sure what the Zoning is. Will the Consultant team be expected to Annex and/or Zone and/or subdivide the Church property?

    A. The City will annex.

14. Q. Will the Consultant team be expected to prepare and submit the (assumed) Major Site Plan Review?

    A. Yes.

15. Q. Is there irrigation water available to irrigate the fire station site? If not, I assume it will be irrigated with domestic water. If so, can the Orchard Mesa Irrigation District actually deliver water to the site (which lateral)? How many shares are they entitled to?

    A. Irrigation water is available on-site. Unknown number of shares.

16. Is there a LEED Certification goal or requirement for Fire Station #4?

    A. There is not a LEED Certified goal for the fire station. However the city is still interested in a building that could be LEED certified, but certification will not be sought for this project.

17. Is there a planning department submittal required to be included in our timeline, and if so what should that time frame be to be included in our timeline?

    A. From submittal to approval the estimate is 3 months.

18. See Attached Site Visit Sign-In Sheet.

The original solicitation for the project noted above is amended as noted.

All other conditions of subject remain the same.

Respectfully,

Duane Hoff Jr, Senior Buyer
City of Grand Junction, Colorado

SIGN-IN SHEET

Solicitation Name:	Professional Architectural Services for OM FS #4
Solicitation #:	SOQ-3761-14-DH
Date:	8/14/2014
Time:	9:00am

	Company Name	Representative Name	Phone	Email
1	BHL ARCHITECTURE	BENTON GRISMER	303-861-7147 x107	BENTON.GRISMER@BHLARCH.COM
2	AUSTIN CIVIL GROUP	MARK AUSTIN	970-242-7540	MARKA@AUSTINCIVILGROUP.COM
3	BLYTHE GROUP	ROY BLYTHE	970-242-1058	rblythe@theblythegroup.com
4	SOPRIS ARCHITECTURE	DAVID KOENCK	970 927 3313	soparch@sopris.net
5	CHAMBERLIN ARCHITECTS	DANIEL GARTNER	970/242-6804	DGARTNER@CHAMBERLINARCHITECTS.COM
6	CIAVONNE ROBERTS LANDSCP. ARCHS.	TED CIAVONNE	970/241-0745	TED@CIAVONNE.COM
7				
8				
9				
10				
11				
12				
13				
14				

REPORT CHECKLIST AND OUTLINE

GENERAL PROJECT REPORT

CHECKLIST

Typed text

Name of report on a title page or on the first page of text

OUTLINE

A. Project Description
   1. Location
   2. Acreage
   3. Proposed use

B. Public Benefit

C. If a "Neighborhood Meeting" has been held, proof of those who attended, along with the date, time and place shall be provided. See the Zoning and Development Code for details on Neighborhood Meetings.

D. Project Compliance, Compatibility, and Impact
   1. Adopted plans and/or policies (for rezones, variances, conditional and special use, revocable permits, and vacations, discuss the circumstances that justify the request, as required by the Zoning and Development Code)
   2. Land use in the surrounding area
   3. Site access and traffic patterns
   4. Availability of utilities, including proximity of fire hydrants
   5. Special or unusual demands on utilities (high water or sewage quantities, grease, or sediment contribution, pre-treatment needs, etc.)
   6. Effects on public facilities (fire, police, sanitation, roads, parks, schools, irrigation, etc.)
   7. Hours of operation
   8. Number of employees
   9. Signage plans (required with Conditional Use Permits and Planned Development)
   10. Site soils and geology (such as Soils Conservation Service (SCS) soils mapping)
   11. Impact of project on site geology and geological hazards, if any

E. Must address the review criteria contained in the Zoning and Development Code for the type of application being submitted.

F. Development Schedule and Phasing

COMMENTS

Planner's General Meeting Notes – MTG-2014-253 **Date:** June 25, 2014

Planner: Senta Costello **Phone: 970-244-1442** **E-Mail: sentac@gjcity.org**

Applicant:	**City of Grand Junction Fire Dept**		
Representative: Jim Bright		**Phone: 970-549-5802**	**E-Mail: jimb@gjcity.org**
Owner:	**Reorganized Church of Jesus Christ of LDS**		
Location:	**2880 B ½ Rd**	**Tax Parcel #(s): 2943-301-00-951**	
Proposal:	**Annexation, zoning, simple sub & site plan review for new Fire Station #4 location**		
Attendees:	**Greg Moberg, Peter Krick, Rick Dorris, Senta Costello**		

While all factors in a development proposal require careful thought, preparation and design, the following items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General Meeting notes and standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant, will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

Zoning and Land Use

a. Zoning: County RSF-4
b. Future Land Use Designation: Residential Medium Low
c. Comprehensive Plan Goals & Policies applicability:
d. Corridor Guidelines or other plan applicability: In the boundaries of the new OM Neighborhood Plan
e. Land Use Compatibility:

Off-Site Impacts

a. Access/right-of-way required
b. Traffic impact
c. Street improvements
d. Drainage/stormwater management
e. Availability of utilities

} **See Development Engineer's Notes**

Site Development

a. Bulk Requirements: will suggest R-4 zoning with the annexation
b. Access and Traffic Circulation: **See Development Engineer's Notes**
c. Parking (Off-Street: handicap, bicycle, lighting): 1/employee + 1/300 sf of office spaces
d. Landscaping (Street frontages, parking areas): Street frontage, excess ROW & parking lot
e. Screening and Buffering:

Miscellaneous

a. Revocable Permit:
b. State Highway Access Permit:
c. Floodplain and Wetlands:
d. Proximity to airport (clear or critical zone):
e. Geologic Hazards and Soils:
f. Mineral Resources:

Other

a. Related Files:
b. Other Concerns:
c. Persigo Information:

- The United States Environmental Protection Agency (USEPA) requires the City to regulate all industrial and commercial facilities that generate wastewater that may be significant or cause harm to the Persigo Wastewater Treatment Facility.
- All commercial and industrial facilities are required to comply with the City Wastewater / Industrial Pretreatment regulations found in Chapter 13.04 of the City Code of Ordinance. Additional City requirements may be required in order for a facility to meet these requirements, including wastewater treatment plant investment fees, installation of treatment equipment, issuance of a discharge permit or monthly surcharges for the discharge of high strength wastes.
- If additional information is needed please contact the City Industrial Pretreatment Division at 970-244-1480.

Fees:

a. Application Fees:

Request 1:	
Application	$ 0.00
Signs	0.00
Address Labels	0.00
Acreage ($15/ac)	0.00
Final Inspection	0.00
Grading Plan	0.00
Drainage Report	0.00
Other	0.00
General Meeting Credit	<0.00>
Total	$0.00

Application fees are due at the time of submittal. Make checks payable to the City of Grand Junction.

b. Additional Fees to be assessed upon project approval

1. Transportation Capacity Payment (TCP):
2. Drainage Fee:
3. Parks and Open Space Fee:
4. School Impact Fee:
5. Recording Fee:

c. Important Contacts

1. Plant Investment Fee (PIF) (Sewer Impact): Contact Customer Service @970-244-1520
2. Persigo WWTF: Contact Eileen Gers @ 970-256-4164
3. Fire Dept: Contact Steve Kollar @ 970-549-5852
4. Building Dept: Contact Mike Mossburg @ 970-244-1655 or Darrell Bay @ 244-1651

Processing Requirements

a. Reference Documents – ZDC, SSID, TEDS at www.gjcity.org

b. Submittal Requirements:

c. Review Process:

Helpful Website Links

a. Dumpster Pad & Enclosure Standards - http://www.gjcity.org/PublicWorksUtilitiesAndPlanning-Dept.aspx?pageid=2147531722

b. Grand Valley Drainage District - http://thedrainagedistrict.org

c. 5-2-1 Drainage Authority - http://521drainageauthority.org

d. Colorado Geologic Survey - http://geosurvey.state.co.us/Pages/CGSHome.aspx

e. Colorado Department of Transportation (CDOT) – http://www.coloradodot.info/search?SearchableText=access+permit

f. Federal Emergency Management Agency - http://www.fema.gov/national-flood-insurance-program/national-flood-insurance-program-forms

City of Grand Junction Fire Department Notes

Call the Fire Prevention Bureau at the Grand Junction Fire Department (970-549-5800) if you have any questions.

Generic General Meeting Comments for COMMERCIAL PROJECTS

2012 Edition International Fire Code (IFC) section numbers are shown in parentheses for each comment.

1. Complete a fire flow form. Section A is completed by the petitioner, section B by the public water system provider. Return the completed form to the Community Development Department (IFC B105 and Appendix B). Applicable when project involves new structures or when additions to existing structures are proposed either on the interior (i.e. mezzanine) or exterior.
2. Show on your site plan/utility composite:
   a. Access driveways from public streets in to your development (IFC 503);
   b. Interior traffic circulation (IFC 503); Approved fire apparatus roads must be located within 150' of all portions of the building. Length may be extended if the building is fire sprinklered, however this requires FD approval and is limited to FD response capabilities (i.e. amount of hose/equipment available and anticipated magnitude of event). Minimum width of 20 feet required, unless aerial apparatus road width required due to building height of 30 feet or 3 stories.
   c. Dead-end streets/fire access roads exceeding 150' length must have an emergency turn-around area for fire trucks (IFC 503 and Appendix D);
   d. The nearest existing fire hydrants (IFC C104).
   e. Any proposed water main extensions, connections to existing mains, and all main sizes (IFC C102);
   f. Any proposed fire hydrants. Consult the 2012 IFC Table C105.1 for number of hydrants, spacing requirements, and distance from roads/fire apparatus roads. This is based on final fire flow requirements after fire sprinkler reductions have been considered (IFC 507 and Appendix C);
   g. A fire hydrant must be located within 150 feet of the structure's fire department connection (City of GJ, ordinance)
   h. If proposed building(s) are to have a fire sprinkler system installed (dictated by fire flow, occupancy type, occupancy load, construction type, square footage, use of building, hazardous materials, high-pile combustible storage, etc.), then show the location and size of the underground fire line along with the proposed location of the fire department connection (IFC Chapter 9);
   i. Identify any hazardous materials/flammable/combustible liquids quantities, storage, dispensing, use and handling locations and operations. Provide MSDS information for all items and subsequent information related to how the facility is meeting fire code requirements.
3. Educational information concerning Fire Flow Requirements and Fire Department Access Design Standards (e.g. width, construction material, turn-arounds) related to the 2012 International Fire Code may be obtained online at the Grand Junction Fire Department website.

Planner's Name: **Senta Costello**	**SUBMITTAL CHECKLIST**	Date: Jul 1, 2014
	MAJOR SITE PLAN REVIEW	Expiration Date: Jan 1, 2015
Location: 2880 B 1/2 Rd	Project Name: Fire Station #4	

ITEMS - DESCRIPTION

- ○ Application Fee
- ◉ Development Application
- ◉ Ownership Statement/Deed
- ◉ General Project Report
- ○ Annexation Information Sheet
- ○ Annexation Petition
- ○ Appraisal of Vacant Land
- ○ Articles of Incorporation
- ○ Avigation Easement
- ○ Boundary Agreement
- ◉ Building Elevations
- ○ City of GJ Sales Tax Lic (copy)
- ○ County Treasurer's Tax Cert
- ○ CC&R/Condo Declarations
- ○ CDOT Access Permit
- ◉ Composite Plan
- ○ Conveyances
- ○ Delineate Wetlands/404 Permit
- ◉ Detail Sheet
- ○ Development Imp Agrmt Exh B
- ○ Fence/Wall Plans
- ◉ Final Drainage Report
- ○ Final Geotechnical Report
- ◉ Fire Flow Form*
- ◉ Floodplain Elev. Cert (FEC)
- ○ Floor Plan
- ◉ Grading Plan
- ◉ Improvement Survey
- ○ Industrial Pretreatment Survey
- ○ Inside Cover Sheet
- ○ Institutional Master Plan
- ◉ Landscape Plan
- ○ Legal Description
- ○ Letter from Property Owner
- ○ Lighting Plan
- ○ Materials Testing Plan
- ○ Neighborhood Meeting Notes
- ○ Outline Development Plan (ODP)
- ○ Plat
- ○ Preliminary Drainage Report
- ○ Preliminary Geotechnical Report
- ○ Preliminary Subdivision Plan
- ○ Road Cross Sections
- ○ Roadway Plan & Profile
- ○ Sewer System Design Report
- ○ Sign Plan/Sign Package
- ○ Site Data Table
- ◉ Site Plan
- ○ Site Sketch
- ○ Sketch for Descriptions
- ◉ Post Const Stormwater Agmt
- ◉ Stormwater Mgmt Plan/Permit
- ○ Surveyor Verification
- ○ Traffic Impact Study
- ○ Transaction Screen Process
- ○ Utilities Plan & Profile
- ○ Water System Design Report
- ○ Cell Site Inventory
- ○ Coverage Area Map
- ○ FCC License (copy)
- ○ Haul Route
- ○ Dredge & Fill Permit
- ○ Reclamation Plan
- ○ Photographs of Property
- ○ Colo. Historical Society Inventory Record Form*

DISTRIBUTION

- ◉ Planning
- ◉ Development Engineer
- ○ City Utility Engineer
- ◉ City Surveyor
- ○ City Parks & Recreation
- ○ City Attorney
- ◉ City Fire Dept
- ○ Clifton Fire Dept
- ○ Lower Valley Fire Dept
- ◉ City Police Dept
- ○ City Addressing
- ○ City Code Enforcement
- ○ City Sanitation
- ◉ Persigo WWTF
- ○ 911
- ○ City Transportation Engineer
- ○ Mesa Co Building Dept
- ○ Mesa Co Public Works
- ○ Mesa Co Health Dept
- ◉ Mesa Co Planning
- ○ Mesa Co Assessor
- ◉ 5-2-1 Drainage Authority
- ○ Grand Valley Drainage Dist
- ○ Redlands Water & Power
- ○ Grand Valley Irrigation Dist
- ○ Mesa Co Irrigation Dist
- ○ Palisade Irrigation Dist
- ◉ Orchard Mesa Irrigation Dist
- ○ Grand Valley Water Users
- ○ Highland Park Lateral Ditch Co
- ○ Water Users of Lateral Ditch 110
- ○ Fruitvale Lateral & Waste Ditch
- ◉ Ute Water
- ○ Clifton Water
- ◉ Orchard Mesa Sanitation
- ○ Clifton Sanitation Dist No. 2
- ◉ Xcel
- ○ Grand Valley Power
- ○ Optimum
- ◉ Century Link
- ○ School District #51
- ○ CO Dept of Transportation
- ○ CO Dept of Public Health & Environment
- ○ CO Div of Reclamation Mining & Safety
- ○ CO Geological Survey
- ○ CO Division of Wildlife
- ○ CO National Monument
- ○ CO State Parks
- ○ Federal Aviation Administration
- ○ Dept of Military & Veterans Affairs
- ○ US Postal Service
- ○ Army Corp of Engineers
- ○ Downtown Development Authority
- ○ Historic Board
- ○ Grand Valley Transit
- ○ RTPO
- ○ Urban Trails/Riverfront Commission
- ○ Grand Junction Regional Airport Authority

Notes: * An asterisk in the item description column indicates that a form is supplied by the City and available on the City website.

LUMP SUM FIXED FEE PROPOSAL

We are pleased to submit for your consideration the following fees broken out by phase.

Phase	Lump Sum Fixed Fee
Program Development	$5,200.00
Schematic Design	$20,519.00
Design Development	$37,275.00
Construction Documents	$43,223.00
Bidding & Construction Administration	$47,623.00
Total Fixed Fees	$153,840.00

Fee Proposal Assumptions

Our fees are based upon the scope of work shown in the RFP and Addendum 1, 2 and 3, with the following assumptions:

1. We will attend planning meetings, provide the City with design documents for the City to submit to planning, and respond to comments, but we will not put the planning submittal together.
2. We have not included design of any off-site work.
3. We are expecting to provide a biddable design document for FF&E.
4. Changes or additions that significantly alter the scope in the RFP and Addenda are excluded.
5. Construction Documents will be produced in a single bid package.

HOURLY RATE AND REIMBURSABLES SCHEDULE

Schedule Effective through December 31, 2014

ROLE	HOURLY
CHAMBERLIN ARCHITECTS	
Principal in Charge	$144
Project Architect:	$105
Interior Designer	$82
Junior Architect	$67
CAD Draftng	$55
AUSTIN CIVIL GROUP (CIVIL)	
Project Engineer	$110
Project Designer	$85
JULIE WOLVERTON (LANDSCAPE)	
Landscape Architect	$75
LINDAUER-DUNN (STRUCTURAL)	
Principal Engineer	$120
Project Engineer	$85
Design Engineer	$70
AutoCad Technician	$45
Clerical	$40
RALSTON MECHANICAL CONSULTING (MECHANICAL/PLUMBING)	
Engineer	$90
Senior Designer	$65
Designer	$50
CAD	$35
Clerical	$25
GRAND VALLEY ENGINEERING SOLUTIONS (ELECTRICAL)	
Engineer	$95
Engineer Intern	$65
Designer	$55
Drafting	$45
Clerical	$35
HUDDLESTON-BERRY (GEOTECH)	
Senior Manager	$105
Project Manager	$55
Technician	$45

Below is a sample of our reimbursable costs for in-house copying and printing. Any work done outside of contract is billed at cost + 10%.

Copies: $0.10 – B+W 8.5 x 11 per copy
$0.30 – Color 8.5 x 11 per copy
$0.50 – B+W 11 x 17 per copy
$1.00 – Color 11 x 17 per copy

Prints: N/A— Always done outside of our office.

Mileage: $0.565 per mile** only if traveling out of town *(not anticipated)*

**Per Current IRS Reimbursement Guidelines at time of execution of the Prime Agreement.

Client#: 1084637 CHAMBARC

ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 10/20/2014

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	CONTACT NAME:	
USI Colorado, LLC 1515 Wynkoop Street Suite 200 Denver, CO 80202	PHONE (A/C, No, Ext): 800 873-8500	FAX (A/C, No):
	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : XL Specialty Insurance Company	37885
INSURED Chamberlin Architects, P.C. 437 Main Street Grand Junction, CO 81501-2511	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E :	
	INSURER F :	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
	GENERAL LIABILITY						EACH OCCURRENCE	$
	☐ COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	$
	☐ CLAIMS-MADE ☐ OCCUR						MED EXP (Any one person)	$
							PERSONAL & ADV INJURY	$
							GENERAL AGGREGATE	$
	GEN'L AGGREGATE LIMIT APPLIES PER:						PRODUCTS - COMP/OP AGG	$
	☐ POLICY ☐ PRO-JECT ☐ LOC							$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	$
	☐ ANY AUTO						BODILY INJURY (Per person)	$
	☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS						BODILY INJURY (Per accident)	$
	☐ HIRED AUTOS ☐ NON-OWNED AUTOS						PROPERTY DAMAGE (Per accident)	$
								$
	☐ UMBRELLA LIAB ☐ OCCUR						EACH OCCURRENCE	$
	☐ EXCESS LIAB ☐ CLAIMS-MADE						AGGREGATE	$
	☐ DED ☐ RETENTION $							$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY Y / N						☐ WC STATU-TORY LIMITS ☐ OTH-ER	
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? ☐ N / A						E.L. EACH ACCIDENT	$
	(Mandatory in NH)						E.L. DISEASE - EA EMPLOYEE	$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - POLICY LIMIT	$
A	Professional Liability Claims Made			DPR9714397	04/09/2014	04/09/2015	$1,000,000 per claim $2,000,000 annl aggr.	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

REF: Orchard Mesa Fire Station #4

Additional Insured: City of Grand Junction

CERTIFICATE HOLDER

City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Bell Van Gilder

LXOBC