

872-2433  
Jeff Crane

## RECEIPT OF APPLICATION

DATE BROUGHT IN: 4/1/03  
CHECK #: 1079 AMOUNT: 916.00  
DATE TO BE CHECKED IN BY: 4/4/03  
PROJECT/LOCATION: 2980 + 2990 D 1/2 rd

Items to be checked for on application form at time of submittal:

- Application type(s)
- Acreage
- Zoning
- Location
- Tax #(s)
- Project description
- Property owner w/ contact person, address & phone #
- Developer w/ contact person, address & phone #
- Representative w/ contact person, address & phone #
- Signatures of property owner(s) & person completing application

list of neighborhood mtg attendees already  
given to Kris

Application returned  
for more info.

Planners Name:  
*Lori/Kris*

# SUBMITTAL CHECKLIST

Date: *12/1/02*

MAJOR SUBDIVISION: PRELIMINARY

Expiration Date: 6 months from above date

Location: *2980 & 2990 1/2 Rd*

Project Name: *ISRE & ISEE 2 Annexations*

ITEMS	SSID Reference	DISTRIBUTION																				Total required													
		• City Community Development	• City Development Engineer	• City Utility Engineer	• City Real Estate Manager	• City Parks/Recreation	• City Attorney	• City Fire Dept / Clifton Fire Dept	• City Police Dept	• City Transportation Engineer	• City Downtown Dev. Authority	• City Addressing	• City G.J. Planning Commission	• Walker Field	• County Planning	• School District #51	• Qwest	• Excel	• GVRP	• Cable	• Water District Ute		• Sewer District Central/AV	• Drainage District GADP	• Irrigation District GAVC	• CDOT	• RTPO	• Corps of Engineers	• Urban Trails	• Colorado Geologic Survey Fees	• NRCS	• Other			
Application Fee \$ <i>630 + \$15</i>	VII-1	1																																	
• Development Application Form*	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Submittal Checklist*	VII-4	1																																	
• Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Location Map	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Names & Addresses* Fee \$ <i>can use 2 lists from EPA</i>	VII-3	1																																	
• General Project Report	X-08	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
○ Site Analysis (over 50 acres or by Director)	IX-30	1	1										1																						
• Preliminary Plan	IX-27	1	2	1	1	1	1	1	1					1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• 11" x 17" Reduction of Prelim. Plan	IX-27	1								1	1	1	1		1																				
• Evidence of Title/Lease Agreement	VII-2	1		1		1																													
• Legal Description*	VII-3	1		1																															
○ CDOT Access Permit	VII-4	1	1																																
○ Traffic Impact Study	X-15	1	2						1					1										1	1										
○ Water System Design Report	X-17	1	1	1																															
○ Sewer System Design Report	X-13	1	1	1																															
○ Drainage & Irrigation Checklist*	XI-02																																		
• Preliminary Drainage Report	X-11	1	2																																
• Transaction Screen Process Phase I Environmental (circle one)	X-10, 16	1	1																																
• Preliminary Geotechnical Report (fee and form required)	X-12	1	1																																
• <i>Fire Flow Form</i>		1	1																																

Notes: \* An asterisk in the item description column indicates that a form is supplied by the City.



APPLICATION COMPLETENESS REVIEW

Use "N/A" for items which are not applicable

Date: 4/14/03

Project Name: Shakespeare's Court Subdiv. (if applicable)

Project Location: 2980 & 2990 D 1/2 Rd. (address or cross-streets)

Check-In Staff Community Development: PC initials of check-in  
Development Engineer: \_\_\_\_\_ staff members

APPLICATION TYPE(S): Prelim Plat  
(e.g. Site Plan Review)

FEE PAID: Application: 630<sup>00</sup> BALANCE DUE:  
Acreage: 300  Yes amount \$ \_\_\_\_\_  
Public Works: \_\_\_\_\_  No

COMPLETENESS REVIEW:  
Originals of all forms received w/signatures?  Yes  No, list is missing items below  
• \_\_\_\_\_  
• \_\_\_\_\_  
• \_\_\_\_\_

Missing drawings, reports, other materials:  No  Yes, list missing items below  
Note: use SSID checklist  
• \_\_\_\_\_  
• \_\_\_\_\_  
• \_\_\_\_\_

Incomplete drawings, reports, other materials?  No  Yes, list missing items below  
Note: Attach SSID checklist(s) w/incomplete information identified  
• \_\_\_\_\_  
• \_\_\_\_\_  
• \_\_\_\_\_

Professional stamp/seal missing from drawings/reports?

No       Yes, list missing items below

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Other: Please list below

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**PROJECT ASSIGNMENT AND PROCESSING**

Project Manager: \_\_\_\_\_ *Kris*

Special Processing Instructions:

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Jessica Loveland, Civil Engineer

[jloveland@tla.net](mailto:jloveland@tla.net)

Phone: (970) 872-2433

2917 L50 Lane

Cell Phone: (970) 261-5043

Hotchkiss, CO 81419

Fax: (970) 872-2439

# GRAND JUNCTION DRAINAGE DISTRICT

P.O. BOX 969 GRAND JUNCTION, CO 81502  
(970) 242-4343 FAX (970) 242-4348

*PP*  
*4/22/03*

**Date:** April 22, 2003  
**To:** Grand Junction Community Development Department  
Attention: Kristen Ashbeck  
**From:** John L. Ballagh, Manager *John L. Ballagh*  
**Subject:** Shakespeare's Court Subdivision PP-2003-069

The site is definitely within the Drainage District boundaries. The open drain ditch along the northerly and westerly lines of the proposed subdivision is part of the BESWICK DRAIN. That drain is the single recipient of the surface and subsurface waters from the 30 Road overpass. The drain was evaluated and improved by Mesa County in part one of the 30 Road project. The Drainage District operates and maintains the drain.

The plans are not clear if the drain is to remain open or if it is to be piped by the developer. Should the drain remain open then the District requires the full width of the drain plus 20 feet on each side of the open drain remain open and uninterrupted by above ground facilities, even power or phone pedestals, and especially cross fences. Should the drain be piped then the District needs 15 feet each side of the centerline of the pipe (a total of 30 feet width) as easement. The pipe is of such a diameter that large equipment would be required to repair it and the pipe will be installed at such a depth that a large quantity of spoil would have to be dealt with each time the pipe is exposed or repaired. The width of easement is necessary!

The developer or his representative needs to contact the District with the desired option.

The area is one of historic high water table problems somewhat corrected by the presence of the drain ditch. Recommendations from a subsurface soils investigation should be followed to insure that problems of high water table do not return due to lack of attention by future homeowners in landscape irrigation.

City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction CO 81501

Telephone: (970) 244-1430  
Fax: (970) 256-4031  
Email: CommDev@ci.grandjct.co.us



## Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: 4/1/03 To Review Agency: 4/8/03

File No: \_\_\_\_\_ Staff Planner: \_\_\_\_\_  
*(To be filled in by City Staff)* *(To be filled in by City Staff)*

Project Name: SHAKESPEARE'S COURT SUBDIVISION

Location: 2980 & 2990 0'12 ROAD

Development Review Meeting Date: \_\_\_\_\_  
*(To be filled in by City Staff)*

### COMMENTS *(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us), FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)*

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Reviewed By \_\_\_\_\_ Date \_\_\_\_\_

Email Address \_\_\_\_\_



# CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

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April 16, 2003

## ACCEPTANCE LETTER

A submittal for the Shakespeare's Court Subdivision (PP-2003-069) has been accepted for review.

If you have any questions regarding the status of this project review, please contact Kristen Ashbeck, the project planner, at 244-1437 or [kristena@ci.grandjct.co.us](mailto:kristena@ci.grandjct.co.us).

Review comments for the project will be available on 5/13/03 after 4:00 P.M., approximately 5 weeks from the application submittal date.

If this project requires a public hearing, a sign must be posted on the property a minimum of ten (10) days in advanced of the hearing. There will be a \$50.00 refundable deposit required at the time the sign is picked up from Community Development.

cc: PP-2003-069

Kristen

**From:** <LGrassojr@aol.com>  
**To:** <CommDev@ci.grandjct.co.us>  
**Date:** Mon, Apr 28, 2003 4:01 PM  
**Subject:** District 51 Review

AP  
4/29/03

Following are estimated student impacts for three developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools for the development. Please contact me at 242-8500 if you have questions or need additional information.

**Shakespeare Court:**

Columbine Ele:268/263/24 East Middle:398/450/11 GJHS:  
1667/1600/15

**Forrest Glen:**

Thunder Mt. Ele: 562/615/4 Bookcliff Middle: 475/520/2 CHS:  
1470/1652/2

**Monarch Glen:**

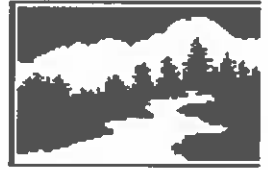
Thunder Mr. Ele: 562/615/15 Bookcliff Middle: 475/520/6 CHS:  
1470/1652/9

Sandwich Board

2 Hotels  
on-site

# STATE OF COLORADO

COLORADO GEOLOGICAL SURVEY  
Department of Natural Resources  
1313 Sherman Street, Room 715  
Denver, Colorado 80203  
Phone (303) 866-2611  
FAX (303) 866-2461



DEPARTMENT OF  
NATURAL  
RESOURCES

April 28, 2003

Legal Location : SE¼, NE¼, S17, T1S, R1E  
CGS Case No. MA-03-0069

Ms. Kristen Ashbeck  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Bill Owens  
Governor

Greg E. Walcher  
Executive Director

Ron Cattany  
Division Director

Ron Cattany  
Acting State Geologist  
and Director

Re: Shakespeare's Court Subdivision , Mesa County, Colorado

Dear Ms. Ashbeck:

In response to your request, I visited this property to review the plat. A General Project Report; a Preliminary Drainage Report (3-1-03), prepared by Crane Associates; a Geotechnical Investigation (4-1-03), prepared by Geotechnical Engineering Group (4-1-03); and a Preliminary Plan Set (4-1-03); prepared by Crane Associates; were included in the referral.

The proposed 107 lot residential subdivision is located on approximately 19.21 acres of topographically flat land. The referral indicates that water and sanitary sewer service will be provided by the local district. The site geology consists of Holocene and late – Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Geotechnical Engineering Group report. The soils identified on this site. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should also be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

Sean P. Gaffney  
Geologist





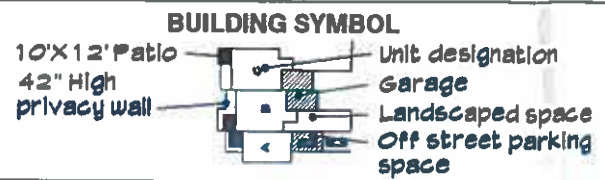
# CONCEPT #5 THE ADOBES

30 Roads, Grand Junction, CO Plan is not to scale. Information is approximate and subject to change. 8-15-03 Genesis Designs: Architecture + Planning, P.C. Ph. 970-245-6093 Fax 970-245-7568

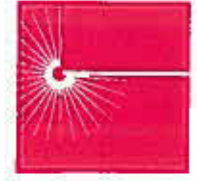
## UNIT MIX

UNIT	QUANTITY	UNITS	% MIX	DENSITY
1	1	8	5%	Allowed: 8.0DU/A = (±) 153 Units Achieved: 7.9DU/A = (±) 151 Units
2	14	9%		
10	10	60	40%	SITE (±) 19.12 Acres
4	4	20	13%	
4	4	16	11%	
11	11	33	22%	
<b>AL</b>		<b>151</b>	<b>100%</b>	

UNIT	AREA	STORIES	QUANTITY	MIX
A	(±) 1,600 gsf	2.0	19	13%
B	(±) 1,250 gsf	1.5	82	54%
C	(±) 1,400 gsf	1.5	19	13%
D	(±) 1,500 gsf	2.0	31	20%



- AMENITIES:**
- Park - Over an acre in size
  - Pedestrian pathway system
  - Landscape features
  - Gazebos
  - Picnic areas
  - Pedestrian safe crossings
  - Extensive buffering
  - Extensive park-like/open space setting with ponds





# REVIEW COMMENTS

Page 1 of 10  
May 5, 2003

FILE #PP-2003-069 DRM TITLE HEADING: Shakespeare's Court Subdivision

LOCATION: 2980 & 2990 D $\frac{1}{2}$  Road

PETITIONER: ISRE, LLC – Lisa Comstock

PETITIONER'S ADDRESS/TELEPHONE: 1134 24 Road  
872.2433

PETITIONER'S REPRESENTATIVE: Crane Associates – Jeff Crane  
970-872-2433

STAFF REPRESENTATIVE: Kristen Ashbeck

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 13, 2003.**

**CITY COMMUNITY DEVELOPMENT**  
**Kristen Ashbeck**

**5/5/03**  
**244-1437**

GENERAL: Overall design is marginal. The RMF-8 zone district is much better suited to an attached product rather than using the small lot size of the RMF-8 zone district and trying to create a detached single family product - particularly when the overall density does not even approach what could be developed with this zoning (only 5.5 units per acre).

1. While a plat is not required for at Preliminary Plan phase, since one was provided, the Preliminary Plan needs to show some of the detail and match how things are depicted on the proposed plat (e.g. perimeter property lines, lot lines between shared drive lots, dimensions of lots, etc) Refer to SSID checklist attached.
2. Label "typical cross-section" - is it for D-1/2 Road? 30 Road? interior streets? shared drive? Cross-sections need to be provided for each street type.
3. Show locations of all drives and streets on the south side of D-1/2 Road.
4. Assume existing structures are to be demolished? Need to label as such on plan.
5. Check with utilities to see if the multipurpose easement along D-1/2 Road can overlap with the required 5-foot landscape strip.
6. Show a typical layout of structures on a shared driveway quad (location of house, garage, setbacks, required 4 on-site parking spaces per lot, etc).
7. Where is the 15-foot easement along the west side? Need to correctly label as Grand Junction Drainage District.
8. Plat, when submitted needs dedication language. Labeling of tracts cannot be duplicated (2 As, 2 Bs etc). Right-of-way dedication is not a tract.

**REVIEW COMMENTS / PP-2003-069 / PAGE 2 of 10**

9. Project Narrative - project compliance - the narrative is supposed to address how this plan meets the City's adopted plans and policies - the first statement does not address this.
10. Section 6.5.B.6. of the Zoning and Development Code requires that non-potable irrigation water be used for irrigation of landscaping - need more justification if the Director is to be able to approve otherwise.

**CITY DEVELOPMENT ENGINEER**

**5/1/03**

**Laura Lamberty**

**256-4155**

**Transaction Screen Process**

1. Per report recommendations, prior to approval of Final Plans, the applicant must provide certification of the following:
  - a. Prior to demolition of the existing dwellings, the dwellings shall be inspected for asbestos-containing materials (ASMs) and heating oil underground storage tanks (USTs).
  - b. If ASMs or USTs exist, they shall be properly removed and disposed of.
  - c. Contents of a partially full 55-gallon drum referenced in the report shall be characterized and, if necessary, properly disposed at a waste-handling facility.

**Geotechnical Investigation**

1. For final, the DIA should include an allowance for the stabilization of soft subgrade and trench soils in the southwest and southeast portions of the site.
2. Report indicates that no stormwater retention area is proposed. This is not accurate. Revise report to reflect detention areas at intersection of Hamlet Court and D ½ Road on east and west sides.
3. Zoning allows 5' side setback and 10' rear setback. Report recommendation limits construction within 50' of upper ditch/canal bank. Show this delineation on the plat and revise building envelopes. If this is desired to be mitigated, the geotechnical engineer shall recommend a proposed mitigation. Drainage report indicates that the ditch will be piped. If this is the case (it is not indicated on the plans), then is this recommendation changed?
4. Final plans shall include removal of remnant foundations and placement of structural fill in these areas.
5. A note on the plat will be needed requiring open excavation observation of the foundation by a licensed engineer.
6. Below grade construction will not be permitted and this shall be noted on the plat.

**Drainage**

1. Identify general drainage pattern of flows with directional arrows.
2. Identify grading pattern/lot type of each lot.
3. Identify discharge point of detention basins.
4. How was 36" RCP for piping of Beswick Drain sized?
5. Identify potential surcharge condition of the Drain if piped in the 100 year event as a consideration in the Final Drainage Report.
6. Provide Preliminary Major Basin Drainage Map.
7. Identify area open irrigation facilities which may contribute overtopping flows to this area.

*(Consider new layout)*

**REVIEW COMMENTS / PP-2003-069 / PAGE 3 of 10**

**Plat**

1. Right-of-way dedication required as follows:
  - a. On 30 Road (Minor Arterial): 40' from centerline of street
  - b. On D ½ road (Urban Collector with Detached Path), 40' from centerline
  - c. Sufficient fillet right-of-way at intersection for sidewalk connection using a 30' flowline radius.
2. MacBeth right-of-way shall extend to boundary of subdivision.
3. Access tracts and tracts utilize same (lettering) identification scheme - this is confusing.
4. Identify who tracts are being dedicated to and what purpose of each is.
5. Flowline radii at D ½ Road to side streets shall be 25' minimum. Design right-of-way radii accordingly.
6. Right-of-way radius on cul-de-sac shall be 38' per Standard Detail ST-15.
7. Indicate building restriction line per Comment #3 Geotechnical.

**Plan**

1. This layout is marginal, at best. Consider attached units. The layout of Tracts and "intended purpose" does not lend itself to effective use. Autocourt layout with setbacks and lot size may not work with required maneuvering room and garage/carport layout. Corner lots of cul-de-sacs may have similar problems with garage/carport layout and maneuvering.
2. Autocourt/shared drive standards need to be reviewed, considered and applied. Read TEDS Section 13.2:
  - a. Need four on-site parking spaces per lot - show me how this will fit with a typical house layout and building setbacks.
  - b. Building setbacks are specially considered (13.2.9)
  - c. Address whether it is intended for these houses to have garages.

**Also:**

- d. If there are driveways, will they be paved? This needs to be considered in the drainage report. Consider maximum impervious lot coverage in 3.2.F of the Zoning and Development Code on these autocourt lots.
3. Show redirect taper at west end of D ½ Road per TEDS and regulatory speed.
4. Indicate lot drainage type (A vs. B), overall site drainage (direction of flow), and drainage conveyance systems.
5. Indicate drainage discharge point.
6. Indicate curb radii and cul-de-sac dimensions.
7. Indicate building restriction line per Comment #3 Geotechnical or indicate resolution of such.
8. 14' Multi-purpose easement may be eliminated on D/12 Road if easement is placed over tract. (Includes 10' additional right-of-way for detached path).
9. Lots 19 and 29 are extremely marginal. Consider shared drive options or elimination of lots.
10. Plans shall be stamped by a licensed professional competent in the area of practice.
11. Easement is a 14' multi-purpose easement. Correct spelling on Plan Sheet.
12. King Lear Court (Sta 0+00 - 1+52) is misnamed and not contiguous or along same alignment as the rest of the street.

**REVIEW COMMENTS / PP-2003-069 / PAGE 4 of 10**

13. Show opposing drive access points across from Hamlet Court.
14. Basin designations indicated in the legend are not indicated on the plan.
15. Show piping of Beswick Drain as indicated in the Drainage Report.
16. Plan does not match plat at all. Start over with correct base map subdivision boundary and lot sizes.
17. Show sewerage of autocourt lots if these lots are retained.
18. Show D ½ Road cross-section, per comments above.
19. A complete review of plans will be performed when requested information is supplied.

**CITY FIRE DEPARTMENT**

**4/30/03**

**Hank Masterson**

**244-1414**

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1. Submit completed New Development Fire Flow Form.
2. Additional fire hydrants and relocation of fire hydrants as shown on the preliminary plans are required as follows:
  - a. Install additional fire hydrants at the intersection of Hamlet Ct. and Othello Dr., at the intersection of King Lear Ct. and Othello Dr., and at lot line between lots 48 & 49.
  - b. Relocate the fire hydrant shown on lot line between lots 60 & 61 to the intersection of Macbeth Dr. and Hamlet Ct. and relocate fire hydrant shown on lot line between lots 32 & 33 to the intersection of King Lear Ct. and Macbeth Dr.
  - c. The fire hydrant shown on lot 79 shall remain.
3. Extend 8 inch water line in D 1/2 Rd. from Doris Rd to the west property line.
4. Submit utility composite showing the requested location of fire hydrants.
5. Provide signature block for fire department approval on the Utility composite.
6. Shared driveways shall be a minimum of 16' wide, and shall not exceed 150' in length. No Parking is allowed on the shared driveways. Provide No Parking signage at the beginning and end of the driveways, on both sides. Each lot abutting a shared driveway must provide 4 on-site parking spaces.

**CITY PROPERTY AGENT**

**4/22/03**

**Peter Krick**

**256-4123**

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**REVIEW COMMENTS**

This Plat does not meet the current City of Grand Junction Platting Submittal Standards. A signed and sealed copy of a current Improvement Survey Plat, as outlined in the Standards, is required. An additional copy of the Standards was forwarded to the Surveyor for his use in the preparation of revisions to this Plat.

An additional review will be required after receipt of a revised Plat. The following comments are for the use of the Surveyor but may not contain all requirements or data from the Standards.

**Sheet 1 of 2**

1. Revise the stated scale to match the graphic scale of 1"=100'.
2. Provide a list of all abbreviations used.
3. Properly dedicate all tracts, parcels or rights of way, using approved City of Grand Junction Sample Model Language.

**REVIEW COMMENTS / PP-2003-069 / PAGE 5 of 10**

4. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
5. The Point of Beginning(s) should be indicated and labeled on the Plat.
6. Provide a Title Certification for the use of the Title Company.
7. Indicate the recording information for a Homeowners Association, if required, in the Dedication of Tracts or Easements to the Association.
8. A location map is required.
9. The Title Commitment indicated on the Plat is not current and does not match the copy submitted for review with the application.

**Sheet 2 of 2**

1. Provide recording information for all recorded easements indicated on the Plat.
2. Provide the recording information for all rights of way indicated on the Plat. Dedication may be required if proof of existing right of way is not available.
3. Remove the radius point designations from the Plat drawing.
4. Delete the dark line designating the East line of Parcel B.
5. Verify the area and/or dimensions for Lots 19, 20 and 68.
6. Verify the area and/or dimensions for Tract I.
7. Eliminate the use of identical Tract letter designations within the Plat; ie: Tract E (D 1/2 Road right of way) and Access Tract E.
8. It is suggested that that portion of King Lear Court lying between D 1/2 Road and Othello Drive be renamed.
9. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
10. Provide a width for Tract G adjacent to D 1/2 Road.
11. Provide a width for that portion of Hamlet Court lying North of Macbeth Drive.
12. Provide a 'half-width' dimension on all interior roadways indicating that the right of way is centered on the centerline as drawn.
13. Indicate the 6 foot easement per Book 2404, Page 25.
14. The East line of the existing 15 foot Utility Easement adjacent to the West line of the Plat (per Book 1157, Page 91) should extend to the North and South lines of the Plat.
15. Monument records for the Aliquot corners indicated on the Plat should be filed if the corners are in danger due to proposed construction on the Plat.
16. The line used as a Basis of Bearings should be indicated on the Plat.
17. The Point of Beginning(s) should be indicated and labeled on the Plat.
18. Provide a list of all abbreviations used.
19. Lettering size shall be 0.08" minimum.
20. The Surveyor's signature is required on each sheet of the Plat. (rule 6.1.2)
21. All adjoining subdivisions shall be indicated with the appropriate title and recording information. All street rights of way from these adjoining subdivisions shall be drawn upon the Plat.
22. The Access Tracts, as now indicated, may be Utility Easements to serve the Northerly tier of lots. This should be verified with the Engineering staff of Community Development.
23. Easements may be required by the Engineering staff of Community Development for the parking areas designated on the Site Plan within Lots 33 through 60.

**REVIEW COMMENTS / PP-2003-069 / PAGE 6 of 10**

24. The Plat indicates that all interior lot corners and centerline of road control have been set (or will be set before the time of recordation).

**CITY TRANSPORTATION ENGINEER**

**5/2/03**

**George Miller**

**256-4123**

---

Proposal, for 106 lots at the NW corner of 30 and D ½ Rds, was reviewed in General Meeting. The conditions detailed at that time still pertain to this site, as follows:

**Proposal Comments:**

1. Future plan iterations will need to detail the following:
  - a. Street lights at all intersections.
  - b. Stop signs as follows- WBound on Othello at Hamlet, E & WB Macbeth at Hamlet, EBound Macbeth at King Lear, SBound Dorris and Hamlet at D ½
  - c. Street names at all intersections (May go on Stop assemblies. Only one street name assembly needed at Macbeth/Hamlet.
2. Traffic calming devices will be required mid length on both Macbeth and on Othello. Width restriction devices (limiting asphalt widths to 18') are preferred, but will consider all proposals.
3. EBound left turn lane warrants are met for both entrances. In order to evaluate striping design, future plans will need to detail all existing and proposed signing, striping, and area accesses on D ½ Rd from 30 Rd west to 200' west of the site boundary. The EBound transition to the EBound left turn pocket (west of Hamlet) will need to transition at 30:1 (40 mph, see TEDS 6.2 for this, and other turn lane design details), and each turn lane will to have 50' storage length.
4. As detailed in the General Meeting Comments, a bike lane is required for the site's 30 Rd frontage , and a detached bike/ped trail will be needed for the site's D ½ Rd frontage. This trail will be wider than the typical sidewalk cross-section.

**CITY ADDRESSING**

**5/1/03**

**Faye Gibson**

**256-4043**

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1. The Shakespeare's Court Subdivision, Macbeth Dr., Othello Dr., and King Lear Ct names are all okay.
2. Hamlet Ct. is already in use and another name will have to be submitted for review.
3. King Lear Ct. on the south side of the subdivision should be renamed to Doris Rd. since it is in line with the existing Doris Rd. to the south. No addresses will be assigned off this road.
4. For Planning Clearance information on setback requirements the lots which access off of the shared driveways need to be clarified as to where the front, side, and rear setbacks will be. Also on these lots, unit letters or numbers will have to be assigned, since there will not be enough whole addresses for all of them.

**AT&T BROADBAND**

**5/5/03**

**Chuck Wiedman**

**263-2313**

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**REVIEW COMMENTS / PP-2003-069 / PAGE 7 of 10**

We are in receipt of the plat map for your new subdivision, Shakespeare's Court Subdivision. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner.

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish available to the new home purchasers. There items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be provided by the developer. The trench may be the same one used by other utilities, however the roadbore must provide a 2" conduit for the sole use of cable TV.
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossing will be in the same location as power and telephone crossings. If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs, the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.
5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.

Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with out office and I will get back in contact with you as soon as I can.

**UTE WATER**

**4/23/03**

**Edward Tolen**

**242-7491**

**COMMENT**

- \* All water meters must be set at ROW.
- \* Water lines that do not supply fire hydrants in dead ends shall not be larger than 4".
- \* Developer must provide a drawing that shows water meter locations.
- \* 8" water line in D 1/2 Rd. must be extended from Doris Rd. to west edge of subject property.
- \* At D 1/2 Rd. and Doris an 8" wet tap will be required on the existing water line.
- \* Water mains shall be C900, Class 150 PVC. Installation of pipe, fittings, valves, and services, including testing and disinfection shall be in accordance with Ute Water



**REVIEW COMMENTS / PP-2003-069 / PAGE 8 of 10**

- standard specifications and drawings
  - \* Developer is responsible for installing meter pits and yokes (pits and yokes supplied by Ute Water).
  - \* Construction plans required 48 hours before construction begins. If plans are changed the developer must submit a new set of plans.
  - \* Electronic drawings of the utility composite for the subdivision, in Autocad.dwg format, must be provided prior to final acceptance of water infrastructure.
  - \* Water meters will not be sold until final acceptance of the water infrastructure.
  - \* ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY
- If you have any questions concerning any of this, please feel free to contact Ute Water.

**GRAND JUNCTION DRAINAGE DISTRICT**

4/28/03

**John Ballagh**

242-4343

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The site is definitely within the Drainage District boundaries. The open drain ditch along the northerly and westerly lines of the proposed subdivision is part of the BESWICK DRAIN. That drain is the single recipient of the surface and subsurface waters forms the 30 Road overpass. The drain was evaluated and improved by Mesa County in part one of the 30 Road project. The Drainage District operates and maintains the drain.

The plans are not clear if the drain is to remain open or if it is to be piped by the developer. Should the drain remain open then the District requires the full width of the drain plus 20 feet on each side of the open drain remain open and uninterrupted by above ground facilities, even power or phone pedestals, and especially cross fences. Should the drain be piped then the District needs 15 feet each side of the centerline of the pipe (a total of 30 feet width) as easement. The pipe is of such a diameter that large equipment would be required to repair it and the pipe will be installed at such a depth that a large quantity of spoil would have to be dealt with each time the pipe is exposed or repaired. The width of easement is necessary!

The developer or his representative needs to contact the District with the desired option.

The area is one of historic high water table problems somewhat corrected the presence of the drain ditch. Recommendations from a subsurface soils investigation should be followed to insure that problems of high water table do not return due to lack of attention by future homeowners in landscape irrigation.

**MESA COUNTY SCHOOL DISTRICT #51**

4/29/03

**Lou Grasso**

242-8500

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Following are estimated student impacts for three developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools for the development. Please contact me at 242-8500 if you have questions or need additional information.

Shakespeare Court:

Columbine Ele:268/263/24 East Middle:398/450/11 GJHS:  
1667/1600/15

CENTRAL GRAND VALLEY SANITATION

5/6/03

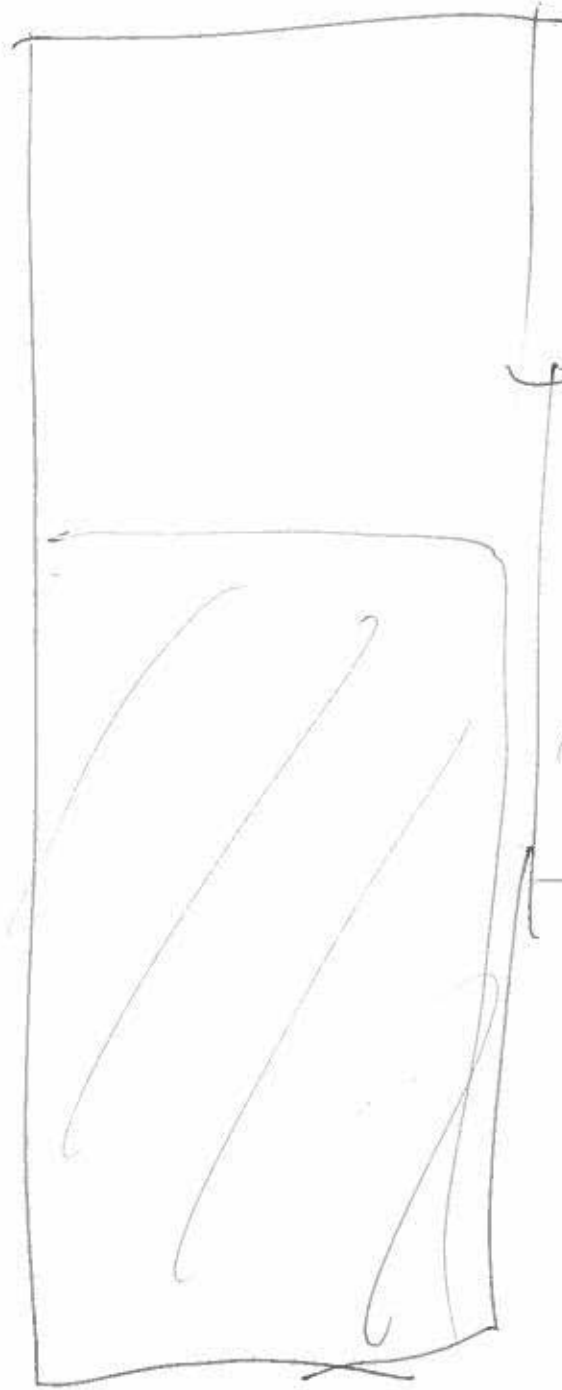
Stephen LaBonde

241-7076

**REVIEW COMMENTS FOR SHAKESPEAR COURT SUBDIVISION PRELIMINARY PLAN - CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-069), 05/05/03.**

The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Shakespeare Court Subdivision:

1. The District can provide sewer service to the proposed development through their D $\frac{1}{2}$  Road sewerline that was upgraded in 1997 to 12-inch SDR-35 PVC sewerline.
2. The District's existing sewerline sizes and type of pipe should be labeled and existing manholes labeled in accordance with the District's system mapping. A copy of the District's system mapping is available upon request.
3. The District has an existing 15-inch PVC truss pipe along the west edge of the property that is an the outfall sewerline from the Banner Industrial Park. An outlet will need to be created a minimum of 20-feet in width centered over the District's existing sewerline to the extent possible for the entire length of the sewerline through the subdivision. This will provide the District unobstructed access for cleaning and maintenance purposes. This is a requirement in lien of proposed Tract C (15-foot wide Utility Easement).
4. A new 8-inch sewerline will need to be extended along McBeth Drive to the west property line and a new manhole connected to the Banner Industrial outfall sewerline. The additional sewerline would flow from west to east (to McBeth Drive and Hamlet Court). This will allow the District to abandon the portion of sewerline south of McBeth Drive and avoid having redundant sewerlines. The new manhole that connects to the Banner Industrial Park outfall line may also require a drop manhole for the north inlet sewer to insure adequate depth of the sewerline along McBeth Drive to provide potential service to future development to the west.
5. Sewer services to existing residences will need to be disconnected as part of the subdivision improvements. When abandoning an existing tap, the existing service line is to be disconnected by excavating the connection to the existing main and capping it with concrete. This requirement will need to be included as part of the final plans for all existing service lines.
6. There is some question how proposed lots along the auto courts will be served and whether individual service lines will be extended from the sewer main in McBeth Drive, or a sewer main extended with an end of line manhole. If sewer services are proposed, all requirements of the Uniform Plumbing Code will need to be met including in-line cleanouts at 100-foot intervals. The auto court driveways will also need to be designated as utility easements in addition to ingress/egress to allow the private service lines from the north to cross private property. Sewer services to the lots south of the proposed auto courts (Lots 33-60) should have sewer services extend south to the McBeth Drive. Because it is unclear how lots along the auto courts are served, the sewer services to all lots should be shown on the Preliminary Plan and resubmitted to the District for review.
7. If the Preliminary Plan is approved, all the District's requirements for sewerline extensions in new subdivisions will need to be met as part of the final platting process.



# NOTICE OF DEVELOPMENT APPLICATION

An application for the development proposal described below, located near property you own, has been received by the Grand Junction Community Development Department. The Department encourages public review of proposed development prior to public hearings. The application, including plans, reports and supporting documentation, is available for review during normal business hours (7:30 A.M. - 5:30 P.M. Monday-Thursday and 7:30 A.M. - 5:00 P.M. on Friday) at City Hall, 250 North 5<sup>th</sup> Street. City Planning staff is also available to answer questions and explain the development review process.

**PP-2003-069 – SHAKESPEARE'S COURT SUBDIVISION –  
2980 & 2990 D $\frac{1}{2}$  Road**

Request approval of the Preliminary Plan for a 19.12 acre development of 106 units on 13.65 acres and 5.49 acres dedicated to ROW, detention areas and tracts in an RMF-8 (Residential Multi-Family-8 units/acre zone).

Planner Kristen Ashbeck

Courtesy notification cards will be mailed to adjoining property owners prior to a public hearing on this item. However, we encourage you to also verify scheduling in one of the following ways:

- ◆ call the Community Development Department at (970) 244-1430
- ◆ look for a display ad in the Daily Sentinel one day prior to the public hearing (held on the second and sometimes the third Tuesday of each month)
- ◆ You may receive a FAX copy of the Planning Commission agendas by calling CITY DIAL at (970) 244-1500 ext. 211.
- ◆ Agendas for Planning Commission, City Council, and Board of Appeals items are available prior to the hearing at City Hall, 250 North 5<sup>th</sup> Street.

Please do not hesitate to contact the Community Development Department at (970) 244-1430 if you have any questions.



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



POSTAGE  
00732  
METER NUMBER 41

AMASA WEST LTD PARTNERSHIP  
16683 W ARCHER AVE  
GOLDEN, CO 80401-6523



# NOTICE OF DEVELOPMENT APPLICATION

81501/2668





CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
*GRAND JUNCTION, CO 81501*



ROBERT L JOHNSON  
DONNA C  
2990 D 1/2 RD  
GRAND JUNCTION, CO 81504-8610

**NOTICE**

JOHN990\* 815042006 1302 04 04/21/03  
FORWARD TIME EXP RTN TO SEND  
JOHNSON, ROBERT L  
33510 COUNTY ROAD 9.5  
MANZANOLA CO 81058-9754

RETURN TO SENDER





CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



MINH VOONG  
HUNG VIEN  
447 DORIS RD  
GRAND JUNCTION, CO 81504-8630

**NOTICE**

VOON447 815042006 1A32 04 04/21/03  
RETURN TO SENDER  
VOONG  
MOVED LEFT NO ADDRESS  
UNABLE TO FORWARD  
RETURN TO SENDER



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
*250 N 5TH STREET*  
GRAND JUNCTION, CO 81501



LEVI JOHNSON  
ROBERT LEE JOHNSON  
2980 D 1/2 RD  
GRAND JUNCTION, CO 81504-8610

**NOTICE**

JOHN980 815042006 1302 04 04/21/03  
FORWARD TIME EXP RTN TO SEND  
JOHNSON, LEVI  
1110 AMARILLO ST  
WELLINGTON TX 79095-3216

RETURN TO SENDER





CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



TARYN JANE MILLER  
3000 D 1/2 RD  
GRAND JUNCTION, CO 81504

**NOTICE**

MIL000 815042005 1102 05 04/21/03  
FORWARD TIME EXP RTN TO SEND  
MILLER  
12609 NORTHLEDGE DR  
LIVE OAK TX 76233-2747

RETURN TO SENDER



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



MARIO VARGAS  
NANCY A  
441 1/2 COLOROW DR  
GRAND JUNCTION, CO 81504-2586

**NOTICE**

VARG441 815042005 1202 05 04/21/03  
FORWARD TIME EXP RTN TO SEND  
VARGAS SR  
265 E PARKVIEW DR  
GRAND JUNCTION CO 81503-2034  
RETURN TO SENDER



2501 N 5TH STREET

GRAND JUNCTION, CO 81501

JUN 03

CO

METER 704625

EARL E MORRILL  
JUDY A MORRILL  
498 GRAND MESA AVE  
GRAND JUNCTION, CO 81503-4821

**NOTICE**

NIXIE

2007 1

03 04/21/03

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



ISRE LLC  
LISA COMSTOCK  
PO BOX 1146  
GRAND JUNCTION, CO 81502

**NOTICE**

COMS146 815022005 1103 05 04/21/03  
RETURN TO SENDER  
COMSTOCK  
BOX CLOSED  
UNABLE TO FORWARD  
RETURN TO SENDER



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 N 5TH STREET  
 GRAND JUNCTION, CO 81501



TRAVIS L MCGEE  
 SHAUNA MCGEE  
 441 S PLACER CT  
 GRAND JUNCTION, CO 81504-4879

**NOTICE**

MCGE441 815042006 1302 04 04/21/03  
 FORWARD TIME EXP RTN TO SEND  
 MCGEE  
 404 SUNDOWN DR  
 GRAND JUNCTION CO 81504-6121  
 RETURN TO SENDER



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



HAROLD L DAVIS  
444 30 RD  
GRAND JUNCTION, CO 81504-8635

*for*

**NOTICE**

NIXIE

2007 1

03 04/22/03

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED



CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



JON E RAND  
CYNTHIA S RAND  
447 1/2 30 RD  
GRAND JUNCTION, CO 81504-8651

*F&D*

**NOTICE**

NIXIE

2007 1

03 04/22/03

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD





CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



09352  
H METER 704822

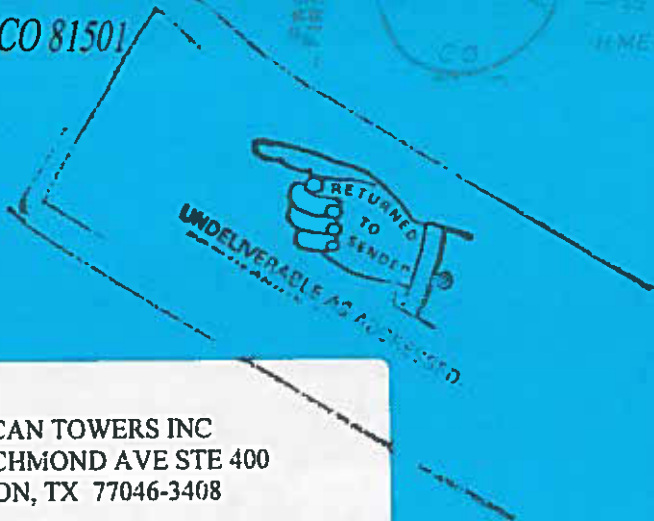
CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT  
250 N 5<sup>TH</sup> ST  
GRAND JUNCTION, CO 81501

# NOTICE OF DEVELOPMENT APPLICATION





CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT DEPARTMENT  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501



AMERICAN TOWERS INC  
3411 RICHMOND AVE STE 400  
HOUSTON, TX 77046-3408

## NOTICE OF DEVELOPMENT APPLICATION



**REVIEW COMMENTS / PP-2003-069 / PAGE 10 of 10**

Please have the petitioner revise the Preliminary Plan to address the aforementioned comments and resubmit to the District for further review.

Comments not available as of 5/6/03:

City Attorney

Parks & Recreation Department

Police Department

City Utility Engineer

Colorado Geological Survey

Grand Valley Irrigation

Mesa County Planning

Qwest

Urban Trails Committee

Xcel

City of Grand Junction  
Fire Department  
New Development Fire Flow

Instructions: To process the application, the developer/applicant's engineer should first fill out all items in Section A, and then deliver/mail this form to the appropriate water purveyor.<sup>1</sup> Once the water supplier has signed and given the required information, deliver/mail the completed and fully signed form to the City or County Planning Department.<sup>2</sup>

SECTION A

Date: APRIL 1, 2003  
Project Name: SHAKESPEARE'S COURT SUBDIVISION  
Project street address: 2980 & 2990 D'12 ROAD  
Assessor's Tax Parcel Number: 2993-171-00-143 & 2993-171-00-144  
Property Owner name: LSRE, LLC  
City's project file #: \_\_\_\_\_  
Name of Water Purveyor: UTE WATER

1. If the project includes one or more one or two-family dwelling(s):
    - a. The maximum fire area<sup>1</sup> for each one or two family dwelling will be 1740 square feet.
    - b. All dwelling units will , will not  include an approved automatic sprinkler system.Comments: \_\_\_\_\_
  2. If the project includes a building other than one and two-family dwelling(s):
    - a. List the fire area and type of construction for all buildings used to determine the minimum fire flow requirements: \_\_\_\_\_
    - b. List each building that will be provided with an approved fire sprinkler system: \_\_\_\_\_
  3. List the minimum fire flow required for this project (based on Appendix B and C): 1000 gpm
- Comments: \_\_\_\_\_

Note: Fire Flow Rule: The City's Fire Code<sup>3</sup> sets minimum fire flows for all structures and new development. In general, for single family dwellings, at least 1000 g.p.m at 20 p.s.i. residual pressure must be continuously available at each structure. Duplex, other residential and all non-residential uses must have more fire flows in order to fight fires. Inadequate fire flows are normally due to water supply pipes that are too small or too little water pressure, or a combination of both.

Note for the Applicant/Project engineer: Refer to Appendix B and C, IFC 2000, to determine the minimum fire flow required for this project, based on the Water Purveyor's information (*i.e.*, location, looping and size of water lines; water pressure at the site, *etc.*) and the type, density and location of all structures. Base your professional judgment on the City approved utility plans and Water Provider information shown on this Form. Each time the utility plans/other information relating to treated water changes, resubmit this form just as you did the first time.

[End of Section A. Section B continues on the reverse side of this page]

<sup>1</sup> Fire area is defined on page 357 of the IFC.

City of Grand Junction  
Fire Flow Form

SECTION B

[To be completed by the Water Supplier]

1. Circle the name of the water supplier: Ute Clifton Grand Junction
2. List the approximate location, type and size of supply lines for this project, or attach a map with the same information: 8" main in D<sup>1</sup>/<sub>2</sub> Road connected to high pressure 18" main in 30<sup>th</sup> Rd
3. List the g.p.m. at 20 p.s.i. residual pressure at the point that the development/project will be connected to the existing water system: 3,150 @ 20psi.
3. Attach fire flow test data for the fire hydrants nearest to the development/project that must be used to determine available fire flow: attached  
[Or: 1. attach a map or diagram with the same information, or 2. attach a map/diagram with flow modeling information.]
4. If new lines are needed (or if existing lines must be looped) to supply the required fire flows, or if more information is needed to state the available minimum gpm @ 20 psi residual pressure, please list what the applicant/developer must do or obtain:

Print Name and Title of Water Supplier Employee completing this Form:

Edward Tolan Project Engineer Date 8 Apr 03  
\*\*\*\*\*

Note: Based on the facts and circumstances, the Fire Chief may require the applicant/developer to engage an engineer<sup>4</sup> to verify/certify that the proposed water system improvements, as reflected in the approved utility plans submitted in support of the application/development, will provide the minimum fire flows to all structures in this project. If so, the engineer's signature below means that the City's Fire Flow requirements will be met by this development, if constructed as approved.

Print Name and License No. of P.E.:

Signature of P.E.:

Dated: \_\_\_\_\_

<sup>1</sup> There are three drinking water suppliers: Ute Water, Clifton Water, and City water.

<sup>2</sup> Address: City- 250 North 5th St., Grand Junction, CO 81501; County-P.O. Box 20000, Grand Junction, CO 81502

<sup>3</sup> International Fire Code, 2000 Edition

<sup>4</sup> City Code defines engineer as one who is licensed as a P.E. by the state of Colorado.

Look Up: 1362    **Grap**    **Calculat**    **Refres**    **+**

Pressure Hydrant: 1362    Entered By: SRD

**Testing Info**  
By: SRD  
Date: 03/13/2003  
Time: 1 00 AM

**Pressure PSI**  
Static: 75  
Residual: 69

**NFPA**  
**AA**

Comments: SW CORNER OF D 1/2 & FLORENCE

Total GPM: 954    Predicted Flow @ 20    3,156    Gals Used: 3,816

Flow Hydrant	Pitot	Flow Device	Duration	Comment	GPM
1360	32	A	4	FLORENCE & PLACER C	954

# COLORADO GEOLOGICAL SURVEY SUBMITTAL FORM FOR LAND-USE REVIEWS

County MESA COUNTY Date 7/1/03  
 Project Name SHAKESPEARE'S COURT SUBDIVISION

### APPLICANT

(or Applicant's Authorized Representative responsible for paying CGS-review fee)

Name LSRF, LLC  
 Address 1139 29 ROAD  
GRAND JUNCTION, COLO  
81505  
 Ph. No. 970-239-1010 Fax No. \_\_\_\_\_

1/4, 1/2, or 1/4 1/4 <u>SE 1/4, NE 1/4</u>
Section(s) <u>17</u>
Township <u>1S</u>
Range <u>1E</u>

### FEE SCHEDULE

<i>Reviews for Counties</i>	<i>Prepayment*</i>
Small Subdivision (less than 20 acres) .....	\$485
<input checked="" type="checkbox"/> Large Subdivision (20 acres or more, 10 dwellings or more) .....	\$595
Very Large or Complex Subdivision .....	At hourly rate of reviewer
<i>Reviews for Municipalities</i> .....	
At hourly rate of reviewer	
<i>Special Reviews</i> .....	
At hourly rate of reviewer	

\* Important: a \$25 processing fee will be added to invoice if not prepaid.

### CGS LAND USE REVIEWS

Geological studies are required by Colorado counties for all subdivisions of unincorporated land into parcels of less than 35 acres, under State statute C.R.S. 30-28-101 et seq. (Senate Bill 35, 1972). Some Colorado municipalities require geological studies for subdivision of incorporated land. In addition, local governments are empowered to regulate development activities in hazardous or mineral-resource areas under C.R.S. 24-65.1-101 et seq. (House Bill 1041, 1974) and C.R.S. 34-1-301 et seq. (House Bill 1529, 1973), respectively.

Local-government agencies submit proposed subdivision applications and supporting technical reports to the Colorado Geological Survey "...for evaluation of those geologic factors which would have significant impact on the proposed use of the land," in accordance with State statutes. The CGS reviews the submitted documents and serves as a technical advisor to local-government planning agencies during the planning process. Since 1984, the CGS has been required by law to recover the full direct cost of performing such reviews.

The adequate knowledge of a site's geology is essential for any development project. It is needed at the start of the project in order to plan, design, and construct a safe development. Proper planning for geological conditions can help developers and future owners/users reduce unnecessary maintenance and/or repair costs.

ISRE, LLC  
P. O. BOX 1146  
GRAND JUNCTION, CO 81502

1077

82-244/1070

4/7/03  
DATE

PAY TO THE  
ORDER OF

CO Geological Survey \$ 595<sup>00</sup>

five hundred ninety five<sup>00/100</sup> DOLLARS

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Bank of Colorado  
P.O. Box 968  
Grand Junction, CO 81501  
(970) 245-1600 or Telebank: 1-800-227-7408  
www.bankofcolorado.com

Security Features  
Details on Back

FOR

Shakespeare Ct

Joan A Comstock

⑆ 107002448⑆ 2600666378⑆ 1077

**LEGAL DISCRIPTION  
SHAKESPEARE'S COURT SUBDIVISION**

**PARCEL A**

A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows: Beginning at a point on the south line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17 from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears N89°57'53"W, 396.12 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto. Thence N00°04'26"W, 659.76 feet to the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17; thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 894.22 feet to the Westerly right-of-way of 30 road; thence S00°00'44"W along said Westerly right-of-way of 30 road, 605.19 feet; thence S45°00'37"W, 34.59 feet to the Northerly right-of-way of D 1/2 road; thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 170.53 feet; thence S00°02'07"W, 30.00 feet to the South line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17; thence N89°57'53"W along said Section line to the Point of Beginning. Said parcel contains 13.39 acres, more or less.

**PARCEL B**

A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows: Beginning at a point on the northerly right-of-way of D 1/2 road from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears S00°04'26"E, 30.00 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto. Thence N00°04'26"W along the West line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 629.80 feet to the Northwest corner of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17; thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 396.12 feet; thence S00°04'26"E, 629.76 feet to a point on the Northerly right-of-way of D 1/2 road; thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 396.12 feet to the Point of Beginning. Said parcel contains 5.73 acres, more or less.



**TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.**

\*\*\*\*\*



## First American Heritage Title Company

330 Grand Avenue Grand Junction, CO 81501  
 (970) 241-8555 Fax (970) 241-0934

<b>TO: 2 - Lisa Comstock</b> Call to Pick Up - 234-1010 or 256-1653  <b>TAX PARCEL: 2943-171-00-143</b> 2943-171-00-144	<b>DATE:</b> April 7, 2003  <b>ORDER NO:</b> 00151384  <b>SELLER/BUYER:</b> ISRE LLCTBD  <b>ADDRESS:</b> 2980 & 2990 D 1/2 Road
---	---

<b>PLEASE FIND ATTACHED:</b>  <input checked="" type="checkbox"/> TITLE COMMITMENT <input type="checkbox"/> TAX CERTIFICATE <input type="checkbox"/> REVISION : _
---

CHARGES (\$)	COPIES OF THE ENCLOSED DOCUMENTS HAVE BEEN DELIVERED TO;
130.00    Owner's Policy TBD Lender's Policy Tax Certificate(s) Additional Parcel Fee Form 100 Form 8.1 Form 103.1 Form 100.29 Form 100.30 Form OEC LEC Other:	1 - Escrow
<b>\$ 130.00    TOTAL</b>	

***Thank You for Choosing First American Heritage Title Company***

Your Title Examiner is: *Nicolle Lewis*                      \* Your Closer is: *To Be Determined*

**PRIVACY PROMISE FOR CUSTOMERS**

We will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

*Devoted*  
 "Satisfied Customers through Superior Service by People Who Care"

COMMITMENT FOR TITLE INSURANCE

ISSUED BY  
*FIRST AMERICAN HERITAGE TITLE COMPANY*

agent for

FIRST AMERICAN TITLE INSURANCE COMPANY

AGREEMENT TO ISSUE POLICY

FIRST AMERICAN TITLE INSURANCE COMPANY, referred to in this Commitment as the Company, through its agent, identified above, referred to in the Agreement as the Agent, agrees to issue a policy to you according to the terms of this Commitment. When we show the policy amount and your name as the proposed insured in Schedule A, this Commitment becomes effective as of the Commitment Date shown in Schedule A.

If the Requirements shown in this Commitment have not been met within six months after the Commitment date, our obligation under this Commitment will end. Also our obligation under this Commitment will end when the Policy is issued and then our obligation to you will be under the Policy.

Our obligation under this Commitment is limited by the following:

The Provisions in Schedule A.

The Requirements in Schedule B-1.

The Exceptions in Schedule B-2.

The Conditions on the reverse side of this page.

This Commitment is not valid without SCHEDULE A and Sections 1 and 2 of SCHEDULE B.

*First American Title Insurance Company*

BY *Gary L. Keruett* PRESIDENT

BY *Mark A. Amos* SECRETARY

BY *Jimmy Johnson* COUNTERSIGNED



The Title Insurance Commitment is a legal contract between you and the company. It is issued to show the basis on which we will issue a Title Insurance Policy to you. The Policy will insure you against certain risks to the land title, subject to the limitations shown in the Policy.

The Company will give you a sample of the Policy form, if you ask.

The Commitment is based on the land title as of the Commitment Date. Any changes in the land title or the transaction may affect the Commitment and the Policy.

The Commitment is subject to its Requirements, Exceptions and Conditions.

THIS INFORMATION IS NOT PART OF THE TITLE INSURANCE COMMITMENT.

## CONDITIONS

1. **DEFINITIONS**

- (a) "Mortgage" means mortgage, deed of trust or other security instrument.
- (b) "Public Records" means title records that give constructive notice of matters affecting the title according to the state law where the land is located.

2. **LATER DEFECTS**

The Exceptions in Schedule B - Section 2 may be amended to show any defects, liens or encumbrances that appear for the first time in public records or are created or attached between the Commitment Date and the date on which all of the Requirements of Schedule B - Section 1 are met. We shall have no liability to you because of this amendment.

3. **EXISTING DEFECTS**

If any defects, liens or encumbrances existing at Commitment Date are not shown in Schedule B, we may amend Schedule B to show them. If we do amend Schedule B to show these defects, liens or encumbrances, we shall be liable to you according to Paragraph 4 below unless you knew of this information and did not tell us about it in writing.

4. **LIMITATION OF OUR LIABILITY**

Our only obligation is to issue to you the Policy referred to in this Commitment, when you have met its Requirements. If we have any liability to you for any loss you incur because of an error in this Commitment, our liability will be limited to your actual loss caused by your relying on this Commitment when you acted in good faith to:

comply with the Requirements shown in Schedule B - Section 1

or

eliminate with our written consent any Exceptions shown in Schedule B - Section 2.

We shall not be liable for more than the Policy Amount shown in Schedule A of this Commitment and our liability is subject to the terms of the Policy form to be issued to you.

5. **CLAIMS MUST BE BASED ON THIS COMMITMENT**

Any claim, whether or not based on negligence, which you may have against us concerning the title to the land must be based on this Commitment and is subject to its terms.

**SCHEDULE A**

1. Effective Date: **March 11, 2003 at 8:00 a.m.**

Commitment No.: **00151384**

2. Policy or Policies to be issued: Amount  
(a)  **ALTA 1992 Owner's Policy** **\$TO COME**

Proposed Insured:

**To Be Determined**

(b)  **None** **\$**

Proposed Insured:

(c)  **None** **\$**

Proposed Insured:

3. The estate or interest in the land described or referred to in this commitment and covered herein is **fee simple** and title thereto is at the effective date hereof vested in:

**ISRE LLC, a Colorado limited liability company**

4. The land referred to in this commitment is situated in the State of Colorado, County of Mesa, and is described as follows:

**See Exhibit A attached hereto and made a part hereof.**

**Exhibit A**

**PARCEL 1**

**The S1/2 of the SE1/4 of the NE1/4 of Section 17, Township 1 South, Range 1 East of the Ute Meridian;  
EXCEPT the West 6 acres thereof;  
AND EXCEPT a tract of land conveyed to Mesa County, State of Colorado by Warranty Deed recorded March 23,  
1998, in Book 2419 at Page 617.**

**PARCEL 2**

**The West 6 acres of the S1/2 of the SE1/4 of the NE1/4 of Section 17, Township 1 South, Range 1 East of the Ute  
Meridian.**

**SCHEDULE B - Section 1  
Requirements**

No. 00151384

The following are the requirements to be complied with:

Item (a) Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to-wit:

1. Deed from ISRE LLC, a Colorado limited liability company to grantees to be determined.  
NOTE: This Commitment is subject to such additional Requirements and/or Exceptions which may be necessary once the identity of the Purchaser is disclosed.

Item (c) Delivery of the following documents, if any, to the Company for its review and approval, which documents are not required to be filed of record.

NOTE: Statement of Authority for ISRE LLC, a Colorado limited liability company, recorded February 11, 2002, in Book 3020 at Page 485, discloses the following name(s) of each person authorized to execute instruments on behalf of said limited liability company: Lisa Comstock, Member.

There is a Colorado law, as set forth in Section 10-11-122 of the Colorado Revised Statutes, which reads as follows: (1) Every title insurance agent or title insurance company shall provide, along with each title commitment issued for the sale of residential property as defined in section 39-1-102 (14.5), C.R.S., a statement disclosing the following information: (a) That the subject real property may be located in a special taxing district: (b) That a certificate of taxes due listing each taxing jurisdiction shall be obtained from the county treasurer or the county treasurer's authorized agent: (c) That information regarding special districts and the boundaries of such districts may be obtained from the board of county commissioners, the county clerk and recorder, or the county assessor.



**SCHEDULE B - Section 2  
Exceptions**

No. 00151384

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company.

Any loss or damage, including attorney fees, by reason of the matters shown below:

1. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession thereof.
2. Easements or claims of easement which are not shown by the public records.
3. Discrepancies, conflicts in boundary lines, shortage in area, encroachments and any other facts which a correct survey would disclose, and which are not shown by public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
6. Taxes and assessments, now a lien or payable.
7. Any water rights or claims or title to water in, on or under the land.
8. Any and all unredeemed tax sales.  
NOTE: This exception to coverage will not appear on the policy(ies) to be insured hereunder if a Certificate of Taxes Due discloses that there are no unredeemed tax sales for this property.
9. Any assessments not certified to the Treasurer.
10. Right of the Proprietor of a vein or lode to extract and remove his ore therefrom should the same be found to penetrate or intersect the premises hereby granted as reserved in United States Patent recorded February 20, 1892, in Book 11 at Page 159.
11. Right of way easement as granted to The Mountain States Telephone and Telegraph Company by instrument recorded March 2, 1936, in Book 355 at Page 22.
12. Easement as granted to Public Service Company of Colorado and the reservations contained therein in instrument recorded April 21, 1970, in Book 945 at Page 563.
13. Sanitary sewer easement as granted to Central Grand Valley Sanitary Sewer District in instrument recorded July 12, 1978, in Book 1157 at Page 91.
14. Terms, conditions, provisions and restrictions of that certain Grant of Easement recorded February 11, 1998, in Book 2404 at Page 24.
15. Temporary construction easement as evidenced by instrument recorded March 2, 1998, in Book 2410 at Page 278.
16. The effect of ISRE Annexation recorded May 21, 2002, in Book 3082 at Page 751.
17. The effect of ISRE Annexation No. 2 recorded November 12, 2002, in Book 3202 at Page 628.
18. Right of way for D 1/2 Road over South side of subject property.

**SCHEDULE B - Section 2(continued)  
Exceptions**

**No. 00151384**

19. Right of way for 30 Road over East side of subject property.
20. Any lease not of record but in existence, and any and all assignments of interest therein.
21. Any claims that may arise by reason of encroachment by any boundary fences along the property lines of subject property.
22. Deed of Trust from ISRE LLC, a Colorado limited liability company  
to the Public Trustee of Mesa County  
for the benefit of Bank of Colorado  
to secure an original principal indebtedness in the amount of: \$ 250,000.00  
dated : June 21, 2002  
recorded : July 12, 2002, in Book 3111 at Page 889.

# THE UNITED STATES OF AMERICA,

Certificate No. 29

To all to Whom these Presents shall come, GREETING:

Book 11  
Page 159

Whereas, Jonathan J. Shatt of Mesa County Colorado

has deposited in the General Land Office of the United States a Certificate of the Register of the Land Office at Gunnison Colorado

Jonathan J. Shatt

whereby it appears that full payment has been made by the said Jonathan J. Shatt according to the provisions of the Act of Congress of the 24th of April, 1820, entitled "An Act making further provision for the sale of the Public Lands," for and the acts supplemental thereto for the South half of the North East quarter and the North half of the South East quarter of Section seventeen in Township one South of Range one East of 10th Meridian in Colorado, containing one hundred and sixty acres

according to the Official Plat of the Survey of the said Lands, returned to the General Land Office by the Surveyor General, which said Tract has been purchased by the said Jonathan J. Shatt

Jonathan J. Shatt

Now Know Ye, That the United States of America, in consideration of the premises, and in conformity with the several Acts of Congress in such case made and provided, have given and granted, and by these presents do give and grant unto the said Jonathan J. Shatt

and to his heirs, the said Tract above described: To Have and to Hold the same, together with all the rights, privileges, immunities and appurtenances, of whatsoever nature, thereunto belonging, unto the said Jonathan J. Shatt

and to his heirs and assigns forever; subject to any vested and accrued water rights for mining, agricultural, manufacturing or other purposes, and rights to ditches and reservoirs used in connection with such water rights as may be recognized and acknowledged by the local customs, laws and decisions of Courts, and also subject to the right of the proprietor of a vein or lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises hereby granted, as provided by law.

In Testimony Whereof, I, Benjamin Harrison President of the United States of America, have caused these letters to be made patent, and the Seal of the General Land Office to be hereunto affixed.

Given under my hand, at the City of Washington, the fourth day of June, in the year of our Lord one thousand eight hundred and ninety, and of the Independence of the United States the one hundred and fourteenth

BY THE PRESIDENT: Benjamin Harrison  
By M. M. Kean Secretary.

J. M. Townsend Recorder of the General Land Office.



Recorded, Vol. 1 Page 424

Filed for Record the 20 day of July A. D. 1892, at 10 o'clock A. M.

Edwin Shaw

SNZ + NSE

322 #705213

RIGHT OF WAY DEED  
Frank Goodwin - to - Mt. States T. & T. Co.  
Filed for record - Apr. 2, 1936, at 3:00 o'clock, P.M.  
E. W. Jordan, Recorder.

CONTRACT  
# 14.03

Correct: Wm. Bell Approved: B. F. Curtis Approved: A. W. Young  
R. O. W. Agent State Plant Engineer State Plant Superintendent  
(Paid 2-24-36) State Const. Engineer  
\$25.00 REPLY OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. Twenty Five and no/100  
Dollars, in consideration of which I hereby grant unto said Company, its successors and  
assigns, the right, privilege and authority to construct, operate and maintain its lines of  
Telephone and Telegraph, including the necessary underground conduit, poles, cables, wires  
and fixtures upon, over and across the property which I own, or in which I have any interest,  
in the North half of the Southeast quarter of the Northeast quarter of Section Seventeen  
(17) Township One (1) South, of Range One (1) East of the 10th Meridian, County of Mesa,  
and State of Colorado, and upon and along the roads, streets or highways adjoining the said  
property, with the right to permit the attachment of the wires of any other company, and  
the right to trim any trees along all lines so as to keep the wires cleared at least forty-  
eight inches, to erect and set the necessary guy and brace poles and anchors and to attach  
thereto the necessary guy wires with the further right to remove all trees interfering with  
Telephone and Telegraph line along the North line of above described property and to over-  
hang said property with cross arms, cables, wires and fixtures and no poles to be located  
on property described  
Said sum being received in full payment therefor.  
Witness my hand and seal this 14 day of February A. D. 1936 at Grand Junction, Colo  
Witnesses: Wm. Bell (Postoffice Address)  
No officer or employee of this Company is Frank Goodwin (S.M.)  
authorized to procure a receipt to a voucher Lan' Omer)  
except upon payment of its amount, and the Frank Goodwin, Rt. 1  
Company hereby gives notice, that if this voucher is signed without payment being made, it  
is done at the Signer's Own Risk.

The Denver-Grand Junction - Salt Lake Toll Line  
#705214  
W. E. Wright, Est. - to - Mt. States T. & T. Co.  
Filed for record - Apr. 2, 1936, at 3:01 o'clock, P.M.  
E. W. Jordan, Recorder.

Correct: Wm. Bell Approved: B. F. Curtis Approved: A. W. Young  
R. O. W. Agent State Plant Engineer State Plant Superintendent  
(Paid 2-24-36) State Const. Engineer  
\$25.00 REPLY OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. Twenty Five and no/100  
Dollars, in consideration of which I hereby grant unto said Company, its successors and  
assigns, the right, privilege and authority to construct, operate and maintain its lines of  
Telephone and Telegraph, including the necessary underground conduit, poles, cables, wires  
and fixtures, upon, over and across the property which I own, or in which I have any  
interest in the North half of the Southeast quarter of the Northeast quarter of Section  
fifteen (15) Township One (1) South, of Range One (1) East of the 10th Meridian, County of  
Mesa, and State of Colorado, and upon and along the roads, streets or highways adjoining the  
said property, with the right to permit the attachment of the wires of any other company,  
and the right to trim any trees along all lines so as to keep the wires cleared at least  
forty-eight inches, to erect and set the necessary guy and brace poles and anchors and to  
attach thereto the necessary guy wires provided, said Telephone and Telegraph line be located  
established and maintained along the north line of the above described property.  
Said sum being received in full payment therefor.  
Witness my hand and seal this 13 day of Febr. A. D. 1936 at Grand Jet. Colo.  
(Postoffice Address)  
Witnesses: Wm. Bell E. W. Harpster Ad. Instructor (S.M.)  
W. E. Wright Jannie P. Wright (S.M.)  
No officer or employee of this Company is Lan' Omer)  
authorized to procure a receipt to a voucher, W. E. Wright, Rt. 1 Clifton  
except upon payment of its amount, and the Company hereby gives notice, that if this voucher  
is signed without payment being made, it is done at the Signer's Own Risk.

The Denver-Grand Junction Salt Lake Toll Line  
#705215  
Mrs. T. R. Casey - to - Mt. States T. & T. Co.  
Filed for record - Apr. 2, 1936, at 3:02 o'clock, P. M.  
E. W. Jordan, Recorder.

Correct: Wm. Bell Approved: B. F. Curtis Approved: A. W. Young  
R. O. W. Agent State Plant Engineer State Plant Superintendent  
(Paid 2-24-36) State Const. Engineer  
\$10.00 REPLY OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. Ten and No/100 Dollars  
in consideration of which I hereby grant unto said Company, its successors and assigns, the  
right, privilege and authority to construct, operate and maintain its lines of Telephone and  
Telegraph, including the necessary underground conduit, poles, cables, wires and fixtures  
upon, over and across the property which I own, or in which I have any interest, in the East  
one quarter of the Southeast quarter of the Northeast quarter of Section Seventeen (17)  
Township One (1) South, of Range One (1) East of the 10th Meridian, County of Mesa, and State  
of Colorado, and upon and along the roads, streets or highways adjoining the said property,  
with the right to permit the attachment of the wires of any other company, and the right to  
trim any trees along all lines so as to keep the wires cleared at least forty-eight inches,  
to erect and set the necessary guy and brace poles and anchors and to attach thereto the  
necessary guy wires. The right herein reserved covers the over hanging the north line of above  
described property, with cross-arms cables, wires and fixtures and trim any trees along  
said north line. No poles to be located on said property  
Said sum being received in full payment therefor.  
Witness my hand and seal this 13 day of February A. D. 1936 at Grand Junction, Colo  
(Postoffice Address)  
Witnesses: Wm. Bell T. R. Casey Lan' Omer)  
No officer or employee of this Company is T. R. Casey, Rt. 1  
authorized to procure a receipt to a voucher, except upon payment of its amount, and the  
Company hereby gives notice, that if this voucher is signed without payment being made,  
it is done at the Signer's Own Risk.  
The Denver-Grand Junction-Salt Lake Toll Line

DIVISION: Western TOWN: Grand Junction NAME OF LINE OR EXTENSION: Gas Service to 2958 "D<sup>1</sup>" Road

FORM 410-10-1488

STATE OF COLORADO, COUNTY OF MESA

RECORDS & DEEDS

APR 21 1970

BOOK 945 PAGE 563

RETAIN PERMANENTLY

Correct:

RECEIVED BY

APPROVED:

1970 M. DISTRICT REGISTER

Carl Barkow

HOW Agent

Plat No.

Document No.

The Grantor hereby acknowledges receipt of One and No/100 - - - - - DOLLARS (\$ 1,00 ) from PUBLIC SERVICE COMPANY OF COLORADO in consideration of which I hereby grant unto said Company, its successors and assigns, the right, privilege and authority to survey, construct, operate, maintain, control, repair and replace its utility lines, whether said lines now or may hereafter serve the property herein described or other property, with all fixtures and devices, used or useful in the operation of said lines, through and along a course as said lines may be hereafter constructed in, through, over or across North East 1/4

East of the UCC Principal Meridian in the county of Mesa, Township 1 South, Range 1, of Section 17, State of Colorado, the approximate center line of which right of way is more particularly described as follows:

Beginning at a point 415' feet East of Southwest Corner NE 1/4, Section 17, T-1S, R-1-E, UM, thence North 297.5 feet M/L.

The Grantor reserves the right to use of the land for building purposes, cultivation, and to occupy said premises. When such construction is planned Grantor will notify Public Service Company of Colorado in advance of construction so alteration of gas facilities maybe accomplished.

The right of way herein granted to be 4 (Four) feet in width, 2 (Two) feet on each side of above described center line

Together with the right to enter upon said premises, survey, construct, maintain, operate, repair, replace, control and use said utility lines and related fixtures and devices, and to remove ~~subject intersecting~~ and together with the right to use so much of the adjoining premises of Grantor... during surveying, construction, maintenance, repair, removal, or replacement of said utility lines and related fixtures and devices as may be required to permit the operation of standard utility construction or repair machinery. The Grantor... reserves the right to cultivate, use and occupy said premises for any purpose consistent with the right and privileges above granted, and which will not interfere with or endanger any of the said Company's facilities therein or use thereof. ~~Such reservation by the Grantor shall in no way include the right to erect or cause to be erected any building or structure upon the right of way herein granted. In case of the permanent abandonment of said right of way, all right, privilege and interest herein granted shall end, cease and determine.~~

The work of installing said lines and related fixtures and devices shall be done with care; the surface along said right of way shall be restored substantially to its original level and condition.

This grant is subject to existing mineral leases covering any part of the above described land.

Witness My hand and seal this 21 day of April, A. D. 1970.

WITNESSES: Carl Barkow

Jack Blacksher (Landowner) (SEAL)

(Landowner)

(Landowner) (SEAL)

THIS DEED, MADE THIS 17th day of April, 1970, between LEON R. WALTER and [unclear] recorded at 10:45 o'clock A.M. of the 21st day of April, 1970. BOOK 945 PAGE 564

LEVI JOHNSON and PHYLLIS M. JOHNSON

whose address is 2980 D $\frac{1}{2}$  Road,

County of Mesa and State of

Colorado for the consideration of TEN DOLLARS AND ALL OTHER VALUABLE CONSIDERATIONS,

Dollars, in hand paid,

STATE OF COLORADO

JUL 12 1978

S. \_\_\_\_\_

hereby sell(s) and quit claim(s) to

CENTRAL GRAND VALLEY SANITATION DISTRICT

whose address is 590 Grand Valley Drive, Grand Junction,

County of Mesa and State of Colorado, the following real

property, in the County of Mesa, and State of Colorado, to wit:

An easement for the installation and maintenance of an underground sewer line over and across the following described property, to-wit:

The West 15 feet of the S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$  of Section 17, Township 1 South, Range 1 East of the Ute Meridian, Mesa County, Colorado; and also, An easement for construction purposes only being 10 feet in width and to be vacated when said sewer line construction is completed, described as follows: Beginning at a point on the South line of the S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$  of said Section 17, 15 feet Easterly from the Southwest Corner of said S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$ ; thence Northerly and parallel to the West line of said S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$  660 feet more or less to the North line of said S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$ , thence Easterly along said North line 10 feet, thence Southerly and parallel to the West line of said S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$  660 feet more or less to the South line of said S $\frac{1}{4}$ SE $\frac{1}{4}$ NE $\frac{1}{4}$ , thence Westerly along said South line 10 feet to the point of beginning, Mesa County, Colorado.

with all its appurtenances

Signed this 6<sup>th</sup> day of July, 1978.

Levi Johnson

Phyllis M. Johnson

STATE OF COLORADO,

County of Mesa

The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of July, 1978, by Levi Johnson and Phyllis M. Johnson.

My commission expires 8-1-80  
Witness my hand and official seal

Sasha [Signature]  
Notary Public  
STATE OF COLORADO  
JUL 12 1978

Central Grand Valley Sanitation District

MESA COUNTY, COLORADO  
GRANT OF EASEMENT

BOOK 2404 PAGE 24

Project: North/South Corridor ~ 30 Road Phase I  
Parcel No. 2943-171-00-144  
Address: 2990 D 1/2 Road, Grand Junction, CO 81504

1832072 02/11/98 0928AM  
MONIKA TOOD CLK&REC MESA COUNTY CO  
DOCUMENTARY FEE \$EXEMPT

This Grant of Easement is made this 7<sup>th</sup> day of February 1998 by and between Robert L. Johnson and Donna C. Johnson, whose legal address is 2990 D 1/2 Road, Grand Junction, Colorado 81504 (Grantor herein) and the COUNTY OF MESA, STATE OF COLORADO, whose legal address is P.O. Box 20,000, Grand Junction, Colorado 81502 (Grantee herein).

In exchange for and in consideration of \$ 358.58, the receipt and sufficiency of which is hereby acknowledged, Grantor hereby grants and conveys to Grantee and its successors, a perpetual easement for the purpose of constructing, repairing, maintaining and operating utilities, sidewalk, streets and its related appurtenances and facilities, together with the right of ingress and egress for workers and equipment, on, along, over, under, and through a tract of land described in Book 950 at Page(s) 576 in the office of the County Clerk and Recorder of Mesa County, Colorado, more particularly described on the attached Exhibit "A".

Grantor reserves the right to use the easement premises in any manner that will not prevent or interfere with the exercise by Grantee of any rights granted herein. Grantee agrees the work and act of installing, maintaining and repairing utilities and related appurtenances and facilities shall be performed with due care using commonly accepted standards and techniques, taking precautions for the protection of property. All damages to property resulting from the failure to exercise due care, or other higher standard of care as may be applicable, shall be paid for and repaired at the expense of Grantee. This grant, its terms and conditions are binding upon the heirs, successors and assigns of the parties.

By: Robert L. Johnson  
Robert L. Johnson, Grantor  
Donna C. Johnson  
Donna C. Johnson, Grantor

STATE OF COLORADO

County of Mesa

The foregoing instrument was acknowledged by Robert L. & Donna C. Johnson on the 7<sup>th</sup> day of February 1998  
by: Robert L. & Donna C. Johnson



Witness my hand and official seal:  
Jacquelyn C. Davidson

My notarial commission expires:  
November 21, 2000



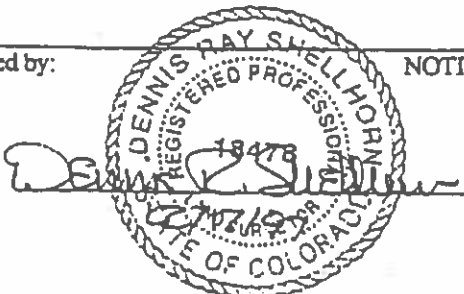
## PERMANENT EASEMENT DESCRIPTION - 2943-171-00-144

An easement across a parcel of land situated in the S1/2 SE1/4 NE1/4 of Section 17, Township 1 South, Range 1 East of the Ute Meridian, Mesa County, Colorado, being described in Book 950 at Page 576 of the Mesa County records; said easement being more particularly described as follows:

Commencing at the Northeast corner of said S1/2 SE1/4 NE1/4;  
Thence along the North line of said S1/2 SE1/4 NE1/4, North 88°05'55" West, a distance of 30.00 feet to the Point of Beginning of the easement herein described;  
Thence South 01°54'05" West, a distance of 605.15 feet;  
Thence South 46°54'56" West, a distance of 8.49 feet;  
Thence North 01°54'05" East, a distance of 611.15 feet to the North line of said S1/2 SE1/4 NE1/4;  
Thence South 88°05'56" East, a distance of 6.00 feet to the Point of Beginning.

Containing 0.084 Acres, more or less.

This description was prepared by:  
Dennis R. Shellhorn  
Colorado P.L.S. 18478  
529 25 1/2 Road, Suite 210  
Grand Junction, Colorado



NOTICE: Any rewriting or retyping of this description must NOT include this preparation information. Lack of an original seal indicates this document is not the original.

MESA COUNTY, COLORADO  
TEMPORARY CONSTRUCTION EASEMENT

Project: North/South Corridor - 30 Road Phase I  
Parcel No. 2943-171-00-144  
Address: 2990 D 1/2 Road, Grand Junction, CO 81504

BOOK 2410 PAGE 278

1834376 03/02/98 1006AM  
MONIKA TODD CLK&REC MESA COUNTY CO  
DOCUMENTARY FEE \$EXEMPT

This Temporary Construction Easement is granted this 7<sup>th</sup> day of February, 1998, by and between *Robert L. Johnson and Donna C. Johnson*, whose legal address is 2990 D 1/2 Road, Grand Junction, Colorado 81504 (Grantor herein) and the *COUNTY OF MESA, STATE OF COLORADO*, whose legal address is P.O. Box 20,000, Grand Junction, Colorado 81502 (Grantee herein).

Grantor hereby grants and conveys to Grantee and its successors this Temporary Construction Easement for the purpose of utilizing a tract of land described in Book 950 at Page(s) 576 in the office of the County Clerk and Recorder of Mesa County, Colorado, more particularly described on the attached Exhibit "A", for construction activities associated with the North/South Corridor - 30 Road Phase I project.

Grantee agrees any and all work shall be performed with due care using commonly accepted standards and techniques, taking precautions for the protection of property. All damages to property resulting from the failure to exercise due care, or other higher standard of care as may be applicable, shall be paid for and repaired at the expense of Grantee.

This grant, its terms and conditions are binding upon the heirs, successors and assigns of the parties. The term of this Temporary Construction Easement shall terminate automatically upon the completion of construction and use.

By: *Robert L. Johnson*  
Robert L. Johnson, Grantor  
*Donna C. Johnson*  
Donna C. Johnson, Grantor

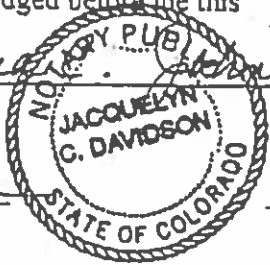
STATE OF COLORADO

County of Mesa

The foregoing instrument was acknowledged before me this 7<sup>th</sup> day of February, 1998  
by *Robert L. & Donna C. Johnson*

Witness my hand and official seal:

*Jacquelyn C. Davidson*



My notarial commission expires:

November 21, 2000

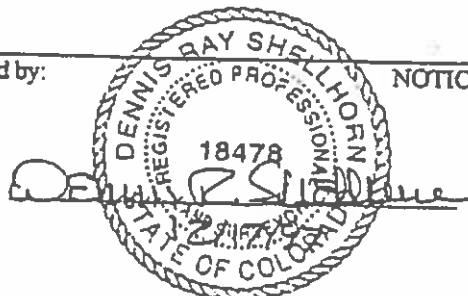
TEMPORARY EASEMENT DESCRIPTION - 2943-171-00-144

An easement across a parcel of land situated in the S1/2 SE1/4 NE1/4 of Section 17, Township 1 South, Range 1 East of the Ute Meridian, Mesa County, Colorado, being described in Book 950 at Page 576 of the Mesa County records; said easement being more particularly described as follows:

Commencing at the Northeast corner of said S1/2 SE1/4 NE1/4;  
Thence along the North line of said S1/2 SE1/4 NE1/4, North 88°05'55" West, a distance of 36.00 feet to the Point of Beginning of the easement herein described;  
Thence South 01°54'05" West, a distance of 611.15 feet;  
Thence South 46°54'56" West, a distance of 26.10 feet;  
Thence North 88°04'31" West, a distance of 105.25 feet;  
Thence North 02°00'00" East, a distance of 10.00 feet;  
Thence South 88°04'31" East, a distance of 101.09 feet;  
Thence North 46°54'56" East, a distance of 17.82 feet;  
Thence North 01°54'05" East, a distance of 607.00 feet to the North line of said S1/2 SE1/4 NE1/4;  
Thence South 88°05'55" East, a distance of 10.00 feet; to the Point of Beginning.

Containing 0.169 Acres, more or less.

This description was prepared by:  
Dennis R. Shellhorn  
Colorado P.L.S. 18478  
529 25 1/2 Road, Suite 210  
Grand Junction, Colorado



NOTICE: Any rewriting or retyping of this description must NOT include this preparation information. Lack of an original seal indicates this document is not the original.

EASEMENT EXHIBIT

888'05'56"E 6.00'

888'05'56"E 10.00'

NORTH-EAST CORNER S1/2 SE1/4 NE1/4



GRAPHIC SCALE 1"=100'



2014-11-08-144  
JONAS MOELLER & COMPANY

N01°54'05"E 607.00'

30 ROAD S01°54'05"W 659.62'

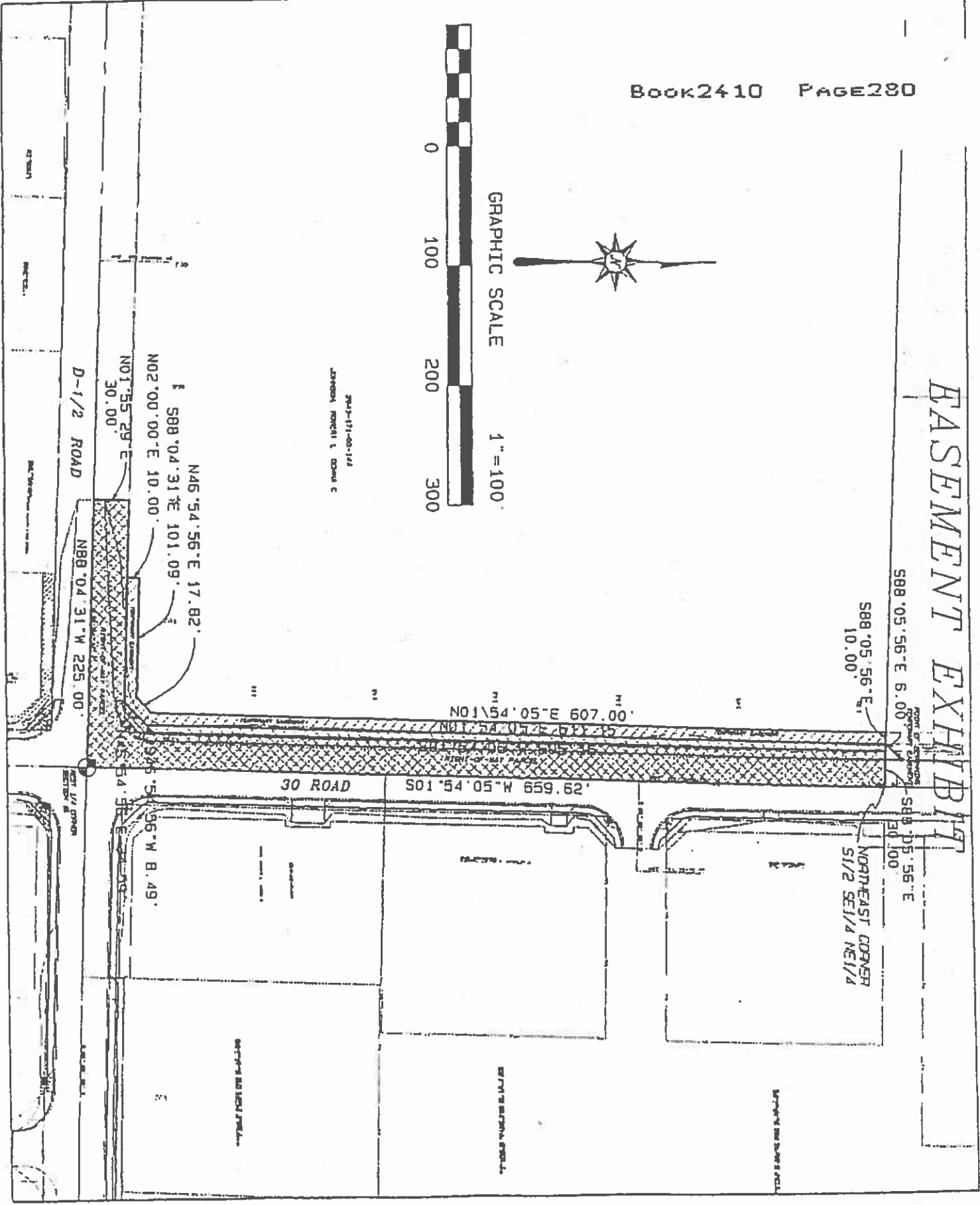
N46°54'56"E 17.82'  
S88°04'31"E 101.09'  
N02°00'00"E 10.00'

D-1/2 ROAD

N88°04'31"W 225.00'

N01°55'29"E 30.00'

S46°54'56"W 8.49'



I-70 BUSINESS LOOP

BOOK 24 10 PAGE 281

SECTION 17

SECTION 16

ROAD

D-177 ROAD

SECTION 17

SECTION 16

SECTION 20

SECTION 21



RECORDER NOTE: FOR QUALITY DOCUMENT  
PROVIDED FOR REPRODUCTION

3

CITY OF GRAND JUNCTION, COLORADO  
ORDINANCE NO. 3429

AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO

ISRE ANNEXATION  
APPROXIMATELY 14.149 ACRES  
LOCATED at 2990 D-1/2 Road

2057391 05/21/02 0304PM  
MONIKA TODD CLK&REC MESA COUNTY CO  
REC FEE \$20.00

WHEREAS, on the 3<sup>rd</sup> day of April, 2002, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

WHEREAS, a hearing on the petition was duly held after proper notice on the 15<sup>th</sup> day of May, 2002; and

WHEREAS, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:

That the property situate in Mesa County, Colorado, and described to wit:

ISRE ANNEXATION

A certain parcel of land lying in the East half (E ½) of Section 17, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the East Quarter (E ¼) corner of said Section 17 and considering the South line of the South half of the Southeast Quarter of the Northeast Quarter (S ½ SE ¼ NE ¼) of said Section 17 to bear N 89°59'59" W with all bearings contained herein being relative thereto; thence N 89°59'59" W along the South line of the S ½ SE ¼ NE ¼ of said Section 17 a distance of 30.00 feet to the TRUE POINT OF BEGINNING; thence from said Point of Beginning, S 00°00'33" W along a line 30.00 feet West of and parallel with the East line of the Northeast Quarter of the Southeast Quarter (NE ¼ SE ¼) of said Section 17, a distance of 30.00 feet to a point on the South right of way for D ½ Road; thence N 89°59'59" W, along the South right of way for D ½ Road, said line being 30.00 feet South of and parallel with the South line of the S ½ SE ¼ NE ¼ of said Section 17, a distance of 893.22 feet; thence N 00°05'59" W along the East line of the West 6.0 acres of the S ½ SE ¼ NE ¼, and its Southerly extension, a distance of 689.66 feet, more or less, to a point on the South line of Banner Industrial Park, as same is recorded in Plat Book 11, Page 362, Public Records of Mesa County, Colorado; thence S 89°59'39" E along said Southerly line and the Easterly extension thereof, a

distance of 894.24 feet, more or less, to a point on the West right of way for 30 Road; thence S 00°00'59" E, along said West right of way for 30 Road and its Southerly extension thereof, said line being 30.00 feet West of and parallel with the East line of the S ½ SE ¼ NE ¼ of said Section 17, a distance of 659.57 feet, more or less, to the Point of Beginning.

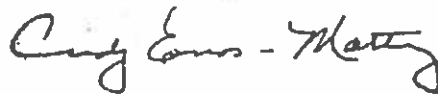
Containing 616,336.1 Square Feet or 14.149 Acres, more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.


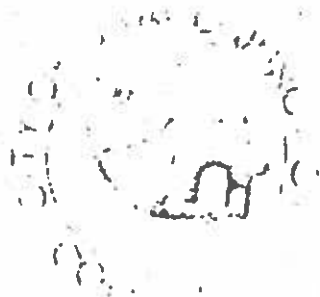
INTRODUCED on first reading on the 3<sup>rd</sup> day of April, 2002.

ADOPTED and ordered published this 15<sup>th</sup> day of May, 2002.

Attest:



\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk



**RECORDER'S NOTE :**  
**THE FOLLOWING PAGE(S)**  
**ARE OVERSIZE**

Book 3082 Page(s) 753

Of Reception # 2057391



CITY OF GRAND JUNCTION, COLORADO  
ORDINANCE NO. 3464

2086753 11/12/02 0430PM  
MONIKA TODD CLK&REC MESA COUNTY CO  
REC FEE \$20.00 SURCHG \$1.00

AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO

ISRE ANNEXATION No. 2  
Approximately 6.27 ACRES  
Located at 2980 D-1/2 Road  
And Including a Portion of the D-1/2 Road Right-of-Way

WHEREAS, on the 18<sup>th</sup> day of September, 2002, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

WHEREAS, a hearing on the petition was duly held after proper notice on the 6th day of November, 2002; and

WHEREAS, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:

That the property situate in Mesa County, Colorado, and described to wit:

ISRE ANNEXATION No. 2

A certain parcel of land lying in the East half (E 1/2) of Section 17, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

BEGINNING at the Southwest Corner of the South Half of the Southeast Quarter of the Northeast Quarter (S 1/2 SE 1/4 NE 1/4) of said Section 17 and considering the South line of the S 1/2 SE 1/4 NE 1/4 of said Section 17 to bear N 89°59'59" W with all bearings contained herein being relative thereto; thence from said Point of Beginning, N 00°05'59" W along the West line of the S 1/2 SE 1/4 NE 1/4 of said Section 17, a distance of 659.70 feet, more or less, to a point being the Northwest Corner of the S 1/2 SE 1/4 NE 1/4 of said Section 17, also being the Southwest Corner of the Plat of Banner Industrial Park, as same is recorded in Plat Book 11, Page 362, Public Records of Mesa County, Colorado; thence S 89°59'39" E along the South line of said Plat of Banner Industrial Park and being the North line of the S 1/2 SE 1/4 NE 1/4 of said Section 17, a distance of 396.12 feet, more or less, to a point on the East line of the West 6.0 Acres of the S 1/2 SE 1/4 NE 1/4 of said Section 17; thence S 00°05'59" E, along said East line, a distance of 689.66 feet, more or less, to a point on a line 30.00 feet

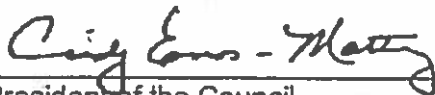
South of and parallel to, the South line of the S 1/2 SE 1/4 NE 1/4 of said Section 17; thence N 89°59'59" W, along said parallel line, a distance of 396.16 feet, more or less, to a point on the West line of the Northeast Quarter of the Southeast Quarter (NE 1/4 SE 1/4) of said Section 17; thence N 00°00'59" W, along said West line, a distance of 30.00 feet, more or less, to the Point of Beginning.

Containing 273,196.20 Square Feet or 6.272 Acres, more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the 18<sup>th</sup> day of September, 2002.

ADOPTED and ordered published this 6<sup>th</sup> day of November, 2002.

  
\_\_\_\_\_  
President of the Council

Attest:

  
\_\_\_\_\_  
City Clerk



**RECORDER'S NOTE :**  
**THE FOLLOWING PAGE(S)**  
**ARE OVERSIZE**

Book 3202 Page(s) 630

Of Reception # 2086753



2065608 07/12/02 0959AM  
MONIKA TODD CLK&REC MESA COUNTY CO  
REC FEE \$30.00

State of Colorado Space Above This Line For Recording Date

**REAL ESTATE DEED OF TRUST**  
(With Future Advance Clause)

1. **DATE AND PARTIES.** The date of this Deed of Trust (Security Instrument) is 08-21-2002 and the parties, their addresses and tax identification numbers, if required, are as follows:

GRANTOR: ISRE, LLC, A COLORADO LIMITED LIABILITY COMPANY  
1134 24 ROAD  
GRAND JUNCTION, CO 81505

If checked, refer to the attached Addendum incorporated herein, for additional Grantors, their signatures and acknowledgments.

TRUSTEE: MESA COUNTY PUBLIC TRUSTEE  
P.O. BOX 20000 5043  
GRAND JUNCTION, CO 81502

LENDER: BANK OF COLORADO  
ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF COLORADO  
200 GRAND AVENUE  
PO BOX 888 GRAND JUNCTION, CO 81502

2. **CONVEYANCE.** For good and valuable consideration, the receipt and sufficiency of which is acknowledged, and to secure the Secured Debt (defined below) and Grantor's performance under this Security Instrument, Grantor irrevocably grants, conveys and sells to Trustee, in trust for the benefit of Lender, with power of sale, the following described property: S1/2 SE1/4 NE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH OF THE UTE MERIDIAN; EXCEPT THE WEST 8 ACRES THEREOF; AND EXCEPT TRACT OF LAND CONVEYED TO MESA COUNTY, STATE OF COLORADO BY WARRANTY DEED RECORDED MARCH 23, 1988 IN BOOK 2418 AT PAGE 617.

WEST 8 ACRES OF THE S1/2 SE 1/4 NE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 1 EAST OF THE UTE MERIDIAN.

The property is located in MESA at 2990 D 112 RD, 2990 D 112 RD  
(County)  
GRAND JUNCTION, Colorado 81505  
(Address) (City) (ZIP Code)

Together with all rights, easements, appurtenances, royalties, mineral rights, oil and gas rights, crops, timber, all diversion payments or third party payments made to crop producers, all water and riparian rights, wells, ditches, reservoirs, and water stock and all existing and future improvements, structures, fixtures, and replacements that may now, or at any time in the future, be part of the real estate described above (all referred to as "Property").

3. **MAXIMUM OBLIGATION LIMIT.** The total principal amount secured by this Security Instrument at any one time shall not exceed \$ 250,000.00. This limitation of amount does not include interest and other fees and charges validly made pursuant to this Security Instrument. Also, this limitation does not apply to advances made under the terms of this Security Instrument to protect Lender's security and to perform any of the covenants contained in this Security Instrument.

4. **SECURED DEBT AND FUTURE ADVANCES.** The term "Secured Debt" is defined as follows:  
A. Debt incurred under the terms of all promissory note(s), contract(s), guaranty(s) or other evidence of debt described below and all their extensions, renewals, modifications or substitutions. (When referencing the debts below it is suggested that you include items such as borrowers' names, note amounts, interest rates, maturity dates, etc.) ONE PROMISSORY NOTE IN THE ORIGINAL PRINCIPAL AMOUNT OF \$250,000.00 DATED JUNE 21, 2002, WITH A VARIABLE RATE, IN THE NAME OF LISA A. COMSTOCK, THAT IS DUE AND PAYABLE PER THE TERMS OF THE AGREEMENT.

- B. All future advances from Lender to Grantor or other future obligations of Grantor to Lender under any promissory note, contract, guaranty, or other evidence of debt existing now or executed after this Security Instrument whether or not this Security Instrument is specifically referenced and whether or not such future advances or future obligations are incurred for any purpose that is related or unrelated to the purpose of the Security Instrument. If more than one person signs this Security Instrument, each Grantor agrees that this Security Instrument will secure all future advances and future obligations that are given to or incurred by any one or more Grantor, or any one or more Grantor and others. All future advances and other future obligations are secured by this Security Instrument even though all or part may not yet be advanced. All future advances and other future obligations are secured as if made on the date of this Security Instrument. Nothing in this Security Instrument shall constitute a commitment to make additional or future loans or advances in any amount. Any such commitment must be agreed to in a separate writing.
- C. All obligations Grantor owes to Lender, which now exist or may later arise, to the extent not prohibited by law, including, but not limited to, liabilities for overdrafts relating to any deposit account agreement between Grantor and Lender.
- D. All additional sums advanced and expenses incurred by Lender for insuring, preserving or otherwise protecting the Property and its value and any other sums advanced and expenses incurred by Lender under the terms of this Security Instrument.

This Security Instrument will not secure any other debt if Lender fails to give any required notice of the right of rescission.

- 5. **PAYMENTS.** Grantor agrees that all payments under the Secured Debt will be paid when due and in accordance with the terms of the Secured Debt and this Security Instrument.
- 6. **WARRANTY OF TITLE.** Grantor warrants that Grantor is or will be lawfully seized of the estate conveyed by this Security Instrument and has the right to irrevocably grant, convey and sell the Property to Trustee, in trust, with power of sale. Grantor also warrants that the Property is unencumbered, except for encumbrances of record.
- 7. **PRIOR SECURITY INTERESTS.** With regard to any other mortgage, deed of trust, security agreement or other lien document that created a prior security interest or encumbrance on the Property, Grantor agrees:
  - A. To make all payments when due and to perform or comply with all covenants.
  - B. To promptly deliver to Lender any notices that Grantor receives from the holder.
  - C. Not to allow any modification or extension of, nor to request any future advances under any note or agreement secured by the lien document without Lender's prior written consent.
- 8. **CLAIMS AGAINST TITLE.** Grantor will pay all taxes, assessments, liens, encumbrances, lease payments, ground rents, utilities, and other charges relating to the Property when due. Lender may require Grantor to provide to Lender copies of all notices that such amounts are due and the receipts evidencing Grantor's payment. Grantor will defend title to the Property against any claims that would impair the lien of this Security Instrument. Grantor agrees to assign to Lender, as requested by Lender, any rights, claims or defenses Grantor may have against parties who supply labor or materials to maintain or improve the Property.
- 9. **DUE ON SALE OR ENCUMBRANCE.** Lender may, at its option, declare the entire balance of the Secured Debt to be immediately due and payable upon the creation of, or contract for the creation of, any lien, encumbrance, transfer or sale of the Property. This right is subject to the restrictions imposed by federal law (12 C.F.R. 591), as applicable. This covenant shall run with the Property and shall remain in effect until the Secured Debt is paid in full and this Security Instrument is released.
- 10. **TRANSFER OF AN INTEREST IN THE GRANTOR.** If Grantor is an entity other than a natural person (such as a corporation or other organization), Lender may demand immediate payment if:
  - A. A beneficial interest in Grantor is sold or transferred.
  - B. There is a change in either the identity or number of members of a partnership or similar entity.
  - C. There is a change in ownership of more than 25 percent of the voting stock of a corporation or similar entity.
 However, Lender may not demand payment in the above situations if it is prohibited by law as of the date of this Security Instrument.
- 11. **ENTITY WARRANTIES AND REPRESENTATIONS.** If Grantor is an entity other than a natural person (such as a corporation or other organization), Grantor makes to Lender the following warranties and representations which shall continue as long as the Secured Debt remains outstanding:
  - A. Grantor is duly organized and validly existing in the Grantor's state of incorporation or organization. Grantor is in good standing in all states in which Grantor transacts business. Grantor has the power and authority to own the Property and to carry on its business as now being conducted and, as applicable, is qualified to do so in each state in which Grantor operates.
  - B. The execution, delivery and performance of this Security Instrument by Grantor and the obligation evidenced by the Secured Debt are within the power of Grantor, have been duly authorized, have received all necessary governmental approval, and will not violate any provision of law, or order of court or governmental agency.
  - C. Other than previously disclosed in writing to Lender, Grantor has not changed its name within the last ten years and has not used any other trade or fictitious name. Without Lender's prior written consent, Grantor does not and will not use any other name and will preserve its existing name, trade names and franchises until the Secured Debt is satisfied.
- 12. **PROPERTY CONDITION, ALTERATIONS AND INSPECTION.** Grantor will keep the Property in good condition and make all repairs that are reasonably necessary. Grantor shall not commit or allow any waste, impairment, or deterioration of the Property. Grantor will keep the Property free of noxious weeds and grasses. Grantor agrees that the nature of the occupancy and use will not substantially change without Lender's prior written consent. Grantor will not permit any change in any license, restrictive covenant or easement without Lender's prior written consent. Grantor will notify Lender of all demands, proceedings, claims, and actions against Grantor, and of any loss or damage to the Property. No portion of the Property will be removed, demolished or materially altered without Lender's prior written consent except that Grantor has the right to remove items of personal property comprising a part of the Property that become worn or obsolete, provided that such personal property is replaced with other personal property of at least equal value to the replaced personal property, free from any title retention device, security agreement or other encumbrance. Such replacement of personal property will be deemed subject to the security interest created by this Security Instrument. Grantor shall not partition or subdivide the Property without Lender's prior written consent.



Lender or Lender's agents may, at Lender's option, enter the Property at any reasonable time for the purpose of inspecting the Property. Lender shall give Grantor notice at the time of or before an inspection specifying a reasonable purpose for the inspection. Any inspection of the Property shall be entirely for Lender's benefit and Grantor will in no way rely on Lender's inspection.

13. **AUTHORITY TO PERFORM.** If Grantor fails to perform any duty or any of the covenants contained in this Security Instrument, Lender may, without notice, perform or cause them to be performed. Grantor appoints Lender as attorney in fact to sign Grantor's name or pay any amount necessary for performance. Lender's right to perform for Grantor shall not create an obligation to perform, and Lender's failure to perform will not preclude Lender from exercising any of Lender's other rights under the law or this Security Instrument. If any construction on the Property is discontinued or not carried on in a reasonable manner, Lender may take all steps necessary to protect Lender's security interest in the Property, including completion of the construction.
14. **ASSIGNMENT OF LEASES AND RENTS.** Grantor irrevocably grants, conveys and sells to Trustee, in trust for the benefit of the Lender, as additional security all the right, title and interest in and to any and all:
- Existing or future leases, subleases, licenses, guaranties and any other written or verbal agreements for the use and occupancy of any portion of the Property, including any extensions, renewals, modifications or substitutions of such agreements (all referred to as "Leases").
  - Rents, issues and profits (all referred to as "Rents"), including but not limited to security deposits, minimum rent, percentage rent, additional rent, common area maintenance charges, parking charges, real estate taxes, other applicable taxes, insurance premium contributions, liquidated damages following default, cancellation premiums, "loss of rents" insurance, guest receipts, revenues, royalties, proceeds, bonuses, accounts, contract rights, general intangibles, and all rights and claims which Grantor may have that in any way pertain to or are on account of the use or occupancy of the whole or any part of the Property.

In the event any item listed as Leases or Rents is determined to be personal property, this Security Instrument will also be regarded as a security agreement.

Grantor will promptly provide Lender with true and correct copies of all existing and future Leases. Grantor may collect, receive, enjoy and use the Rents so long as Grantor is not in default. Except for one lease period's rent, Grantor will not collect in advance any future Rents without Lender's prior written consent. Upon default, Grantor will receive Rents in trust for Lender and Grantor will not commingle the Rents with any other funds. Amounts collected shall be applied at Lender's discretion to payments on the Secured Debt as therein provided, to costs of managing, protecting and preserving the Property and to any other necessary related expenses including Lender's attorneys' fees and court costs.

Grantor agrees that this assignment is immediately effective between the parties to this Security Instrument and effective as to third parties on Grantor's default when Lender or Trustee takes an affirmative action as prescribed by the law of the state where the Property is located, including, but not limited to, taking actual possession of the Property, commencing a foreclosure on the Property, commencing an action or proceeding for an appointment of a receiver, or commencing an action or proceeding for the sequestration of Rents. This assignment will remain effective during any period of redemption by the Grantor until the Secured Debt is satisfied. Unless otherwise provided by state law, Grantor agrees that Lender or Trustee may take actual possession of the Property without commencing any legal action or proceeding. Actual possession of the Property is deemed to occur when Lender notifies Grantor of Grantor's default and demands that Grantor and Grantor's tenants pay all Rents due or to become due directly to Lender. Thereafter, either Lender or Grantor may notify the tenants and demand that all future Rents be paid directly to Lender. On receiving the notice of default, Grantor will endorse and deliver to Lender any payments of Rents. If Grantor becomes subject to a voluntary or involuntary bankruptcy, Grantor agrees that Lender and Trustee are entitled to receive relief from the automatic stay in bankruptcy for the purpose of making this assignment effective and enforceable under state and federal law.

Grantor warrants that no default exists under the Leases or any applicable landlord law. Grantor also agrees to maintain, and to require the tenants to comply with, the Leases and any applicable law. Grantor will promptly notify Lender of any noncompliance. If Grantor neglects or refuses to enforce compliance with the terms of the Leases, then Lender or Trustee may opt to enforce compliance. Grantor will obtain Lender's written authorization before Grantor consents to sublet, modify, cancel, or otherwise alter the Leases, to accept the surrender of the Property covered by such Leases (unless the Leases so require), or to assign, compromise or encumber the Leases or any future Rents. If Lender acts to manage, protect and preserve the Property, Lender does not assume or become liable for its maintenance, depreciation, or other losses or damages, except those due to Lender's gross negligence or intentional torts. Otherwise, Grantor will hold Lender harmless and indemnify Lender for any and all liability, loss or damage that Lender may incur as a consequence of the assignment under this section.

15. **LEASEHOLDS; CONDOMINIUMS; PLANNED UNIT DEVELOPMENTS.** Grantor agrees to comply with the provisions of any lease if this Security Instrument is on a leasehold. If the Property includes a unit in a condominium or a planned unit development, Grantor will perform all of Grantor's duties under the covenants, by-laws, or regulations of the condominium or planned unit development.
16. **DEFAULT.** Grantor will be in default if any of the following occur:
- Any party obligated on the Secured Debt fails to make payment when due;
  - A breach of any term or covenant in this Security Instrument or any other document executed for the purpose of creating, securing or guarantying the Secured Debt;
  - The making or furnishing of any verbal or written representation, statement or warranty to Lender that is false or incorrect in any material respect by Grantor or any person or entity obligated on the Secured Debt;
  - The death, dissolution, or insolvency of, appointment of a receiver for, or application of any debtor relief law to, Grantor or any other person or entity obligated on the Secured Debt;
  - A good faith belief by Lender at any time that Lender is insecure with respect to any person or entity obligated on the Secured Debt or that the prospect of any payment is impaired or the value of the Property is impaired;
  - A material adverse change in Grantor's business including ownership, management, and financial conditions, which Lender in its opinion believes impairs the value of the Property or repayment of the Secured Debt; or
  - Any loan proceeds are used for a purpose that will contribute to excessive erosion of highly erodible land or to the conversion of wetlands to produce an agricultural commodity, as further explained in 7 C.F.R. Part 1940, Subpart G, Exhibit M.

**17. REMEDIES ON DEFAULT.** In some instances, federal and state law will require Lender to provide Grantor with notice of the right to cure, or other notices and may establish time schedules for foreclosure actions. Subject to these limitations, if any, Lender may accelerate the Secured Debt and foreclose this Security Instrument in a manner provided by law if Grantor is in default.

At the option of Lender, all or any part of the agreed fees and charges, accrued interest and principal shall become immediately due and payable; after giving notice if required by law, upon the occurrence of a default or anytime thereafter. In addition, Lender shall be entitled to all the remedies provided by law, the terms of the Secured Debt, this Security Instrument and any related documents, including without limitation, the power to sell the Property or foreclose on installments without acceleration.

If there is a default, Trustee shall, in addition to any other permitted remedy, at the request of the Lender, advertise and sell the Property as a whole or in separate parcels at public auction to the highest bidder for cash and convey absolute title free and clear of all right, title and interest of Grantor at such time and place as Trustee designates. Trustee shall give notice of sale including the time, terms and place of sale and a description of the Property to be sold as required by the applicable law in effect at the time of the proposed sale.

Upon sale of the Property and to the extent not prohibited by law, Trustee shall make and deliver a deed to the Property sold which conveys absolute title to the purchaser, and after first paying all fees, charges and costs, shall pay to Lender all moneys advanced for repairs, taxes, insurance, liens, assessments and prior encumbrances and interest thereon, and the principal and interest on the Secured Debt, paying the surplus, if any, to Grantor. Lender may purchase the Property. The recitals in any deed of conveyance shall be prima facie evidence of the facts set forth therein.

All remedies are distinct, cumulative and not exclusive, and the Lender is entitled to all remedies provided at law or equity, whether or not expressly set forth. The acceptance by Lender of any sum in payment or partial payment on the Secured Debt after the balance is due or is accelerated or after foreclosure proceedings are filed shall not constitute a waiver of Lender's right to require full and complete cure of any existing default. By not exercising any remedy on Grantor's default, Lender does not waive Lender's right to later consider the event a default if it continues or happens again.

**18. EXPENSES; ADVANCES ON COVENANTS; ATTORNEYS' FEES; COLLECTION COSTS.** Except when prohibited by law, Grantor agrees to pay all of Lender's expenses if Grantor breaches any covenant in this Security Instrument. Grantor will also pay on demand any amount incurred by Lender for insuring, inspecting, preserving or otherwise protecting the Property and Lender's security interest. These expenses will bear interest from the date of the payment until paid in full at the highest interest rate in effect as provided in the terms of the Secured Debt. Grantor agrees to pay all costs and expenses incurred by Lender in collecting, enforcing or protecting Lender's rights and remedies under this Security Instrument. This amount may include, but is not limited to, attorneys' fees, court costs, and other legal expenses. This Security Instrument shall remain in effect until released. Grantor agrees to pay for any recordation costs of such release.

**19. ENVIRONMENTAL LAWS AND HAZARDOUS SUBSTANCES.** As used in this section, (1) Environmental Law means, without limitation, the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA, 42 U.S.C. 9601 et seq.), all other federal, state and local laws, regulations, ordinances, court orders, attorney general opinions or interpretive letters concerning the public health, safety, welfare, environment or a hazardous substance; and (2) Hazardous Substance means any toxic, radioactive or hazardous material, waste, pollutant or contaminant which has characteristics which render the substance dangerous or potentially dangerous to the public health, safety, welfare or environment. The term includes, without limitation, any substances defined as "hazardous material," "toxic substances," "hazardous waste," "hazardous substance," or "regulated substance" under any Environmental Law.

Grantor represents, warrants and agrees that:

- A. Except as previously disclosed and acknowledged in writing to Lender, no Hazardous Substance has been, is, or will be located, transported, manufactured, treated, refined, or handled by any person on, under or about the Property, except in the ordinary course of business and in strict compliance with all applicable Environmental Law.
- B. Except as previously disclosed and acknowledged in writing to Lender, Grantor has not and will not cause, contribute to, or permit the release of any Hazardous Substance on the Property.
- C. Grantor will immediately notify Lender if (1) a release or threatened release of Hazardous Substance occurs on, under or about the Property or migrates or threatens to migrate from nearby property; or (2) there is a violation of any Environmental Law concerning the Property. In such an event, Grantor will take all necessary remedial action in accordance with Environmental Law.
- D. Except as previously disclosed and acknowledged in writing to Lender, Grantor has no knowledge of or reason to believe there is any pending or threatened investigation, claim, or proceeding of any kind relating to (1) any Hazardous Substance located on, under or about the Property; or (2) any violation by Grantor or any tenant of any Environmental Law. Grantor will immediately notify Lender in writing as soon as Grantor has reason to believe there is any such pending or threatened investigation, claim, or proceeding. In such an event, Lender has the right, but not the obligation, to participate in any such proceeding including the right to receive copies of any documents relating to such proceedings.
- E. Except as previously disclosed and acknowledged in writing to Lender, Grantor and every tenant have been, are and shall remain in full compliance with any applicable Environmental Law.
- F. Except as previously disclosed and acknowledged in writing to Lender, there are no underground storage tanks, private dumps or open wells located on or under the Property and no such tank, dump or well will be added unless Lender first consents in writing.
- G. Grantor will regularly inspect the Property, monitor the activities and operations on the Property, and confirm that all permits, licenses or approvals required by any applicable Environmental Law are obtained and complied with.
- H. Grantor will permit, or cause any tenant to permit, Lender or Lender's agent to enter and inspect the Property and review all records at any reasonable time to determine (1) the existence, location and nature of any Hazardous Substance on, under or about the Property; (2) the existence, location, nature, and magnitude of any Hazardous Substance that has been released on, under or about the Property; or (3) whether or not Grantor and any tenant are in compliance with applicable Environmental Law.
- I. Upon Lender's request and at any time, Grantor agrees, at Grantor's expense, to engage a qualified environmental engineer to prepare an environmental audit of the Property and to submit the results of such audit to Lender. The choice of the environmental engineer who will perform such audit is subject to Lender's approval.

(page 4 of 6)

- J. Lender has the right, but not the obligation, to perform any of Grantor's obligations under this section at Grantor's expense.
  - K. As a consequence of any breach of any representation, warranty or promise made in this section, (1) Grantor will indemnify and hold Lender and Lender's successors or assigns harmless from and against all losses, claims, demands, liabilities, damages, cleanup, response and remediation costs, penalties and expenses, including without limitation all costs of litigation and attorneys' fees, which Lender and Lender's successors or assigns may sustain; and (2) at Lender's discretion, Lender may release this Security Instrument and in return Grantor will provide Lender with collateral of at least equal value to the Property secured by this Security Instrument without prejudice to any of Lender's rights under this Security Instrument.
  - L. Notwithstanding any of the language contained in this Security Instrument to the contrary, the terms of this section shall survive any foreclosure or satisfaction of this Security Instrument regardless of any passage of title to Lender or any disposition by Lender of any or all of the Property. Any claims and defenses to the contrary are hereby waived.
20. **CONDEMNATION.** Grantor will give Lender prompt notice of any pending or threatened action, by private or public entities to purchase or take any or all of the Property through condemnation, eminent domain, or any other means. Grantor authorizes Lender to intervene in Grantor's name in any of the above described actions or claims. Grantor assigns to Lender the proceeds of any award or claim for damages connected with a condemnation or other taking of all or any part of the Property. Such proceeds shall be considered payments and will be applied as provided in this Security Instrument. This assignment of proceeds is subject to the terms of any prior mortgage, deed of trust, security agreement or other lien document.
21. **INSURANCE.** Grantor agrees to maintain insurance as follows:
- A. Grantor shall keep the Property insured against loss by fire, flood, theft and other hazards and risks reasonably associated with the Property due to its type and location. This insurance shall be maintained in the amounts and for the periods that Lender requires. The insurance carrier providing the insurance shall be chosen by Grantor subject to Lender's approval, which shall not be unreasonably withheld. If Grantor fails to maintain the coverage described above, Lender may, at Lender's option, obtain coverage to protect Lender's rights in the Property according to the terms of this Security Instrument. All insurance policies and renewals shall be acceptable to Lender and shall include a standard "mortgage clause" and, where applicable, "loss payee clause." Grantor shall immediately notify Lender of cancellation or termination of the insurance. Lender shall have the right to hold the policies and renewals. If Lender requires, Grantor shall immediately give to Lender all receipts of paid premiums and renewal notices. Upon loss, Grantor shall give immediate notice to the insurance carrier and Lender. Lender may make proof of loss if not made immediately by Grantor. Unless otherwise agreed in writing, all insurance proceeds shall be applied to restoration or repair of the Property or to the Secured Debt, whether or not then due, at Lender's option. Any application of proceeds to principal shall not extend or postpone the due date of scheduled payment nor change the amount of any payments. Any excess will be paid to the Grantor. If the Property is acquired by Lender, Grantor's right to any insurance policies and proceeds resulting from damage to the Property before the acquisition shall pass to Lender to the extent of the Secured Debt immediately before the acquisition.
  - B. Grantor agrees to maintain comprehensive general liability insurance naming Lender as an additional insured in an amount acceptable to Lender, insuring against claims arising from any accident or occurrence in or on the Property.
  - C. Grantor agrees to maintain rental loss or business interruption insurance, as required by Lender, in an amount equal to at least coverage of one year's debt service, and required escrow account deposits (if agreed to separately in writing), under a form of policy acceptable to Lender.
22. **ESCROW FOR TAXES AND INSURANCE.** Unless otherwise provided in a separate agreement, Grantor will not be required to pay to Lender funds for taxes and insurance in escrow.
23. **FINANCIAL REPORTS AND ADDITIONAL DOCUMENTS.** Grantor will provide to Lender upon request, any financial statement or information Lender may deem reasonably necessary. Grantor agrees to sign, deliver, and file any additional documents or certifications that Lender may consider necessary to perfect, continue, and preserve Grantor's obligations under this Security Instrument and Lender's lien status on the Property.
24. **JOINT AND INDIVIDUAL LIABILITY; CO-SIGNERS; SUCCESSORS AND ASSIGNS BOUND.** All duties under this Security Instrument are joint and individual. If Grantor signs this Security Instrument but does not sign an evidence of debt, Grantor does so only to mortgage Grantor's interest in the Property to secure payment of the Secured Debt and Grantor does not agree to be personally liable on the Secured Debt. If this Security Instrument secures a guaranty between Lender and Grantor, Grantor agrees to waive any rights that may prevent Lender from bringing any action or claim against Grantor or any party indebted under the obligation. These rights may include, but are not limited to, any anti-deficiency or one-action laws. Grantor agrees that Lender and any party to this Security Instrument may extend, modify or make any change in the terms of this Security Instrument or any evidence of debt without Grantor's consent. Such a change will not release Grantor from the terms of this Security Instrument. The duties and benefits of this Security Instrument shall bind and benefit the successors and assigns of Grantor and Lender.
25. **APPLICABLE LAW; SEVERABILITY; INTERPRETATION.** This Security Instrument is governed by the laws of the jurisdiction in which Lender is located, except to the extent otherwise required by the laws of the jurisdiction where the Property is located. This Security Instrument is complete and fully integrated. This Security Instrument may not be amended or modified by oral agreement. Any section in this Security Instrument, attachments, or any agreement related to the Secured Debt that conflicts with applicable law will not be effective, unless that law expressly or impliedly permits the variations by written agreement. If any section of this Security Instrument cannot be enforced according to its terms, that section will be severed and will not affect the enforceability of the remainder of this Security Instrument. Whenever used, the singular shall include the plural and the plural the singular. The captions and headings of the sections of this Security Instrument are for convenience only and are not to be used to interpret or define the terms of this Security Instrument. Time is of the essence in this Security Instrument.
26. **NOTICE.** Unless otherwise required by law, any notice shall be given by delivering it or by mailing it by first class mail to the appropriate party's address on page 1 of this Security Instrument, or to any other address designated in writing. Notice to one grantor will be deemed to be notice to all grantors.
27. **WAIVERS.** Except to the extent prohibited by law, Grantor waives all appraisal, homestead exemption and marshalling of liens and assets relating to the Property.

30  
OF  
100

28. U.C.C. PROVISIONS. If checked, the following are applicable to, but do not limit, this Security Instrument:
- Construction Loan. This Security Instrument secures an obligation incurred for the construction of an improvement on the Property.
  - Fixture Filing. Grantor grants to Lender a security interest in all goods that Grantor owns now or in the future and that are or will become fixtures related to the Property.
  - Crops; Timber; Minerals; Rents, Issues, and Profits. Grantor grants to Lender a security interest in all crops, timber, and minerals located on the Property as well as all rents, issues, and profits of them including, but not limited to, all Conservation Reserve Program (CRP) and Payment in Kind (PIK) payments and similar governmental programs (all of which shall also be included in the term "Property").
  - Personal Property. Grantor grants to Lender a security interest in all personal property located on or connected with the Property, including all farm products, inventory, equipment, accounts, documents, instruments, chattel paper, general intangibles, and all other items of personal property Grantor owns now or in the future and that are used or useful in the construction, ownership, operation, management, or maintenance of the Property (all of which shall also be included in the term "Property"). The term "personal property" specifically excludes that property described as "household goods" secured in connection with a "consumer" loan as those terms are defined in applicable federal regulations governing unfair and deceptive credit practices.
  - Filing As Financing Statement. Grantor agrees and acknowledges that this Security Instrument also suffices as a financing statement and any carbon, photographic or other reproduction may be filed of record for purposes of Article 9 of the Uniform Commercial Code.
29. OTHER TERMS. If checked, the following are applicable to this Security Instrument:
- Line of Credit. The Secured Debt includes a revolving line of credit provision. Although the Secured Debt may be reduced to a zero balance, this Security Instrument will remain in effect until released.
  - Agricultural Property. Grantor covenants and warrants that the Property will be used principally for agricultural or farming purposes and that Grantor is an individual or entity allowed to own agricultural land as specified by law.
  - Additional Terms.

SIGNATURES: By signing below, Grantor agrees to the terms and covenants contained in this Security Instrument and in any attachments. Grantor also acknowledges receipt of a copy of this Security Instrument on the date stated on page 1.

Entity Name: ISRE, LLC	Entity Name:
<i>Lisa A. Comstock</i>	
(Signature) (Date)	(Signature) (Date)
LISA A. COMSTROCK, MANAGER	
(Signature) (Date)	(Signature) (Date)

Bank of Colorado - Grand Junction  
P.O. Box 966  
Grand Junction, CO 81502  
at Entry  
Acknowledgment

ACKNOWLEDGMENT:

STATE OF \_\_\_\_\_, COUNTY OF \_\_\_\_\_ ) ss.

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_

by \_\_\_\_\_

My commission expires: \_\_\_\_\_

(Seal)

\_\_\_\_\_  
(Notary Public)

STATE OF COLORADO \_\_\_\_\_, COUNTY OF \_\_\_\_\_ ) ss.

The foregoing instrument was acknowledged before me this 21ST day of JUNE, 2002

by LISA A. COMSTROCK, MANAGER

\_\_\_\_\_ (Title)

of ISRE, LLC \_\_\_\_\_ (Name of Business or Entity)

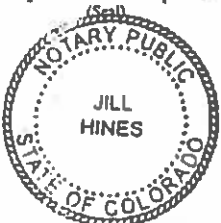
a COLORADO LIMITED LIABILITY COMPANY \_\_\_\_\_ on behalf of the business or entity.

My commission expires: \_\_\_\_\_

(Seal)

*Jill Hines*

(Notary Public)



My Commission Expires 04/20/2008

2070326 02/11/02 0224PM

MONIKA TODD CLK&REG MESA COUNTY CO

REC FEE \$5.00

DOCUMENTARY FEE \$29.50

Reception No. 967003  
Recorded at \_\_\_\_\_ o'clock \_\_\_\_\_ M., \_\_\_\_\_

**WARRANTY DEED**

Grantor(s), Robert L. Johnson and Donna C. Johnson whose address is 2990 D 1/2 Road, Grand Junction, County of Mesa, State of Colorado 81504, for the consideration of Two Hundred Ninety-Five Thousand And 00/100 in hand paid, hereby sell(s) and convey(s) to ISRE LLC, a Colorado Limited Liability Company whose legal address is 1134 24 Road, Grand Junction, County of Mesa, and State of Colorado 81505, the following real property in the County of Mesa, and State of Colorado, to wit:

The S 1/2 SE 1/4 NE 1/4 of Section 17, Township 1 South, Range 1 East of the Ute Meridian;  
EXCEPT the West 6 acres thereof;  
AND EXCEPT tract of land conveyed to Mesa County, State of Colorado by Warranty Deed recorded March 23, 1998 in Book 2419 at Page 617.

also known as street and number: 2990 D 1/2 Road, Grand Junction, CO 81504

with all its appurtenances, and warrant(s) the title to the same, subject to taxes for 2002, payable in 2003 and all subsequent years, easements, rights of way, reservations and restrictions of record.

Signed this 8th day of February, 2002.

*Robert L. Johnson*  
\_\_\_\_\_  
Robert L. Johnson

*Donna C. Johnson*  
\_\_\_\_\_  
Donna C. Johnson

STATE OF COLORADO,  
  
County of Mesa

} ss.

The foregoing instrument was acknowledged before me this 8th day of February, 2002 by Robert L. Johnson and Donna C. Johnson.

My commission expires:

Witness my hand and official seal.

*ek*  
\_\_\_\_\_  
Notary Public

907619

Reception No. \_\_\_\_\_ Recorder  
Recorded at \_\_\_\_\_ o'clock \_\_\_\_\_ M., \_\_\_\_\_

**WARRANTY DEED**

BOOK 3102 PAGE 33

Grantor(s), George Morisette and Lori A. Morisette whose address is c/  
Dooley, 6880 Beach Daly, Taylor MI 48180, County of Mesa, State of  
COLORADO, for the consideration of One Hundred Sixty-Seven Thousand  
Five Hundred And 00/100 in hand paid, hereby sell(s) and convey(s) to ~~And~~  
~~Dooley~~ ISRE LLC, A COLORADO LIMITED LIABILITY COMPANY

2062964 06/25/02 1119  
MONIKA TODD CLK&REC MESA COUNT  
REG FEE \$5.00  
DOCUMENTARY FEE \$16.75



whose legal address is P.O. Box 1146, Grand Junction, CO 81502, County of Mesa, and State of COLORADO, the  
following real property in the \_\_\_\_\_ County of Mesa, and State of Colorado, to wit:

The West 6 acres of the S1/2 SE1/4 NE1/4 of Section 17,  
Township 1 South, Range 1 East of the Ute Meridian.

also known as street and number: 2980 D1/2 Road, Grand Junction, CO 81504

with all its appurtenances, and warrant(s) the title to the same, subject to taxes for 2002, payable in 2003 and all  
subsequent years, easements, rights of way, reservations and restrictions of record.

Signed this 6-19-02 day of June, 2002

  
\_\_\_\_\_  
George Morisette  
  
\_\_\_\_\_  
Lori A. Morisette

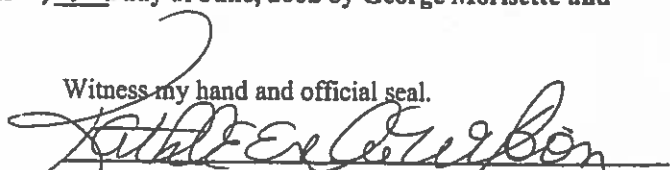


STATE OF Michigan,  
County of ~~Mesa~~ WAYNE } ss.

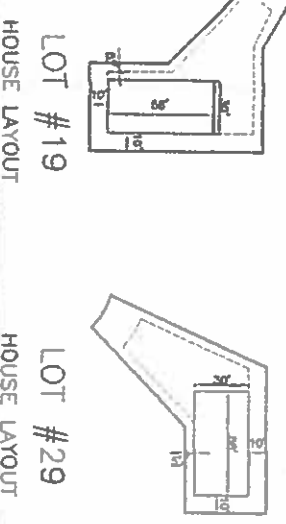
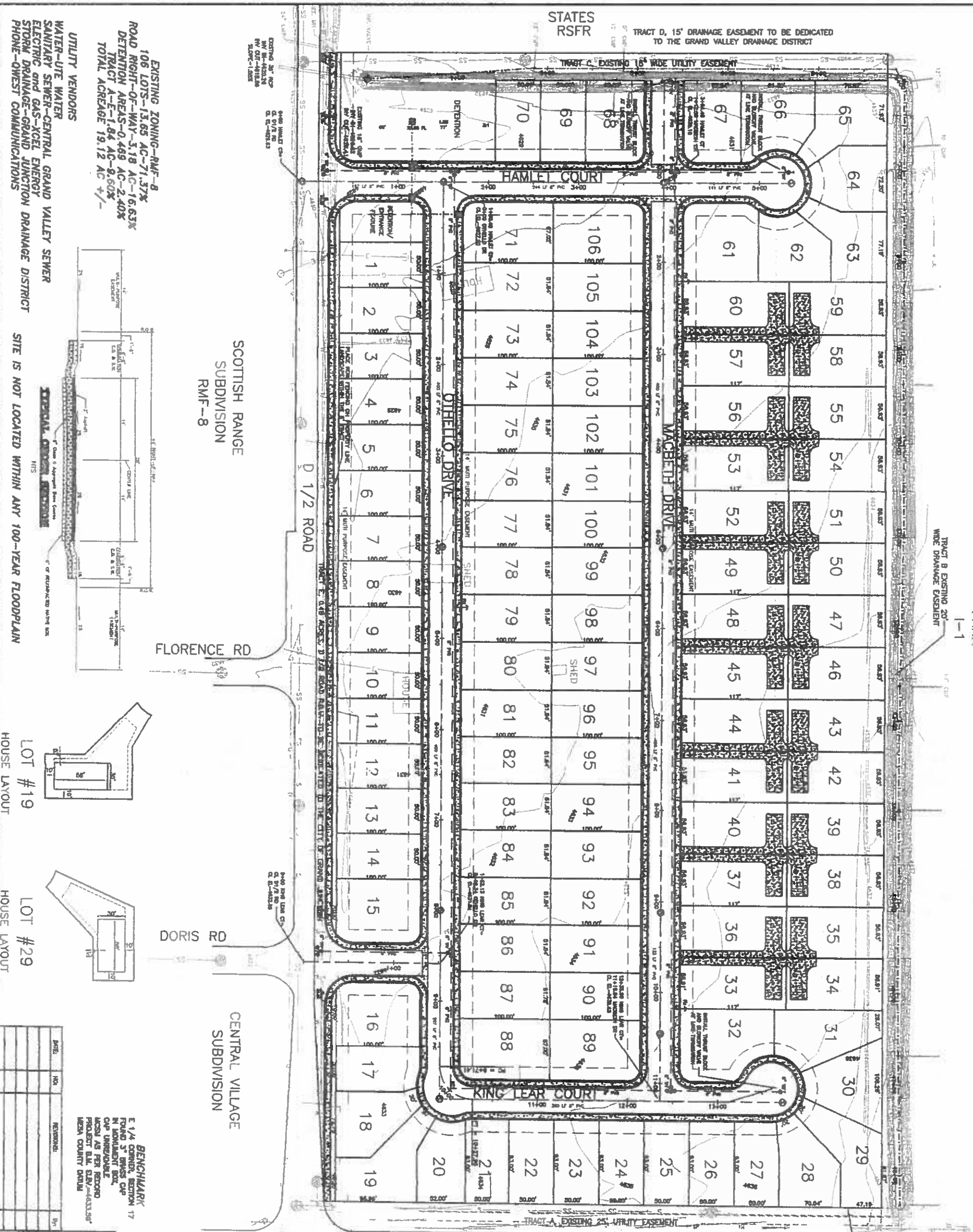
The foregoing instrument was acknowledged before me this 19th day of June, 2002 by George Morisette and  
Lori A. Morisette.

My commission expires: 4-11-04

KATHLEEN A. WILSON  
NOTARY PUBLIC WAYNE CO., MI  
MY COMMISSION EXPIRES Apr 11 2004

Witness my hand and official seal.  
  
\_\_\_\_\_  
Notary Public

BANNER INDUSTRIAL PARK I-1



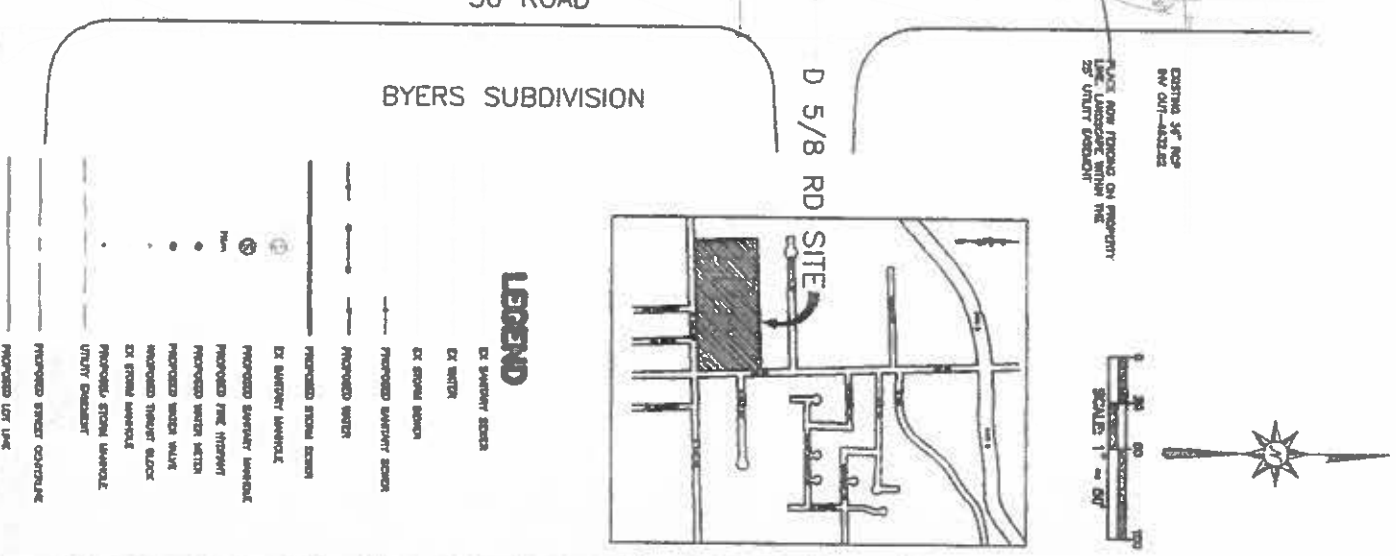
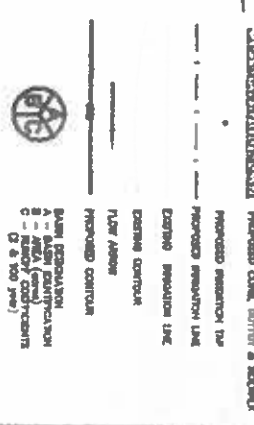
BENCHMARK E 1/4 CORNER, SECTION 17 TOWN OF 37 BRASS CUP N 1/4 CORNER, SECTION 17 CAP UNRECOVERABLE ACRES AS PER RECORD PROJECT B.M. ELEV.-4433.58' MEVA COUNTY DENALI

DATE	NO.	REVISIONS	BY

PRELIMINARY PLAN  
 SHAKESPEARE'S COURT  
 BY  
 CRANE ASSOCIATES

ROBERT W. BOUCKEY  
 REGISTERED P.L. No. 2009

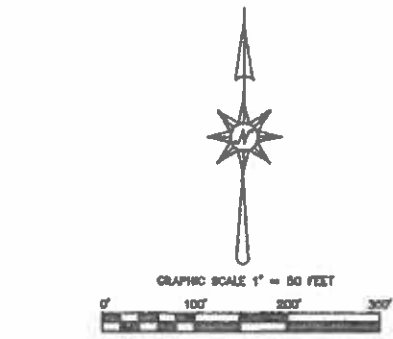
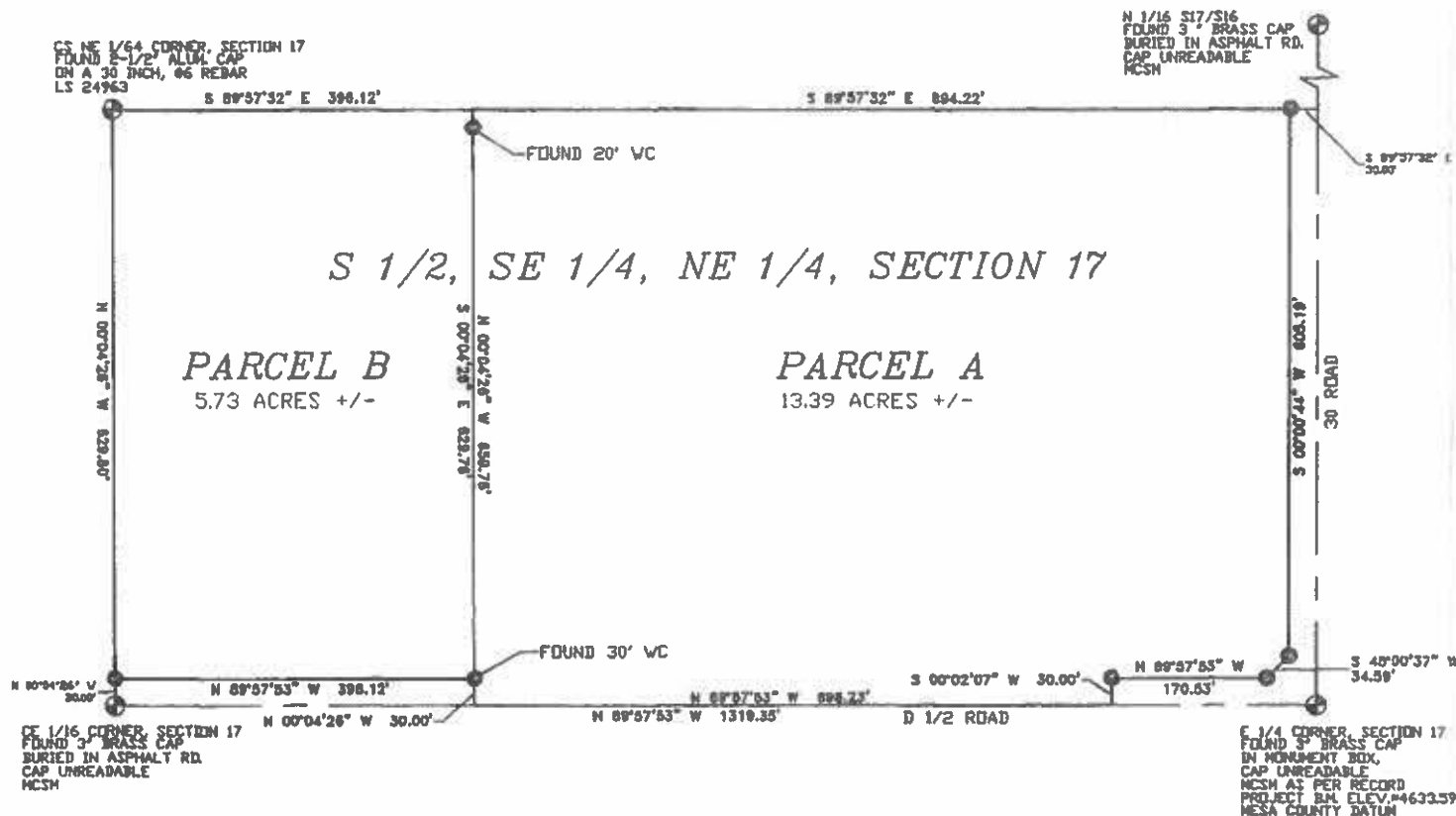
DATE: APRIL 2003





# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN  
CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO



- Number 6 rebar, 18" long, and 1-1/2" aluminum cap stamped LS 24653 to be set at all lot corners prior to the sale of any lot.
  - Indicate set a number 6 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24653.
  - Indicate set a number 6 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24653 in concrete.
  - ▲ Indicate set certificate control nail with washer stamped LS 24653.
  - Indicate found a number 6 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24653.
  - ⊕ Indicate found monument as noted.
- THE PROJECT BENCHMARK IS THE E 1/4 CORNER, SECTION 17. THIS CORNER IS A 3" BRASS CAP IN MONUMENT BOX, ELEVATION=4633.59, MESA COUNTY DATUM.

**AREA SUMMARY**

LOTS 1-108	= 13.147 ACRES	98.78%
ROAD R.O.W.	= 3.180 ACRES	16.53%
TRACTS A-J	= 2.408 ACRES	12.58%
ACCESS TRACTS A-G	= 0.368 ACRES	2.02%
<b>TOTAL</b>	<b>= 18.121 ACRES</b>	<b>100.00%</b>

IN WITNESS WHEREOF said owner has caused his name to be hereunto subscribed this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Manager  
ISRE, LLC  
State of Colorado )  
County of Mesa )  
This plat was acknowledged before me by \_\_\_\_\_ as manager of ISRE, LLC, a Colorado Limited Liability Company, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, for the aforementioned purposes.  
Notary Public  
My commission expires: \_\_\_\_\_

**CITY APPROVAL**  
This plat of SHAKESPEAR'S COURT SUBDIVISION, a subdivision of the City of Grand Junction, County of Mesa, State of Colorado, was approved this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

City Manager \_\_\_\_\_ Mayor \_\_\_\_\_

**COUNTY CLERK AND RECORDER'S CERTIFICATE**  
I hereby certify that this instrument was filed in the office of the Clerk and Recorder of Mesa County, Colorado, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., this \_\_\_\_\_ day of \_\_\_\_\_, 2003, and is duly recorded in Plat Book No. \_\_\_\_\_ Page \_\_\_\_\_ as Reception No. \_\_\_\_\_ Drawer No. \_\_\_\_\_

Clerk and Recorder of Mesa County \_\_\_\_\_

**LIENHOLDERS RATIFICATION OF PLAT**  
The undersigned, hereby certifies that it is a holder of a security interest upon the property herein described and does hereby join in and consent to the dedication of the land described in said dedication by the owners thereof and agree that its security interest which is recorded in Book \_\_\_\_\_ page \_\_\_\_\_ of the public records of Mesa County, Colorado shall be subordinated to the dedications shown herein.

In witness whereof, the said corporation has caused these presents to be signed by its \_\_\_\_\_  
This \_\_\_\_\_ day of \_\_\_\_\_, 2003.

By: \_\_\_\_\_ For: \_\_\_\_\_  
(Title) (Corporate Name)

**SURVEYOR'S STATEMENT:**  
I, David G. Nicewicz, being a registered Professional Land Surveyor in the State of Colorado, do hereby state that this subdivision plat and survey of SHAKESPEAR'S COURT SUBDIVISION was made by me and/or under my direct supervision and that to the best of my knowledge, belief, and information both are accurate and conform to all applicable laws and regulations of the State of Colorado and to all applicable requirements of the zoning and development code of the City of Grand Junction.

David G. Nicewicz P.L.S. 24963  
Date \_\_\_\_\_

**SHAKESPEAR'S COURT SUBDIVISION**  
LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN, CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

PLAN SCALE 1" = 100'	SIGNATURE BLOCK	
	FILED FROM DGN, REG. CO. 12/02	DATE 01/03
REVISIONS: DATE: 01/28/03 DATE: 02/04/03 DATE: 04/07/03	REVISION REG. DGN	DATE 01/03
	CREATED BY KIN	DATE 01/03

**WEST ELK LAND SURVEYING, INC.**  
3446 L LANE  
HOTCHKISS, COLORADO 81419  
EMAIL: westelkland@aol.com

TITLE: SHAKESPEAR'S COURT SUBDIVISION  
DATE: 11/07/02  
DRAWN BY: [blank]  
SHEET 1 OF 2  
JOB NO: WE02088CO

**STATEMENT OF DEDICATION AND OWNERSHIP**  
KNOW ALL MEN BY THESE PRESENTS that the undersigned, ISRE, LLC, a Colorado Limited Liability Company, is the owner of that real property situated in the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, City of Grand Junction, Mesa County Colorado, described as Book \_\_\_\_\_ Page \_\_\_\_\_ of the Mesa County records, and as shown on the accompanying plat, being more particularly described as follows:

**PARCEL A**  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the south line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17 from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears N89°57'53"W, 396.12 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W, 659.76 feet to the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 894.22 feet to the Westerly right-of-way of 30 road;  
thence S00°00'44"W along said Westerly right-of-way of 30 road, 605.19 feet;  
thence S45°00'37"W, 34.59 feet to the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 170.53 feet;  
thence S00°02'07"W, 30.00 feet to the South line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence N89°57'53"W along said Section line to the Point of Beginning.  
Said parcel contains 13.39 acres, more or less.

**PARCEL B**  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the northerly right-of-way of D 1/2 road from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears S00°04'26"E, 30.00 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W along the West line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 829.80 feet to the Northwest corner of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 396.12 feet;  
thence S00°04'26"E, 629.76 feet to a point on the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 396.12 feet to the Point of Beginning.  
Said parcel contains 5.73 acres, more or less.

That said owner has caused said real property to be laid out and surveyed as SHAKESPEAR'S COURT SUBDIVISION, a subdivision of a part of the City of Grand Junction, Colorado.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

All streets, roads and Rights-of-Way are dedicated to the City of Grand Junction for the use of the public forever. Before acceptance of a dedication of any Street or Right of Way, the City may require proof of acceptable environmental condition by, e.g., a phase I environmental audit;

All Utility Easements to the City of Grand Junction for the use of City-approved public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures;

All Multi-purpose Easements to the City of Grand Junction for the use of City-approved utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.

Note: The Grand Junction Fire Department must review construction plans for any proposed single family homes before a building permit is issued. Residential structures larger than 3600 square feet in size are required to install an approved fire sprinkler system, per section 105.1 of the International Fire Code, 2000 edition.

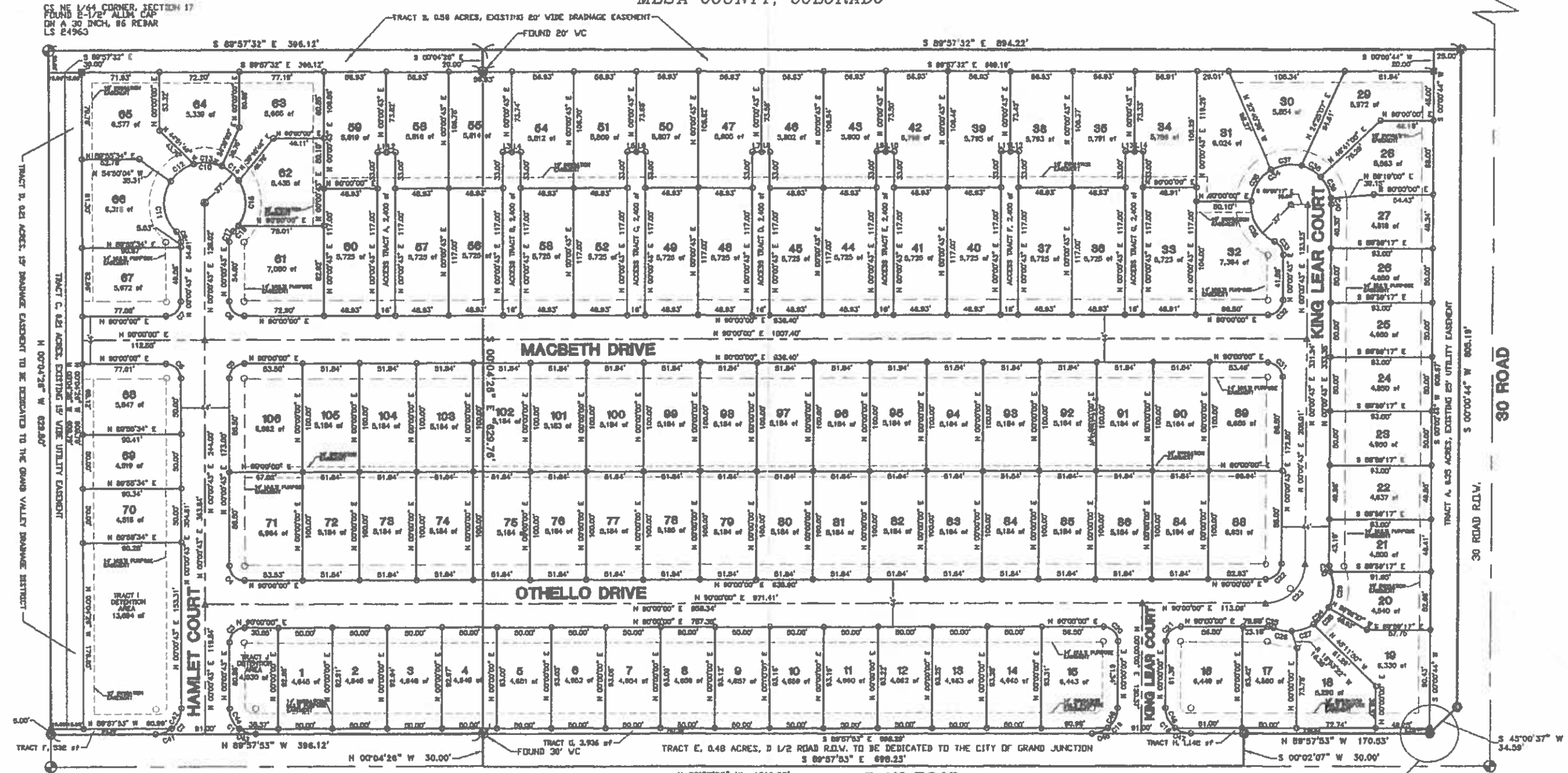
- NOTES**
- Easement and right-of-way research and legal description by Abstract & Title Company of Mesa County, Inc., file number 00997818 C, dated June 10, 2002 at 7:00 A.M.
  - Utility locations were obtained from the Utility Notification Center of Colorado. Locate ticket #706345 dated 11/02/02.
  - Project benchmark is the E 1/4 corner of Section 17 as described and shown hereon with an elevation of 4633.59 feet, Mesa county survey datum.



# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN  
MESA COUNTY, COLORADO

N 1/16 CORNER, SECTION 17  
FOUND 3" BRASS CAP  
BURIED IN ASPHALT RD.  
CAP UNREADABLE  
MCSM



CE 1/16 CORNER, SECTION 17  
FOUND 3" BRASS CAP  
BURIED IN ASPHALT RD.  
CAP UNREADABLE  
MCSM

E 1/4 CORNER, SECTION 17  
FOUND 3" BRASS CAP  
BY MONUMENT BOX  
CAP UNREADABLE  
MCSM AS PER RECORD  
PROJECT 34. ELEV. = 4633.59'  
MESA COUNTY DATUM

- LEGEND**
- Number 3 rebar, 18" long and 1-1/2" aluminum cap stamped LS 24003 to be set at all lot corners prior to the sale of any lot.
  - Indicates set a number 3 rebar, 18" long with a 1-1/2" aluminum cap stamped LS 24003.
  - Indicates set a number 3 rebar, 18" long with a 1-1/2" aluminum cap stamped LS 24003 in concrete.
  - Indicates set centerline control nail with marker stamped LS 24003.
  - Indicates found a number 3 rebar, 18" long with a 1-1/2" aluminum cap stamped LS 24003.
  - Indicates found monument as noted.

THE PROJECT BENCHMARK IS THE E 1/4 CORNER, SECTION 17. THIS CORNER IS A 3" BRASS CAP IN MONUMENT BOX, ELEVATION=4633.59, MESA COUNTY DATUM.

**AREA SUMMARY**

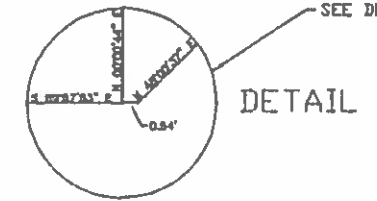
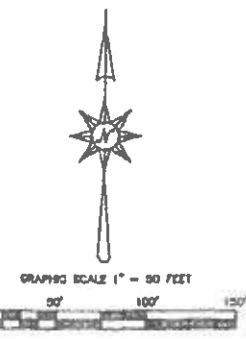
LOTS 1-108	= 13.147 ACRES	68.76%
ROAD R.O.W.	= 3.180 ACRES	16.83%
TRACTS A-J	= 2.400 ACRES	12.00%
ACCESS TRACTS A-G	= 0.300 ACRES	1.50%
TOTAL	= 19.127 ACRES	100.00%

**CURVE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
1	S 89°57'32" E	396.12'	1	S 89°57'32" E	396.12'
2	N 00°04'26" W	30.00'	2	N 00°04'26" W	30.00'
3	S 89°57'32" E	396.12'	3	S 89°57'32" E	396.12'
4	N 00°04'26" W	30.00'	4	N 00°04'26" W	30.00'
5	S 89°57'32" E	396.12'	5	S 89°57'32" E	396.12'
6	N 00°04'26" W	30.00'	6	N 00°04'26" W	30.00'
7	S 89°57'32" E	396.12'	7	S 89°57'32" E	396.12'
8	N 00°04'26" W	30.00'	8	N 00°04'26" W	30.00'
9	S 89°57'32" E	396.12'	9	S 89°57'32" E	396.12'
10	N 00°04'26" W	30.00'	10	N 00°04'26" W	30.00'
11	S 89°57'32" E	396.12'	11	S 89°57'32" E	396.12'
12	N 00°04'26" W	30.00'	12	N 00°04'26" W	30.00'
13	S 89°57'32" E	396.12'	13	S 89°57'32" E	396.12'
14	N 00°04'26" W	30.00'	14	N 00°04'26" W	30.00'
15	S 89°57'32" E	396.12'	15	S 89°57'32" E	396.12'
16	N 00°04'26" W	30.00'	16	N 00°04'26" W	30.00'
17	S 89°57'32" E	396.12'	17	S 89°57'32" E	396.12'
18	N 00°04'26" W	30.00'	18	N 00°04'26" W	30.00'
19	S 89°57'32" E	396.12'	19	S 89°57'32" E	396.12'
20	N 00°04'26" W	30.00'	20	N 00°04'26" W	30.00'
21	S 89°57'32" E	396.12'	21	S 89°57'32" E	396.12'
22	N 00°04'26" W	30.00'	22	N 00°04'26" W	30.00'
23	S 89°57'32" E	396.12'	23	S 89°57'32" E	396.12'
24	N 00°04'26" W	30.00'	24	N 00°04'26" W	30.00'
25	S 89°57'32" E	396.12'	25	S 89°57'32" E	396.12'
26	N 00°04'26" W	30.00'	26	N 00°04'26" W	30.00'
27	S 89°57'32" E	396.12'	27	S 89°57'32" E	396.12'
28	N 00°04'26" W	30.00'	28	N 00°04'26" W	30.00'
29	S 89°57'32" E	396.12'	29	S 89°57'32" E	396.12'
30	N 00°04'26" W	30.00'	30	N 00°04'26" W	30.00'

**LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
1	S 89°57'32" E	396.12'	1	S 89°57'32" E	396.12'
2	N 00°04'26" W	30.00'	2	N 00°04'26" W	30.00'
3	S 89°57'32" E	396.12'	3	S 89°57'32" E	396.12'
4	N 00°04'26" W	30.00'	4	N 00°04'26" W	30.00'
5	S 89°57'32" E	396.12'	5	S 89°57'32" E	396.12'
6	N 00°04'26" W	30.00'	6	N 00°04'26" W	30.00'
7	S 89°57'32" E	396.12'	7	S 89°57'32" E	396.12'
8	N 00°04'26" W	30.00'	8	N 00°04'26" W	30.00'
9	S 89°57'32" E	396.12'	9	S 89°57'32" E	396.12'
10	N 00°04'26" W	30.00'	10	N 00°04'26" W	30.00'
11	S 89°57'32" E	396.12'	11	S 89°57'32" E	396.12'
12	N 00°04'26" W	30.00'	12	N 00°04'26" W	30.00'
13	S 89°57'32" E	396.12'	13	S 89°57'32" E	396.12'
14	N 00°04'26" W	30.00'	14	N 00°04'26" W	30.00'
15	S 89°57'32" E	396.12'	15	S 89°57'32" E	396.12'
16	N 00°04'26" W	30.00'	16	N 00°04'26" W	30.00'
17	S 89°57'32" E	396.12'	17	S 89°57'32" E	396.12'
18	N 00°04'26" W	30.00'	18	N 00°04'26" W	30.00'
19	S 89°57'32" E	396.12'	19	S 89°57'32" E	396.12'
20	N 00°04'26" W	30.00'	20	N 00°04'26" W	30.00'
21	S 89°57'32" E	396.12'	21	S 89°57'32" E	396.12'
22	N 00°04'26" W	30.00'	22	N 00°04'26" W	30.00'
23	S 89°57'32" E	396.12'	23	S 89°57'32" E	396.12'
24	N 00°04'26" W	30.00'	24	N 00°04'26" W	30.00'
25	S 89°57'32" E	396.12'	25	S 89°57'32" E	396.12'
26	N 00°04'26" W	30.00'	26	N 00°04'26" W	30.00'
27	S 89°57'32" E	396.12'	27	S 89°57'32" E	396.12'
28	N 00°04'26" W	30.00'	28	N 00°04'26" W	30.00'
29	S 89°57'32" E	396.12'	29	S 89°57'32" E	396.12'
30	N 00°04'26" W	30.00'	30	N 00°04'26" W	30.00'



**SHAKESPEARE'S COURT SUBDIVISION**  
LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN, MESA COUNTY, COLORADO

PLAN SCALE 1" = 30'	SIGNATURE	DATE
	DGN, RSD, COL	01/09
REVISIONS:	DATE	BY
	01/09	01/09

**WEST ELK LAND SURVEYING, INC.**

3448 L LANE  
HOTCHKISS, COLORADO 81419  
EMAIL: westelk@elklandsurveying.com

TITLE: SHAKESPEARE'S COURT SUBDIVISION  
PAGE NO. 1 OF 2  
SHEET: 2 OF 2

# Shakespeare's Court

## General Project Report

### Project Description

The proposed RMF-8 development is located in the northwest corner of 30 Road and D ½ Road. This is a 19.12 acre development, of which 5.49 acres will be dedicated to road right of way, detention areas and tracts. The remaining 13.65 acres will be a proposed 106 unit residential development with an average density of approximately 5.54 units per acre.

### Public Benefit

- Shakespeare's Court will be providing affordable housing in an area that has already been equipped with the needed infrastructure so as not to increase urban sprawl.
- During the development of Shakespeare's Court the Beswick Drain will be tiled and filled, eliminating a potentially hazardous site.
- The development of Shakespeare's Court will include D ½ Road Improvements.
- Shakespeare's Court will be proposed as a xeriscaped development, contributing its irrigation shares back to the agricultural community.

### Neighborhood Meeting

A neighborhood meeting was held at Chatfield Elementary School (3188 D ½ Road, Grand Junction, CO.) at 6:30 PM on January 23, 2003. Only two people attended the meeting and both were in support of the project. A copy of the sign-in sheet is enclosed.

### Project Compliance

- There will be no adopted plans and policies with this submittal.
- Adjacent land use includes the Scottish Range and Central Village subdivisions to the south, Byars subdivision to the east, Banner Industrial park to the north and undeveloped land to the west.
- The development will be accessed from two points on D ½ Road. Extending Macbeth Drive will provide future access to the adjacent property to the west.
- Sewer and water will be extended from D ½ Road. Ute Water has confirmed the availability of adequate pressure and flow for fire flows from the 8" water line in D ½ Road. Fire hydrants will be placed per Code requirements.
- There are no known special or unusual demands on public utilities.
- The addition of 106 single-family homes to the community of Grand Junction will have no more than the expected impacts on the fire department, police department, roads and sanitation, and the public school system.
- See enclosed Soil Report for site soils and geology information.

- There are no identified impacts on existing site geology, and no identified geological hazards.
- Hours of operation are not applicable.
- Number of employees is not applicable.
- Signage plans will be developed as per City regulations.

#### **Anticipated Dates**

- Application Submittal – April 2003
- Expiration of any financial commitments – None
- Construction initiation – August 2003
- Opening date/date of first CO – October 2003

ANX-2002-176  
R2-2002-177

# ADJACENT PROPERTY OWNER LABEL ORDER FORM

TAX PARCEL #: \_\_\_\_\_

PROPERTY ADDRESS: \_\_\_\_\_

PROPERTY OWNER: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

APPLICANT: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

PROJECT REPRESENTATIVE: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

order now or  
the 2 previous  
lists (ISRE & ISRE2)  
should work

**\*REQUEST FOR LABELS MUST BE SUBMITTED A MINIMUM OF 2 WEEKS  
PRIOR TO SUBMITTAL OF PROJECT.**

FEE: \$50.00

DATE PAID: \_\_\_\_\_

RECEIPT #: \_\_\_\_\_

The adjacent property mailing list is created by pulling all property owners within 500 feet and all Homeowners Associations or citizen groups within 1000 feet of all properties involved in the project. The property owner information is put together using the information in the Mesa County Assessor's records and the HOA's and citizens groups are on record with the City of Grand Junction Community Development Department.

REMIJIO M GALVAN  
ERLINDA E  
2964 D 1/2 RD  
GRAND JUNCTION, CO 81504-8610

EDWARD L CASTO  
SHIRLEY E  
2968 D 1/4 RD  
GRAND JUNCTION, CO 81504-7614

GEORGE MORISETTE  
LORI A MORISETTE  
2980 D 1/2 RD  
GRAND JUNCTION, CO 81504-8610

ISRE LLC  
1134 24 RD  
GRAND JUNCTION, CO 81505

MODESTO GALVAN  
ANDREW S  
2906 F RD  
GRAND JUNCTION, CO 81504-5483

LYLE W STATES  
CHARLENE W  
2914 F 1/2 RD  
GRAND JUNCTION, CO 81504-5204

R-W INVESTMENT COMPANY  
9000 E 96TH AVE  
HENDERSON, CO 80640-8429

BROCK BIT SERVICE INC  
516 TYLER AVE  
TYLERTOWN, MS 39667-2148

PEGGY LYNN BROCK  
516 TYLER AVE  
TYLERTOWN, MS 39667-2148

GUNN'S GENERATOR SERVICE INC  
656 ALDREA VISTA CT  
PALISADE, CO 81526-9320

WILLIAM D YEIK  
1400 KBY CREEK RD  
EAGLE, CO 81631

AMASA WEST LTD PARTNERSHIP  
494 SHERIDAN BLVD STE 8206  
DENVER, CO 80226-8109

DAVID E MILLER  
KIMBERLY D MILLER  
620 HAMLET ST  
GRAND JUNCTION, CO 81506-4883

EARL E MORRILL  
JUDY A MORRILL  
2980 GUNNISON AVE  
GRAND JUNCTION, CO 81504

AMERICAN TOWERS INC  
3411 RICHMOND AVE STE 400  
HOUSTON, TX 77046-3408

JAMES C BURKEY  
462 34 1/4 RD  
PALISADE, CO 81526-9500

MICHAEL SERIANI  
MARY JANE SERIANI  
3282 SHADOW RIDGE CT  
GRAND JUNCTION, CO 81504

STEVEN R EDMONDS  
JOAN M EDMONDS  
553 EASTBROOK ST  
GRAND JUNCTION, CO 81504-5627

BUCK S BRANT  
JANE L  
2973 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

JANICE MARIE LEFEVER  
2983 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

CECIL C FLAGER  
E F  
2985 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

ROGER A JONES  
MARSHA J  
2971 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

RICHARD TRAVER  
MARIANNE TRAVER  
PO BOX 1411  
CLIFTON, CO 81520-1411

MICHAEL R MEREDITH  
NICHOLE M MEREDITH  
449 DORIS RD  
GRAND JUNCTION, CO 81504-8630

BARBARA ANN HALL  
447 1/2 DORIS RD  
GRAND JUNCTION, CO 81504-8630

BOB C BRINKERHOFF  
442 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

KRISTINE ANN FRANZ  
444 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

KEVIN L GRIMES  
ZOE A GRIMES  
446 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

IRA HERMAN KUHLMAN  
BETYY JO KUHLMAN  
446 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

JEANNIE M BROM  
2991 D 1/2 RD  
GRAND JUNCTION, CO 81504-8644

JAMES D KEIGHLEY  
SHARON M KEIGHLEY  
2979 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

JEANETTE L EBERTOWSKI  
TRUSTEE  
449 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

JEFFREY C FLANAGAN  
NANCY R FLANAGAN  
449 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

ROBERT C JENKINS  
HARRIET B JENKINS  
447 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

THEODORE U ARELLANO  
447 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

DORIS M KNISLEY  
445 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

LELAND F NICKELS  
PATRICIA J NICKELS  
445 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

SHANE D MARYE  
440 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

CONNIE RUSSELL  
442 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

PALM HARBOR HOMES INC  
15303 DALLAS PKWY STE 800  
ADDISON, TX 75001-4600

ROXANNA R MESHBERG  
BRUCE J MESHBERG  
443 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

THOMAS H MANNING  
PO BOX 901  
EDWARDS, CO 81632

COMMUNITY DEVELOPMENT  
CITY OF GRAND JUNCTI  
250 N 5TH STREET  
GRAND JUNCTION, CO 81501

NARCISSUS R THARP  
472 30 RD  
GRAND JUNCTION, CO 81504-8633

DARTER LLC  
786 VALLEY CT  
GRAND JUNCTION, CO 81505

D DOUGLAS WILLIAMS  
2627 REDWING RD STE 250  
FORT COLLINS, CO 80526-6329

TARYN JANE MILLER  
3000 D 1/2 RD  
GRAND JUNCTION, CO 81504

CLAUDE T RILEY  
BONNIE J  
3004 D 1/2 RD  
GRAND JUNCTION, CO 81504-2513

DAVID H IMER  
DIANE L IMER  
464 30 RD  
GRAND JUNCTION, CO 81504-8633

SHAWN L KINITZ  
SHELLY A KINITZ  
464 1/2 30 RD  
GRAND JUNCTION, CO 81504-8633

KENNETH LANE OWEN  
JACKIE LYNN  
3010 D 5/8 RD  
GRAND JUNCTION, CO 81504-5824

RAYMOND L NEAL  
458 30 RD  
GRAND JUNCTION, CO 81504-8633

ROY DOUGLAS BROWN  
RUTH H  
3006 D 5/8 RD  
GRAND JUNCTION, CO 81504-5824

MICHAEL L PAGE  
T JEANETTE  
3005 D 5/8 RD  
GRAND JUNCTION, CO 81504-5823

CALVIN W CLEMENT  
SHIRLEY J  
456 30 RD  
GRAND JUNCTION, CO 81504-8634

DOUGLAS C WALCK  
E M  
3010 D 1/2 RD  
GRAND JUNCTION, CO 81504-2513

BRUCE E HOWELL  
B J  
3007 D 1/2 RD  
GRAND JUNCTION, CO 81504-2514

CARLOS AMBRIZ  
PETRA  
444 COLOROW DR  
GRAND JUNCTION, CO 81504-2585

JANET M KARP  
442 1/2 COLOROW DR  
GRAND JUNCTION, CO 81504-2585

MARTIN A HALSTAD  
MARY J  
3005 D 1/2 RD  
GRAND JUNCTION, CO 81504-2599

JAMES W KRUSE  
3001 D 1/2 RD  
GRAND JUNCTION, CO 81504-2599

HAROLD L DAVIS  
444 30 RD  
GRAND JUNCTION, CO 81504-8635

NORWEST BANK MINNESOTA NA-  
TRUS  
% CENTEX HOME EQUITY  
1750 VICEROY  
DALLAS, CO 75235

SUZANNE TORREZ  
439 COLOROW DR  
GRAND JUNCTION, CO 81504-2586

PATRICK W BEECHER  
440 30 RD  
GRAND JUNCTION, CO 81504-8635

JOHN C YOUNG  
BONNIE JEAN  
445 COLOROW DR  
GRAND JUNCTION, CO 81504-2586

ISRE LLC  
PO BOX 1146  
GRAND JUNCTION, CO 81502

ISRE LLC  
1134 24 RD  
GRAND JUNCTION, CO 81505

ROBERT VODEHNAL  
RUTH  
475 30 RD  
GRAND JUNCTION, CO 81504-8636

EARL L SURAD  
EARL L & LEAH M SURA  
2999 GUNNISON AVE  
GRAND JUNCTION, CO 81504-5434

LYLE W STATES  
CHARLENE W  
2914 F 1/2 RD  
GRAND JUNCTION, CO 81504-5204

R-W INVESTMENT COMPANY  
9000 E 96TH AVE  
HENDERSON, CO 80640-8429

BROCK BIT SERVICE INC  
516 TYLER AVE  
TYLERTOWN, MS 39667-2148

PEGGY LYNN BROCK  
516 TYLER AVE  
TYLERTOWN, MS 39667-2148

GUNN'S GENERATOR SERVICE INC  
656 ALDREA VISTA CT  
PALISADE, CO 81526-9320

WILLIAM D YEIK  
1400 KBY CREEK RD  
EAGLE, CO 81631

RODNEY R HUBBARTT  
E KAY HUBBARTT  
PO BOX 1402  
PALISADE, CO 81526

DAVID E MILLER  
KIMBERLY D MILLER  
620 HAMLET ST  
GRAND JUNCTION, CO 81506-4883

EARL E MORRILL  
JUDY A MORRILL  
2980 GUNNISON AVE  
GRAND JUNCTION, CO 81504

AMERICAN TOWERS INC  
3411 RICHMOND AVE STE 400  
HOUSTON, TX 77046-3408

JAMES C BURKEY  
462 34 1/4 RD  
PALISADE, CO 81526-9500

MICHAEL SERIANI  
MARY JANE SERIANI  
3282 SHADOW RIDGE CT  
GRAND JUNCTION, CO 81504

STEVEN R EDMONDS  
JOAN M EDMONDS  
553 EASTBROOK ST  
GRAND JUNCTION, CO 81504-5627

STEVEN R EDMONDS  
JOAN M  
2992 GUNNISON AVE  
GRAND JUNCTION, CO 81504-5435

BUCK S BRANT  
JANE L  
2973 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

JANICE MARIE LEFEVER  
2983 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

CECIL C FLAGER  
E F  
2985 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

RICHARD TRAVER  
MARIANNE TRAVER  
PO BOX 1411  
CLIFTON, CO 81520-1411

CHARLES J RUSSELL  
RUBY J RUSSELL  
2999 D 1/2 RD  
GRAND JUNCTION, CO 81504-8620

MICHAEL D LOVELETT  
447 1/2 30 RD  
GRAND JUNCTION, CO 81504-8651

TERRY C EDWARDS  
LINDA A EDWARDS  
447 30 RD  
GRAND JUNCTION, CO 81504-8651

KIA BETH SELIGMAN  
% GREAT COMPANIES  
3032 I-70 BUSINESS LOOP  
GRAND JUNCTION, CO 81504-5722

GLEEDE S SKEEN  
PATRICIA A  
441 30 RD  
GRAND JUNCTION, CO 81504-8651

JACK CHILDERS  
442 DORIS RD  
GRAND JUNCTION, CO 81504-8628

DAVID B IMER  
442 DORIS RD  
GRAND JUNCTION, CO 81504-8628

LYNDA PATRICE WARD  
PO BOX 4183  
GRAND JUNCTION, CO 81502-4183

BRIAN M CLAYTON  
446 DORIS RD  
GRAND JUNCTION, CO 81504-8628

WILLO MAE DAVIES  
446 1/2 DORIS RD  
GRAND JUNCTION, CO 81504-8628

WILLIAM D HOLLIDAY  
TENA L HOLLIDAY  
2997 D 1/2 RD  
GRAND JUNCTION, CO 81504-8620

ABE D SALAZAR  
PAULINE H  
443 30 RD  
GRAND JUNCTION, CO 81504-8651

MICHAEL R MEREDITH  
NICHOLE M MEREDITH  
449 DORIS RD  
GRAND JUNCTION, CO 81504-8630

BARBARA ANN HALL  
447 1/2 DORIS RD  
GRAND JUNCTION, CO 81504-8630



MINH VOONG  
HUNG VIEN  
9628 SWAYING TREE DR  
LAS VEGAS, NV 89147-8280

CLYDE R HUBER  
ANGELA E  
445 DORIS RD  
GRAND JUNCTION, CO 81504-8630

RICHARD L GRIFFITH  
BEVERLY J  
443 DORIS RD  
GRAND JUNCTION, CO 81504-8630

JIMMIE B BLACKBURN  
JOYCE E BLACKBURN  
441 DORIS RD  
GRAND JUNCTION, CO 81504-8630

GARY DOUGLAS NEWMAN  
ROBBE DENISE  
442 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

BOB C BRINKERHOFF  
442 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

KRISTINE ANN FRANZ  
444 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

KEVIN L GRIMES  
ZOE A GRIMES  
446 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

IRA HERMAN KUHLMAN  
BETYY JO KUHLMAN  
446 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8626

JEANNIE M BROM  
2991 D 1/2 RD  
GRAND JUNCTION, CO 81504-8644

JAMES D KEIGHLEY  
SHARON M KEIGHLEY  
2979 D 1/2 RD  
GRAND JUNCTION, CO 81504-8609

JEANETTE L EBERTOWSKI  
TRUSTEE  
449 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

JEFFREY C FLANAGAN  
NANCY R FLANAGAN  
449 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

ROBERT C JENKINS  
HARRIET B JENKINS  
447 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

THEODORE U ARELLANO  
447 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

DORIS M KNISLEY  
445 1/2 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

LELAND F NICKELS  
PATRICIA J NICKELS  
445 FLORENCE RD  
GRAND JUNCTION, CO 81504-8679

SHANE D MARYE  
440 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

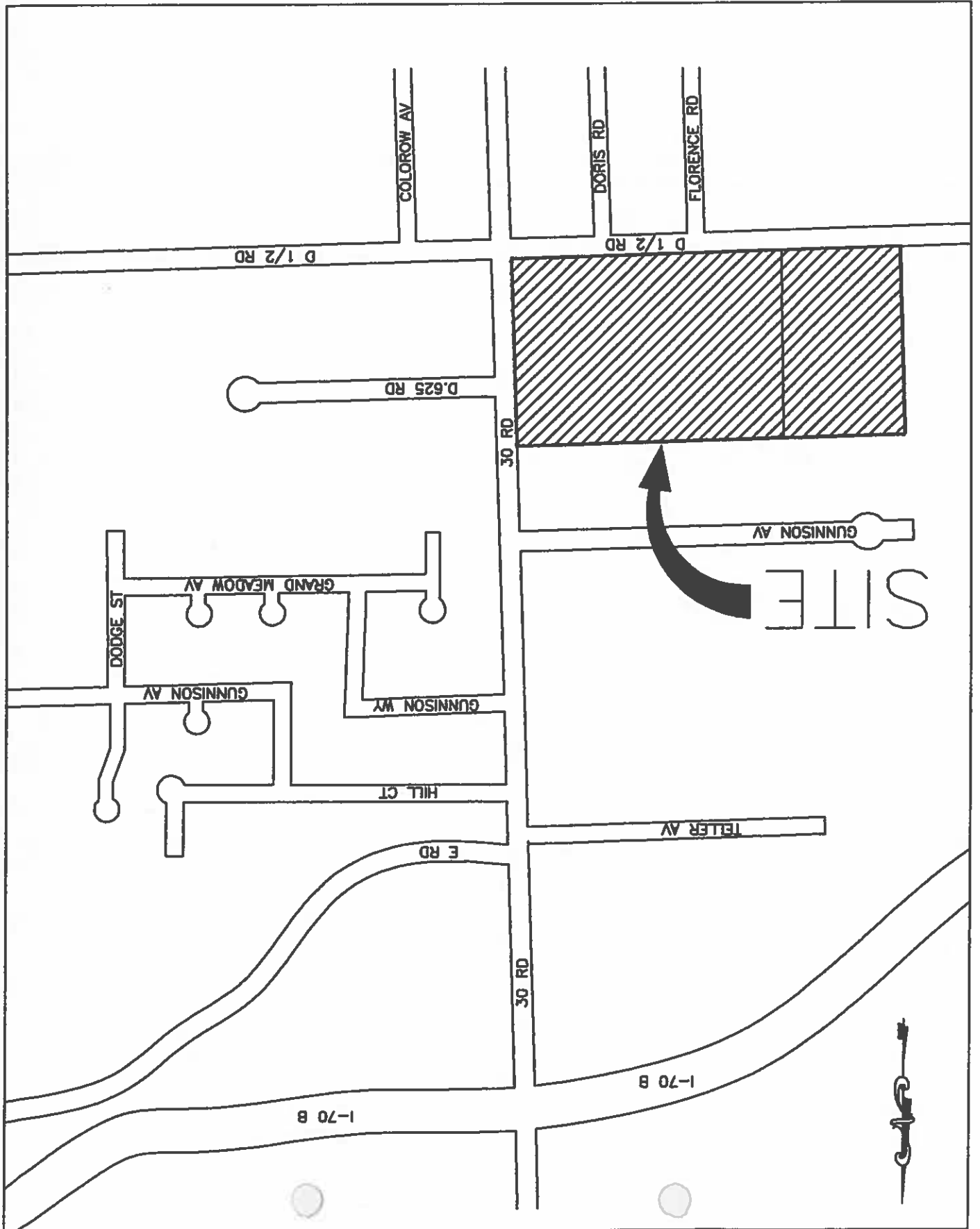
CONNIE RUSSELL  
442 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

PALM HARBOR HOMES INC  
STEVEN A KROEGER  
57 RIM DR  
GRAND JUNCTION, CO 81503

ROXANNA R MESHBERG  
BRUCE J MESHBERG  
443 S PLACER CT  
GRAND JUNCTION, CO 81504-4879

THOMAS H MANNING  
PO BOX 901  
EDWARDS, CO 81632

# LOCATION MAP SHAKESPEARE'S COURT SUBDIVISION





# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 5th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

Petition for (check all appropriate boxes):

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision Plat/Plan - Simple                       | <input type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan          |
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change          |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final                  | <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Change of Use         |
| <input type="checkbox"/> Planned Development - ODP                            | <input type="checkbox"/> Vacation, Right-of-Way   | <input type="checkbox"/> Revocable Permit      |
| <input type="checkbox"/> Planned Development - Preliminary                    | <input type="checkbox"/> Vacation, Easement       | <input type="checkbox"/> Variance              |
| <input type="checkbox"/> Planned Development - Final                          | <input type="checkbox"/> Extension of Time        |  |
| <input type="checkbox"/> Annexation/Zone of Annexation                        | <input type="checkbox"/> Rezone                   | <input type="checkbox"/> Growth Plan Amendment |

From: \_\_\_\_\_

From: \_\_\_\_\_

From: \_\_\_\_\_

To: \_\_\_\_\_

To: \_\_\_\_\_

To: \_\_\_\_\_

Site Location:

2980 & 2990 D/2 ROAD

Site Tax No.(s):

2993-171-00-143 & 144

Site Acreage/Square footage:

19.4 ACRES

Site Zoning:

RMF-8

Project Description:

SHAKESPEARE'S COURT SUBDIVISION

ISRE, LLC

Property Owner Name

SAME

Developer Name

CRANE ASSOCIATES

Representative Name

1134 24 ROAD

Address

Address

2917 LSO LANE

Address

GRAND JUNCTION, CO 81505

City/State/Zip

City/State/Zip

HOTCHKISS COLO 81419

City/State/Zip

970-256-1853

Business Phone No.

Business Phone No.

(970) 872-2433

Business Phone No.

E-Mail

E-Mail

jeffcrane@tdc.net

E-Mail

Fax Number

Fax Number

(970) 872-2439

Fax Number

LISA COMSTOCK

Contact Person

Contact Person

JEFF CRANE

Contact Person

970-234-1010

Contact Phone No.

Contact Phone No.

(970) 872-2433

Contact Phone No.

Note Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing Application

4/1/03  
Date

Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

ISRE LLC Manager

4/1/03  
Date

Community Development Project Timeline

*NV*

Project ID: PP-2003-069  
Type: PRELIMINARY PLAN  
Project Name: SHAKESPEARE'S COURT SUBDIVISION  
Description:

Application Date: 04/15/2003  
Expiration Date:

Case Manager: Kristen Ashbeck

*? OK*

Request approval of the Preliminary Plan for a 19.12 acre development of 106 units on 13.65 acres and 5.49 acres dedicated to ROW, detention areas and tracts in an RMF - 8 (Residential Multi - Famil - 8 units / acre zone

*12/2/02*

<u>Line Item</u>	<u>Initial Date</u>	<u>Due Date</u>	<u>Date Completed</u>	<u>Start Date</u>	<u>End Date</u>	<u>City Date</u>	<u>Dev Date</u>
General Meeting	04/15/2003		04/15/2003				
Submittal/Completed Application	04/15/2003	04/15/2003	04/15/2003	<del>4/15/2003</del> <i>4/1/03</i>			

Project Start Date: 4/15/2003	End Date:	Total Days: Not Completed
Days in Developers Hands:	End Date:	Total Days: 0
Days in City Hands:	Total Days:	Not Completed

*com - 5/13/03*

*Withdrawn*

*8/13/03*

*Do you know what date they withdrew?*

**PRELIMINARY  
DRAINAGE REPORT**

**FOR**

**SHAKESPEARE'S COURT  
SUBDIVISION**

**Prepared For:**

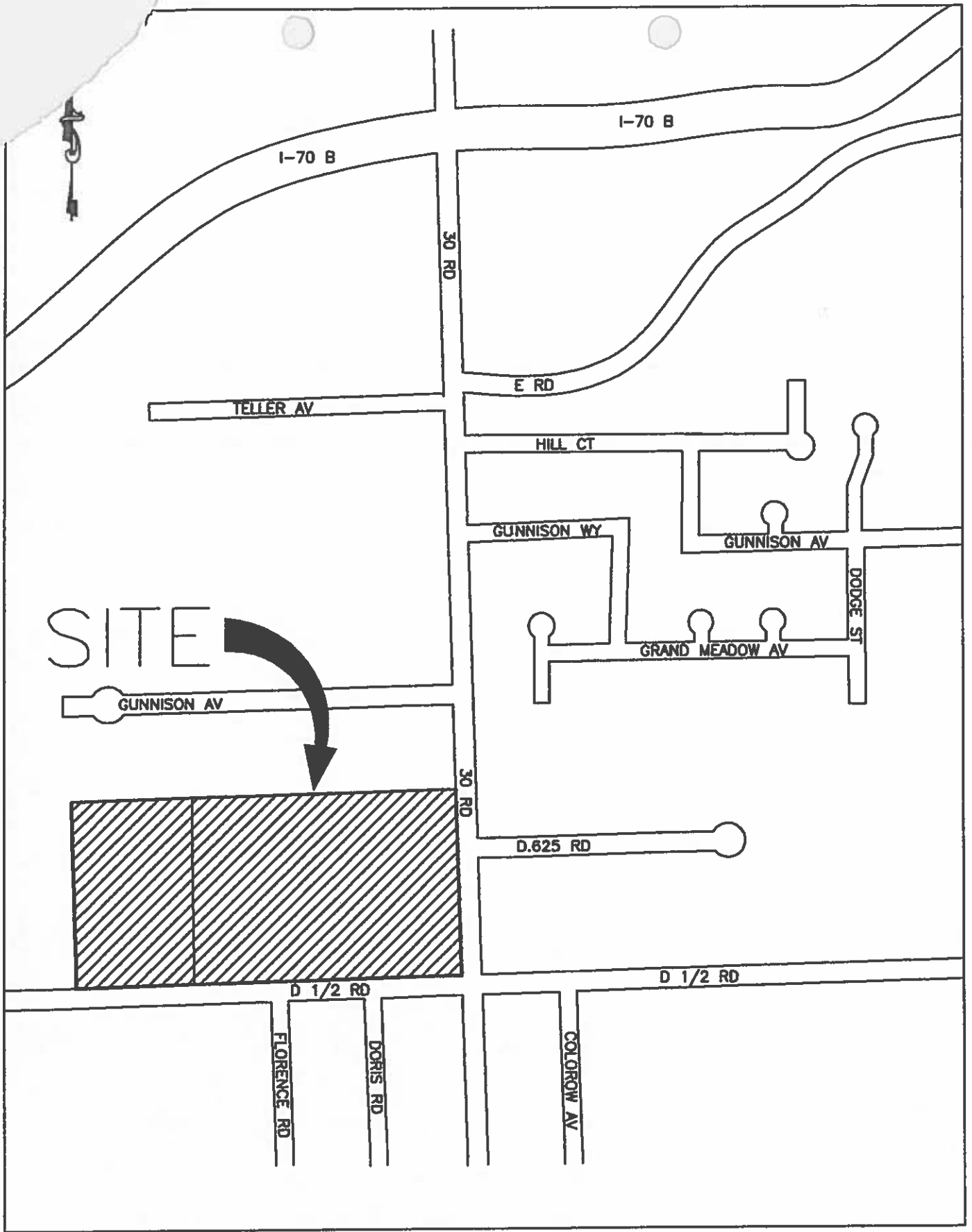
**ISRE, LLC  
1134 24 Road  
Grand Junction, Colorado 81505  
(970) 256-1853**

**PREPARED BY:**

**CRANE ASSOCIATES**

**2917 L50 Lane  
Hotchkiss, CO 81419  
(970) 872-2433**

**March 2003**



LOCATION MAP  
SHAKESPEARE'S COURT SUBDIVISION

# NARRATIVE

## **INTRODUCTION**

The purpose of this preliminary drainage report is to identify, investigate and differentiate the changes in the historic drainage patterns due to the construction of the proposed subdivision. This report will concentrate on the drainage ditch that borders the north and west property lines of the subdivision, the detention facility to store stormwater from the proposed subdivision and the structures required to release the stored stormwater at 65% of historic. This report will describe the proposed drainage plan in concept.

## **GENERAL LOCATION & DESCRIPTION**

The Shakespeare's Court Subdivision is located in the S ½ of the SE ¼ of the NE 1/4 of Section 17, Township 1 South, Range 1 East of the Ute Principal Meridian in Mesa County Colorado. More specifically the property is located at in the North West corner of 30 Rd and D ½ Rd. in the City of Grand Junction and contains approximately 19.12 acres. See the accompanying Location Map.

The existing ground cover consists primarily of sparse natural grasses with a stand of Russian Olive trees surrounding the majority of the perimeter and along a line through the center of the property. The SCS hydrologic soil group for the site is 'D' and previous soil borings indicate a silty clay soil to at least 17'.

## **EXISTING DRAINAGE CONDITIONS**

Historically the site was used as irrigated agriculture. The existing headgate is located in the northeast corner of the property. The irrigation water travels by open ditch along the north property line, irrigating to the south. An open ditch at the south property line collects runoff and transfers it to the southwest corner of the property where it continues traveling in an open ditch to the west. The site currently drains south at approximately 0.6%.

The Beswick Drain flows as an open ditch along the north and west property boundaries of the site, intercepts offsite drainage from the north, and continues south to the Colorado River. The site is not located within any 100-year floodplain.

## **PROPOSED DRAINAGE CONDITIONS**

The proposed development will consist of 106 single-family residences on 13.7 acres, with an additional 4.22 acres used for street right-of-ways and utility easements. Half of an acre will be set aside for two detention facilities and an additional 0.74 acres has been or will be dedicated to the Grand Junction Drainage District for a storm sewer easement.

It is proposed that the existing Beswick Drain running along the north and west side of the property will be piped and filled.



All developed stormwater will be designed to flow to two detention facilities located in the southwest corner of the property. From this point the stormwater will be released at calculated rates to the Beswick Drain. The detention facility will be owned and maintained by the homeowners association.

## **DESIGN AND CRITERIA APPROACH**

The Modified Rational Method has been used to calculate storm runoff for the 2 and the 100-year storm events and to calculate required detention volumes. Rainfall intensities, runoff coefficients and average flow velocities were obtained from the City of Grand Junction Stormwater Management Manual, May 1996.

The Beswick Drain will be piped with 36" Class III RCP pipe. There are ten existing culverts that drain into this ditch and at each location a manhole will be placed for maintenance access.

The proposed detention facilities will be equipped with in-ground 6" perforated plastic pipe, which will be used as an infiltration gallery to store incidental and small storm events. This infiltration gallery will also aid in draining the park site, preventing over-saturation of the soil and reducing mosquito breeding.

Preliminary calculations indicated the need to detain 30,721 cubic feet for the development. The combined volume for the proposed detention area is approximately 37,700 cubic feet. At both facilities inlets placed at the 100-year water level will release the required 100-year discharge rate while small pipes will be used to drain the 2-year discharge to the Beswick Drain.

## **CONCLUSIONS**

Implementation of this drainage plan will safely divert the 100-year storm flows away from the proposed development and will not adversely affect adjacent property. This plan is in compliance with current applicable City rules and regulation for drainage.



**CALCULATIONS  
&  
DETAILS**

**TIME OF CONCENTRATION  
WORKSHEET**

**JOB NAME**

ISRE

**DATE**

Johnson Property  
12/17/02

**BASIN DESIGNATION  
FLOWING TO**

Historic Basin

**Basin Area**

A := 19.39 acres

**Longest Runoff Distance**

D<sub>L</sub> := 1125 feet

**Overland Runoff Distance**

D<sub>O</sub> := 300 feet

**Avg. Slope**

S<sub>1</sub> := 0.63 % slope

**Concentrated Flow Distance**

D<sub>C</sub> := 825 feet

**Avg. Slope**

S<sub>2</sub> := 0.63 % slope

**Velocity**

V := 0.55 fps

**Runoff Coefficients**

c<sub>h2</sub> := 0.27

c<sub>h100</sub> := 0.33

**Time of Concentration**

$$t_{h2} := \frac{[1.8 \cdot (1.1 - c_{h2}) \cdot \sqrt{D_O}]}{\sqrt[3]{S_2}} + \frac{D_C}{(60 \cdot V)}$$

t<sub>h2</sub> = 55.185 min

$$t_{h100} := \frac{[1.8 \cdot (1.1 - c_{h100}) \cdot \sqrt{D_O}]}{\sqrt[3]{S_2}} + \frac{D_C}{(60 \cdot V)}$$

t<sub>h100</sub> = 53.003 min

**TIME OF CONCENTRATION  
WORKSHEET**

**JOB NAME**

ISRE

**DATE**

Johnson Property

12/17/02

**BASIN DESIGNATION  
FLOWING TO**

Developed Basin

**Basin Area**

$A := 19.39$  acres

**Longest Runoff Distance**

$D_L := 1435$  feet

**Overland Runoff Distance**

$D_O := 50$  feet

**Avg. Slope**

$S_1 := 0.75$  % slope

**Concentrated Flow Distance**

$D_C := 1385$  feet

**Avg. Slope**

$S_2 := 0.75$  % slope

**Velocity**

$V := 1.58$  fps

**Runoff Coefficients**

$c_{d2} := 0.48$

$c_{d100} := 0.56$

**Time of Concentration**

$$t_{d2} := \frac{[1.8 \cdot (1.1 - c_{d2}) \cdot \sqrt{D_O}]}{\sqrt[3]{S_2}} + \frac{D_C}{(60 \cdot V)}$$

$$t_{d2} = 23.295 \quad \text{min}$$

$$t_{d100} := \frac{[1.8 \cdot (1.1 - c_{d100}) \cdot \sqrt{D_O}]}{\sqrt[3]{S_2}} + \frac{D_C}{(60 \cdot V)}$$

$$t_{d100} = 22.175 \quad \text{min}$$

## MODIFIED RATIONAL METHOD FLOW AND VOLUME CALCULATIONS

### Historical Total Site Runoff

Acres

$A = 19.39$  acres

$A = 19.39$  acres

Runoff Coefficients

$c_{h2} := 0.27$

$c_{h100} := 0.48$

Time of Concentrations

$t_{h2} = 55.185$  min

$t_{h100} = 53.003$  min

Intensities

$I_{h2} := .36$

$I_{h100} := 1.46$

$Q := C \cdot I \cdot A$

$Q_{h2} := c_{h2} \cdot I_{h2} \cdot A$

$Q_{h100} := c_{h100} \cdot I_{h100} \cdot A$

$Q_{h2} = 1.885$  cfs

$Q_{h100} = 13.589$  cfs

### Developed Bypass Site Runoff

Acres

$A_B := 0$

$A_B = 0$

Runoff Coefficients

$c_{d2} := 0.48$

$c_{d100} := 0.56$

Time of Concentrations

$t_{d2} = 23.295$  min

$t_{d100} = 22.175$  min

Intensities

$I_{d2} := .62$

$I_{d100} := 2.51$

$Q := C \cdot I \cdot A$

$Q_{d2} := c_{d2} \cdot I_{d2} \cdot A_B$

$Q_{d100} := c_{d100} \cdot I_{d100} \cdot A_B$

$Q_{d2} = 0$

$Q_{d100} = 0$

### Qr Parameters

Qmax

$Q_{max2} := Q_{h2} - Q_{d2}$

$Q_{max100} := Q_{h100} - Q_{d100}$

$Q_{max2} = 1.885$  cfs

$Q_{max100} = 13.589$  cfs

$Q_r$  (Orifice Only Structure)

$Q_{r2} := 0.82 \cdot Q_{max2}$

$Q_{r100} := 0.65 \cdot Q_{max100}$

$Q_{r2} = 1.545$  cfs

$Q_{r100} = 8.833$  cfs

## MODIFIED RATIONAL METHOD FLOW AND VOLUME CALCULATIONS

$$Td_2 := \left( \frac{507.82 \cdot c_{d2} \cdot A}{Q_{r2} - \frac{Q_{r2}^2 \cdot t_{d2}}{53.4 \cdot c_{d2} \cdot A}} \right)^{0.5} - 19$$

$$Td_2 = 38.42 \quad \text{min}$$

$$ld_2 := \frac{26.71}{Td_2 + 19.01}$$

$$ld_2 = 0.465$$

$$Qd_2 := c_{d2} \cdot A \cdot ld_2$$

$$Qd_2 = 4.329 \quad \text{cfs}$$

$$K2 := \frac{t_{h2}}{t_{d2}} \quad K2 = 2.369$$

$$Td_{100} := \left( \frac{1972.9 \cdot c_{d100} \cdot A}{Q_{r100} - \frac{Q_{r100}^2 \cdot t_{d100}}{209.9 \cdot c_{d100} \cdot A}} \right)^{0.5} - 18.8$$

$$Td_{100} = 32.711 \quad \text{min}$$

$$ld_{100} := \frac{104.94}{Td_{100} + 18.8}$$

$$ld_{100} = 2.037$$

$$Qd_{100} := c_{d100} \cdot A \cdot ld_{100}$$

$$Qd_{100} = 22.121 \quad \text{s}$$

$$K100 := \frac{t_{h100}}{t_{d100}} \quad K100 = 2.39$$

### Volumes

$$Vd_2 := 60 \left[ Td_2 \cdot (Qd_2 - Q_{r2}) - Q_{r2} \cdot t_{d2} + \frac{(K2 \cdot Q_{r2} \cdot t_{d2})}{2} + \frac{Q_{r2}^2 \cdot t_{d2}}{2 \cdot Qd_2} \right]$$

$$Vd_2 = 7199.96 \quad \text{cu ft}$$

$$Vd_{100} := 60 \left[ Td_{100} \cdot (Qd_{100} - Q_{r100}) - Q_{r100} \cdot t_{d100} + \frac{(K100 \cdot Q_{r100} \cdot t_{d100})}{2} + \frac{(Q_{r100}^2 \cdot t_{d100})}{2 \cdot Qd_{100}} \right]$$

$$Vd_{100} = 30720.22 \quad \text{cu ft}$$



**GEOTECHNICAL INVESTIGATION  
Shakespeare's Court Subdivision  
2990 D ½ Road  
Grand Junction, Colorado**

**Prepared For:**

**Ms. Lisa Comstock  
1134 24 Road  
Grand Junction, CO 81505**

**Job No. 1,328**

**April 1, 2003**

**Geotechnical, Environmental and Materials Testing Consultants**

**(970) 245-4078 • fax (970) 245-7115 • [geotechnicalgroup.com](http://geotechnicalgroup.com)  
2308 Interstate Avenue, Grand Junction, Colorado 81505**

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<b>APPENDIX A – SAMPLE SITE GRADING SPECIFICATIONS</b>	
<b>APPENDIX B - PAVEMENT DESIGN CALCULATIONS</b>	
<b>APPENDIX C - CONSTRUCTION RECOMMENDATIONS FOR FLEXIBLE AND RIGID PAVEMENT</b>	



## SCOPE

This report presents the results of a Geotechnical Investigation for the proposed Shakespeare's Court Subdivision to be located at 2990 D ½ Road, in Grand Junction, Colorado. Our investigation was conducted to explore subsurface conditions, provide pavement recommendations and provide foundation recommendations for the proposed residences. The report includes descriptions of subsoil and groundwater conditions found in twenty-one exploratory test pits, recommended pavement sections, recommended foundation systems and allowable design soil pressures, and design and construction criteria for details influenced by the subsurface conditions. This investigation was performed in general conformance with our Proposal No. 03-037 dated February 6, 2003.

The report was prepared from data developed during our field exploration, laboratory testing, engineering analysis and experience with similar conditions. A brief summary of our conclusions and recommendations follows. Detailed criteria are presented within the report.

## SUMMARY OF CONCLUSIONS

1. Subsoils found in the twenty-one exploratory test pits consisted of silty, sandy clay to the maximum depths explored of 5 to 10 feet below the ground surface. Groundwater was not encountered to the maximum depth explored the day of observation or when checked one and four days later.
2. Relatively soft soil conditions were identified near proposed grades; especially in the southwest and southeast portions of the subject site. Alternatives for mitigating potential of encountering yielding soil conditions include reducing proposed grading cuts and avoiding excessive construction traffic. Irrigation of the subject site should not be allowed to occur and discontinued immediately.
3. We believe shallow foundations can perform satisfactorily for the proposed residences. A discussion, including detailed design and construction criteria are included in the text of the report.
4. We believe slab-on-grade construction supported by the soils encountered has low potential for movement. We recommend structurally supported floors in all finished living areas. Non-structural, slab-on-grade construction should be limited to flatwork and garage areas.
5. An asphalt thickness of 6.5 inches or 3.0 inches asphalt over 11.5 inches base course supported by well compacted subgrade soils are recommended for interior residential streets, ESAL = 54,750. Additional pavement section alternatives and design and construction criteria are presented in the text of the report.
6. Surface drainage should be designed for rapid runoff of surface water away from the proposed residences and pavements.

## SITE CONDITIONS

The subject site was located north and west of D ½ Road and 30 Road at 2990 D ½ Road in Grand Junction, Colorado. A vicinity map is included as Fig. 1. The subject site was a basically flat and nearly level, barren parcel with scattered grasses. Existing single family residences were in the south portion of the site, along D ½ Road. Scattered wood debris was noted near the central portion of the site. Scattered trees were in the east portion of the site, near 30 Road. We noted 30 Road to be 1 to 2 feet higher in elevation than the subject site. A drainage type canal, approximately 10 to 12 feet deep with side slopes of approximately 40 degrees (estimated with tape and hand held Brunton), was near the north and west property borders. The canal had water flowing in the bottom at the time of this investigation. An access road was on either side of the canal. Vacant agricultural use land and existing single family residences were west, beyond the canal. Single family residences were east, beyond 30 Road. Single family residences were south beyond D ½ Road. Vacant land, commercial businesses and storage yard were north beyond the canal. The vicinity sloped down toward the south, towards the Colorado River at slopes of approximately 1 percent (USGS Clifton, Colorado topographical quadrangle, 1962, photorevised 1973).

## PROPOSED CONSTRUCTION

We understand the subject site is proposed for development and construction of approximately 107 lots for single family residential construction. Maximum utility trench excavation depths of up to 6 to 8 feet are anticipated. There will be up to 1 to 2 feet cut (maximum 2 feet of cut in the southwest corner of the site) and 1 foot of fill site grading changes. The site grading will be balanced from the site; fill will come from onsite cuts. There will be about 3,100 lineal feet of paving for interior streets. There will be approximately 1,250 lineal feet of half lane addition to D 1/2 Road. There will be no other outside improvements, such as a turn lane. There will be no stormwater retention/detention area. Residences will be wood framed, single and two story structures with no below grade construction. Shallow, turned down slab or footing foundations are desired. We anticipate foundation loads may range from 1,000 to 2,000 pounds per lineal foot of foundation wall. If proposed construction is different than what is described above, we should be notified so that we can re-evaluate the recommendations presented in this report in light of the differences.

## SUBSURFACE CONDITIONS

Subsurface conditions at the site were investigated by observing and sampling twenty-one (21) exploratory test pits. Locations of test pits are shown on Fig. 2. Replacement of test pit excavations as a well compacted fill should be confirmed at the time of construction. Graphic logs of the soils found in the exploratory test pits and field penetration resistance tests are presented on Figs. 3 through 9. Subsurface conditions encountered in the exploratory test pits consisted of silty, sandy clay to the maximum depths explored of 5 to 10 feet below the ground surface.

The silty, sandy clay had clay and sandy clay lenses, was very stiff to soft and dry to wet with depth, brown and tan with sulfates noted. Minor amounts of organics were noted in the top three feet. Clay samples tested had moisture contents of 5.0 percent to 21.7 percent and dry densities of 83 pcf to 100 pcf. Ten samples were tested for Atterberg limits. These samples ranged from exhibiting liquid limits of 23 to 41, plasticity indices of 5 to 24 and 75 to 99 percent passing the No. 200 sieve (silt and clay sized particles). Nine clay samples were tested for one-dimensional swell / consolidation characteristics. These samples ranged from compressing 2.3 percent to exhibiting no movement to swelling 0.5 percent when wetted under a confining pressure of 500 or 1,000 psf. Groundwater was not encountered to the maximum depths explored or when checked one and four days

later. Results of laboratory testing are included in Figs. 10 through 16 and summarized on Table I.

## **SITE DEVELOPMENT**

We understand there will be up to 1 foot cut (maximum 2 feet of cut in the southwest corner of the site) and 1 foot of fill site grading changes. Grading will be balanced from the subject site; fill will come from on site cuts. Our understanding of proposed grading changes are shown on Figs. 3 through 9. Prior to fill placement, the surface of native soils below fill should be stripped and all organic and deleterious materials completely removed. Existing construction on site should be completely removed. Particular attention should be given to (potential) previous fill and foundation areas in the south portion of the site. The surface should be scarified to a depth of 10 inches, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor (ASTM D 698) maximum dry density. Soft soil subgrade conditions may be encountered during grading, especially in the southwest and southeast portions of the subject site, where relatively soft soil conditions were identified near the anticipated final grading surface. We recommend limiting proposed cuts as much as practical, especially in the southwest portion of the site, to help mitigate potential of encountering yielding subgrade conditions. The

grading contractor should also be warned to avoid excessive traffic in relatively soft areas. Stabilization may be necessary where soft subgrade conditions occur. Our representative should be called to make site specific stabilization recommendations, as appropriate. On-site clay and sand soils free of deleterious materials, organics and particles over 6-inches diameter can be reused during grading. Fill placement should be moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor (ASTM D 698) maximum dry density in 10-inch maximum thickness loose lifts. Compaction of fill must be confirmed by monitoring and testing in order for the recommendations in this report to be valid. Placement and compaction of grading fill should be observed and tested by a representative of our firm during construction. Sample site grading specifications are included in Appendix A.

We believe utility installation in the silty, sandy clay soils may be accomplished using conventional excavation equipment to the depths investigated.

Utility trenches should be sloped or shored to meet local, State and Federal safety regulations. Based on our investigation, we believe soils at this site may be classified as either Type A, Type B and / or Type C, based on OSHA standards. Excavation slopes specified by OSHA are dependent upon types of soils and groundwater conditions encountered. Contractors should identify the conditions encountered in the excavation and refer to OSHA standards to determine appropriate slopes.

Water and sewer lines will be constructed beneath pavements. Compaction of trench backfill can have a significant effect on the life and serviceability of pavements. Relatively soft soil conditions were identified in anticipated utility trench areas, stabilization of trench bottoms may be required. We recommend trench backfill be placed in thin, loose lifts, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D 698). The placement and compaction of utility trench backfill should be observed and tested by a geotechnical engineer during construction.

We did not identify groundwater during this investigation to depths of 5 to 10 feet below the ground surface. We anticipate groundwater levels may rise during irrigation season. As a result, there may be groundwater concerns during construction, which were not identified by this investigation. Utility trench bottom areas may require stabilization if soft conditions are encountered at the time of excavation. Our representative should be called to observe and make recommendations for stabilization at that time.



## RESIDENCE FOUNDATIONS

This investigation indicates subsurface conditions at anticipated foundation levels consist of soft to very stiff, silty, sandy clay soils. We did identify steep slopes (approximately 40 degrees) in the canal located near the north and west property lines of the subject site. We do not recommend construction within at least 50 feet of the deeper, drainage type canal banks. Further investigation may be warranted if construction closer to canals is desired.

One method of support to help reduce settlement concerns is the use of deep foundations such as drilled or helical piers bedded in an underlying competent stratum. This investigation did not identify an underlying competent bearing stratum. Additional investigation would be required to provide deep foundation recommendations, as requested. We understand shallow turned down slab or footing foundations are desired. In our experience, shallow foundations have been used in this area with satisfactory performance for conditions similar to those identified at this site. Footings generally offer better performance than turned down slabs because the floor would be structurally supported and therefore isolated from differential ground movements. Turned down slabs would likely be less expensive to install. To provide a more uniform foundation subgrade, we recommend the subgrade be well compacted. Areas of soft foundation subgrade may require stabilization. We believe limiting depth to bottom of foundation level

(12 inches to 24-inches maximum) would be a prudent measure. Existing residence structures were noted in the south portion of the subject site. Care should be taken to insure remnant foundations, slabs and existing construction in its entirety are removed from the site. Existing fill may be found in these areas that requires removal and replacement described in the "SITE DEVELOPMENT" section of this report.

We present design and construction criteria for spread footing and turned down slab foundations below, in order of decreasing attractiveness. These criteria were developed from analysis of field and laboratory data and our experience. The additional requirements (if any) of the structural engineer and structural warrantor should also be considered.

### **Spread Footing Foundations**

1. Spread footing foundations, bearing on well compacted native soils or well compacted fill can be designed for a maximum soils bearing pressure of 1,500 psf. Site grading should be conducted as stated in the "SITE DEVELOPMENT" section of this report. Loose soils should be completely removed from foundation bearing areas, prior to placing concrete.
2. The completed excavation, within 2 feet horizontally of bearing areas, should be scarified 10 inches, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D698).

3. We recommend a minimum width of 18 inches for continuous footings. Isolated pads should be at least 30 inches by 30 inches. Foundation walls should be well reinforced top and bottom. We recommend reinforcement sufficient to span an unsupported distance of at least 12 feet. Reinforcement should be designed by the structural engineer.
4. Exterior walls must be protected from frost action. We understand 2 feet for frost cover is typically assumed in the Mesa County area.
5. The completed foundation excavation should be observed by our representative prior to placing forms, to verify the foundation bearing conditions and test compaction.

### Turned Down Slabs

1. Turned down portions, bearing on well compacted native soils or well compacted site grading fill can be designed for a maximum soils bearing pressure of 1,500 psf. Site grading should be conducted as stated in the "SITE DEVELOPMENT" section of this report. Loose soils should be completely removed from foundation bearing areas, prior to placing concrete.
2. The completed excavation, within 2 feet horizontally of bearing areas, should be scarified 10 inches, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D698). Our representative should be called to test compaction of subgrade soils.
3. We recommend thickened slab portions be at least 18 inches wide continuous, where required. Perimeter foundations should be well reinforced both top and bottom so that they will span an unsupported distance of at least 12 feet.
4. The soils under footings should be protected from freezing. The depth of frost protection usually assumed in the Mesa County area is 2 feet.

5. Completed excavations should be observed by a representative of our firm, prior to forming, to confirm that the soils are as anticipated from test pits and to test compaction.

## **FLOOR SYSTEMS – Spread Footing Foundations**

We believe the near-surface soils and well compacted site grading conducted as described in the “**SITE DEVELOPMENT**” section of this report exhibited low movement potential. Some movement must be assumed from an increase in moisture by residential development and associated landscaping and irrigation. To our knowledge, the only reliable solution to control floor movement is the construction of a structurally supported floor with at least a 12-inch air space between the floor and subgrade. In our opinion, structural floors should be used in all finished living areas. Structurally supported floors are normally not used in garage areas. A slab-on-grade floor can be used in garages provided the builder and owner is aware of and accepts risk of potential movement. Driveways, sidewalks and exterior patio slabs are also constructed as slabs-on-grade.

We recommend the following precautions for construction of slabs-on-grade at this site. These precautions will not prevent movement in the event the underlying soils become wetted; they tend to reduce damage if movement occurs.

1. Slab-on-grade construction should be limited to areas such as garage and exterior flatwork.
2. Slab subgrade areas should be scarified, moisture conditioned and compacted as described in the "RESIDENCE FOUNDATIONS" section of this report.
3. Slabs should be separated from exterior walls and interior bearing members with a slip joint which allows for free vertical movement of slabs.
4. The use of slab-bearing partitions should be minimized. Where such partitions are necessary, a slip joint allowing at least 1.5 inches of free vertical slab movement should be used. The home owner should be advised of potential movement and re-establish this void if it closes. Doorways and stairwells should also be designed for this movement. Sheetrock should not extend to slab-on-grade floors.
5. Underslab plumbing should be eliminated where feasible. Where such plumbing is unavoidable, it should be thoroughly pressure tested during construction for leaks and should be provided with flexible couplings. Gas and water lines leading to slab-supported appliances should be constructed with flexibility.
6. Plumbing and utilities which pass through slabs should be isolated from the slabs. Heating and air conditioning systems supported by the slabs should be provided with flexible connections capable of at least 1.5 inches of vertical movement so that slab movement is not transmitted to the duct work.
7. Frequent control joints should be provided to reduce problems associated with shrinkage and curling. The American Concrete Institute (ACI) and Portland Cement Association (PCA) recommend a maximum panel size of 8 to 15 feet depending upon concrete thickness and slump, and the maximum aggregate size. We advocate additional control joints 3 feet off and parallel to grade beams and foundation walls.
8. Exterior patio and porch slabs should be designed to function as independent units. Movement of slabs-on-grade should not be transmitted directly to the residence foundations. Stucco finish (if any) should terminate at least 6 inches above any flatwork.

## **FLOOR SLABS – Turned Down Slab-Type Foundations**

As proposed, floor slabs may be constructed as a portion of the foundation system. Where building loads are supported by the slab, thickened portions and heavy slab reinforcing may be required. Hair pin type reinforcing should be avoided where possible. If hair pin type reinforcing can not be avoided, it should be carefully designed by the structural engineer to consider differential movements and effects on floor slab cracking and damage. A joint should be installed in these areas to control areas of likely cracking. Plumbing and utilities which pass through the slabs should be isolated from the slab. Slabs should be well reinforced to function as rigid bodies. Frequent control joints should be provided to reduce problems associated with shrinkage and curling. We recommend 8 to 15 foot joint spacing, depending on slump, aggregate size and slab thickness.

## **BELOW-GRADE CONSTRUCTION**

No below-grade construction is anticipated at this site. Typically, foundation drains are not required for construction of this type. Crawl space areas should be sloped so that potential moisture will not collect in these areas, but flow out of the crawl space. Crawl space areas (where applicable) should also be well ventilated

to mitigate potential musty odors. We can provide foundation drain details if requested.

## **PAVEMENT**

The pavement subgrade soils include stiff to very stiff, silty, sandy clay. We visually classified each sample obtained from the test pits and tested samples in our laboratory. We tested a combined sample from exploratory test pits, TP-1 through TP-6 at 0 to 5 feet for pavement design purposes. The sample was tested for Atterberg limits, gradation, standard Proctor, and California Bearing Ratio (CBR). The sample tested exhibited a maximum dry density of 114.0 pcf, optimum moisture of 15.5 percent and a California Bearing Ratio (CBR) of 2.0. We used a design CBR value of 2.0. The results of laboratory testing are shown on Table I and included in Figs. B-1 and B-2.

Our design utilized the computer program WinPAS, based on the 1993 AASHTO Guide for Design of Pavements Structures, a 30 year design period, and our experience. We understand pavements will be used for interior residential streets and half lane addition to D ½ Road. We used a 30 year Equivalent Single Axle Load (ESAL) of 54,750 for the interior streets (converted from an equivalent daily load application, EDLA=5). We obtained an average daily traffic (ADT) of

1,115 for D ½ Road west of 30 Road from the City of Grand Junction. We used this ADT to calculate a 30 year ESAL for flexible and rigid pavements for the ½ street addition to D ½ Road. We calculated an ESAL of 219,000 for flexible and rigid pavements. A non-linear relationship developed by CDOT to relate the CBR value to the subgrade resilient modulus (Mr) was used for flexible pavement. Using this relationship, we calculated a Mr value of 3,633 psi. We converted the subgrade resilient modulus (Mr) to the modulus of subgrade reaction (k) using the relationship  $K = Mr / 19.4$ , for rigid pavements. Using this equation, we calculated a k value of 187 psi / in. We used a regional factor of 2.0 and a design serviceability index of 2.0 (interior streets) and 2.5 (D ½ Road ½ lane addition). Pavement design calculations are included in Appendix B. Table A below shows our recommendations.

**TABLE A  
SUMMARY OF RECOMMENDED PAVEMENT SECTIONS**

Anticipated Traffic Type	Asphaltic Concrete	Asphalt and Aggregate Base Course	Asphalt, Aggregate Base Course and Aggregate Sub Base Course	Portland Cement Concrete
Interior Streets (ESAL = 54,750)	6.5"	3.0" + 11.5" 4.0" + 8.0"	3.0" + 6.0" + 10.0"	5.0"
D ½ Road ½ Lane Addition (ESAL=219,000)	8.25"	3.0" + 17.0" 4.0" + 13.75" 5.0" + 10.5"	3.0" + 6.0" + 13.25" 4.0" + 6.0" + 10.0"	5.5"



The pavement subgrade should be scarified a depth of 10-inches, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 95 percent of standard Proctor (ASTM D698) maximum dry density. Soft areas that require stabilization may be encountered. A Geotechnical Engineering Group, Inc. representative should be called to observe a "proof roll" of the completed subgrade, made by a heavy pneumatic tired vehicle. Soft subgrade conditions that require stabilization may be identified. Care should be taken to avoid excessive construction traffic.

Our experience indicates asphalt pavement in areas which will be subjected to heavy trucks stopping and turning does not perform satisfactorily. We recommend placing a 6 inch thick Portland cement concrete pavement in all areas where this heavy truck traffic may occur, including access aprons and trash dumpster locations.

The design of a pavement system is as much a function of paving materials as supporting characteristics of the subgrade. The quality of each construction material is reflected by the strength coefficient used in the calculations. If the pavement system is constructed of inferior material, then the life and serviceability of the pavement will be substantially reduced.

The asphalt component of the pavement was designed assuming at least 1,650 pounds Marshall stability. Normally, an asphaltic concrete should be relatively impermeable to moisture and should be designed with a well-graded sand/gravel mix. The oil content, void ratio, flow and gradation need to be considered in the design. We recommend a job mix design be performed and periodic checks are made to verify compliance with these specifications.

If construction materials cannot meet the above requirements, then the pavement design should be evaluated based upon available materials. We recommend the materials and placement methods conform to the requirements listed in the Colorado Department of Transportation "Standard Specifications for Road and Bridge Construction". All materials planned for construction should be submitted and tested to confirm their compliance with these specifications.

A primary cause of early pavement deterioration is water infiltration into the pavement system. The addition of moisture usually results in softening of untreated base course and subgrade and eventual failure of the pavement. We recommend drainage be designed for rapid removal of surface runoff. Curb and gutter should be backfilled and the backfill compacted to reduce ponding adjacent to pavements. Final grading of the subgrade should be carefully controlled so that design cross-slope is maintained and low spots in the subgrade which could trap water are eliminated. Seals should be provided between curb and pavement and

at all joints to reduce moisture infiltration. Landscaped areas and detention ponds in pavements should be avoided.

We have included construction recommendations for flexible and rigid pavement construction in Appendix C. Routine maintenance, such as sealing and repair of cracks annually and overlays at 5 to 7-year intervals, are necessary to achieve the long-term life of an asphalt pavement system. If the design and construction recommendations cannot be followed or anticipated traffic loads change considerably, we should be contacted to review our recommendations.

## **CONCRETE**

One soil sample (TP-1 through TP-6 at 0 to 5 feet depth bulk combined) was tested in the laboratory for water soluble sulfate content. Test results indicate that the sample had a water soluble sulfate concentration of 900 ppm. Sulfate concentrations in this range are considered to have a moderate effect on concrete which comes into contact with the soils. We recommend a Type II (sulfate resistant) cement be used for concrete that comes into contact with the subsoils. In addition, concrete should have a maximum water-cement ratio of 0.5.

## **SURFACE DRAINAGE**

We noted a canal near the north and west property borders. We recommend the civil engineer review site grading to help mitigate damages to structures if overtopping of canal occurs. Performance of foundations and concrete flatwork is influenced by surface moisture conditions. Risk of wetting foundation soils can be reduced by carefully planned and maintained surface drainage. Surface drainage should be designed to provide rapid runoff of surface water away from the proposed residences. We recommend the following precautions be observed during construction and maintained at all times after the construction is completed.

1. The ground surface surrounding the exterior of the residences should be sloped to drain away from the residence in all directions. We recommend a slope of at least 12 inches in the first 10 feet around the residences, where possible. In no case should the slope be less than 6 inches in the first 5 feet. The ground surface should be sloped so that water will not pond adjacent to the residences.
2. Backfill around foundation walls should be moistened and compacted.
3. Roof downspouts and drains should discharge well beyond the limits of all backfill. Splash blocks and downspout extenders should be provided at all discharge points.
4. Landscaping should be carefully designed to minimize irrigation. Plants used close to foundation walls should be limited to those with low moisture requirements; irrigated grass should not be located within 5 feet of the foundation. Sprinklers should not discharge within 5 feet of foundations. Irrigation should be limited to the

minimum amount sufficient to maintain vegetation; application of more water will increase likelihood of slab and foundation movements.

5. Impervious plastic membranes should not be used to cover the ground surface immediately surrounding the residences. These membranes tend to trap moisture and prevent normal evaporation from occurring. Geotextile fabrics can be used to limit the weed growth and allow for evaporation.

## **CONSTRUCTION MONITORING**

Geotechnical Engineering Group, Inc. should be retained to provide general review of construction plans for compliance with our recommendations. Geotechnical Engineering Group, Inc. should be retained to provide construction monitoring services during all earthwork and foundation construction phases of the work. This is to observe the construction with respect to the geotechnical recommendations, to enable design changes in the event that subsurface conditions differ from those anticipated prior to start of construction and to give the owner a greater degree of confidence that the proposed construction is constructed in accordance with the geotechnical recommendations.

## LIMITATIONS

Twenty-one exploratory test pits were observed; fifteen in proposed residence areas and six in proposed pavement areas. The test pits are representative of conditions encountered only at the exact test pit locations. Variations in the subsoil conditions not indicated by the exploratory test pits are always possible. Our representative should observe and test grading fill placement, utility trench bottom and backfill, pavement construction, open foundation excavations and subgrade to confirm soils are as anticipated from the test pits and foundation soils are prepared as recommended herein.

We believe this investigation was conducted in a manner consistent with that level of care and skill ordinarily used by geotechnical engineers practicing in this area at this time. No other warranty, express or implied, is made. If we can be of further service in discussing the contents of this report or the analysis of the influence of the subsurface conditions on the design of the proposed construction, please call.

Sincerely,  
GEOTECHNICAL ENGINEERING GROUP, INC.



**Gregory G. Poettgen, P.E.**  
Project Engineer

Reviewed by:



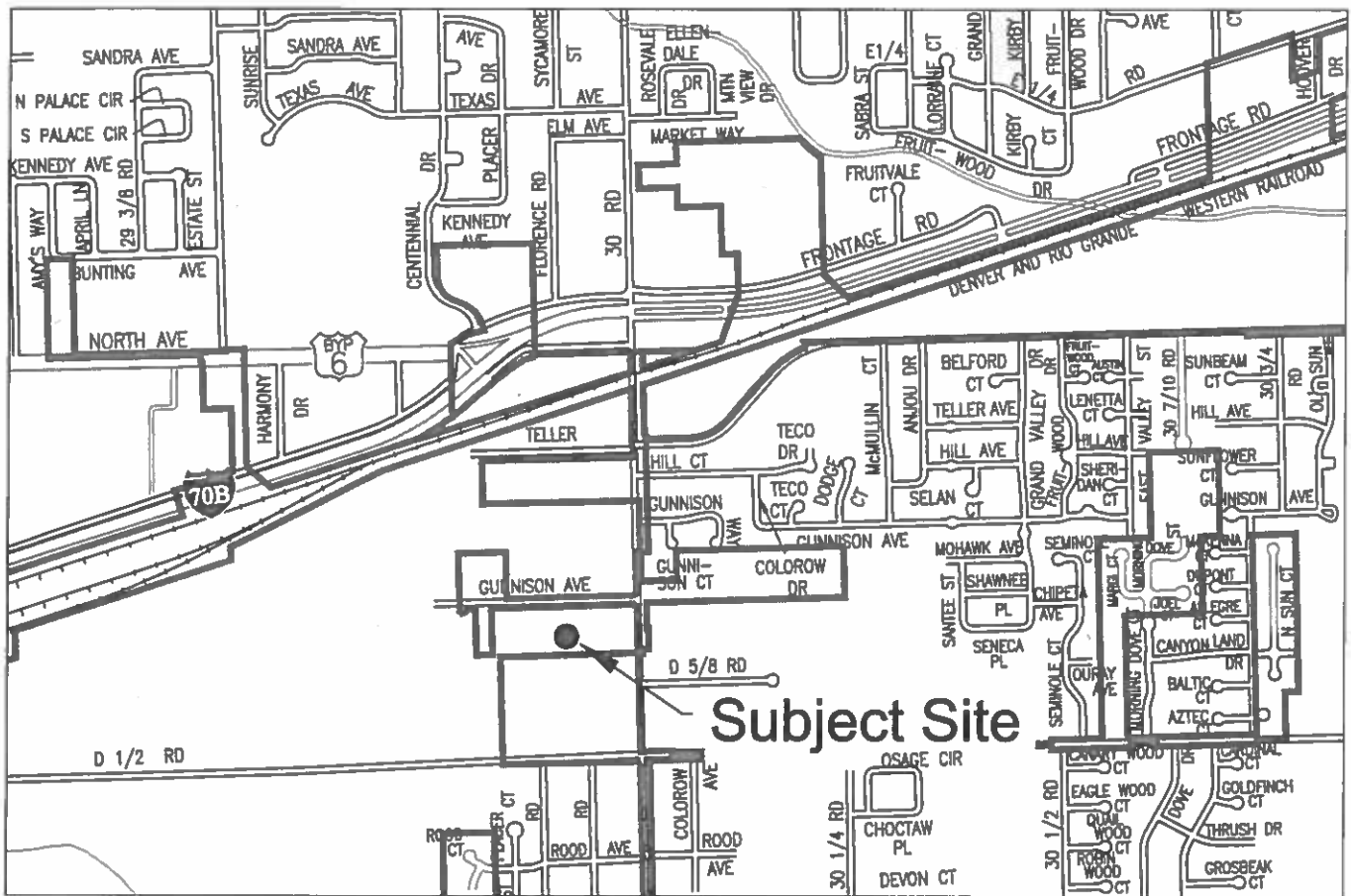
**John P. Withers, P.E.**  
Principal Engineer



GGP:JPW:cd  
(2 copies sent)

1 cc: Crane and Associates  
Mr. Jeff Crane  
2917 L50 Lane  
Hotchkiss, CO 81419

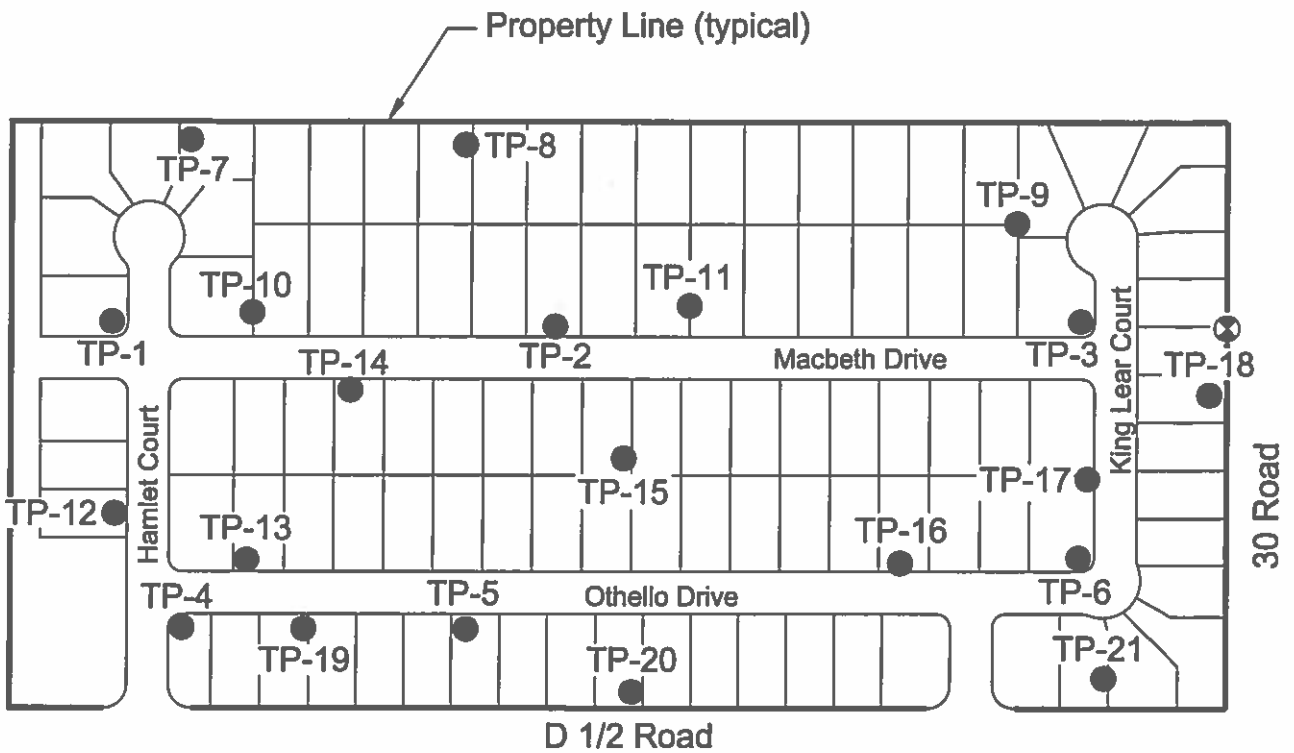
# Geotechnical Investigation Shakespeare's Court Subdivision 2990 D 1/2 Road Grand Junction, Colorado





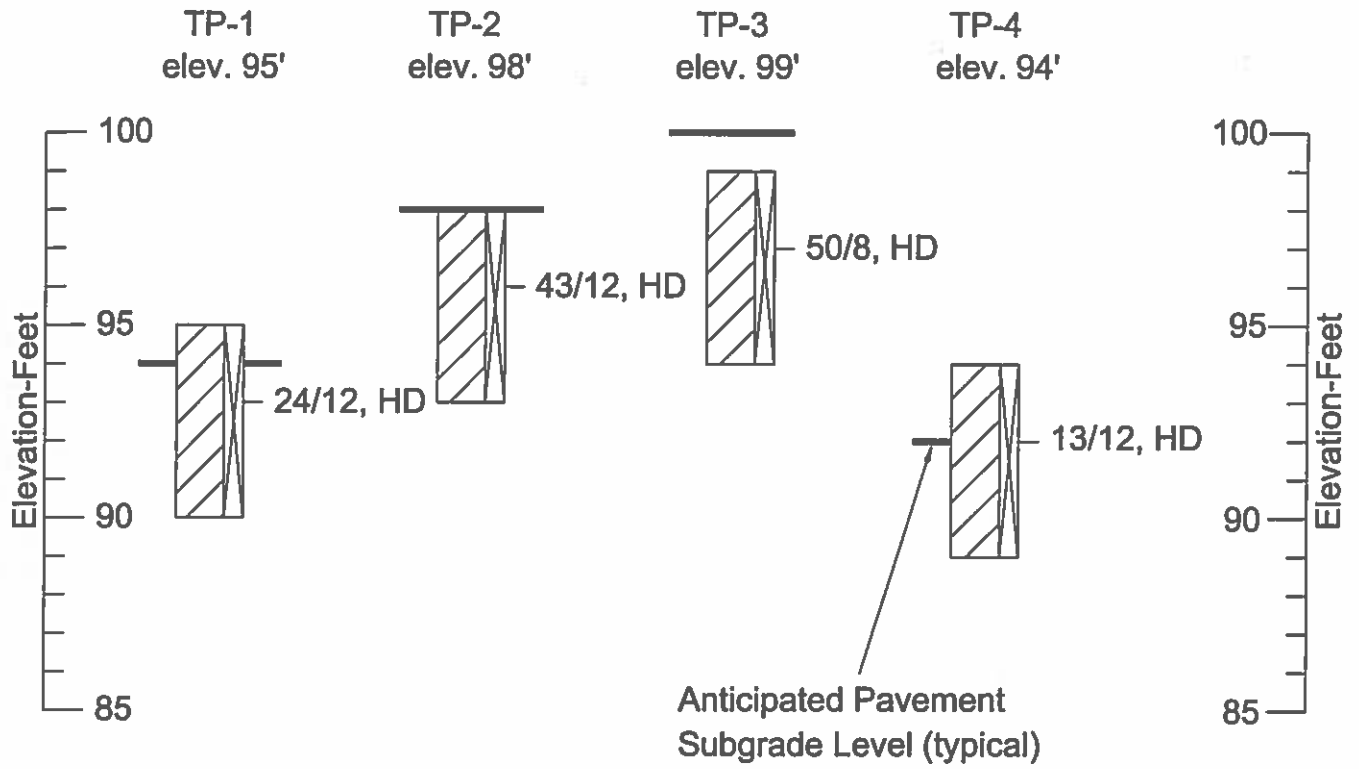
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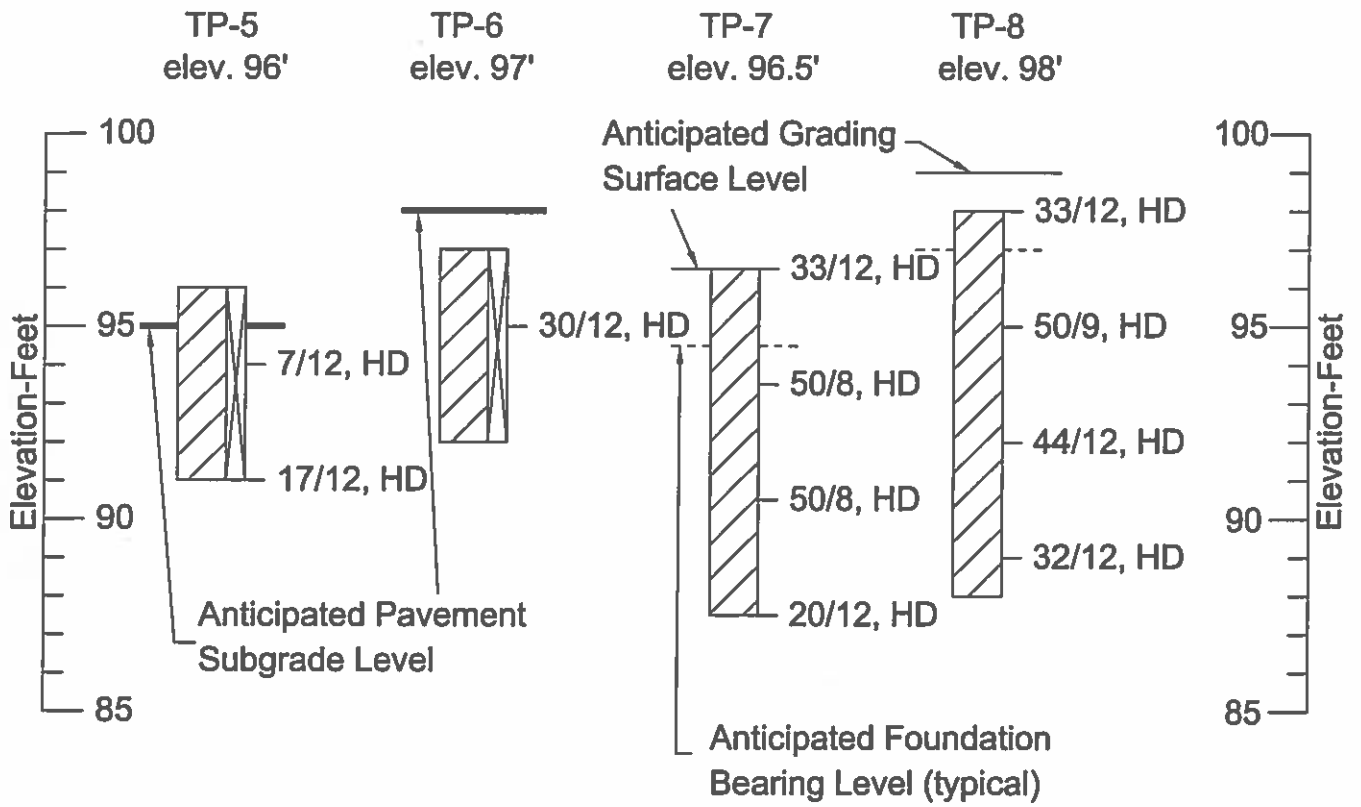
N  
Scale: 1" = 200'

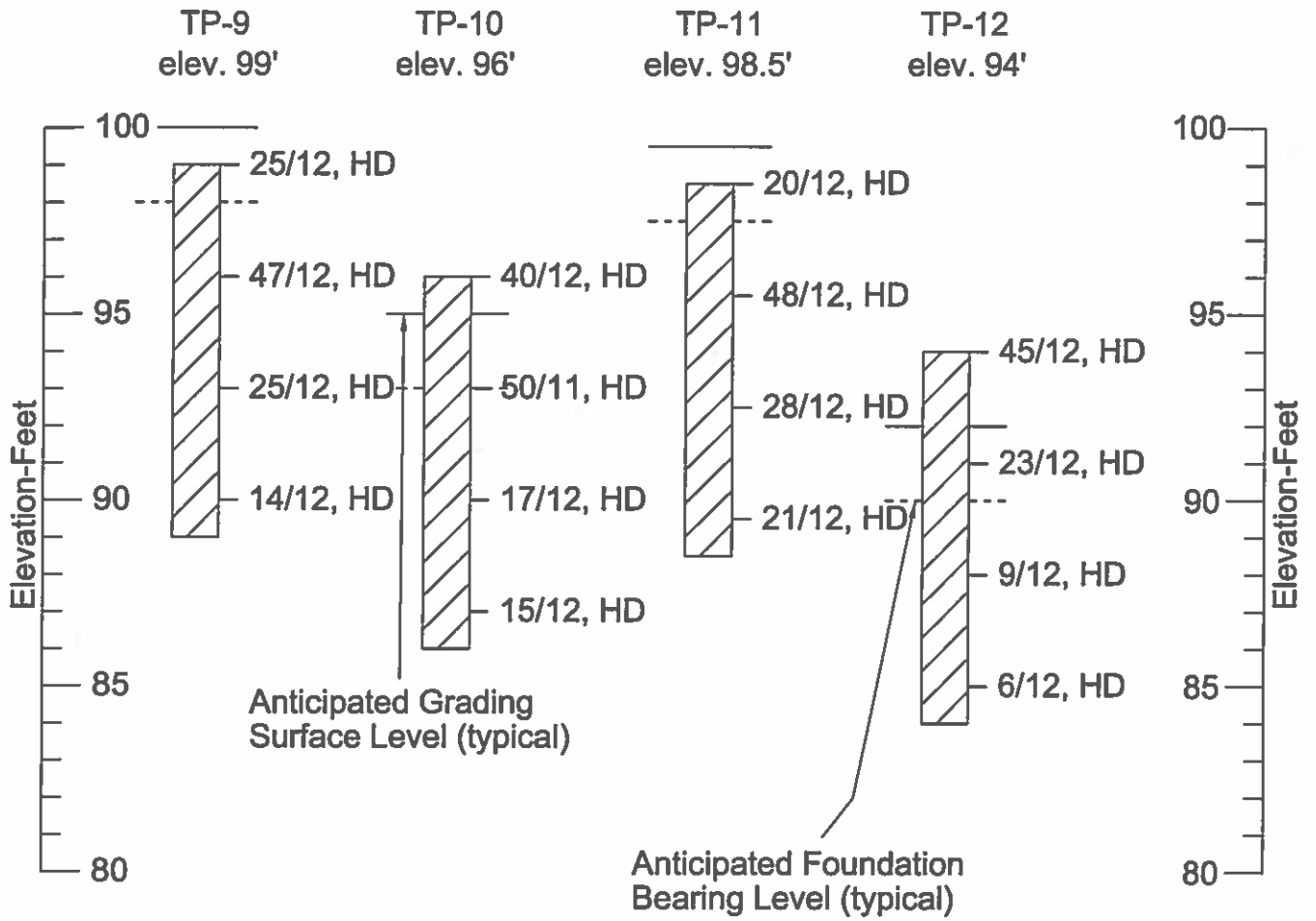


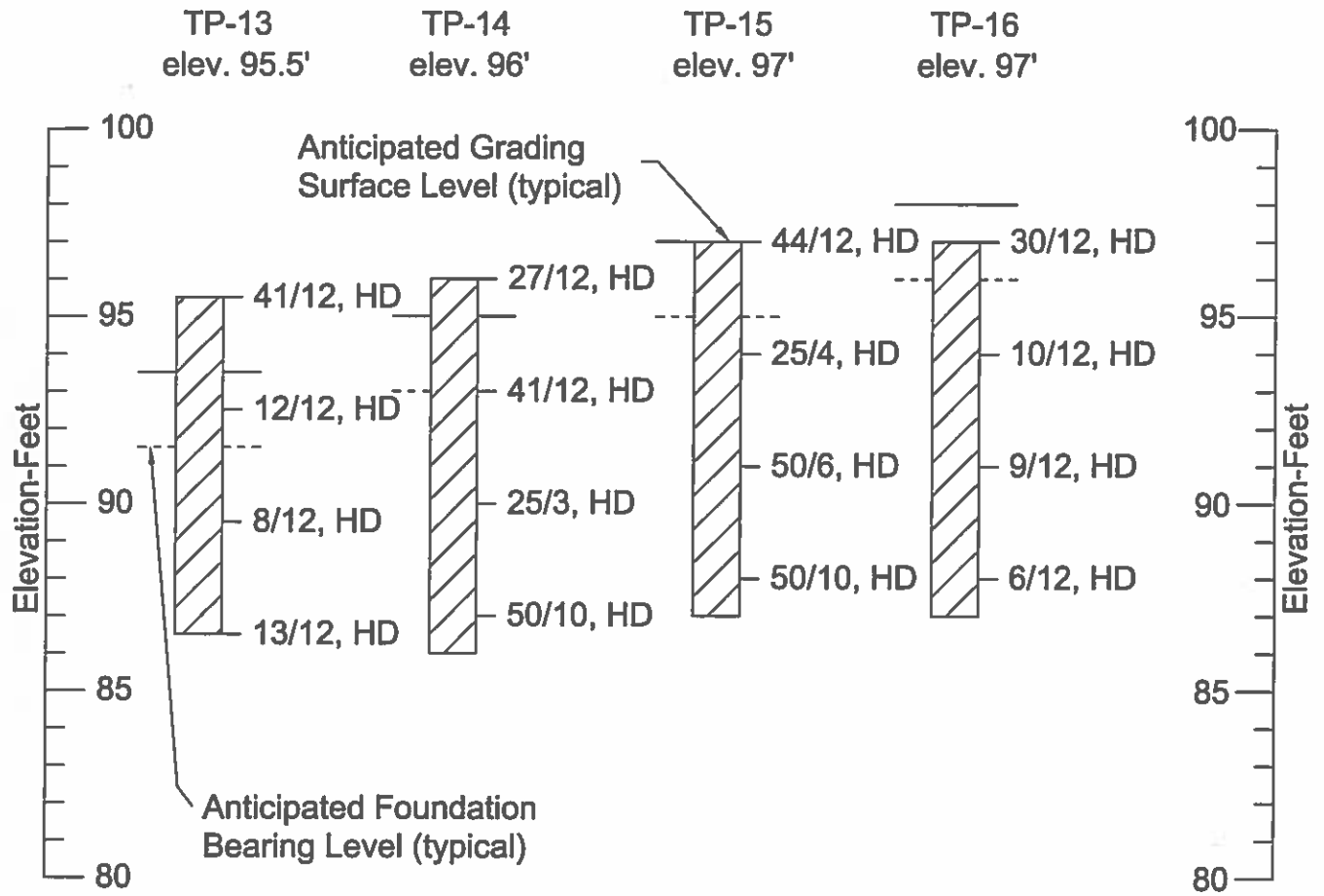
Legend

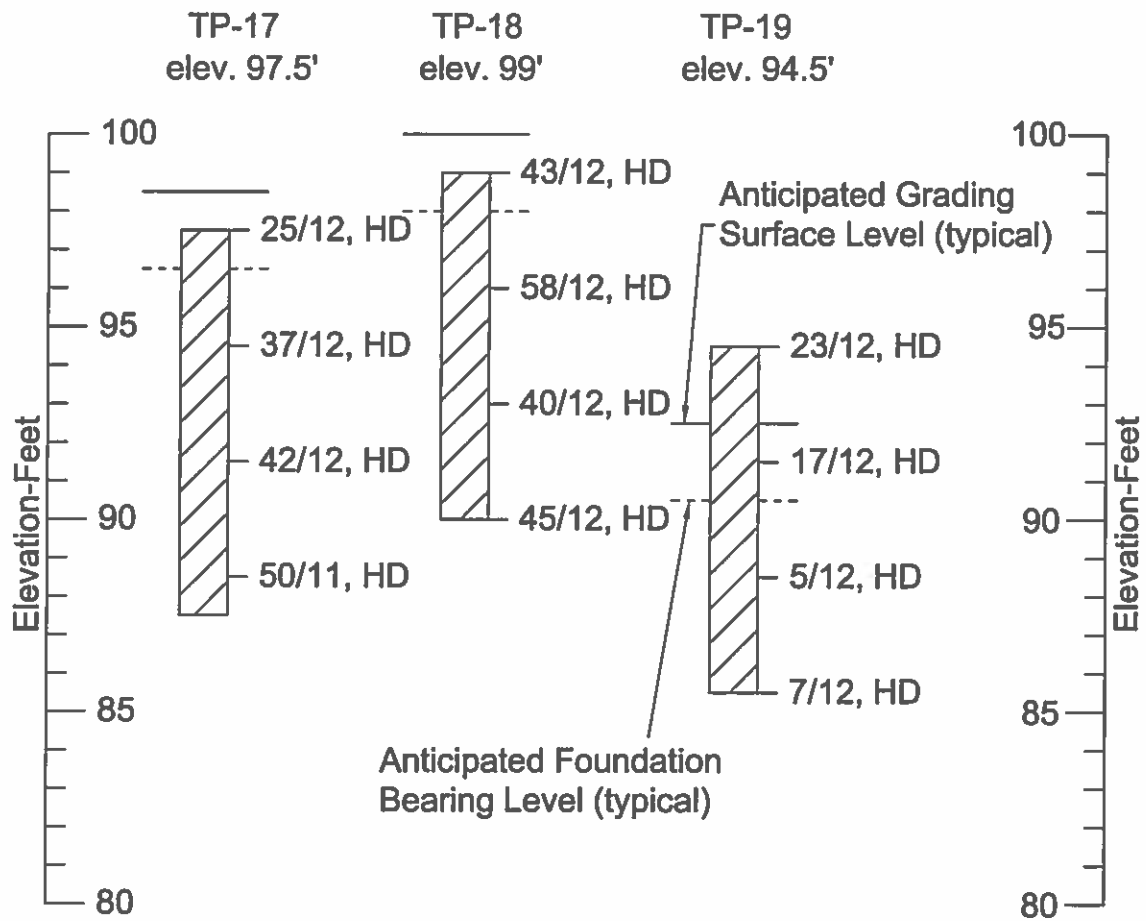
- Indicates location of exploratory test pit.
- ⊗ TBM: Center of Manhole cover. Datum= 100.0'

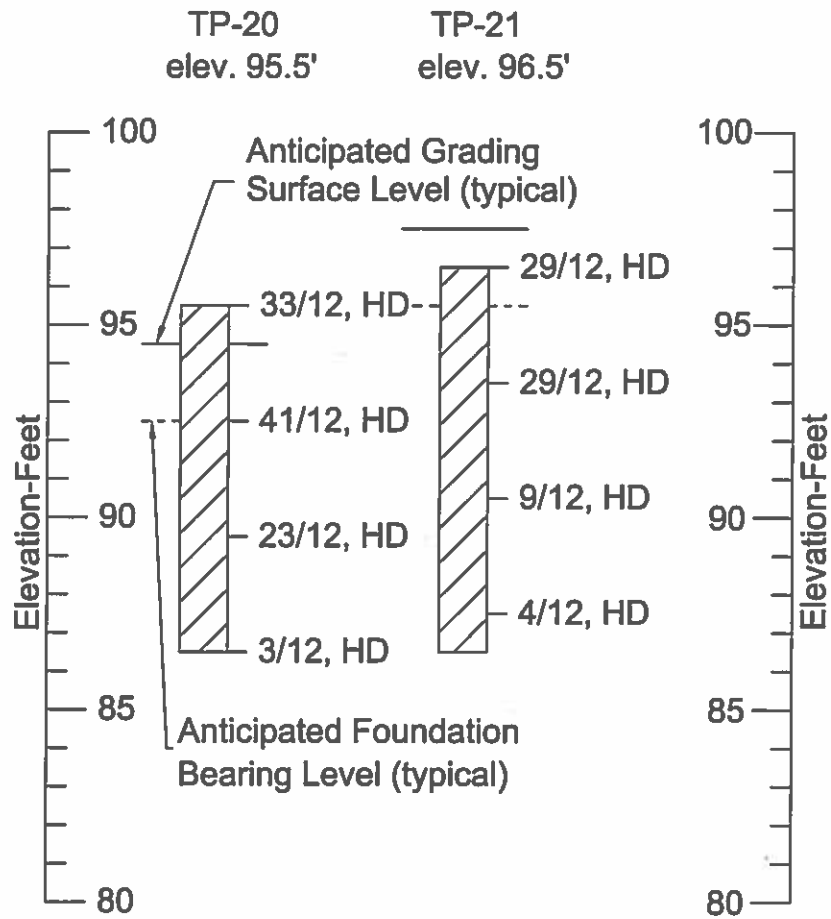


















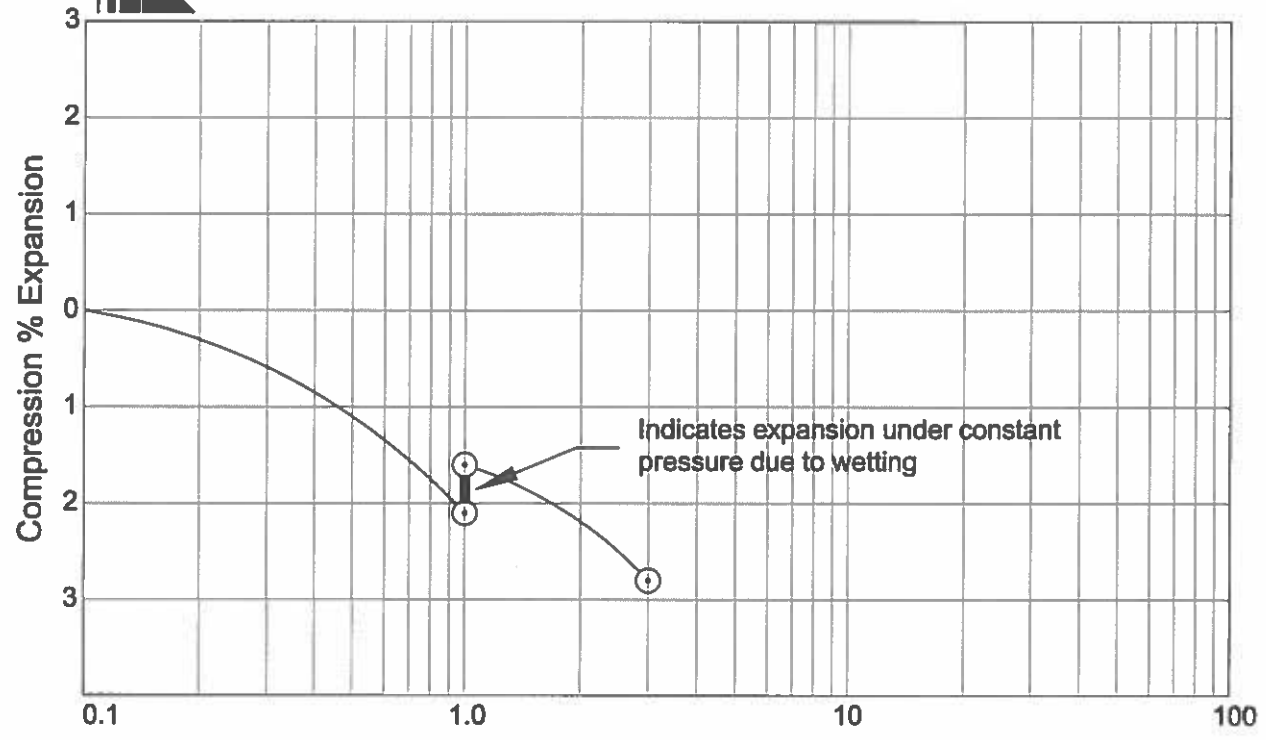
## Legend

-  Clay, silty, sandy, Clay lenses and Clay, sandy lenses noted, very stiff to soft with depth, dry to wet with depth, brown, tan, sulfates noted, minor organics in top 3 feet (CL)
-  Indicates location of penetration test. The symbol 20/12 indicates that 20 blows of a 15 pound hammer falling 26 inches were required to drive a 1.0 inch diameter penetrometer 12 inches. The symbol HD indicates hand drive using modified California (2.0-inch O.D.) liner.
-  Indicates location of bulk sample collected from test pit walls.
-  Indicates anticipated pavement subgrade level.
-  Indicates anticipated site grading surface level.
-  Indicates anticipated foundation bearing level.

## Notes

1. Test pits were observed and sampled February 28 and March 3, 2003.
2. Elevations of borings were determined using an automatic level and the temporary benchmark (TBM) shown on Fig. 2.
3. These logs are subject to the explanations, limitations and conclusions as contained in this report.

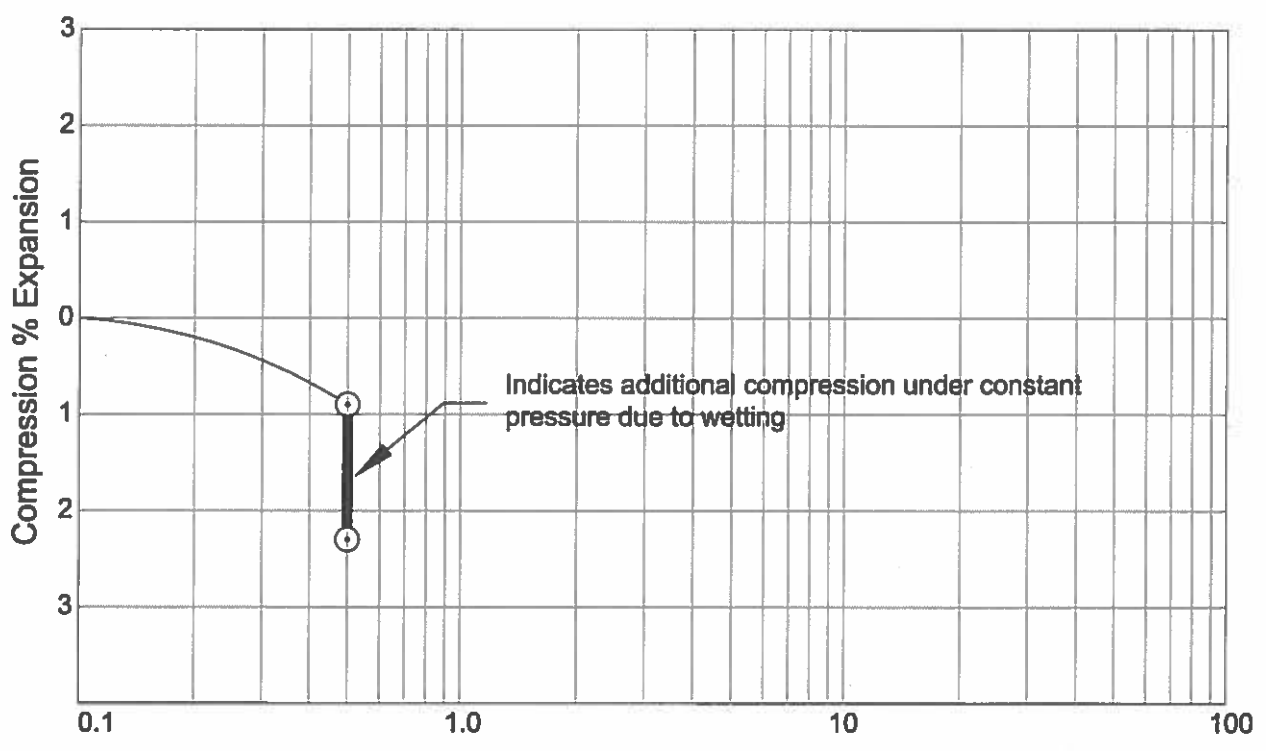




Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-8 @ 6 foot depth

Dry Unit Weight= 100 PCF  
Moisture Content= 12.2 %

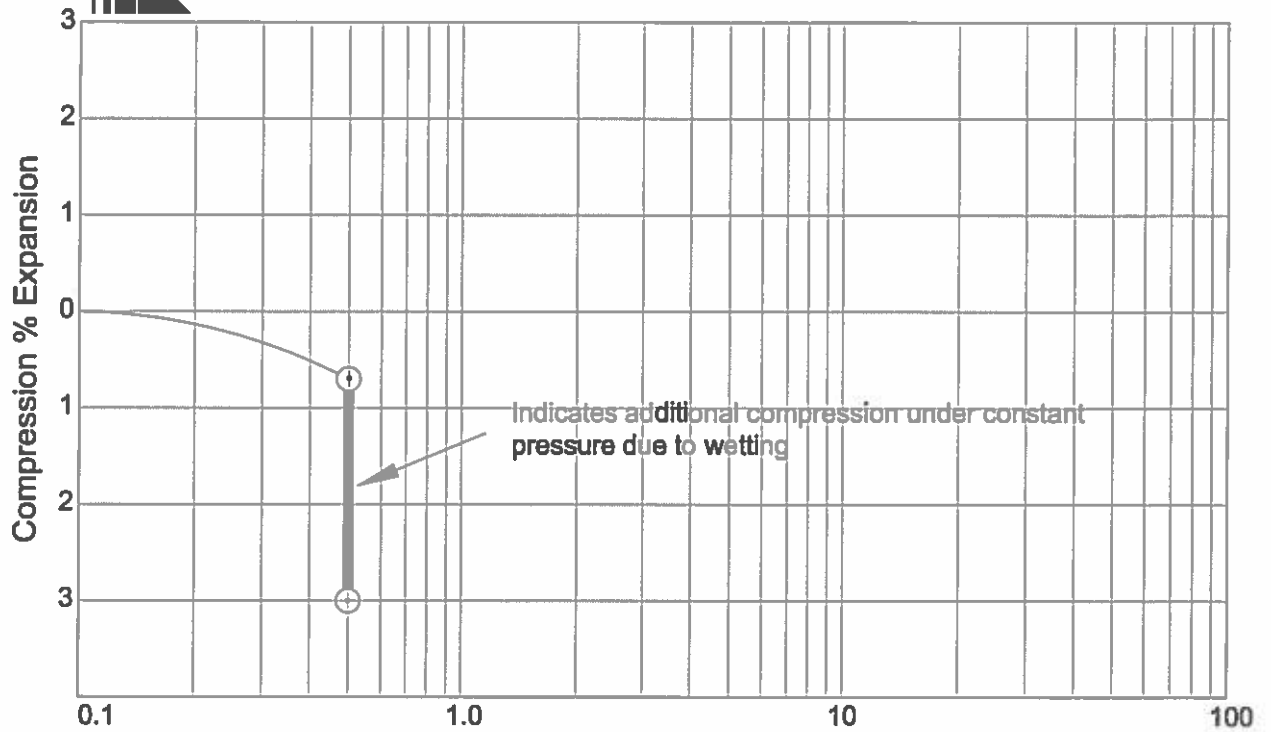


Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-9 @ 3 foot depth

Dry Unit Weight= 88 PCF  
Moisture Content= 7.9 %

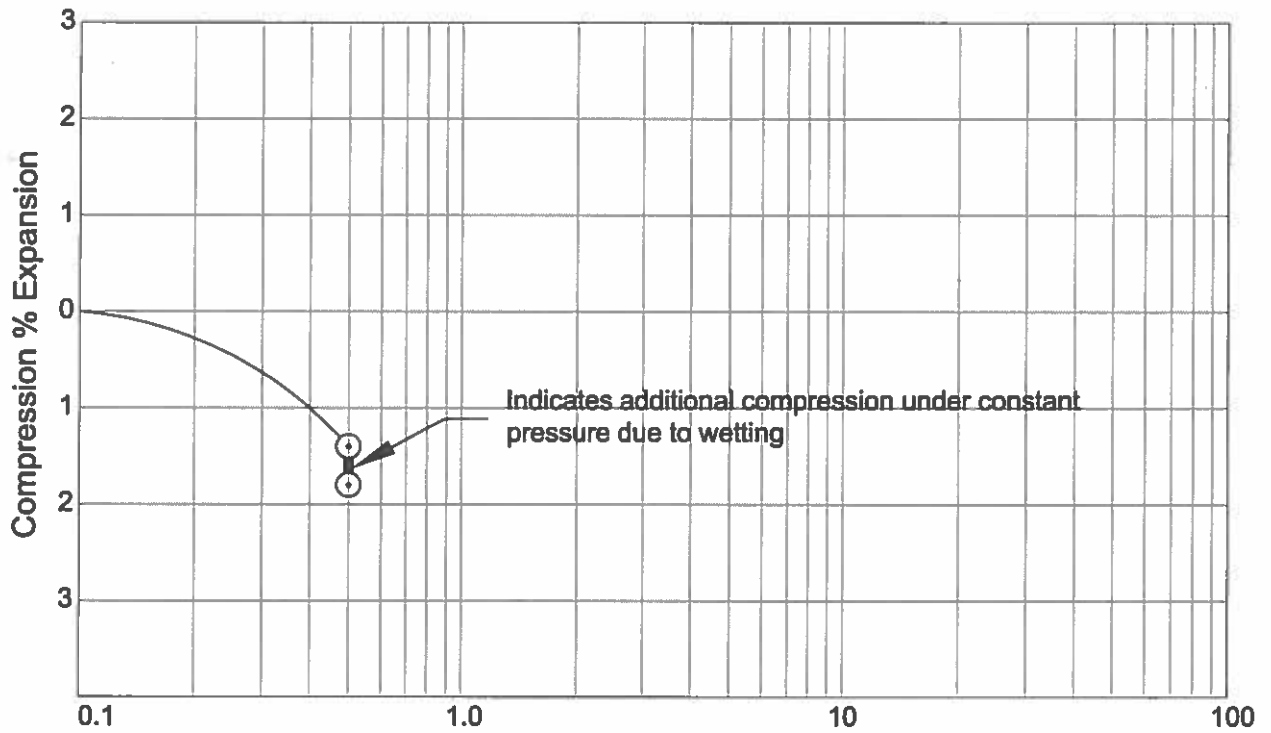
# Geotechnical Engineering Group, Inc.



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-10 @ 3 foot depth

Dry Unit Weight= 91 PCF  
Moisture Content= 9.2 %

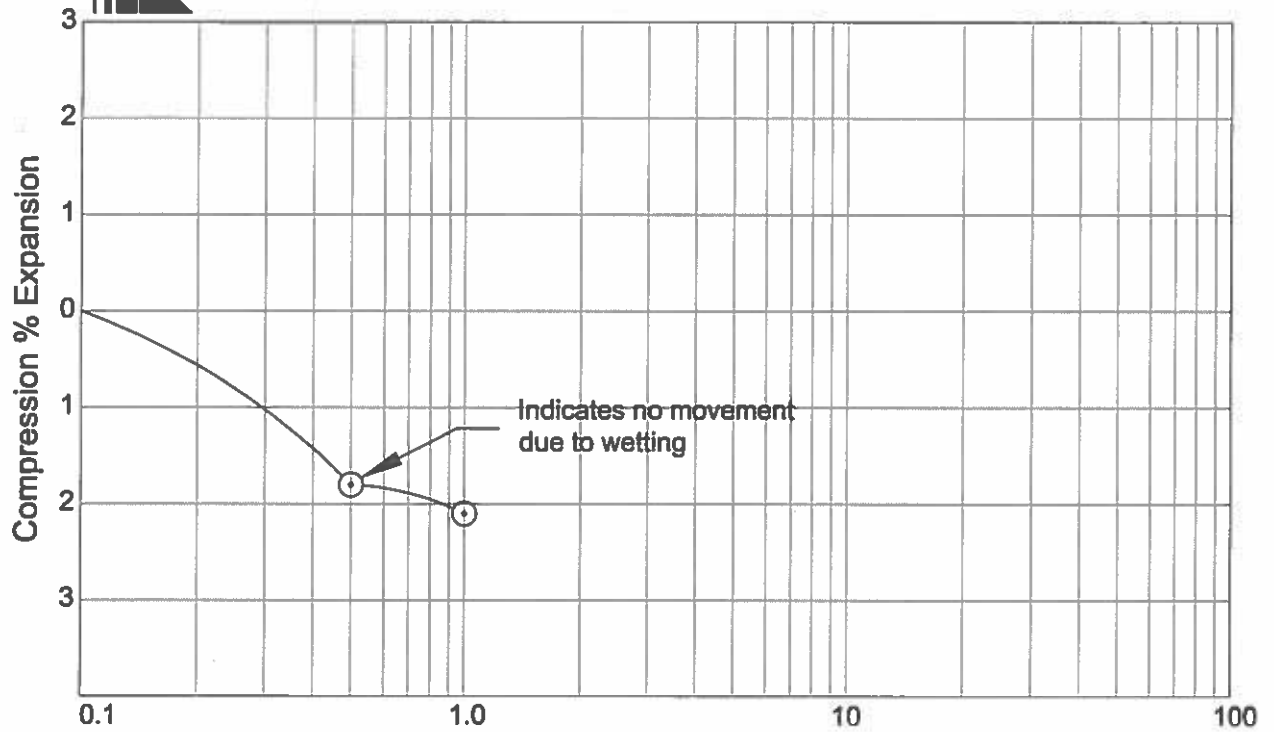


Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-12 @ 3 foot depth

Dry Unit Weight= 92 PCF  
Moisture Content= 17.9 %

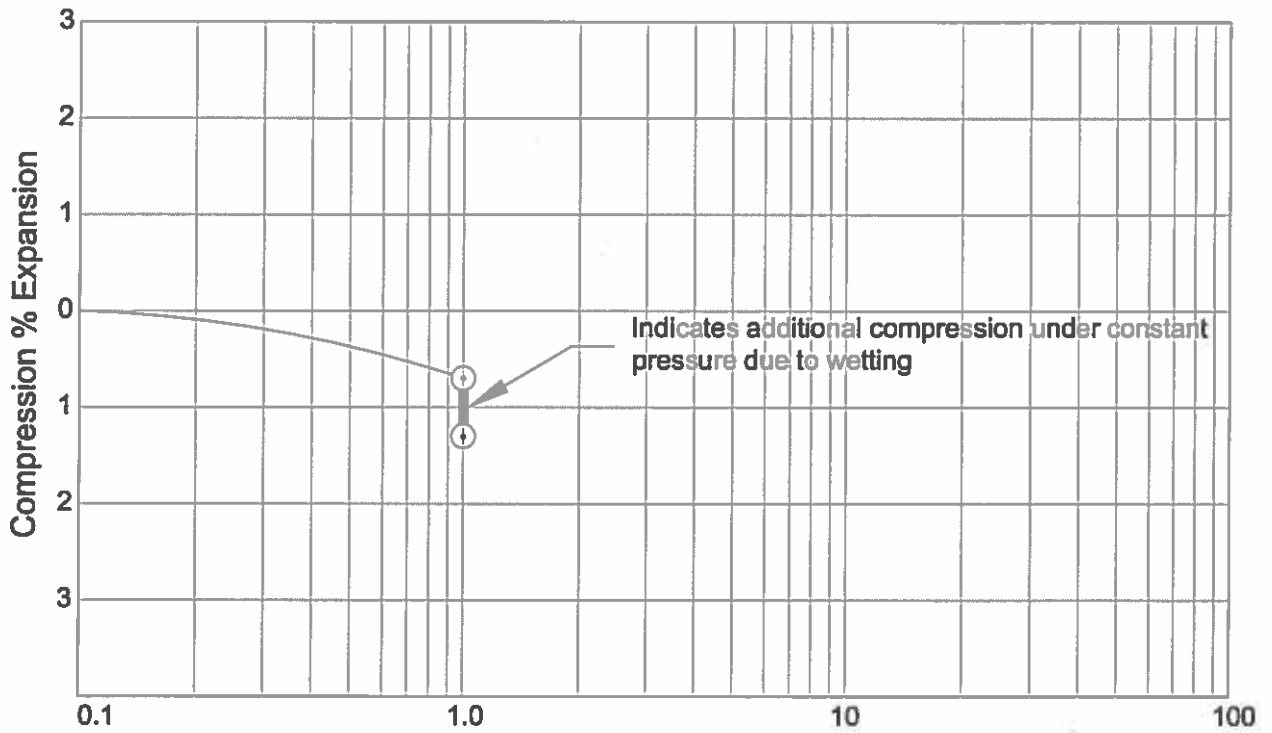
# Geotechnical Engineering Group, Inc.



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-13 @ 3 foot depth

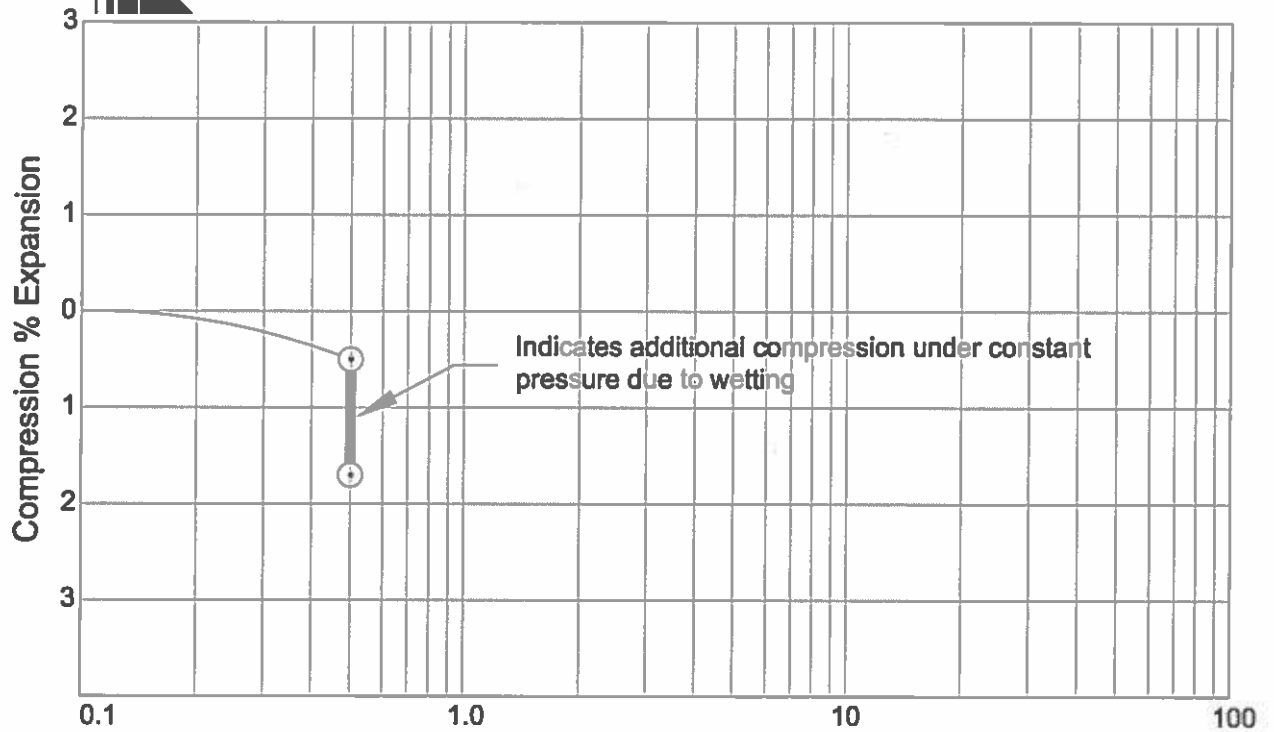
Dry Unit Weight= 107 PCF  
Moisture Content= 15.5 %



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-16 @ 6 foot depth

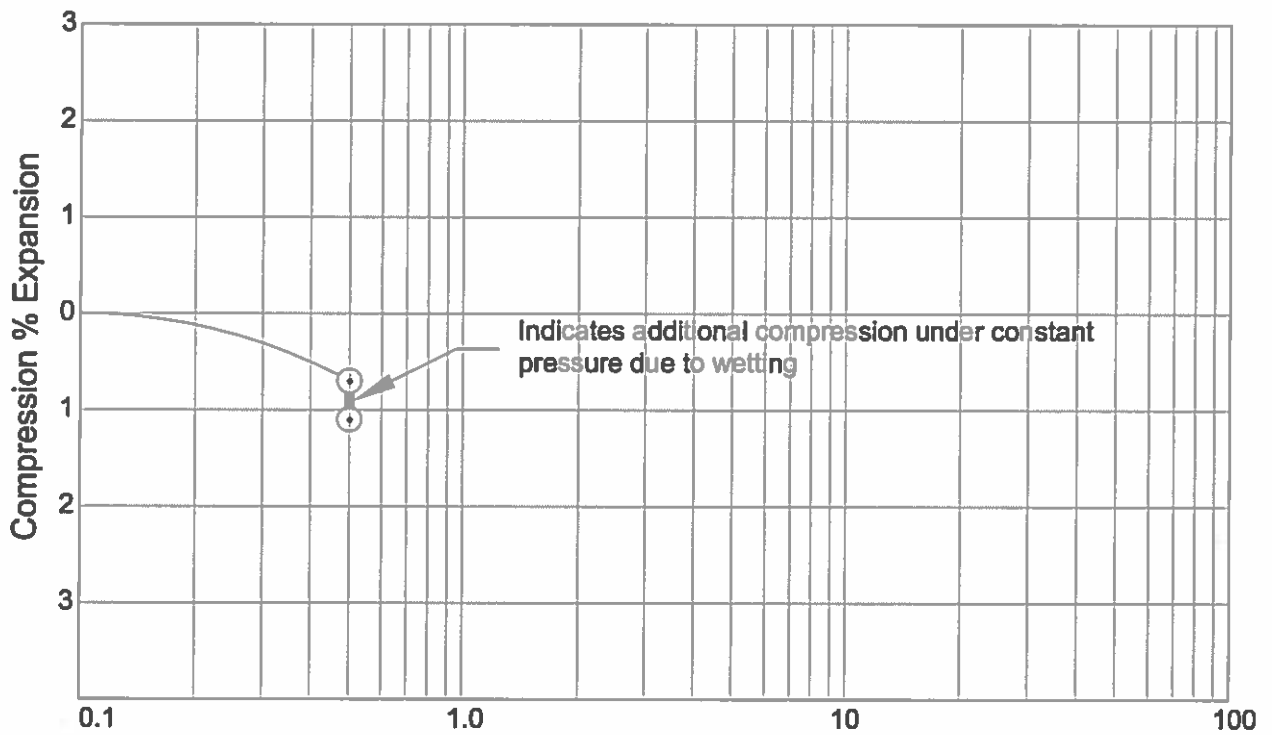
Dry Unit Weight= 105 PCF  
Moisture Content= 18.7 %



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-18 @ 3 foot depth

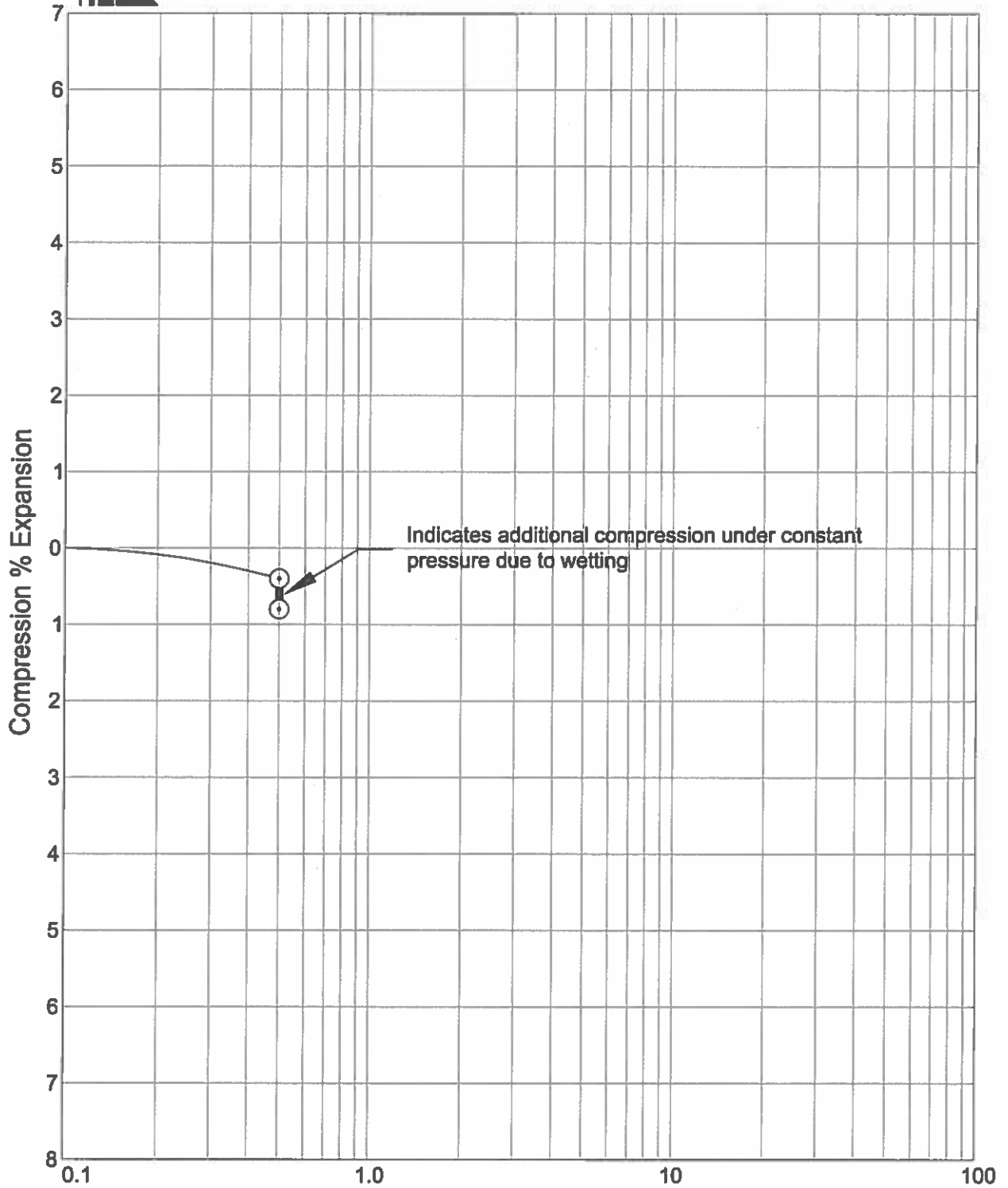
Dry Unit Weight= 92 PCF  
Moisture Content= 7.4 %



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
From: TP-19 @ 3 foot depth

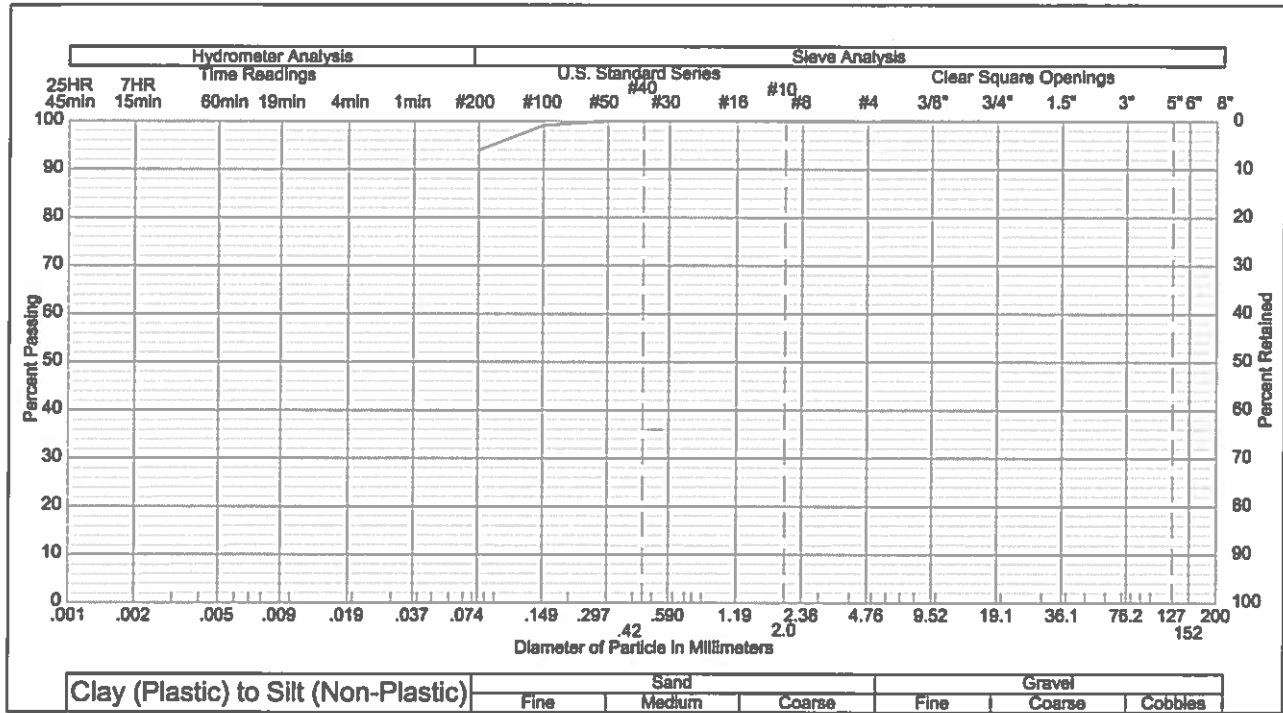
Dry Unit Weight= 91 PCF  
Moisture Content= 14.5 %



Applied Pressure - KSF

Sample of: Clay, silty, sandy (CL)  
 From: TP-21 @ 3 foot depth

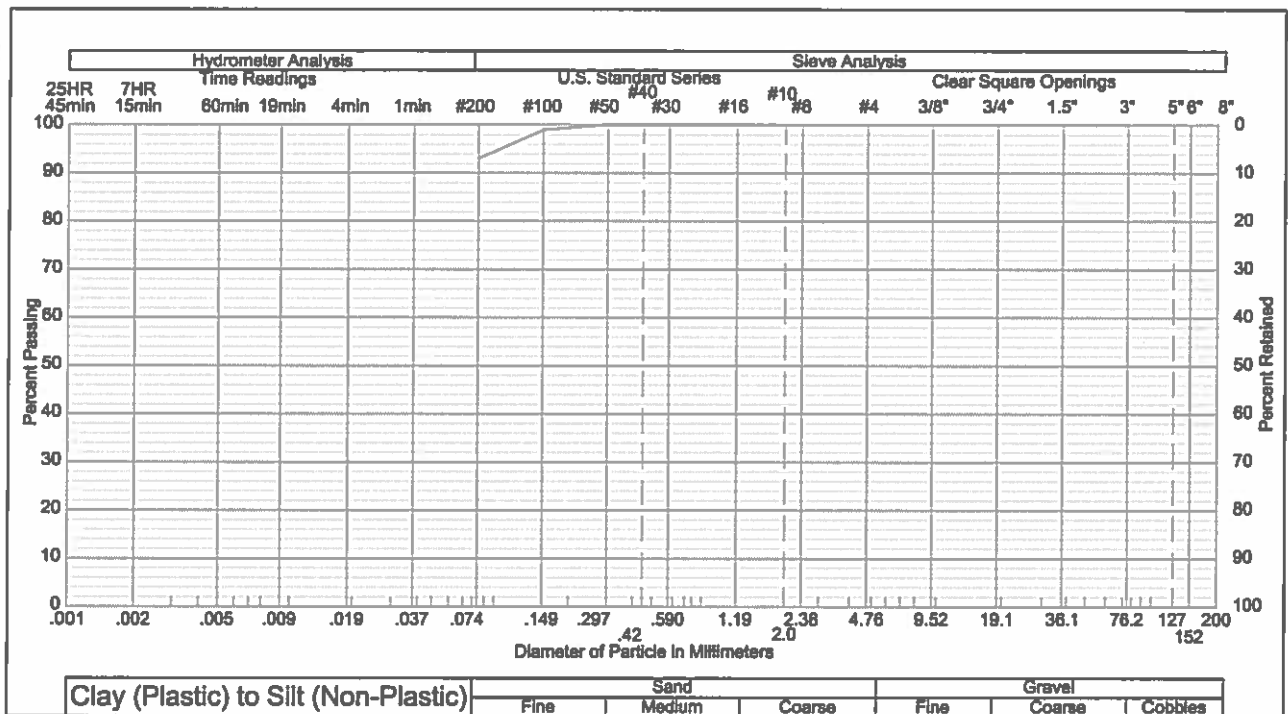
Dry Unit Weight= 96 PCF  
 Moisture Content= 6.8 %



Sample of: Clay, silty, sandy (CL)  
 From: TP-1, 2, 3, 4, 5 @ 0 to 5 foot depth, bulk combined

Gravel: 0 %  
 Silt & Clay: 94 %  
 Plasticity Index: 14

Sand: 6 %  
 Liquid Limit: 29



Sample of: Clay, silty, sandy (CL)  
 From: TP-13 @ 9 foot depth

Gravel: 0 %  
 Silt & Clay: 93 %  
 Plasticity Index:

Sand: 7 %  
 Liquid Limit:

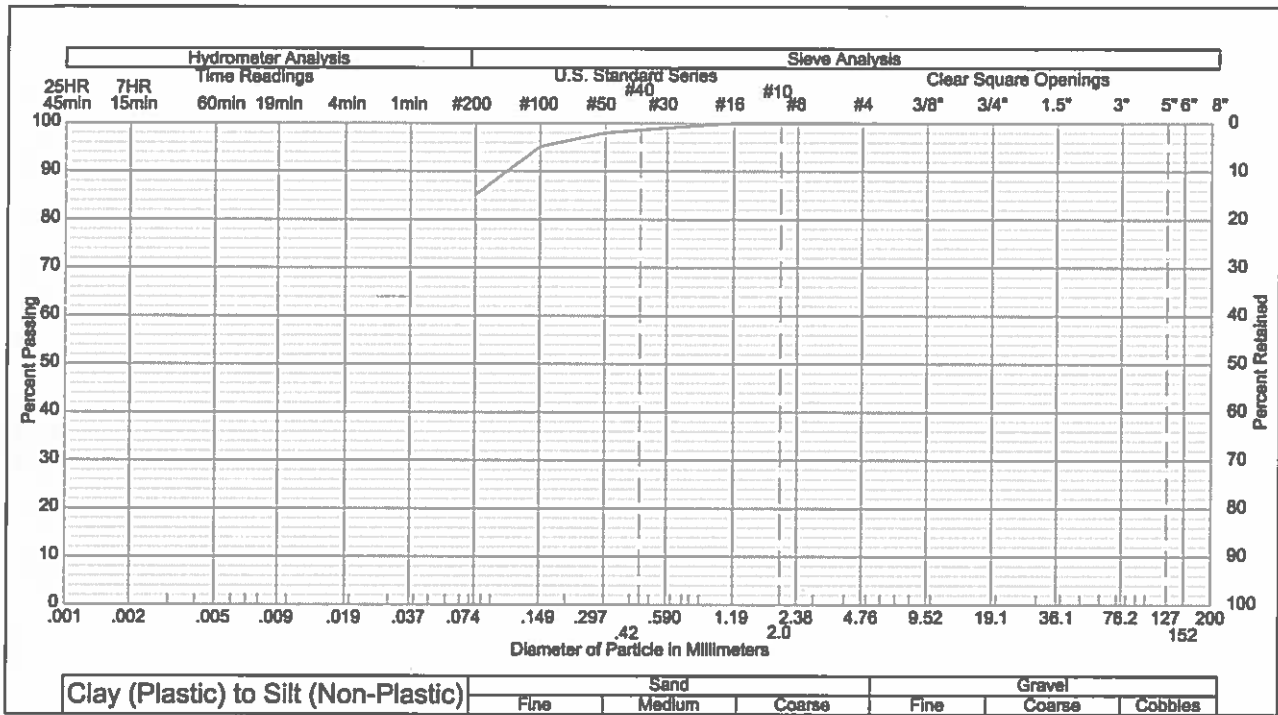
# Gradation Test Results



Job No. 1,328

Date: March, 2003

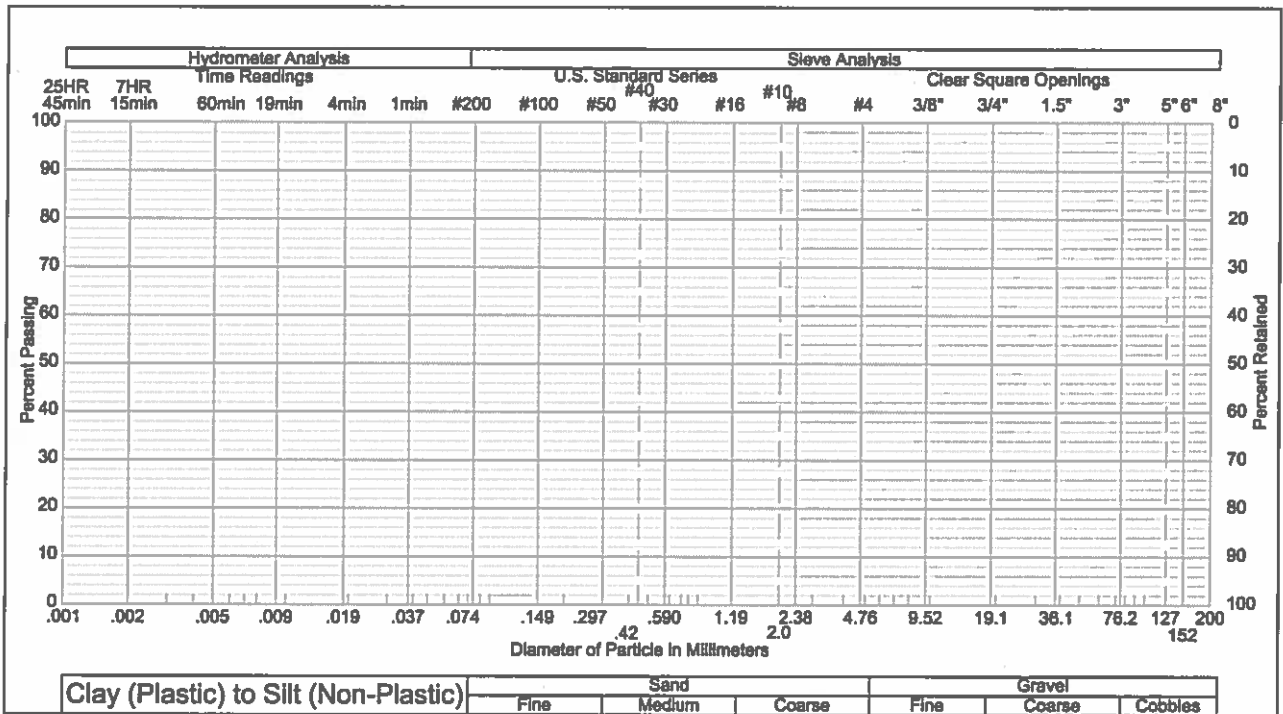
Fig. 15



Sample of: Clay, silty, sandy (CL)  
 From: TP-21 @ 6 foot depth

Gravel: 0 %  
 Silt & Clay: 85 %  
 Plasticity Index:

Sand: 15 %  
 Liquid Limit:



Sample of:  
 From:

Gravel: %  
 Silt & Clay: %  
 Plasticity Index:

Sand: %  
 Liquid Limit:

# Gradation Test Results

Job No. 1,328



Date: March, 2003

Fig. 16

TABLE I

## SUMMARY OF LABORATORY TEST RESULTS

HOLE	DEPTH (FEET)	NATURAL MOISTURE (%)	DRY DENSITY (PCF)	Atterberg Limits		Swell / Consolidation		PASSING NO. 200 SIEVE (%)	WATER SOLUBLE SULFATES (ppm)	SOIL TYPE
				LIQUID LIMIT (%)	PLASTICITY INDEX (%)	SWELL (%)	CONFINING PRESSURE (PSF)			
TP-1 through 6 Bulk Combined	0 - 5	11.9	-	29	14			94	900	Clay, silty, sandy (CL)
TP-7	3	5.0	-	27	11			91		Clay, silty, sandy (CL)
TP-8	6	12.2	100			+0.5	1,000			Clay, silty, sandy (CL)
TP-9	3	7.9	--			-1.4	500			Clay, silty, sandy (CL)
TP-10	3	9.2	91			-2.3	500			Clay, silty, sandy (CL)
	9	19.3	99	41	24			99		Clay (CL)
TP-11	6	13.6	96							Clay, silty, sandy (CL)
TP-12	3	17.9	92			-0.4	500			Clay, silty, sandy (CL)
	6	18.8	97	32	17			97		Clay, sandy (CL)
	9	21.7	100							Clay, silty, sandy (CL)
TP-13	3	15.5	107			+0.0	500			Clay, silty, sandy (CL)
	9	17.2	-					93		Clay, silty, sandy (CL)
TP-14	6	7.9	95	38	21			99		Clay, sandy (CL)



TABLE I

## SUMMARY OF LABORATORY TEST RESULTS

HOLE	DEPTH (FEET)	NATURAL MOISTURE (%)	DRY DENSITY (PCF)	Atterberg Limits		Swell / Consolidation		PASSING NO. 200 SIEVE (%)	WATER SOLUBLE SULFATES (ppm)	SOIL TYPE
				LIQUID LIMIT (%)	PLASTICITY INDEX (%)	SWELL (%)	CONFINING PRESSURE (PSF)			
TP-15	0	5.7	89							Clay, silty, sandy (CL)
	3	7.4	92							Clay, silty, sandy (CL)
	6	9.0	95	37	9			98		Clay, silty (CL)
	9	7.9	96							Clay, silty, sandy (CL)
TP-16	3	20.5	87	32	12			97		Clay (CL)
	6	18.7	100			-0.6	1,000			Clay, silty, sandy (CL)
TP-17	6	5.8	—	23	5			75		Clay, silty, sandy (CL)
TP-18	3	7.4	92			-1.2	500			Clay, silty, sandy (CL)
TP-19	3	14.5	88			-0.4	500			Clay, silty, sandy (CL)
	6	19.5	83	31	14			96		Clay, silty, sandy (CL)
TP-20	3	8.6	93	31	15			88		Clay, sandy (CL)
TP-21	3	6.8	96			-0.4	500			Clay, silty, sandy (CL)
	6	14.6	96					85		Clay, silty, sandy (CL)

**APPENDIX A**

**SAMPLE SITE GRADING SPECIFICATIONS**

## **SAMPLE SITE GRADING SPECIFICATIONS**

### **Shakespeare's Court Subdivision Grand Junction, Colorado Job No. 1,328**

#### **1. DESCRIPTION**

This item shall consist of the excavation, transportation, placement and compaction of materials from locations indicated on the plans, or staked by the Engineer, as necessary to achieve preliminary street and overlot elevations. These specifications shall also apply to compaction of excess cut materials that may be placed outside of the subdivision and/or filing boundaries.

#### **2. GENERAL**

The Soils Engineer shall be the Owner's representative. The Soils Engineer shall approve fill materials, method of placement, moisture contents and percent compaction, and shall give written approval of the completed fill.

#### **3. CLEARING JOB SITE**

The Contractor shall remove all trees, brush, and rubbish before excavation or fill placement is begun. The Contractor shall dispose of the cleared material to provide the Owner with a clean, neat appearing job site. Cleared material shall not be placed in areas to receive fill or where the material will support structures of any kind.

#### **4. SCARIFYING AREA TO BE FILLED**

All topsoil and vegetable matter shall be removed from the ground surface upon which fill is to be placed. The surface shall then be plowed or scarified until the surface is free from ruts, hummocks or other uneven features, which would prevent uniform compaction by the equipment to be used.

**5. COMPACTING AREA TO BE FILLED**

After the foundation for the fill has been cleared and scarified, it shall be disked or bladed until it is free from large clods, brought to the proper moisture content (within 2 percent above or below optimum) and compacted to not less than 95 percent of maximum density as determined in accordance with ASTM D 698. If soft/ yielding subgrade conditions are encountered, stabilization may be required.

**6. FILL MATERIALS**

Fill soils shall be free from vegetable matter or other deleterious substances, and shall not contain rocks or lumps having a diameter greater than six (6) inches. Fill materials shall be obtained from cut areas shown on the plans or staked in the field by the Engineer.

On-site materials classifying as CL, SC, SM, SW, SP, GP, GC and GM are acceptable. Concrete, asphalt, organic matter and other deleterious materials or debris shall not be used as fill.

**7. MOISTURE CONTENT**

Fill materials shall be moisture treated to within  $2 \pm$  percent of optimum moisture content as determined from Proctor compaction tests. Sufficient laboratory compaction tests shall be made to determine the optimum moisture content for the various soils encountered in borrow areas.

The Contractor may be required to add moisture to the excavation materials in the borrow area if, in the opinion of the Soils Engineer, it is not possible to obtain uniform moisture content by adding water on the fill surface. The Contractor may be required to rake or disk the fill soils to provide uniform moisture content through the soils.

The application of water to embankment materials shall be made with any type of watering equipment approved by the Soils Engineer, which will give the desired results. Water jets from the spreader shall not be directed at the embankment with such force that fill materials are washed out.

Should too much water be added to any part of the fill, such that the material is too wet to permit the desired compaction from being obtained, rolling and all work on that section of the fill shall be delayed until the material has been allowed to dry to the required moisture content. The Contractor will be permitted to rework wet material in an approved manner to hasten its drying.

## **8. COMPACTION OF FILL AREAS**

Selected fill material shall be placed and mixed in evenly spread layers. After each fill layer has been placed, it shall be uniformly compacted to not less than the specified percentage of maximum density. Expansive soils classifying as CL or SC shall be compacted to at least 95 percent of the maximum dry density as determined in accordance with ASTM D 698 (100 percent for fill deeper than 15 feet below final grade). At the option of the Soils Engineer, soils classifying as SW, SP, GP, GC or GM may be compacted to 90 percent of the maximum density as determined in accordance with ASTM D 1557 (95 percent for fill deeper than 15 feet below final grade). Fill materials shall be placed such that the thickness of loose material does not exceed 10 inches and the compacted lift thickness does not exceed 6 inches.

Compaction, as specified above, shall be obtained by the use of sheepsfoot rollers, multiple-wheel pneumatic-tired rollers, or other equipment approved by the Engineer for soils classifying as CL or SC. Granular fill shall be compacted using vibratory equipment or other equipment approved by the Soils Engineer. Compaction shall be accomplished while the fill material is at the specified moisture content. Compaction of each layer shall be continuous over the entire area. Compaction equipment shall make sufficient trips to insure that the required density is obtained.

## **9. COMPACTION OF SLOPES**

Fill slopes shall be compacted by means of sheepsfoot rollers or other suitable equipment. Compaction operations shall be continued until slopes are stable, but not too dense for planting, and there is no appreciable amount of loose soil on the slopes. Compaction of slopes may be done progressively in increments of three to five feet (3' to 5') in height or after the fill is brought to its total height. Permanent fill slopes shall not exceed 3:1 (horizontal to vertical).

## **10. DENSITY TESTS**

Field density tests shall be made by the Soils Engineer at locations and depths of his choosing. Where sheepsfoot rollers are used, the soil may be disturbed to a depth of several inches. Density tests shall be taken in compacted material below the disturbed surface. When density tests indicate that the density or moisture content of any layer of fill or portion thereof is below that required, the particular layer or portion shall be reworked until the required density or moisture content has been achieved.

**11. COMPLETED PRELIMINARY GRADES**

All areas, both cut and fill, shall be finished to a level surface and shall meet the following limits of construction:

- A. Overlot cut or fill areas shall be within plus or minus 2/10 of one foot.
- B. Street grading shall be within plus or minus 1/10 of one foot.

The civil engineer, or duly authorized representative, shall check all cut and fill areas to observe that the work is in accordance with the above limits.

**12. SUPERVISION AND CONSTRUCTION STAKING**

Observation by the Soils Engineer shall be continuous during the placement of fill and compaction operations so that he can declare that the fill was placed in general conformance with specifications. All inspections necessary to test the placement of fill and observe compaction operations will be at the expense of the Owner. All construction staking will be provided by the Civil Engineer or his duly authorized representative. Initial and final grading staking shall be at the expense of the owner. The replacement of grade stakes through construction shall be at the expense of the contractor.

**13. SEASONAL LIMITS**

No fill material shall be placed, spread or rolled while it is frozen, thawing, or during unfavorable weather conditions. When work is interrupted by heavy precipitation, fill operations shall not be resumed until the Soils Engineer indicates that the moisture content and density of previously placed materials are as specified.

**14. NOTICE REGARDING START OF GRADING**

The contractor shall submit notification to the Soils Engineer and Owner advising them of the start of grading operations at least three (3) days in advance of the starting date. Notification shall also be submitted at least 3 days in advance of any resumption dates when grading operations have been stopped for any reason other than adverse weather conditions.

**15. REPORTING OF FIELD DENSITY TESTS**

Density tests made by the Soils Engineer, as specified under "Density Tests" above, shall be submitted progressively to the Owner. Dry density, moisture content, of each test taken and percentage compaction shall be reported for each test taken.

**16. DECLARATION REGARDING COMPLETED FILL**

The Soils Engineer shall provide a written declaration stating that the site was filled with acceptable materials, or was placed in general accordance with the specifications.

**17. DECLARATION REGARDING COMPLETED GRADE ELEVATIONS**

A registered Civil Engineer or licensed Land Surveyor shall provide a declaration stating that the site grading has been completed and resulting elevations are in general conformance with the accepted detailed development plan.

**APPENDIX B**

**PAVEMENT DESIGN CALCULATIONS**



# Geotechnical Engineering Group, Inc.

## Moisture- Density Relationship

Project Name: Shakespear's Court  
Subdivision

Sample Location: TP-1, 2, 3, 4, 5 and 6  
@ 0 to 5 foot depth, bulk combined

Sample Description: Clay, silty, sandy (CL)

Test Method: ASTM D698, method A

Maximum Dry Density: 114.0 pcf

Optimum Moisture: 15.5 %

Rock Corrected

Maximum Dry Density: N/A

Optimum Moisture: N/A

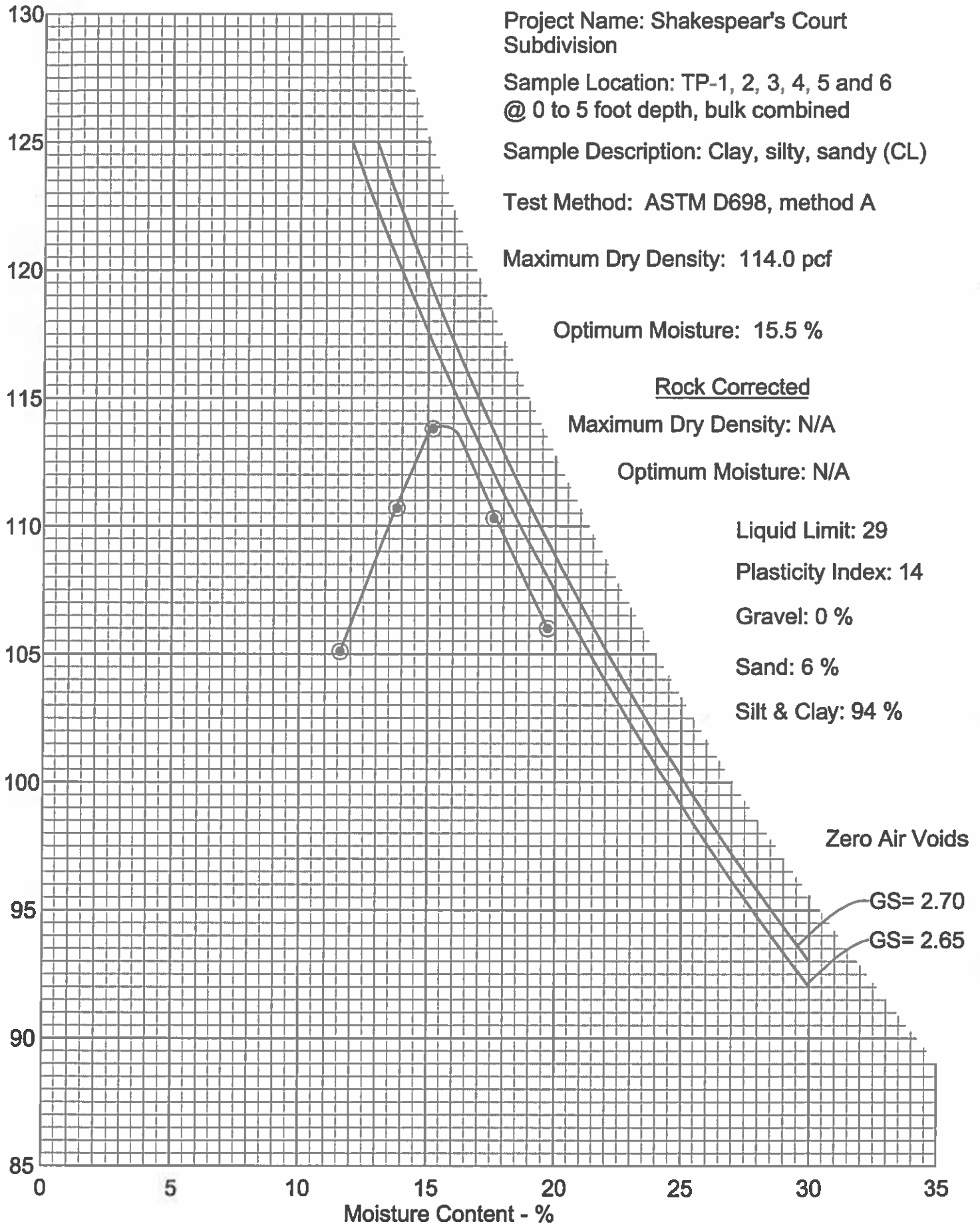
Liquid Limit: 29

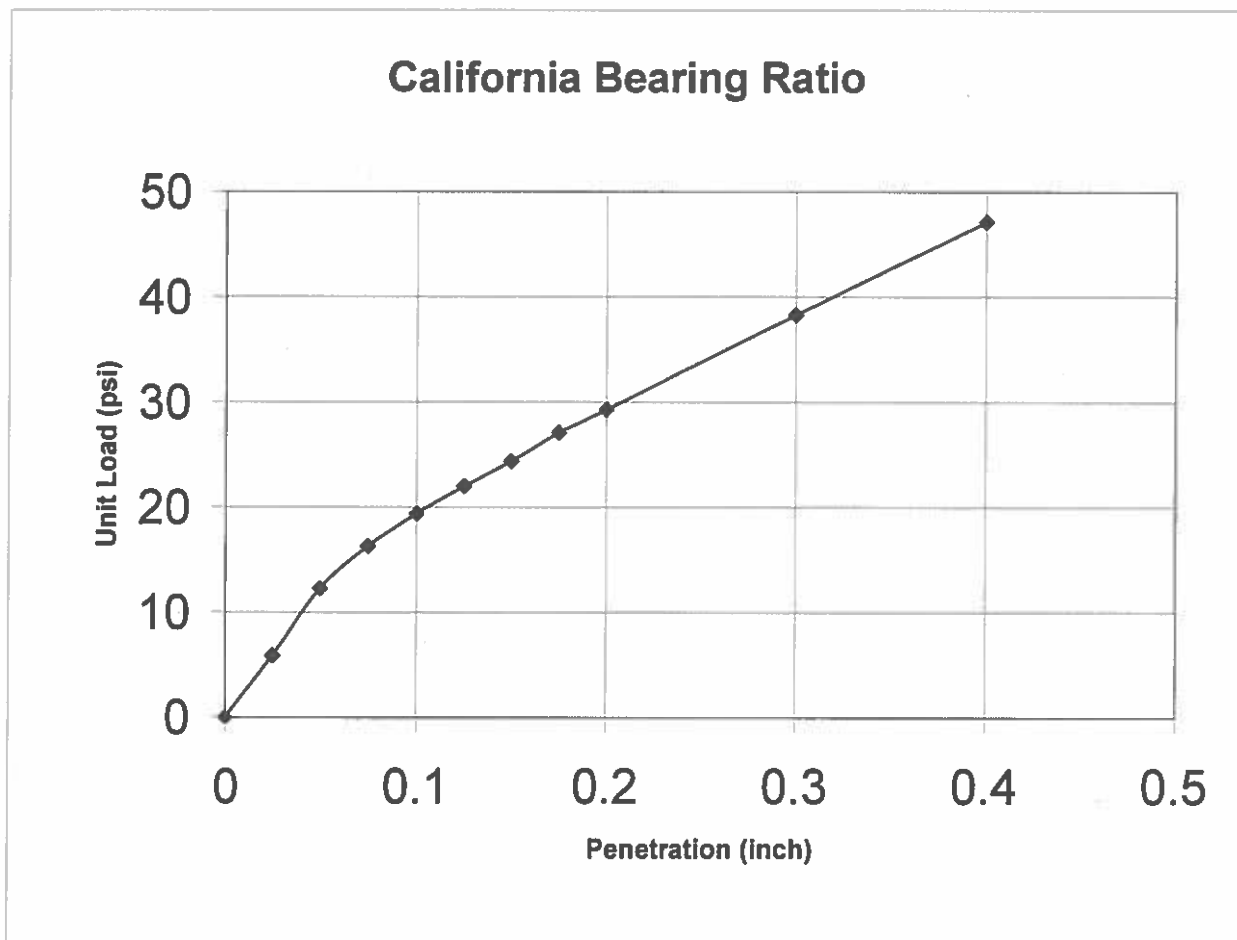
Plasticity Index: 14

Gravel: 0 %

Sand: 6 %

Silt & Clay: 94 %





<b>CBR @ 0.1" Penetration</b>	1.9
<b>CBR @ 0.2" Penetration</b>	2.0
<b>Maximum Dry Density (pcf)</b>	114.0
<b>Optimum Moisture Content (%)</b>	15.5
<b>Dry Density (pcf)</b>	109.0
<b>Dry Density (% Maximum)</b>	95.6
<b>Surcharge Weight (lbs)</b>	10.0
<b>Swell (%)</b>	
<b>Before Soaking Moisture Content</b>	15.7
<b>After Soaking Moisture Content:</b>	
<b>Top Inch</b>	20.6
<b>Average</b>	18.2

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	2.55	Soil Resilient Modulus	3,623.90	psi
Design ESALs	54,750.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.00	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	6.37	2.55
Crushed Stone Base	0.12	1.00	0.00	0.00
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	2.55

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	2.55	Soil Resilient Modulus	3,623.90	psi
Design ESALs	54,750.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.00	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	3.00	1.20
Crushed Stone Base	0.12	1.00	11.22	1.35
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	2.55

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	2.55	Soil Resilient Modulus	3,623.90	psi
Design ESALs	54,750.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.00	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	3.00	1.20
Crushed Stone Base	0.12	1.00	6.00	0.72
Crushed Stone Subbase	0.10	1.00	6.27	0.63
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	2.55

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
 American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
 Company: Job No. 1,328  
 Contractor:  
 Project Description: Shakespeare's Court Subdivision  
 Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	2.55	Soil Resilient Modulus	3,623.90	psi
Design ESALs	54,750.00	Initial Serviceability	4.50	
Reliability	80.00	Terminal Serviceability	2.00	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	4.00	1.60
Crushed Stone Base	0.12	1.00	7.89	0.95
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	2.55

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Rigid Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision, Interior Streets  
Location: 2990 D 1/2 Road

## Rigid Pavement Design/Evaluation

PCC Thickness	4.00	inches	Load Transfer, J	3.20
Design ESALs	54,750.00		Mod. Subgrade Reaction, k	187 psi/in
Reliability	80.00	percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.35		Initial Serviceability	4.50
Modulus of Rupture	500	psi	Terminal Serviceability	2.00
Modulus of Elasticity	3,375,000	psi		

### Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade	3,623.90	psi
Resilient Modulus of the Subbase	0.0	psi
Subbase Thickness	0.0	inches
Depth to Rigid Foundation	0.0	feet
Loss of Support Value (0,1,2,3)	0.0	

Modulus of Subgrade Reaction	186.80	psi/in
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# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	3.22	Soil Resilient Modulus	3,623.90	psi
Design ESALs	219,000.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.50	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	8.06	3.22
Crushed Stone Base	0.12	1.00	0.00	0.00
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	3.22



# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
 American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
 Company: Job No. 1,328  
 Contractor:  
 Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
 Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	3.22	Soil Resilient Modulus	3,623.90	psi
Design ESALs	219,000.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.50	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	3.00	1.20
Crushed Stone Base	0.12	1.00	16.87	2.02
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	3.22

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
 American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
 Company: Job No. 1,328  
 Contractor:  
 Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
 Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	3.22	Soil Resilient Modulus	3,623.90	psi
Design ESALs	219,000.00	Initial Serviceability	4.50	
Reliability	80.00	Terminal Serviceability	2.50	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	5.00	2.00
Crushed Stone Base	0.12	1.00	10.20	1.22
	0.10	1.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	3.22

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	3.22	Soil Resilient Modulus	3,623.90	psi
Design ESALs	219,000.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.50	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	3.00	1.20
Crushed Stone Base	0.12	1.00	6.00	0.72
Crushed Stone Subbase	0.10	1.00	13.04	1.30
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	3.22

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Flexible Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
Location: 2990 D 1/2 Road

## Flexible Pavement Design/Evaluation

Structural Number	3.22	Soil Resilient Modulus	3,623.90	psi
Design ESALs	219,000.00	Initial Serviceability	4.50	
Reliability	80.00 percent	Terminal Serviceability	2.50	
Overall Deviation	0.45			

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.40	1.00	4.00	1.60
Crushed Stone Base	0.12	1.00	6.00	0.72
Crushed Stone Subbase	0.10	1.00	9.04	0.90
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			$\Sigma$ SN	3.22

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
American Concrete Pavement Association

## Rigid Design Inputs

Agency:  
Company: Job No. 1,328  
Contractor:  
Project Description: Shakespeare's Court Subdivision, D 1/2 Road 1/2 Lane Addition  
Location: 2990 D 1/2 Road

## Rigid Pavement Design/Evaluation

PCC Thickness	5.36	inches	Load Transfer, J	3.20
Design ESALs	219,000.00		Mod. Subgrade Reaction, k	187 psi/in
Reliability	80.00	percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.35		Initial Serviceability	4.50
Modulus of Rupture	500	psi	Terminal Serviceability	2.50
Modulus of Elasticity	3,375,000	psi		

### Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade	3,623.90	psi
Resilient Modulus of the Subbase	0.0	psi
Subbase Thickness	0.0	inches
Depth to Rigid Foundation	0.0	feet
Loss of Support Value (0,1,2,3)	0.0	

Modulus of Subgrade Reaction	187.00	psi/in
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**APPENDIX C**  
**CONSTRUCTION RECOMMENDATIONS**  
**FOR FLEXIBLE AND RIGID PAVEMENT**

## FLEXIBLE PAVEMENT CONSTRUCTION RECOMMENDATIONS

Experience has shown that construction methods can have a significant effect on the life and serviceability of a pavement system. We recommend the proposed pavement be constructed in the following manner:

1. The subgrade should be stripped of organic matter and deleterious materials, scarified, moisture treated and compacted. Soils should be scarified a minimum 10-inches depth, moisture treated to within 2 percent of optimum moisture content and compacted to at least 95 percent of maximum standard Proctor dry density (ASTM D 698).
2. After final subgrade elevation has been reached and the subgrade compacted, the area should be proof-rolled with a heavy pneumatic-tired vehicle (i.e., a loaded 10-wheel dump truck). Subgrade that is pumping or deforming excessively should be stabilized.
3. If areas of soft or wet subgrade are encountered, the material should be subexcavated and replaced with properly compacted structural backfill. Where extensively soft, yielding subgrade is encountered, we recommend the excavation be inspected by a representative of our office.
4. Aggregate base course should be laid in thin, loose lifts, moisture treated to within 2 percent of optimum moisture content, and compacted to at least 95 percent of maximum modified Proctor dry density (ASTM D 1557, AASHTO T 180).
5. Aggregate sub base course should be laid in thin, loose lifts, moisture treated to within 2 percent of optimum moisture content, and compacted to at least 95 percent of maximum modified Proctor dry density (ASTM D 1557, AASHTO T 180).
6. Asphaltic concrete should be hot plant-mixed material compacted to between 92 and 96 percent of maximum Theoretical density. The temperature at laydown time should be at least 235 degrees F. The maximum compacted lift should be 3.0 inches and joints should be staggered.
7. The subgrade preparation and the placement and compaction of all pavement material should be observed and tested. Compaction criteria should be met prior to the placement of the next paving lift. The additional requirements of the Colorado Department of Transportation and City of Grand Junction Specifications should apply.

## RIGID PAVEMENT CONSTRUCTION RECOMMENDATIONS

Rigid pavement sections are not as sensitive to subgrade support characteristics as flexible pavement. Due to the strength of the concrete, wheel loads from traffic are distributed over a large area and the resulting subgrade stresses are relatively low. The critical factors affecting the performance of a rigid pavement are the strength and quality of the concrete, and the uniformity of the subgrade. We recommend subgrade preparation and construction of the rigid pavement section be completed in accordance with the following recommendations:

1. Subgrade areas should be stripped of organics and deleterious materials. The pavement subgrade should be scarified a minimum 10-inches depth, moisture conditioned to within 2% of optimum moisture content and compacted to at least 95% of maximum standard Proctor dry density (ASTM D 698). Moisture treatment and compaction recommendations also apply where additional fill is necessary.
3. The resulting subgrade shall be checked for uniformity and all soft or yielding materials should be replaced prior to paving. Concrete should not be placed on soft, spongy, frozen, or otherwise unsuitable subgrade.
4. The subgrade shall be kept moist prior to paving.
5. Concrete should not be placed in cold weather nor on frozen subgrade.
6. Curing procedures should protect the concrete against moisture loss, rapid temperature change, freezing, and mechanical injury for at least 3 days after placement. Traffic should not be allowed on the pavement for at least one week.
7. A white, liquid membrane curing compound, applied at the rate of 1 gallon per 150 square feet, should be used.
8. Construction joints, including longitudinal joints and transverse joints, should be formed during construction or should be sawed shortly after the concrete has begun to set, but prior to uncontrolled cracking. All joints should be sealed.
9. Construction control and inspection shall be carried out during the subgrade preparation and paving procedures. Concrete shall be carefully monitored for quality control. The additional requirements of the City of Grand Junction and Colorado Department of Transportation Specifications should apply.
10. Deicing salts should not be used for the first year after placement.





**ASTM E1528 TRANSACTION SCREEN PROCESS**  
**Shakespeare's Court Subdivision – 2980 and 2990 D½ Road**  
**Grand Junction, Colorado**

*Prepared for*

**ISRE, LLC**

1134 24 Road

Grand Junction, Colorado 81505

*Prepared by*

**Rare Earth Science, LLC**

844 Grand Avenue

Grand Junction, Colorado 81501

**February 20, 2003**

February 21, 2003

Lisa Comstock  
ISRE, LLC  
1134 24 Road  
Grand Junction, Colorado 81505

**Re: ASTM E1528 Transaction Screen Process  
Shakespeare's Court Subdivision - Grand Junction, Colorado**

Dear Ms. Comstock:

This document reports the results of the Transaction Screen Process, which was performed by Rare Earth Science, LLC (Rare Earth) at the request of Crane Associates, LLC for ISRE, LLC (ISRE). The subject property is identified as the proposed Shakespeare's Court Subdivision, an approximate 19.4-acre tract of residential and undeveloped land located at 2980 and 2990 D $\frac{1}{2}$  Road, roughly 3.5 miles east of downtown Grand Junction, Colorado. The property consists of Mesa County Tax Parcel Nos. 2943-171-00-143 and 2943-171-00-144, with a general legal description of SE $\frac{1}{4}$ , NE $\frac{1}{4}$ , Section 17, Township 1 South, Range 1 East (Ute PM), in Mesa County (Attachment 1). A future residential subdivision is planned for the subject property.

No *recognized environmental conditions* per American Society for Testing and Materials (ASTM) E1528-00 were identified during the Transaction Screen Process. Rare Earth concludes that no further inquiry is needed at Shakespeare's Court Subdivision.

**Methods and Findings**

Rare Earth performed the Transaction Screen Process in conformance with the ASTM E1528-00 guidance document, *Standard Practice for Environmental Site Assessments: Transaction Screen Process*. The Transaction Screen Process consists of asking questions contained in the Transaction Screen Questionnaire of the property owner (and occupant, if applicable), observing site conditions on the property with direction provided by the questionnaire, and conducting limited research regarding reasonably ascertainable government records and standard historical sources. The completed Transaction Screen Questionnaire is provided as Attachment 2.

On February 18, 2003, a Rare Earth representative inspected the subject property for evidence of *recognized environmental conditions*. ASTM defines recognized environmental conditions as the presence or likely presence of any *hazardous substances* or *petroleum products* on a *property* under circumstances that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property. A recognized environmental condition may include the presence or likely presence of hazardous substances or petroleum products under conditions in compliance with laws. Recognized environmental conditions do not include *de minimis* conditions that would not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. No recognized environmental conditions were observed during our February 18, 2003 reconnaissance of the property.

The subject property is primarily undeveloped land, with two separate rental dwellings and a garage/shop building. The dwellings appeared to be served by public utilities for natural gas, electrical, telephone, and water supplies. According to the present owner (Lisa Comstock at ISRE), the property was previously owned by the Johnson family (since at least the 1960s) and has been primarily an undeveloped tract of land.

Adjoining properties are primarily residential to the west, south and east. Adjoining properties to the north include a single-family dwelling and the Banner Industrial Park (with owners/tenants that include R-W Specialties, Brock Bit Services, and Gunn's Generator Service). R-W Specialties apparently sells wholesale lumber and heating supplies; Brock Bit Service appears to be an oilfield drill-bit repair service; and, Gunn's Generator Service appears to be a service/repair facility for electrical generators. No evidence of past or present hazardous materials/petroleum product storage or disposal was observed at the adjoining properties.

Neither dwelling was entered and evaluated during this project, since the occupants were not available at the time of site reconnaissance.

The larger, older dwelling located at 2990 D $\frac{1}{2}$  Road is characterized as a 2-story wooden-frame structure with a fenced yard and a detached wooden garage/shop building with a concrete-slab floor. A moderate amount of discarded farm equipment, tires, and scrap wood was observed on the ground to the north and west of the older dwelling, along with domestic rubbish (i.e., bottles, white-gas fuel can, paper and plastic waste). Eight, steel 55-gallon drums were noted north and west of the 2990 D $\frac{1}{2}$  Road dwelling, with at least one partially-full drum. The drum contents are unknown. A discarded tractor battery was observed on the ground near the west side of this dwelling. The garage/shop building was found to contain two Jeep vehicles and a variety of automotive tools and supplies, along with domestic rubbish and beer bottles. No floor drains or sumps were observed in the structure; however, plywood sheets and the vehicles covered a large portion of the concrete-slab floor.

The second dwelling (2980 D $\frac{1}{2}$  Road) is a single story wooden-frame structure. On the north side of this dwelling, a burn area (approximately 4-foot diameter) was observed on the ground surface. It is not known if either dwelling has a basement. No exterior standpipes were observed at either dwelling, which would possibly indicate the presence of an old (or abandoned) underground storage tanks (USTs) previously used for heating fuel. Other than some minor oil stains from vehicle leaks/drips, and blackened ground from an apparent coal storage pile (immediate west side of 2990 D $\frac{1}{2}$  Road dwelling), no large areas of stained or discolored soils, or foul odors, were apparent during the site reconnaissance.

Rare Earth also noted shallow depressions and irrigation ditches in numerous areas of the site, and 3-inch (yellow) and 8-inch diameter (blue) vertical steel casings/standpipes (capped) near the northeast corner of the property. The standpipes appeared to be used for irrigation purposes at the property. An overhead power line was observed along the south boundary of the property on D $\frac{1}{2}$  Road. The subject property is bounded on the west and east by a large irrigation ditch, which flows in a general east-west and north-south direction and is fed by main canals originating at the Colorado River. A small volume of water was observed in the ditch during the site visit. Reconnaissance photographs are provided in Attachment 3.

Regulatory agency database information was obtained from an Environmental Data Resources, Inc. (EDR) Transaction Screen Map Report (Attachment 4), which maps and lists sites in federal, state, and local government environmental databases with existing conditions or regulatory status that may have the potential to impact the subject property. EDR's report meets the government records search requirements of ASTM E1528-00.

The subject property itself does not appear in any of the regulatory agency databases; however, one site was found in EDR's search of reasonably ascertainable government records within  $\frac{1}{2}$  mile of the subject property (see Transaction Screen Questionnaire, Question 22). The site (John's Pantry [2998 North Avenue]) appears to have suffered a gasoline spill and flash fire in August 2001. The business is also listed as having a leaking underground storage tank (LUST) with an "open" regulatory status, meaning the site has not been formally closed by the Colorado Department of Labor and Employment's Oil Inspection Section. John's Pantry is located topographically upgradient, and approximately  $\frac{1}{2}$  mile north, of the subject property.

The Colorado Department of Public Health and Environment's (CDPHE) Grand Junction office was contacted to determine if any information related to uranium mill tailings disposal or remediation was available for the subject property. According to the CDPHE records, a survey was performed at the 2980 and 2990 D $\frac{1}{2}$  Road dwellings on May 1, 1971 and there was no indication of mill tailings at either site.

Rare Earth inspected black and white aerial photographs provided by the Natural Resource Conservation Service's office in Grand Junction for the years 1970, 1977, 1986 and 1988, along with a recent (2002) color photograph from the Mesa County GIS Department, for documentation that historic industrial activity, large-scale storage of hazardous materials or petroleum products, or waste dumping has not occurred on the subject property. Each photograph showed the property as

generally undeveloped, disturbed only by irrigation activities and some vehicular tracks. The 2990 D $\frac{1}{2}$  Road dwelling appears in the 1970 photograph, along with scattered dwellings to the west, south, and east. The 2980 D $\frac{1}{2}$  Road dwelling appears in the 1977 photograph, along with the large warehouse building on the adjoining property to the north (currently occupied by R-W Specialties). The 1986 and 2002 aerial photographs are included as Attachment 5. Historic Sanborn fire insurance maps, another source of information about historic activities in the area, are not available for the property.

### **Recommendations**

No recognized environmental conditions (per American Society for Testing and Materials [ASTM] E1528-00) were identified during the Transaction Screen Process. However, based on the findings of the site reconnaissance, Rare Earth recommends that the interior of each dwelling be inspected once the tenants vacate the site (and prior to demolition) for potential asbestos-containing materials (ACM) and for the presence of a heating-oil UST. Because of the 2990 D $\frac{1}{2}$  Road dwelling's age, the potential for ACM exists in the form of wallboard, floor tile/mastic, and pipe/boiler insulation. Relatively simple investigative sampling methods are available to survey the structure for the presence of ACM. The heating system should be evaluated to determine if fuel oil was ever used on the premises, and the basement (or crawl space) should be observed for any obvious piping that might connect to a UST.

Additionally, the contents of a partially-full 55-gallon drum located northwest of the 2990 D $\frac{1}{2}$  Road dwelling should be characterized and, if necessary, properly disposed at a waste-handling facility.

### **Limitations**

This report to ISRE is a professional opinion and judgment, dependent upon information obtained during the course of performance of the services. While the Transaction Screen Process provides information regarding the environmental condition of a particular property, environmental conditions may exist that cannot be identified only by visual observation. Where the scope of services is limited to observations made during site reconnaissance, interviews, and/or review of readily available reports and literature, any conclusions and/or recommendations are necessarily based in part on information supplied by others, the accuracy or sufficiency of which may not be independently reviewed by Rare Earth.

No investigation is thorough enough to exclude the presence of hazardous substances, petroleum products, or contamination resulting from spills of these products at a given property. Therefore, if no hazardous substances or materials or petroleum products are identified during the assessment, such a finding should not be construed as a guarantee of the absence of such materials or contamination due to such materials on the property, but rather should only be considered the results of services performed within the scope, limitations, and cost of the work performed.

Any opinions and/or recommendations presented in this report apply to property conditions existing at the time of performance of services. Rare Earth is unable to report on or accurately predict events that may impact the property following performance of the described services, whether occurring naturally or caused by external forces. Rare Earth assumes no responsibility for conditions that Rare Earth is not authorized to investigate, or conditions generally recognized as environmentally unacceptable at the time services are performed. Rare Earth is not responsible for changes in applicable environmental standards, practices or regulations following performance of services.

We appreciate the opportunity to provide ISRE with environmental services. Please contact me at 241-1762 for further information.

Respectfully submitted,

**Rare Earth Science, LLC**

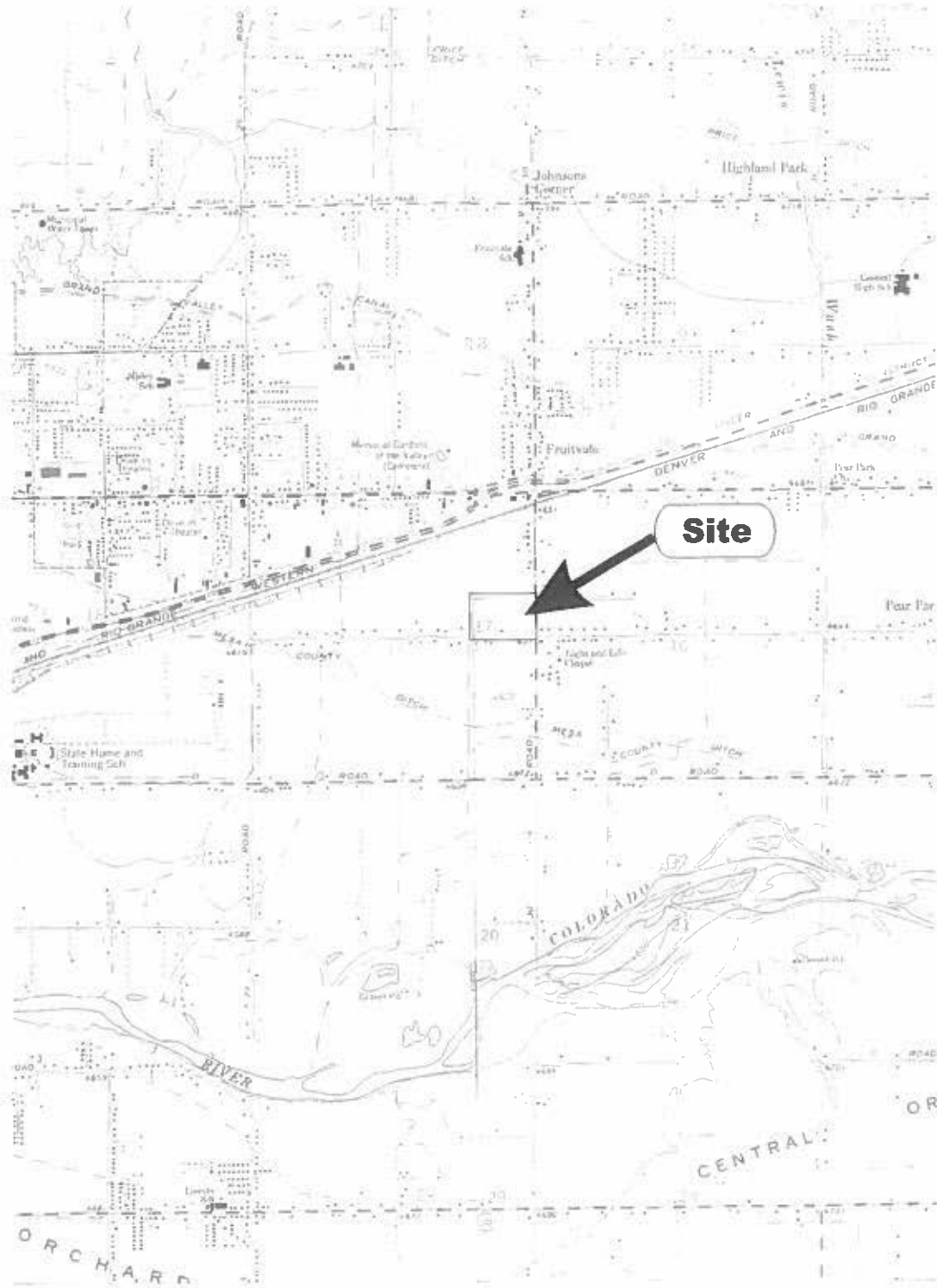
A handwritten signature in black ink, appearing to read 'James C. Armstrong', with a long horizontal flourish extending to the right.

James C. Armstrong  
Principal Environmental Scientist

### **Attachments**

1. Site Location Map
2. Completed ASTM E1528 Transaction Screen Questionnaire
3. Reconnaissance Photographs
4. EDR Transaction Screen Map Report
5. Aerial Photographs

**ATTACHMENT 1**  
**SITE LOCATION MAP**



Adapted from USGS 7.5 Minute Topographic Series Maps  
 "Grand Junction and Clifton, CO" 1962 (Rev. 1973)  
 Scale Adjusted to 1 Inch = 3,000 Feet (Approx.)  
 ALL LOCATIONS ARE APPROXIMATE

## SITE LOCATION MAP - SHAKESPEARE'S COURT

Transaction Screen Process

Prepared by Rare Earth Science, LLC

844 Grand Avenue, Grand Junction, CO 81501

February 2003



**ATTACHMENT 2**  
**COMPLETED ASTM E1528 TRANSACTION**  
**SCREEN QUESTIONNAIRE**

# ASTM E1528 Transaction Screen Questionnaire

**Site Name:** Shakespeare's Court Subdivision  
**Client:** ISRE, LLC  
**Address/Location:** 2980 and 2990 D½ Road (SE¼, NE¼, Sec. 17, T1S, R1E)  
 Grand Junction, Colorado

Question	Owner	Occupants (if applicable)	Observed During Site Visit
1a. Is the property used for an industrial use?	No	N/A	No
1b. Is any adjoining property used for an industrial use?	Unknown	N/A	YES (light industrial, warehousing)
2a. Did you observe evidence or do you have any prior knowledge that the property has been used for an industrial use in the past?	No	N/A	No
2b. Did you observe evidence or do you have any prior knowledge that the adjoining property has been used for an industrial use in the past?	Unknown	N/A	No
3a. Is the property used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing or recycling facility (if applicable, identify which)?	No	N/A	No
3b. Is any adjoining property used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing or recycling facility (if applicable, identify which)?	No	N/A	No
4a. Did you observe evidence, or do you have prior knowledge that the property has been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing or recycling facility (if applicable, identify which)?	No	N/A	No
4b. Did you observe evidence, or do you have prior knowledge that any adjoining property has been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing or recycling facility (if applicable, identify which)?	Unknown	N/A	No
5a. Are there currently any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of > 5 gal (19 L) in volume or 50 gal (190 L) in the aggregate, stored on or used at the property or at the facility?	Unknown	N/A	YES (one tractor battery)

ASTM E1528 Transaction Screen Questionnaire – Shakespeare's Court

Question	Owner	Occupants (if applicable)	Observed During Site Visit
5b. Did you observe evidence, or do you have prior knowledge that there have been previously any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of > 5 gal (19 L) in volume or 50 gal (190 L) in the aggregate, stored on or used at the property or at the facility?	Unknown	N/A	No
6a. Are there currently any industrial drums (typically 55 gal [208 L]) or sacks of chemical located on the property or at the facility?	Unknown	N/A	YES (mostly empty, one partial full)
6b. Did you observe evidence, or do you have any prior knowledge that there have been previously any industrial drums (typically 55 gal [208 L]) or sacks of chemical located on the property or at the facility?	Unknown	N/A	No
7a. Did you observe evidence or do you have any prior knowledge that fill dirt has been brought onto the property that originated from a contaminated site?	Unknown	N/A	No
7b. Did you observe evidence or do you have any prior knowledge that fill dirt has been brought onto the property that is of an unknown origin?	Unknown	N/A	No
8a. Are there currently any pits, ponds, or lagoons located on the property in connection with waste treatment or waste disposal?	No	N/A	No
8b. Did you observe evidence, or do you have any prior knowledge that there have been previously any pits, ponds, or lagoons located on the property in connection with waste treatment or waste disposal?	Unknown	N/A	No
9a. Are there currently any stained soils on the property?	Unknown	N/A	YES (minor)
9b. Did you observe evidence or do have any prior knowledge that there has been previously, any stained soils on the property?	Unknown	N/A	No
10a. Are there currently any registered or unregistered storage tanks (above or underground) located on the property?	Unknown	N/A	No
10b. Did you observe evidence or do have any prior knowledge that there has been previously, any registered or unregistered storage tanks (above or underground) located on the property?	Unknown	N/A	No
11a. Are there currently any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the property or adjacent to any structure located on the property?	Unknown	N/A	YES (likely for irrigation only – NE corner of site)

ASTM E1528 Transaction Screen Questionnaire – Shakespeare's Court

Question	Owner	Occupants (if applicable)	Observed During Site Visit
11b. Did you observe evidence or do have any prior knowledge that there has been previously, any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the property or adjacent to any structure located on the property?	Unknown	N/A	No
12a. Is there currently evidence of leaks, spills or staining by substances other than water, or foul odors, associated with any flooring, drains, walls, ceilings, or exposed grounds on the property?	Unknown	N/A	No
12b. Did you observe evidence or do you have any prior knowledge that there have been previously any leaks, spills or staining by substances other than water, or foul odors, associated with any flooring, drains, walls, ceilings, or exposed grounds on the property?	Unknown	N/A	No
13a. If the property is served by a private well or non-public water system, is there evidence or do you have prior knowledge that contaminants have been identified in the well or system that exceed guidelines applicable to the water system?	No	N/A	No
13b. If the property is served by a private well or non-public water system, is there evidence or do you have prior knowledge that the well has been designated as contaminated by any government environmental/health agency?	No	N/A	No
14. Does the owner or occupant of the property have any knowledge of environmental liens or governmental notification relating to past or recurrent violations of environmental laws with respect to the property or any facility located on the property?	No	N/A	No
15a. Has the owner or occupant of the property been informed of the past existence of hazardous substances or petroleum products with respect to the property or any facility located on the property?	No	N/A	No
15b. Has the owner or occupant of the property been informed of the current existence of hazardous substances or petroleum products with respect to the property or any facility located on the property?	No	N/A	No
15c. Has the owner or occupant of the property been informed of the past existence of environmental violations with respect to the property or any facility located on the property?	No	N/A	No

ASTM E1528 Transaction Screen Questionnaire – Shakespeare's Court

Question	Owner	Occupants (if applicable)	Observed During Site Visit
15d. Has the owner or occupant of the property been informed of the current existence of environmental violations with respect to the property or any facility located on the property?	No	N/A	No
16. Does the owner or occupant of the property have any knowledge of any environmental site assessment of the property or facility that indicated the presence of hazardous substances or petroleum products on, or contamination of, the property or recommended further assessment of the property?	No	N/A	No
17. Does the owner or occupant of the property know of any past, threatened, or pending lawsuits or administrative proceedings concerning a release or threatened release of any hazardous substance or petroleum products involving the property by any owner or occupant of the property?	No	N/A	No
18a. Does the property discharge waste water (not including sanitary waste or storm water) onto or adjacent to the property and/or into a storm water system?	No	N/A	No
18b. Does the property discharge waste water (not including sanitary waste or storm water) onto or adjacent to the property and/or into a sanitary sewer system?	No	N/A	No
19. Did you observe evidence or do you have any prior knowledge that any hazardous substances or petroleum products, unidentified waste materials, tires, automotive or industrial batteries, or any other waste materials have been dumped above grade, buried and/or burned on the property?	Unknown	N/A	YES (discarded tires, tractor battery)
20. Is there a transformer, capacitor, or any hydraulic equipment for which there are any records indicating the presence of PCBs?	Unknown	N/A	No

**Government Records/Historical Sources Inquiry**

<p>21. Do any of the following Federal government records systems list the property or any property within the search distance noted below:</p> <p>Federal NPL site list                  Federal CERCLIS list                  Federal CERCLIS NFRAP site list                  Federal RCRA CORRACTS facilities list                  Federal RCRA non-CORRACTS TSD facilities list                  Federal RCRA generators list                  Federal ERNS list</p>	<p>Approximate Minimum Search Distance, miles (kilometers)</p> <p>1.0 (1.6)                  0.5 (0.8)                  Property and adjoining properties                  1.0 (1.6)                  0.5 (0.8)                  Property and adjoining properties                  Property only</p>	<p>No                  No                  No                  No                  No                  No                  No</p>
<p>22. Do any of the following state record systems list the property or any property within the search distance notes below:</p> <p>State lists of hazardous waste sites identified for investigation or remediation:</p> <p>State – Equivalent NPL                  State – Equivalent CERCLIS                  State landfill and/or solid waste disposal site lists                  State leaking UST lists                  State registered UST sites</p>	<p>1.0 (1.6)                  0.5 (0.8)                  0.5 (0.8)                  0.5 (0.8)                  Property and adjoining properties</p>	<p>(                  No                  No                  No                  Yes                  No</p>
<p>23. Based upon a review of fire insurance maps or consultation with the local fire department serving the property, all as specified in the guide, are any buildings or other improvements on the property or on an adjoining property identified as having been used for an industrial use or uses likely to lead to contamination of the property?</p>		<p>Not Applicable</p>

The preparer of the transaction screen questionnaire must complete and sign the following.

The *Owner* questionnaire was completed by:

Owner Name	Lisa Comstock
Title	Property Owner
Firm	ISRE, LLC
Address	1134 24 Road, Grand Junction, CO 81505
Phone Number	(970) 256-1853
Date	20 February 2003
Preparer's Name	James Armstrong
Preparer's relationship to site	Consultant to ISRE, LLC (ISRE)
Preparer's relationship to user (for example, principal, employee, agent, consultant)	Consultant to ISRE

The *Occupant* questionnaire was completed by:

Occupant Name	N/A
Title	
Firm	
Address	
Phone Number	
Date	
Preparer's Name	
Preparer's relationship to site	
Preparer's relationship to user (for example, principal, employee, agent, consultant)	

The *Site Visit* questionnaire was completed by:

Name	James Armstrong
Title	Principal Environmental Scientist
Firm	Rare Earth Science, LLC
Address	844 Grand Avenue Grand Junction, Colorado 81501
Phone Number	(970) 241-1762
Date	18 February 2003

Preparer's Name	James Armstrong
Preparer's relationship to site	Consultant to ISRE
Preparer's relationship to user (for example, principal, employee, agent, consultant)	Consultant to ISRE

The *Government Records and Historical Sources* questionnaire was completed by:

Name	James Armstrong
Title	Principal Environmental Scientist
Firm	Rare Earth Science, LLC
Address	844 Grand Avenue Grand Junction, Colorado 81501
Phone Number	(970) 241-1762
Date	18 February 2003
Preparer's Name	James Armstrong
Preparer's relationship to site	Consultant to ISRE
Preparer's relationship to user (for example, principal, employee, agent, consultant)	Consultant to ISRE

User's relationship to site (for example, owner, prospective purchaser, lender, etc.)	Property Owner
---	----------------

If the preparer(s) is different from the user, complete the following:

Name of User	ISRE, LLC
User's Address	1134 24 Road Grand Junction, CO 81505
User's Phone Number	(970) 256-1853

Copies of the completed questionnaires have been filed at:	
Copies of the completed questionnaires have been mailed or delivered to:	



**Current Use of Property:**

	Land Use
Property	Vacant Irrigated Land / Dwellings (2) and Garage/Shop Building
Adjoining properties north	Commercial and Light-Industrial Businesses / Single-Family Residence
Adjoining properties south	Single-Family Residences
Adjoining properties east	Single-Family Residences
Adjoining properties west	Single-Family Residences

**Previous Use of Property:**

	Owner	Use	Dates
Property	ISRE, LLC	Residential Property and Undeveloped Land	Since 2002
Adjoining properties north	Multiple Owners	Commercial, Light Industrial, and Residential Properties	Since at least 1970
Adjoining properties south	Multiple Owners	Residential Properties	Since at least 1970
Adjoining properties east	Multiple Owners	Residential Properties	Since at least 1970
Adjoining properties west	Lyle States	Residential Property	Since at least 1970

Preparer represents that to the best of the preparer's knowledge, the above statements and facts are true and correct and to the best of the preparer's actual knowledge no material facts have been suppressed or misstated.

Signature:  Date: 21 February 2003

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Note: Consultant interviewed owner by telephone.

**ATTACHMENT 3**  
**RECONNAISSANCE PHOTOGRAPHS**



View Southwest Across Subject Property



Burn Area - North of 2980 D1/2 Road Dwelling



Standpipe Near Northeast Corner of Subject Property



Drums and Debris Near 2990 D1/2 Road Dwelling

## February 18, 2003 Site Photographs Shakespeare's Court - Grand Junction, Colorado

Prepared by Rare Earth Science, LLC  
844 Grand Avenue, CO 81501





View Northeast Across Subject Property



West Side of 2990 D1/2 Road Dwelling - Old Coal Pile



View North - Brock Bit Service



View Northeast of Garage/Shop Building

**February 18, 2003 Site Photographs**  
**Shakespeare's Court - Grand Junction, Colorado**  
Prepared by Rare Earth Science, LLC  
844 Grand Avenue, CO 81501

**ATTACHMENT 4**  
**EDR TRANSACTION SCREEN MAP REPORT**

## MAP FINDINGS SUMMARY

<u>Database</u>	<u>Target Property</u>	<u>Search Distance (Miles)</u>	<u>&lt; 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>&gt; 1</u>	<u>Total Plotted</u>
<b><u>BROWNFIELDS DATABASES</u></b>								
VCP		0.500	0	0	0	NR	NR	0

**NOTES:**

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

N/A = This State does not maintain a SHWS list. See the Federal CERCLIS list.

Map ID  
Direction  
Distance  
Distance (ft.)  
Elevation Site

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

Coal Gas Site Search: No site was found in a search of Real Property Scan's ENVIROHAZ database.

1  
NNW  
1/4-1/2  
2568 ft.  
Higher

JOHN'S PANTRY  
2998 NORTH AVE  
GRAND JUNCTION, CO 81504

LUST U003123720  
CO ERNS N/A  
UST

LUST:

Log Date: 7/5/88  
Event ID: 3044  
Status: Open

CO ERNS:

Facility Id: 2001-349  
Date Entered Into System: 08/18/2001  
Time Entered Into System: 354  
Date Report Received: 08/18/2001  
Time Report Received: 6:03  
National Response Center:  
Notified: Yes  
Number: 576911  
Prp Name: MOFFITT OIL CO.  
Prp Contact: PAUL YOUNG  
Prp Address: GRAND JUNCTION, CO  
Prp County: Not reported  
Prp Phone: 970-434-6322  
Spill Date: 08/20/2001  
Mile Post: Not reported  
Notified Name: Not reported  
Material Spilled: GAS-UNLEADED  
Quantity Spilled: 0  
Units: Unknown Unit  
Amount Released to Water: 0  
Source of Spill: Highway  
Source Type: Not reported  
Medium Affected: Air  
Waterway Affected: Not reported  
Cause of Spill: Air, Equipment Failure  
Report Taken By: NRC  
Responders: Not reported  
Responders Action: SHUT DOWN LIINES, CAPED OFF HOSES, DISCONNECTED GROUND.  
Spill Information: TRUCK  
Information Caller Gave: MATERIAL RELEASED FROM TRUCK DUE TO FAULTY VAPOR RECOVERY SYSTEM. VAPORS RELEASED DURING TRANSFER OF FUEL RESULTING IN FLASH FIRE.

Comments:

Responder's Comments:  
Comments 2:

Deaths: 0  
Injuries: 1  
Evacuation: No  
Evacuation Number: No

Facility Id: 2001-616  
Date Entered Into System: 08/08/2001  
Time Entered Into System: 330  
Date Report Received: 08/08/2001

Map ID  
Direction  
Distance  
Distance (ft.)  
Elevation

MAP FINDINGS

JOHN'S PANTRY (Continued)

Database(s)  
EPA ID Number  
EDR ID Number

U003123720

Time Report Received: 3:30  
National Response Center:  
Notified: No  
Number: Not reported  
Prp Name: WESCOURT DISTRIBUTING INC.  
Prp Contact: Not reported  
Prp Address: GRAND JUNCTION, CO  
Prp County: Not reported  
Prp Phone: Not reported  
Spill Date: 04/15/2002  
Mile Post: Not reported  
Notified Name: HMWMD-CHRYS KELLEY  
Material Spilled: GASOLINE  
Quantity Spilled: 0  
Units: Unknown Unit  
Amount Released to Water: 0  
Source of Spill: Highway  
Source Type: Not reported  
Medium Affected: Land  
Waterway Affected: Not reported  
Cause of Spill: Land, Operator Error  
Report Taken By: GREG STASINOS  
Responders: Not reported  
Responders Action: UNKNOWN  
Spill Information: TRUCK  
Information Caller Gave: DRIVER UNLOADING GAS CAUSED BACK OF UST VENT WHICH CAUSED FIRE.  
Comments: DOT REPORT #-2002021151A  
Responder's Comments:  
Comments 2:  
Deaths: 0  
Injuries: 0  
Evacuation: No  
Evacuation Number: No

UST:

Facility ID: 1653  
Owner Name: Not reported  
Owner Address: 1131 N 21ST  
GRAND JUNCTION, CO 81501  
Owner ID: 17869  
Tank ID: 4625  
Tank Status: OPEN  
Tank Count: 11625  
Tank Tag Date: 1653-2  
Tank Capacity: 10000  
Tank Chemical: Gasoline



Map ID  
Direction  
Distance  
Distance (ft.)  
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number  
EPA ID Number

JOHN'S PANTRY (Continued)

U003123720

Facility ID: 1653  
Owner Name: Not reported  
Owner Address: 1131 N 21ST  
GRAND JUNCTION, CO 81501  
Owner ID: 17869  
Tank ID: 4624  
Tank Status: OPEN  
Tank Count: 11625  
Tank Tag Date: 1653-1  
Tank Capacity: 10000  
Tank Chemical: Gasoline

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
GRAND JUNCTION	S103485592	DEER PARK SOLID WASTE FACILITY	661 24 1/2 ROAD		SWF/LF
GRAND JUNCTION	S105542645	BROAD CANYON LANDFILL	2 1 MI SE OF NATURITA		SWF/LF
GRAND JUNCTION	1004680242	JOBSITE INC.	545 31 ROAD	81504	RCRIS-SQG, FINDS

## AREA RADON INFORMATION

- Federal EPA Radon Zone for MESA County, CO: 1

Note : Zone 1 indoor average level > 4 pCi/L.  
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.  
 : Zone 3 indoor average level < 2 pCi/L.

- Federal Area Radon Information for Zip Code: 81504

Number of sites tested: 12

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	2.442 pCi/L	92%	8%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	2.500 pCi/L	100%	0%	0%

- Federal Area Radon Information for MESA County, CO

Number of sites tested: 60

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	2.495 pCi/L	88%	12%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	3.636 pCi/L	64%	36%	0%

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Elapsed ASTM days:** Provides confirmation that this EDR report meets or exceeds the 90-day updating requirement of the ASTM standard.

## FEDERAL ASTM STANDARD RECORDS

### **NPL: National Priority List**

Source: EPA  
Telephone: N/A

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 10/24/02  
Date Made Active at EDR: 12/09/02  
Database Release Frequency: Semi-Annually

Date of Data Arrival at EDR: 11/04/02  
Elapsed ASTM days: 35  
Date of Last EDR Contact: 11/04/02

### **NPL Site Boundaries**

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 8  
Telephone: 303-312-6774

EPA Region 4  
Telephone 404-562-8033

### **Proposed NPL: Proposed National Priority List Sites**

Source: EPA  
Telephone: N/A

Date of Government Version: 10/24/02  
Date Made Active at EDR: 12/09/02  
Database Release Frequency: Semi-Annually

Date of Data Arrival at EDR: 11/04/02  
Elapsed ASTM days: 35  
Date of Last EDR Contact: 11/04/02

### **CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System**

Source: EPA  
Telephone: 703-413-0223

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/13/02  
Date Made Active at EDR: 01/15/03  
Database Release Frequency: Quarterly

Date of Data Arrival at EDR: 12/26/02  
Elapsed ASTM days: 20  
Date of Last EDR Contact: 12/26/02

### **CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned**

Source: EPA  
Telephone: 703-413-0223

As of February 1995, CERCLIS sites designated "No Further Remedial Action Planned" (NFRAP) have been removed from CERCLIS. NFRAP sites may be sites where, following an initial investigation, no contamination was found, contamination was removed quickly without the need for the site to be placed on the NPL, or the contamination was not serious enough to require Federal Superfund action or NPL consideration. EPA has removed approximately 25,000 NFRAP sites to lift the unintended barriers to the redevelopment of these properties and has archived them as historical records so EPA does not needlessly repeat the investigations in the future. This policy change is part of the EPA's Brownfields Redevelopment Program to help cities, states, private investors and affected citizens to promote economic redevelopment of unproductive urban sites.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/13/02  
Date Made Active at EDR: 01/15/03  
Database Release Frequency: Quarterly

Date of Data Arrival at EDR: 12/26/02  
Elapsed ASTM days: 20  
Date of Last EDR Contact: 12/26/02

## **CORRACTS:** Corrective Action Report

Source: EPA  
Telephone: 800-424-9346

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 09/29/02  
Date Made Active at EDR: 12/26/02  
Database Release Frequency: Semi-Annually

Date of Data Arrival at EDR: 10/15/02  
Elapsed ASTM days: 72  
Date of Last EDR Contact: 12/09/02

## **RCRIS:** Resource Conservation and Recovery Information System

Source: EPA/NTIS  
Telephone: 800-424-9346

Resource Conservation and Recovery Information System. RCRIS includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA).

Date of Government Version: 09/09/02  
Date Made Active at EDR: 10/28/02  
Database Release Frequency: Varies

Date of Data Arrival at EDR: 09/24/02  
Elapsed ASTM days: 34  
Date of Last EDR Contact: 12/26/02

## **ERNS:** Emergency Response Notification System

Source: National Response Center, United States Coast Guard  
Telephone: 202-260-2342

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 12/31/01  
Date Made Active at EDR: 07/15/02  
Database Release Frequency: Annually

Date of Data Arrival at EDR: 07/02/02  
Elapsed ASTM days: 13  
Date of Last EDR Contact: 01/27/03

## **FEDERAL ASTM SUPPLEMENTAL RECORDS**

### **BRS:** Biennial Reporting System

Source: EPA/NTIS  
Telephone: 800-424-9346

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/99  
Database Release Frequency: Biennially

Date of Last EDR Contact: 12/17/02  
Date of Next Scheduled EDR Contact: 03/17/03

### **DELISTED NPL:** National Priority List Deletions

Source: EPA  
Telephone: N/A

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 10/18/02  
Database Release Frequency: Quarterly

Date of Last EDR Contact: 11/04/02  
Date of Next Scheduled EDR Contact: 02/03/03

### **FINDS:** Facility Index System/Facility Identification Initiative Program Summary Report

Source: EPA  
Telephone: N/A

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/10/02  
Database Release Frequency: Quarterly

Date of Last EDR Contact: 01/06/03  
Date of Next Scheduled EDR Contact: 04/07/03

**HMIRS: Hazardous Materials Information Reporting System**

Source: U.S. Department of Transportation  
Telephone: 202-366-4555

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 07/31/02  
Database Release Frequency: Annually

Date of Last EDR Contact: 01/23/03  
Date of Next Scheduled EDR Contact: 04/21/03

**MLTS: Material Licensing Tracking System**

Source: Nuclear Regulatory Commission  
Telephone: 301-415-7169

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 10/21/02  
Database Release Frequency: Quarterly

Date of Last EDR Contact: 01/06/03  
Date of Next Scheduled EDR Contact: 04/07/03

**MINES: Mines Master Index File**

Source: Department of Labor, Mine Safety and Health Administration  
Telephone: 303-231-5959

Date of Government Version: 09/10/02  
Database Release Frequency: Semi-Annually

Date of Last EDR Contact: 01/03/03  
Date of Next Scheduled EDR Contact: 03/31/03

**NPL LIENS: Federal Superfund Liens**

Source: EPA  
Telephone: 205-564-4267

Federal Superfund Liens. Under the authority granted the USEPA by the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner receives notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/91  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 11/25/02  
Date of Next Scheduled EDR Contact: 02/24/03

**PADS: PCB Activity Database System**

Source: EPA  
Telephone: 202-564-3887

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 09/20/02  
Database Release Frequency: Annually

Date of Last EDR Contact: 11/13/02  
Date of Next Scheduled EDR Contact: 02/10/03

**RAATS: RCRA Administrative Action Tracking System**

Source: EPA  
Telephone: 202-564-4104

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/95  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 12/10/02  
Date of Next Scheduled EDR Contact: 03/10/03

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### TRIS: Toxic Chemical Release Inventory System

Source: EPA

Telephone: 202-260-1531

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/00

Database Release Frequency: Annually

Date of Last EDR Contact: 12/26/02

Date of Next Scheduled EDR Contact: 03/24/03

### TSCA: Toxic Substances Control Act

Source: EPA

Telephone: 202-260-5521

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/98

Database Release Frequency: Every 4 Years

Date of Last EDR Contact: 12/10/02

Date of Next Scheduled EDR Contact: 03/10/03

### FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

Source: EPA

Telephone: 202-564-2501

Date of Government Version: 10/24/02

Database Release Frequency: Quarterly

Date of Last EDR Contact: 12/26/02

Date of Next Scheduled EDR Contact: 03/24/03

### SSTS: Section 7 Tracking Systems

Source: EPA

Telephone: 202-564-5008

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/00

Database Release Frequency: Annually

Date of Last EDR Contact: 01/21/03

Date of Next Scheduled EDR Contact: 04/21/03

### FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

Source: EPA/Office of Prevention, Pesticides and Toxic Substances

Telephone: 202-564-2501

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 10/24/02

Database Release Frequency: Quarterly

Date of Last EDR Contact: 12/26/02

Date of Next Scheduled EDR Contact: 03/24/03

### STATE OF COLORADO ASTM STANDARD RECORDS

SHWS: This state does not maintain a SHWS list. See the Federal CERCLIS list.

Source: EPA

Telephone: 703-413-0223

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: N/A

Date Made Active at EDR: N/A

Database Release Frequency: N/A

Date of Data Arrival at EDR: N/A

Elapsed ASTM days: N/A

Date of Last EDR Contact: 12/26/02

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SWF/LF: Solid Waste Sites & Facilities

Source: Department of Health  
Telephone: 303-692-3450

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 07/22/02  
Date Made Active at EDR: 10/11/02  
Database Release Frequency: Annually

Date of Data Arrival at EDR: 09/09/02  
Elapsed ASTM days: 32  
Date of Last EDR Contact: 12/09/02

## LUST: Leaking Underground Storage Tank List

Source: Department of Labor and Employment, Oil Inspection Section  
Telephone: 303-620-4021

The Leaking Underground Storage Tank List contains sites that have completed cleanup activities. This does not mean that the owner and/or operator has removed all of the contamination, but instead means that the actions taken have met the criteria that the division uses for determining adequate cleanup. It also contains those sites that have either been just identified as having a leak, or are in the process of remediating the contaminant problem but have not yet been closed and therefore the site has not received a final agency determination. Included in this category are those sites that have completed active remediation and are now conducting groundwater monitoring programs. Every effort is made to ensure the accuracy of the data contained in this database, however, the Department of Public Health and Environment does not guarantee that this listing is completely accurate or up-to-date. In the event that site specific data is desired or necessary to ensure accuracy, you are encouraged to contact our Records Center at (303) 692-3331 to arrange a meeting to review the site file(s).

Date of Government Version: 01/06/03  
Date Made Active at EDR: 01/16/03  
Database Release Frequency: Quarterly

Date of Data Arrival at EDR: 01/06/03  
Elapsed ASTM days: 10  
Date of Last EDR Contact: 01/06/03

## TRUST: Lust Trust Sites

Source: Department of Health  
Telephone: 303-620-4016

List of complaint sites where there is no known responsible party. The state is doing investigations on them.

Date of Government Version: 12/07/99  
Date Made Active at EDR: 01/06/00  
Database Release Frequency: Varies

Date of Data Arrival at EDR: 12/08/99  
Elapsed ASTM days: 29  
Date of Last EDR Contact: 01/29/03

## UST: Underground Storage Tank Database

Source: Department of Labor and Employment, Oil Inspection Section  
Telephone: 303-620-4021

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 01/10/03  
Date Made Active at EDR: 01/28/03  
Database Release Frequency: Quarterly

Date of Data Arrival at EDR: 01/10/03  
Elapsed ASTM days: 18  
Date of Last EDR Contact: 01/06/03

## INDIAN UST: Underground Storage Tanks on Indian Land

Source: EPA Region 8  
Telephone: 303-312-6137

Date of Government Version: 10/04/02  
Date Made Active at EDR: 12/04/02  
Database Release Frequency: Varies

Date of Data Arrival at EDR: 10/25/02  
Elapsed ASTM days: 40  
Date of Last EDR Contact: 10/03/02

## VCP: Voluntary Cleanup & Redevelopment Act Application Tracking Report

Source: Department of Public Health and Environmental  
Telephone: 303-692-3331

The Voluntary Cleanup and Redevelopment Act is intended to permit and encourage voluntary cleanups by providing a method to determine clean-up responsibilities in planning the reuse of property. The VCRA was intended for sites which were not covered by existing regulatory programs.



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/06/02  
Date Made Active at EDR: 01/16/03  
Database Release Frequency: Semi-Annually

Date of Data Arrival at EDR: 12/27/02  
Elapsed ASTM days: 20  
Date of Last EDR Contact: 12/27/02

## STATE OF COLORADO ASTM SUPPLEMENTAL RECORDS

### **HISTORICAL LANDFILL:** Historical Landfill List

Source: Department of Health  
Telephone: 303-692-3450  
Abandoned/Inactive Landfills.

Date of Government Version: 01/31/93  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 09/05/96  
Date of Next Scheduled EDR Contact: N/A

### **AST:** Aboveground Tank List

Source: Department of Labor and Employment, Oil Inspection Section  
Telephone: 303-620-4021  
Registered Aboveground Storage Tanks.

Date of Government Version: 01/10/03  
Database Release Frequency: Semi-Annually

Date of Last EDR Contact: 01/06/03  
Date of Next Scheduled EDR Contact: 04/07/03

### **CO ERNS:** Spills Database

Source: Department of Public Health and Environmental  
Telephone: 303-692-2000

Date of Government Version: 11/04/02  
Database Release Frequency: Quarterly

Date of Last EDR Contact: 11/04/02  
Date of Next Scheduled EDR Contact: 02/03/03

### **METHANE SITE:** Methane Site Investigations - Jefferson County 1980

Source: Jefferson County Health Department  
Telephone: 303-239-7175

Date of Government Version: 12/31/80  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

### **METHANE INVESTIGATION:** Methane Gas & Swamp Findings

Source: Department of Health  
Telephone: 303-640-3335

Date of Government Version: 03/15/79  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

## LOCAL RECORDS

### **ADAMS COUNTY:**

#### **Summary Report on Methane Gas Hazards and Surveys Conducted on Domestic and Demolition Landfills in Adams County**

Source: Tri-County Health Department  
Telephone: 303-761-1340

Date of Government Version: 05/08/78  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

### **ARAPAHOE COUNTY:**

#### **A Survey of Landfills in Arapahoe County**

Source: Tri-County Health Department  
Telephone: 303-761-1340

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/78  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

## BOULDER COUNTY:

### Old Landfill Sites

Source: Boulder County Health Department  
Telephone: 303-441-1182

Date of Government Version: 05/01/86  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/30/98  
Date of Next Scheduled EDR Contact: N/A

## DENVER COUNTY:

### Landfills in Denver County

Source: City and County of Denver  
Telephone: 303-436-7300

Date of Government Version: 12/01/94  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 12/18/94  
Date of Next Scheduled EDR Contact: N/A

## DOUGLAS COUNTY:

### Douglas County Landfill Key

Source: Tri-County Health Department  
Telephone: 303-761-1340

Date of Government Version: 06/12/91  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

## PUEBLO COUNTY:

### Designated Disposal & Landfill Sites

Source: Pueblo City-County Health Department  
Telephone: 719-583-4300

Date of Government Version: 04/30/90  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 11/13/95  
Date of Next Scheduled EDR Contact: N/A

## TRI COUNTY:

### Tri-County Area Solid Waste Facilities List (Adams, Arapahoe and Douglas Counties)

Source: Tri-County Health Department  
Telephone: 303-761-1340

Date of Government Version: 10/15/83  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 01/27/95  
Date of Next Scheduled EDR Contact: N/A

## WELD COUNTY:

### Disposal & Treatment Sites

Source: Weld County Health Department  
Telephone: 970-353-0586

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/01/95  
Database Release Frequency: No Update Planned

Date of Last EDR Contact: 11/13/95  
Date of Next Scheduled EDR Contact: N/A

## EDR PROPRIETARY HISTORICAL DATABASES

**Former Manufactured Gas (Coal Gas) Sites:** The existence and location of Coal Gas sites is provided exclusively to EDR by Real Property Scan, Inc. ©Copyright 1993 Real Property Scan, Inc. For a technical description of the types of hazards which may be found at such sites, contact your EDR customer service representative.

### **Disclaimer Provided by Real Property Scan, Inc.**

The information contained in this report has predominantly been obtained from publicly available sources produced by entities other than Real Property Scan. While reasonable steps have been taken to insure the accuracy of this report, Real Property Scan does not guarantee the accuracy of this report. Any liability on the part of Real Property Scan is strictly limited to a refund of the amount paid. No claim is made for the actual existence of toxins at any site. This report does not constitute a legal opinion.

## STATE OF COLORADO BROWNFIELDS DATABASES RECORDS

**VCP:** Voluntary Cleanup & Redevelopment Act Application Tracking Report

Source: Department of Public Health and Environmental  
Telephone: 303-692-3331

The Voluntary Cleanup and Redevelopment Act is intended to permit and encourage voluntary cleanups by providing a method to determine clean-up responsibilities in planning the reuse of property. The VCRA was intended for sites which were not covered by existing regulatory programs.

Date of Government Version: 08/01/02  
Database Release Frequency: Semi-Annually

Date of Last EDR Contact: 12/27/02  
Date of Next Scheduled EDR Contact: 03/24/03

## OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specially databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

**Flood Zone Data:** This data, available in select counties across the country, was obtained by EDR in 1999 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 from the U.S. Fish and Wildlife Service.

## STREET AND ADDRESS INFORMATION

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**ATTACHMENT 5**  
**AERIAL PHOTOGRAPHS**



Adapted from Mesa County GIS Digital Image  
NOT TO SCALE

## 2002 AERIAL PHOTOGRAPH - SHAKESPEARE'S COURT

Transaction Screen Process

Prepared by Rare Earth Science, LLC

844 Grand Avenue, Grand Junction, CO 81501

February 2003





**SITE**



# REVIEW COMMENTS

Page 1 of 11  
May 13, 2003

FILE #PP-2003-069

TITLE HEADING: Shakespeare's Court Subdivision

LOCATION: 2980 & 2990 D $\frac{1}{2}$  Road

PETITIONER: ISRE, LLC – Lisa Comstock

PETITIONER'S ADDRESS/TELEPHONE: 1134 24 Road  
872.2433

PETITIONER'S REPRESENTATIVE: Crane Associates – Jeff Crane  
970-872-2433

STAFF REPRESENTATIVE: Kristen Ashbeck

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 13, 2003.**

**CITY COMMUNITY DEVELOPMENT**  
**Kristen Ashbeck**

**5/12/03**  
**244-1437**

**GENERAL:** Overall design is marginal. The RMF-8 zone district is much better suited to an attached product rather than using the small lot size of the RMF-8 zone district and trying to create a detached single family product - particularly when the overall density does not even approach what could be developed with this zoning (only 5.5 units per acre). Additionally, there is a concern with the number of shared driveways all planned in one area, all in a row. On-street parking, inadequate setbacks for the type of housing and aesthetic appeal are concerns.

1. A significant number of notification cards were returned for incorrect addresses. Applicant needs to order a new mailing list - see attached form.
2. While a plat is not required for at Preliminary Plan phase, since one was provided, the Preliminary Plan needs to show some of the detail and match how things are depicted on the proposed plat (e.g. perimeter property lines, lot lines between shared drive lots, dimensions of lots, etc) Refer to SSID checklist attached.
2. Label "typical cross-section" - is it for D-1/2 Road? 30 Road? interior streets? shared drive? Cross-sections need to be provided for each street type.
3. Show locations of all drives and streets on the south side of D-1/2 Road.
4. Assume existing structures are to be demolished? Need to label as such on plan.
5. Check with utilities to see if the multipurpose easement along D-1/2 Road can overlap with the required 5-foot landscape strip.
6. Show a typical layout of structures on a shared driveway quad (location of house, garage, setbacks, required 4 on-site parking spaces per lot, etc). Shared drives would work much



better with use of zero lot line/attached units to create more useable space out of the setbacks instead of a detached unit being surrounded by very small, unusable space in the setbacks.

7. Where is the 15-foot easement along the west side? Need to correctly label as Grand Junction Drainage District.
8. Plat, when submitted needs dedication language. Labeling of tracts cannot be duplicated (2 As, 2 Bs etc). Right-of-way dedication is not a tract.
9. Project Narrative - project compliance - the narrative is supposed to address how this plan meets the City's adopted plans and policies - the first statement does not address this.
10. Section 6.5.B.6. of the Zoning and Development Code requires that non-potable irrigation water be used for irrigation of landscaping. Irrigation will be required even for xeriscape design or xeriscape plants will not survive. Common tracts such as Tract A and the landscape strip along D-1/2 Road will need to be landscaped and irrigated.

**CITY DEVELOPMENT ENGINEER**

5/7/03

**Laura Lamberty**

256-4155

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**Shakespeare Court**

**Transaction Screen Process**

1. Per report recommendations, prior to approval of Final Plans, the applicant must provide certification of the following:
  - a. Prior to demolition of the existing dwellings, the dwellings shall be inspected for asbestos-containing materials (ASMs) and heating oil underground storage tanks (USTs).
  - b. If ASMs or USTs exist, they shall be properly removed and disposed of.
  - c. Contents of a partially full 55-gallon drum referenced in the report shall be characterized and, if necessary, properly disposed at a waste-handling facility.

**Geotechnical Investigation**

1. For final, the DIA should include an allowance for the stabilization of soft subgrade and trench soils in the southwest and southeast portions of the site.
2. Report indicates that no stormwater retention area is proposed. This is not accurate. Revise report to reflect detention areas at intersection of Hamlet Court and D 1/2 Road on east and west sides.
3. Zoning allows 5' side setback and 10' rear setback. Report recommendation limits construction within 50' of upper ditch/canal bank. Show this delineation on the plat and revise building envelopes. If this is desired to be mitigated, the geotechnical engineer shall recommend a proposed mitigation. Drainage report indicates that the ditch will be piped. If this is the case (it is not indicated on the plans), then is this recommendation changed?
4. Final plans shall include removal of remnant foundations and placement of structural fill in these areas.
5. A note on the plat will be needed requiring open excavation observation of the foundation by a licensed engineer.
6. Below grade construction will not be permitted and this shall be noted on the plat.

**Drainage**

1. Identify general drainage pattern of flows with directional arrows.
2. Identify grading pattern/lot type of each lot.
3. Identify discharge point of detention basins.
4. How was 36" RCP for piping of Beswick Drain sized?
5. Identify potential surcharge condition of the Drain if piped in the 100 year event as a consideration in the Final Drainage Report.
6. Provide Preliminary Major Basin Drainage Map.
7. Identify area open irrigation facilities which may contribute overtopping flows to this area.

**Plat**

1. Right-of-way dedication required as follows:
  - a. On 30 Road (Minor Arterial): 40' from centerline of street
  - b. On D ½ road (Urban Collector with Detached Path), 40' from centerline
  - c. Sufficient fillet right-of-way at intersection for sidewalk connection using a 30' flowline radius.
2. MacBeth right-of-way shall extend to boundary of subdivision.
3. Access tracts and tracts utilize same (lettering) identification scheme - this is confusing.
4. Identify who tracts are being dedicated to and what purpose of each is.
5. Flowline radii at D ½ Road to side streets shall be 25' minimum. Design right-of-way radii accordingly.
6. Right-of-way radius on cul-de-sac shall be 38' per Standard Detail ST-15.
7. Indicate building restriction line per Comment #3 Geotechnical.

**Plan**

1. This layout is marginal, at best. Consider attached units. The layout of Tracts and "intended purpose" does not lend itself to effective use. Autocourt layout with setbacks and lot size may not work with required maneuvering room and garage/carport layout. Corner lots of cul-de-sacs may have similar problems with garage/carport layout and maneuvering. Also, should consider layout of road over the tract along west edge of subdivision if the road works with spacing.
2. Autocourt/shared drive standards need to be reviewed, considered and applied. Read TEDS Section 13.2:
  - a. Need four on-site parking spaces per lot - show me how this will fit with a typical house layout and building setbacks.
  - b. Building setbacks are specially considered (13.2.9)
  - c. Address whether it is intended for these houses to have garages.

**Also:**

- d. If there are driveways, will they be paved? This needs to be considered in the drainage report. Consider maximum impervious lot coverage in 3.2.F of the Zoning and Development Code on these autocourt lots.
3. Show redirect taper at west end of D ½ Road per TEDS and regulatory speed.
4. Indicate lot drainage type (A vs. B), overall site drainage (direction of flow), and drainage conveyance systems.
5. Indicate drainage discharge point.

**REVIEW COMMENTS / PP-2003-069 / PAGE 4 of 11**

6. Indicate curb radii and cul-de-sac dimensions.
7. Indicate building restriction line per Comment #3 Geotechnical or indicate resolution of such.
8. 14' Multi-purpose easement may be eliminated on D/12 Road if easement is placed over tract. (Includes 10' additional right-of-way for detached path).
9. Lots 19 and 29 are extremely marginal. Consider shared drive options or elimination of lots.
10. Plans shall be stamped by a licensed professional competent in the area of practice.
11. Easement is a 14' multi-purpose easement. Correct spelling on Plan Sheet.
12. King Lear Court (Sta 0+00 - 1+52) is misnamed and not contiguous or along same alignment as the rest of the street.
13. Show opposing drive access points across from Hamlet Court.
14. Basin designations indicated in the legend are not indicated on the plan.
15. Show piping of Beswick Drain as indicated in the Drainage Report.
16. Plan does not match plat at all. Start over with correct base map subdivision boundary and lot sizes.
17. Show sewerage of autocourt lots if these lots are retained.
18. Show D ½ Road cross-section, per comments above.
19. A complete review of plans will be performed when requested information is supplied.

**CITY FIRE DEPARTMENT**

**4/30/03**

**Hank Masterson**

**244-1414**

- 
1. Submit completed New Development Fire Flow Form.
  2. Additional fire hydrants and relocation of fire hydrants as shown on the preliminary plans are required as follows:
    - a. Install additional fire hydrants at the intersection of Hamlet Ct. and Othello Dr., at the intersection of King Lear Ct. and Othello Dr., and at lot line between lots 48 & 49.
    - b. Relocate the fire hydrant shown on lot line between lots 60 & 61 to the intersection of Macbeth Dr. and Hamlet Ct. and relocate fire hydrant shown on lot line between lots 32 & 33 to the intersection of King Lear Ct. and Macbeth Dr.
    - c. The fire hydrant shown on lot 79 shall remain.
  3. Extend 8 inch water line in D 1/2 Rd. from Doris Rd to the west property line.
  4. Submit utility composite showing the requested location of fire hydrants.
  5. Provide signature block for fire department approval on the Utility composite.
  6. Shared driveways shall be a minimum of 16' wide, and shall not exceed 150' in length. No Parking is allowed on the shared driveways. Provide No Parking signage at the beginning and end of the driveways, on both sides. Each lot abutting a shared driveway must provide 4 on-site parking spaces.

**CITY PROPERTY AGENT**

**4/22/03**

**Peter Krick**

**256-4123**

**REVIEW COMMENTS**

**REVIEW COMMENTS / PP-2003-069 / PAGE 5 of 11**

This Plat does not meet the current City of Grand Junction Platting Submittal Standards. A signed and sealed copy of a current Improvement Survey Plat, as outlined in the Standards, is required. An additional copy of the Standards was forwarded to the Surveyor for his use in the preparation of revisions to this Plat.

An additional review will be required after receipt of a revised Plat. The following comments are for the use of the Surveyor but may not contain all requirements or data from the Standards.

**Sheet 1 of 2**

1. Revise the stated scale to match the graphic scale of 1"=100'.
2. Provide a list of all abbreviations used.
3. Properly dedicate all tracts, parcels or rights of way, using approved City of Grand Junction Sample Model Language.
4. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
5. The Point of Beginning(s) should be indicated and labeled on the Plat.
6. Provide a Title Certification for the use of the Title Company.
7. Indicate the recording information for a Homeowners Association, if required, in the Dedication of Tracts or Easements to the Association.
8. A location map is required.
9. The Title Commitment indicated on the Plat is not current and does not match the copy submitted for review with the application.

**Sheet 2 of 2**

1. Provide recording information for all recorded easements indicated on the Plat.
2. Provide the recording information for all rights of way indicated on the Plat. Dedication may be required if proof of existing right of way is not available.
3. Remove the radius point designations from the Plat drawing.
4. Delete the dark line designating the East line of Parcel B.
5. Verify the area and/or dimensions for Lots 19, 20 and 68.
6. Verify the area and/or dimensions for Tract I.
7. Eliminate the use of identical Tract letter designations within the Plat; ie: Tract E (D 1/2 Road right of way) and Access Tract E.
8. It is suggested that that portion of King Lear Court lying between D 1/2 Road and Othello Drive be renamed.
9. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
10. Provide a width for Tract G adjacent to D 1/2 Road.
11. Provide a width for that portion of Hamlet Court lying North of Macbeth Drive.
12. Provide a 'half-width' dimension on all interior roadways indicating that the right of way is centered on the centerline as drawn.
13. Indicate the 6 foot easement per Book 2404, Page 25.
14. The East line of the existing 15 foot Utility Easement adjacent to the West line of the Plat (per Book 1157, Page 91) should extend to the North and South lines of the Plat.
15. Monument records for the Aliquot corners indicated on the Plat should be filed if the corners are in danger due to proposed construction on the Plat.

**REVIEW COMMENTS / PP-2003-069 / PAGE 6 of 11**

16. The line used as a Basis of Bearings should be indicated on the Plat.
17. The Point of Beginning(s) should be indicated and labeled on the Plat.
18. Provide a list of all abbreviations used.
19. Lettering size shall be 0.08" minimum.
20. The Surveyor's signature is required on each sheet of the Plat. (rule 6.1.2)
21. All adjoining subdivisions shall be indicated with the appropriate title and recording information. All street rights of way from these adjoining subdivisions shall be drawn upon the Plat.
22. The Access Tracts, as now indicated, may be Utility Easements to serve the Northerly tier of lots. This should be verified with the Engineering staff of Community Development.
23. Easements may be required by the Engineering staff of Community Development for the parking areas designated on the Site Plan within Lots 33 through 60.
24. The Plat indicates that all interior lot corners and centerline of road control have been set (or will be set before the time of recordation).

**CITY TRANSPORTATION ENGINEER**

**5/2/03**

**George Miller**

**256-4123**

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Proposal, for 106 lots at the NW corner of 30 and D ½ Rds, was reviewed in General Meeting. The conditions detailed at that time still pertain to this site, as follows:

**Proposal Comments:**

1. Future plan iterations will need to detail the following:
  - a. Street lights at all intersections.
  - b. Stop signs as follows- WBound on Othello at Hamlet, E & WB Macbeth at Hamlet, EBound Macbeth at King Lear, SBound Dorris and Hamlet at D ½
  - c. Street names at all intersections (May go on Stop assemblies. Only one street name assembly needed at Macbeth/Hamlet.
2. Traffic calming devices will be required mid length on both Macbeth and on Othello. Width restriction devices (limiting asphalt widths to 18') are preferred, but will consider all proposals.
3. EBound left turn lane warrants are met for both entrances. In order to evaluate striping design, future plans will need to detail all existing and proposed signing, striping, and area accesses on D ½ Rd from 30 Rd west to 200' west of the site boundary. The EBound transition to the EBound left turn pocket (west of Hamlet) will need to transition at 30:1 (40 mph, see TEDS 6.2 for this, and other turn lane design details), and each turn lane will to have 50' storage length.
4. As detailed in the General Meeting Comments, a bike lane is required for the site's 30 Rd frontage , and a detached bike/ped trail will be needed for the site's D ½ Rd frontage. This trail will be wider than the typical sidewalk cross-section.

**CITY ADDRESSING**

**5/1/03**

**Faye Gibson**

**256-4043**

- 
1. The Shakespeare's Court Subdivision, Macbeth Dr., Othello Dr., and King Lear Ct names

are all okay.

2. Hamlet Ct. is already in use and another name will have to be submitted for review.
3. King Lear Ct. on the south side of the subdivision should be renamed to Doris Rd. since it is in line with the existing Doris Rd. to the south. No addresses will be assigned off this road.
4. For Planning Clearance information on setback requirements the lots which access off of the shared driveways need to be clarified as to where the front, side, and rear setbacks will be. Also on these lots, unit letters or numbers will have to be assigned, since there will not be enough whole addresses for all of them.

**CITY UTILITY ENGINEER**

5/9/03

**Trent Prall**

244-1590

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As this proposal falls within the Central Grand Valley Sanitation District as well as the Ute Water District, please contact those utilities directly for a full review of proposed utilities.

**COLORADO GEOLOGIC SURVEY**

5/12/03

**Sean Gaffney**

303-866-2811

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In response to your request, I visited this property to review the plat. A General Project Report; a Preliminary Drainage Report (3-1-03), prepared by Crane Associates; a Geotechnical Investigation (4-1-03), prepared by Geotechnical Engineering Group (4-1-03); and a Preliminary Plan Set (4-1-03); prepared by Crane Associates; were included in the referral.

The proposed 107 lot residential subdivision is located on approximately 19.21 acres of topographically flat land. The referral indicates that water and sanitary sewer service will be provided by the local district. The site geology consists of Holocene and late  $\zeta$  Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

**Soils.** I am in general agreement with the observations contained in the Geotechnical Engineering Group report. The soils identified on this site. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.

**Site Drainage.** Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should also be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations,

standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

**AT&T BROADBAND**

5/5/03

**Chuck Wiedman**

263-2313

We are in receipt of the plat map for your new subdivision, Shakespeare's Court Subdivision. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner.

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish available to the new home purchasers. There items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be provided by the developer. The trench may be the same one used by other utilities, however the roadbore must provide a 2" conduit for the sole use of cable TV.
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossing will be in the same location as power and telephone crossings. If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs, the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.
5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.

Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with out office and I will get back in contact with you as soon as I can.

**UTE WATER**

4/23/03

**Edward Tolen**

242-7491

**COMMENT**

- \* All water meters must be set at ROW.
- \* Water lines that do not supply fire hydrants in dead ends shall not be larger than 4".

**REVIEW COMMENTS / PP-2003-069 / PAGE 9 of 11**

- \* Developer must provide a drawing that shows water meter locations.
  - \* 8" water line in D 1/2 Rd. must be extended from Doris Rd. to west edge of subject property.
  - \* At D 1/2 Rd. and Doris an 8" wet tap will be required on the existing water line.
  - \* Water mains shall be C900, Class 150 PVC. Installation of pipe, fittings, valves, and services, including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings
  - \* Developer is responsible for installing meter pits and yokes (pits and yokes supplied by Ute Water).
  - \* Construction plans required 48 hours before construction begins. If plans are changed the developer must submit a new set of plans.
  - \* Electronic drawings of the utility composite for the subdivision, in Autocad.dwg format, must be provided prior to final acceptance of water infrastructure.
  - \* Water meters will not be sold until final acceptance of the water infrastructure.
  - \* **ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY**
- If you have any questions concerning any of this, please feel free to contact Ute Water.

**GRAND JUNCTION DRAINAGE DISTRICT**

**4/28/03**

**John Ballagh**

**242-4343**

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The site is definitely within the Drainage District boundaries. The open drain ditch along the northerly and westerly lines of the proposed subdivision is part of the BESWICK DRAIN. That drain is the single recipient of the surface and subsurface waters forms the 30 Road overpass. The drain was evaluated and improved by Mesa County in part one of the 30 Road project. The Drainage District operates and maintains the drain.

The plans are not clear if the drain is to remain open or if it is to be piped by the developer. Should the drain remain open then the District requires the full width of the drain plus 20 feet on each side of the open drain remain open and uninterrupted by above ground facilities, even power or phone pedestals, and especially cross fences. Should the drain be piped then the District needs 15 feet each side of the centerline of the pipe (a total of 30 feet width) as easement. The pipe is of such a diameter that large equipment would be required to repair it and the pipe will be installed at such a depth that a large quantity of spoil would have to be dealt with each time the pipe is exposed or repaired. The width of easement is necessary!

The developer or his representative needs to contact the District with the desired option.

The area is one of historic high water table problems somewhat corrected the presence of the drain ditch. Recommendations from a subsurface soils investigation should be followed to insure that problems of high water table do not return due to lack of attention by future homeowners in landscape irrigation.

**MESA COUNTY SCHOOL DISTRICT #51**

**4/29/03**

**Lou Grasso**

**242-8500**

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Following are estimated student impacts for three developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated



**REVIEW COMMENTS / PP-2003-069 / PAGE 10 of 11**

student impact at the attendance area schools for the development. Please contact me at 242-8500 if you have questions or need additional information.

Shakespeare Court:

Columbine Ele:268/263/24 East Middle:398/450/11 GJHS:  
1667/1600/15

**CENTRAL GRAND VALLEY SANITATION**

**5/6/03**

**Stephen LaBonde**

**241-7076**

**REVIEW COMMENTS FOR SHAKESPEAR COURT SUBDIVISION PRELIMINARY PLAN - CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-069), 05/05/03.**

The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Shakespeare Court Subdivision:

1. The District can provide sewer service to the proposed development through their D<sup>1/2</sup> Road sewerline that was upgraded in 1997 to 12-inch SDR-35 PVC sewerline.
2. The District's existing sewerline sizes and type of pipe should be labeled and existing manholes labeled in accordance with the District's system mapping. A copy of the District's system mapping is available upon request.
3. The District has an existing 15-inch PVC truss pipe along the west edge of the property that is an the outfall sewerline from the Banner Industrial Park. An outlot will need to be created a minimum of 20-feet in width centered over the District's existing sewerline to the extent possible for the entire length of the sewerline through the subdivision. This will provide the District unobstructed access for cleaning and maintenance purposes. This is a requirement in lien of proposed Tract C (15-foot wide Utility Easement).
4. A new 8-inch sewerline will need to be extended along McBeth Drive to the west property line and a new manhole connected to the Banner Industrial outfall sewerline. The additional sewerline would flow from west to east (to McBeth Drive and Hamlet Court). This will allow the District to abandon the portion of sewerline south of McBeth Drive and avoid having redundant sewerlines. The new manhole that connects to the Banner Industrial Park outfall line may also require a drop manhole for the north inlet sewer to insure adequate depth of the sewerline along McBeth Drive to provide potential service to future development to the west.
5. Sewer services to existing residences will need to be disconnected as part of the subdivision improvements. When abandoning an existing tap, the existing service line is to be disconnected by excavating the connection to the existing main and capping it with concrete. This requirement will need to be included as part of the final plans for all existing service lines.
6. There is some question how proposed lots along the auto courts will be served and whether individual service lines will be extended from the sewer main in McBeth Drive, or a sewer main extended with an end of line manhole. If sewer services are proposed, all requirements of the Uniform Plumbing Code will need to be met including in-line cleanouts at 100-foot intervals. The auto court driveways will also need to be designated as utility easements in addition to ingress/egress to allow the private service

**REVIEW COMMENTS / PP-2003-069 / PAGE 11 of 11**

lines from the north to cross private property. Sewer services to the lots south of the proposed auto courts (Lots 33-60) should have sewer services extend south to the McBeth Drive. Because it is unclear how lots along the auto courts are served, the sewer services to all lots should be shown on the Preliminary Plan and resubmitted to the District for review.

7. If the Preliminary Plan is approved, all the District's requirements for sewerline extensions in new subdivisions will need to be met as part of the final platting process.

Please have the petitioner revise the Preliminary Plan to address the aforementioned comments and resubmit to the District for further review.

Comments not available as of 5/13/03:

City Attorney

Parks & Recreation Department

Police Department

Grand Valley Irrigation

Mesa County Planning

Qwest

Urban Trails Committee

Xcel

**REVIEW COMMENTS / PP-2003-069 / PAGE 10 of 10**

Please have the petitioner revise the Preliminary Plan to address the aforementioned comments and resubmit to the District for further review.

Comments not available as of 5/6/03:

City Attorney

Parks & Recreation Department

Police Department

City Utility Engineer

Colorado Geological Survey

Grand Valley Irrigation

Mesa County Planning

Qwest

Urban Trails Committee

Xcel

1. A shared driveway shall be owned and maintained by the owners of the parcels or lots that abut the shared driveway.
2. Not more than four single-family lots shall abut or touch any portion of the shared driveway and no more than four single-family units may access a shared driveway.
3. Shared driveways shall be a minimum of 16 feet wide flowline to flowline and a maximum of 150 feet long.
4. Parking on a shared driveway shall be prohibited.
5. A shared driveway may be used only where it intersects a street with on-street parking.
6. Each lot abutting a shared driveway shall provide four on-site parking spaces. For homes on shared driveways that access a cul-de-sac, five on-site parking spaces shall be provided. These additional spaces may be provided on the shared driveway if it is widened to accommodate such parking.
7. Each lot abutting a shared driveway shall access off of the shared driveway unless approved otherwise at the time of subdivision.
8. Shared driveways shall be designed to permit the ASHTO "P" design vehicle to back out of an individual driveway and turn 90 degrees in either direction on the shared driveway without any portion of the vehicle:
  - a. leaving the individual driveway from which the vehicle is exiting or the shared driveway; or
  - b. entering on or over the individual driveways of any other residence.
9. The building setback adjacent to a shared driveway shall be the minimum setback required for that side of the property by the underlying zoning district or 15 feet, whichever is greater. All entrances to garages shall be set back a minimum distance of 20 feet from the shared driveway.

10. No fences or hedging taller than 30 inches shall be located within the setback adjacent to the shared driveway. Open fences are acceptable.
11. No gateways, locked entries or other restrictive access constraints are allowed across a shared driveway.
12. Finished surface may be composed of variable hard surfaces such as brick, interlocking pavers, cobblestones or similar finishes, designed by a Professional Engineer and as approved by the City or County Engineer.


A Loop Lane is an alternate street design that provides a turnaround in place of a cul-de-sac. The loop lane is desirable because it allows for additional open space/park area instead of an expanse of asphalt paving found in a standard cul-de-sac. Loop Lanes shall comply with the following standards.

#### 13.2.2 Loop Lane Standards

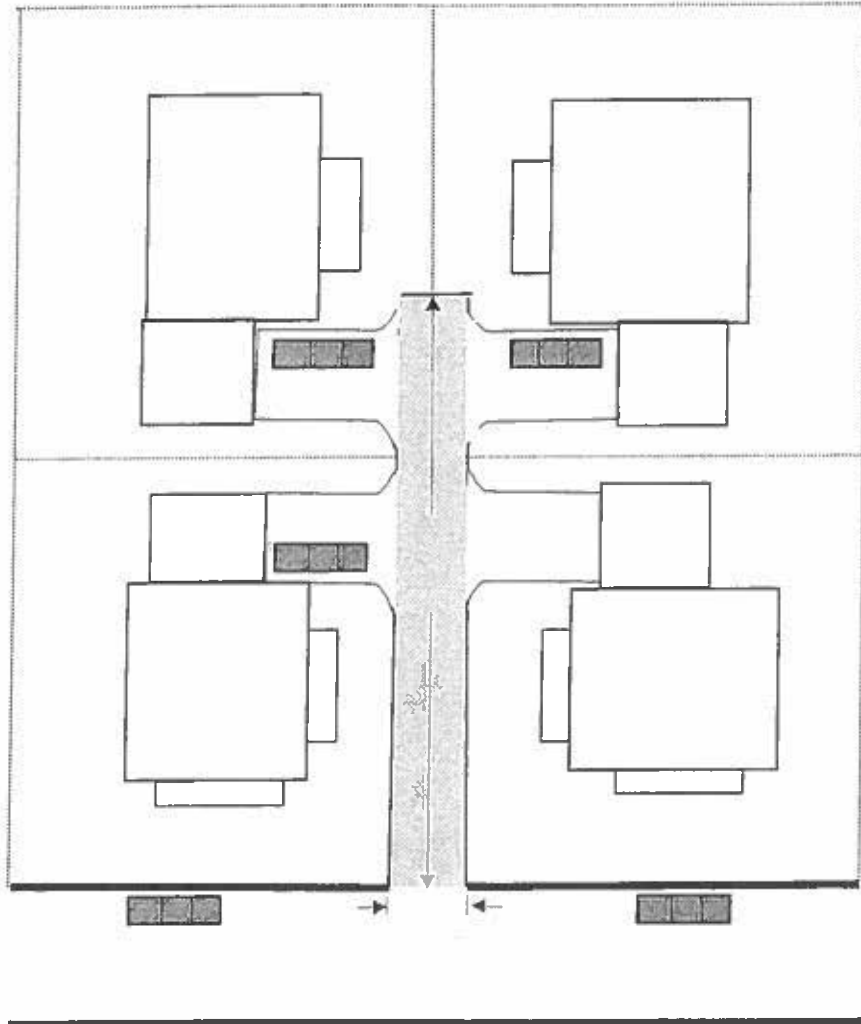
1. A maximum of seven homes may access off the loop.
2. The minimum loop lane is 16 feet from flowline to flowline and shall consist of a paved surface with roll-over curb and gutter on at least one side and a roll-over curb or vertical curb on the other side.
3. No curve on any portion of the flowline of the loop lane shall have an inside radius of less than 33' and an outside radius of less than 48'.
4. No portion of the loop lane shall extend more than 250' from the abutting street right-of-way.
5. A minimum separation of 66' is required between the right-of-way on each side of the loop.
6. Four guest-parking spaces, located in the public right-of-way, are required at the end of the loop. The parking area is reserved for guest parking and shall not be used for the parking of residents' vehicles and/or recreation vehicles for more than a 24-hour period.

9. All entrances to garages shall be set back from the private street or pedestrian trail a minimum distance of 20 feet.
10. Utility and/or multipurpose easements may be required for a portion of, or the full width adjacent to the street section when necessary.
11. A single Homeowners Association for all phases of the development shall be formed and established with the Secretary of State's Office prior to the recordation of a final plat that contains a private street.
12. The Homeowners Association shall establish an annual maintenance fund for the private street(s) in accordance with the attached document titled "Maintenance Agreement." The agreement shall be recorded by the petitioner, with review and approval by the Public Works Department, prior to the recordation of the final plat.
13. The Homeowners Association shall be responsible to maintain a vegetation-free zone along the private street that is 20 feet in width (10' each side from the center of the street) and 13'-6" in height as measured from the paved surface of the street.
14. Each residential structure accessed from a private street shall have landscaped areas of at least ten (10) feet in width between the street and the structure except for the driveway to the garage.
15. An entrance design feature such as decorative paving, special signage or other conspicuous improvement shall be incorporated into the final design of the private street such that the design clearly distinguishes the private street from the public street.

### **13.2 Shared Driveways and Loop Lanes**

 The Shared Driveway or Autocourt is designed to provide access to lots where a full public street is not practical or economical. The number of shared driveways used in a subdivision is limited due to the undesirable lot layouts they often create, potential conflicts over shared common space, and private versus public maintenance cost issues. Shared driveways shall comply with the following standards.

#### **13.2.1 Shared Driveway Standards**



**Shared Driveways**



**City of Grand Junction**  
**Public Works Department**  
**250 North 5<sup>th</sup> Street**  
**Grand Junction, CO 81501-2668**  
**Phone: (970) 256-4034**  
**FAX: (970) 256-4031**

May 23, 2003

Jeff Crane  
Crane & Associates  
2917L50 Lane  
Hotchkiss, CO 81419

Regarding: Shakespeare's Court Subdivision

Dear Mr. Crane:

Thank you for taking the time to meet with us to review this project. I am writing this letter to give you further clarification and guidance regarding topics raised at our meeting.

In response to the questions that I was not able to answer during the meeting:

- 1) Alternate street standards can be considered through the Transportation Engineering Design Standards (TEDS) Exception process (Chapter 14 of TEDS). A general guideline for what the City is looking for and how we may consider them are given separately in a e-mail that you should have already received. I wish to underscore that these Alternate Street Standards are performance based and it is up to you to demonstrate how and why they will work in your particular circumstance. Certainly higher density housing has more on-street parking demands. Further, we would expect narrowed streets to have good connectivity (be interconnected at far less than the maximum block length). Public alleys and private streets can be considered as detailed in TEDS.
- 2) Sidewalk on D ½ Road needs to be detached and separated per the detail provided at our meeting.

Yesterday we made quite a few suggestions for maximizing usable lot area, usable space and improving the road layout. These are suggestions only. As Eric Hahn may have suggested using auto-courts as a tool for developing properties with an awkward depth, I suggested ways of using otherwise encumbered land for right-of-way instead of as a Tract. It is still incumbent on you to develop a plan which meets TEDS and a lot layout that is consistent with the applicable portions of the Zoning and Development Code.

I would also suggest that a sketch plan be submitted for a quick informal review prior to resubmittal.



Below I will point out a number of Code References which I think you might find helpful in developing a good conceptual layout.

Zoning and Development Code:

Table 3.2 Zoning District Dimensional Standards (Building Envelopes/Setbacks)  
Section 3.3 G: RMF-8 Residential Zone District  
Section 4.3 O Multi Family Development  
Section 6.2 Infrastructure Standards  
Section 6 Design and Improvement Standards, – landscaping, parking, etc.  
Section 6.7 Subdivision Standards  
    Section 6.7D3 and 4 Attached Single Family, Zero Lot Line  
    Section 6.7D6-10 Miscellaneous Street and Lot Layout  
Section 6.7E Circulation  
Section 6.7F Location and Use of Open and Undeveloped Space

Transportation Engineering Design Standards (TEDS) Manual:

4.1.1 & 4.1.2 Access Spacing  
5.2.5 Intersection Spacing  
5.1.3 Maximum homes on cul-de-sac  
5.1.1 Maximum Block Length  
5.1.3 Maximum homes on cul-de-sac  
5.1.3 Cul-de-sacs and dead end streets  
5.4 Type and positioning of traffic calming (and other information provided by George Miller)

Storm Water Management Manual (SWMM): Consider inundation limits of roadways in the 100 year event. Particularly consider this at the alley ways and areas of constricted widths.

Also, you will need to take these standards into account for your consideration of your phasing limits.

Also, please make sure all information required per SSIDs checklist is contained on your preliminary plan even if several plan sheets need to be provided. If I can be of any help to you during this process, please contact me at 256-4155.

Sincerely yours,

  
Laura C. Lamberty, PE  
Development Engineer

C: Lisa Comstock  
Kristen Ashbeck, Senior Planner  
George Miller, Transportation  
File

City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction CO 81501

Telephone: (970) 244-1430  
Fax: (970) 256-4031  
Email: CommDev@ci.grandjct.co.us



RECEIVED

JUN 03 2003

# Review Agency Comment Sheet

COMMUNITY DEVELOPMENT DEPT.

AP  
6/3/03

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

Date: 4/1/03 To Review Agency: XCEL 4/8/03

File No: PP 2003-069 Staff Planner: Kristen Ashbeck  
(To be filled in by City Staff) (To be filled in by City Staff)

Project Name: SHAKESPEARE'S COURT SUBDIVISION

Location: 2980 & 2990 D 1/2 ROAD

Development Review Meeting Date: 5/6/03  
(To be filled in by City Staff)

## COMMENTS

(For Review Agency Use)

ADDITIONAL ESMTS  
REQUIRED FOR  
LOTS NORTH OF

Outside Review Agencies: Please email comments to: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us), FAX comments to (970) 256-4031 or mail written comments to the above address. NOTE: If this form is not returned, additional review information will not be provided.

City Review Agencies: Please type your comments in Impact AP. MacBeth Dr. Auto Courts Need to BE Dedicated Utility ESMTS.

All comments must be returned to the  
Community Development Department no later than

(To be filled in by City Staff) 5/5/03

NOTE: Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Reviewed By Larry Gavcan Date 5/30/03

Email Address larry.gavcan@xcelenergy.com Telephone 244-2692

**From:** Peter Krick  
**To:** Kristen Ashbeck  
**Date:** 4/22/03 1:05PM  
**Subject:** Re: Shakespeare's Court

You go ahead, you are much more articulate.  
Peter

>>> Kristen Ashbeck 04/22/03 11:32AM >>>

Peter

Yes, it does need to be brought up to them - you can either add it to our comments, I'll put it in mine or both. Thanks,

Kris

>>> Peter Krick 04/22/03 10:15AM >>>

Kris,

I forgot to mention this on my review of the Plat; the site plan does not match the lot configuration from the Plat. This is along the North tier of lots and does not indicate the Access Tracts. Also, depending on the setback requirements, the Southerly tier of lots will not have much room in the rear of the house for any patios or attached slabs. Does this need mentioning in the documents?

Thanks,

Peter

## STATE OF COLORADO

COLORADO GEOLOGICAL SURVEY  
 Department of Natural Resources  
 1313 Sherman Street, Room 715  
 Denver, Colorado 80203  
 Phone (303) 866-2611  
 FAX (303) 866-2461

April 28, 2003

Legal Location : SE¼, NE¼, S17, T1S, R1E  
 CGS Case No. MA-03-0069



DEPARTMENT OF  
 NATURAL  
 RESOURCES

Bill Owens  
 Governor

Greg E. Walcher  
 Executive Director

Ron Cattany  
 Division Director

Ron Cattany  
 Acting State Geologist  
 and Director

Ms. Kristen Ashbeck  
 Community Development Department  
 250 North 5<sup>th</sup> Street  
 Grand Junction, CO 81501

Re: Shakespeare's Court Subdivision, Mesa County, Colorado

Dear Ms. Ashbeck:

In response to your request, I visited this property to review the plat. A General Project Report; a Preliminary Drainage Report (3-1-03), prepared by Crane Associates; a Geotechnical Investigation (4-1-03), prepared by Geotechnical Engineering Group (4-1-03); and a Preliminary Plan Set (4-1-03); prepared by Crane Associates, were included in the referral.

The proposed 107 lot residential subdivision is located on approximately 19.21 acres of topographically flat land. The referral indicates that water and sanitary sewer service will be provided by the local district. The site geology consists of Holocene and late - Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Geotechnical Engineering Group report. The soils identified on this site. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should also be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

Sean P. Gaffney  
 Geologist

AP  
 5/12/03

City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction CO 81501

Telephone: (970) 244-1430  
Fax: (970) 256-4031  
Email: CommDev@ci.grandjct.co.us



# Review Agency Comment Sheet

5/5/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: 4/1/03

To Review Agency: AT&T Broadband  
4/8/03

File No: PP-2003-069  
*(To be filled in by City Staff)*

Staff Planner: Kristen Ashbeck  
*(To be filled in by City Staff)*

Project Name: SHAKESPEARE'S COURT SUBDIVISION

Location: 2980 & 2990 D'1/2 ROAD

Development Review Meeting Date: 5/6/03  
*(To be filled in by City Staff)*

## COMMENTS

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us), FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)*

5/5/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Reviewed By \_\_\_\_\_ Date \_\_\_\_\_

Email Address \_\_\_\_\_ Telephone \_\_\_\_\_

April 28, 2003

Shakespeare's Court Subdivision  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Dear, Lisa Comstock

We are in receipt of the plat map for your new subdivision, **Shakespeare's Court Subdivision**. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish to have available to the new home purchasers. These items are as follows:

1. We require the developers to provide, at no charge to AT&T Broadband, an open trench for cable service where underground service is needed and when a roadbore is required, the developer too must provide that. The trench may be the same one used by other utilities however; **the road-bore must have a 2" conduit for the sole use of cable TV.**
2. We require developers to provide, at no charge to AT&T Broadband, fill-in of the trench once cable has been installed in the trench.
3. **We require developers to provide, at no charge to AT&T Broadband, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossings will be in the same location as power and telephone crossing. If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.**
4. Should your subdivision contain cul-de-sac's the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.
5. AT&T Broadband will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to AT&T Broadband in order to extend the cable TV service to that subdivision.
6. Should AT&T Broadband be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, AT&T Broadband may require a construction assist charge, to be paid by the developer.

Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with our office and I will get back in contact with you as soon as I can.

Sincerely,

Chuck Wiedman,  
Construction Supervisor Phone: 263-2313

City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction CO 81501

Telephone: (970) 244-1430  
Fax: (970) 256-4031  
Email: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us)



AP  
5/6/03

# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: 4/1/03

To Review Agency: Central Grand Valley Sanitation

File No: PP-2003-069  
*(To be filled in by City Staff)*

Staff Planner: Kristen Ashbeck  
*(To be filled in by City Staff)*

Project Name: SHAKESPEARE'S COURT SUBDIVISION

Location: 2980 & 2990 D'1/2 ROAD

Development Review Meeting Date: 5/6/03  
*(To be filled in by City Staff)*

## COMMENTS *(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us), FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)* 5/5/03

See attached comments.

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Stephen T. LaBonde 5/5/2003

Reviewed By \_\_\_\_\_ Date \_\_\_\_\_

cc: Anne Fees, CGVSD

Email Address \_\_\_\_\_ Telephone \_\_\_\_\_

REVIEW COMMENTS FOR SHAKESPEAR COURT SUBDIVISION PRELIMINARY PLAN  
- CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-069), 05/05/03.

The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Shakespear Court Subdivision:

1. The District can provide sewer service to the proposed development through their D $\frac{1}{2}$  Road sewerline that was upgraded in 1997 to 12-inch SDR-35 PVC sewerline.
2. The District's existing sewerline sizes and type of pipe should be labeled and existing manholes labeled in accordance with the District's system mapping. A copy of the District's system mapping is available upon request.
3. The District has an existing 15-inch PVC truss pipe along the west edge of the property that is an the outfall sewerline from the Banner Industrial Park. An outlot will need to be created a minimum of 20-feet in width centered over the District's existing sewerline to the extent possible for the entire length of the sewerline through the subdivision. This will provide the District unobstructed access for cleaning and maintenance purposes. This is a requirement in lien of proposed Tract C (15-foot wide Utility Easement).
4. A new 8-inch sewerline will need to be extended along McBeth Drive to the west property line and a new manhole connected to the Banner Industrial outfall sewerline. The additional sewerline would flow from west to east (to McBeth Drive and Hamlet Court). This will allow the District to abandon the portion of sewerline south of McBeth Drive and avoid having redundant sewerlines. The new manhole that connects to the Banner Industrial Park outfall line may also require a drop manhole for the north inlet sewer to insure adequate depth of the sewerline along McBeth Drive to provide potential service to future development to the west.
5. Sewer services to existing residences will need to be disconnected as part of the subdivision improvements. When abandoning an existing tap, the existing service line is to be disconnected by excavating the connection to the existing main and capping it with concrete. This requirement will need to be included as part of the final plans for all existing service lines.
6. There is some question how proposed lots along the auto courts will be served and whether individual service lines will be extended from the sewer main in McBeth Drive, or a sewer main extended with an end of line manhole. If sewer services are proposed, all requirements of the Uniform Plumbing Code will need to be met including in-line cleanouts at 100-foot intervals. The auto court driveways will also need to be designated as utility easements in addition to ingress/egress to allow the private service lines from the north to cross private property. Sewer services to the lots south of the proposed auto courts (Lots 33-60) should have sewer services extend south to the McBeth Drive. Because it is unclear how lots along the auto courts are served, the sewer services to all lots should be shown on the Preliminary Plan and resubmitted to the District for review.



7. If the Preliminary Plan is approved, all the District's requirements for sewerline extensions in new subdivisions will need to be met as part of the final platting process.

Please have the petitioner revise the Preliminary Plan to address the aforementioned comments and resubmit to the District for further review.

*Kristen*

**From:** "Garceau, Larry M" <Larry.Garceau@XCELENERGY.COM>  
**To:** <CommDev@ci.grandjct.co.us>  
**Date:** Fri, May 30, 2003 1:51 PM  
**Subject:** File No. PP-2003-069, Shakespears's Court Subdivision

*AP  
6/2/03*

Xcel Energy request all "Auto Courts" north of Macbeth Drive be dedicated as a Utility Easement, Additional easements may be required depent on Electrical & Gas design layout.

City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction CO 81501

Telephone: (970) 244-1430  
Fax: (970) 256-4031  
Email: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us)



AP  
4/22/03

# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: 4/1/03

To Review Agency: Property 4/8/03 Agent

File No: PP-2003-069  
*(To be filled in by City Staff)*

Staff Planner: Kristen Ashbeck  
*(To be filled in by City Staff)*

Project Name: SHAKESPEARE'S COURT SUBDIVISION

Location: 2980 & 2990 D 1/2 ROAD

Development Review Meeting Date: 5/6/03  
*(To be filled in by City Staff)*

## COMMENTS *(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: [CommDev@ci.grandjct.co.us](mailto:CommDev@ci.grandjct.co.us), FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)* 5/5/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Reviewed By \_\_\_\_\_ Date \_\_\_\_\_

Email Address \_\_\_\_\_ Telephone \_\_\_\_\_

April 21, 2003

Re: PP-2003-069  
**SHAKESPEARE'S COURT SUBDIVISION**

#### REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Submittal Standards. A signed and sealed copy of a current Improvement Survey Plat, as outlined in the Standards, is required. An additional copy of the Standards was forwarded to the Surveyor for his use in the preparation of revisions to this Plat.

An additional review will be required after receipt of a revised Plat. The following comments are for the use of the Surveyor but may not contain all requirements or data from the Standards.

#### Sheet 1 of 2

1. Revise the stated scale to match the graphic scale of 1"=100'.
2. Provide a list of all abbreviations used.
3. Properly dedicate all tracts, parcels or rights of way, using approved City of Grand Junction Sample Model Language.
4. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
5. The Point of Beginning(s) should be indicated and labeled on the Plat.
6. Provide a Title Certification for the use of the Title Company.
7. Indicate the recording information for a Homeowners Association, if required, in the Dedication of Tracts or Easements to the Association.
8. A location map is required.
9. The Title Commitment indicated on the Plat is not current and does not match the copy submitted for review with the application.

#### Sheet 2 of 2

1. Provide recording information for all recorded easements indicated on the Plat.

2. Provide the recording information for all rights of way indicated on the Plat. Dedication may be required if proof of existing right of way is not available.
3. Remove the radius point designations from the Plat drawing.
4. Delete the dark line designating the East line of Parcel B.
5. Verify the area and/or dimensions for Lots 19, 20 and 68.
6. Verify the area and/or dimensions for Tract I.
7. Eliminate the use of identical Tract letter designations within the Plat; ie: Tract E (D 1/2 Road right of way) and Access Tract E.
8. It is suggested that that portion of King Lear Court lying between D 1/2 Road and Othello Drive be renamed.
9. Provide a bearing and distance along the aliquot line on 30 Road and tie this line dimensionally to the East line of the Plat.
10. Provide a width for Tract G adjacent to D 1/2 Road.
11. Provide a width for that portion of Hamlet Court lying North of Macbeth Drive.
12. Provide a 'half-width' dimension on all interior roadways indicating that the right of way is centered on the centerline as drawn.
13. Indicate the 6 foot easement per Book 2404, Page 25.
14. The East line of the existing 15 foot Utility Easement adjacent to the West line of the Plat (per Book 1157, Page 91) should extend to the North and South lines of the Plat.
15. Monument records for the Aliquot corners indicated on the Plat should be filed if the corners are in danger due to proposed construction on the Plat.
16. The line used as a Basis of Bearings should be indicated on the Plat.
17. The Point of Beginning(s) should be indicated and labeled on the Plat.
18. Provide a list of all abbreviations used.
19. Lettering size shall be 0.08" minimum.
20. The Surveyor's signature is required on each sheet of the Plat. (rule 6.1.2)

21. All adjoining subdivisions shall be indicated with the appropriate title and recording information. All street rights of way from these adjoining subdivisions shall be drawn upon the Plat.
22. The Access Tracts, as now indicated, may be Utility Easements to serve the Northerly tier of lots. This should be verified with the Engineering staff of Community Development.
23. Easements may be required by the Engineering staff of Community Development for the parking areas designated on the Site Plan within Lots 33 through 60.
24. The Plat indicates that all interior lot corners and centerline of road control have been set (or will be set before the time of recordation).

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

Kristen

AP  
4/23/03

**From:** "jim daugherty" <jdaugherty@utewater.org>  
**To:** "Comm Dev" <CommDev@ci.grandjct.co.us>  
**Date:** Tue, Apr 22, 2003 12:15 PM  
**Subject:** SHAKESPEARE'S COURT

Ute Water Conservancy District  
Review Number  
PP-2003-069  
Review Name  
SHAKESPEARE'S COURT

\* COMMENT

- \* All water meters must be set at ROW.
  - \* Water lines that do not supply fire hydrants in dead ends shall not be larger than 4".
  - \* Developer must provide a drawing that shows water meter locations.
  - \* 8" water line in D 1/2 Rd. must be extended from Doris Rd. to west edge of subject property.
  - \* At D 1/2 Rd. and Doris an 8" wet tap will be required on the existing water line.
  - \* Water mains shall be C900, Class 150 PVC. Installation of pipe, fittings, valves, and services, including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings
  - \* Developer is responsible for installing meter pits and yokes (pits and yokes supplied by Ute Water).
  - \* Construction plans required 48 hours before construction begins. If plans are changed the developer must submit a new set of plans.
  - \* Electronic drawings of the utility composite for the subdivision, in Autocad.dwg format, must be provided prior to final acceptance of water infrastructure.
  - \* Water meters will not be sold until final acceptance of the water infrastructure.
  - \* ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY
- If you have any questions concerning any of this, please feel free to contact Ute Water.

Edward Tolen P.E.  
Project Engineer, Ute Water

Jim Daugherty  
New Services Coordinator, Ute Water

DATE 4/22/03

PHONE OFFICE 242-7491  
FAX 242-9189  
EMAIL jdaugherty@utewater.org

CC: "Jeff Crane" <jeffcrane@tds.net>

Community Meeting for 2990 and 2980 D1/2 Road  
1/23/2003

Attended by  
Charles J. Russell 2999 D.5 Road 523-4298  
Mr and Mrs Calvin Clement 456 30 Road  
Kristen Ashbeck City Community Development  
Linda Nieman 3013 Road  
Jeff Crane Engineer for the Project  
Lisa Comstock Applicant

**RECEIVED**  
JAN 31 2003  
COMMUNITY DEVELOPMENT  
DEPT.

Mr Russell spoke of his concerns about the irrigation water. Stated he already didn't have any water. This comment was reinforced by another neighbor.

Mrs Clement talked about the Canadian geese that were on the site.

Mrs Nieman was concerned about whether a two story home would back her property. It was pointed out that it was another project site located next to her property.

Jeff Crane explained to project and spoke about drainage and storm water. Traffic was also discussed.

The lack of water for irrigation was once again brought up.



(970)  
Kick  
956-1756

To: Local Homeowners

From: ISRE, LLC

January 11, 2003

We will be holding a neighborhood meeting on Janua  
Elementary School to discuss the preliminary subdivision pla  
Road.

Please come and share your thoughts with us at this ti  
at 6:30 p.m.

Sincerely,

ISRE, LLC

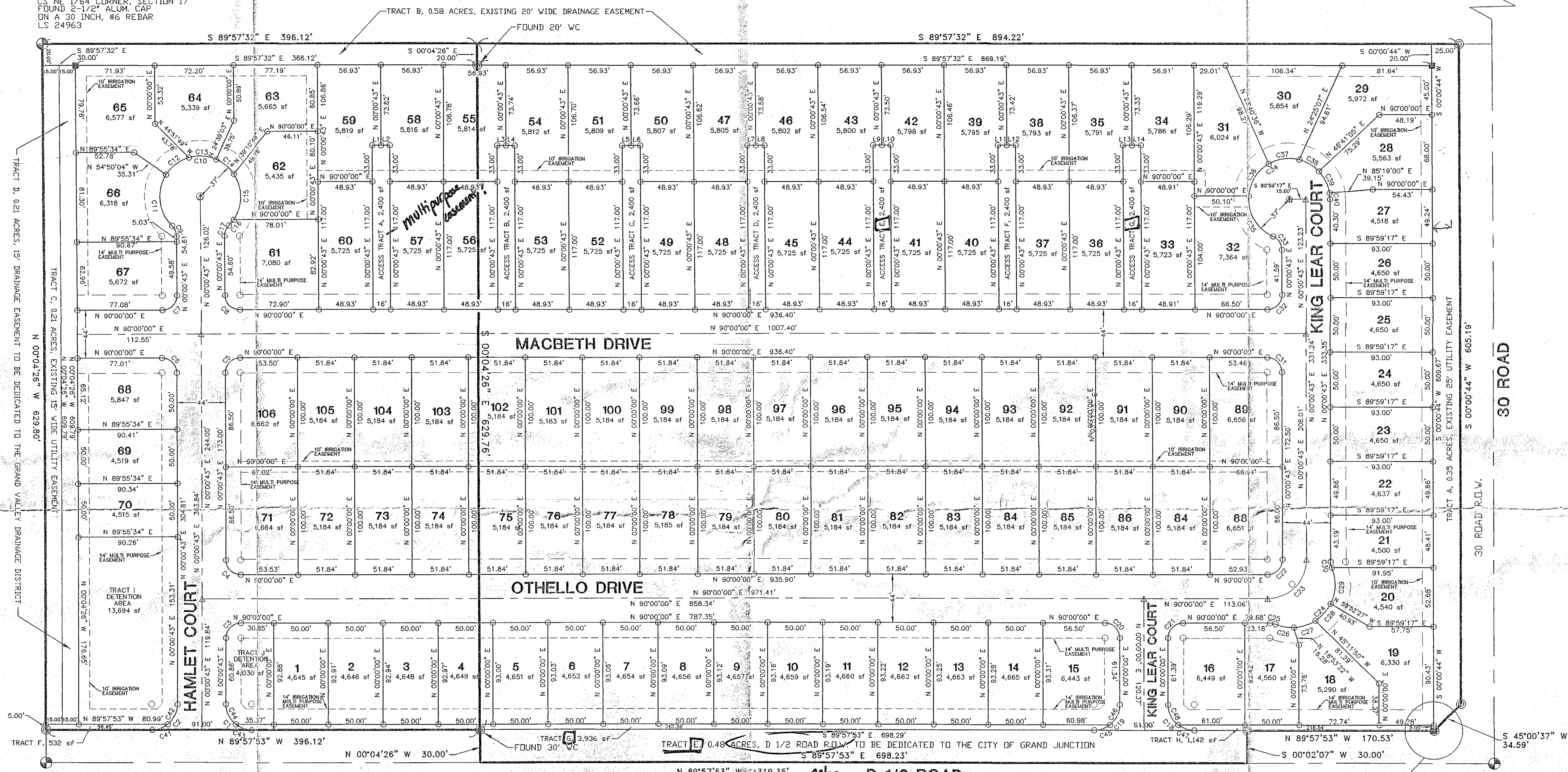
Kappe Crucia  
C

# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN  
MESA COUNTY, COLORADO

N 1/16 S17/S16  
FOUND 3" BRASS CAP  
BURIED IN ASPHALT RD.  
CAP UNREADABLE  
MCSM

CS NE 1/4 CORNER, SECTION 17  
FOUND 2-1/2" ALUM. CAP  
ON A 30 INCH, #6 REBAR  
LS 24963



**LEGEND**

Number 5 rebar, 18" long, and 1-1/2" aluminum cap stamped LS 24963 to be set at all lot corners prior to the sale of any lot.

- Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
- Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963 in concrete.
- △ Indicates set centerline control nail with washer stamped LS 24963.
- ⊙ Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
- ⊕ Indicates found monument as noted.

THE PROJECT BENCHMARK IS THE E 1/4 CORNER, SECTION 17. THIS CORNER IS A 3" BRASS CAP IN MONUMENT BOX, ELEVATION=4633.59, MESA COUNTY DATUM.

**AREA SUMMARY**

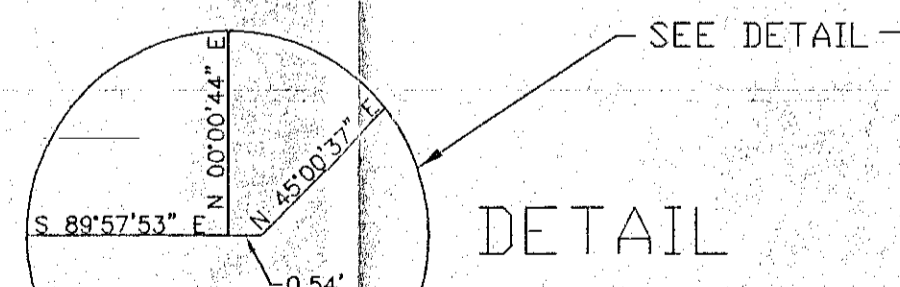
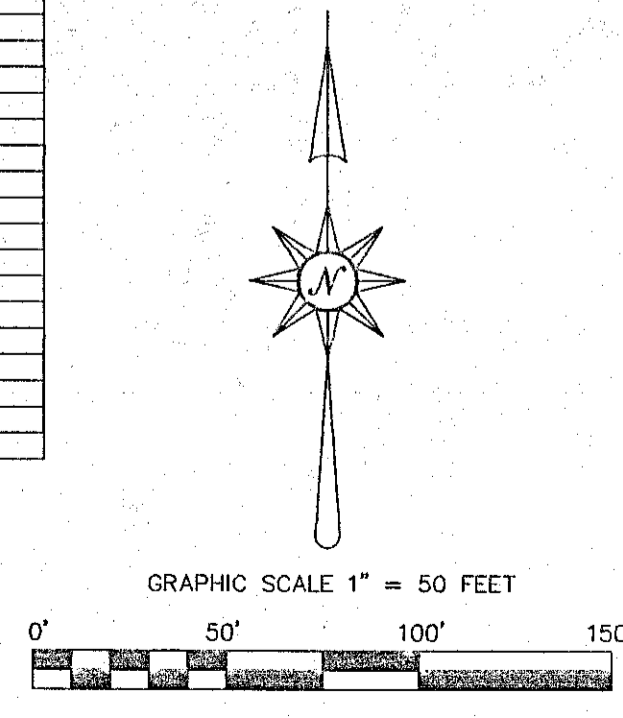
LOTS 1-106	= 13.147 ACRES	68.76%
ROAD R.O.W.	= 3.180 ACRES	16.63%
TRACTS A-J	= 2.408 ACRES	12.59%
ACCESS TRACTS A-G	= 0.385 ACRES	2.02%
<b>TOTAL</b>	<b>= 19.121 ACRES</b>	<b>100.00%</b>

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LEN	CHORD BEARING	DELTA ANGLE	CURVE	RADIUS	ARC LENGTH	CHORD LEN	CHORD BEARING	DELTA ANGLE
C1	23.50	36.90	33.23	S 44°58'35" E	89°58'36"	C25	13.50	5.36	5.33	S 78°36'58" E	22°46'04"
C2	23.50	36.92	33.24	N 49°01'28" E	90°01'24"	C26	39.50	17.28	17.14	S 79°48'51" E	25°03'52"
C3	13.50	21.20	19.09	N 45°00'21" E	89°59'17"	C27	39.50	21.01	20.76	N 72°28'03" E	30°29'20"
C4	13.50	21.21	19.09	S 44°59'39" E	90°00'43"	C28	39.50	20.86	20.62	N 42°08'01" E	30°15'44"
C5	13.50	21.20	19.09	N 45°00'21" E	89°59'17"	C29	39.50	34.28	33.21	N 02°06'23" E	49°43'30"
C6	13.50	21.21	19.09	S 44°59'39" E	90°00'43"	C30	13.50	5.38	5.33	S 112°22'20" E	22°46'04"
C7	13.50	21.20	19.09	N 45°00'21" E	89°59'17"	C31	13.50	21.21	19.09	S 44°59'39" E	90°00'43"
C8	13.50	21.21	19.09	S 44°59'39" E	90°00'43"	C32	13.50	21.20	19.09	N 45°00'21" E	89°59'17"
C9	13.50	10.68	10.41	S 22°39'19" E	45°20'03"	C33	13.50	15.58	14.72	S 33°00'47" E	66°03'00"
C10	37.00	174.79	174.79	S 89°59'17" E	90°00'00"	C34	37.00	158.89	162.04	N 56°59'13" E	246°03'00"
C11	37.00	50.37	46.57	S 06°19'08" E	78°00'25"	C35	37.00	45.41	42.62	S 30°52'31" E	70°19'31"
C12	37.00	26.81	26.23	N 33°26'37" E	41°31'05"	C36	37.00	35.98	34.58	N 32°08'40" E	55°42'52"
C13	37.00	26.73	26.23	S 85°52'24" E	90°00'00"	C37	37.00	28.75	28.03	N 82°15'29" E	44°30'47"
C14	37.00	20.97	20.69	S 49°42'53" E	32°28'15"	C38	37.00	20.95	20.67	S 15°58'53" E	32°26'30"
C15	37.00	44.08	41.52	N 00°38'48" E	68°15'09"	C39	37.00	22.07	21.74	S 25°57'33" E	34°10'09"
C16	37.00	6.83	6.82	N 40°03'35" E	10°34'22"	C40	37.00	5.74	5.73	S 04°25'53" E	08°53'11"
C17	13.50	10.68	10.41	N 22°40'44" E	44°38'11"	C41	23.50	15.62	15.33	N 70°59'57" E	38°04'20"
C18	23.50	36.90	33.22	S 44°58'57" E	89°57'53"	C42	23.50	21.31	20.59	N 25°59'15" E	51°57'04"
C19	23.50	36.93	33.24	N 45°01'03" E	90°02'07"	C43	23.50	15.62	15.33	S 70°55'43" E	38°04'20"
C20	13.50	21.21	19.09	S 45°00'20" E	90°00'00"	C44	23.50	21.28	20.57	S 25°56'25" E	51°54'18"
C21	13.50	21.21	19.09	N 45°00'00" E	90°00'00"	C45	23.50	15.62	15.33	N 70°59'57" E	38°04'20"
C22	14.00	21.99	19.80	N 45°00'23" E	89°59'14"	C46	23.50	21.31	20.59	N 25°58'53" E	51°57'47"
C23	36.00	56.54	50.91	N 45°00'23" E	89°59'14"	C47	23.50	15.62	15.33	S 70°55'43" E	38°04'20"
C24	39.50	93.43	73.12	N 45°00'21" E	135°31'26"	C48	23.50	21.28	20.54	S 25°56'47" E	51°53'33"

**LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.00'	L5	N 90°00'00" E	8.00'
L2	N 90°00'00" E	8.00'	L9	N 90°00'00" E	8.00'
L3	N 90°00'00" E	8.00'	L10	N 90°00'00" E	8.00'
L4	N 90°00'00" E	8.00'	L11	N 90°00'00" E	8.00'
L5	N 90°00'00" E	8.00'	L12	N 90°00'00" E	8.00'
L6	N 90°00'00" E	8.00'	L13	N 90°00'00" E	8.00'
L7	N 90°00'00" E	8.00'	L14	N 90°00'00" E	8.00'



**SHAKESPEARE'S COURT SUBDIVISION**  
LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN, MESA COUNTY, COLORADO

PLAN SCALE 1" = 50'	SIGNATURE BLOCK	
	FIELD CHECK DGN, RKG, CDL	DATE 01/03
REVISIONS: DATE 01/28/03 DATE 02/04/03 DATE 04/07/03	DRAWN BY RKG, DGN	DATE 01/03
	CHECKED BY KIN	DATE 01/03
	TITLED <b>SHAKESPEARE'S COURT SUBDIVISION</b>	

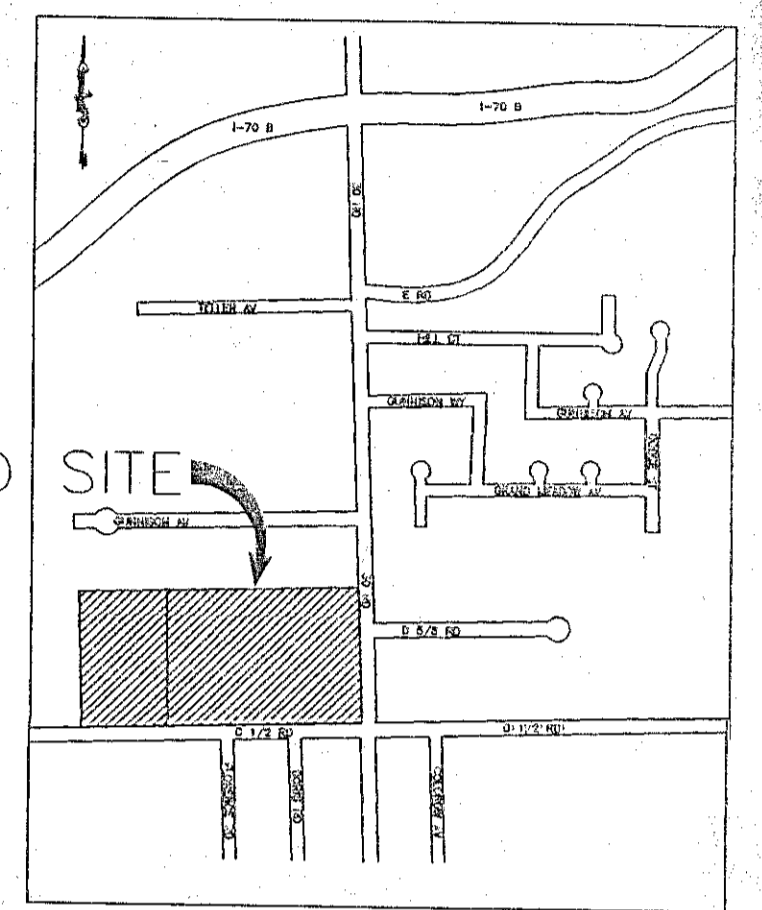
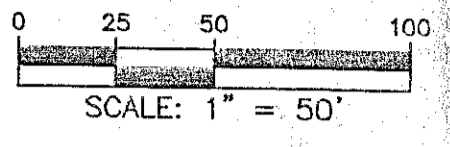
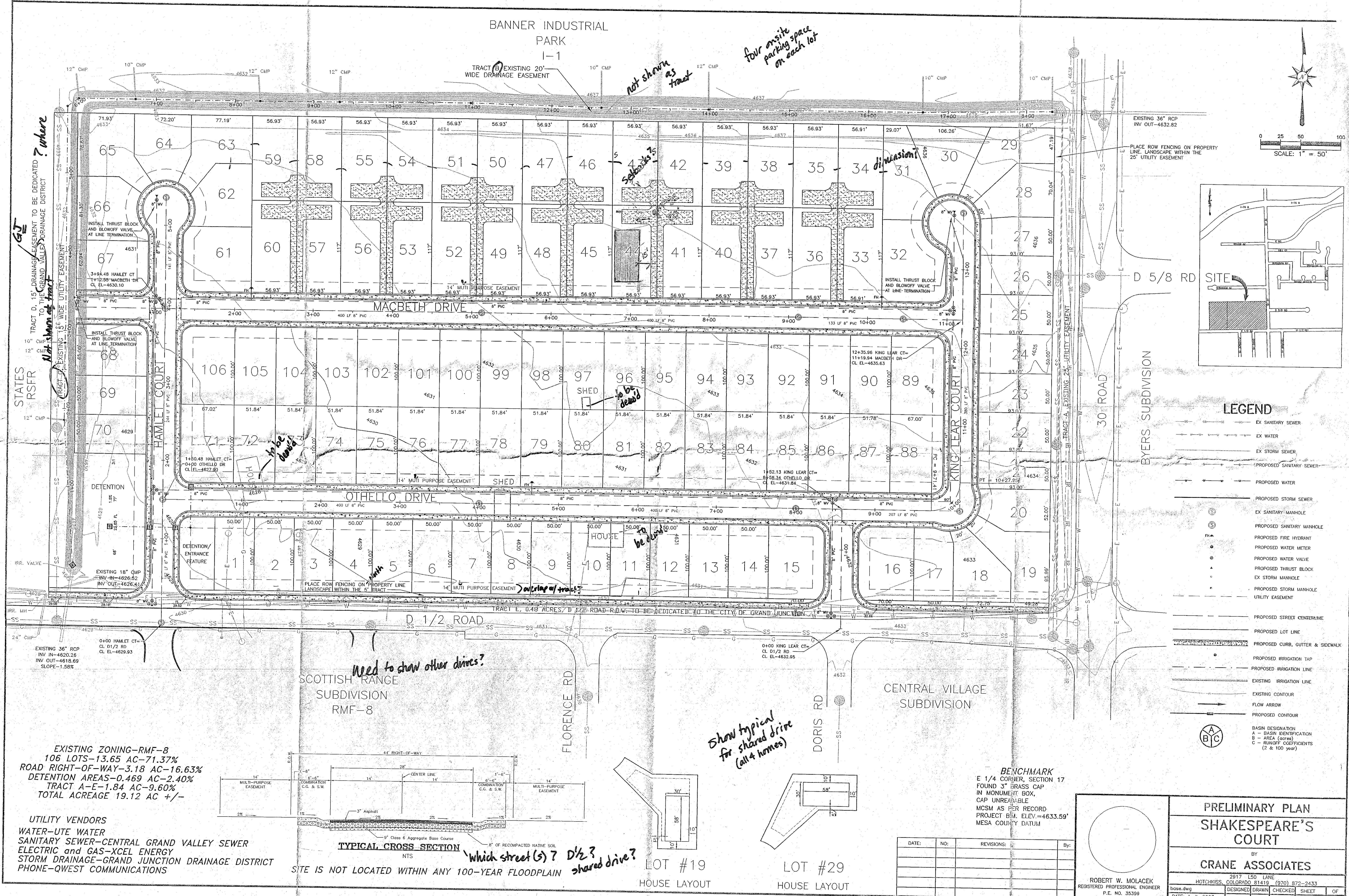
3446 L LANE  
HOTCHKISS, COLORADO 81419  
EMAIL: westelk@aol.com

MAP ID: **WE02088CO**

04/07/03 DWG. NO. VE02088SUB2 SHEET 2 OF 2



BANNER INDUSTRIAL PARK I-1

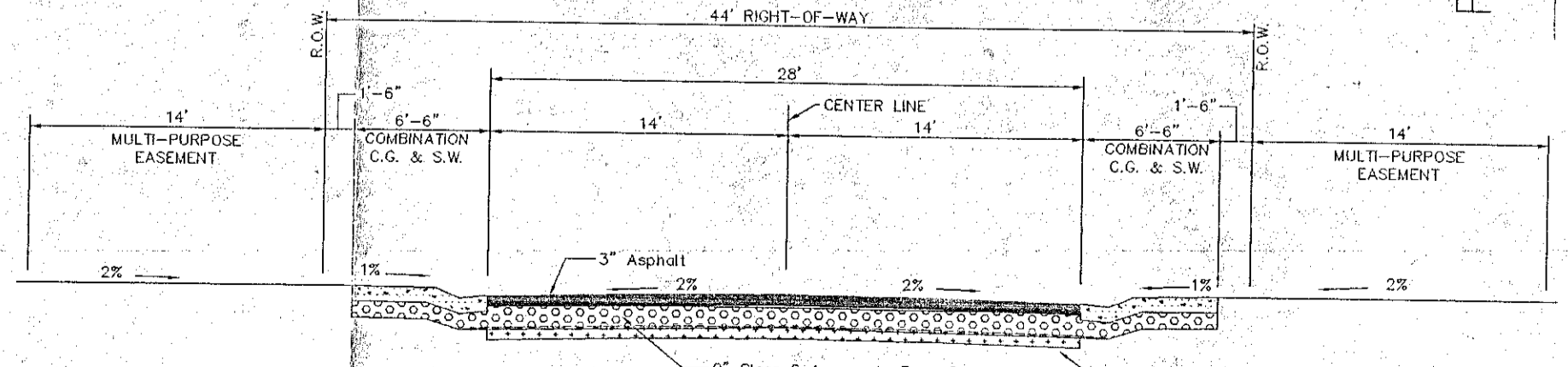


LEGEND

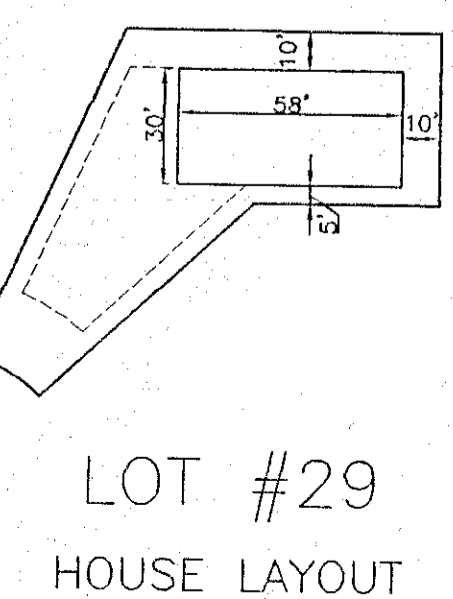
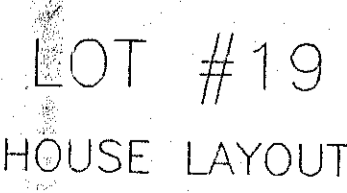
- EX SANITARY SEWER
- EX WATER
- EX STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- PROPOSED STORM SEWER
- EX SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- PROPOSED THRUST BLOCK
- EX STORM MANHOLE
- PROPOSED STORM MANHOLE
- UTILITY EASEMENT
- PROPOSED STREET CENTERLINE
- PROPOSED LOT LINE
- PROPOSED CURB, GUTTER & SIDEWALK
- PROPOSED IRRIGATION TAP
- PROPOSED IRRIGATION LINE
- EXISTING IRRIGATION LINE
- EXISTING CONTOUR
- FLOW ARROW
- PROPOSED CONTOUR
- BASIN DESIGNATION  
A - BASIN IDENTIFICATION  
B - AREA (SQFT)  
C - RUNOFF COEFFICIENTS (2 & 100 year)

EXISTING ZONING-RMF-8  
 106 LOTS-13.65 AC-71.37%  
 ROAD RIGHT-OF-WAY-3.18 AC-16.63%  
 DETENTION AREAS-0.469 AC-2.40%  
 TRACT A-E-1.84 AC-9.60%  
 TOTAL ACREAGE 19.12 AC +/-

UTILITY VENDORS  
 WATER-UTE WATER  
 SANITARY SEWER-CENTRAL GRAND VALLEY SEWER  
 ELECTRIC and GAS-XCEL ENERGY  
 STORM DRAINAGE-GRAND JUNCTION DRAINAGE DISTRICT  
 PHONE-QWEST COMMUNICATIONS



TYPICAL CROSS SECTION  
 NTS  
 SITE IS NOT LOCATED WITHIN ANY 100-YEAR FLOODPLAIN  
 Which street(s)? D 1/2? shared drive?



Show typical for shared drive (all 4 homes)

BENCHMARK  
 E 1/4 CORNER, SECTION 17  
 FOUND 3" BRASS CAP  
 IN MONUMENT BOX,  
 CAP UNREADABLE  
 MCSM AS PER RECORD  
 PROJECT B.M. ELEV.=4633.59'  
 MESA COUNTY DATUM

DATE:	NO:	REVISIONS:	By:

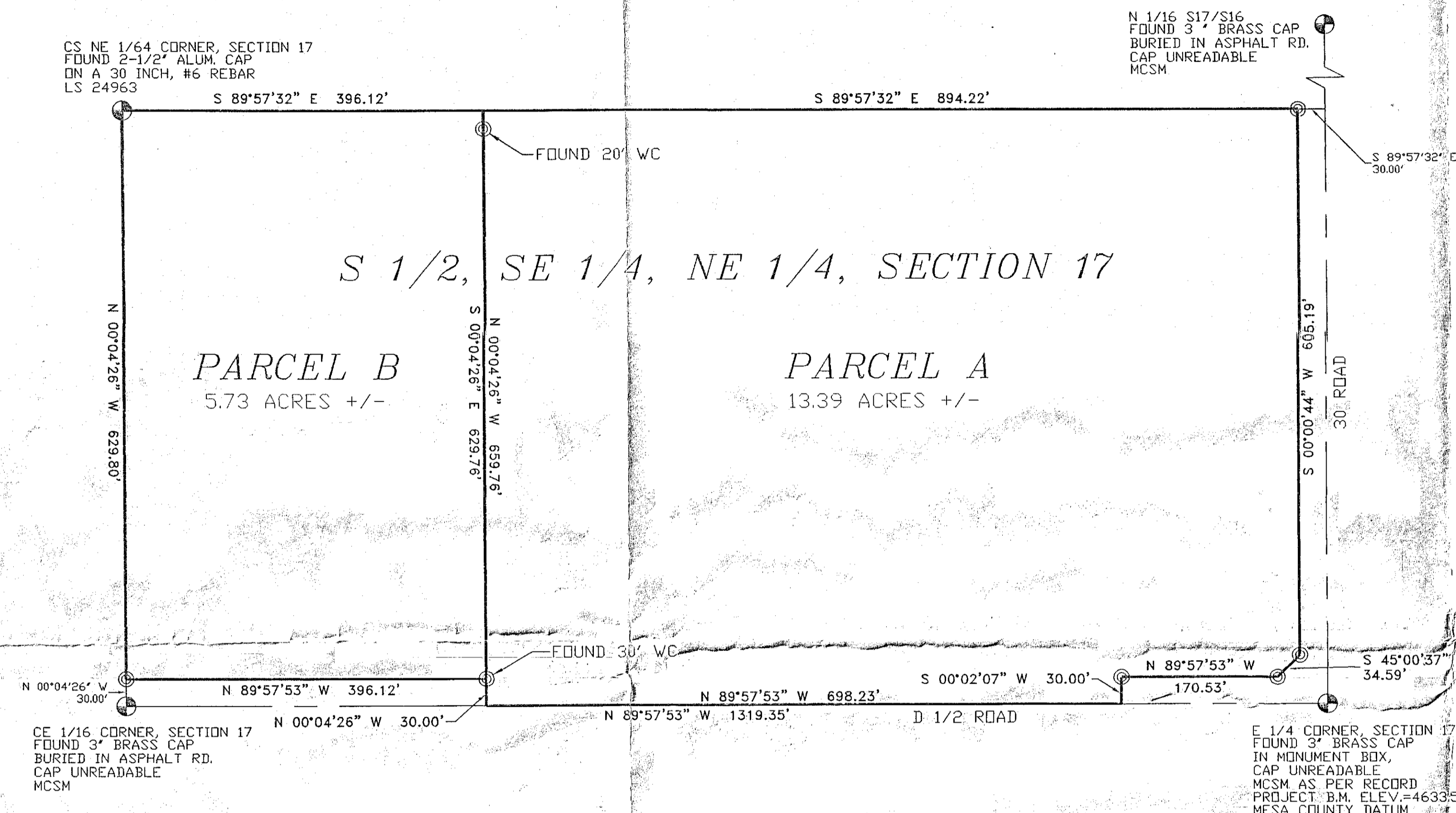
ROBERT W. MOLACEK  
 REGISTERED PROFESSIONAL ENGINEER  
 P.E. NO. 35399

PRELIMINARY PLAN  
 SHAKESPEARE'S COURT  
 BY  
 CRANE ASSOCIATES  
 2917 150 LANE  
 HOTCHKISS, COLORADO 81419 (970) 872-2433  
 base.dwg DESIGNED DRAWN CHECKED SHEET OF  
 DATE: April, 2003 1 1



# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN  
CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

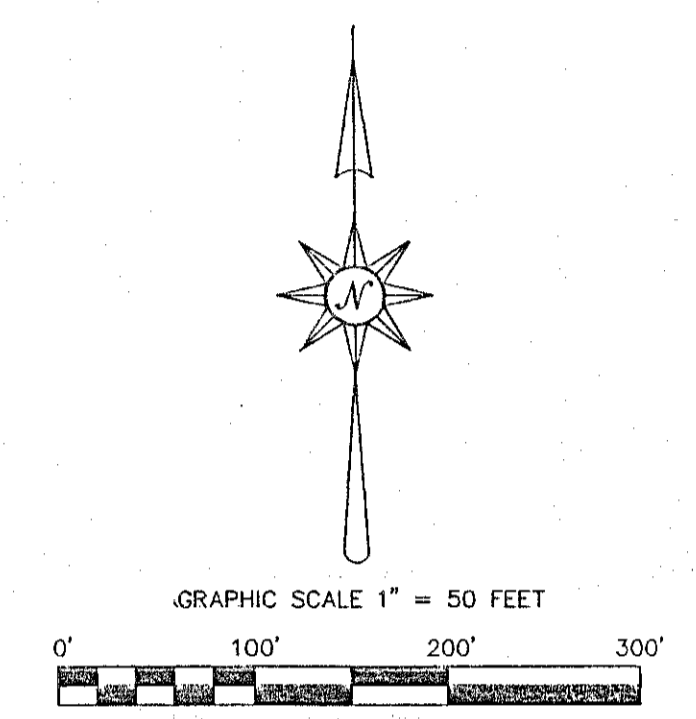


Number 5 rebar, 18" long, and 1-1/2" aluminum cap stamped LS 24963 to be set at all lot corners prior to the sale of any lot.

- Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
- Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963 in concrete.
- ▲ Indicates set centerline control nail with washer stamped LS 24963.
- ⊙ Indicates found a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
- ⊕ Indicates found monument as noted.

THE PROJECT BENCHMARK IS THE E 1/4 CORNER, SECTION 17, THIS CORNER IS A 3" BRASS CAP IN MONUMENT BOX, ELEVATION=4633.59, MESA COUNTY DATUM.

AREA SUMMARY		
LOTS 1-106	= 13.147 ACRES	68.76%
ROAD R.O.W.	= 3.180 ACRES	16.63%
TRACTS A-1	= 2.408 ACRES	12.55%
ACCESS TRACTS A-G	= 0.386 ACRES	2.02%
TOTAL	= 19.121 ACRES	100.00%



IN WITNESS WHEREOF said owner has caused his name to be hereunto subscribed this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Manager  
ISRE, LLC  
State of Colorado )  
County of Mesa )ss  
This plat was acknowledged before me by \_\_\_\_\_ as manager of ISRE, LLC, a Colorado Limited Liability Company, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, for the aforementioned purposes.  
Notary Public  
My commission expires: \_\_\_\_\_

CITY APPROVAL  
This plat of SHAKESPEARE'S COURT SUBDIVISION, a subdivision of the City of Grand Junction, County of Mesa, State of Colorado, was approved this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

City Manager \_\_\_\_\_ Mayor  
COUNTY CLERK AND RECORDER'S CERTIFICATE  
I hereby certify that this instrument was filed in the office of the Clerk and Recorder of Mesa County, Colorado, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., this \_\_\_\_\_ day of \_\_\_\_\_, 2003, and is duly recorded in Plat Book No. \_\_\_\_\_, Page \_\_\_\_\_ as Reception No. \_\_\_\_\_, Drawer No. \_\_\_\_\_  
Fees \_\_\_\_\_

Clerk and Recorder of Mesa County \_\_\_\_\_  
LIENHOLDERS RATIFICATION OF PLAT

The undersigned, hereby certifies that it is a holder of a security interest upon the property hereon described and does hereby join in and consent to the dedication of the land described in said dedication by the owners thereof and agree that its security interest which is recorded in Book \_\_\_\_\_, page \_\_\_\_\_ of the public records of Mesa County, Colorado shall be subordinated to the dedications shown hereon.

In witness whereof, the said corporation has caused these presents to be signed by its \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

By: \_\_\_\_\_ For: \_\_\_\_\_  
(Title) (Corporate Name)

SURVEYOR'S STATEMENT:  
I, David G. Nicewicz, being a registered Professional Land Surveyor in the State of Colorado, do hereby state that this subdivision plat and survey of SHAKESPEARE'S COURT SUBDIVISION was made by me and/or under my direct supervision and that to the best of my knowledge, belief, and information both are accurate and conform to all applicable laws and regulations of the State of Colorado and to all applicable requirements of the zoning and development code of the City of Grand Junction.

David G. Nicewicz P.L.S. 24963  
Date \_\_\_\_\_

STATEMENT OF DEDICATION AND OWNERSHIP  
KNOW ALL MEN BY THESE PRESENTS that the undersigned, ISRE, LLC, a Colorado Limited Liability Company, is the owner of that real property situated in the South 1/2 of the Southeast 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, City of Grand Junction, Mesa County Colorado, described as Book \_\_\_\_\_, Page \_\_\_\_\_ of the Mesa County records, and as shown on the accompanying plat, being more particularly described as follows:

PARCEL A  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the south line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17 from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears N89°57'53"W, 396.12 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W, 629.76 feet to the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 894.22 feet to the Westerly right-of-way of 30' road;  
thence S00°04'26"W along said Westerly right-of-way of 30' road, 605.19 feet;  
thence S45°00'37"W, 34.59 feet to the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 170.53 feet;  
thence S00°02'07"W, 30.00 feet to the South line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence N89°57'53"W along said Section line to the Point of Beginning.  
Said parcel contains 13.39 acres, more or less.

PARCEL B  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the northerly right-of-way of D 1/2 road from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears S00°04'26"E, 30.00 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W along the West line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 629.80 feet to the Northwest corner of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 396.12 feet;  
thence S00°04'26"E, 629.76 feet to a point on the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 396.12 feet to the Point of Beginning.  
Said parcel contains 5.73 acres, more or less.

That said owner has caused said real property to be laid out and surveyed as SHAKESPEARE'S COURT SUBDIVISION, a subdivision of a part of the City of Grand Junction, Colorado.

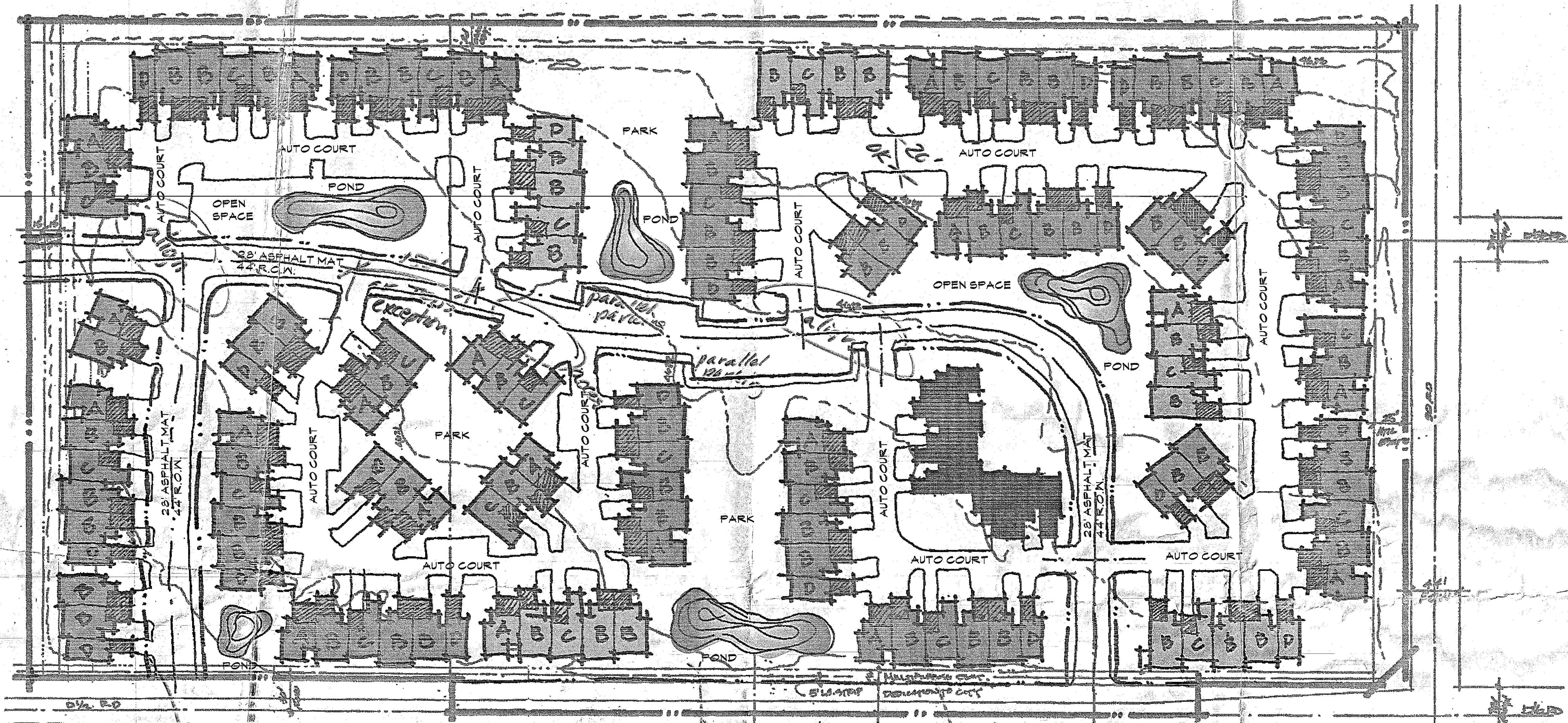
That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

- All streets, roads and Rights-of-Way are dedicated to the City of Grand Junction for the use of the public forever. Before acceptance of a dedication of any Street or Right of Way, the City may require proof of acceptable environmental condition by, e.g., a phase 1 environmental audit;
  - All Utility Easements to the City of Grand Junction for the use of City-approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities; and
  - All Multi-purpose Easements to the City of Grand Junction for the use of City-approved: utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.
- Note: The Grand Junction Fire Department must review construction plans for any proposed single family homes before a building permit is issued. Residential structures larger than 3600 square feet in size are required to install an approved fire sprinkler system, per section B105.1 of the International Fire Code, 2000 edition.

- NOTES:
- Easement and right-of-way research and legal description by Abstract & Title Company of Mesa County, Inc., file number 00907818 C, dated June 10, 2002 at 7:00 A.M.
  - Utility locations were obtained from the Utility Notification Center of Colorado, Locate ticket #706345 dated 11/02/02.
  - Project benchmark is the E 1/4 corner of Section 17 as described and shown hereon with an elevation of 4633.59' feet, Mesa county survey datum.

SHAKESPEARE'S COURT SUBDIVISION LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN, CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO				
PLAN SCALE 1" = 100'	SIGNATURE BLOCK		WEST ELK LAND SURVEYING, INC.	
	FIELD CREW DGN, RKG, CDL	DATE 12/02		3446 L LANE HOTCHKISS, COLORADO 81419 EMAIL : westelkland@aol.com
REVISIONS: DATE : 01/28/03 DATE : 02/04/03 DATE : 04/07/03	DRAFTER: RKG, DGN	DATE: 01/03	TITLE: SHAKESPEARE'S COURT SUBDIVISION MAP ID : WEO2088CO	
	CHECKED BY: KIN	DATE: 01/03		
	04/07/03			





# CONCEPT #4 THE ADOBES

D 1/2 & 30 Roads, Grand Junction, CO

Information is approximate and subject to change.

7-30-03

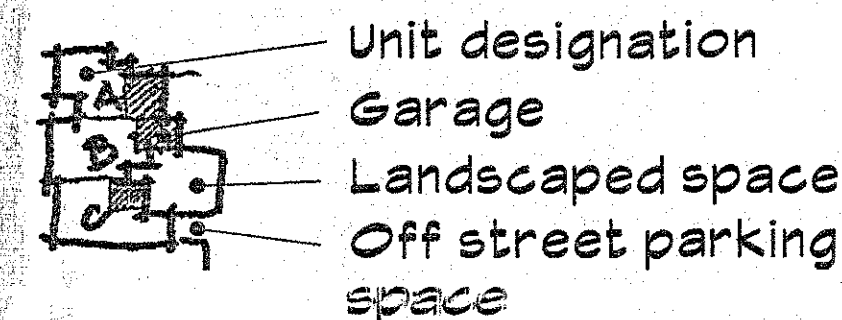
Genesis Designs: Architecture + Planning, P.C. Ph. 970-245-6093 Fax 970-245-7568

## DATA

BLDG TYPE	QUANTITY	UNITS	% MIX	DENSITY
6-Plex	14	84	56%	Allowed: 8.0DU/A = (±) 152 Units
5-Plex	3	15	10%	Achieved: 7.8DU/A = (±) 149 Units
4-Plex	2	8	6%	
3-Plex	11	33	23%	
2-Plex	1	2	1%	
<b>TOTAL</b>		<b>149</b>	<b>100%</b>	<b>SITE (±) 19.12 Acres</b>

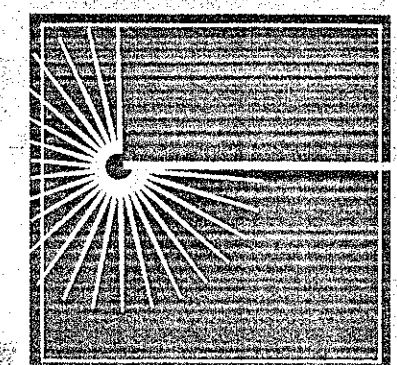
UNIT	AREA	STORIES	QUANTITY	MIX
A	(±) 1,600 gsf	2.0	24	16%
B	(±) 1,250 gsf	1.5	77	52%
C	(±) 1,400 gsf	1.5	26	17%
D	(±) 1,500 gsf	2.0	22	15%

### BUILDING SYMBOL



### AMENITIES:

- Park - Over an acre in size
- Pedestrian pathway system
- Landscape features
- Gazebos
- Picnic areas
- Pedestrian safe crossings
- Extensive buffering
- Extensive park-like/open space setting with ponds

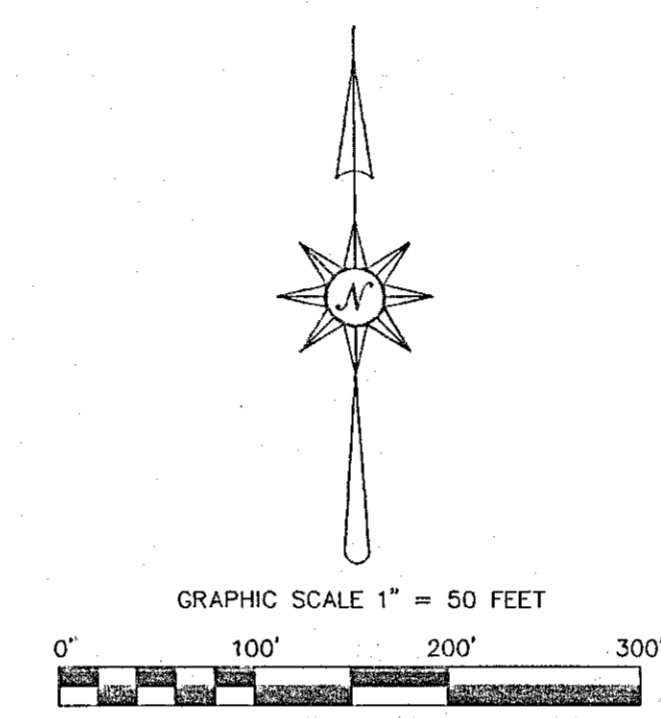
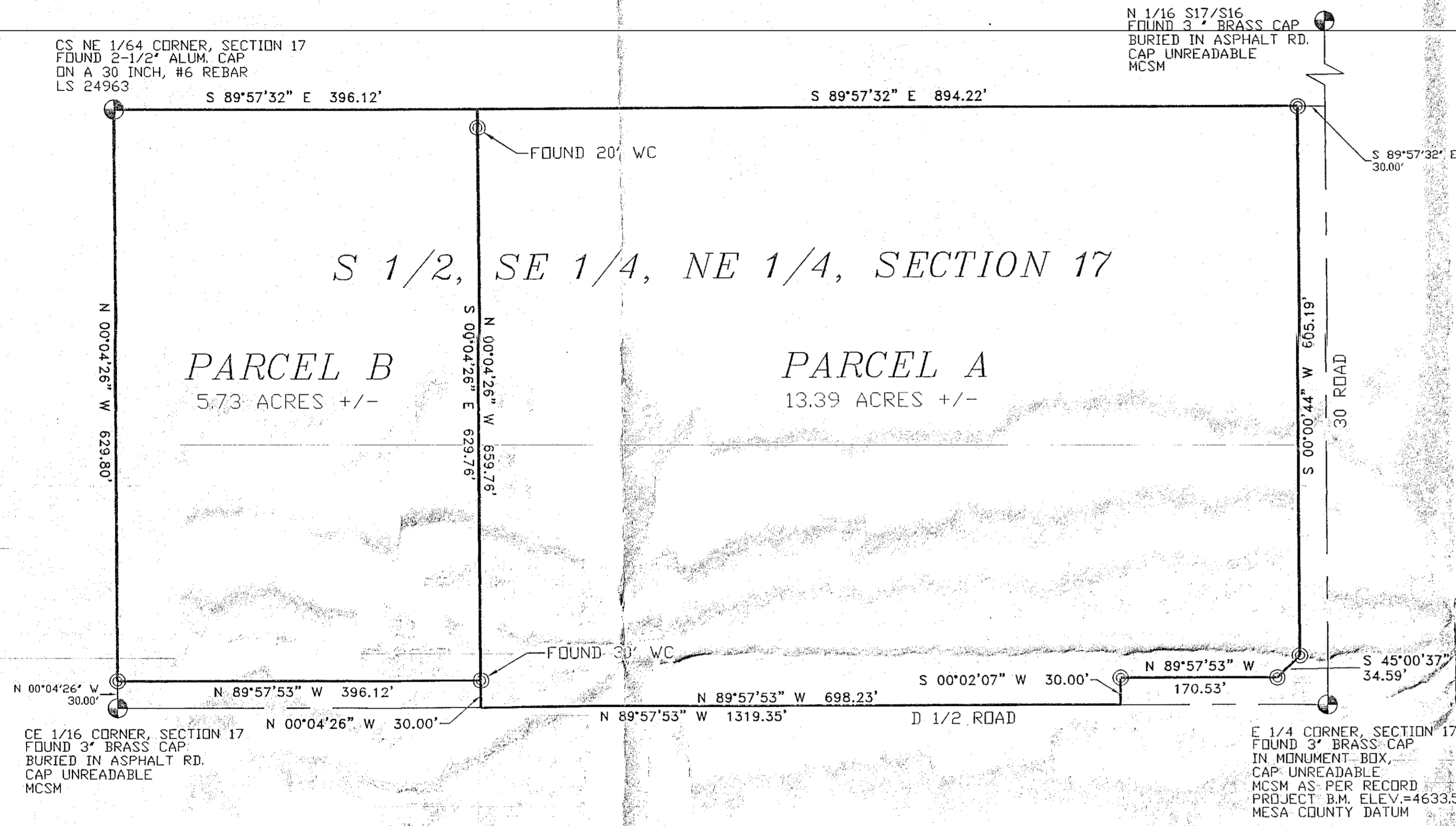


03-069



# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN  
CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO



- Number 5 rebar, 18" long, and 1-1/2" aluminum cap stamped LS 24963 to be set at all lot corners prior to the sale of any lot.
  - Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
  - Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963 in concrete.
  - ▲ Indicates set centerline control nail with washer stamped LS 24963.
  - ⊙ Indicates found a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
  - ⊕ Indicates found monument as noted.
- THE PROJECT BENCHMARK IS THE E 1/4 CORNER, SECTION 17. THIS CORNER IS A 3" BRASS CAP IN MONUMENT BOX, ELEVATION=4633.59, MESA COUNTY DATUM.

AREA SUMMARY

LOTS 1-106	= 13.147 ACRES	68.76%
ROAD R.O.W.	= 3.180 ACRES	16.63%
TRACTS A-J	= 2.408 ACRES	12.59%
ACCESS TRACTS A-G	= 0.386 ACRES	2.02%
TOTAL	= 19.121 ACRES	100.00%

IN WITNESS WHEREOF said owner has caused his name to be hereunto subscribed this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Manager:  
ISRE, LLC  
State of Colorado )  
County of Mesa ) ss

This plat was acknowledged before me by \_\_\_\_\_ as manager of ISRE, LLC, a Colorado Limited Liability Company, on this \_\_\_\_\_ day of \_\_\_\_\_, 2003, for the aforementioned purposes.

Notary Public  
My commission expires: \_\_\_\_\_

CITY APPROVAL  
This plat of SHAKESPEARE'S COURT SUBDIVISION, a subdivision of the City of Grand Junction, County of Mesa, State of Colorado, was approved this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

City Manager \_\_\_\_\_ Mayor

COUNTY CLERK AND RECORDER'S CERTIFICATE  
I hereby certify that this instrument was filed in the office of the Clerk and Recorder of Mesa County, Colorado, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., this \_\_\_\_\_ day of \_\_\_\_\_, 2003, and is duly recorded in Plat Book No. \_\_\_\_\_ Page \_\_\_\_\_ as Reception No. \_\_\_\_\_, Drawer No. \_\_\_\_\_ Fees \_\_\_\_\_  
Clerk and Recorder of Mesa County \_\_\_\_\_

LIENHOLDERS RATIFICATION OF PLAT  
The undersigned, hereby certifies that it is a holder of a security interest upon the property hereon described and does hereby join in and consent to the dedication of the land described in said dedication by the owners thereof and agree that its security interest which is recorded in Book \_\_\_\_\_, page \_\_\_\_\_ of the public records of Mesa County, Colorado shall be subordinated to the dedications shown hereon.

In witness whereof, the said corporation has caused these presents to be signed by its \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 2003.

By: \_\_\_\_\_ For: \_\_\_\_\_  
(Title) (Corporate Name)

SURVEYOR'S STATEMENT:  
I, David G. Nicewicz, being a registered Professional Land Surveyor in the State of Colorado, do hereby state that this subdivision plat and survey of SHAKESPEARE'S COURT SUBDIVISION was made by me and/or under my direct supervision and that to the best of my knowledge, belief, and information both are accurate and conform to all applicable laws and regulations of the State of Colorado and to all applicable requirements of the zoning and development code of the City of Grand Junction.

David G. Nicewicz P.L.S. 24963  
Date: \_\_\_\_\_

STATEMENT OF DEDICATION AND OWNERSHIP  
KNOW ALL MEN BY THESE PRESENTS that the undersigned, ISRE, LLC, a Colorado Limited Liability Company, is the owner of that real property situated in the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, City of Grand Junction, Mesa County, Colorado, described as Book \_\_\_\_\_, Page \_\_\_\_\_ of the Mesa County records, and as shown on the accompanying plat, being more particularly described as follows:

PARCEL A  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the south line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17 from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears N89°57'53"W, 396.12 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W, 629.76 feet to the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 894.22 feet to the Westerly right-of-way of 30 road;  
thence S00°04'26"W along said Westerly right-of-way of 30 road, 605.19 feet;  
thence S45°00'37"W, 34.59 feet to the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 170.53 feet;  
thence S00°02'07"W, 30.00 feet to the South line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence N89°57'53"W along said Section line to the Point of Beginning.  
Said parcel contains 13.39 acres, more or less.

PARCEL B  
A parcel of land located in the S 1/2 of the SE 1/4 of the NE 1/4 of Section 17, Township 1 South, Range 1 West of the Ute Meridian, County of Mesa, State of Colorado, and being more particularly described as follows:  
Beginning at a point on the northerly right-of-way of D 1/2 road from which the CE 1/16 corner of said Section 17, a standard Mesa County brass cap, bears S00°04'26"E, 30.00 feet and considering the line between said CE 1/16 corner and the East 1/4 corner of said Section 17, a standard Mesa County brass cap, to bear S89°57'53"E, with all bearings being relative thereto.  
Thence N00°04'26"W along the West line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 629.80 feet to the Northwest corner of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17;  
thence S89°57'32"E along the North line of said S 1/2 of the SE 1/4 of the NE 1/4 of said Section 17, 396.12 feet;  
thence S00°04'26"E, 629.76 feet to a point on the Northerly right-of-way of D 1/2 road;  
thence N89°57'53"W along said Northerly right-of-way of D 1/2 road, 396.12 feet to the Point of Beginning.  
Said parcel contains 5.73 acres, more or less.

That said owner has caused said real property to be laid out and surveyed as a SHAKESPEARE'S COURT SUBDIVISION, a subdivision of a part of the City of Grand Junction, Colorado.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

All streets, roads and Rights-of-Way are dedicated to the City of Grand Junction for the use of the public forever. Before acceptance of a dedication of any Street or Right of Way, the City may require proof of acceptable environmental condition by, e.g., a phase 1 environmental audit;

All Utility Easements to the City of Grand Junction for the use of City-approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities; and

All Multi-purpose Easements to the City of Grand Junction for the use of City-approved: utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.

Note: The Grand Junction Fire Department must review construction plans for any proposed single family homes before a building permit is issued. Residential structures larger than 3600 square feet in size are required to install an approved fire sprinkler system, per section B105.1 of the International Fire Code, 2000 edition.

- NOTES
- Easement and right-of-way research and legal description by Abstract & Title Company of Mesa County, Inc., file number 00907818 C, dated June 10, 2002 at 7:00 A.M.
  - Utility locations were obtained from the Utility Notification Center of Colorado, Locate ticket #706345 dated 11/02/02.
  - Project benchmark is the E 1/4 corner of Section 17 as described and shown hereon with an elevation of 4633.59' feet, Mesa county survey datum.

SHAKESPEARE'S COURT SUBDIVISION  
LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4  
OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN,  
CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

PLAN SCALE 1" = 100'	SIGNATURE BLOCK	
	FIELD CREW: DGN, RKG, CDL	DATE: 12/02
REVISIONS: DATE: 01/29/03 DATE: 02/04/03 DATE: 04/07/03	DRAFTED: RKG, DGN	DATE: 01/03
	CHECKED BY: KIN	DATE: 01/03

WEST ELK LAND SURVEYING, INC.  
3446 L LANE  
HOTCHKISS, COLORADO 81419  
EMAIL: westelk@aol.com

FILE:  
SHAKESPEARE'S COURT SUBDIVISION  
04/07/03

MAP ID:  
WE02088CO

BVG: NL WE02088SUBI SHEET 1 OF 2

03-067



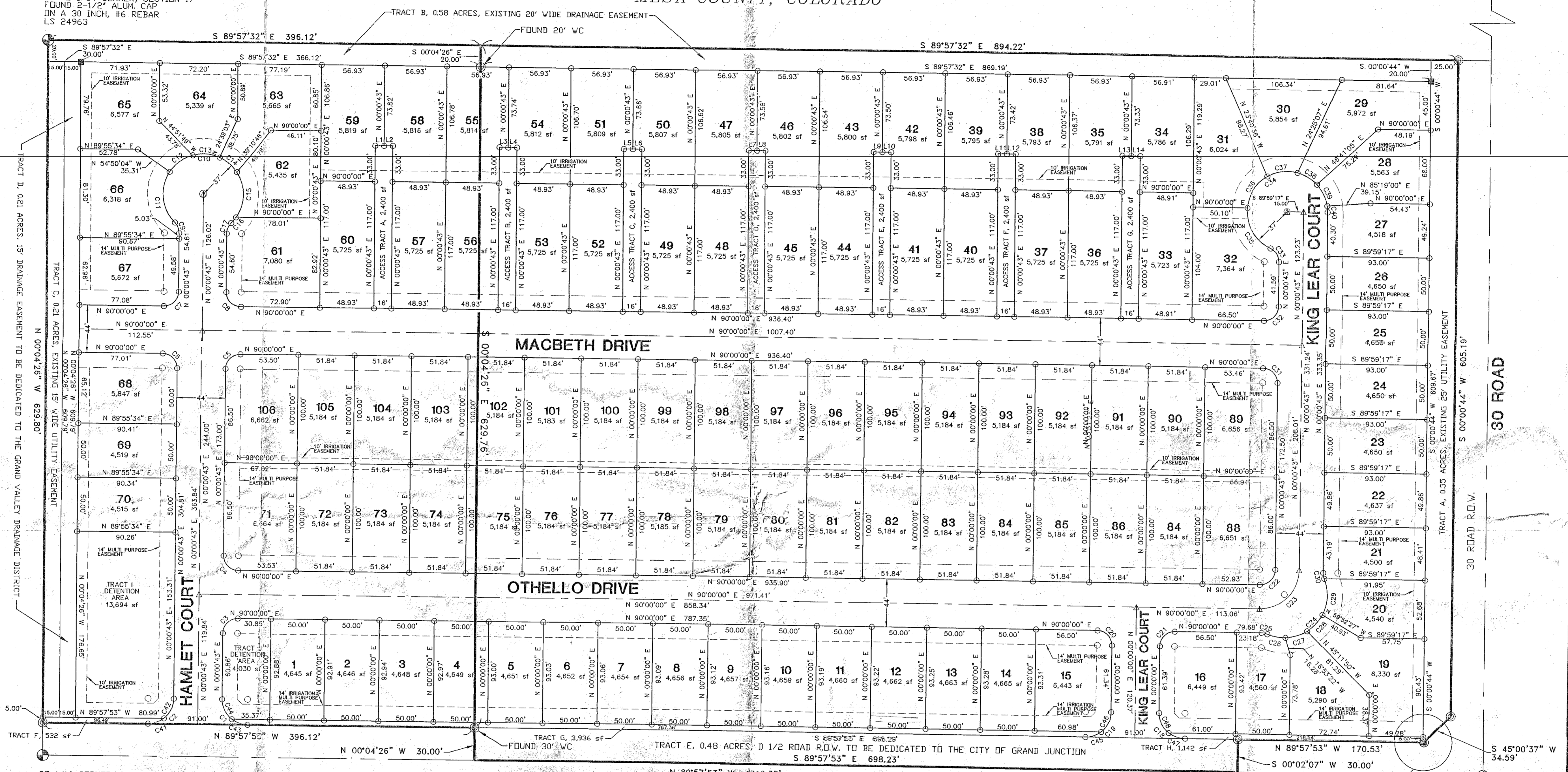
# SHAKESPEARE'S COURT SUBDIVISION

LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4 OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN

MESA COUNTY, COLORADO

N 1/16 S17/S16  
FOUND 3" BRASS CAP  
BURIED IN ASPHALT RD.  
CAP UNREADABLE  
MCSM

CS NE 1/64 CORNER, SECTION 17  
FOUND 2-1/2" ALUM. CAP  
DN A 30 INCH, #6 REBAR  
LS 24963



CE 1/16 CORNER, SECTION 17  
FOUND 3" BRASS CAP  
BURIED IN ASPHALT RD.  
CAP UNREADABLE  
MCSM

E 1/4 CORNER, SECTION 17  
FOUND 3" BRASS CAP  
IN MONUMENT BOX,  
CAP UNREADABLE  
MCSM AS PER RECORD  
PROJECT B.M. ELEV.=4633.59'  
MESA COUNTY DATUM

- LEGEND**
- Number 5 rebar, 18" long, and 1-1/2" aluminum cap stamped LS 24963 to be set at all lot corners prior to the sale of any lot.
  - Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
  - Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963 in concrete.
  - △ Indicates set centerline control nail with washer stamped LS 24963.
  - ⊙ Indicates set a number 5 rebar, 18" long, with a 1-1/2" aluminum cap stamped LS 24963.
  - ⊕ Indicates found monument as noted.

**AREA SUMMARY**

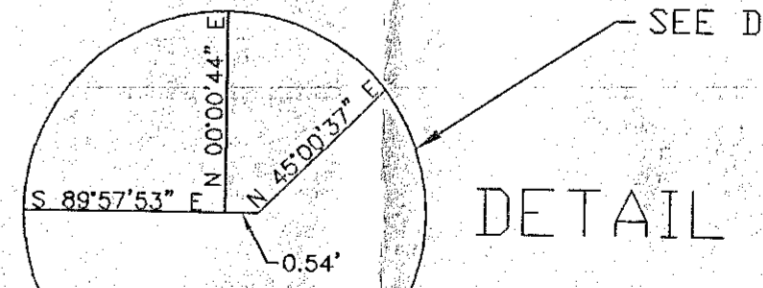
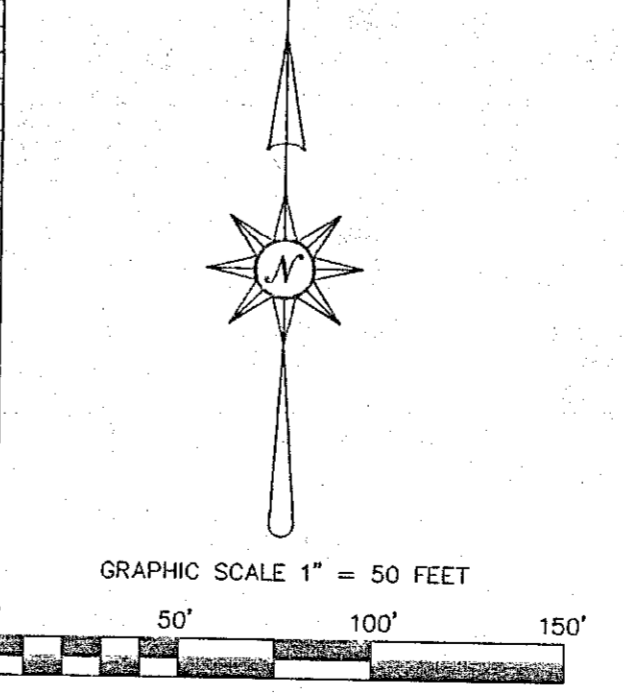
LOTS 1-106	=	13.147	ACRES	68.76%
ROAD R.O.W.	=	3.180	ACRES	16.63%
TRACTS A-J	=	2.408	ACRES	12.59%
ACCESS TRACTS A-G	=	0.286	ACRES	2.02%
<b>TOTAL</b>	=	<b>19.121</b>	<b>ACRES</b>	<b>100.00%</b>

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LEN.	CHORD BEARING	DELTA ANGLE	CURVE	RADIUS	ARC LENGTH	CHORD LEN.	CHORD BEARING	DELTA ANGLE
C1	23.50	36.90	33.23	S 44°38'35" E	89°58'35" E	C25	13.50	5.30	5.33	S 78°38'58" E	22°46'04" E
C2	23.50	36.92	33.24	N 45°01'26" E	89°01'24" E	C26	39.50	17.98	17.14	S 79°45'51" E	28°03'52" E
C3	13.50	21.20	19.09	N 45°00'21" E	89°59'17" E	C27	39.50	21.01	20.76	N 72°28'03" E	30°28'50" E
C4	13.50	21.21	19.09	S 44°59'39" E	90°00'43" E	C28	39.50	20.86	20.62	N 42°06'01" E	30°15'44" E
C5	13.50	21.20	19.09	N 45°00'21" E	89°59'17" E	C29	39.50	34.98	33.71	S 11°22'20" E	22°48'34" E
C6	13.50	21.21	19.09	S 44°59'39" E	90°00'43" E	C30	13.50	5.38	5.35	N 02°06'03" E	49°43'30" E
C7	13.50	21.20	19.09	N 45°00'21" E	89°59'17" E	C31	13.50	21.21	19.09	S 44°59'39" E	90°00'43" E
C8	13.50	21.21	19.09	S 44°59'39" E	90°00'43" E	C32	13.50	21.20	19.09	N 45°00'21" E	89°59'17" E
C9	13.50	10.68	10.41	S 22°39'19" E	45°20'03" E	C33	13.50	21.20	19.09	N 45°00'21" E	89°59'17" E
C10	37.00	174.79	52.02	S 89°59'17" E	27°40'06" E	C34	37.00	158.89	149.00	N 56°59'13" E	24°03'00" E
C11	37.00	80.37	48.57	S 08°19'08" E	15°54'58" E	C35	37.00	22.07	21.74	S 04°29'53" E	08°31'11" E
C12	37.00	26.81	26.23	N 53°26'57" E	41°31'05" E	C36	37.00	35.98	34.58	S 30°52'31" E	7°19'31" E
C13	37.00	26.73	26.22	S 85°52'25" E	39°50'50" E	C37	37.00	28.75	28.03	N 32°08'40" E	55°42'52" E
C14	37.00	28.97	28.69	S 49°42'53" E	32°28'18" E	C38	37.00	20.95	20.67	S 59°15'53" E	32°26'30" E
C15	37.00	44.68	41.56	N 02°38'49" E	68°18'04" E	C39	37.00	22.07	21.74	S 04°29'53" E	08°31'11" E
C16	37.00	6.83	6.82	N 40°03'35" E	103°42'23" E	C40	37.00	5.74	5.74	S 29°57'33" E	54°10'09" E
C17	13.50	10.68	10.41	N 22°40'44" E	44°38'31" E	C41	23.50	15.62	15.33	N 70°58'57" E	38°04'20" E
C18	23.50	36.90	33.23	S 44°59'39" E	89°59'17" E	C42	23.50	21.31	20.59	N 29°59'15" E	51°57'04" E
C19	23.50	36.93	33.24	N 45°01'03" E	89°02'07" E	C43	23.50	15.62	15.33	S 70°55'43" E	38°04'20" E
C20	13.50	21.21	19.09	S 45°00'00" E	90°00'00" E	C44	23.50	21.29	20.57	S 25°56'26" E	38°04'20" E
C21	13.50	21.21	19.09	N 45°00'00" E	90°00'00" E	C45	23.50	15.62	15.33	N 70°58'57" E	38°04'20" E
C22	14.00	21.99	19.80	N 45°00'23" E	89°59'14" E	C46	23.50	21.31	20.59	N 29°59'15" E	51°57'04" E
C23	36.00	56.54	50.91	N 45°00'21" E	89°59'14" E	C47	23.50	15.62	15.33	S 70°55'43" E	38°04'20" E
C24	39.50	93.43	73.12	N 45°00'21" E	135°31'26" E	C48	23.50	21.28	20.56	S 25°56'47" E	51°53'33" E

**LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 90°00'00" E	8.00'	L8	N 90°00'00" E	8.00'
L2	N 90°00'00" E	8.00'	L9	N 90°00'00" E	8.00'
L3	N 90°00'00" E	8.00'	L10	N 90°00'00" E	8.00'
L4	N 90°00'00" E	8.00'	L11	N 90°00'00" E	8.00'
L5	N 90°00'00" E	8.00'	L12	N 90°00'00" E	8.00'
L6	N 90°00'00" E	8.00'	L13	N 90°00'00" E	8.00'
L7	N 90°00'00" E	8.00'	L14	N 90°00'00" E	8.00'



SHAKESPEARE'S COURT SUBDIVISION  
LOCATED IN THE S 1/2 OF THE SE 1/4 OF THE NE 1/4  
OF SECTION 17, T. 1 S., R. 1 E., UTE MERIDIAN,  
MESA COUNTY, COLORADO

PLAN SCALE 1" = 50'	SIGNATURE BLOCK	
	FIELD CREW DGN, RKG, CDL	DATE 01/03
REVISIONS: DATE: 01/28/03 DATE: 02/04/03 DATE: 04/07/03	DRAWN BY RKG, DGN	DATE 01/03
	CHECKED BY KIN	DATE 01/03
WEST ELK LAND SURVEYING, INC.		MAP ID: WE02088CO
3446 L LANE HOTCHKISS, COLORADO 81419 EMAIL: westelk@aol.com		TITLE: SHAKESPEARE'S COURT SUBDIVISION
04/07/03		DWG. NO. WE02088SUB2 SHEET 2 OF 2

03-069

# EXHIBIT A

## DESCRIPTION OF A TRACT OF LAND

A tract of land generally described as being a portion of the East 12.5 acres of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North  $00^{\circ} 13'$  West 1316.33 feet to the North boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4; thence North  $89^{\circ} 57'$  East 412.09 feet along the North boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4 to the East boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4; thence South  $00^{\circ} 17'$  East 272.67 feet along the East boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North  $85^{\circ} 45'$  West 229.77 feet, thence North  $77^{\circ} 06'$  West 19.59 feet; thence South  $00^{\circ} 17'$  East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado



## SPECIAL DISTRICTS

Clifton Fire

Clifton Water &  
Utah Water

Central Grand Valley Sewer

Grand Junction Drainage

Upper Grand Valley Pest Control  
School District 51

Southside Area Annex

TO: **ANNEXATION IMPACT REPORT TEAM MEMBERS**

Dan Wilson, City Attorney  
Tim Moore, Public Works Manager  
Tim Woodmansee, Property Agent  
Peter Krick, Senior Real Estate Technician  
Greg Trainor, Utility Manager  
Terry Brown, Technical Service Supervisor  
Rob Laurin, Solid Waste Supervisor  
Mike McDill, City Engineer  
Doug Cline, Streets Superintendent  
Jody Kliska, Traffic Engineer  
Gordon Gram, Public Works  
Michael Grizenko, Public Works  
Edward Wacker, Public Works  
Don Hobbs, Parks Manager  
Shawn Cooper, Parks Planner  
Rick Beaty, Fire Chief  
Jim Bright, Fire Department  
Harry Long, Police Department  
Lanny Paulson, Budget Coordinator  
Jodi Romero, Customer Service Manager  
Stephanie Tuin, City Clerk  
Debbie Kovalik, Director of VCB  
Ivy Williams, Code Enforcement Supervisor  
Kathy Portner, Planning Manager  
Steve Smith, GIS Technician II  
Jeff Wood, Communications 911  
Linda Dannenberger, Mesa County Planning  
Ed Tolen, Ute Water Conservancy

FROM: Dave Thornton, Community Development Department

RE: **Sonrise Acres Annexation No. 1, No. 2, No. 3, No. 4**

DATE: June 10, 2003

Wednesday, June 4<sup>th</sup>, City Council approved the resolution of referral of petition to annex and exercise land use immediately for the Sonrise Acres Annexation. The entire annexation area consists of one parcel of land located at 3068 F Road and a portion of the F Road ROW. The annexation area is 9.8472 acres in size. Please see the attached map and annexation summary information. If you need any additional information, please contact either Lori Bowers at 256-4033 or me at 244-1450.

**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3068 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed: = \$ 12,130</b>	
	<b>Actual: = \$ 132,590</b>	
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	

The following annexation and zoning schedule is being proposed.

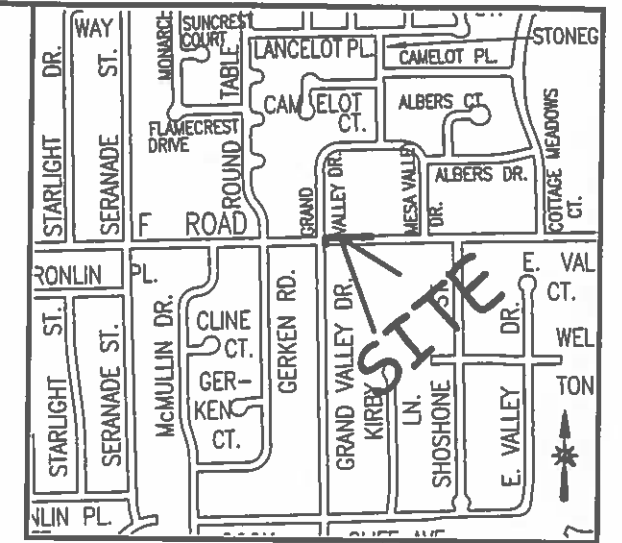
<b>ANNEXATION SCHEDULE</b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), First Reading, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 2<sup>nd</sup></b>	First Reading on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public hearing on Annexation and Zoning by City Council
<b>Au 17<sup>th</sup></b>	Effective date of Annexation and Zoning

(ateammem.doc)

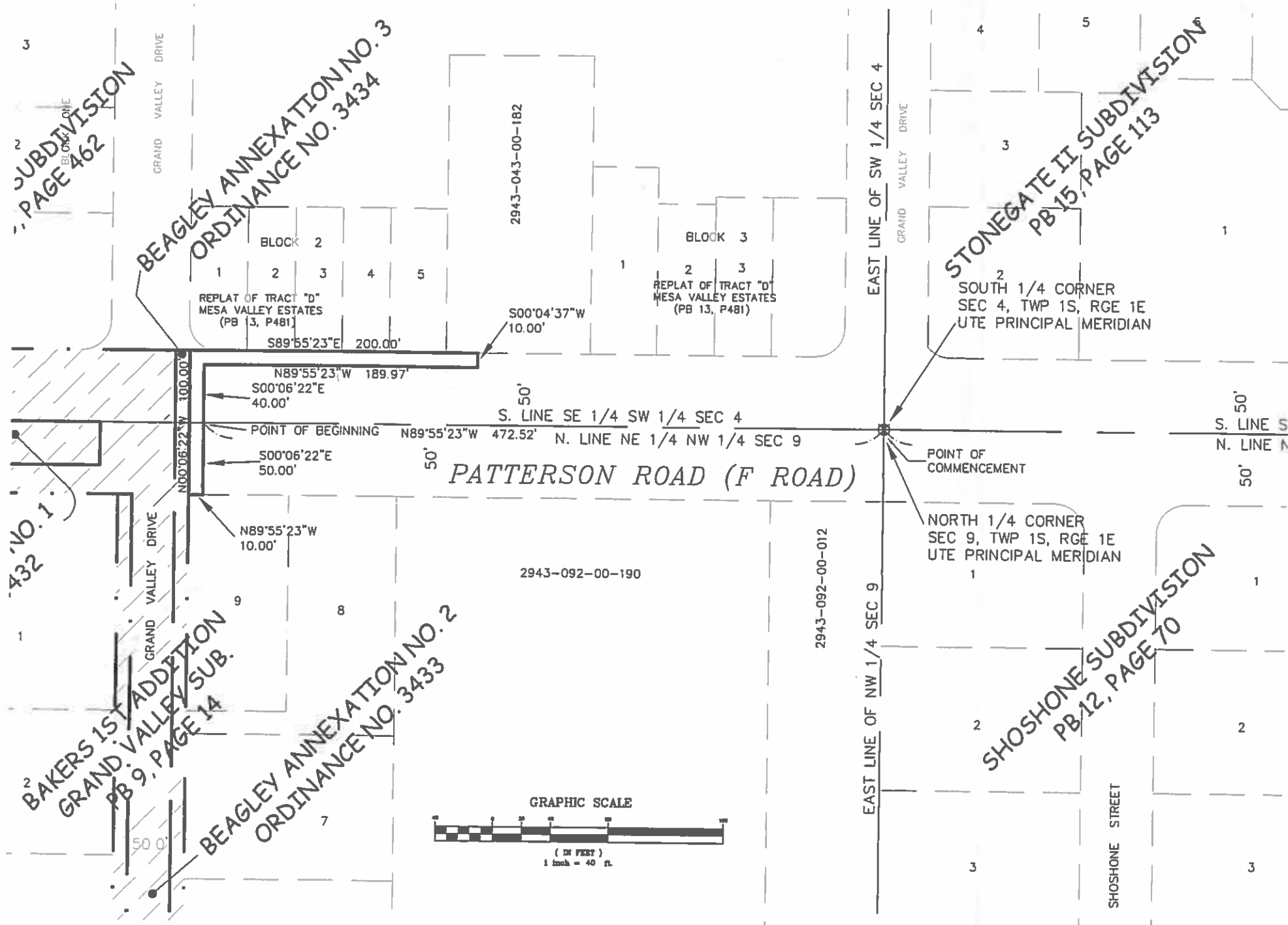


# SONRISE ACRES ANNEXATION NO. 1

SITUATE IN THE SE 1/4 OF THE SW 1/4 OF SECTION 4 AND THE NE 1/4 OF THE NW 1/4 OF SECTION 9, T1S, R1E, U.M. COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE



### LEGAL DESCRIPTION

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the City of Grand Junction  
DATE: 9/16/03

AREA OF ANNEXATION	
ANNEXATION PERIMETER	599.97 FT
CONTIGUOUS PERIMETER	100.00 FT
AREA IN SQUARE FEET	2,899.84
AREA IN ACRES	0.0666***

\*\*\*0.0666 ACRES WITHIN R/W FOR PATTERSON ROAD

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ???

EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY  
DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

SONRISE ACRES ANNEXATION NO. 1

C:\drawing\Peter\annex\Sonrise Acres Annex Drawing.dwg 05/19/2003 08:25:34 AM MDT

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

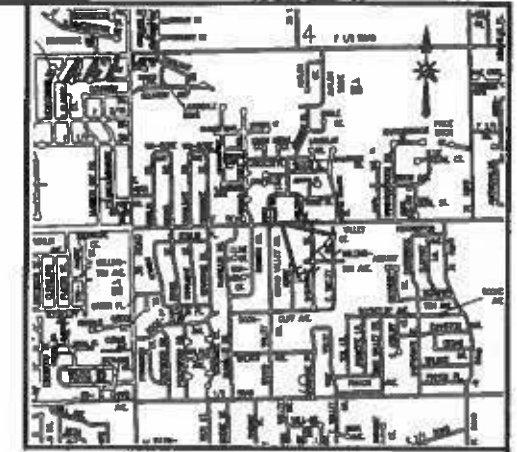
DRAWN BY P.T.K. DATE 05-16-2003  
DESIGNED BY DATE  
CHECKED BY T.W. DATE  
APPROVED BY DATE

SCALE  
1" = 40'

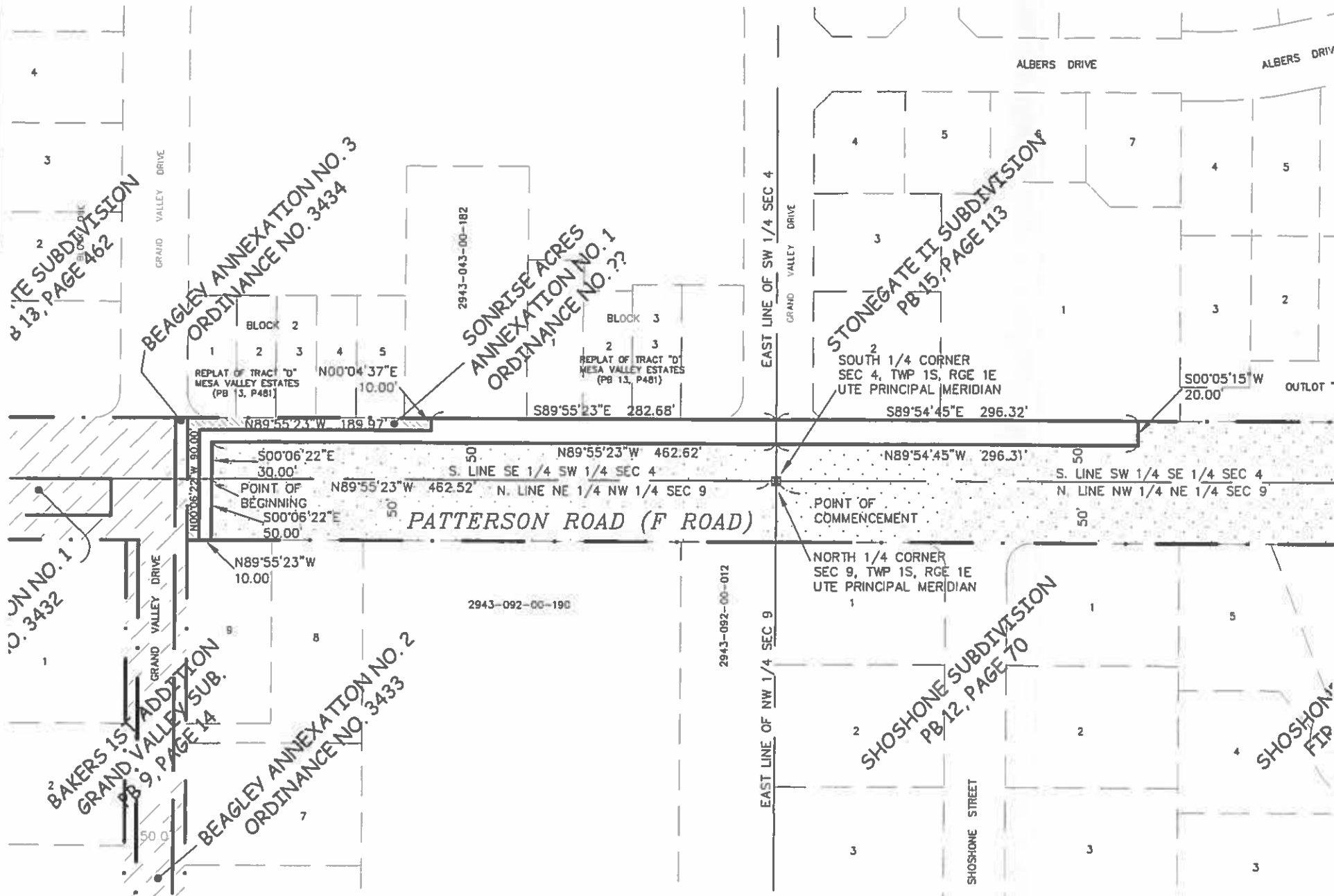


# SONRISE ACRES ANNEXATION NO. 2

SITUATE IN THE SW 1/4 AND THE SE 1/4 OF SECTION 4  
AND THE NW 1/4 OF SECTION 9, T1S, R1E, U.M.  
COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP NOT-TO-SCALE

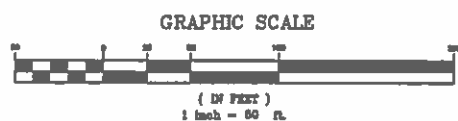


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING, thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road), thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.



The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the  
City of Grand Junction  
DATE: 5/16/2003

AREA OF ANNEXATION	
ANNEXATION PERIMETER	1,737.90 FT
CONTIGUOUS PERIMETER	289.97 FT.
AREA IN SQUARE FEET	14,279.42
AREA IN ACRES	0.3278***
***0.3278 ACRES WITHIN R/W FOR PATTERSON ROAD	

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ???

EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

SONRISE ACRES ANNEXATION NO. 2

C:\drawing\Peter\annex\Sonrise Acres Annex Drawing.dwg 05/19/2003 09:25:34 AM HDT

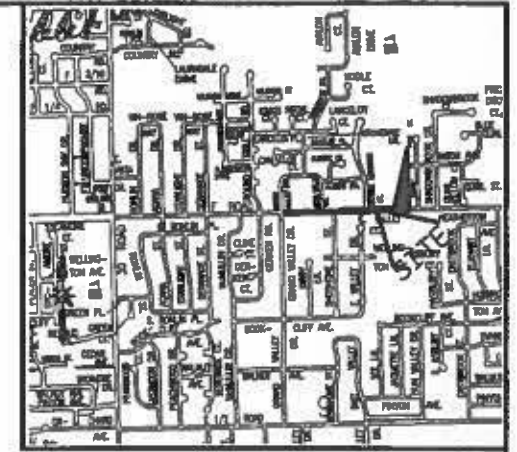
Notice:  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

DRAWN BY P.T.K.	DATE 05-16-2003	SCALE
DESIGNED BY	DATE	1" = 50'
CHECKED BY T.W.	DATE	
APPROVED BY	DATE	

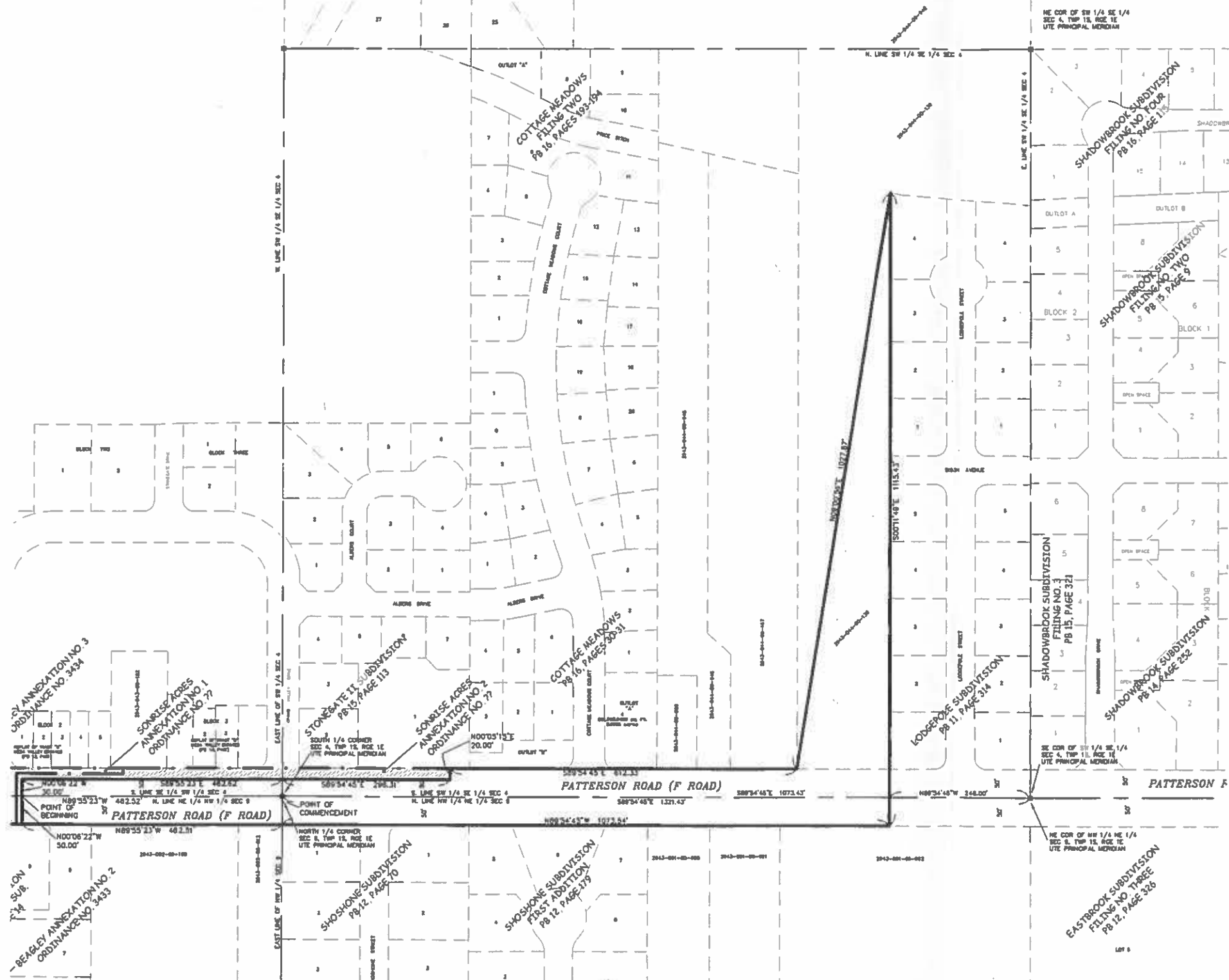


# SONRISE ACRES ANNEXATION NO. 3

SITUATE IN THE SW 1/4 AND THE SE 1/4 OF SECTION 4 AND THE NW 1/4 AND THE NE 1/4 OF SECTION 9, T1S, R1E, U.M. COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE

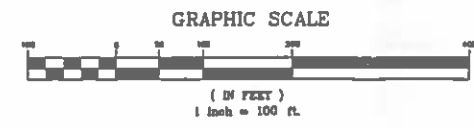


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.



GRAPHIC SCALE

( IN FEET )  
1 inch = 100 ft.

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plot does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the  
City of Grand Junction

DATE: \_\_\_\_\_

ORDINANCE NO. ???

EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

SONRISE ACRES ANNEXATION NO. 3

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AREA OF ANNEXATION

ANNEXATION PERIMETER	5,150.61 FT
CONTIGUOUS PERIMETER	858.93 FT
AREA IN SQUARE FEET	221,965.94
AREA IN ACRES	5.0956***

\*\*\*1.1776 ACRES WITHIN R/W FOR PATTERSON ROAD

LEGEND

ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

DRAWN BY	P.T.K.	DATE	05-16-2003
DESIGNED BY	_____	DATE	_____
CHECKED BY	I.W.	DATE	_____
APPROVED BY	_____	DATE	_____

SCALE  
1" = 100'

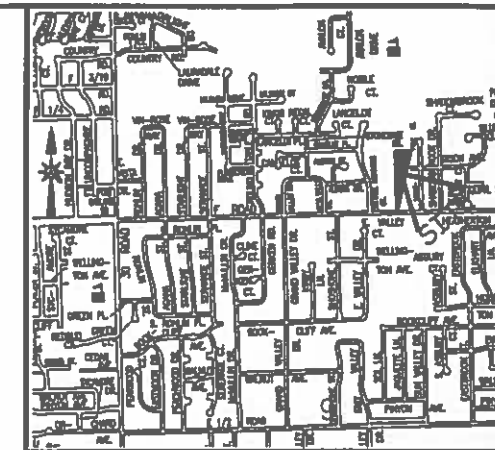
Notice.  
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.





# SONRISE ACRES ANNEXATION NO. 4

SITUATE IN THE SW 1/4 OF THE SE 1/4 OF SECTION 4  
TOWNSHIP 1 SOUTH, RANGE 1 EAST, U.M.  
COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE

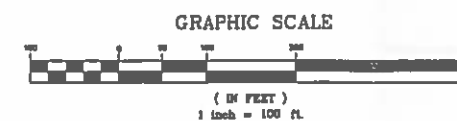


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Beginning, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.



ANNEXATION PERIMETER	3,278.45 FT
CONTIGUOUS PERIMETER	1,027.87 FT
AREA IN SQUARE FEET	189,797.69
AREA IN ACRES	4.3572**
**0.0005 ACRES WITHIN 0.1/4	

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ???  
EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the City of Grand Junction  
DATE: 05-16-2003

C:\drawing\Peter\annex\Sonrise Acres Annexation.dwg\Sonrise Acres Annex Drawing.dwg 05/19/2003 08:25:34 AM MDT

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

DRAWN BY P.T.K. DATE 05-16-2003  
DESIGNED BY DATE  
CHECKED BY T.W. DATE  
APPROVED BY DATE

SCALE  
1" = 100'

SONRISE ACRES ANNEXATION NO. 4



File Copy

**SONRISE ACRES ANNEXATION**

A Serial Annexation Comprising Sonrise Acres Annexation No. 1, Sonrise Acres Annexation No. 2, Sonrise Acres Annexation No. 3 and Sonrise Acres Annexation No. 4

It is my professional belief; based on my review of the petition, pursuant to C.R.S. 31-12-104, that the Sonrise Acres Annexation is eligible to be annexed.

It complies with the following:

- a) A proper petition has been signed by more than 50% of the owners and more than 50% of the property described;
- b) Not less than one-sixth of the perimeter of the area to be annexed is contiguous with the existing City limits;
- c) A community of interest exists between the area to be annexed and the City. This is so in part because the Central Grand Valley is essentially a single demographic and economic unit and occupants of the area can be expected to, and regularly do, use City streets, parks and other urban facilities;
- d) The area will be urbanized in the near future;
- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

*David L. Thornton*

David L. Thornton, AICP

May 21, 2003

Date

STATE OF COLORADO

SS:

COUNTY OF MESA)

Subscribed and sworn to before me this 21<sup>st</sup> of May 2003, by David L. Thornton. Witness my hand and official seal.

My Commission expires:

*10/29/2005*

*Gayleen Henderson*  
Notary Public

(eligible)



My Commission Expires 10/29/2005

STATE OF COLORADO

SS

AFFIDAVIT

COUNTY OF MESA

James Hughes, of lawful age, being first duly sworn, upon oath, deposes and says:

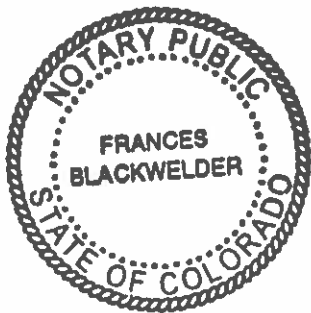
That he is the circulator of the forgoing petition:

That each signature on the said petition is the signature of the person whose name it purports to be.

[Signature]

Subscribed and sworn to before me this 23<sup>rd</sup> day of April, 2003.

Witness my hand and official seal.



[Signature]  
Notary Public

646 Pinewood Court  
Address

My commission expires: 2-09-2004

# PERIMETER BOUNDARY LEGAL DESCRIPTION SONRISE ANNEXATION

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

## SONRISE ACRES ANNEXATION NO. 1

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

## SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of

the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of

1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Sonrise Acres Annexation No. 1, 2, 3 and 4 – Referral of Petition, First Reading and Exercise Land Use Jurisdiction					
<b>Meeting Date</b>	June 4, 2003					
<b>Date Prepared</b>	May 27, 2003			<b>File #</b> ANX-2003-090		
<b>Author</b>	Lori V. Bowers		Senior Planner			
<b>Presenter Name</b>	Lori V. Bowers		Senior Planner			
<b>Report results back to Council</b>	<input checked="" type="checkbox"/>	<b>No</b>	<input type="checkbox"/>	<b>Yes</b>	<b>When</b>	
<b>Citizen Presentation</b>	<input type="checkbox"/>	<b>Yes</b>	<input checked="" type="checkbox"/>	<b>No</b>	<b>Name</b>	
<b>Workshop</b>	<input checked="" type="checkbox"/>	<b>Formal Agenda</b>		<input checked="" type="checkbox"/>	<b>Consent</b>	<b>Individual Consideration</b>

**Summary:** Sonrise Acres Annexation, a serial annexation comprised of 9.847 acres, located at 3068 F Road, has presented a petition for annexation as part of a preliminary plan. The applicants request approval of the Resolution referring the annexation petition, first reading of the Annexation Ordinance, and requesting Land Use Jurisdiction immediately.

**Budget:** N/A

**Action Requested/Recommendation:** Approval of the Resolution referring the annexation petition, first reading of the Annexation Ordinance and exercise Land Use Jurisdiction immediately, and setting a hearing for July 16, 2003.

**Attachments:**

- Staff Report
- Annexation Map
- Resolution
- Annexation Ordinance

**Background Information:** Please see attached Staff Report

- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

The following annexation and zoning schedule is being proposed:

<b><i>ANNEXATION SCHEDULE</i></b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), First Reading, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 10<sup>th</sup></b>	First Reading on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public hearing on Annexation and Zoning by City Council
<b>August 17</b>	Effective date of Annexation and Zoning

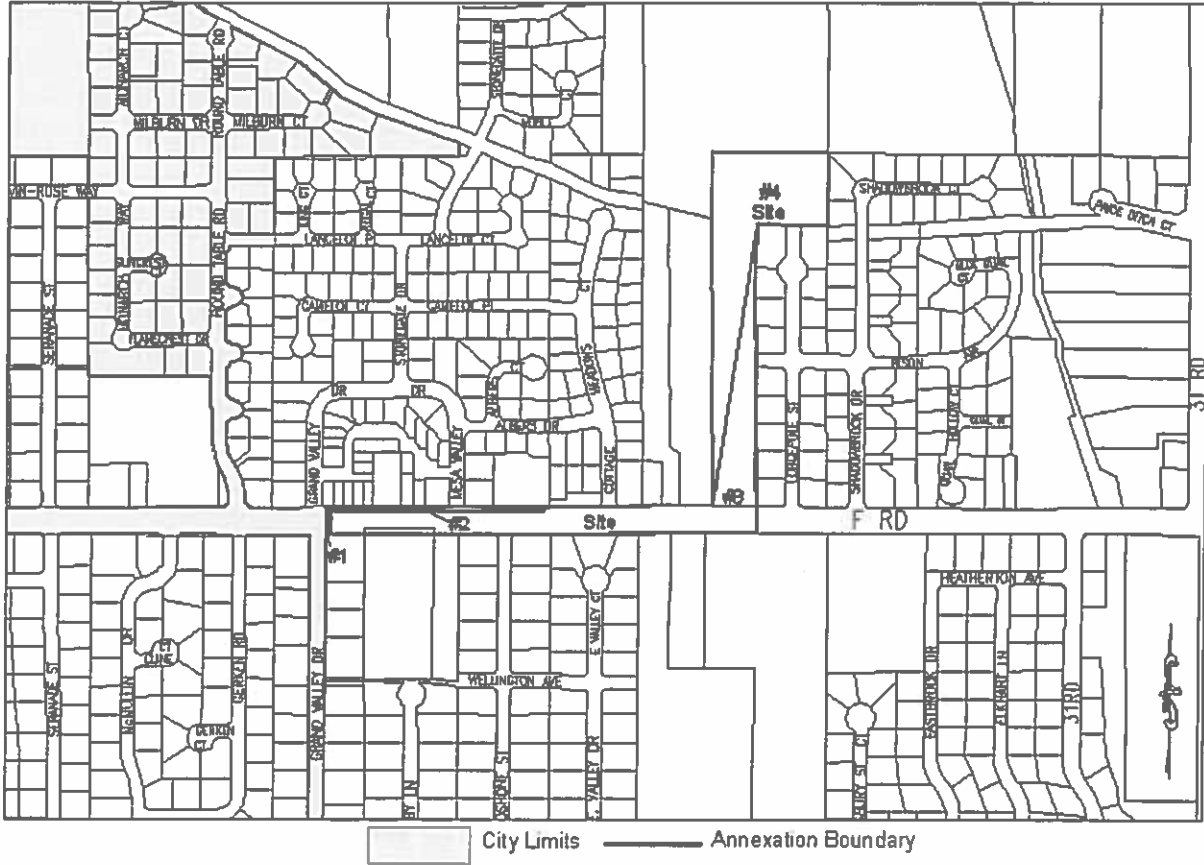
**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed:</b>	<b>= \$ 12,130</b>
	<b>Actual:</b>	<b>= \$ 132,590</b>
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>



Sonrise Acres Annexations #1, #2, #3, & #4

Figure 5



**NOTICE OF HEARING  
ON PROPOSED ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO**

**NOTICE IS HEREBY GIVEN** that at a regular meeting of the City Council of the City of Grand Junction, Colorado, held on the 4<sup>th</sup> day of June, 2003, the following Resolution was adopted:

**CITY OF GRAND JUNCTION, COLORADO**

**RESOLUTION NO.**

**A RESOLUTION  
REFERRING A PETITION TO THE CITY COUNCIL  
FOR THE ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO,  
SETTING A HEARING ON SUCH ANNEXATION,**

**SONRISE ACRES ANNEXATION**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, a petition was referred to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**SONRISE ANNEXATION**

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

**SONRISE ACRES**  
**ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a

distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

**WHEREAS**, the Council has found and determined that the petition complies substantially with the provisions of the Municipal Annexation Act and a hearing should be held to determine whether or not the lands should be annexed to the City by Ordinance;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION:**

1. That a hearing will be held on the 16<sup>th</sup> day of July, 2003, in the City Hall auditorium, located at 250 N 5<sup>th</sup> Street, City of Grand Junction, Colorado, at 7:30 p.m. to determine whether one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; whether a community of interest exists between the territory and the City; whether the territory proposed to be annexed is urban or will be urbanized in the near future; whether the territory is integrated or is capable of being integrated with said City; whether any land in single ownership has been divided by the proposed annexation without the consent of the landowner; whether any land held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; whether any of the land is now subject to other annexation proceedings; and whether an election is required under the Municipal Annexation Act of 1965.
  
2. Pursuant to the State's Annexation Act, the City Council determines that the City may now, and hereby does, exercise jurisdiction over land use issues in the said territory. Requests for building permits, subdivision approvals and zoning approvals shall, as of this date, be submitted to the Community Development Department of the City.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2002.

Attest:

\_\_\_\_\_  
President of the Council

City Clerk

**NOTICE IS FURTHER GIVEN** that a hearing will be held in accordance with the Resolution on the date and at the time and place set forth in the Resolution.

City Clerk \_\_\_\_\_

Published:

June 13, 2003

June 20, 2003

June 27, 2003

July 4, 2003

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 1**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 0.0666 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF  
GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

SONRISE ACRES

ANNEXATION NO. 1

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North



right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 2nd day of July, 2003.

**ADOPTED** and ordered published this \_\_\_ day of \_\_\_\_\_, 2003.

Attest:

President of the Council

\_\_\_\_\_

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 2**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 0.2378 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for

Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the \_\_\_ day of \_\_\_\_\_, 2003.

**ADOPTED** and ordered published this \_\_\_ day of \_\_\_\_\_, 2003.

Attest:

\_\_\_\_\_  
President of the Council

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 3**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 5.0956 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet

to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the 2<sup>nd</sup> day of July, 2003.

ADOPTED and ordered published this      day of     , 2003.

Attest:  
President of the Council

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 4**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 4.3572 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW

1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the      day of \_\_\_\_ , 2003.

ADOPTED and ordered published this      day of      , 2003.

Attest:

President of the Council

\_\_\_\_\_  
City Clerk

*Planning  
Love*

**NOTICE OF HEARING  
ON PROPOSED ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO**

**NOTICE IS HEREBY GIVEN** that at a regular meeting of the City Council of the City of Grand Junction, Colorado, held on the 4<sup>th</sup> day of June, 2003, the following Resolution was adopted:



**CITY OF GRAND JUNCTION, COLORADO**

**RESOLUTION NO. 49-03**

**A RESOLUTION  
REFERRING A PETITION TO THE CITY COUNCIL  
FOR THE ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO,  
SETTING A HEARING ON SUCH ANNEXATION, AND EXERCISING LAND  
USE CONTROL, AND EXERCISING LAND USE CONTROL**

**SONRISE ACRES ANNEXATION  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, a petition was referred to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**PERIMETER BOUNDARY LEGAL DESCRIPTION  
SONRISE ANNEXATION**

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

**SONRISE ACRES ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a

line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.


**WHEREAS**, the Council has found and determined that the petition complies substantially with the provisions of the Municipal Annexation Act and a hearing should be held to determine whether or not the lands should be annexed to the City by Ordinance;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION:**

1. That a hearing will be held on the 16<sup>th</sup> day of July, 2003, in the City Hall auditorium, located at 250 N 5<sup>th</sup> Street, City of Grand Junction, Colorado, at 7:30 p.m. to determine whether one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; whether a community of interest exists between the territory and the City; whether the territory proposed to be annexed is urban or will be urbanized in the near future; whether the territory is integrated or is capable of being integrated with said City; whether any land in single ownership has been divided by the proposed annexation without the consent of the landowner; whether any land held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; whether any of the land is now subject to other annexation proceedings; and whether an election is required under the Municipal Annexation Act of 1965.
2. Pursuant to the State's Annexation Act, the City Council determines that the City may now, and hereby does, exercise jurisdiction over land use issues in the said territory. Requests for building permits, subdivision approvals and zoning approvals shall, as of this date, be submitted to the Community Development Department of the City.

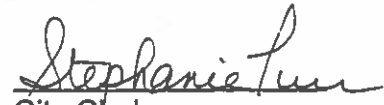
**ADOPTED** this 4<sup>th</sup> day of June, 2003.

Attest:

  
City Clerk

  
\_\_\_\_\_  
President of the Council

**NOTICE IS FURTHER GIVEN** that a hearing will be held in accordance with the Resolution on the date and at the time and place set forth in the Resolution.

  
City Clerk

**AGENDA TOPIC:** Zoning the Sunrise Acres Annexation (ANX-2003-090). The requested zoning is RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre). The physical address is 3068 F Road. A request for Preliminary Plan approval will be forthcoming.

**SUMMARY:** The 6.288-acre Sunrise Acres Annexation area consists of one parcel of land. The property currently has one house on the site. The applicants are in the Preliminary Plan review process.

<b>BACKGROUND INFORMATION</b>				
<b>Location:</b>		3068 F Road		
<b>Applicant:</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative		
<b>Existing Land Use:</b>		Single family residence with vacant land		
<b>Proposed Land Use:</b>		Residential		
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary		
	<b>South</b>	Museum of Western Colorado		
	<b>East</b>	Single Family residential		
	<b>West</b>	Single Family residential		
<b>Existing Zoning:</b>		RSF-4 (Mesa County)		
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)		
<b>Surrounding Zoning:</b>	North	RSF-4 (Mesa County)		
	South	RSF-4 (Mesa County)		
	East	RSF-4 (Mesa County)		
	West	RSF-4 (Mesa County)		
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre		
<b>Zoning within density range?</b>		X	Yes	No

**RELATIONSHIP TO COMPREHENSIVE PLAN:** The City of Grand Junction's Growth Plan identifies the subject parcels as "residential medium low", 2 to 4 dwelling units per acre. The proposed future development will be compatible with adjacent land uses. There is no commercial development associated with this plan.

**STAFF ANALYSIS:** Due to the Persigo Agreement, the property owner is required to annex into the City for the purpose of a Major Subdivision. The

Preliminary Plan is currently under review and will be presented to the Planning Commission when the review is complete.

**Zoning-** the applicant requests the zoning designation of RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre). The zoning is consistent with the Growth Plan for this area, and is consistent with the current County zoning of RSF-4. The minimum density for the RSF-4 zoning designation is 2 units per acre. This zoning district allows for attached and detached single-family and duplex dwelling units.

In order for the rezoning to occur, the following questions must be answered and a finding of consistency with the Zoning and Development Code must be made per Section 2.6 as follows:

1. The existing zoning was in error at the time of adoption;  
*Not applicable, this is a rezone from a county RSF-4 zoning to City RSF-4.*
2. There has been a change of character in the neighborhood due to installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.;  
*The area is experiencing a change from rural to urban residential. There are existing residential developments in the vicinity. The Growth Plan supports the requested density.*
3. The proposed rezone is compatible with the neighborhood and will not create adverse impacts such as: capacity or safety of the street network, parking problems, storm water or drainage problems, water, air or noise pollution, excessive nighttime lighting, or nuisances;  
*The rezone is compatible with the Growth Plan and will not adversely affect utilities or street capacities.*
4. The proposal conforms with and furthers the goals and policies of the Growth Plan, other adopted plans, and policies, the requirements of this Code, and other City regulations and guidelines;  
*This proposal is consistent with the growth plan's land use goals and policies. It is the intent to conform to all other applicable codes and regulations.*
5. Adequate public facilities and services are available or will be made available concurrent with the projected impacts of the proposed development;  
*All facilities and services are available in this area.*
6. There is not an adequate supply of land available in the neighborhood and surrounding area to accommodate the zoning and community needs; and  
*(Not applicable to annexation)*
7. The community or neighborhood will benefit from the proposed zone.

*The benefits as derived by the area will primarily consist of the infill of a parcel surrounded by developed area. The development plan will be consistent with the existing street and utility circulation plans.*

Growth Plan Goals and Policies are as identified in Policy 1.7 state: "The City and County will use zoning to establish the appropriate scale, type, location and intensity for development..." and Goal 11: To promote stable neighborhood and land use compatibility throughout the community."

**RECOMMENDATION:**

1). Staff recommends approval of the zone of RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre) finding that the proposal is consistent with the Growth Plan, the Persigo Agreement and Section 2.6 of the Zoning and Development Code.

**PLANNING COMMISSION RECOMMENDATION:**

Mr. Chairman, on item number ANX-2003-090, I move that the Planning Commission recommend to the City Council the zoning designation of RSF-4 (Residential Single-family, not to exceed 4 units per acre) for the Zone of Annexation of the Sunrise Acres Annexation, located at 3068 F Road, finding that the project is consistent with the Growth Plan, the Persigo Agreement and Section 2.6 of the Zoning and Development Code.

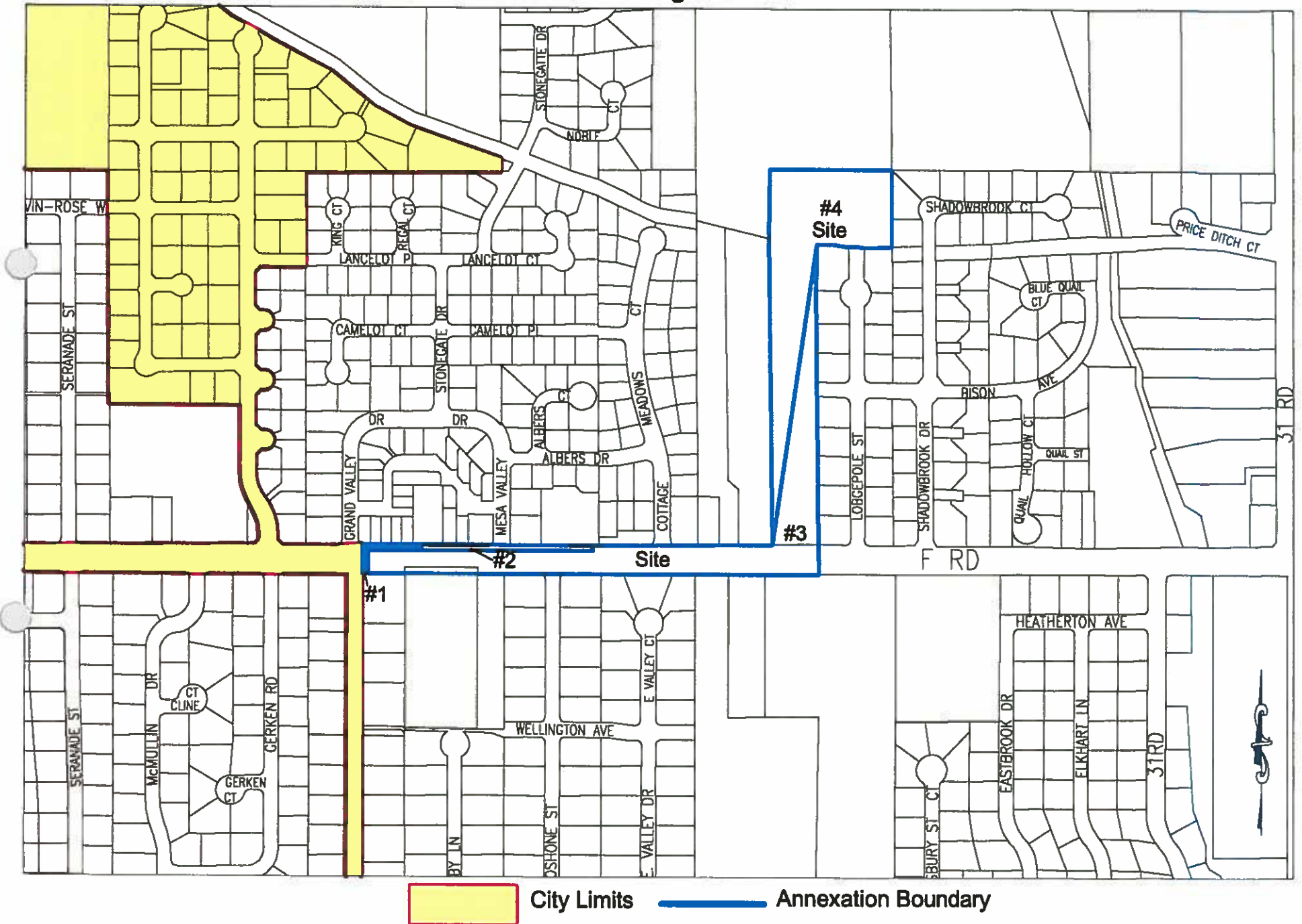
**Attachments:**

Annexation map  
Location Map  
Aerial Map  
Future Land Use Map  
Zoning Map



# Sonrise Acres Annexations #1, #2, #3, & #4

Figure 5



# Site Location Map

Figure 1



# Aerial Photo Map

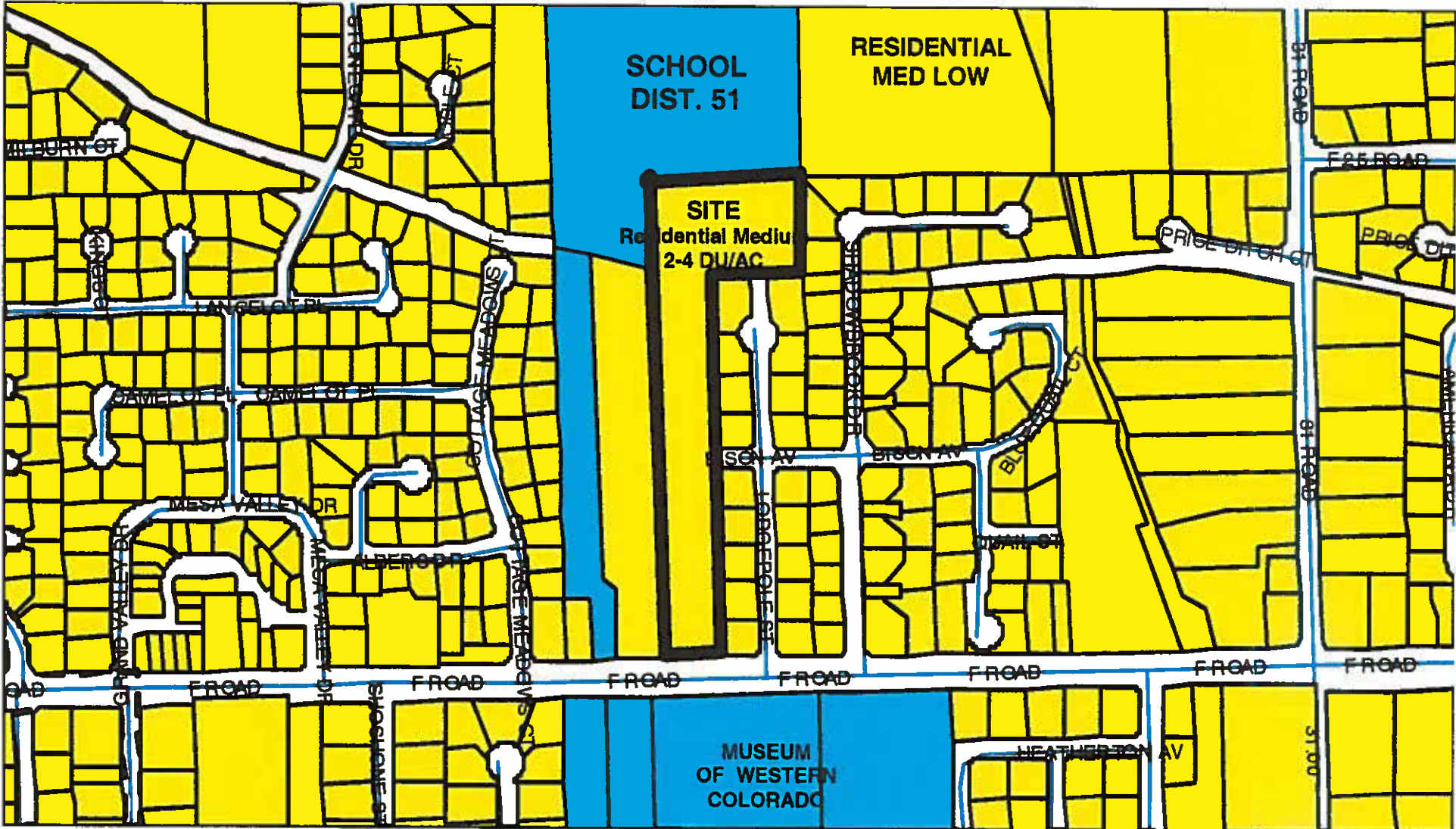
Figure 2





# Future Land Use Map

Figure 3



**GRAND JUNCTION PLANNING COMMISSION  
JUNE 10, 2003 MINUTES  
7:00 P.M. to 8:30 P.M.**

The regularly scheduled Planning Commission hearing was called to order at 7:00 P.M. by Chairman Paul Dibble. The public hearing was held in the City Hall Auditorium.

In attendance, representing the City Planning Commission, were Dr. Paul Dibble (Chairman), Roland Cole, John Evans, John Redifer, John Paulson, Bill Pitts and Richard Blosser. William Putnam was absent.

In attendance, representing the City's Community Development Department, were Bob Blanchard (Community Development Director), Pat Cecil (Development Services Supervisor), Senta Costello (Associate Planner), Scott Peterson (Associate Planner), Lori Bowers (Senior Planner) and Ronnie Edwards (Associate Planner).

Also present were John Shaver (Assistant City Attorney) and Rick Dorris and Eric Hahn (City Development Engineers).

Terri Troutner was present to record the minutes.

There were approximately 17 interested citizens present during the course of the hearing.

**I. APPROVAL OF MINUTES**

Available for consideration were the minutes from the April 22 and May 13, 2003 Planning Commission public hearings.

**MOTION: (Commissioner Cole) "Mr. Chairman, I move approval [of the April 22, 2003 minutes as submitted]."**

Commissioner Blosser seconded the motion. A vote was called and the motion passed by a vote of 6-0, with Commissioner Paulson abstaining.

**MOTION: (Commissioner Cole) "Mr. Chairman, I move approval [of the May 13, 2003 minutes as submitted]."**

Commissioner Pitts seconded the motion. A vote was called and the motion passed by a vote of 5-0, with Chairman Dibble and Commissioner Paulson abstaining.

**II. ANNOUNCEMENTS, PRESENTATIONS AND/OR VISITORS**

There were no announcements, presentations and/or visitors.

**III. CONSENT AGENDA**

Offered for placement on the Consent Agenda were items VE-2003-054 (Vacation of Easement--Cox Easement Vacation); ANX-2003-080 (Zone of Annexation--Rold Annexation); ANX-2003-022 (Zone of Annexation--Unawep Heights Subdivision); ANX-2003-090 (Zone of Annexation--Sonrise Acres Subdivision); VE-2002-205 (Vacation of Easement--Cimarron Mesa Filing #1); and ANX-2003-068 (Zone of Annexation--O'Connor Subdivision). At citizen request, item ANX-2003-022 was pulled and placed on the Full Hearing Agenda.

**MOTION: (Commissioner Blosser) "Mr. Chairman, I move that we approve the Consent Agenda as modified."**

Commissioner Evans seconded the motion. A vote was called and the motion passed unanimously by a vote of 7-0.

#### IV. FULL HEARING

##### **ANX-2003-022 ZONE OF ANNEXATION--UNAWEEP HEIGHTS SUBDIVISION**

A request for approval to zone the UnawEEP Heights Subdivision, consisting of 30.33 acres, to RSF-4 (Residential Single-Family with a density not to exceed 4 units per acre).

Petitioner: UnawEEP Heights, LLC

Location: 2857 UnawEEP Avenue

##### **PETITIONER'S PRESENTATION**

Doug Theis, representing the petitioner, briefly reviewed the request. He said that because the property is currently zoned County RSF-4, the City's RSF-4 zoning would be compatible. The requested zone is consistent with Growth Plan recommendations and Code requirements. Mr. Theis said that the Planning Commission would soon consider a Preliminary Plan consisting of 108 lots; however, he noted that the only item under current consideration tonight is the Zone of Annexation.

##### **STAFF'S PRESENTATION**

Lori Bowers reviewed the request as outlined in her June 10, 2003 staff report. Referencing an overhead map of the site, she noted that UnawEEP Avenue is undergoing realignment. The petitioner had delayed his request for annexation until the realignment was underway. Staff determined that the request met Growth Plan requirements and Code criteria and the RSF-4 land use designation would be consistent with the one previously applied by the County. Ms. Bowers also presented an aerial photo of the site, the City/County Zoning Map and the Future Land Use Map.

##### **QUESTIONS**

Chairman Dibble asked if the zoning on all sides of the subject parcel was RSF-4, to which Ms. Bowers responded affirmatively. She noted that the subject parcel was the only one in the immediate area that, once annexation was completed, would be situated within City limits.

Commissioner Cole asked how contiguity was established. Ms. Bowers pointed out an adjacent parcel and said that contiguity would be ensured from that parcel to B 3/4 Road.

Commissioner Blosser asked about the zoning to the north of the subject property; Ms. Bowers replied that the area to the north was zoned AFT.

##### **PUBLIC COMMENTS**

###### **FOR:**

There were no comments for the request.

###### **AGAINST:**

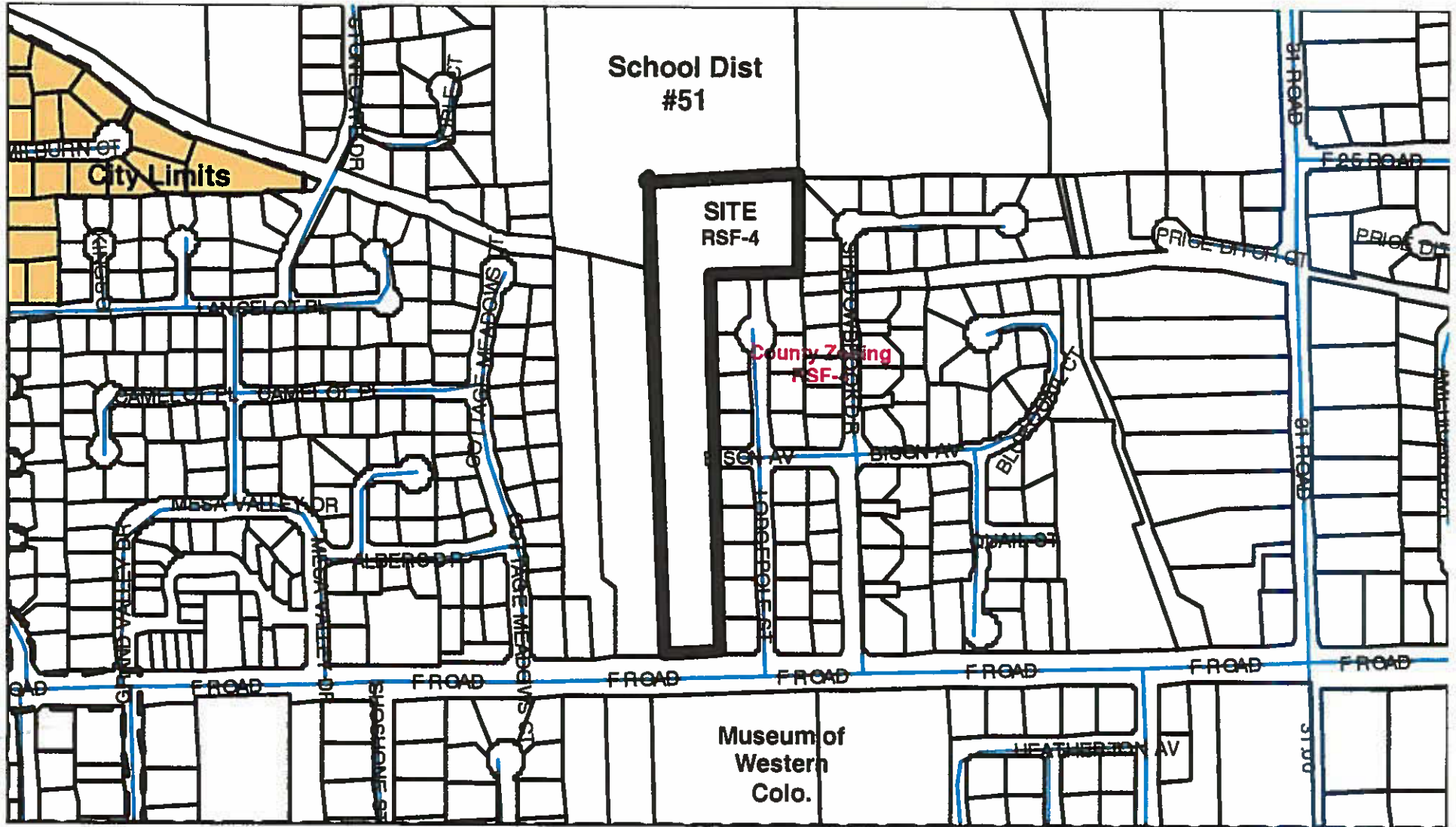
Carlo Godel (2873 C Road, Grand Junction) said that actual densities of the surrounding area were closer to 1-2 units/acre. An increase in density to 4 units per acre would be incompatible; however, a zoning designation allowing 2-3 units per acre would be more acceptable. Mr. Godel indicated the location of his property on the aerial photo. Chairman Dibble reminded citizens that the only matter being considered was the Zone of Annexation. The Planning Commission had not seen any plan submitted for the property, so it was unclear at this point what the actual density of the proposed subdivision would be. The RSF-4, he continued, allowed for densities anywhere between 2 and 4 units per acre.

John Denison (2858 C Road, Grand Junction) noted a small portion of land located at the juncture of the "realigned" UnawEEP Avenue and C Road. He wondered what would become of that piece of ground. He

# Existing City and County Zoning

City Limits

Figure 4



NOTE: Mesa County is currently in the process of updating their zoning map. Please contact Mesa County directly to determine parcels and the zoning thereof."

**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Zoning Sonrise Acres Annexation No. 1, 2, 3 and 4, located at 3068 F Road					
<b>Meeting Date</b>	July 16, 2003					
<b>Date Prepared</b>	July 10, 2003			File #ANX-2003-090		
<b>Author</b>	Lori V. Bowers		Senior Planner			
<b>Presenter Name</b>	Lori V. Bowers		Senior Planner			
<b>Report results back to Council</b>	X	No		Yes	When	
<b>Citizen Presentation</b>		Yes	X	No	Name	
	<b>Workshop</b>	X	<b>Formal Agenda</b>		<b>Consent</b>	X <b>Individual Consideration</b>

**Summary:** Hold a Public Hearing and Consider Final Passage reading of the zoning ordinance to zone the Sonrise annexation RSF-4, located at 3068 F Road; Residential Single Family, not to exceed 4 dwelling units per acre.

**Budget:** N/A

**Action Requested/Recommendation:** Approve Final Passage of the zoning ordinance.

**Background Information:** See attached Staff Report/Background Information

**Attachments:**

1. Staff report/Background information
2. General Location Map
3. Aerial Photo
4. Growth Plan Map
5. Zoning Map
6. Annexation map
7. Zoning Ordinance



STAFF REPORT / BACKGROUND INFORMATION				
<b>Location:</b>		3068 F Road		
<b>Applicants: &lt; Prop owner, developer, representative&gt;</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative		
<b>Existing Land Use:</b>		Vacant land and house		
<b>Proposed Land Use:</b>		Residential		
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary		
	<b>South</b>	Museum of Western Colorado		
	<b>East</b>	Single Family residential		
	<b>West</b>	Single Family residential		
<b>Existing Zoning:</b>		RSF-4 (Mesa County)		
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)		
<b>Surrounding Zoning:</b>	<b>North</b>	RSF-4 (Mesa County)		
	<b>South</b>	RSF-4 (Mesa County)		
	<b>East</b>	RSF-4 (Mesa County)		
	<b>West</b>	RSF-4 (Mesa County)		
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre		
<b>Zoning within density range?</b>		X	Yes	No

**Staff Analysis:**

**Rezoning:** The requested zone of annexation to the RSF-4 district is consistent with the Growth Plan density of "residential medium low", 2 to 4 dwelling units per acre. The existing County zoning is RSF-4. Section 2.14 of the Zoning and Development Code states that the zoning of an annexation area shall be consistent with either the Growth Plan or the existing County zoning.

In order for the rezoning to occur, the following questions must be answered and a finding of consistency with the Zoning and Development Code must be made per Section 2.6 as follows:

1. The existing zoning was in error at the time of adoption;

Response: The requested zoning is to place the property into an appropriate City zoning designation due to the annexation request. Therefore, this criteria is not applicable.

2. There has been a change of character in the neighborhood due to installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.;

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

3. The proposed rezone is compatible with the neighborhood and will not create adverse impacts such as: capacity or safety of the street network, parking problems, storm water or drainage problems, water, air or noise pollution, excessive nighttime lighting, or nuisances;

Response: The zoning request is compatible with the neighborhood and adjacent zoning. Future improvements to facilities will occur if the preliminary plan goes forward.

4. The proposal conforms with and furthers the goals and policies of the Growth Plan, other adopted plans, and policies, the requirements of this Code, and other City regulations and guidelines;

Response: The proposed zoning is consistent with the Goals and polices of the Growth Plan, the requirements of the Zoning and Development Code and other City regulations and guidelines.

5. Adequate public facilities and services are available or will be made available concurrent with the projected impacts of the proposed development;

Response: Adequate public facilities are available or will be supplied at the time of further development of the property.

6. There is not an adequate supply of land available in the neighborhood and surrounding area to accommodate the zoning and community needs; and

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

7. The community or neighborhood will benefit from the proposed zone.

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the RSF-4 zone district, with the finding that the proposed zone district is consistent with the Growth Plan and with Sections 2.6 and 2.14 of the Zoning and Development Code.

**PLANNING COMMISSION RECOMMENDATION:** At their regularly scheduled meeting of June 10, 2003, the Planning Commission recommended approval of the requested zone of annexation to the City Council, finding the zoning to the RSF-4 district to be consistent with the Growth Plan, the existing County Zoning and Sections 2.6 and 2.14 of the Zoning and Development Code.



STU

City of Grand Junction, Colorado  
Office of the City Clerk  
250 North Fifth Street  
81501-2668  
(970) 244-1509  
FAX: (970) 244-1599

June 5, 2003

Board of County Commissioners  
P.O. Box 20,000-5010  
Grand Junction, Colorado 81502

Commissioners:

Subject: Sonrise Acres Annexation – Notice of Hearing,  
Resolution No. 49-03, and Petition

In compliance with Title 31, Article 12, C.R.S., Part 1, entitled "Municipal Annexation Act of 1965", Section 31-12-108(2), I have enclosed a copy of the petition as filed and Resolution No. 49-03 adopted by the City Council of the City of Grand Junction, Colorado, at its regular meeting June 4, 2003, giving notice of hearing on the proposed Sonrise Annexation on July 16, 2003.

By this resolution the City of Grand Junction has assumed jurisdiction of all land use proceedings within the area to be annexed. Accordingly, the processing of all development reviews, including but not necessarily limited to, planning clearances for building permits, fence permits, sign permits, subdivisions, planned developments, rezonings, conditional use permits, right-of-way vacations, and similar applications or proceedings, by the County, for lands within this annexation should be discontinued. Applicants, their agents or representatives, should be referred to the City Community Development Department. Please compile forthwith all documents, maps, plans, plats and files relating to current or pending applications, reviews or approvals in the annexation area. A Community Development Department representative will be in to pick up these items one week from the date of this letter.

If you have questions or need additional information on development issues, please contact Bob Blanchard, Director of the Community Development Department, at 244-1430.

Sincerely,



Stephanie Tuin, MMC  
City Clerk

ST:jsp

Enclosures

- c: Mr. Lyle Dechant, County Attorney  
Mesa County Building Inspection Division  
Mesa County Planning Division  
Dan Wilson, City Attorney  
Bob Blanchard, Community Development Director  
School District #51  
Clifton Water District  
Ute Water  
Clifton Fire District  
Grand Junction Drainage District  
Central Grand Valley Sanitation District



City of Grand Junction, Colorado  
Office of the City Clerk  
250 North Fifth Street  
81501-2668  
(970) 244-1509  
FAX: (970) 244-1599

July 28, 2003

Mesa County Clerk and Recorder  
Mesa County Court House  
P.O. Box 20,000  
Grand Junction, Colorado 81502-5009

Madam:

Re: Annexation – Sunrise Annexations No. 1, No. 2, No. 3 and No. 4

Enclosed herewith is Ordinance No's. 3542, 3543, 3544 and 3545 annexing the Sunrise Annexations located at 3068 F Road and right-of-way located along F Road.

The annexations shall become effective on August 17, 2003.

A duplicate copy is enclosed for you to forward to the State.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Tuin".

Stephanie Tuin, MMC  
City Clerk

Enclosures

cc: Michael Gallegos, Public Service Company  
Wm. Byers/Jarrett Broughton, Grand Valley Rural Power  
Frank Gallik, AT & T Broadband  
Pam Cronkhite, Qwest Communications, Omaha, NB  
Sgt. Greg Bailey, Colorado State Patrol  
Diane Schwenke, Grand Junction Area Chamber of Commerce  
Charlie Unseld, Division of Local Government  
Ute Water, (Charles E. Stockton)  
County Assessor (Mary Anne Fleetwood)  
Mesa County Elections (Amy Storm-Farley)  
County Engineering Department (Pete Baier)  
County Planning Department (Kurt Larson)  
County Road Department (Bob Carman)  
County Sheriff (Undersheriff Dave Wooley)  
County Traffic (Steve Enos-Martinez)  
City Community Development, Planning Division  
City Community Development, Code Enforcement Division

City Engineering  
City Sanitation (Darren Starr)  
City Streets (Doug Cline)  
City Traffic (Rick Ripley)  
City Transportation Engineer (Jody Kliska)  
City Utilities (Jodi Romero - electronic only)  
City Parks & Recreation (Don Hobbs)  
City Police Department (Bob Knight)  
City Fire Department (Rick Beaty)  
Greater Grand Valley Communications Center (Paula Creasy)  
City Accounting (Jay Valentine)

**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Public hearing for acceptance of petition and annexation ordinance for the Sunrise Acres 1, 2, 3 & 4 Annexation, located at 3069 F Road.					
<b>Meeting Date</b>	July 18, 2003					
<b>Date Prepared</b>	July 10, 2003				<b>File #</b> ANX-2003-090	
<b>Author</b>	Lori V. Bowers			Senior Planner		
<b>Presenter Name</b>	Lori V. Bowers			Senior Planner		
<b>Report results back to Council</b>	X	No		Yes	<b>When</b>	
<b>Citizen Presentation</b>	X	Yes		No	<b>Name</b>	Vista Engineering, Patrick O'Connor
	<b>Workshop</b>	X		<b>Formal Agenda</b>		<b>Consent</b> X <b>Individual Consideration</b>

**Summary:** Resolution for acceptance of petition to annex and to hold a public hearing and consider final passage of the annexation ordinance for the Sunrise Acres 1, 2, 3, and 4 Annexation, located at 3068 F Road.

**Budget:** N/A

**Action Requested/Recommendation:** Public hearing on the annexation and acceptance of the petition. Approve resolution accepting a petition for annexation and hold a Public Hearing and Consider Final Passage of the annexation ordinance.

**Background Information:** See attached Staff Report/Background Information

**Attachments:**

1. Staff report/Background information
2. General Location Map
3. Aerial Photo
4. Growth Plan Map
5. Zoning Map
6. Annexation map
7. Acceptance Resolution
8. Annexation Ordinance

STAFF REPORT/BACKGROUND INFORMATION					
<b>Location:</b>		3068 F Road			
<b>Applicants:</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative			
<b>Existing Land Use:</b>		Vacant land and house			
<b>Proposed Land Use:</b>		Residential			
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary			
	<b>South</b>	Museum of Western Colorado			
	<b>East</b>	Single Family residential			
	<b>West</b>	Single Family residential			
<b>Existing Zoning:</b>		RSF-4 (Mesa County)			
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)			
<b>Surrounding Zoning:</b>	<b>North</b>	RSF-4 (Mesa County)			
	<b>South</b>	RSF-4 (Mesa County)			
	<b>East</b>	RSF-4 (Mesa County)			
	<b>West</b>	RSF-4 (Mesa County)			
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre			
<b>Zoning within density range?</b>		X	Yes		No

**Staff Analysis:**

**ANNEXATION:**

This annexation area consists of 9.8472 acres, leaving 6.28 acres for development. The annexation area is comprised of 1 parcel of land; the remaining area is comprised of annexed right-of-way. The property owners have requested annexation into the City as the result of wishing to subdivide their property in the County. Under the 1998 Persigo Agreement all subdivisions require annexation and processing in the City.

It is staff's professional opinion, based on review of the petition and knowledge of applicable state law, including the Municipal Annexation Act Pursuant to C.R.S. 31-12-104, that the Sunrise Acres Annexation is eligible to be annexed because of compliance with the following:

- a) A proper petition has been signed by more than 50% of the owners and more than 50% of the property described;
- b) Not less than one-sixth of the perimeter of the area to be annexed is contiguous with the existing City limits;
- c) A community of interest exists between the area to be annexed and the



City. This is so in part because the Central Grand Valley is essentially a single demographic and economic unit and occupants of the area can be expected to, and regularly do, use City streets, parks and other urban facilities;

- d) The area is or will be urbanized in the near future;
- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

The following annexation and zoning schedule was proposed.

<b><i>ANNEXATION SCHEDULE</i></b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), Introduction Of A Proposed Ordinance, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 2<sup>nd</sup></b>	Introduction Of A Proposed Ordinance on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public Hearing on Annexation and Zoning by City Council
<b>August 17</b>	Effective date of Annexation and Zoning

**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed: = \$ 12,130</b>	
	<b>Actual: = \$ 132,590</b>	
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
		<b>Grand Junction Drainage District</b>
	<b>Drainage:</b>	
	<b>School:</b>	<b>District 51</b>
<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>	

*Luri*

**RESOLUTION NO. 68-03**

**A RESOLUTION ACCEPTING A  
PETITION FOR ANNEXATION, MAKING CERTAIN  
FINDINGS, DETERMINING THAT PROPERTY KNOWN AS THE**

**SONRISE ACRES ANNEXATION  
A SERIAL ANNEXATION COMPRISING OF SONRISE ANNEXATION NO. 1,  
SONRISE ANNEXATION NO. 2, SONRISE ANNEXATION NO. 3 AND SONRISE  
ANNEXATION NO. 4**

**LOCATED AT 3068 F ROAD**

**IS ELIGIBLE FOR ANNEXATION**

WHEREAS, on the 4th day of June, 2003, a petition was submitted to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**SONRISE ACRES ANNEXATION**

A Serial Annexation Comprising OF Sonrise Acres Annexation No.1, Sonrise Acres Annexation No. 2, Sonrise Acres Annexation No. 3 and Sonrise Acres Annexation No. 4

**SONRISE ACRES  
ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a

distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

WHEREAS, a hearing on the petition was duly held after proper notice on the 16th day of July, 2003; and

WHEREAS, the Council has found and determined and does hereby find and determine that said petition is in substantial compliance with statutory requirements therefore, that one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; that a community of interest exists between the territory and the City; that the territory proposed to be annexed is urban or will be urbanized in the near future; that the said territory is integrated or is capable of being integrated with said City; that no land held in identical ownership has been divided without the consent of the landowner; that no land

held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; and that no election is required under the Municipal Annexation Act of 1965.


**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT;**

The said territory is eligible for annexation to the City of Grand Junction, Colorado, and should be so annexed by Ordinance.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3542**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 1  
APPROXIMATELY 0.0666 ACRES**

**RIGHT-OF WAY LOCATED ALONG F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES  
ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING;

thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

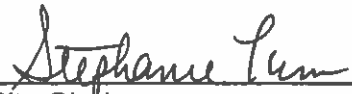
Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk



**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3543**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 2**

**APPROXIMATELY 0.3278 ACRES**

**RIGHT-OF-WAY LOCATED ALONG F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a

distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

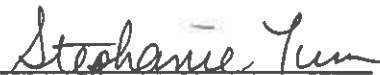
Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3544**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 3**

**APPROXIMATELY 5.0956 ACRES**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North

right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.


Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3545**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 4**

**APPROXIMATELY 4.3572 ACRES**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a

point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.


Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

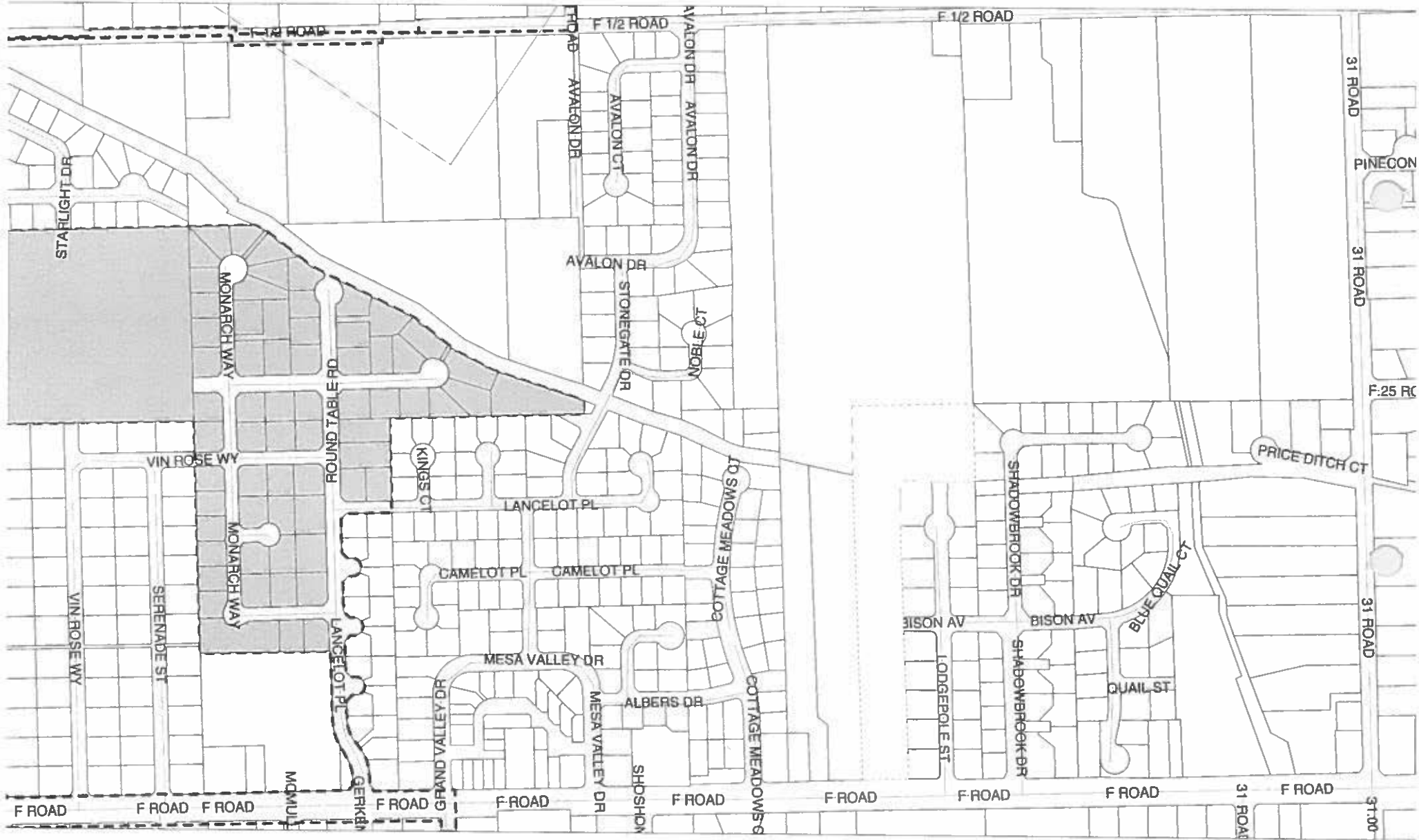
**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

# Sonrise Acres Area Zoning Map



# City of Grand Junction GIS Zoning Map





**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>20</b>	
<b>Estimated Population:</b>	<b>54</b>	
<b># of Parcels (owner occupied):</b>	<b>1</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>0 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed:</b> = \$ 12,130	
	<b>Actual:</b> = \$ 132,590	
<b>Address Ranges:</b>	<b>None</b>	
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>

## Tax Information

<b>2003</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$74,040	\$58,550	\$132,590
	Assessed	\$6,770	\$5,360	\$12,130
	Mill Levy			0.07268
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$986.57
<b>2002</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$52,060	\$3,040	\$55,100
	Assessed	\$4,930	\$880	\$5,810
	Mill Levy			0.07268
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$527.23
<b>2001</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$52,060	\$3,040	\$55,100
	Assessed	\$4,930	\$880	\$5,810
	Mill Levy			0.068557
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$503.28

Sales Activity *(if any)*

Date	Amount	Book	Page	Instrument Type
6/18/2001	\$199,900	2881	127	WDJT

Click on Image(s) to Enlarge



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[\[Assessor Main Page\]](#)

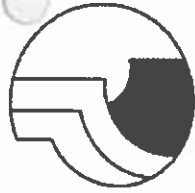


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# Mesa County

## Property Search Results *(Continued)*

The Mesa County Assessor's Office makes every effort to collect and maintain accurate data. However, the Mesa County Assessor's Office is unable to warrant any of the information contained herein.

<b>Owner's Name:</b>	GOLLIHER, GRANT and JANE GOLLIHER
<b>Mailing Address:</b>	PO BOX 315 MORAN, WY 83013-0315
<b>Parcel Identifier:</b>	2943-044-00-130
<b>Associated Par:</b>	
<b>Legal Description:</b>	E 12.5A OF SW4 SE4 SEC 4 1S 1E EXC E 248FT LYING S OFN LI PRICE DITCH SAID PARCEL DESC IN B-1019 P-747 +ALSO EXC S 50FT FOR CO ROAD
<b>Property Address:</b>	3068 F RD
<b>NeighborHood:</b>	Econ 30 M+B Nbhd 1
<b>Land Unit 1:</b>	
<b>Schedule Type:</b>	Single Family Resi
<b>Units:</b>	3.0
<b>Unit Type:</b>	Acres
<b>Land Unit 2:</b>	
<b>Schedule Type:</b>	Single Family Resi
<b>Units:</b>	3.31
<b>Unit Type:</b>	Acres
	<b>Building Characteristics</b> (Including Drawings and Information)

**SONRISE ACRES**  
**ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**SONRISE ACRES**  
**ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**SONRISE ACRES**  
**ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**SONRISE ACRES**  
**ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction



TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

\*\*\*\*\*

**DESCRIPTION OF A TRACT OF LAND**

A tract of land generally described as being a portion of the East 12.5 acres of the SW ¼ SE ¼ of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW ¼ SE ¼ of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North 00° 13' West 1316.33 feet to the North boundary of the SW ¼ SE ¼ of said Section 4; thence North 89° 57' East 412.09 feet along the North boundary of the SW ¼ SE ¼ of said Section 4 to the East boundary of the SW ¼ SE ¼ of said Section 4; thence South 00° 17' East 272.67 feet along the East boundary of the SW ¼ SE ¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85° 45' West 229.77 feet, thence North 77° 06' West 19.59 feet; thence South 00° 17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado

<u>#</u>	<u>Annexation Name</u>	<u>Address</u>	<u>Planner</u>	<u>Schedule</u>	<u>Status</u>	<u>Land Use</u>	
15.	O'Connor	531 31 Road	Ronnie	Ref/1 <sup>st</sup> Read/LU – May 21 <sup>st</sup>		C-1	ANX-2003-068
16.	Rold	524 30 Road	Senta	PC Zone - May 27 <sup>th</sup> or June 10 <sup>th</sup> CC Zone 1 <sup>st</sup> - June 16 <sup>th</sup> CC Acpt/2 <sup>nd</sup> Read – July 2 <sup>nd</sup> Effective August 3, 2003		RSF-4	ANX-2003-080

17.	Sonrise Acres	3068 F Road	Lori	Ref/1 <sup>st</sup> Read/LU – June 4 <sup>th</sup>			ANX-2003-090
18.	UnawEEP Heights	2857 UnawEEP Avenue	Lori	PC Zone - June 10 <sup>th</sup> or June 24 <sup>th</sup> CC Zone 1 <sup>st</sup> - July 2 <sup>nd</sup> CC Acpt/2 <sup>nd</sup> Read – July 16 <sup>th</sup> Effective August 17, 2003			ANX-2003-022

{ maps 27  
29  
St 98

Impact Report due ?????? for UnawEEP Heights & ?????????????? Annexation

19.	Marchun	2925 F 1/2 Road	Lisa	Ref/1 <sup>st</sup> Read/LU – June 16 <sup>th</sup> PC Zone - June 24 <sup>th</sup> or July 8 <sup>th</sup> CC Zone 1 <sup>st</sup> - July 16 <sup>th</sup> CC Acpt/2 <sup>nd</sup> Read – August 6 <sup>th</sup> Effective September 7, 2003		RMF-5	ANX-2003-093
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Impact Report due ?????? for Marchun Anenxation

# NOTICE OF DEVELOPMENT APPLICATION

An application for the development proposal described below, located near property you own, has been received by the Grand Junction Community Development Department. The Department encourages public review of proposed development prior to public hearings. The application, including plans, reports and supporting documentation, is available for review during normal business hours (7:30 A.M. - 5:30 P.M. Monday-Thursday and 7:30 A.M. - 5:00 P.M. on Friday) at City Hall, 250 North 5<sup>th</sup> Street. City Planning staff is also available to answer questions and explain the development review process.

**ANX/PP-2003-090 – SONRISE ACRES SUBDIVISION  
– 3068 F Road**

Request approval to annex and develop 20 single family lots on 6.288 acres in a RSF-4 (Residential Single Family-4 units/acre) zone.

Planner **Lori Bowers**

Courtesy notification cards will be mailed to adjoining property owners prior to a public hearing on this item. However, we encourage you to also verify scheduling in one of the following ways:

- ◆ call the Community Development Department at (970) 244-1430
- ◆ look for a display ad in the Daily Sentinel one day prior to the public hearing (held on the second and sometimes the third Tuesday of each month)
- ◆ You may receive a FAX copy of the Planning Commission agendas by calling CITY DIAL at (970) 244-1500 ext. 211.
- ◆ Agendas for Planning Commission, City Council, and Board of Appeals items are available prior to the hearing at City Hall, 250 North 5<sup>th</sup> Street.

Please do not hesitate to contact the Community Development Department at (970) 244-1430 if you have any questions.

# **PRELIMINARY DRAINAGE REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

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**PREPARED FOR:**

**CPS ENTERPRISES, LLC**  
P.O. Box 561  
Telluride, CO 81435  
(970) 728-9909

**PREPARED BY:**

**VISTA ENGINEERING CORP.**  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242

April 23, 2003  
VEC # 4117.00-03

# **PRELIMINARY DRAINAGE REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

---

---

**PREPARED FOR:**

**CPS ENTERPRISES, LLC**  
P.O. Box 561  
Telluride, CO 81435  
(970) 728-9909

**PREPARED BY:**

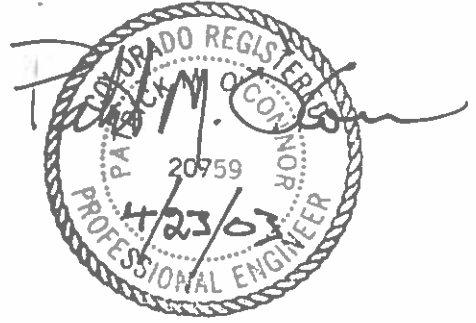
**VISTA ENGINEERING CORP.**  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242

April 23, 2003  
VEC # 4117.00-03

# CERTIFICATION

---

I hereby certify that this Preliminary Drainage Report for Sunrise Acres Subdivision was prepared under my direct supervision.



---

Patrick M. O'Connor  
Registered Professional Engineer  
State of Colorado, # 20759

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# PRELIMINARY DRAINAGE REPORT

## SONRISE ACRES SUBDIVISION

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### I. LOCATION AND DESCRIPTION OF PROPERTY

Sonrise Acres Subdivision contains approximately 6.288 acres (including 0.208 acres of open space) and is located near the City of Grand Junction, Colorado, at 3068 F Road (west of Lodge Pole Street). Proposed development of the site shall consist of one Filing containing 20 lots for a finished density of 3.18 units per acre. It is currently zoned "County RSF-4" with a similar future land use designation of "Residential Medium", having a dwelling density of 4 to 8 units per acre. The site plan shows the location of the property in relationship to the surrounding vicinity. One tax parcel, numbered 2943-044-00-130, is contained within the site.

Existing streets in the vicinity include Bison Avenue in the center of the site, Lodge Pole Street to the east, and F Road to the south. Bison Avenue, an existing urban residential street, is proposed to extend into the project from the east and terminate at proposed Sonrise Way, a residential street with a cul-de-sac on the south end. Sonrise Way will have a modified cross-section with the typical 14' asphalt mat, a 6.5' curb, gutter, and walkway on the east side of centerline, but only a 6' asphalt mat on the west side of the centerline (given that the remaining roadway is located west of the property boundary and will be completed at a future date when the adjacent parcel develops). A section of the Price Ditch (buried pipeline) runs east to west near the northern end of the site.

The surrounding area consists primarily of residential housing zoned "County RSF-4". Thunder Mountain Elementary School is located immediately north of the property. The site is currently vacant except for a single family residence in the southeast corner adjacent to F Road. This residence will remain and be incorporated into the proposed lot geometry, but will continue to utilize the existing driveway onto F Road. All other lots will be accessed by the internal streets proposed within the subdivision. Existing outbuildings will be removed or relocated to conform with setback requirements for the new lot lines.

Existing ground cover over most of the site consists of a sparse covering of pasture grasses and weeds, with many bare areas resulting from recent boarding of livestock. Landscaping of the proposed open space tract will consist of a low-maintenance native grass with temporary irrigation provided by the existing residence to establish growth and shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan and are typical sandy silts found in the area and the Valley. The soils generally consist of Billings Silty Clay and Billings Silty Clay Loam. These soils are categorized as hydrologic soils group "C" which have low infiltration capability and moderate to high runoff potential. This should not pose an adverse impact to development of the site. There are no known geological hazards at this location.



## II. EXISTING DRAINAGE CONDITIONS

### MAJOR BASIN

Sonrise Acres Subdivision is located within the Indian Wash Watershed which is one of the major basins of the Grand Valley and consists of several square miles of basin beginning to the northeast in the "Bookcliffs Plateau". Indian Wash flows south, crossing F Road near the intersection with 29 Road where it generally travels south and west, eventually emptying into the Colorado River. Lewis Wash, another major watershed, flows south just a few hundred feet east of the site, but is located above and outside of the drainage impacts from this site.

Sonrise Acres Subdivision does not exist within the 100 year floodplain of the Indian Wash Basin or any other basin as delineated by the July 15, 1992 Flood Insurance Rate Maps produced by FEMA (partial copy enclosed in the Appendix - Panel Number 080115 0480 C).

### SITE

Topography of the property is relatively "flat" in nature, sloping generally south at an average rate of less than one percent. Open ditches on the east and west property lines intercept flows which would enter or leave the site. Currently, surface runoff from the site flows south onto F Road where it is collected by existing storm inlets, enters the existing 12" RCP storm drain in the street, and flows west to Indian Wash. This storm sewer expands to 18" diameter approximately 200' to the west.

### OFF-SITE IMPACTS TO THE SITE

Offsite surface runoff in the vicinity is collected and diverted away from the site by the existing developments surrounding the project. Playgrounds and vacant areas of Thunder Mountain Elementary School exist directly north of the site. There is no evidence of runoff from these school grounds onto this site. Runoff from the school is apparently managed on-site and discharged to the west.

## III. PROPOSED DRAINAGE CONDITIONS

### CHANGES IN DRAINAGE PATTERNS

No change in the released drainage pattern is proposed for the site. Drainage patterns within the site will be modified to accommodate development and to better control surface flows to designated collection areas. Upon development, runoff will flow south to be collected, detained, and released at a controlled rate from the detention facility proposed within the Open-Space designated in the southwest corner of the site. This facility will consist of a detention pond and concrete release structure which will empty into the existing 12" storm drain located in F Road. Preliminary calculations indicate that developed rates of release will be reduced from the runoff flowrates historically generated.

## MAINTENANCE

Access to the stormwater management facility will be by platted streets and easements as required. A Home Owners Association will be formed to provide maintenance responsibility for the surface improvements related to the facility. Operation and maintenance of the underground storm sewers will be the responsibility of the City of Grand Junction.

## IV. DRAINAGE DESIGN CRITERIA AND APPROACH

### REGULATIONS

The City of Grand Junction and Mesa County Stormwater Management (SWM) Manual (May 1996) will be used as the basis for analysis and facility design criteria. No master drainage plan has been completed for the area, to our knowledge. This development will be designed and constructed within the guidelines of the SWM manual to assure minimal impacts to downstream properties.

### HYDROLOGIC CRITERIA

Because the project is a residential development containing sub-basins less than 25 acres, the "Rational Method" will be used to calculate the historic and developed flow rates. As required by the "Stormwater Management (SWM) Manual", the minor storm event is considered to be the 2 year frequency storm and the major storm event is considered to be the 100 year frequency event.

Runoff Coefficients and intensity-duration-frequency data used in the computations will be based on the most recent SWM Manual criteria defined above. Coefficients will be assigned based on land use and hydrologic soils group. Haestad Methods software ("Pondpack") will be used to perform the calculations.

### HYDRAULIC CRITERIA

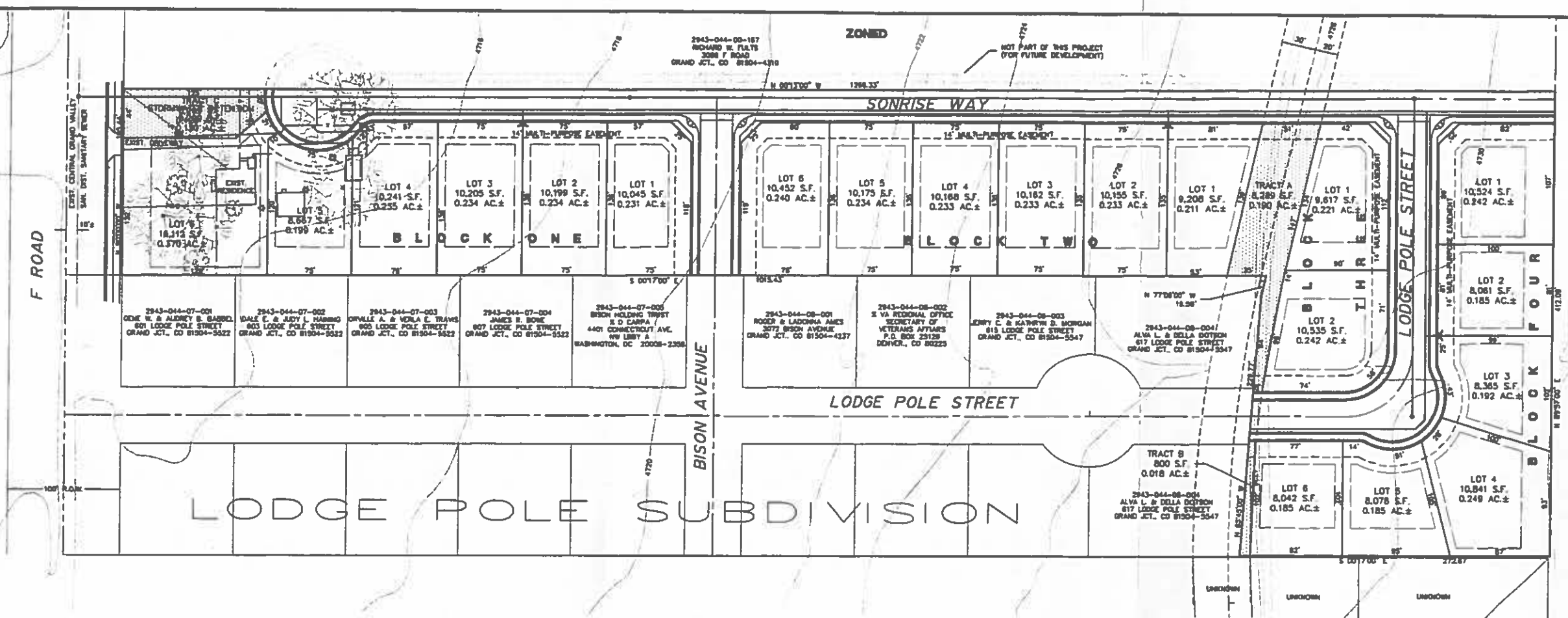
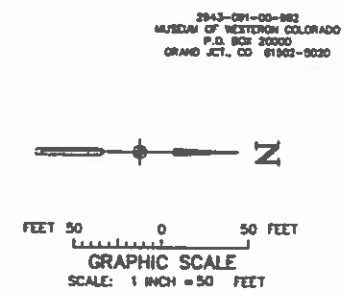
All site facilities and conveyance elements will be designed in accordance with the City of Grand Junction SWM Manual and the City of Grand Junction Design Standards and Construction Specifications.

Open channels and pipelines will be analyzed using Manning's Equation and roughness coefficients found in the SWM Manual. Haestad Flowmaster Software will be used to perform the calculations. Copies of these calculations will be included in the final report.

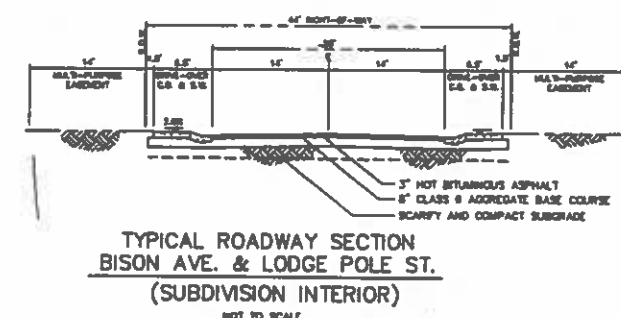
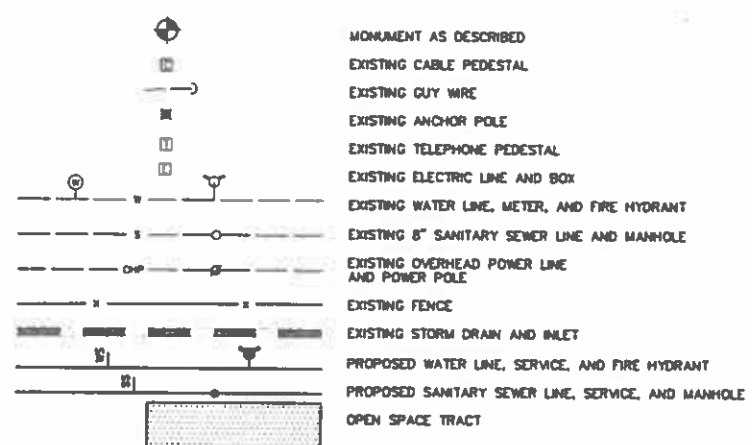
## APPENDIX

1. **PRELIMINARY PLAN**  
SHEET 1 OF 1 - PRELIMINARY PLAN  
VICINITY TOPO MAP
2. **MAJOR BASIN MAP**  
VICINITY MAP - U.S.G.S. QUAD SHEET
3. **FLOODPLAIN MAP**  
F.E.M.A. Flood Insurance Rate Map - Partial Copy  
Mesa County, Colorado: Panel 480 (080115 0480 C - July 15, 1992)
4. **SOILS INFORMATION**  
S.C.S. SOILS MAP
5. **PRELIMINARY HYDROLOGIC CALCULATIONS**  
Historic and Developed Runoff, Stage-Discharge, and Pond-Routing

**SECTION 1  
PRELIMINARY PLAN**

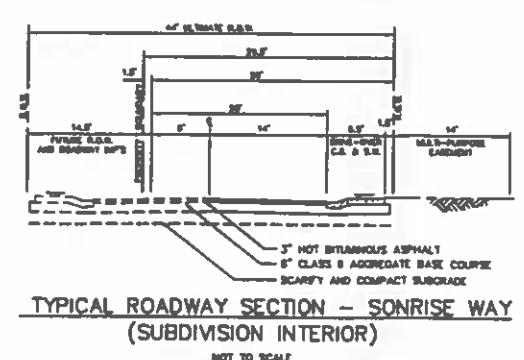


**LEGEND**



**PUBLIC FACILITIES**

SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Clifton Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Owest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palladeo Irrigation District

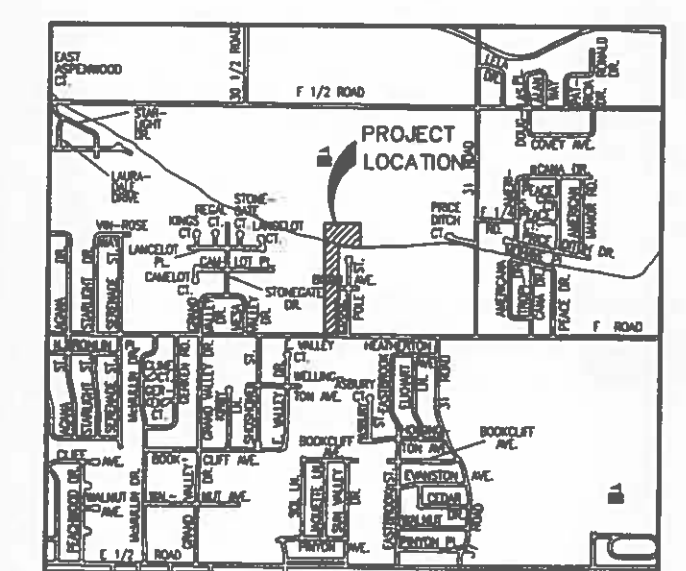


**BULK REQUIREMENTS FOR RSF-4 ZONE**

MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK PRINCIPAL STRUCTURE ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	7 FEET 3 FEET
MINIMUM REAR YARD SETBACK PRINCIPAL STRUCTURE ACCESSORY STRUCTURE	25 FEET 5 FEET
MINIMUM FRONT YARD SETBACK PRINCIPAL STRUCTURE ACCESSORY STRUCTURE	20 FEET 25 FEET
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

RESIDENTIAL LOTS (20)	4.589 ACRES	73.0%
OPEN SPACE	0.328 ACRES	5.2%
INTERIOR ROADS	1.371 ACRES	21.8%
TOTAL	6.288 ACRES	100.0%

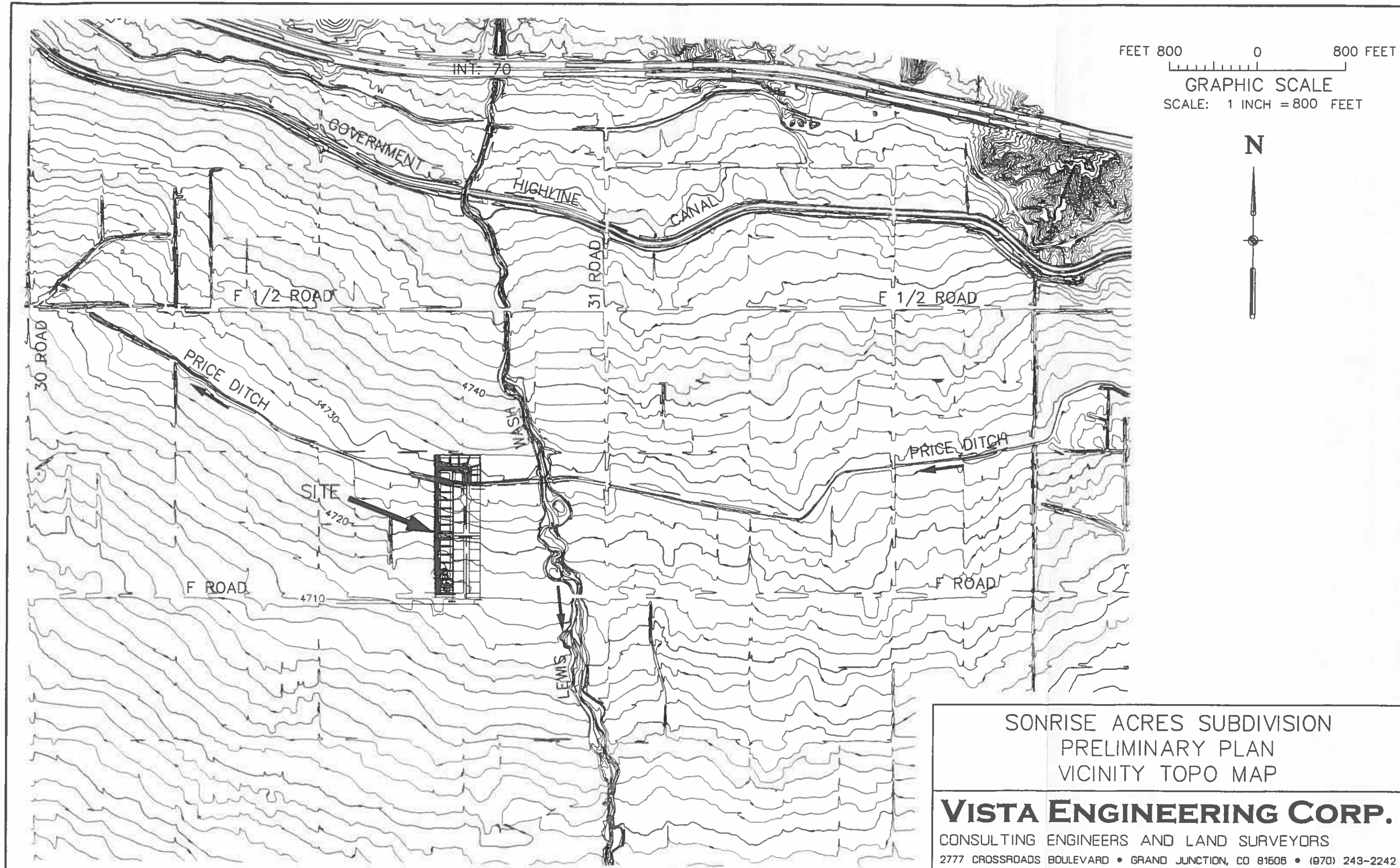


DESIGNED BY: F.J.B.	REVIEWED BY: DATE: _____ FOR _____
DESIGNED BY: P.M.O.	REVIEWED BY: DATE: _____ FOR VISTA ENGINEERING CORP.

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	DD

GRAND JUNCTION, COLORADO  
SCALE: 1" = 50'  
JOB NO: 47.00-02  
DATE: 4-8-03  
SHEET NO:  
**PRELIMINARY PLAN  
SONRISE ACRES**



FEET 800 0 800 FEET  
GRAPHIC SCALE  
SCALE: 1 INCH = 800 FEET

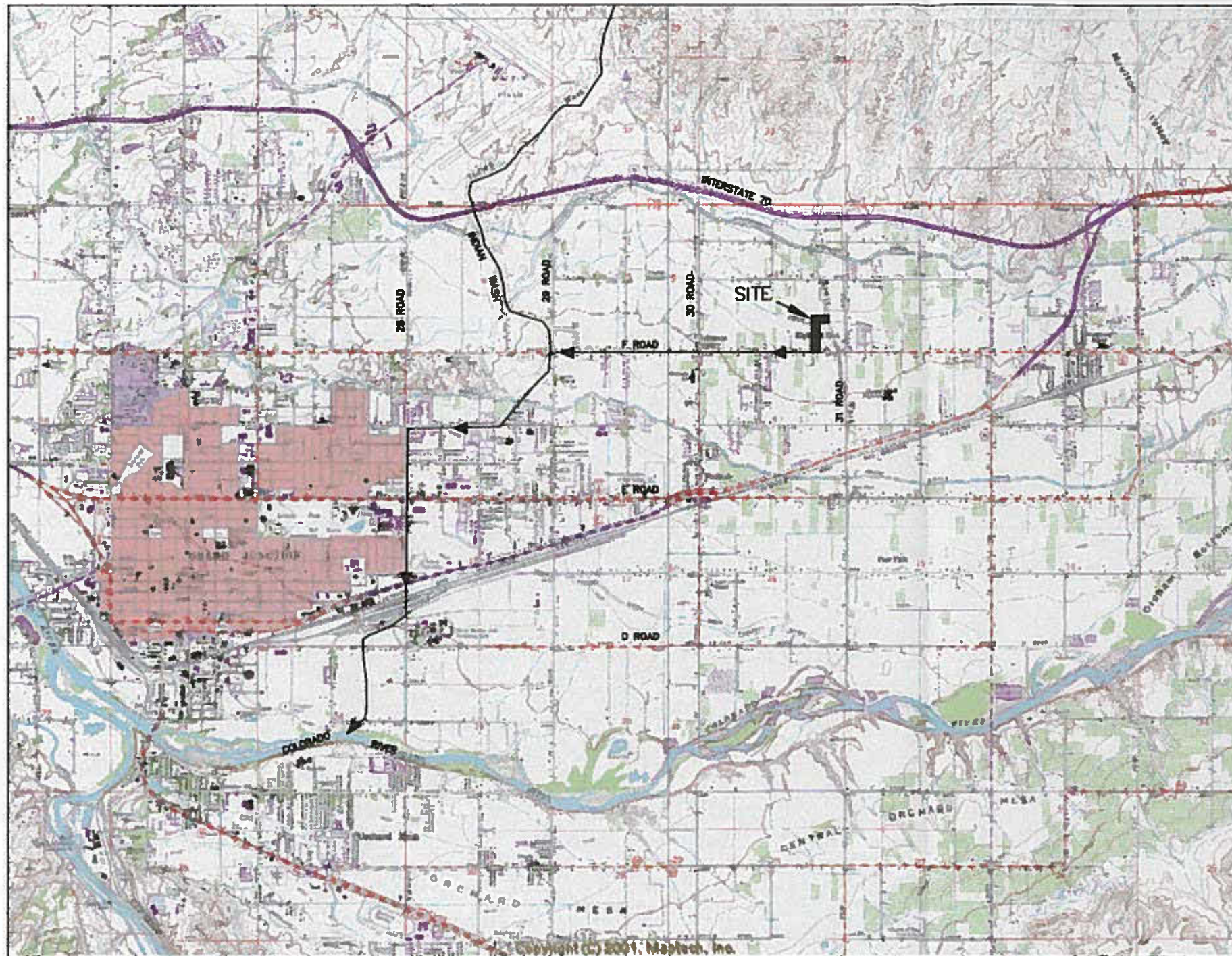


SONRISE ACRES SUBDIVISION  
PRELIMINARY PLAN  
VICINITY TOPO MAP

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81608 • (970) 243-2242

**SECTION 2**  
**MAJOR BASIN MAP**





NOT TO SCALE

SONRISE ACRES SUBDIVISION  
PRELIMINARY PLAN  
MAJOR BASIN MAP

**VISTA ENGINEERING CORP.**

CONSULTING ENGINEERS AND LAND SURVEYORS

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**SECTION 3  
FLOODPLAIN MAP**



HIGHLINE

Ditch

GOVERNMENT

31 ROAD

F ROAD

Lewis

Walsh

PROJECT LOCATION

F 1/2 ROAD

Price

Highland Park

NORTH  
1" = 1000'

F ROAD

Johnsons Corner

30 ROAD

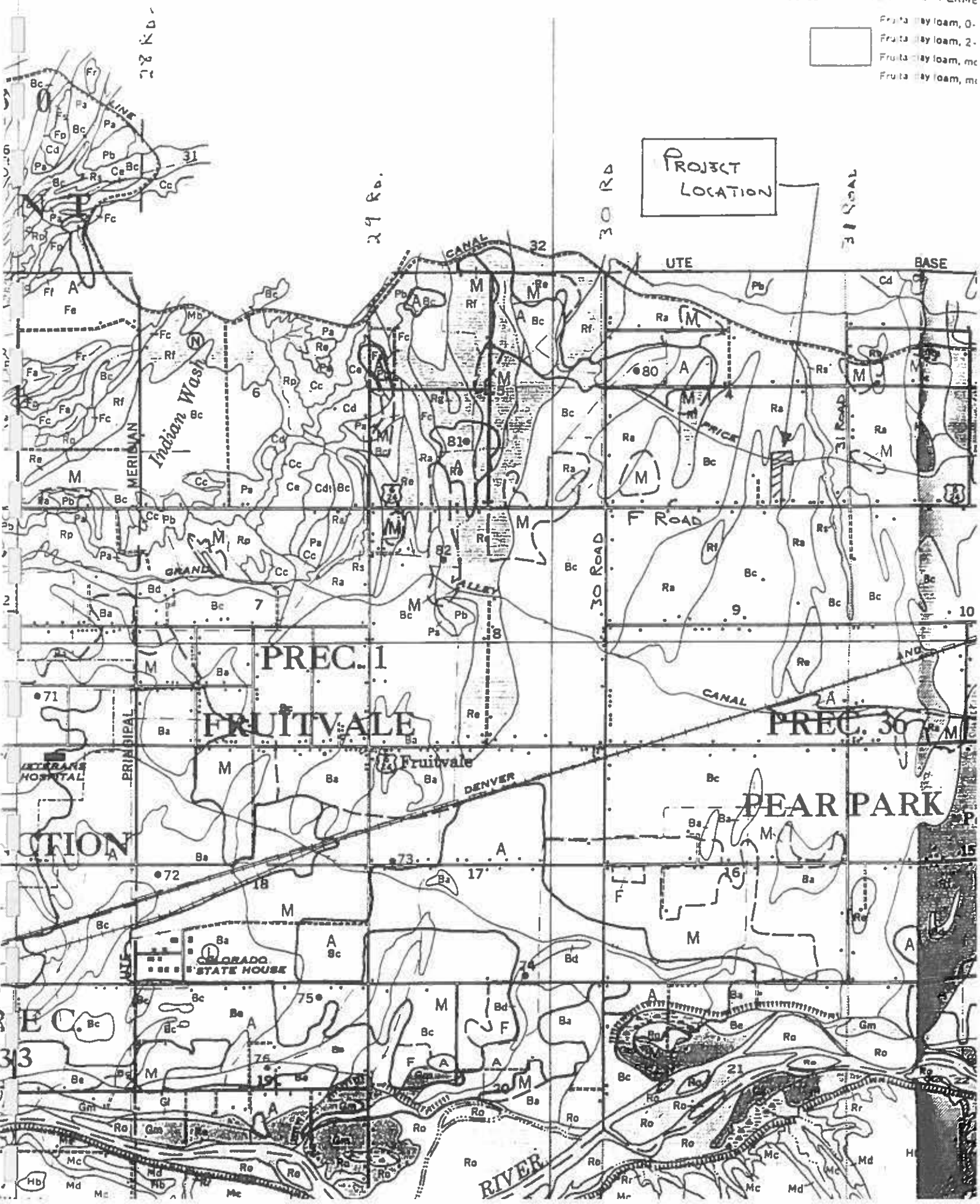
PARTIAL COPY: FEMA FLOOD MAP  
MESA COUNTY, COLORADO  
PANEL 480 OF 1000  
(080115 0480 C)

**SECTION 4**  
**SOILS INFORMATION**

Naos clay loam, 0.2 percent slopes  
 Ravala clay loam, 0.2 percent slopes  
 Ravala clay loam, 2.5 percent slopes

SLIGHTLY TO MODERATELY DEVE  
 SOILS WITH MODERATELY PERME

- Fruita clay loam, 0-
- Fruita clay loam, 2-
- Fruita clay loam, mc
- Fruita clay loam, mc



**Billings silty clay loam, 0 to 2 percent slopes (Bc).**—This soil, locally called adobe, is one of the most important and extensive in the Grand Valley. It covers nearly one-fifth of the Grand Junction Area. The areas occur on the broad flood plains and very gently sloping coalescing alluvial fans along streams. Many large areas are north of the Colorado River.

The soil is derived from deep alluvial deposits that came mainly from Mancos shale but in a few places from fine-grained sandstone materials. The deposits ordinarily range from 4 to 40 feet deep but in places exceed 40 feet. The deposits have been built up from thin sediments brought in by the streams that have formed the coalescing alluvial fans or have been dropped by the broad washes that have no drainage channel. The thickest deposit, near Grand Junction, was built up by Indian Wash.

The color and texture of the soil profile vary from place to place. The 8- to 10-inch surface soil normally consists of gray, light-gray, light olive-gray, or light brownish-gray silty clay loam. This layer grades into material of similar color and texture that extends to depths of 3 or 4 feet. Below this depth the successive depositional layers show more variation. Although the dominant texture is silty clay loam, the profile may have a loam, clay loam, fine sandy loam, or a very fine sandy loam texture.

Where there are fairly uniform beds of Mancos shale and where the soil is not influenced by materials deposited by adjoining drainage courses, the profile varies only slightly within the upper 3 or 4 feet. In areas bordering drainage courses, however, the soil varies more in texture and color from the surface downward.

One small area about 1½ miles southeast of Loma consists of light grayish-brown or pale-brown heavy silty clay loam that shows only slight variation in texture to depths of 4 to 6 feet. The underlying soil material is more variable. Below depths of 6 to 10 feet the layers generally are somewhat thicker and have a higher percentage of coarse soil material.

Also included with this soil are several small areas totaling about 3 square miles that are dominantly pale yellow. These are located 2½ to 3½ miles northeast of Fruita, 5 miles north of Fruita, 2½ miles northeast of Loma, 3 to 5 miles north of Loma, 1½ miles northwest of Loma, and 4 miles northwest of Muck. In these areas the 8- or 10-inch surface soil is pale-yellow silty clay loam, and the subsoil is a relatively uniform pale-yellow silty clay loam to depths of 4 to 8 feet. The accumulated alluvial layers are difficult to distinguish, but in a few places transitional to Fruita soils there are small areas having a pale-brown to light-yellowish brown color. These transitional areas are included with Billings silty clay loam because they have a finer textured subsoil than is characteristic of the Ravola soils.

Although moderately fine textured, this Billings soil permits successful growth of deep-rooted crops such as alfalfa and tree fruits. Its permeability is normally not so favorable as that of the Mesa, Fruita, and Ravola soils. Its tilth and workability are fair, but it puddles so quickly when wet and bakes so hard when dry that good tilth can be maintained only by proper irrigation and special cultural practices. Runoff is slow and internal drainage is very slow.

Like all other soils in the area, this one has a low organic-matter content. Under natural conditions it contains a moderate concen-

tration of salts derived from the parent rock (Mancos shale). In places, however, it contains so much salt that good yields cannot be obtained. Some large areas are so strongly saline they cannot be used for crops. Generally, this soil is without visible lime, but it is calcareous. In many places small white flecks or indistinct light-colored streaks or seams indicate that lime, gypsum, or salts are present.

*Use and management.*—About 80 percent of this soil is cultivated. The chief irrigated crops are alfalfa, corn, dry beans, sugar beets, small grains, and tomatoes and other truck crops. Where the soil is located so as to avoid frost damage, tree fruits are grown.

Most of the field crops are grown in the central and western parts of the valley, or from Grand Junction westward. The entire acreage in tree fruits—approximately 3 square miles—lies between Grand Junction and Palisade. Because the climate is more favorable near Palisade, the acreage in orchard fruits is greater there. A few small orchards are located northeast of Grand Junction in the direction of Clifton. The main fruit acreage is between Clifton and Palisade. Peach orchards predominate, but a considerable acreage is in pears, especially near Clifton. Yields depend on the age of the trees and other factors, including management, but the estimated potential yield is somewhat less on this soil than on Mesa soils. This takes into account the slower internal drainage of this soil and its susceptibility to salinity if overirrigated. Yields of other crops vary according to the length of time the land has been irrigated, internal drainage or subdrainage, salt content of the soil, management practices, and local climate.

The uncultivated areas of this soil are mostly inaccessible places adjoining the larger washes, which occur mainly in the western part of the area, and those places that cannot be cropped profitably because they have inadequate drainage and a harmful concentration of salts. The uncultivated land supports a sparse growth of greasewood, saltbush, shadscale, rabbitbrush, ryegrass, peppergrass, and saltgrass. From 70 to 90 acres are required to pasture one animal during a season.

A number of places shown on the map by small marsh symbols are low and seepy. They could be ditched, but their acreage is likely too small to justify the expense. Left as they are, their salt content makes them worthless for any use except pasture.

Sizeable acreages of this soil apparently were overirrigated in the past. Irrigation water applied at higher levels to the north seeps upward in this soil where it occurs in low areas toward the river. Even now, new saline areas are appearing, and existing areas are getting larger. The total acreage affected by salts has remained more or less the same for the last two decades, but affected areas will continue to change in size and shape because of seepage.

Most fields are ditched where necessary. Some uncultivated areas require both leveling and ditching. In places subdrainage is inadequate because irregularities in the underlying shale tend to create pockets and prevent underground water from flowing into the drainage ditches. Also, in some areas where the alluvial mantle is 30 to 40 feet thick, the ditches are not always deep enough to drain the soil. Some areas are seepy because there are no ditches running in an east-west direction to intercept lateral flow of ground water from the over-

irrigated, permeable, medium-textured, stratified soils on the upper parts of the fan to the north. After being leveled, uncultivated areas would have to be cropped for 3 years before their salt content would be reduced enough to permit good yields.

Farmers can increase the organic-matter content of this soil by applying manure liberally and by growing alfalfa or clovers at least part of the time. A combination field crop and livestock type of farming favors improvement of this soil. Many of the small imperfectly drained areas may be kept in pasture. Strawberry clover and sweetclover are well suited, and mixtures of pasture grasses grow well.

**Billings silty clay loam, 2 to 5 percent slopes (Bd).**—This soil covers a relatively small acreage in the Grand Valley. The areas are widely scattered. Except for its stronger slope, the soil is almost the same as Billings silty clay loam, 0 to 2 percent slopes. In a few places, notably north of Loma, there are areas having a pale-yellow color rather than the gray typical of the Billings soils.

*Use and management.*—Only about 15 percent of this soil is cultivated. Many of the areas lie along large drainageways or washes where they are difficult to reach. Even a larger number have such an uneven surface that considerable leveling would have to be done before they could be cropped. The cost of leveling, together with the expense of controlling erosion and gullying, discourages farmers from using them.

Many of the uncultivated areas have moderate concentrations of salts, but they are not particularly difficult to reclaim because they border natural ditches or washes which afford free disposal of irrigation water. Furthermore, for the most part, they have a porous substratum.

About the same crops are grown on this soil as on Billings silty clay loam, 0 to 2 percent slopes. The average yields are approximately the same.

**Billings silty clay, 0 to 2 percent slopes (Ba).**—This soil, locally called heavy adobe, occurs well toward the Colorado River. It is on alluvial materials—4 to about 40 feet thick—that largely came from Mancos shale. Most of this soil lies east and southeast of Grand Junction and along the railroad between Grand Junction and Fruita.

The 8- or 10-inch surface soil consists of light brownish-gray, gray, or olive-gray silty clay. The layer is similar to the surface layer of Billings silty clay loam soils but it is harder and, in many places, darker. The subsoil consists of similarly colored layers of silty clay loam, silt loam, and silty clay. In places the soil is silty clay to depths exceeding 4 feet.

The entire profile is firm when moist and has a massive structure. The subsoil has many small irregularly shaped light-gray specks or indistinct mottles. Poorly defined light-colored streaks indicate the presence of lime, gypsum, or salts. The surface soil and subsoil are calcareous, the lime being well distributed. The fine texture of the soil greatly retards penetration of roots, moisture, and air.

Surface runoff is very slow to slow where the slope is less than 1 percent. Internal drainage is very slow because the subsoil is massive and very slowly permeable. Even with ample drainage ditches, the discharge of irrigation water is slow.

Tilth and workability are not good, because the soil has a fine texture and a low content of organic matter. Moreover, some fields contain areas 20 to 60 feet across that have excessive amounts of salts. Slick spots also occur. These salty areas and slick spots produce low or negligible yields of most crops and are extremely difficult to eliminate.

*Use and management.*—About 75 percent of this soil is cultivated. Most of the rest is affected by salts. Small grains, beans, sugar beets, and alfalfa are the chief crops. They yield less than on Billings silty clay loam, 0 to 2 percent slopes. Ordinarily, newly broken fields are cropped to oats or other small grains the first few seasons so that excess salts can be removed. Afterwards, if drainage is adequate, they may be planted to pinto beans, sugar beets, corn, or alfalfa. The very slow permeability of this soil makes it unsuitable for orchard crops. Also, it is located mainly in areas where the frost hazard is great. Probably the greater part of the irrigable acreage is used for sugar beets. Small grains, alfalfa, and pinto beans usually follow in the order named.

**Billings silty clay, 2 to 5 percent slopes (Bu).**—This soil is similar to Billings silty clay, 0 to 2 percent slopes. It differs mainly in having greater slopes and a slightly finer textured and darker gray surface soil. In places, below depths of 3 or 4 feet, the silty clay or clay material is light olive gray.

The tilth and workability are poor. Surface runoff is medium, and internal drainage is very slow. The soil is better suited to irrigation than most of the larger nearly level areas of Billings silty clay, 0 to 2 percent slopes, many of which are affected by salts. Approximately 12 acres of this soil is in peach orchards. All the rest is normally used for cultivated crops, principally corn, pinto beans, and alfalfa. This soil is suited to about the same crops as Billings silty clay, 0 to 2 percent slopes, but it generally produces better yields.

**Billings silty clay, moderately deep over Green River soil material, 0 to 2 percent slopes (Be).**—This soil occurs on the outer margin of coalescing alluvial fans where 1 to 4½ feet of fine-textured deposits derived from shale overlies Green River soil materials.

Except for a few strips only a few rods wide that adjoin low-lying areas of Green River soils, this soil has not been altered by high overflows from the Colorado River. It is not likely that the main part of the soil will be covered by floodwaters from the Colorado River, as it lies well above the level of normal overflow.

*Use and management.*—About 85 percent of this soil is cultivated. The principal crops are alfalfa, corn, sugar beets, and pinto beans. A few peach orchards are on this soil near Clifton. Because the underlying strata are coarser, crops produce better on this soil than on most areas of the other Billings silty clay soils. Drainage and saline conditions have to be corrected before the soil will produce well.

Uncultivated acreages of this soil northwest of Grand Junction are saline, imperfectly drained, or both. Their tilth and workability are poor because they have a fine texture and a low content of organic matter.

**SECTION 5**  
**PRELIMINARY HYDROLOGIC CALCULATIONS**

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:10:39 10-25-2002

SONRISE ACRES SUBDIVISION  
 HISTORIC RUNOFF - BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 2 years  
 'C' adjustment, k = 1  
 Adj. 'C' = Wtd.'C' x 1

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.220	6.30	30.00	0.220	0.220	0.540	6.30	0.75



Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:10:39 10-25-2002

SONRISE ACRES SUBDIVISION  
 HISTORIC RUNOFF - BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 100 years  
 'C' adjustment, k = 1.2727  
 Adj. 'C' = Wtd.'C' x 1.2727

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.220	6.30	30.00	0.220	0.280	2.150	6.30	3.79

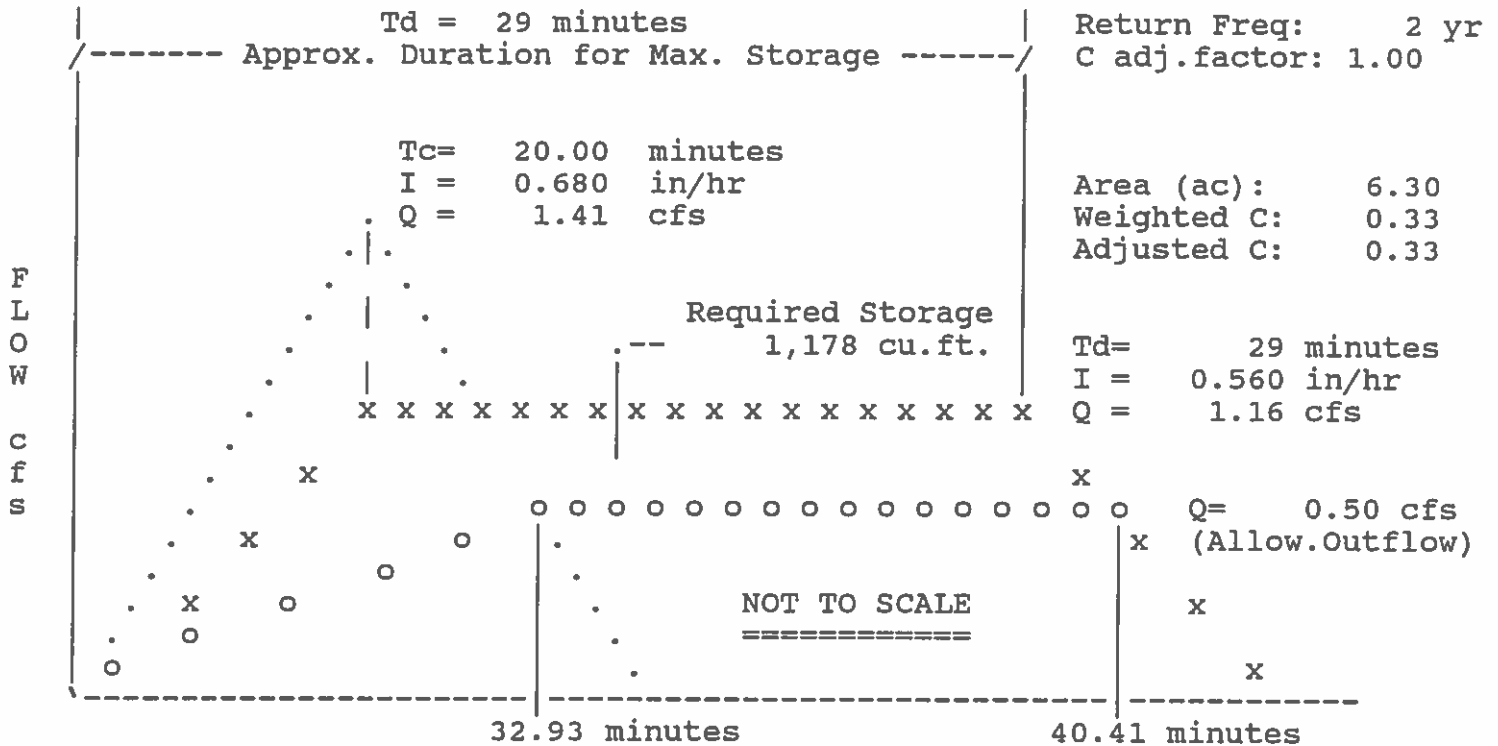
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 Executed: 13:13:17 10-25-2002

MODIFIED RATIONAL METHOD  
 ---- Graphical Summary for Maximum Required Storage ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\*\*\*\*\*  
 \* RETURN FREQUENCY: 2 yr | Allowable Outflow: 0.50 cfs \*  
 \* 'C' Adjustment: 1.000 | Required Storage: 1,178 cu.ft. \*  
 \*-----\*  
 \* Peak Inflow: 1.16 cfs | Inflow .HYD stored: NONE STORED \*  
 \*\*\*\*\*

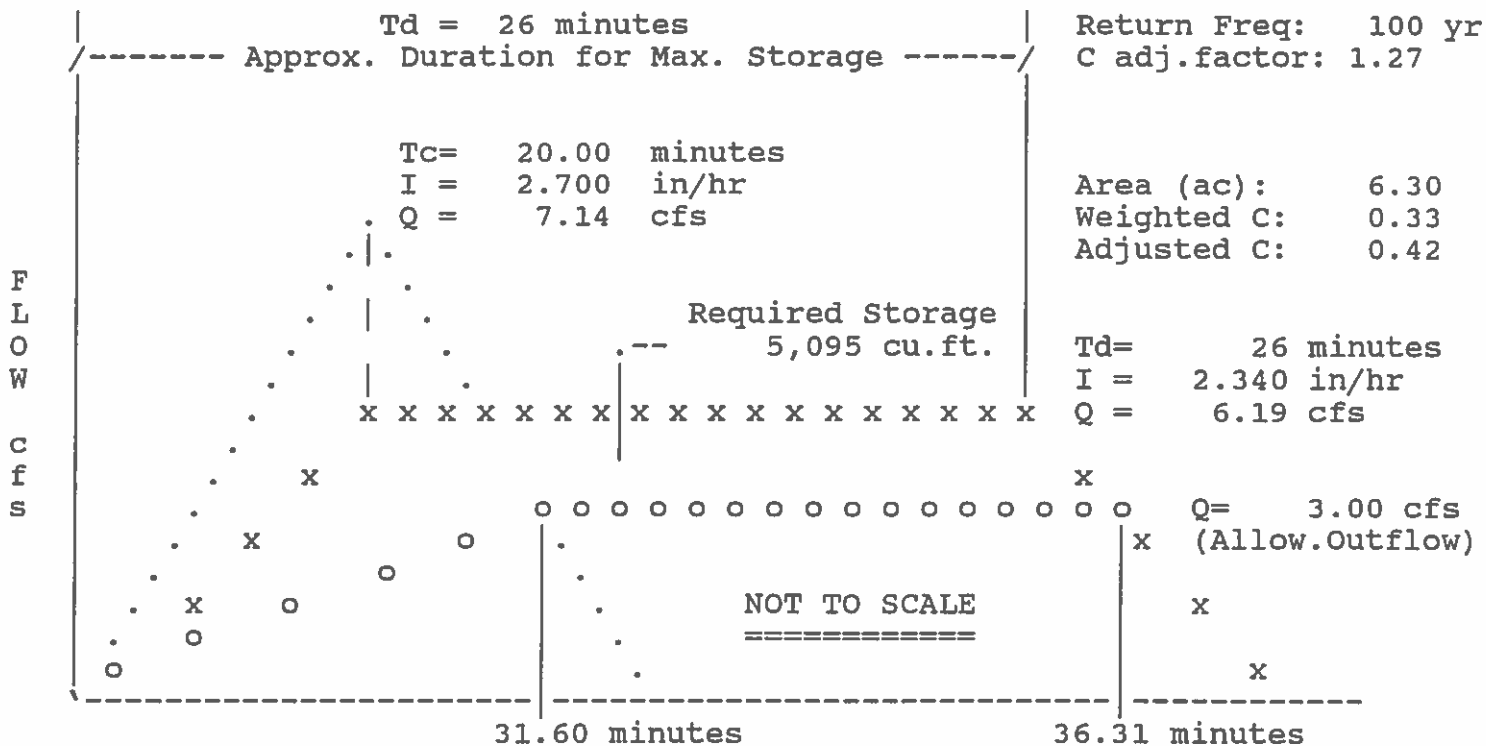


MODIFIED RATIONAL METHOD  
 ---- Graphical Summary for Maximum Required Storage ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\*\*\*\*\*  
 \* RETURN FREQUENCY: 100 yr | Allowable Outflow: 3.00 cfs \*  
 \* 'C' Adjustment: 1.273 | Required Storage: 5,095 cu.ft. \*  
 \*-----\*  
 \* Peak Inflow: 6.19 cfs | Inflow .HYD stored: NONE STORED \*  
 \*\*\*\*\*



Quick TR-55 Ver.5.46 S/N:  
Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
DEVELOPED RUNOFF, BASIN=TOTAL SITE  
10/25/02

\*\*\*\* Modified Rational Hydrograph \*\*\*\*

Weighted C = 0.330 Area= 6.300 acres Tc = 20.00 minutes

Adjusted C = 0.330 Td= 29.00 min. I= 0.56 in/hr Qp= 1.16 cfs

RETURN FREQUENCY: 2 year storm Adj.factor = 1.00

Output file: NONE STORED

HYDROGRAPH FOR MAXIMUM STORAGE  
For the 2 Year Storm

Time Hours	Time increment = 0.017 Hours						
	Time on left represents time for first Q in each row.						
0.000	0.00	0.06	0.12	0.17	0.23	0.29	0.35
0.117	0.41	0.47	0.52	0.58	0.64	0.70	0.76
0.233	0.81	0.87	0.93	0.99	1.05	1.11	1.16
0.350	1.16	1.16	1.16	1.16	1.16	1.16	1.16
0.467	1.16	1.16	1.11	1.05	0.99	0.93	0.87
0.583	0.81	0.76	0.70	0.64	0.58	0.52	0.47
0.700	0.41	0.35	0.29	0.23	0.17	0.12	0.06
0.817	0.00						

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\*\*\*\* Modified Rational Hydrograph \*\*\*\*

Weighted C = 0.330 Area= 6.300 acres Tc = 20.00 minutes

Adjusted C = 0.420 Td= 26.00 min. I= 2.34 in/hr Qp= 6.19 cfs

RETURN FREQUENCY: 100 year storm Adj.factor = 1.27  
 Output file: NONE STORED

HYDROGRAPH FOR MAXIMUM STORAGE  
 For the 100 Year Storm

Time Hours	Time increment = 0.017 Hours						
	Time on left represents time for first Q in each row.						
0.000	0.00	0.31	0.62	0.93	1.24	1.55	1.86
0.117	2.17	2.48	2.79	3.10	3.41	3.71	4.02
0.233	4.33	4.64	4.95	5.26	5.57	5.88	6.19
0.350	6.19	6.19	6.19	6.19	6.19	6.19	5.88
0.467	5.57	5.26	4.95	4.64	4.33	4.02	3.71
0.583	3.41	3.10	2.79	2.48	2.17	1.86	1.55
0.700	1.24	0.93	0.62	0.31	0.00		

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 2 years  
 'C' adjustment, k = 1  
 Adj. 'C' = Wtd.'C' x 1

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.330	6.30	20.00	0.330	0.330	0.680	6.30	1.41

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 100 years  
 'C' adjustment, k = 1.2727  
 Adj. 'C' = Wtd.'C' x 1.2727

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.330	6.30	20.00	0.330	0.420	2.700	6.30	7.14

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

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MODIFIED RATIONAL METHOD  
 ---- Grand Summary For All Storm Frequencies ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

Area = 6.30 acres Tc = 20.00 minutes

.....

VOLUMES

Frequency (years)	Adjusted 'C'	Duration minutes	Intens. in/hr	Qpeak cfs	Allowable cfs	Inflow (cu.ft.)	Storage (cu.ft.)
2	0.330	29	0.560	1.16	0.50	2,026	1,178
100	0.420	26	2.340	6.19	3.00	9,659	5,095



Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

MODIFIED RATIONAL METHOD  
 ---- Summary for Single Storm Frequency ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

RETURN FREQUENCY: 2 yr 'C' Adjustment = 1.000 Allowable Q = 0.50 cfs

Hydrograph file: NONE STORED Tc = 20.00 minutes

						VOLUMES	
Weighted 'C'	Adjusted 'C'	Duration minutes	Intens. in/hr	Areas acres	Qpeak cfs	Inflow (cu.ft.)	Storage (cu.ft.)
0.330	0.330	20	0.680	6.30	1.41	1,696	1,096
***** Storage Maximum							
0.330	0.330	29	0.560	6.30	1.16	2,026	1,178
*****							
0.330	0.330	30	0.540	6.30	1.12	2,021	1,148
0.330	0.330	40	0.450	6.30	0.94	2,245	1,099
0.330	0.330	50	0.390	6.30	0.81	2,432	1,011
0.330	0.330	60	0.340	6.30	0.71	2,545	851

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

MODIFIED RATIONAL METHOD  
 ---- Summary for Single Storm Frequency ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

RETURN FREQUENCY: 100 yr 'C' Adjustment = 1.273 Allowable Q = 3.00 cfs

Hydrograph file: NONE STORED Tc = 20.00 minutes

						VOLUMES	
Weighted 'C'	Adjusted 'C'	Duration minutes	Intens. in/hr	Areas acres	Qpeak cfs	Inflow (cu.ft.)	Storage (cu.ft.)
0.330	0.420	20	2.700	6.30	7.14	8,573	4,973
*****						Storage Maximum	
0.330	0.420	26	2.340	6.30	6.19	9,659	5,095
*****							
0.330	0.420	30	2.150	6.30	5.69	10,240	5,033
0.330	0.420	40	1.790	6.30	4.74	11,367	4,551
0.330	0.420	50	1.530	6.30	4.05	12,145	3,723
0.330	0.420	60	1.330	6.30	3.52	12,669	2,647

POND-2 Version: 5.21  
S/N:

SONRISE ACRRES  
DETENTION POND -PRELIMINARY  
10/25/02

CALCULATED 10-25-2002 14:42:10  
DISK FILE: SONRACRE.VOL

Planimeter scale: 1 inch = 10 ft.

Elevation (ft)	Planimeter (sq.in.)	Area (sq.ft)	A1+A2+sqr(A1*A2) (sq.ft)	* Volume (cubic-ft)	Volume Sum (cubic-ft)
97.00	18.04	1,804	0	0	0
98.00	24.64	2,464	6,376	2,125	2,125
99.00	31.96	3,196	8,466	2,822	4,948
100.00	40.00	4,000	10,771	3,590	8,538

\* Incremental volume computed by the Conic Method for Reservoir Volumes.

$$\text{Volume} = (1/3) * (\text{EL2}-\text{EL1}) * (\text{Area1} + \text{Area2} + \text{sq.rt.}(\text{Area1}*\text{Area2}))$$

where: EL1, EL2 = Lower and upper elevations of the increment  
Area1, Area2 = Areas computed for EL1, EL2, respectively  
Volume = Incremental volume between EL1 and EL2

Weir Calculator

Given Input Data:

Weir Type .....	Triangular
Solving for .....	Angle
Flowrate .....	3.0000 cfs
Depth of Flow .....	24.0000 in
Coefficient .....	0.5830
Height .....	30.0000 in

Computed Results:

Angle .....	24.0073 deg
Full Flow .....	5.2408 cfs
Velocity .....	3.5274 fps
Crest length .....	10.2059 in
Area .....	1.0631 ft2
Perimeter .....	61.3413 in
Wet Perimeter .....	49.0730 in
Wet Area .....	0.8505 ft2
Percent Full .....	80.0000 %

#Units=Structural Dimensions,in,Flowrate,cfs

#Rating Curve Rating Curve Data

#Depth - in      Flowrate - cfs

```

#-----
0.00000000,      0.00000000 -
1.20000000,      0.00167705
2.40000000,      0.00948681
3.60000000,      0.02614258
4.80000000,      0.05366552
6.00000000,      0.09374980 -
7.20000000,      0.14788478
8.40000000,      0.21741547
9.60000000,      0.30357801
10.80000000,     0.40752253
12.00000000,     0.53032896 -
13.20000000,     0.67301859
14.40000000,     0.83656263
15.60000000,     1.02188901
16.80000000,     1.22988764
18.00000000,     1.46141478 -
19.20000000,     1.71729658
20.40000000,     1.99833204
21.60000000,     2.30529554
22.80000000,     2.63893899
24.00000000,     2.99999366 -
25.20000000,     3.38917180
26.40000000,     3.80716807
27.60000000,     4.25466076
28.80000000,     4.73231289
    
```

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*****
*
*      SONRISE ACRES - 3068 F ROAD      *
*      DETENTION POND - PRELIMINARY    *
*              10/25/02                 *
*      10 1/4 INCH V-NOTCH WEIR (@ 2' DEPTH) *
*
*****
  
```

Inflow Hydrograph: SA D-100.HYD  
 Rating Table file: SONRACRE.PND

----INITIAL CONDITIONS----  
 Elevation = 97.00 ft  
 Outflow = 0.00 cfs  
 Storage = 0 cu-ft

GIVEN POND DATA			INTERMEDIATE ROUTING COMPUTATIONS	
ELEVATION (ft)	OUTFLOW (cfs)	STORAGE (cu-ft)	2S/t (cfs)	2S/t + 0 (cfs)
97.00	0.0	0	0.0	0.0
97.50	0.1	1,000	33.3	33.4
98.00	0.5	2,125	70.8	71.3
98.50	1.5	4,200	140.0	141.4
99.00	3.0	4,948	164.9	167.9
100.00	5.0	8,538	284.5	289.5

Time increment (t) = 0.017 hrs.

Pond File: SONRACRE.PND  
 Inflow Hydrograph: SA D-100.HYD  
 Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.000	0.00	-----	0.0	0.0	0.00	97.00
0.017	0.31	0.3	0.3	0.3	0.00	97.00
0.033	0.62	0.9	1.2	1.2	0.00	97.02
0.050	0.93	1.6	2.8	2.8	0.01	97.04
0.067	1.24	2.2	4.9	4.9	0.01	97.07
0.083	1.55	2.8	7.7	7.7	0.02	97.12
0.100	1.86	3.4	11.0	11.1	0.03	97.17
0.117	2.17	4.0	15.0	15.0	0.04	97.22
0.133	2.48	4.7	19.5	19.6	0.05	97.29
0.150	2.79	5.3	24.6	24.8	0.07	97.37
0.167	3.10	5.9	30.4	30.5	0.08	97.46
0.183	3.41	6.5	36.6	36.9	0.13	97.55
0.200	3.71	7.1	43.3	43.7	0.21	97.64
0.217	4.02	7.7	50.5	51.0	0.29	97.73
0.233	4.33	8.4	58.0	58.8	0.38	97.83
0.250	4.64	9.0	66.0	67.0	0.48	97.94
0.267	4.95	9.6	74.5	75.6	0.59	98.03
0.283	5.26	10.2	83.3	84.7	0.71	98.10
0.300	5.57	10.8	92.4	94.1	0.83	98.16
0.317	5.88	11.5	102.0	103.9	0.96	98.23
0.333	6.19	12.1	111.8	114.0	1.10	98.30
0.350	6.19	12.4	121.7	124.2	1.23	98.38
0.367	6.19	12.4	131.4	134.1	1.36	98.45
0.383	6.19	12.4	140.6	143.8	1.60	98.54
0.400	6.19	12.4	148.7	153.0	2.13	98.72
0.417	6.19	12.4	155.9	161.1	2.60	98.87
0.433	6.19	12.4	162.2	168.3	3.01	99.00
0.450	5.88	12.1	168.1	174.3	3.11	99.05
0.467	5.57	11.5	173.2	179.6	3.19	99.10
0.483	5.26	10.8	177.5	184.0	3.26	99.13
0.500	4.95	10.2	181.0	187.7	3.33	99.16
0.517	4.64	9.6	183.9	190.6	3.37	99.19
0.533	4.33	9.0	186.0	192.8	3.41	99.21
0.550	4.02	8.4	187.5	194.4	3.44	99.22
0.567	3.71	7.7	188.3	195.2	3.45	99.22
0.583	3.41	7.1	188.5	195.5	3.45	99.23
0.600	3.10	6.5	188.2	195.1	3.45	99.22
0.617	2.79	5.9	187.2	194.1	3.43	99.22
0.633	2.48	5.3	185.7	192.5	3.40	99.20
0.650	2.17	4.7	183.6	190.3	3.37	99.18
0.667	1.86	4.0	181.0	187.6	3.32	99.16
0.683	1.55	3.4	177.8	184.4	3.27	99.14
0.700	1.24	2.8	174.2	180.6	3.21	99.10
0.717	0.93	2.2	170.1	176.4	3.14	99.07
0.733	0.62	1.6	165.5	171.6	3.06	99.03

POND-2 Version: 5.21 S/N:  
EXECUTED: 10-25-2002 14:57:37

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-100.HYD  
Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.750	0.31	0.9	160.6	166.4	2.92	98.97
0.767	0.00	0.3	155.7	160.9	2.59	98.87

\*\*\*\*\* SUMMARY OF ROUTING COMPUTATIONS \*\*\*\*\*

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-100.HYD  
Outflow Hydrograph: SONRAC .HYD

Starting Pond W.S. Elevation = 97.00 ft

\*\*\*\*\* Summary of Peak Outflow and Peak Elevation \*\*\*\*\*

Peak Inflow	=	6.19 cfs
Peak Outflow	=	3.45 cfs
Peak Elevation	=	99.23 ft

\*\*\*\*\* Summary of Approximate Peak Storage \*\*\*\*\*

Initial Storage	=	0 cu-ft
Peak Storage From Storm	=	5,761 cu-ft
		-----
Total Storage in Pond	=	5,761 cu-ft



```

*****
*
*      SONRISE ACRES - 3068 F ROAD      *
*      DETENTION POND - PRELIMINARY    *
*              10/25/02                 *
* 10 1/4 INCH V-NOTCH      2 YEAR STORM *
*
*****
  
```

Inflow Hydrograph: SA D-2 .HYD  
 Rating Table file: SONRACRE.PND

----INITIAL CONDITIONS----  
 Elevation = 97.00 ft  
 Outflow = 0.00 cfs  
 Storage = 0 cu-ft

GIVEN POND DATA

ELEVATION (ft)	OUTFLOW (cfs)	STORAGE (cu-ft)
97.00	0.0	0
97.50	0.1	1,000
98.00	0.5	2,125
98.50	1.5	4,200
99.00	3.0	4,948
100.00	5.0	8,538

INTERMEDIATE ROUTING  
 COMPUTATIONS

2S/t (cfs)	2S/t + 0 (cfs)
0.0	0.0
33.3	33.4
70.8	71.3
140.0	141.4
164.9	167.9
284.5	289.5

Time increment (t) = 0.017 hrs.

Pond File: SONRACRE.PND  
 Inflow Hydrograph: SA D-2 .HYD  
 Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.000	0.00	----	0.0	0.0	0.00	97.00
0.017	0.06	0.1	0.1	0.1	0.00	97.00
0.033	0.12	0.2	0.2	0.2	0.00	97.00
0.050	0.17	0.3	0.5	0.5	0.00	97.01
0.067	0.23	0.4	0.9	0.9	0.00	97.01
0.083	0.29	0.5	1.4	1.4	0.00	97.02
0.100	0.35	0.6	2.1	2.1	0.01	97.03
0.117	0.41	0.8	2.8	2.8	0.01	97.04
0.133	0.47	0.9	3.7	3.7	0.01	97.06
0.150	0.52	1.0	4.6	4.7	0.01	97.07
0.167	0.58	1.1	5.7	5.7	0.02	97.09
0.183	0.64	1.2	6.9	6.9	0.02	97.10
0.200	0.70	1.3	8.2	8.2	0.02	97.12
0.217	0.76	1.5	9.6	9.6	0.03	97.14
0.233	0.81	1.6	11.1	11.2	0.03	97.17
0.250	0.87	1.7	12.7	12.8	0.03	97.19
0.267	0.93	1.8	14.4	14.5	0.04	97.22
0.283	0.99	1.9	16.3	16.4	0.04	97.24
0.300	1.05	2.0	18.2	18.3	0.05	97.27
0.317	1.11	2.2	20.3	20.4	0.05	97.30
0.333	1.16	2.3	22.4	22.5	0.06	97.34
0.350	1.16	2.3	24.6	24.7	0.07	97.37
0.367	1.16	2.3	26.8	26.9	0.07	97.40
0.383	1.16	2.3	28.9	29.1	0.08	97.44
0.400	1.16	2.3	31.1	31.2	0.08	97.47
0.417	1.16	2.3	33.2	33.4	0.09	97.50
0.433	1.16	2.3	35.3	35.5	0.11	97.53
0.450	1.16	2.3	37.4	37.6	0.14	97.56
0.467	1.16	2.3	39.3	39.7	0.16	97.58
0.483	1.16	2.3	41.3	41.7	0.19	97.61
0.500	1.11	2.3	43.2	43.6	0.21	97.63
0.517	1.05	2.2	44.9	45.3	0.23	97.66
0.533	0.99	2.0	46.4	46.9	0.25	97.68
0.550	0.93	1.9	47.8	48.3	0.26	97.70
0.567	0.87	1.8	49.0	49.6	0.28	97.71
0.583	0.81	1.7	50.1	50.7	0.29	97.73
0.600	0.76	1.6	51.1	51.7	0.30	97.74
0.617	0.70	1.5	51.9	52.6	0.31	97.75
0.633	0.64	1.3	52.6	53.3	0.32	97.76
0.650	0.58	1.2	53.2	53.9	0.33	97.77
0.667	0.52	1.1	53.6	54.3	0.33	97.78
0.683	0.47	1.0	54.0	54.6	0.34	97.78
0.700	0.41	0.9	54.2	54.8	0.34	97.78
0.717	0.35	0.8	54.2	54.9	0.34	97.78
0.733	0.29	0.6	54.2	54.9	0.34	97.78

POND-2 Version: 5.21 S/N:  
EXECUTED: 10-25-2002 15:05:40

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-2 .HYD  
Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.750	0.23	0.5	54.1	54.7	0.34	97.78
0.767	0.17	0.4	53.8	54.5	0.33	97.78
0.783	0.12	0.3	53.4	54.1	0.33	97.77
0.800	0.06	0.2	52.9	53.6	0.32	97.77
0.817	0.00	0.1	52.4	53.0	0.32	97.76

# RECEIPT OF APPLICATION

DATE BROUGHT IN: 4-23-03

CHECK #: 13538 AMOUNT: \$ 735.00

DATE TO BE CHECKED IN BY: 4-29-03

PROJECT/LOCATION: 3068 F Rd

Items to be checked for on application form at time of submittal:

- Application type(s)
- Acreage
- Zoning
- Location
- Tax #(s)
- Project description
- Property owner w/ contact person, address & phone #
- Developer w/ contact person, address & phone #
- Representative w/ contact person, address & phone #
- Signatures of property owner(s) & person completing application

814

Pre-application Meeting  
Development Engineer Notes

Date: 1/23/02  
Time: 3:00

Project: MAJOR SUB

Location: 3068 F ROAD Tax ID no. \_\_\_\_\_

Applicant, representative: DAVE CHASS, TERRY

Planner(s): BILL N.

Engineer: ERIC H.

Site visit (date:     ): \_\_\_\_\_

Issues: water _____	sewer <u>W. PROP. LINE</u>	storm drainage <u>DETAIN</u>
flood plain <u>    </u>	wetlands <u>    </u>	access <u>FROM EAST, NONE FROM PATTERSON</u>
site circulation <u>    </u>	TCP <u>YES</u>	CDOT permit <u>    </u>
street class <u>RES.</u>	street impr. <u>NO</u>	other _____

Pre-application meeting notes: DETAIN PER SWMM, CHECK FOR THE EXISTENCE OF STORMDRAIN IN F ROAD.

STUB STREET TO NORTH IF THERE IS ANY INDICATION FROM SDS1 THAT THE PARCEL MAY BE SOLD/DEVELOPED. MUST TIE-IN TO BISON AVE AND LODGEPOLE ST. PROPOSED STREET ALONG THE WEST PROP LINE MUST HAVE C, G+W AND 20' OF PAVED SURFACE AT A MINIMUM. MAY HAVE TO BUILD ENTIRE PAVEMENT WIDTH OF RES STREET. MUST ABANDON EXISTING PRIVATE DRIVE ON F ROAD, ACCESS EXISTING RESIDENCE FROM THE PROPOSED STREET.

Follow-up items: \_\_\_\_\_



**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS & LAND SURVEYORS

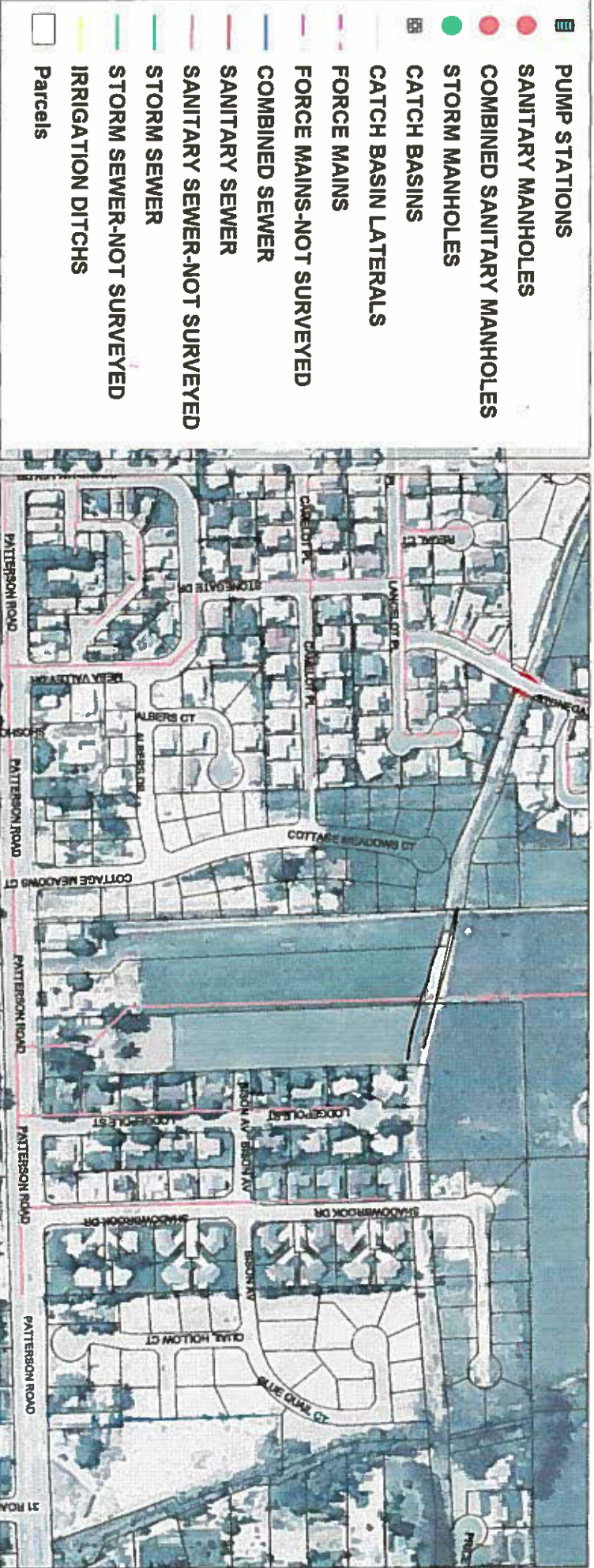
**David E. Chase, P.E.**  
*President/Office Manager*

2777 CROSSROADS BOULEVARD  
GRAND JUNCTION, CO 81506

(970) 243-2242  
FAX: (970) 243-3810

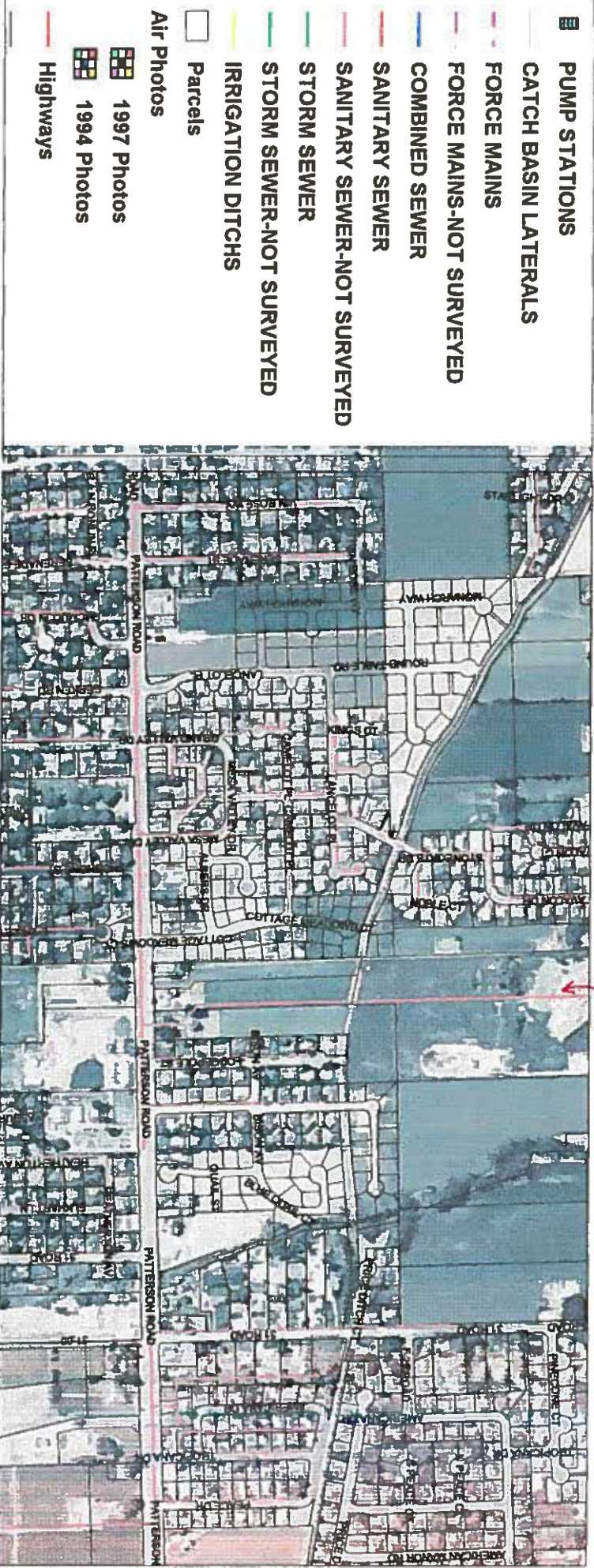


# City of Grand Junction GIS Map





# City of Grand Junction GIS Map



- PUMP STATIONS
- CATCH BASIN LATERALS
- FORCE MAINS
- FORCE MAINS-NOT SURVEYED
- COMBINED SEWER
- SANITARY SEWER
- SANITARY SEWER-NOT SURVEYED
- STORM SEWER
- STORM SEWER-NOT SURVEYED
- IRRIGATION DITCHES
- Parcels
- Air Photos
- 1997 Photos
- 1994 Photos
- Highways

SCALE 1 : 9,600





Planners Name:

BILL

**SUBMITTAL CHECKLIST**

Date: 7-23-02

MAJOR SUBDIVISION: PRELIMINARY

Expiration Date: 6 months from above date

Location: 3068 F ROAD

Project Name:

ITEMS	DISTRIBUTION																				Total required															
	SSID Reference	City Community Development	City Development Engineer	City Utility Engineer	City Real Estate Manager	City Parks/Recreation	City Attorney	City Fire Dept (Clifton Fire Dept)	City Police Dept	City Transportation Engineer	City Downtown Dev. Authority	City Addressing	City G.J. Planning Commission	Walker Field	County Planning	School District #51	City Street	Excel	GVRP	Cable		Water District CLIFTON	Sewer District CGN	Delegated District MESA CO	Irrigation District PALISADE	CDOT	RTPO	Comps of Engineers	Urban Trails	Colorado Geologic Survey Fees	NRCS	Other CO Public Works				
Date Received:																																				
Receipt #:																																				
File #:																																				
DESCRIPTION																																				
Application Fee \$ 630 + 15AC	VII-1	1																																		
• Development Application Form*	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Submittal Checklist*	VII-4	1																																		
• Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Location Map	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Names & Addresses* Fee \$ 50	VII-3	1																																		
• General Project Report	X-08	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
○ Site Analysis (over 50 acres or by Director)	IX-30	1	1																																	
• Preliminary Plan	IX-27	1	2	1	1	1	1	1	1						1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
• 11" x 17" Reduction of Prelim. Plan	IX-27	1									1	1	1	1		1																				
• Evidence of Title/Lease Agreement	VII-2	1			1		1																													
• Legal Description*	VII-3	1			1																															
○ CDOT Access Permit	VII-4	1	1																																	
○ Traffic Impact Study	X-15	1	2							1					1																					
○ Water System Design Report	X-17	1	1	1																																
○ Sewer System Design Report	X-13	1	1	1																																
○ Drainage & Irrigation Checksheet*	XI-02																																			
• Preliminary Drainage Report	X-11	1	2																																	
• Transaction Screen Process/ Phase II Environmental (circle one)	X-10,16	1	1																																	
• Preliminary Geotechnical Report (fee and form required) 595	X-12	1	1																																	
• ANNEXATION POSITION		1																																		

Notes: \* An asterisk in the item description column indicates that a form is supplied by the City.

# General Meeting/Pre-Application Conference Checklist

Date 1.23.02

Applicant DAVID CHASE Phone 243.2242 Tax Parcel # 2943-044-00-130

Location 3068 F RD Proposal ANNEX PERONE, Premium Plan

Meeting Attendees DAVID CHASE, TERRY LAWRENCE, ERIC BILL

While all factors in a development proposal require careful thought, preparation and design, the following circled items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General meetings and pre-application conference notes/standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

Grant Collier - owner

12 acres

## ZONING & LAND USE

- a. Zoning: CO RSF-4
- b. Future Land Use Designation: 2-4 DU/AC
- c. Growth Plan, Corridor & Area Plans Applicability:

## OFF-SITE IMPACTS

- a. access/right-of-way required
- b. traffic impact
- c. street improvements
- d.** drainage/stormwater management
- e. availability of utilities

## SITE DEVELOPMENT

- a. bulk requirements
- b. traffic circulation
- c. parking (off-street: handicap, bicycle, lighting)
- d. landscaping (street frontages, parking areas)
- e. screening & buffering
- f. lighting & noise
- g. signage

## MISCELLANEOUS

- a. revocable permit
- b. State Highway Access Permit
- c. floodplain, wetlands, geologic hazard, soils
- d. proximity to airport (clear or critical zone)

## OTHER

- a. related files
- b.** neighborhood meeting — NOT REQUIRED

## FEES

- a. application fee: \$630 + 15act + \$50-USELS  
Due at submittal. Checks payable to City of GJ
- b.** Transportation Capacity Payment (TCP):
- c. Drainage fee:
- d.** Parks Impact Fee:
- e.** Open Space Fee or Dedication:
- f.** School Impact Fee:
- g. Recording Fee:
- h. Plant Investment Fee (PIF) (Sewer Impact):

## PROCESSING REQUIREMENTS

- a. Documents — ZDC, SSID, TEDS, SWMM
- b. Submittal Requirements/Review Process
- c.** Annexation (Persigo Agreement)

## PLANNER'S NOTES

- TRAIL REQUIRED ALONG (IRRIGATION) DRAINAGE DITCH
- CONTACT SCHOOL TO SEE IF THEY HAVE PLANS FOR THE SOUTH 1/2 OF THEIR PROPERTY
- PARKS DEPT — PARKS OR OPEN SPACE
- SEE ATTACHED COMMENTS FROM CITY DEV. ENGINEER
- \* THUNDER MOUNTAIN MIDDLE SCHOOL HAS INDICATED TO US THAT THEY WANT TO SELL THE SOUTH PORTION OF THEIR PROPERTY. MAKE SURE YOU TALK WITH THEM BEFORE SUBMITTING.
- IF PROPERTY FROM SCHOOL, WHICH IS ZONED RSF-2, IS INCLUDED IN APPLICATION A NEIGHBORHOOD MEETING IS REQUIRED.

AT FINAL



Planners Name: **BILL**

**SUBMITTAL CHECKLIST**

Date: **7-23-02**

MAJOR SUBDIVISION: PRELIMINARY

Expiration Date: 6 months from above date

Location: **3068 F ROAD**

Project Name:

ITEMS	DISTRIBUTION																														
	SSID Reference	City Community Development	City Development Engineer	City Utility Engineer	City Real Estate Manager	City Parks/Recreation	City Attorney	City Police Dept	City Transportation Engineer	City Downtown Dev. Authority	City Addressing	City G.J. Planning Commission	Walker Field	County Planning	School District #51	Qwest	Excel	GVRP	Cable	Water District CLIFTON	Sewer District CGN	Water District MESA CO	Irrigation District PALISADE	CDOT	RTPO	Corps of Engineers	Urban Trails	Colorado Geologic Survey Fees - 595	NRCS	Other CO PUBLIC WORKS	Total required
Date Received:																															
Receipt #:																															
File #:																															
DESCRIPTION																															
Application Fee \$630 + 15% Ad	VII-1	1																													
• Development Application Form*	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Submittal Checklist*	VII-4	1																													
• Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Location Map	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Names & Addresses* Fee \$50	VII-3	1																													
• General Project Report	X-08	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Site Analysis (over 50 acres or by Director)	IX-30	1	1																												
• Preliminary Plan	IX-27	1	2	1	1	1	1	1	1					1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• 11" x 17" Reduction of Prelim. Plan	IX-27	1							1	1	1	1		1					1												
• Evidence of Title/Lease Agreement	VII-2	1		1		1																									
• Legal Description*	VII-3	1		1																											
○ CDOT Access Permit	VII-4	1	1																												
○ Traffic Impact Study	X-15	1	2					1				1																			
○ Water System Design Report	X-17	1	1	1																											
○ Sewer System Design Report	X-13	1	1	1																											
○ Drainage & Irrigation Checksheet*	XI-02																														
• Preliminary Drainage Report	X-11	1	2																												
• Transaction Screen Process/ Phase II Environmental (circle one)	X-10,16	1	1																												
• Preliminary Geotechnical Report (fee and form required) 595	X-12	1	1																												
• ANNEXATION POSITION		1																													

Notes: \* An asterisk in the item description column indicates that a form is supplied by the City.

BILL 1.23-02

SUBMITTAL CHECKLIST

EXPIRES 7.23.02

ANNEX-  
2 ZONE

MAJOR SUBDIVISION: PRELIMINARY

Location: 3068 F RD

Project Name:

ITEMS		DISTRIBUTION																										
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent	● City Parks/Recreation	● City Fire Department	● City Attorney	● City G.J.P.C. (Agenda)	○ City Downtown Dev. Auth.	● City Police	● County Planning	● Walker Field	● School District #51	● Irrigation District ALI SADE	● Bridge District MESA CO.	● Water District CLIFTON	● Sewer District CGV	● U.S. West	● Public Service	● GVRP	● CLIFTON FIRE	○ Corps of Engineers	● Colorado Geological Survey	○ U.S. Postal Service	● Perigo-WAFF CITY ADDRESS	● TCI Cable	TOTAL REQ'D.
		● Application Fee \$630 #15/AL	VII-1	1																								
● Submittal Checklist*	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Application Form*	VII-1	1	1	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Reduction of Assessor's Map	VII-1	1	1	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			1			1																				
● Names and Addresses \$50	VII-2	1																										
● Legal Description	VII-2	1			1																							
● General Project Report	X-7	1	1	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<del>XXXXXXXXXX</del>	IX-21	1																										
● Preliminary Plan	IX-26	1	2	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● 11"x17" Reduction of Prelim. Plan	IX-26	1				2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Preliminary Drainage Report	X-12	1	2																									
● GEOTECHNICAL REPORT																												
● PHASE I ENVIRONMENTAL																												
● ANNEXATION PETITION																												

23

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.

General Meeting/Pre-Application Conference Check List

Date 1.23.02

Applicant DAVID CHASE Phone 243.2242 Tax Parcel # 2943-044-00-130

Location 3068 FRD Proposal ANNEX REZONE PRELIM PLAN

Meeting Attendees DAVID CHASE, TERRY LINDSEY, ERIC BILL

While all factors in a development proposal require careful thought, preparation and design, the following circled items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General meetings and pre-application conference notes/standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

Grant Collier - OWNER

12 ACRES

ZONING & LAND USE

- a. Zoning: CO RS F-4
b. Future Land Use Designation: 2-4 DU/AC
c. Growth Plan, Corridor & Area Plans Applicability:

OFF-SITE IMPACTS

- a. access/right-of-way required
b. traffic impact
c. street improvements
d. drainage/stormwater management
e. availability of utilities

SITE DEVELOPMENT

- a. bulk requirements
b. traffic circulation
c. parking (off-street: handicap, bicycle, lighting)
d. landscaping (street frontages, parking areas)
e. screening & buffering
f. lighting & noise
g. signage

MISCELLANEOUS

- a. revocable permit
b. State Highway Access Permit
c. floodplain, wetlands, geologic hazard, soils
d. proximity to airport (clear or critical zone)

OTHER

- a. related files
b. neighborhood meeting - NOT REQUIRED

FEES

- a. application fee: \$630 + 15AC + 50-UNITS
Due at submittal. Checks payable to City of GJ
b. Transportation Capacity Payment (TCP)
c. Drainage fee:
d. Parks Impact Fee:
e. Open Space Fee or Dedication:
f. School Impact Fee:
g. Recording Fee:
h. Plant Investment Fee (PIF) (Sewer Impact):

PROCESSING REQUIREMENTS

- a. Documents - ZDC, SSID, TEDS, SWMM
b. Submittal Requirements/Review Process
c. Annexation (Persigo Agreement)

PLANNER'S NOTES

TRAIL REQUIRED ALONG (IRRIGATION) DRAINAGE DITCH
CONTACT SCHOOL TO SEE IF THEY HAVE PLANS FOR THE SOUTH 1/2 OF THEIR PROPERTY
PARKS DEPT - PARKS OR OPEN SPACE
SEE ATTACHED COMMENTS FROM CITY DEPT. ENGINEER
\* THUNDER MOUNTAIN MIDDLE SCHOOL HAS INDICATED TO US THAT THEY WANT TO SELL THE SOUTH PORTION OF THEIR PROPERTY. MAKE SURE YOU TALK WITH THEM BEFORE SUBMITTING.
IF PROPERTY FROM SCHOOL, WHICH IS ZONED RSF-2, IS INCLUDED IN APPLICATION A NEIGHBORHOOD MEETING IS REQUIRED.

AT FINAL



# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 5th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision Plat/Plan - Simple                       | <input type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan          |
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change          |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final                  | <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Change of Use         |
| <input type="checkbox"/> Planned Development - ODP                            | <input type="checkbox"/> Vacation, Right-of-Way   | <input type="checkbox"/> Revocable Permit      |
| <input type="checkbox"/> Planned Development - Preliminary                    | <input type="checkbox"/> Vacation, Easement       | <input type="checkbox"/> Variance              |
| <input type="checkbox"/> Planned Development - Final                          | <input type="checkbox"/> Extension of Time        |  |
| <input checked="" type="checkbox"/> Annexation/Zone of Annexation             | <input type="checkbox"/> Rezone                   | <input type="checkbox"/> Growth Plan Amendment |

From: CO RSF-4

To: CITY

From: \_\_\_\_\_

To: \_\_\_\_\_

From: \_\_\_\_\_

To: \_\_\_\_\_

Site Location:

Site Tax No.(s):

Site Acreage/Square footage:

Site Zoning:

Project Description:

Property Owner Name

Developer Name

Representative Name

Address

Address

Address

City/State/Zip

City/State/Zip

City/State/Zip

Business Phone No.

Business Phone No.

Business Phone No.

E-Mail

E-Mail

E-Mail

Fax Number

Fax Number

Fax Number

Contact Person

Contact Person

Contact Person

Contact Phone No.

Contact Phone No.

Contact Phone No.

**Note** Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing Application

Date

Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

Date

Pre-application Meeting  
Development Engineer Notes

Date: 1/23/02  
Time: 3:00

Project: MAJOR SUB

Location: 3068 F ROAD Tax ID no. \_\_\_\_\_

Applicant, representative: DAVE CHASE, TERRY

Planner(s): BILL N.

Engineer: ERIC H.

Site visit (date:     ): \_\_\_\_\_

Issues: water _____	sewer <u>W. PROP. LINE</u>	storm drainage <u>DETAIN</u>
flood plain <u>    </u>	wetlands <u>    </u>	access <u>FROM EAST, NONE FROM PATTERSON</u>
site circulation <u>    </u>	TCP <u>YES</u>	CDOT permit <u>    </u>
street class <u>RES.</u>	street impr. <u>NO</u>	other _____

Pre-application meeting notes: DETAIN PER SWMM, CHECK FOR THE EXISTENCE OF STORMDRAIN IN F ROAD.

STUB STREET TO NORTH IF THERE IS ANY INDICATION FROM SDS1 THAT THE PARCEL MAY BE SOLD/DEVELOPED. MUST TIE-IN TO BISON AVE AND LODGEPOLE ST. PROPOSED STREET ALONG THE WEST PROP LINE MUST HAVE C, G+W AND 20' OF PAVED SURFACE AT A MINIMUM. MAY HAVE TO BUILD ENTIRE PAVEMENT WIDTH OF RES STREET. MUST ABANDON EXISTING PRIVATE DRIVE ON F ROAD, ACCESS EXISTING RESIDENCE FROM THE PROPOSED STREET.

Follow-up items: \_\_\_\_\_

# Map1

**Cell Towers**

**Flood Plain Information**

- Floodway
- 100-Year Floodplain
- 500-Year Floodplain
- Outside 500-Year Flood...
- Between 100 & 500-yr, o...
- Minimal flooding
- Deleted

**ZONING**

- RSF-R
- RSF-E
- RSF-1
- RSF-2
- RSF-4
- RMF-5
- RMF-8

ZOOM IN FOR ZONING



SCALE 1 : 10,865





**GENERAL MEETING INFORMATION**

In order for City development review staff to provide you adequate information regarding application(s) and approval(s) required to implement your proposal, the following information must be supplied:

- 1. Name of Applicant: Grace Hornes - Bob Fuller
- Address: 786 Valley Ct  
29, Co 81505 fax 523-0103
- Telephone: 523-5555
- 2. Site Address: 3068 F Rd
- 3. Assessor's Parcel #: 2943-044-00-130
- 4. Lot/Parcel Size: 12 ±
- 5. Current Use: \_\_\_\_\_
- 6. Existing Structures on Site: single family home
- 7. General Description of the proposal: current owner wants to retain  
lot and subdivide remaining into about 15 lots  
Annexation to City

**OFFICE USE ONLY**

General Meeting Date/Time: Wed 1-23-02 3 PM

Assigned Planner: Bill Nebeker

Site Zoning: RSF-4 Mass County

Land Use Map Designation: North: Public East: Res. Med. Low  
South: Public West: Res. Med. Low

Related Files/Projects: \_\_\_\_\_

Comments: \_\_\_\_\_

The following additional information would be helpful to have at the General Meeting in order for the City development review staff to identify potential issues and development improvements that may be associated with your proposal:

- 1. A sketch plan showing the following:
  - a. The general configuration of the property.
  - b. The location of driveways (existing and/or proposed).
  - c. Existing and/or proposed structures.
  - d. Any on-site drainage facilities.
  - e. Existing and/or proposed paved or graveled areas.
  - f. Any existing landscaping improvements.
  - g. The location of any easements on the property.

2-4 RSF-4  
ANNEX  
REZONE  
PP

- 2. Identification of providers of the following utility services to the property:

- a. Water: Clifton Water
- b. Sewer: Central Grand Valley Sanitation Dist
- c. Drainage District: \_\_\_\_\_
- d. Irrigation District: Palmside Irrigation Dist

# Map1

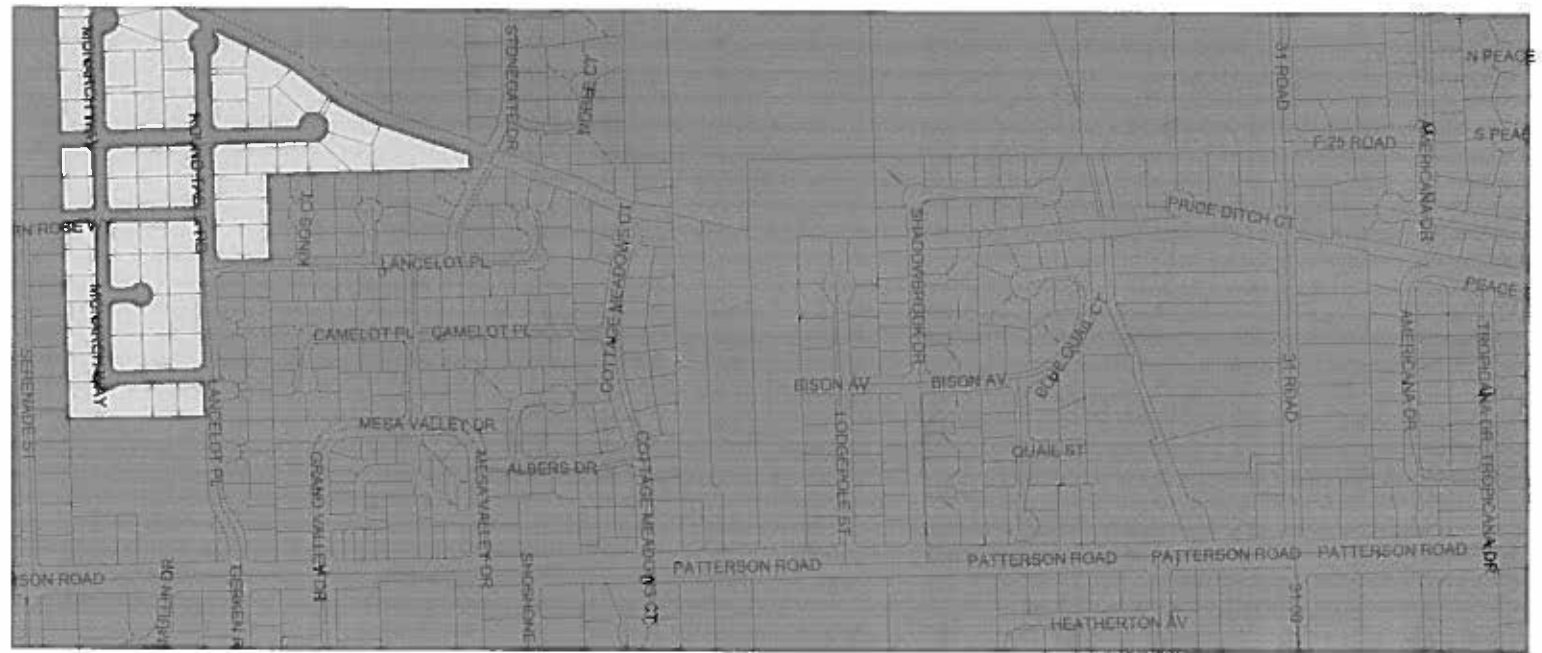
**Cell Towers**

**Flood Plain Information**

- Floodway
- 100-Year Floodplain
- 500-Year Floodplain
- Outside 500-Year Flood...
- Between 100 & 500-yr, o...
- Minimal flooding
- Deleted

**ZONING**

- RSF-R
- RSF-E
- RSF-1
- RSF-2
- RSF-4
- RMF-5
- RMF-8



SCALE 1 : 7,493





# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003 To Review Agency: City Community Develop.

File No: \_\_\_\_\_ Staff Planner: \_\_\_\_\_  
*(To be filled in by City Staff)* *(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: \_\_\_\_\_  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)*

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Review By

Date

Email Address

Telephone

# APPLICATION COMPLETENESS REVIEW

Use "N/A" for items which are not applicable

Date: 5/5/03

Project Name: Sonrise Acres (if applicable)

Project Location: 3068 F Rd. (address or cross-streets)

Check-In Staff Community Development: PC initials of check-in  
Development Engineer: \_\_\_\_\_ staff members

APPLICATION TYPE(S): Amend/Rezone PP  
(e.g. Site Plan Review) two files

FEE PAID: Application: 630.00 BALANCE DUE: \_\_\_\_\_  
Acreage: 105.00  Yes amount \$ \_\_\_\_\_  
Public Works: \_\_\_\_\_  No

## COMPLETENESS REVIEW:

Originals of all forms received w/signatures?  Yes  No, list is missing items below

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Missing drawings, reports, other materials:  No  Yes, list missing items below  
Note: use SSID checklist

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Incomplete drawings, reports, other materials?  No  Yes, list missing items below  
Note: Attach SSID checklist(s) w/incomplete information identified

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: City Real Estate Man.

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments *(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

*SEE ATTACHED COMMENTS*

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

PETER T. KRICK  
Review By

5/19/2003  
Date

Email Address

Telephone

May 19, 2003

Re: PP-2003-090  
**SONRISE ACRES SUBDIVISION**

**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

Lot 1

**From:** Service Planners <serviceplanners@gvp.org>  
**To:** City Grand Junction <CommDev@ci.grandjct.co.us>  
**Date:** Fri, May 9, 2003 4:56 PM  
**Subject:** PP-2003-090

AP  
5/12/03

North of Bison Ave., is in the Grand Valley Power Service Area.  
Thank you.  
Perry Rupp/ GVP



# Review Agency Comment Sheet

AP  
5/15/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: AT & T Broadband

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Chuck Wiedman  
Review By

5-13-03  
Date

Email Address

263-2313  
Telephone

May 14, 2003

Sonrise Acres Subdivision  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Dear, James Hughs

We are in receipt of the plat map for your new subdivision, **Sonrise Acres Subdivision**. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish to have available to the new home purchasers. These items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, the developer too must provide that. The trench may be the same one used by other utilities however; **the road-bore must have a 2" conduit for the sole use of cable TV.**
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossings will be in the same location as power and telephone crossing. **If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.**
4. Should your subdivision contain cul-de-sac's the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.
5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.

Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with our office and I will get back in contact with you as soon as I can.

Sincerely,



Chuck Wiedman,  
Construction Supervisor Phone: 263-2313

AP  
5/19/03

May 19, 2003

Re: PP-2003-090  
**SONRISE ACRES SUBDIVISION**

**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

**From:** Dave Reinertsen <dreinertsen@cliftonwaterdistrict.com>  
**To:** "GJ Community Development Department" <CommDev@ci.grandjct.co.us>  
**Date:** Tue, May 20, 2003 11:13 AM  
**Subject:** Sonrise Acres Subdivision PD-2003-090

Lori,

Following are the Clifton Water District comments regarding the Preliminary Plan submitted by Vista Engineering:

- \* The Clifton Water District can provide potable domestic water for this proposal.
- \* The Clifton Water District can provide fire flows through the existing 6" main lines in the Lodgepole Subdivision.
- \* The developer will be required to install a 6" line through the stormwater detention area to dead end at the back of the walk on F Road for future connection to new transmission line on F Road.
- \* Fire hydrant spacing shall be calculated off a hydrant to be located on Lot 5, Block 1. An in-line valve will be required just past this fire hydrant.
- \* Developer will be required to find the end of line at the north end of Lodge Pole Street to connect the new 6" main line.
- \* Three way valves will be required in all intersections (including Sonrise Way and Bison Avenue).
- \* Meter pits shall be configured for radio read assemblies and shall have curb stop shut-off valves on the customer side of the meter pits.
- \* Water services shall be located on the opposite property corner from dry utility pedestals and transformers to minimize future conflicts during repair activities.

David Reinertsen  
Clifton Water District

AP  
5/20/03



# Review Agency Comment Sheet

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

AP  
5/23/03

Date: April 23, 2003

To Review Agency: Urban Trails

File No: PP-2003-0910  
(To be filled in by City Staff)

Staff Planner: Lori Bowers  
(To be filled in by City Staff)

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
(To be filled in by City Staff)

## Comments

(For Review Agency Use)

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Community Development Department no later than

(To be filled in by City Staff)

6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

URBAN TRAILS COMM.

Rout Tracy

5-23-03

Review By

Date

rst@grandjunctionlaw.com

242-2636

Email Address

Telephone

**From:** Robert Traylor  
**To:** CommDev@ci.grandjct.co.us  
**Date:** 5/23/03 9:41AM  
**Subject:** Review comment for PP-2003-090

Lori: The following comments are submitted by the Urban Trails Committee for the above referenced project (Sonrise Acres).

A trail easement and path (pedestrian and bike) is suggested from the cul-de-sac at the south end of Sonrise Way to F. Road which is a major bike and pedestrian route. Since Thunder Mountain Elementary school is immediately north of Sonrise Acres, a grant of a pedestrian and bike easement is requested through Tract A, along the Price Ditch.

# Review Agency Comment Sheet

AP  
5/22/03

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

Date: April 23, 2003

To Review Agency: Palisade Irrigation Dist.

File No: PP-2003-090  
(To be filled in by City Staff)

Staff Planner: Lori Bowers  
(To be filled in by City Staff)

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
(To be filled in by City Staff)

RECEIVED  
MAY 23 2003  
COMMUNITY DEVELOPMENT  
DEPT.

## Comments (For Review Agency Use)

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All comments must be returned to the  
Community Development Department no later than

(To be filled in by City Staff) 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Palisade Irrigation District

Wayne Bain

Review By

5-21-03

Date

Email Address

970-243-6246

Telephone



## THE PALISADE IRRIGATION DISTRICT

May 21, 2003

P.O. BOX 1281  
CLIFTON, COLORADO 81520

Comments: Sonrise Acres Subdivision

Palisade Irrigation District recommends the following standard procedures for subdivisions within our service boundaries. It is recommended that a storage reservoir of appropriate size be placed in the subdivision to reduce the impact of residential water users competing for water at the same time as all other water users of the entire canal system. The water right is insufficient to serve all users at the same time.

Failure to construct such storage reservoir may result in the subdivision being provided with an opening sized to the actual water right which is 1/3 to 1/2 a miners inch of continuous flow per acre. This equates to approximately 5.6 gallons per minute per acre in the subdivision at the 1/2 inch maximum rate. The average lawn pump output ranges from 30 GPM to 50 GPM.

Some subdivisions find it beneficial to install a automated system which utilizes a timer box central control which would water one property at a setting, then move in series to the next until the programmed cycle is completed. This or any other method would still be subject to the maximum rate of water as previously explained.

The "Open Space Tract" encroaches upon portions of Palisade Irrigation Districts easement and the Homeowners Association should be aware that any proposed landscaping that is placed on the easement area will be subject to traffic and possible damage by operations of the canal system. Also, such landscaping cannot interfere with or impede the operations of the canal. A easement provision states that no permanent structure shall be placed on the easement, i.e. plants, shrubs and trees, etceteras, and we recommend that a letter of notice be given at closing to any subsequent home buyer in order that they do not cause distress to our District because equipment and/or vehicles are running over their "homeowner plantings". This helps to avoid confrontation and problems, hopefully.

Operations Manager Bob Arterburn, cell #250-2404, has not been sent a irrigation review sheet for his completion as the City Planning and Palisade Irrigation agreed upon. Please send to Bob by FAX 464-4700.

Also, Bob Arterburn should be notified and be present if and when any water tap is made into the valve box and/or lateral line which serves this property.

Thank you for your attention to these matters.

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

7000 1670 0010 0684 6806

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$</b>

Postmark  
Here

Sent To Vista Engineering, Pat O'Conner  
Street, Apt. No. or P.O. Box No. 2777 Crossroads Blvd # H  
City, State, ZIP+4 Grand Junction, CO 81506

PS Form 3800, May 2000 See Reverse for Instructions



# CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

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Date: May 27, 2003

Applicant: James Hughes  
Representative: Vista Engineering Corp – Pat O'Connor

The following item (Sonrise Acres Subdivision – ANX-2003-090) has been scheduled for Planning Commission on June 10, 2003.

A sign(s) advertising the Public Hearing will be required to be posted no later than this Friday, 5/30/03. The signs are available at the Community Development Department. A \$50.00 deposit is required for a Public Hearing sign. The deposit will be refunded, in full, if the sign(s) is/are returned within 5 working days after the final meeting. A sign is required to be placed facing each road(s) that abuts the project site.

The Staff Report for the project will be available for pick-up after 4 P.M. on Thursday, May 29, 2003.

Please contact the project planner, Lori Bowers, at (256-4033, [lorib@ci.grandjct.co.us](mailto:lorib@ci.grandjct.co.us)) if you have any questions relating to this notice.

cc: ANX-2003-090

# Review Agency Comment Sheet

AP 6/10/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: Colorado Geologic Sur.

File No: PR 2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

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All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)*

6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Sean Gaffney Colorado Geological Survey 6-9-03  
Review By Date

Sean.gaffney@state.co.us (303) 866-3350  
Email Address Telephone

# STATE OF COLORADO

## COLORADO GEOLOGICAL SURVEY

Department of Natural Resources  
1313 Sherman Street, Room 715  
Denver, Colorado 80203  
Phone (303) 866-2611  
FAX (303) 866-2461



DEPARTMENT OF  
**NATURAL**  
**RESOURCES**

June 9, 2003

**Legal Location: SE ¼ , SE ¼ , S4, T1S, R1E**  
**CGS Case No. MA-03-0072**

Ms. Lori Bowers  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Re: Sunrise Acres, Mesa County, Colorado

Bill Owens  
Governor

Greg E. Walcher  
Executive Director

Ron Cattany  
Division Director

Ron Cattany  
Acting State Geologist  
and Director

Dear Ms. Bowers:

In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late – Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) **Soils.** I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) **Site Drainage.** Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction

on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

  
Sean P. Gaffney  
Geologist



CITY OF GRAND JUNCTION  
Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

---

May 8, 2003

## **ACCEPTANCE LETTER**

A submittal for the Sonrise Acres Subdivision (ANX/PP-2003-090) has been accepted for review.

If you have any questions regarding the status of this project review, please contact Lori Bowers, the project planner, at 256-4033 or [lorib@ci.grandjct.co.us](mailto:lorib@ci.grandjct.co.us).

Review comments for the project will be available on 6/10/03 after 4:00 P.M., approximately 5 weeks from the application submittal date.

If this project requires a public hearing, a sign must be posted on the property a minimum of ten (10) days in advanced of the hearing. There will be a \$50.00 refundable deposit required at the time the sign is picked up from Community Development.

cc: ANX/PP-2003-090

Lori

**From:** <LGrassojr@aol.com>  
**To:** <CommDev@ci.grandjct.co.us>  
**Date:** Sun, Jun 1, 2003 10:21 PM  
**Subject:** (no subject)

AP  
6/2/03

Following are estimated student impacts for two developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools. Please contact me at 242-8500 if you have questions or need additional information.

Sonrise Acres: Thunder Mt. ele:562/615/5 Bookcliff MS:475/520/2  
CHS:1470/1652/3

Crista Lee: MesaViewEle: 380/444/5 OM MS: 598/604/2 CHS: 1470/1652/3



**GENERAL COMMENTS**

1. The Colorado Department of Public Health & Environment (CDPH&E), Water Quality Control Division, requires that a General Stormwater Discharge Permit be obtained for any construction site that will disturb 1 acre or more. At Final, the applicant must submit a copy of the signed permit application and, once it is approved and issued, a copy of the signed permit.
2. At Final Plan submittal, please note: per Section 2.19-C of the City of Grand Junction Zoning and Development Code, the amount guaranteed by the DIA must reflect “120 percent of the cost of improvements.”
3. At Final Plan submittal, after all Development Engineering comments have been addressed, the developers engineer must submit a copy of the final grading and drainage plan along with a table of Top of Foundation Elevations to the Mesa County Building Dept. This information must be accompanied by a letter to the City Development Engineer stating that the plan and TOF data has been received by the Building Dept. This letter must include a co-signature block for Bob Lee, Mesa County Building Dept. After the letter has been signed by the design engineer and Mr. Lee, the letter must be provided to the City Development Engineer at which time final plans will be signed and released.
4. How will drainage be handled along the west side of the partial street section of Sonrise Way?
5. Due to the restricted width of pavement along Sonrise Way, the Fire Dept. will not allow parking along either side of the street. Signs must be posted along both sides that prohibit any parking along the street. Because of this, the developer may wish to slightly widen this partial street section to allow parking on one side of the street.
6. The typical roadway section (Sonrise Way) only shows 14’ of pavement width.
7. The cul-de-sac must be “skewed” to the east to provide enough room for emergency vehicle turn-around movements. As an alternative, the developer may add a temporary turnaround easement that provides the same turnaround area as a “skewed” cul-de-sac.
8. Show the length of pavement that will need to be constructed within the existing Lodge Pole right-of-way in order to extend the street to the existing property line.
9. At time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk.
10. At Final Plan, the detention pond should have enough freeboard to accommodate the runoff from an eventual development along the west side of Sonrise Way. Such a future development would have the responsibility to modify the pond in order to accommodate their runoff.

**GEOTECH REPORT**

11. It is suggested that the final geotech report include an analysis of a road/parking section that utilizes geogrid products. The use of such products may be more cost effective by allowing a shallower depth of aggregate base course or subgrade.

REVIEW COMMENTS FOR SONRISE ACRES SUBDIVISION PRELIMINARY PLAN -  
CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-090), 4/20/03.

PP  
6/3/03

The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Sonrise Acres Subdivision.

1. There is some question regarding the sewerline location in Sonrise Way that appears to be proposed as a half road improvement. If the City allows the half road improvement it will most likely be necessary to obtain a temporary construction easement from the abutting property owner(s) to the west to install the sewerline at its proposed location. If the abutting property owner(s) are in agreement with the proposed development plan, that would ultimately construct a portion of the street on their property, we would recommend that the street improvements be completed and some coordinated effort for land planning to be completed in conjunction with the Preliminary Plan so that sewer services can be installed to potential lots to the west. The District requires that full body wye fittings be used for all tap connections in new subdivisions. This can not be met if the parcel to the west develops at a later date. We realize that this may not be possible but some land planning coordination between the two parcels should be completed since it is obviously envisioned by the proposed street layout of Sonrise Way.
2. The District's preferred method of providing sewer service to lots in Block 1 of the proposed subdivision is to install a sewerline along Bison Avenue from Lodge Pole Street that would extend to Sonrise Way. The grades should be investigated by the Petitioner to see if this is a viable alignment. If feasible, this would avoid having to install a new sewerline in F Road as presently proposed.
3. There is some question how Lot 6 of Block 4 is to be serviced. It may be feasible to extend the Lodge Pole Street sewerline to the north and west rather than providing sewer service along Sonrise Way as proposed. This option should be evaluated to determine if it is feasible to cross the Price Ditch canal.
4. The sewer service to the existing residence on Lot 6 of Block 1 should be shown on the Plan, that we assume will remain in place and connects to the District's existing sewerline in F Road.
5. The maximum spacing between manholes should be maintained at 400-feet if possible. Presently the manholes are spaced approximately 500-feet apart along Sonrise Way.
6. The sewerline along Sonrise Way should be stubbed to the north property boundary with an end of line manhole provided. The stubout is for the possible future extension of the sewerline to the north.

Please make the Petitioner aware of the District's comments regarding the proposed sewerline layout for the proposed Sonrise Acres Subdivision. If the Preliminary Plan is approved by the City, all of the District's requirements for sewerline extensions in new developments will need to be met.

# Review Agency Comment Sheet

AP  
6/3/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: Central Grand Valley

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

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See Attached Comments.

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Stephen T. LaBonde

June 2, 2003

Review By

Date

Email Address

Telephone

cc: Anne Fees, CGVSD

**REVIEW COMMENTS FOR SONRISE ACRES SUBDIVISION PRELIMINARY PLAN -  
CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-090), 4/20/03.**

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# REVIEW COMMENTS

Page 1 of 8  
June 10, 2003

FILE #PP-2003-090

TITLE HEADING: Sonrise Acres Subdivision

LOCATION: 3068 F Road

PETITIONER: CPS, LLC – James Hughes

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 561  
Telluride, CO 81435  
970-728-9909

PETITIONER'S REPRESENTATIVE: Vista Engineering Corp – Pat O'Connor  
243-2242

STAFF REPRESENTATIVE: Lori Bowers

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 10, 2003.**

## CITY COMMUNITY DEVELOPMENT

6/4/03

Lori Bowers

256-4033

1. A temporary easement on the property to the west will be needed for the Cul-de-sac on Sonrise Way, if built as shown, or re-design the cul-de-sac to be entirely on the property. A possibility would be to enlarge a temporary easement on this property, and when the adjacent property re-develops the alignment for the cul-de-sac will be there.
2. The Price Ditch "Tract A", should be dedicated to the HOA with a public access easement placed on it. The mater trails plan shows the Price Ditch as a future pedestrian path/trail.

## CITY COMMUNITY DEVELOPMENT ENGINEER

6/6/03

Eric Hahn

244-1443

## GENERAL COMMENTS

1. The Colorado Department of Public Health & Environment (CDPH&E), Water Quality Control Division, requires that a General Stormwater Discharge Permit be obtained for any construction site that will disturb 1 acre or more. At Final, the applicant must submit a copy of the signed permit application and, once it is approved and issued, a copy of the signed permit.
2. At Final Plan submittal, please note: per Section 2.19-C of the City of Grand Junction Zoning and Development Code, the amount guaranteed by the DIA must reflect "120 percent of the cost of improvements."

**REVIEW COMMENTS / FPP-2003-090 / PAGE 2 of 8**

3. At Final Plan submittal, after all Development Engineering comments have been addressed, the developers engineer must submit a copy of the final grading and drainage plan along with a table of Top of Foundation Elevations to the Mesa County Building Dept. This information must be accompanied by a letter to the City Development Engineer stating that the plan and TOF data has been received by the Building Dept. This letter must include a co-signature block for Bob Lee, Mesa County Building Dept. After the letter has been signed by the design engineer and Mr. Lee, the letter must be provided to the City Development Engineer at which time final plans will be signed and released.
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**GEOTECH REPORT**

11. It is suggested that the final geotech report include an analysis of a road/parking section that utilizes geogrid products. The use of such products may be more cost effective by allowing a shallower depth of aggregate base course or subgrade.

**CITY PROPERTY AGENT**

5/19/03

**Peter Krick**

256-4003

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**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

**CITY TRANSPORTATION ENGINEER**

6/1/03

**George Miller**

256-4123

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The proposal is to develop an infill project of 20 lots, with connections to an existing subdivision to its east.

Comments:

**REVIEW COMMENTS / FPP-2003-090 / PAGE 3 of 8**

1. This is a good infill project, and seems to meet all of TEDS needs for connectivity, maximum length of a dead end road, intersection spacing, etc.
2. As this project will only develop 20' of usable road width on Sonrise Wy., all of Sonrise must be posted for "No Parking Any Time". Also, because part of Sonrise will be completed in the future, the cul de sac must be completed entirely with this project, to ensure adequate turn around room for fire and trash vehicles.
3. Though it seems evident on the plan view, a note must be added specifying that the existing F Rd accessed structure will take access from the future cul de sac on Sonrise, when it's completed, and that the F Rd access point will be closed.
4. Future plan sets will need to show a street light and street names at each intersection. Also, Westbound Bison, and Westbound Lodge Pole St will need to have stop signs.
5. Future plan sets will need to include the note, "Contact City Traffic Operations Supervisor at 970 / 244-1573 prior to any signing material order or placement."
6. As Sonrise is shown to extend to the north beyond this site, a traffic calming device will need to be placed midway between Lodge Pole and Bison, when this road is widened to a typical residential width.

**CITY ADDRESSING**

6/6/03

**Faye Gibson**

256-4043

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Subdivision name is okay, however the street name of Sonrise Way needs to be changed. There is already a street with the name of Sunrise and although they are spelled differently, they sound exactly the same. A different variation of the name might help. Please submit a new name back for approval. Thank you.

**CENTRAL GRAND VALLEY SANITATION**

6/3/03

**Stephen LaBonde**

434-2276

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The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Sonrise Acres Subdivision.

1. There is some question regarding the sewerline location in Sonrise Way that appears to be proposed as a half road improvement. If the City allows the half road improvement it will most likely be necessary to obtain a temporary construction easement from the abutting property owner(s) to the west to install the sewerline at its proposed location. If the abutting property owner(s) are in agreement with the proposed development plan, that would ultimately construct a portion of the street on their property, we would recommend that the street improvements be completed and some coordinated effort for land planning to completed in conjunction with the Preliminary Plan so that sewer services can be installed to potential lots to the west. The District requires that full body wye fittings be used for all tap connections in new subdivisions. This can not be met if the parcel to the west develops at a later date. We realize that this may not be possible but some land planning coordination between the two parcels should be completed since it is obviously envisioned by the proposed street layout of Sonrise Way.
2. The District's preferred method of providing sewer service to lots in Block 1 of the proposed subdivision is to install a sewerline along Bison Avenue from Lodge Pole Street that would extend to Sonrise Way. The grades should be investigated by the Petitioner to

see if this is a viable alignment. If feasible, this would avoid having to install a new sewerline in F Road as presently proposed.

3. There is some question how Lot 6 of Block 4 is to be serviced. It may be feasible to extend the Lodge Pole Street sewerline to the north and west rather than providing sewer service along Sunrise Way as proposed. This option should be evaluated to determine if it is feasible to cross the Price Ditch canal.
4. The sewer service to the existing residence on Lot 6 of Block 1 should be shown on the Plan, that we assume will remain in place and connects to the District's existing sewerline in F Road.
5. The maximum spacing between manholes should be maintained at 400-feet if possible. Presently the manholes are spaced approximately 500-feet apart along Sunrise Way.
6. The sewerline along Sunrise Way should be stubbed to the north property boundary with an end of line manhole provided. The stubout is for the possible future extension of the sewerline to the north.

Please make the Petitioner aware of the District's comments regarding the proposed sewerline layout for the proposed Sunrise Acres Subdivision. If the Preliminary Plan is approved by the City, all of the District's requirements for sewerline extensions in new developments will need to be met.

**BRESNAN COMMUNICATIONS**

5/15/03

**Chuck Wiedman**

263-2313

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We are in receipt of the plat map for your new subdivision, Sunrise Acres Subdivision. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner.

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish available to the new home purchasers. There items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be provided by the developer. The trench may be the same one used by other utilities, however the roadbore must provide a 2" conduit for the sole use of cable TV.
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossing will be in the same location as power and telephone crossings. If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs, the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.



5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
  6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.
- Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with out office and I will get back in contact with you as soon as I can.

**COLORADO GEOLOGIC SURVEY**

6/10/03

**Sean Gaffney**

303-866-2811

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In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late - Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations,

**REVIEW COMMENTS / FPP-2003-090 / PAGE 6 of 8**

standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

**CLIFTON FIRE DEPARTMENT**

5/23/03

**Dave Austin**

434-5448

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NO CONCERNS. FIRE FLOWS AND HYDRANT LOCATIONS ARE ADEQUATE

**CLIFTON WATER DISTRICT**

5/20/03

**Dave Reinertson**

434-7328

- 
- \* The Clifton Water District can provide potable domestic water for this proposal.
  - \* The Clifton Water District can provide fire flows through the existing 6" main lines in the Lodgepole Subdivision.
  - \* The developer will be required to install a 6" line through the stormwater detention area to dead end at the back of the walk on F Road for future connection to new transmission line on F Road.
  - \* Fire hydrant spacing shall be calculated off a hydrant to be located on Lot 5, Block 1. An in-line valve will be required just past this fire hydrant.
  - \* Developer will be required to find the end of line at the north end of Lodge Pole Street to connect the new 6" main line.
  - \* Three way valves will be required in all intersections (including Sonrise Way and Bison Avenue).
  - \* Meter pits shall be configured for radio read assemblies and shall have curb stop shut-off valves on the customer side of the meter pits.
  - \* Water services shall be located on the opposite property corner from dry utility pedestals and transformers to minimize future conflicts during repair activities.

**GRAND VALLEY RURAL POWER**

5/12/03

**Perry Rupp**

242-0040

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North of Bison Ave. is in the Grand Valley Power Service Area, Thank you.

**MESA COUNTY SCHOOL DISTRICT #51**

6/2/03

**Lou Grasso**

242-8500

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Following are estimated student impacts for two developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools. Please contact me at 242-8500 if you have questions or need additional information.

Sonrise Acres: Thunder Mt. ele:562/615/5 Bookcliff MS:475/520/2  
CHS:1470/1652/3

**PALISADE IRRIGATION**

5/23/03

**Wayne Bain**

243-6246

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Palisade Irrigation District recommends the following standard procedures for subdivision within

our service boundaries. It is recommended that storage reservoir of appropriate size be placed in the subdivision to reduce the impact of residential water users competing for water at the same time as all other water users of the entire canal system. The water right is insufficient to serve all users at the same time.

Failure to construct such storage reservoir may result in the subdivision being provided with an opening sized to the actual water right which is 1/3 to 1/2 a miners inch of continuous flow per acre. This equates to approximately 5.6 gallons per minute per acre in the subdivision at the 1/2 inch maximum rate. The average lawn pump output ranges from 30 GPM to 50 GPM.

Some subdivisions find it beneficial to install a automated system which utilizes timer box central control which would water one property at a setting, then move in series to the next until the programmed cycle is completed. This or any other method would still be subject to the maximum rate of water a previously explained.

The "Open Space Tract" encroaches upon portions of Palisade Irrigation District's easement and the Homeowners Association should be aware that any proposed landscaping that is placed on the easement area will be subject to traffic and possible damage by operations of the canal system. Also, such landscaping cannot interfere with or impede the operations of the canal. An easement provision states that no permanent structure shall be placed on the easement, i.e., plants, shrubs and trees, etceteras, and we recommend that a letter of notice be given at closing to any subsequent home buyer in order that they do not cause distress to our District because equipment and/or vehicles are running over their "homeowner plantings". This helps to avoid confrontation and problems, hopefully.

Operations Manager Bob Arterburn, cell #250-2404, has not been sent an irrigation review sheet for his completion as the City Planning and Palisade Irrigation agreed upon. Please send to Bob by FAX 464-4700.

Also Bob Arterburn should be notified and be present before any water tap is made into the lateral line which serves this property.

Thank you for your attention to these matters.

**URBAN TRAIL COMMITTEE**

**5/23/03**

**Robert Traylor**

**245-0045**

A trail easement and path (pedestrian and bike) is suggested from the cul-de-sac at the south end of Sunrise Way to F. Road which is a major bike and pedestrian route. Since Thunder Mountain Elementary school is immediately north of Sunrise Acres, a grant of a pedestrian and bike easement is requested through Tract A, along the Price Ditch.

Comments not available as of 6/10/03:

City Attorney

Parks & Recreation

**REVIEW COMMENTS / FPP-2003-090 / PAGE 8 of 8**

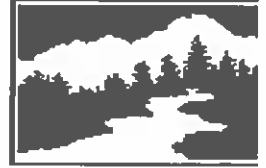
City Police Department  
City Utility Engineer  
Mesa County Irrigation  
Mesa County Planning  
Mesa County Public Works  
Qwest  
RTPO  
Walker Field Airport  
Xcel

# STATE OF COLORADO

## COLORADO GEOLOGICAL SURVEY

Department of Natural Resources  
1313 Sherman Street, Room 715  
Denver, Colorado 80203  
Phone (303) 866-1611  
Fax (303) 866-2461

AP  
6/10/03



DEPARTMENT OF  
**NATURAL  
RESOURCES**

June 10, 2003

**Legal Location: SE ¼ , SE ¼ , S4, T1S, R1E  
CGS Case No. MA-03-0072**

Bill Owens  
Governor

Greg E. Walcher  
Executive Director

Ron Cottary  
Division Director

Ron Cottary  
Acting State Geologist  
and Director

Ms. Lori Bowers  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Re: Sunrise Acres, Mesa County, Colorado

Dear Ms. Bowers:

In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late – Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property

are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

Sean P. Gaffney  
Geologist

**From:** Dave Reinertsen <dreinertsen@cliftonwaterdistrict.com>  
**To:** <chris@sun-king.com>  
**Date:** Tue, Jul 15, 2003 2:10 PM  
**Subject:** RE: Sonrise Acres Subdivision

AP  
7/16/03

Loxi

Chris,

As you have identified below, unfortunately, adding taps for future use to the west would be speculation and could end up being a situation where the new pavement would require cutting anyway to relocate the service lines based on whatever final plan is approved. "Best laid plans". From the Water District's standpoint, any future new development on the west will have to abide by the requirements set forth by the District to connect to the existing distribution system as well as requirements set forth by the various city departments regarding pavement cutting and repair/replacement.

We look forward to working with you on this upcoming project, Sonrise Acres Subdivision.

David Reinertsen  
Clifton Water District

-----Original Message-----

**From:** chris@sun-king.com [mailto:chris@sun-king.com]  
**Sent:** Tuesday, July 15, 2003 11:11 AM  
**To:** dreinertsen@cliftonwaterdistrict.com  
**Subject:** Sonrise Acres Subdivision

Dave,

In regards to our conversation of yesterday about stubbing water service lines to the west property line, in case of future development on the west side of the street. The property owners to the west said they have no plans for development in the foreseeable future. It was probably a good idea to install the stubs to avoid cutting the asphalt in the future in the event the property was to be developed, but as you pointed out, it would be only speculation on what the lot layout would be (if and when it ever develops), and the services would probably be in the wrong locations. I would assume if the property owners to the west ever decide to develop, they would have to overlay the entire street.

Please let me know if you have any further thoughts on this issue.

Thanks  
Chris

**CC:** "GJ Community Development Department" <CommDev@ci.grandjct.co.us>

## City of Grand Junction

Community Development Department  
Planning • Zoning • Code Enforcement  
250 North 5th Street  
Grand Junction, CO 81501-2668

Phone: (970) 244-1430  
FAX: (970) 256-4031



July 22, 2003

Anne Fees  
Central Grand Valley Sanitation District  
541 Hoover Drive  
Grand Junction, CO 81504

RE: Sonrise Acres

Dear Anne,

Thank you for your letter of July 17, 2003. We have and do regularly receive the review comments from Central Grand Valley Sanitation District. However, the meeting on July 16<sup>th</sup> was for the zoning of the property, not the subdivision itself; therefore you were correct in your assumption that I was not prepared to answer any sewer questions, since the topic was to be on the zoning of the property only.

The applicant has received the review comments from CGVSD and has not yet responded to those concerns. The applicants have until September 10<sup>th</sup> to respond to the Review Comments. CGVSD will receive a response to the comments when the applicants re-submit their revised plans. No date has yet been set for the Public Hearing before the Planning Commission for their approval. Thank you for your concern.

Sincerely,

City of Grand Junction

A handwritten signature in cursive script that reads "Lori V. Bowers".

Lori V. Bowers, Senior Planner  
Community Development Department





adjacent property to the west (based on your statement to assign expansion responsibility to the new contributors) should that project determine a need to drain to the southeast. Freeboard would be a function of the surface area required to be provided on the adjacent property for the given pond depth.

#### **GEOTECH REPORT**

11. We may ask for a geogrid option from the geotechnical engineer should the standard roadway sections indicate significant thicknesses.

#### **Peter Krick - City Property Agent**

Informational comment, no response required.

#### **George Miller - City Transportation Engineer**

1. Informational comment, no response required.
2. "No Parking" signs will be posted as described and the requested cu-de-sac revisions are now shown on the revised drawings.
3. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
4. Street lighting and signing will be designated on future plans, as requested.
5. Future roadway plans will include the requested note.
6. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

#### **Faye Gibson - City Addressing**

A new name for both the project and the street are intended to be submitted during final plan stage.

#### **Stephen LaBonde - Central Grand Valley Sanitation**

1. No agreements currently exist with the adjacent property owner to the west, but the final plan will provide sanitary sewer services with full-body wye fittings in the same general locations as the services proposed for this project. It is likely that this would provide an adequate number of service connections given that the project under design is based on a minimum lot-width.

2. We agree with your preferred routing of mainline sewer, but preliminary research indicates that the existing sewer will be too shallow to allow this. Final design data collection will ultimately determine the ability to accomplish the preferred route.

3. Final alignments of sanitary sewer will be determined at final-plan stage, including the feasibility of crossing the Price Ditch.

4. Service for the existing residence is proposed to remain in-place along F Road and will be shown on the final plan.

5. Allowable manhole spacing was assumed to be 500' which would obviously allow fewer manholes than a 400' spacing, but we will certainly accommodate your standards. We will contact you to determine the absolute maximum spacing.

6. The sewer has been revised to stub to the north, which is currently school property.

#### **Chuck Wiedman - Bresnan Communications**

Informational, no response required. Your comments have been forwarded to the petitioner.

#### **Sean Gaffney - Colorado Geologic Survey**

Notes will be added to the plat and final plans during that stage to attempt to draw attention to your concerns.

#### **Dave Reinertson - Clifton Water District**

We will comply with your requests, to the best of our ability. We do not have knowledge of the locations of pedestals and transformers, and typically do not have this information even at final design stage. We believe it should be the utility company's responsibility to insure that they avoid the conflicts given that they typically do their layout after production of the other utilities.

#### **Perry Rupp - Grand Valley Power**

1. Informational comment, no response required.

#### **Lou Grasso - Mesa County School District #51**

1. Informational comment, no response required.

**Wayne Bain - Palisade Irrigation**

The petitioner proposes to provide only domestic water as a source of irrigation.

*6.2 Infrastructure Standards / 6.5.B.6.a. Non-potable irrigation water  
A.I.F. shall be used unless the Director allows  
the use of potable water.*

We can provide the easement dedications, if there are no objections from the Price Ditch organization, but Tract C is a stormwater detention facility which may impede access at times.

## REVIEW COMMENT RESPONSES

July 24, 2003

### SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated June 10, 2003.

#### Lori Bowers - City Community Development

1. The cul-de-sac has been relocated to exist within the proposed project boundary.
2. Tract "A" will be dedicated as requested on the Final Plat.

#### Eric Hahn - City Community Development Engineer

##### GENERAL COMMENTS

- ✗ 1. A signed copy of the Stormwater Discharge Permit will be included with the final plan submittal.
- ✗ 2. The DIA will reflect 120% of the estimated costs at final plan stage.
- ✗ 3. Top-of-concrete elevations, acknowledged by the Building Department, will be provided at final plan stage.
- ✗ 4. Drainage from the western portion of the partial street section of Sunrise Way will be negligible, but will flow south along the edge of pavement and natural swale (created by the road-cut) into the detention area.
- ✗ 5. "No-Parking" signs will be posted on both sides of the street, as requested.
- ✗ 6. The street section has been corrected to reflect the 20' of proposed asphalt.
- ✗ 7. The cul-de-sac has been relocated to exist within the proposed project boundary.
- ✗ 8. The length of the Lodge Pole extension is shown on the revised drawings.
- NO! → 9. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
- ✗ 10. Detention has been designed for the project site with no anticipation of storage from the western property (due to the southwest direction of natural grade). Given the location of the detention pond, it would be available for expansion to accept and manage runoff from the

adjacent property to the west (based on your statement to assign expansion responsibility to the new contributors) should that project determine a need to drain to the southeast. Freeboard would be a function of the surface area required to be provided on the adjacent property for the given pond depth.

#### **GEOTECH REPORT**

- X 11. We may ask for a geogrid option from the geotechnical engineer should the standard roadway sections indicate significant thicknesses.

#### **Peter Krick - City Property Agent**

Informational comment, no response required.

#### **George Miller - City Transportation Engineer**

1. Informational comment, no response required.
2. "No Parking" signs will be posted as described and the requested cu-de-sac revisions are now shown on the revised drawings.
3. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
4. Street lighting and signing will be designated on future plans, as requested.
5. Future roadway plans will include the requested note.
6. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

#### **Faye Gibson - City Addressing**

A new name for both the project and the street are intended to be submitted during final plan stage.

#### **Stephen LaBonde - Central Grand Valley Sanitation**

1. No agreements currently exist with the adjacent property owner to the west, but the final plan will provide sanitary sewer services with full-body wye fittings in the same general locations as the services proposed for this project. It is likely that this would provide an adequate number of service connections given that the project under design is based on a minimum lot-width.

2. We agree with your preferred routing of mainline sewer, but preliminary research indicates that the existing sewer will be too shallow to allow this. Final design data collection will ultimately determine the ability to accomplish the preferred route.

3. Final alignments of sanitary sewer will be determined at final-plan stage, including the feasibility of crossing the Price Ditch.

4. Service for the existing residence is proposed to remain in-place along F Road and will be shown on the final plan.

5. Allowable manhole spacing was assumed to be 500' which would obviously allow fewer manholes than a 400' spacing, but we will certainly accommodate your standards. We will contact you to determine the absolute maximum spacing.

6. The sewer has been revised to stub to the north, which is currently school property.

#### **Chuck Wiedman - Bresnan Communications**

Informational, no response required. Your comments have been forwarded to the petitioner.

#### **Sean Gaffney - Colorado Geologic Survey**

Notes will be added to the plat and final plans during that stage to attempt to draw attention to your concerns.

#### **Dave Reinertson - Clifton Water District**

We will comply with your requests, to the best of our ability. We do not have knowledge of the locations of pedestals and transformers, and typically do not have this information even at final design stage. We believe it should be the utility company's responsibility to insure that they avoid the conflicts given that they typically do their layout after production of the other utilities.

#### **Perry Rupp - Grand Valley Power**

1. Informational comment, no response required.

#### **Lou Grasso - Mesa County School District #51**

1. Informational comment, no response required.

**Wayne Bain - Palisade Irrigation**

The petitioner proposes to provide only domestic water as a source of irrigation.

**Robert Traylor - Urban Trail Committee**

We can provide the easement dedications, if there are no objections from the Price Ditch organization, but Tract C is a stormwater detention facility which may impede access at times.

## Memorandum

**DATE:** July 28, 2003

**TO:** Eric Hahn, Community Development Engineer  
Faye Gibson, City Addressing  
George Miller, City Transportation Engineer  
Celia Greenman, Colorado Geologic Survey  
Stephen LaBonde, Central Grand Valley Sanitation  
Dave Reinertson, Clifton Water District  
Wayne Bain, Palisade Irrigation  
Robert Traylor, Urban Trails Committee

**FROM:** Lori Bowers, Senior Planner

**SUBJECT:** Response to Comments – Sonrise Acres  
Subdivision (PP-2003-090).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Monday, August 11, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4031

E-mail: [patc@ci.grandjct.co.us](mailto:patc@ci.grandjct.co.us)



**RECEIVED**  
JUL 25 2003  
COMMUNITY DEVELOPMENT  
DEPT.

**RESPONSE TO REVIEW COMMENTS**

# **SONRISE ACRES SUBDIVISION**

**CPS, LLC – JAMES HUGHES**

City Community Development

Lori Bowers

#### GENERAL COMMENTS

The first submittal indicated that the lot created for the existing residence (Lot 6, Block 1) would have frontage on the proposed cul-de-sac. The latest submittal (response to comments) shows that this lot no longer has frontage on the cul-de-sac. There are two significant problems created by this change. First, this is a significant change, and forces the reviewers to analyze the entire submittal again to check for other changes that were made after the initial review comments, and it makes City staff assume that other changes to the plans may be “slipped in” between each round of review. **IF CHANGES ARE MADE BETWEEN ROUNDS OF REVIEW THAT ARE NOT REQUIRED BY A SPECIFIC REVIEW COMMENT, THE APPLICANT MUST CLEARLY INDICATE THE CHANGE, AND EXPLAIN THE REASON FOR THE CHANGE. OTHERWISE, THE SUBMITTAL WILL BE ASSUMED TO BE A COMPLETELY NEW SUBMITTAL, THE REVIEW PROCESS WILL START FROM THE BEGINNING AND THE APPLICANT MUST SUBMIT THE ENTIRE SUBMITTAL PACKET TYPICALLY REQUIRED OF A NEW SUBMITTAL.** Second, at time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk. The existing home must take access from the proposed cul-de-sac, and the existing F Road access must be abandoned.

There is an existing storm drain in F Road that carries runoff west to Indian Wash. Developed runoff will flow south to be collected and detained within Tract C. The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence.

**d. The Zoning standards contained in Chapter 3.**

The zoning designation of RSF-4 allows for medium-low density single family uses. The proposed subdivision has provided lots in excess of 8,000 square feet, the minimum lot size for this zoning district. The average lot size is 10,000 square feet.

**e. Other standards and requirements of the Zoning and Development Code and all other City policies and regulations.**

All standards for the preliminary plan have been addressed.

**f. Adequate public facilities and services will be available concurrent with the subdivision.**

The property is located within the Palisade Irrigation District. Sewer will be connected to the Central Grand Valley Sanitation District. Water is to be provided by Clifton Water. All services will meet <sup>and</sup> each district's standards as provided in their review comments. *the applicant's*

**g. The project will have little or no adverse or negative impacts upon the natural or social environment.**

There should be little impact upon the natural environment. In regards to the social environment, the neighbor to the west is concerned with potential impacts to their property (please see attached letters). Calls received by this department from the neighbors to the east, have been generally positive.

**h. Compatibility with existing and proposed development on adjacent properties.**

Compatibility exists with the neighborhood to the east as it has been developed with lots of similar size. Two large lots exist to the

west. One is 3.4 acres and the other is 2.3 acres. Further to the west is another subdivision of smaller size lots.

- i. **Adjacent agricultural property and land uses will not be harmed.**

The adjacent property to the west is currently zoned RSF-4 in the County. It is 3.4 acres in size and is agricultural in nature. Drainage and fencing concerns will be provided in detail at the Final development stage to address the concerns of the adjacent property owner.

*Other concerns are fencing - Code does not require fencing between similar zone districts*

- j. **Is neither piecemeal development nor premature development of agricultural land or other unique areas.**

The proposal is an infill project and not unique to this area.

- k. **There is adequate land to dedicate for provision of public services.**

There is adequate land available for public services and their easements. Provisions have been made for adequate future connections to these services.

- l. **This project will not cause an undue burden on the City for maintenance or improvement of land and/or facilities.**

**Proof of the formation of an HOA will be required at the final development stage and the conditions in the covenants will require the HOA to maintain any facilities or land improvements that are specific to the subdivision.**

**FINDINGS OF FACT/CONCLUSIONS:** After reviewing the Sunrise Acres Subdivision application, file number PP-2003-090, for preliminary plat approval, staff makes the following findings of fact and conclusions:

1. The proposed preliminary plat is consistent with the Growth Plan.
2. The review criteria in Section 2.8.B.2 of the Zoning and Development Code have all been met.

**STAFF RECOMMENDATION:** Staff recommends that the Planning Commission approve the proposed preliminary plat, file number PP-2003-090 with the findings and conclusions listed above.

*as just stated*

RECOMMENDED PLANNING COMMISSION MOTION: Mr. Chairman, on item number PP-2003-090, the preliminary plan for the Sunrise Acres Subdivision, I move that we find the project consistent with the Growth Plan, Section 2.8 of the Zoning and Development Code and adjacent property usage, and approve the preliminary plan, subject to the recommended conditions included in this staff report.

Attachments:

- Vicinity Map
- Aerial Photo
- Growth Plan Map
- Zoning Map
- Subdivision Preliminary Plan
- Letters from adjacent neighbor with pictures
  - June 6, 2003
  - September 3, 2003

*Applicant will provide fencing along E. edge of Lodgepole sub. (backyards)*

*617 Dotson, Aldo*

*Lodgepole st.*

*Faults - property to the west - Drainage taken care of. Concerned w/ their pond + location of the cul-de-sac 50-60' of fencing. Keep backyard 1/2 way private (not parking)*

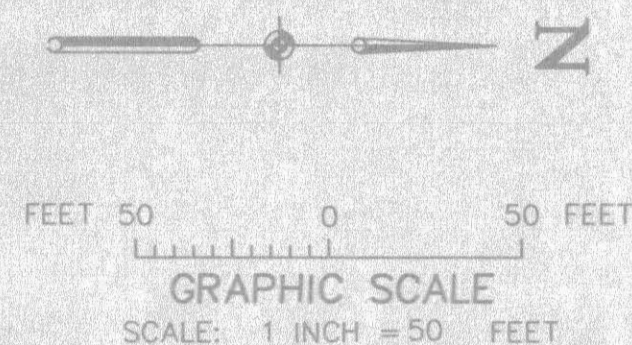
*Palisade irrigation + Prairie Ditch ?*

*Object to trail on Prairie Ditch - cover*



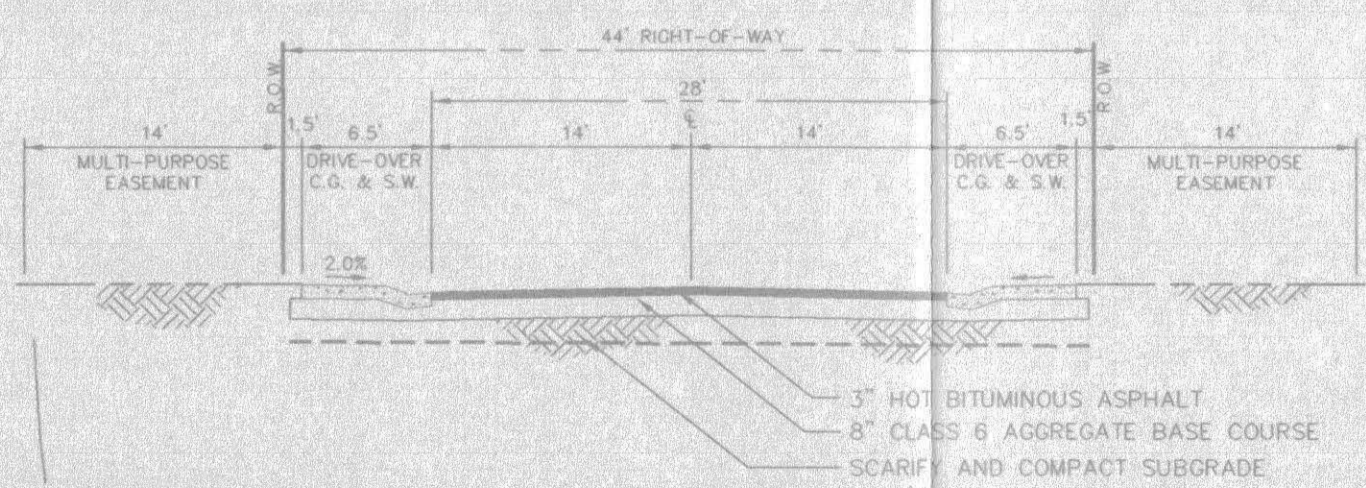
NOTE:  
CONTACT CITY TRAFFIC OPERATIONS SUPERVISOR AT 970-244-1573 PRIOR TO AND SIGNING MATERIAL ORDER OR PLACEMENT.

2943-091-00-992  
MUSEUM OF WESTERN COLORADO  
P.O. BOX 20000  
GRAND JCT., CO 81502-5020



**LEGEND**

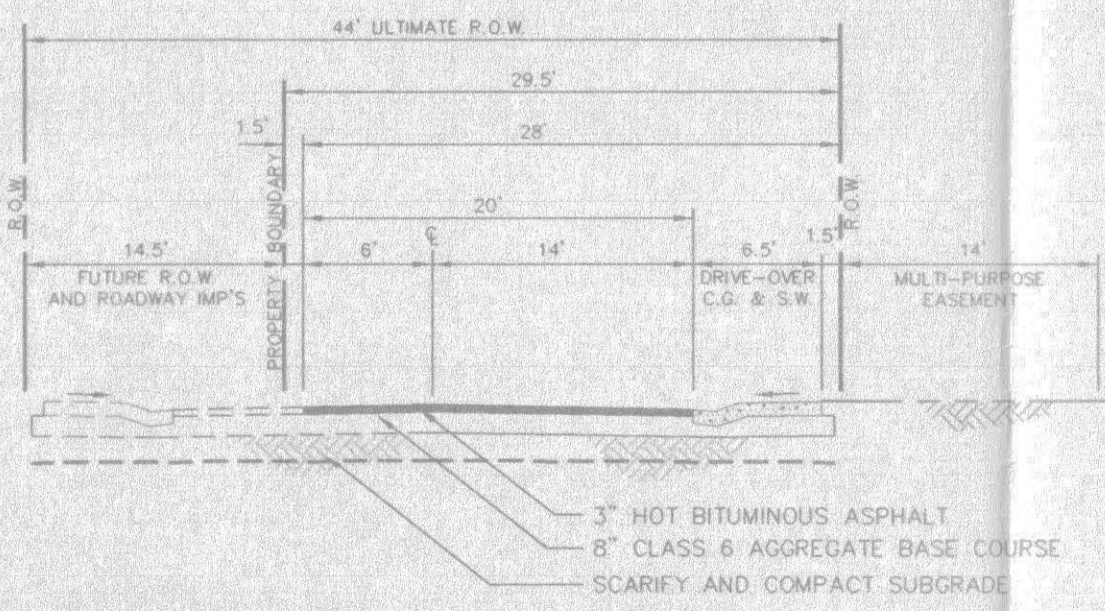
- MONUMENT AS DESCRIBED
- EXISTING CABLE PEDESTAL
- EXISTING GUY WIRE
- EXISTING ANCHOR POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING ELECTRIC LINE AND BOX
- EXISTING WATER LINE, METER, AND FIRE HYDRANT
- EXISTING 8" SANITARY SEWER LINE AND MANHOLE
- EXISTING OVERHEAD POWER LINE AND POWER POLE
- EXISTING FENCE
- EXISTING STORM DRAIN AND INLET
- PROPOSED 6" WATER LINE, SERVICE, AND FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE, SERVICE, AND MANHOLE
- OPEN SPACE TRACT



TYPICAL ROADWAY SECTION  
BISON AVE. & LODGE POLE ST.  
(SUBDIVISION INTERIOR)  
NOT TO SCALE

**PUBLIC FACILITIES**

- SANITARY SEWER: Central Grand Valley Sanitation District
- DOMESTIC WATER: Clifton Water
- GAS: Xcel Energy
- ELECTRIC: Grand Valley Rural Power
- TELEPHONE: Owest
- CABLE TV: AT & T Broadband
- STORM SEWER: Grand Junction Drainage District
- IRRIGATION: Palisade Irrigation District



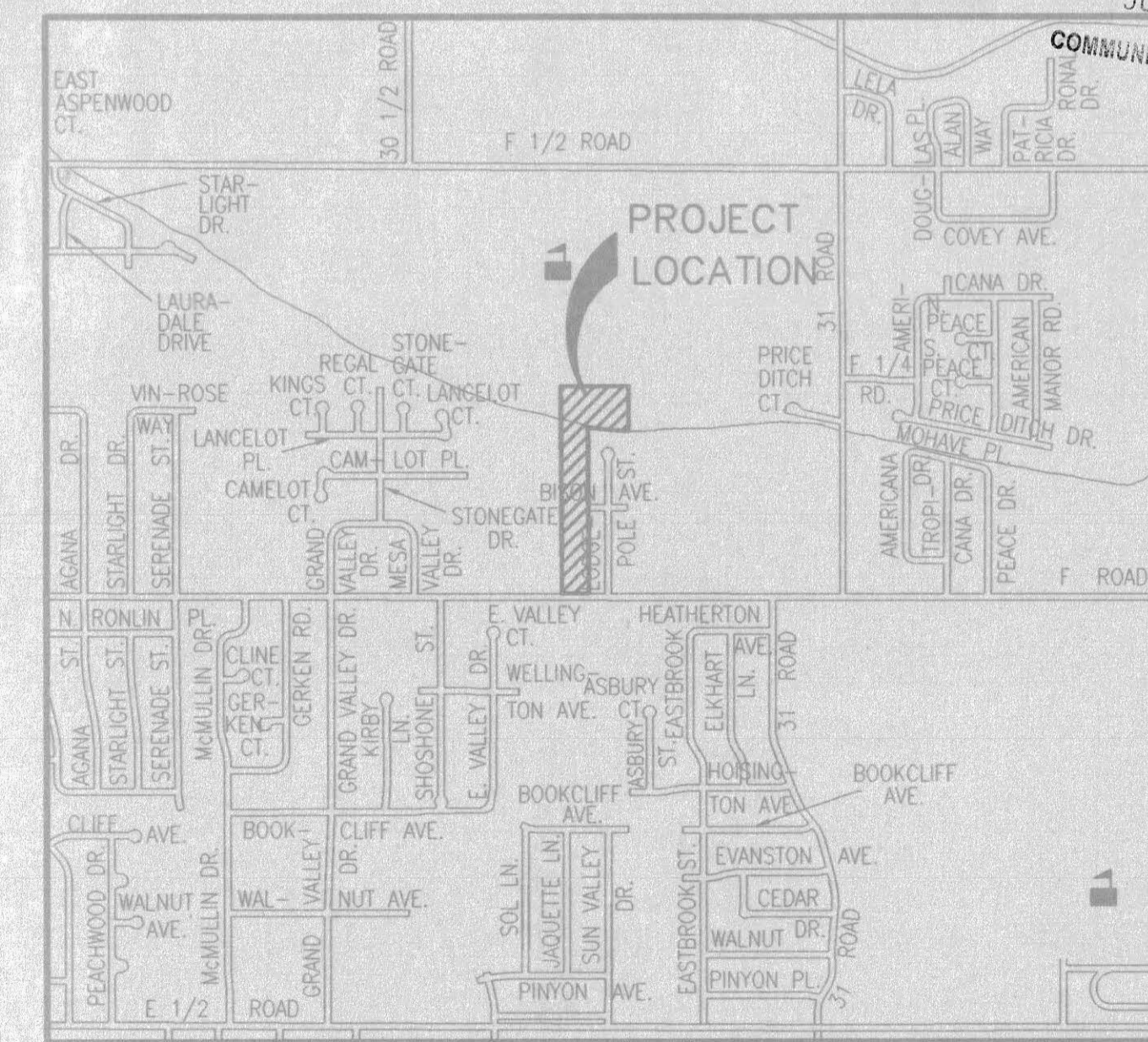
TYPICAL ROADWAY SECTION - SONRISE WAY  
(SUBDIVISION INTERIOR)  
NOT TO SCALE

**BULK REQUIREMENTS FOR RSF-4 ZONE**

- MINIMUM LOT AREA: 8,000 S.F.
- MINIMUM STREET FRONTAGE: 20 FEET
- MAXIMUM HEIGHT OF STRUCTURES: 35 FEET
- MINIMUM LOT WIDTH: 75 FEET
- MINIMUM SIDE YARD SETBACK: 7 FEET
- PRINCIPAL STRUCTURE ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL): 3 FEET
- MINIMUM REAR YARD SETBACK: 25 FEET
- PRINCIPAL STRUCTURE ACCESSORY STRUCTURE: 5 FEET
- MINIMUM FRONT YARD SETBACK: 20 FEET
- PRINCIPAL STRUCTURE ACCESSORY STRUCTURE: 25 FEET
- MAXIMUM COVERAGE OF LOT BY STRUCTURES: 50%
- MAXIMUM UNITS PER GROSS ACRE: 4

**AREA BREAKDOWN**

RESIDENTIAL LOTS (20)	4.516 ACRES ±	71.8%
OPEN SPACE	0.368 ACRES ±	5.9%
INTERIOR ROADS	1.404 ACRES ±	22.3%
TOTAL	6.288 ACRES ±	100.0%



VICINITY MAP

RECEIVED

JUL 2 5 2003

COMMUNITY DEVELOPMENT DEPT.

DRAWN BY: F.J.B.	REVIEWED _____
DESIGNED BY: P.M.O.	DATE: _____ FOR _____
CHECKED BY: P.M.O.	REVIEWED _____
	DATE: _____ FOR VISTA ENGINEERING CORP.

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81606 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	7-26-03	REVISED AS PER 1ST ROUND REVIEW COMMENTS	FJB	PMO

JAMES HUGHES

GRAND JUNCTION, COLORADO  
SCALE: 1" = 50'  
JOB NO: 417.00-03  
DATE: 4-21-03  
SHEET NO: 1 of 1

PRELIMINARY PLAN  
SONRISE ACRES

PP. 2003-090

Response to Comments  
7-25-03



# REVIEW COMMENTS

2<sup>nd</sup> Round

Page 1 of 3  
August 11, 2003

FILE #PP-2003-090(2)

TITLE HEADING: Sonrise Acres Subdivision

LOCATION: 3068 F Road

PETITIONER: CPS, LLC – James Hughes

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 561  
Telluride, CO 81435  
970-728-9909

PETITIONER'S REPRESENTATIVE: Vista Engineering Corp – Pat O'Connor  
243-2242

STAFF REPRESENTATIVE: Lori Bowers

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 11, 2003.**

## CITY COMMUNITY DEVELOPMENT

8/4/03

Lori Bowers

256-4033

1. Lot 5, Block One, does not meet the minimum lot size of 8,000 square feet.
2. The minimum rear yard setback in an RSF-4 zoning district is 25 feet. Placing the proposed lot line on the north end of Lot 6, Block One, creates a non-conforming lot; Please revise.
3. Section 6.2.A.1.f. Infrastructure Standards and Section 6.5.B.6.a. of the Zoning and Development Code requires that non-potable irrigation water shall be used for residential subdivisions where irrigation water is available. This property is located within the Palisade Irrigation District. Domestic water should not be used for irrigation of landscaping.

## CITY COMMUNITY DEVELOPMENT ENGINEER

8/8/03

Eric Hahn

244-1443

The first submittal indicated that the lot created for the existing residence (Lot 6, Block 1) would have frontage on the proposed cul-de-sac. The latest submittal (response to comments) shows that this lot no longer has frontage on the cul-de-sac. There are two significant problems created by this change. First, this is a significant change, and forces the reviewers to analyze the entire submittal again to check for other changes that were made after the initial review comments, and it makes City staff assume that other changes to the plans may be "slipped in" between each round of review. **IF CHANGES ARE MADE BETWEEN ROUNDS OF REVIEW THAT ARE**

NOT REQUIRED BY A SPECIFIC REVIEW COMMENT, THE APPLICANT MUST CLEARLY INDICATE THE CHANGE, AND EXPLAIN THE REASON FOR THE CHANGE. OTHERWISE, THE SUBMITTAL WILL BE ASSUMED TO BE A COMPLETELY NEW SUBMITTAL, THE REVIEW PROCESS WILL START FROM THE BEGINNING AND THE APPLICANT MUST SUBMIT THE ENTIRE SUBMITTAL PACKET TYPICALLY REQUIRED OF A NEW SUBMITTAL. Second, at time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk. The existing home must take access from the proposed cul-de-sac, and the existing F Road access must be abandoned.

**CITY TRANSPORTATION ENGINEER**

**8/5/03**

**George Miller**

**256-4123**

---

The proposal is to develop an infill project of 20 lots, with connections to an existing subdivisions to its east.

Comments pertain to a Response dated 7-24-03 and a plan sheet dated 7-26-03.

Comments:

1. "No Parking Any Time" signs have been provided in the submittal. To be effective and enforceable, it is important that the signs are posted in such a way that the boundaries of the restricted zone are clear, and that signs are always visible to all locations within the restricted zone. Signs should be R7-1 (12x18) and be posted from Lodge Pole south the entrance of the cul de sac, and should be posted at every other property line. The signs at the ends will be single arrows, and the internal signs will be double arrows.
2. The applicant has stated that it is wished that the existing home on the Patterson frontage be allowed to keep its Patterson access. In order to maintain good flow on Patterson, and reduce future accident potential, this existing access will need to be redirected to access via Sunrise. The Response states that the present driveway only will align to Patterson, but the aerial shows the drive alignment does extend to the future cul de sac placement.
3. Street lights need to be provided at a minimum of 1/2 of the Sunrise Wy intersections, and at the 90 degree bend of Lodge Pole.
4. The applicant has stated that traffic calming should not be required with the first phase of development of Sunrise, as it will only be 20' wide. As this roadway will still accommodate two directions of traffic, and is of considerable length, calming will still be required. However, it is only necessary that a width restriction be provided on the developed side of Sunrise. Call 256-4123 to discuss design options.

**CITY ADDRESSING**

**7/31/03**

**Faye Gibson**

**256-4043**

---

For Clarification the Subdivision name was fine, it was the street name that needed to be changed. No other comments



**CLIFTON WATER DISTRICT**

7/16/03

**Dave Reinertson**

**434-7328**

As you have identified below, unfortunately, adding taps for future use to the west would be speculation and could end up being a situation where the new pavement would require cutting anyway to relocate the service lines based on whatever final plan is approved. "Best laid plans". From the Water District's standpoint, any future new development on the west will have to abide by the requirements set forth by the District to connect to the existing distribution system as well as requirements set forth by the various city departments regarding pavement cutting and repair/replacement.

We look forward to working with you on this upcoming project, Sunrise Acres Subdivision.

# LETTER OF TRANSMITTAL

## VISTA ENGINEERING CORP.

CONSULTING ENGINEERS & LAND SURVEYORS

2777 CROSSROADS BOULEVARD  
 GRAND JUNCTION, COLORADO 81506  
 (970) 243-2242  
 FAX: (970) 243-3810

TO: CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT

ATTENTION: LORI BOWERS

SUBJECT: SONRISSE ACRES SUBDIVISION  
PRELIMINARY PLAN

DATE: 10-2-03  
~~OCTOBER 1, 2003~~  
 JOB NO. 4117.00-03

TRANSMITTED ARE:

- For Approval
- For Your Use
- As Requested
- For Review and Comment
- Submittal Accepted
- Submittal Accepted as Noted (Resubmit)
- Submittal Returned for Revisions (Resubmit)

### RECEIVED

OCT 02 2003

COMMUNITY DEVELOPMENT  
 DEPT.

- Submittal Not Accepted (Submit Anew)
- Preliminary Submittal
- For Reference Only
- Distribution Copy (Previously Accepted)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
5	10/1/03	1	REVIEW COMMENT RESPONSES } FOR ALL 5 REVIEWERS
5	10/1/03	1	REVISED PRELIM. PLAN }
	10/2/03		

REMARKS LORI - THANK YOU VERY MUCH FOR EXTENDING THE DEADLINE FOR RESPONSES  
ON THIS PROJECT. THE REVISIONS WERE PREPARED EARLIER, BUT APPARENTLY "LOST  
IN THE SHUFFLE" DURING OUR RECENT OFFICE RELOCATION. I APPRECIATE  
YOUR CONSIDERATION.

LET ME KNOW IF YOU NEED ADDITIONAL INFORMATION FOR THIS PROJECT AND  
WHEN WE WILL BE SCHEDULED FOR PUBLIC HEARING.

COPY TO JIM HUGHES - CPS, LLC

SIGNED Palm O'Connell

**RESPONSE TO 2<sup>ND</sup> ROUND REVIEW COMMENTS**

# **SONRISE ACRES SUBDIVISION**

**CPS, LLC**

City Community Development

Lori Bowers

**RECEIVED**  
OCT 02 2003  
COMMUNITY DEVELOPMENT  
DEPT.

**REVIEW COMMENT RESPONSES**

October 1, 2003

**SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN**

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated August 11, 2003.

**Lori Bowers - City Community Development**

1. Lot 5, Block 1 has been revised to contain more than 8,000 square-feet.
2. Lot 6, Block 1 will now access from the cul-de-sac and conform with setback standards.
3. Irrigation water will be provided from the existing sources (canals and ditches).

**Eric Hahn - City Community Development Engineer**

**GENERAL COMMENTS**

1. The access for Lot 6, Block 1 has been relocated to come from the cul-de-sac. A note regarding removal of the existing driveway cut on F Road has been added.

**George Miller - City Transportation Engineer**

1. "No Parking" signs have been clarified and located, as directed.
2. The access for Lot 6, Block 1 has been relocated to come from the cul-de-sac. A note regarding removal of the existing driveway cut on F Road has been added.
3. Street lights have been added, as directed.
4. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

**Faye Gibson - City Addressing**

A new name for the street is shown on the revised drawing.

**Dave Reinertson - Clifton Water District**  
Informational, no response necessary.

**RECEIVED**

OCT 02 2003

COMMUNITY DEVELOPMENT  
DEPT.

*File!*



City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (970)244-1599

September 24, 2003

Patrick O'Connor  
Vista Engineering, Corp.  
2777 Crossroads Blvd.  
Grand Junction, CO 81506

RE: SONRISE ACRES SUBDIVISION – file # FP-2003-090

Dear Patrick:

Just a reminder that your response to our review comments was due on Thursday, September 11, 2003, for the Sonrise Acres Subdivision, located at 3068 F Road. We will extend that deadline for 30 days, to October 13<sup>th</sup>. If we have not received your response by then we will consider the application closed. If you do not wish to continue with your application for subdivision at this time, please let me know and I will note the file and close it out. Should you have any further questions regarding this matter, please contact me at 256-4033.

Sincerely,

City of Grand Junction

A handwritten signature in cursive script that reads "Lori V. Bowers".

Lori V. Bowers, Senior Planner  
Community Development Department

Cc: James Hughes, CPS Enterprises, LLC

**GENERAL COMMENTS**

The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.

**From:** Eric Hahn  
**To:** Bowers, Lori  
**Date:** 10/14/03 7:52PM  
**Subject:** Sunrise Acres Prelim (PP-2003-090)

Lori, I have entered one additional comment regarding Sunrise Acres Preliminary Plan. Please note that it is informational only, the applicant has adequately addressed all my concerns and those of the City Transportation Engineer. Here is the comment that I have entered into Impact:Comment: The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.

**CC:** Spurr, Wendy

## Memorandum

**DATE:** October 2, 2003

**TO:** Eric Hahn, Community Development Engineer  
George Miller, Transportation Engineer  
Faye Gibson, Addressing  
Dave Reinertson, Clifton Water

**FROM:** Lori Bowers, Senior Planner

**SUBJECT:** Response to Comments – Sonrise Acres  
Subdivision (PP-2003-090).

Attached is the Response to Comments for this project. Please review and return any further comments you have to me by Thursday, October 16, 2003.

If you have any questions please contact me at:  
Phone #: 256-4033  
Fax #: 256-4031  
E-mail: [lorib@grandjct.co.us](mailto:lorib@grandjct.co.us)

Next P.C. is Oct 28, 2003  
maps to Wendy on 13<sup>th</sup>/16<sup>th</sup>



## Eric Hahn - Sonrise Acres Prelim (PP-2003-090)

---

**From:** Eric Hahn  
**To:** Bowers, Lori  
**Date:** 10/14/2003 7:52 PM  
**Subject:** Sonrise Acres Prelim (PP-2003-090)  
**CC:** Spurr, Wendy

---

Lori,

I have entered one additional comment regarding Sonrise Acres Preliminary Plan. Please note that it is informational only, the applicant has adequately addressed all my concerns and those of the City Transportation Engineer. Here is the comment that I have entered into Impact:

Comment: The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.

AGENDA TOPIC: Sonrise Acres Subdivision, PP-2003-090.

ACTION REQUESTED: Preliminary Plat Approval

BACKGROUND INFORMATION				
Location:		3068 F Road		
Applicants:		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative		
Existing Land Use:		Vacant land and house		
Proposed Land Use:		Residential		
Surrounding Land Use:	North	Thunder Mountain Elementary		
	South	Museum of Western Colorado		
	East	Single Family residential		
	West	Single Family residential		
Existing Zoning:		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)		
Proposed Zoning:		RSF-4		
Surrounding Zoning:	North	RSF-4 (Mesa County)		
	South	RSF-4 (Mesa County)		
	East	RSF-4 (Mesa County)		
	West	RSF-4 (Mesa County)		
Growth Plan Designation:		Residential Medium Low – 2 to 4 dwelling units per acre		
Zoning within density range?		X	Yes	No

PROJECT DESCRIPTION: Located at 3068 F Road, Sonrise Acres Subdivision is a request for approval for 20 single family residential lots, and 2 tracts on 6.288 acres in an RSF-4 zoning district. The tracts are for irrigation and open space. There is an existing house and garage on this parcel

RECOMMENDATION: Approval of the Preliminary Plan.

## ANALYSIS:

1. Background: The property was annexed into the City and became effective on August 17<sup>th</sup>, 2003. It was annexed as the Sunrise Acres Annexation. The property received the zoning designation of RSF-4 during the annexation process. The property is located at 3068 F Road.

2. Consistency with the Growth Plan: The City of Grand Junction's Growth Plan identifies the subject parcel as "residential medium low", 2 to 4 dwelling units per acre. The proposed 20 lots on 6.288 acres calculates to a density of 3.18 dwelling units per acre, meeting the requirements of the RSF-4 zoning district. The proposed future development will be compatible with adjacent land uses. There is no commercial development associated with this plan.

3. Section 2.8.B.2 of the Zoning and Development Code:

A preliminary plat can only be approved when it is in compliance with all of the following:

**a. The Growth Plan, Grand Valley Circulation Plan, Urban Trails Plan and other adopted plans.**

The proposed plat is consistent with the Growth Plan, as mentioned above. It is consistent with the Grand Valley Circulation Plan by reducing the number of driveway accesses on F Road and connecting to the existing right-of-ways of Bison Avenue and Lodge Pole Street. The Urban Trails Plan shows a canal path over the section of the buried Price Ditch. This area has been placed in a tract for future pedestrian access.

**b. The purposes of this Section 2.8.B.**

The purpose of this section is to provide general graphic information and text to indicate property boundaries, easements, streets, utilities, drainage, open space determination and other information to ensure that compliance with these requirements can be met at the Final Development stage. Staff feels that adequate information has been provided at this time.

**c. The Subdivision standards of Section 6.7.**

The subdivision standards are being met by providing interconnectivity with existing subdivisions. Primary access is obtained from F Road on Lodge Pole Street. Bison Avenue is an existing stub that will intersect Barnwood Way. Lodge Pole Street continues north and then turns to also connect to Barnwood Way.



City of Grand Junction, Colorado  
Community Development Department  
**RECORD OF DECISION / FINDINGS OF FACT**

**PROJECT:** Preliminary Plan for Sunrise Acres Subdivision  
**LOCATION:** 3068 F Road  
**FILE #:** PP-2003-090  
**DATE:** November 17, 2003  
**PLANNER:** Lori V. Bowers  
**PROJECT IS:** **APPROVED**

---

On Tuesday, October 28, 2003 a Public Hearing was held by the City of Grand Junction Planning Commission for approval of the Sunrise Acres Subdivision Preliminary Plan. The request was for approval to develop in one phase, a total of 20 single-family lots on 6.288 acres, zoned RSF-4. Concerns from the public hearing are listed below and should be considered in preparation of the Final Plat. The time period for appeal of this decision has passed and no appeals have been filed.

After reviewing the Sunrise Acres application, file number PP-2003-090, for preliminary plat approval, the Planning Commission made the following findings of fact and conclusions:


1. The proposed preliminary plat is consistent with the Growth Plan.
2. The review criteria in Section 2.8.B.2 of the Zoning and Development Code have all been met.

Concerns from the public and comments from the Planning Commission are as follows:

1. While the Planning Commission did not require privacy fencing along the western edge of the right-of-way near Barnwood Way, the Commission encouraged the applicant to look at some privacy screening/fencing options for the benefit of the property owner to the west.

2. The applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed.
3. Look at options to control motor vehicle traffic across the Price Ditch until fill pedestrian trail is acquired in this area.

Attached is the checklist for the Final Plat for the project. If you should have any further questions regarding this project, please feel free to contact me at 256-4033.

A vertical strip on the left side of the page shows a topographic map with contour lines, a road, and a building. The map is in grayscale and shows a hilly terrain.

**Environmental Transaction  
Screen  
Proposed Sunshine Acres  
Subdivision  
Grand Junction, Colorado**

WALSH Project Number: 5078-010  
October 21, 2002



---

Environmental Scientists and Engineers, Inc.

# Environmental Transaction Screen Proposed Sunshine Acres Subdivision Grand Junction, Colorado

October 21, 2002

Prepared for:

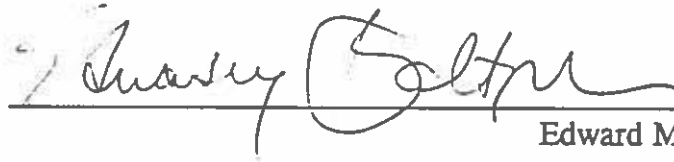
Bob Fuller  
Darter, LLC  
786 Valley Court  
Grand Junction, Colorado 81505

Prepared by:



Robert A. Stockton  
Environmental Scientist

Reviewed by:



Edward M. Baltzer, CPG  
District Manager

*Submitted by*  
**WALSH ENVIRONMENTAL SCIENTISTS AND ENGINEERS, LLC**  
255 Main Street  
Grand Junction, Colorado

WALSH Project Number: 5078-010

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## EXECUTIVE SUMMARY

The subject property for this Environmental Transaction Screen (ETS) is located at 3068 F Road, Grand Junction, Colorado (the Site). It is a 6.31-acre irregularly-shaped parcel located next to residential and agricultural lands.

Walsh Environmental Scientists and Engineers, LLC (WALSH) has performed this ETS for the Site in conformance with the scope and limitations of ASTM Practice E-1528-00. This assessment has revealed evidence that uranium mill tailings were identified at the Site. A summary of the findings of the report follows:

- Review of available federal records indicates that there are no regulated facilities or releases located within one mile of the Site.
- Review of CDPHE records reveal that indications of mill tailings were found at the Site during a radiation survey in 1971. The mill tailings were indicated greater than ten feet from the residence, near a haystack and a clothesline pole. The Site was excluded from the Uranium Mill Tailings Remedial Action Program in 1986 with the recommendation that if the land use should change a corrective action or control should be considered.
- No documented landfills are located within one-half mile of the Site. No Voluntary Clean Up and Redevelopment Act sites are located within one mile of the Site. No properties with environmental covenants are located within one-quarter mile of the Site.
- No documented registered or leaking underground storage tanks within one-half mile of the Site were located in Division of Oil and Public Safety records.
- Historical records and documents indicated that the Site and surrounding properties have been agricultural and residential lands since at least 1937.
- A site inspection revealed the Site to be largely vacant agricultural land a vacant residence. The residence located at 3068 F Road appears to be constructed of materials that may contain asbestos. There are three outbuildings, a house, and indications that horses have been kept at the Site. A cistern is located north of the house that has been filled in. A small debris pile is located on the west property boundary north of the house that appears to be native materials. Household debris was found on the north portion of the Site.
- An interview with the current owner of the Site properties indicated that his land has been used as a residence and pasture for the past two years and that no environmental concerns were brought to his attention when he purchased the property.

Based on the results of this ETS, WALSH recommends performing a radiation survey of the Site. WALSH also recommends performing an asbestos inspection if the residence is to be remodeled or demolished.

# ENVIRONMENTAL TRANSACTION SCREEN PROPOSED SONSHINE ACRES SUBDIVISION GRAND JUNCTION, COLORADO

## 1 INTRODUCTION

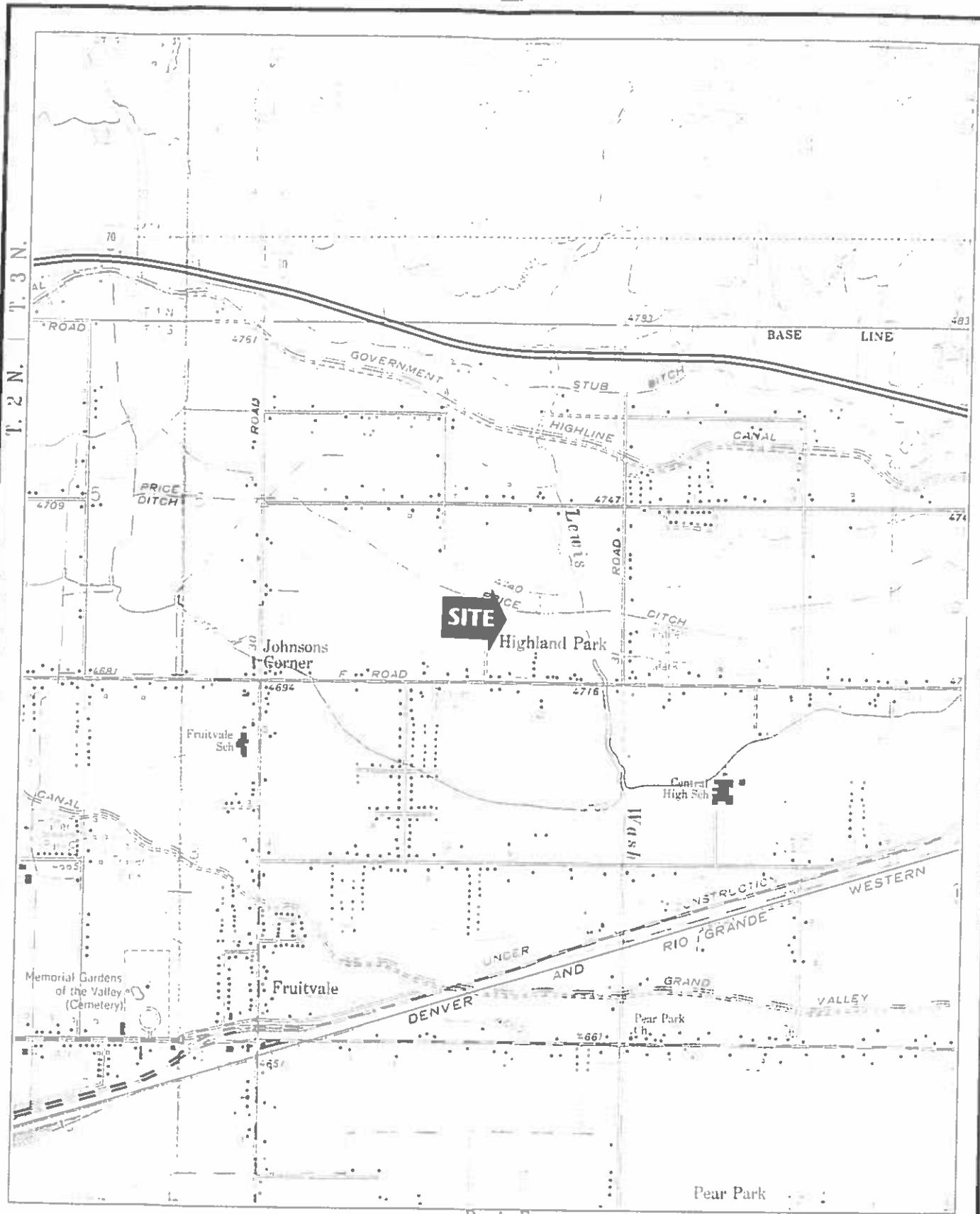
This report presents the findings of an Environmental Transaction Screen (ETS) conducted at the proposed site of Sonshine Acres Subdivision 3068 F Road, Grand Junction, Mesa County, Colorado (the Site). It was requested by Mr. Pat O'Connor of Vista Engineering and was prepared for Bob Fuller of Darter, LLC the prospective purchaser and developer. The Site consists of 6.31 acres of agricultural land, a residence, and three outbuildings. Mesa County Assessor's Office lists the current owner as Golliher, Grant and Jane Golliher. A parcel map showing the Site is included in Appendix B.

This ETS consisted of a review of available city, county, state, and federal documents; examination of historical aerial photographs, Sanborn fire insurance maps, and city directories; interviews; and a visual inspection of the Site. Sampling of suspect soils, waters, or building materials was not included in this assessment.

The procedures used in conducting this ETS meet or exceed the American Society of Testing and Materials (ASTM) standard E-1528-00 for performing ETSs as adopted on March 15, 1993 and modified in 2000 (ASTM, 2000).


## 2 SITE LOCATION AND DESCRIPTION

The Site is located at 3068 F Road approximately four miles northeast of Grand Junction, Colorado. The Site is situated in Section 4, Township 1 South, Range 1 East, of the Ute Principal Meridian (Figure 1). According to the Mesa County Assessor's office, the legal description of the Site is included in parcel # 2943-044-00-130. Information from the Mesa County Assessor's office is located in Appendix B.



**MAP SOURCE:**  
 USGS Grand Junction, CO Quadrangle  
 Date: 1962, Photorevised in 1973  
 USGS Clifton, CO Quadrangle  
 Date: 1962, Photorevised in 1973  
 USGS 7.5 minute series, topographic maps  
 Approximate Map Scale: 1" = 2,000'

R. 1 E.

 Environmental Scientists and Engineers, LLC		
Vicinity Map 3068 F Road Grand Junction, Colorado		
Job 5078-010	Date 10/02	Figure 1

## 2.1 Physical Setting

Information on the physical setting was obtained from published sources and a Site visit.

### 2.1.1 Regional and Site Geology

The Site is located within the Grand Valley geomorphic province. The Grand Valley is located north of the Uncompahgre Plateau and south of the Piceance Basin (Tweto, 1979). The Uncompahgre Plateau is an uplift of primarily Mesozoic sedimentary bedrock forming an anticline that plunges northward into the Grand Valley. The Piceance Basin is composed of relatively flat-lying Tertiary Uintah, Green River, and Wasatch Formations. These formations contain sandstones, siltstones, and shales including oil-bearing shales. Bedrock within the Grand Valley is predominantly the Cretaceous Mancos Shale, a dark-gray to black soft shale with intermittent thin sandstone beds. The upper portion of the Mancos shale grades into the cliff-forming Cretaceous Mount Garfield Formation and Sego Sandstone which grade into the Cretaceous Hunter Canyon Formation north of the Grand Valley (Cashion, 1973). The Mancos Shale overlies the Burro Canyon formation, composed of sandstone and conglomerate.

### 2.1.2 Soils

Surficial soil at the Site is listed as Billings silty clay loam, 0-2% slopes. The Billings silty clay loam is a gray, hard, massive and calcareous soil with high salinity and very slow internal drainage. This soil is typically difficult to work and has a very low erosion hazard associated with it (U.S. SCS, 1939).

### 2.1.3 Hydrology

Surface water flow in the area of the site is directed into storm drainages that flow into the Colorado River (Figure 1). Price Ditch runs through the north portion of the Site and the Government Highline Canal is located approximately one-half mile north of the Site. Lewis Wash is located approximately 1,000 feet east of the Site. The Colorado River is located about two and a half miles south Site. The Colorado River is a perennial drainage that ultimately flows into the Pacific Ocean.

Ground-water flow in the vicinity is likely to flow perpendicularly to surface contours, or towards the south. The actual ground-water flow at the Site has not been determined in the study area, and is likely to vary depending on the season and other factors such as agricultural practices.

### 2.1.4 Current Land Use

The Site is currently vacant agricultural land with the exception of the southern most portion where an older residence and three out buildings are located. The Site is located in unincorporated Mesa County.

### 3 PUBLIC RECORDS REVIEW

An environmental record search of pertinent agency records was conducted. The search focused on records pertaining to properties within one mile of the Site. Table 1 lists the agency records searched. A summary of key findings is presented below.

**TABLE 1 LIST OF AGENCY SOURCES**

Source Category	Specific Source	Search Distance	Updated by Source
National Priority List	CERCLIS Site Event List	1 mile	10/02
CERCLIS	CERCLIS Site Event List	1 mile	10/02
VCRA	CDPHE list of private cleanup sites	1 mile	10/02
RCRIS Generators	Facility List	¼ mile	10/02
RCRA Corrective Action	Corrective Action List	1 mile	10/02
RCRA TSDs	TSD Notifiers List	1 mile	10/02
Underground Storage Tank (USTs) Leaks	CDPHE Old List (leaks listed through 9/30/90)	½ mile	10/90
	OPS Updated List	½ mile	10/02
	OPS Open & Closed Leaking USTs	½ mile	10/02
	OPS Trust Fund List	½ mile	10/02
Registered USTs	OPS State UST List	¼ mile	10/02
Landfills	CDPHE Current Landfills Data-base	½ mile	10/02
	CDPHE Historic Landfills	½ mile	10/02
ERNS Spills	Federal ERNS List	Site only	10/02
Environmental Covenants	CDPHE database	¼ mile	10/02

Notes: CERCLIS = Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) Information System

VCRA = Voluntary Clean-up Remedial Act

CDPHE = Colorado Department of Public Health and Environment

RCRIS = Resource Conservation and Recovery Act (RCRA) Inventory System

ERNS = Emergency Response Notification System

TSD = Treatment, storage, and disposal

OPS = Colorado Oil and Public Safety Division

### **3.1 Federal Records**

Federal records were obtained from databases provided by the EPA and the CDPHE. These records are maintained by WALSH and updated quarterly.

#### **3.1.1 CERCLA Sites and Superfund Sites (NPL)**

CERCLA provides a system for ranking areas of known contamination for remediation. The EPA ranks the CERCLIS sites according to risk based on the Hazard Ranking Score. Higher-risk sites are placed on the National Priority List, and these sites are then considered Superfund Sites. A review of CERCLIS dated October 2002 revealed no CERCLA listings within one mile of the Site.

#### **3.1.2 RCRA/Hazardous Waste Notifiers**

The RCRA Notifiers List is an inventory of transporters; burner/blenders; and large, small, and very small quantity generators of hazardous wastes. Large quantity generators (LQGs) dispose of more than 1,000 kilograms (2,205 pounds) of hazardous waste per month. Small quantity generators (SQGs) generate less than 1,000 kilograms (2,205 pounds) per month, and conditionally exempt small quantity generators (CESQGs) generate less than 100 kilograms (220 pounds) per month. The list was searched for LQG or incinerator facilities within one mile and other facilities located within one-quarter mile of the subject property. No RCRA regulated facilities was found to be located within the search distance.

#### **3.1.3 Emergency Response Notification System (ERNS)**

Calls received by the EPA regarding hazardous materials incidents are maintained in an on-line database (ERNS). When a reportable quantity of a hazardous substance is released, the National Response Center must be notified within 24 hours. No ERNS listings were found within one-quarter mile of the Site. Several ERNS sites were not locatable based on the provided information.

#### **3.1.4 Other Environmental Records**

Other EPA sources that were reviewed for this report include the National Pollution Discharge Elimination System (NPDES), air pollution emission permit holders (AIRS/AFS program), and the Toxic Release Inventory (TRI), a list of entities that emit more than threshold levels of certain toxic chemicals into the air. There are no NPDES or TRI facilities, and no air permits listed within one mile of the Site. None of these emissions are likely to have impacted the subject property. A map showing the Site location and lack of EPA sources is included in Appendix B.

### **3.2 State Agency Records**

State records were obtained from the CDPHE and the Oil Inspection. These records are maintained by WALSH and updated quarterly.

### **3.2.1 Colorado Department of Public Health and Environment (CDPHE)**

A radiation report was requested from the Colorado Department of Public Health and Environment (CDPHE). The CDPHE provided a survey and supporting documents that indicated that the Site was excluded from the Uranium Mill Tailings Remedial Act (UMTRA) even though uranium mill tailings were indicated at two locations at the Site. The locations were given as "near the hay stack" and "by clothesline pole" which were said to be greater than ten feet from the residence. The Site was excluded because no immediate risk was identified, however, corrective action was recommended if the affected areas use should change. Copies of the uranium mill tailings report and selected documents are located in Appendix B.

### **3.2.2 Landfill/Solid Waste Activities**

CDPHE records were searched for active and closed landfill locations within one mile. No active or historic landfills were located in either database within one mile of the Site.

### **3.2.3 Leaking Underground Storage Tanks**

Three lists compiled by the Colorado Division of Oil and Public Safety (OPS) were searched for leaking USTs located within one-half mile of the site; these are the Reported Leaking and Closed UST lists and the Trust Fund List. The first two lists identify locations where releases have been reported; where closures were conducted; or where spills, overfills, or upgrades have occurred; and where contamination or tank leaks have been reported. The Trust Fund List includes sites proposed for site evaluations and possible clean up funded by the State Leaking UST Trust Fund. Sites are placed onto the Closed UST List when the site is no longer considered contaminated.

There are no leaking UST locations within approximately one-half mile of the Site listed on any of the OPS inventory lists.

### **3.2.4 Registered Underground Storage Tanks**

A database obtained from the Colorado Division of Oil and Public Safety inventory for the State of Colorado indicate that there are no documented USTs located within approximately one-quarter mile of the Site.

## **4 Local Agency Records**

Local records are obtained by WALSH as needed for each site investigation.

### **4.1 Mesa County Health Department**

The Mesa County Health Department was contacted in order to determine if they had records of hazardous materials releases, USTs, landfills, or other environmental concerns with the property. They had no files pertaining to the Site and reported that hazardous waste records, spills, and other incidents are maintained by the Fire Department.



## 4.2 City of Grand Junction Fire Department

Environmental Specialist Drew Reekie was contacted to determine if hazardous materials, incidents, spills, or fires had occurred on or near the subject area, (letter dated October 15, 2001). At the time of this report Mr. Reekie had not responded to the letter. If further information is revealed at a later time, it will be made available to the client.

## 4.3 Historical Use Information

Several sources of historical information were consulted to develop a history of previous uses or occupancies of the property and vicinity. This information is used to identify potential adverse environmental conditions associated with such uses or occupancies.

WALSH consulted Sanborn fire insurance maps, local zoning codes, city street directories, and aerial photographs to develop a use history for this property. Although none of these sources alone provide coverage from earliest usage through the present, the combined sources provide a synopsis from approximately the 1930's.

### 4.3.1 Sanborn Fire Insurance Maps

The Sanborn Company prepared maps for fire insurance companies during the latter part of the eighteenth and early nineteenth centuries. These maps often indicate locations of USTs, ASTs, building construction, and business names. Sanborn Insurance map coverage did not extend beyond historic Grand Junction, Colorado for this area.

### 4.3.2 Aerial Photograph Review

Available historical aerial photographs were reviewed from 1937 at a scale of 1 inch = 1300, the 1959 at an unknown scale, 1983 at a scale of 1 inch = 400 feet, and 1996 at unknown scale.

The 1937 photo shows the surrounding properties as undeveloped, agricultural land. The Site has a residence fronting on F Road and what appears to be a small outbuilding located north of the residence. The scale of the photo does not allow for greatly detailed observations.

The 1959 photo shows the Site much the same as the 1937 aerial photo. There is no significant development increase at or surrounding the Site.

The 1994 photograph shows the Site with three structures located on the southernmost portion of near F Road. Large trees obscure much of the structures, and the remainder of the Site appears to be agricultural. There is significant development on all sides of the Site except for those lands furthest from major roads.

No environmentally significant findings were made during the aerial photograph review.

### 4.3.3 City Directories

A review of available city directories from 1941 to 1997 were examined at approximately five-year intervals for the subject and surrounding properties. The Site address was not found to be listed in any year prior to 1966. The Site and nearby address have been predominantly residential from the 1966 listing to the present except for Cross Orchard (3073 F Road) south of the Site.

## 5 VISUAL SITE INSPECTION AND INTERVIEWS

The subject and surrounding properties were inspected on October 18, 2001. The inspection included visual observations of the Site and surrounding land.

### 5.1 Subject Property

The Site consists of agricultural land and a residence. The residence appeared to be a single story with a loft or attic. The interior of the residence was not inspected due to its being locked. The residence has three outbuilding associated with it. The clothesline (likely the one referred to in section 3.2.1) was found to be located approximately ten feet from the house's east side. Several areas with residual hay were found throughout the south quarter of the property. An abandoned cistern is located north of the house in between the outbuildings. A steel shop building is located northwest of the house and has a floor drain in the south half of the shop's concrete slab. The drain was found to discharge into a waste irrigation ditch behind the shop. Some of the materials used in the construction of the outbuildings and house may be asbestos containing materials.

The north three quarters of the Site are vacant pasture and agricultural lands. The portion of the Site immediately north of the house shows signs consistent with horse boarding. A pile of what appears to be native dirt is located in the southwest portion of the pasture. Vacant agricultural lands lie north of Price Ditch, which is covered, and has various household materials dumped there. Most of the materials are small tree limbs and grass clippings. No other significant findings were made during the Site inspection.

### 5.2 Adjacent Properties

Residences and agricultural lands surround the Site on the north portion of the Site. Cross Orchards (3073 F Road) living history farm is located south of the Site. Residential developments are located east and west of the Site.

### 5.3 Interview

The current owners, Grant and Jane Gollhofer, were contacted on October 21, 2002 by WALSH personnel. Mr. Gollhofer stated that they have owned the Site for about one and a half years, and they purchased it from Imogene Doll (deceased). Mr. Gollhofer further stated that they rented the house and pasture. Mr. Gollhofer said that the cistern was filled in when he purchased the property. Mr. Gollhofer reported that he has no knowledge of spills, releases, or other known causes of environmental concern at that property.

## 6 TRANSACTION SCREEN QUESTIONNAIRE

Mr. Grant Gollhofer of Moran, Wyoming was contacted by phone on October 21, 2002. WALSH personnel read the questions from the transaction screen questionnaire to him and filled it out accordingly. The results of the questionnaire indicated no environmental concerns with the Site. A copy of the transaction screen questionnaire is located in Appendix C.

## 7 CONCLUSIONS AND RECOMMENDATIONS

WALSH's conclusions for this ETS are based on information provided by available public records, discussions with selected personnel and government agencies, and site conditions determined by a visual inspection. Procedures followed the American Standard for Testing and Materials (ASTM) standard E-1528-00 for performing environmental assessments. Information thus obtained indicates that activities at and near the Site may have impacted the Site. Relevant observations include:

- Review of available federal records indicates that there are no regulated facilities or releases located within one mile of the Site.
- Review of CDPHE records reveal that indications of mill tailings were found at the Site during a radiation survey in 1971. The mill tailings were indicated greater than ten feet from the residence, near a haystack and a clothesline pole. The Site was excluded from the Uranium Mill Tailings Remedial Action Program in 1986 with the recommendation that if the land use should change a corrective action or control should be considered.
- No documented landfills are located within one-half mile of the Site. No Voluntary Clean Up and Redevelopment Act sites are located within one mile of the Site. No properties with environmental covenants are located within one-quarter mile of the Site.
- No documented registered or leaking underground storage tanks within one-half mile of the Site were located in Division of Oil and Public Safety records.
- Historical records and documents indicated that the Site and surrounding properties have been agricultural and residential lands since at least 1937.
- A site inspection revealed the Site to be largely vacant agricultural land a vacant residence. The residence located at 3068 F Road appears to be constructed of materials that may contain asbestos. There are three outbuildings, a house, and indications that horses have been kept at the Site. A cistern is located north of the house that has been filled in. A small debris pile is located on the west property boundary north of the house that appears to be native materials. Household debris was found on the north portion of the Site.
- An interview with the current owner of the Site properties indicated that his land has been used as a residence and pasture for the past two years and that no environmental concerns were brought to his attention when he purchased the property.

Based on the results of this ETS, WALSH recommends performing a radiation survey of the Site to identify the locations of the previously discovered uranium mill tailings. Furthermore, WALSH recommends performing an asbestos inspection if the residence is to be remodeled or demolished.

## 9 REFERENCES

- American Society for Testing and Materials (ASTM). 1997. *Standard Practice for ESAs: Environmental Site Assessment Process*. Designation: E 1527-97.
- Cashion, W. B. 1973. Geologic and Structure Map of the Grand Junction Quadrangle, Colorado and Utah. U.S. Geological Survey Map I-736.
- Lohman, S.W. 1963. *Geologic Map of the Grand Junction Area, Colorado*. Miscellaneous Investigations Map I-404, U.S. Geological Survey.
- Tweto, Ogden. 1979. Geologic Map of Colorado.
- U. S. Soil Conservation Service. 1939. *Soil Survey of the Grand Valley, Mesa County, Colorado*.
- Whitney, J. W. 1981. Surficial Geologic Map of the Grand Junction 1 X 2 Quadrangle, Colorado and Utah. U.S. Geological Survey Map I-1289.



Environmental Scientists and Engineers, LLC

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**APPENDIX A**  
**AGENCY/PERSONAL CONTACT LIST**

## APPENDIX A

## AGENCY/PERSONAL CONTACT LIST

The following agencies/people have been contacted for this ETS conducted at 3068 F Road, Grand Junction, Colorado:

CDPHE  
HMWMD  
222 S. 6<sup>th</sup> Street, Rm. 232  
Grand Junction, Colorado  
(303) 248-7164

Mr. Drew Reekie  
Environmental Specialist  
Grand Junction Fire District  
330 South 6th Street  
Grand Junction, Colorado 81501

City of Grand Junction  
Community Development  
250 N. 5th Street  
Grand Junction, Colorado 81501

Grant Gollieher  
PO Box 315  
Moran, Wyoming 83013  
(307) 543-2015

Mr. Bob Fuller  
Grace Homes/Darter, LLC  
786 Valley Court  
Grand Junction Colorado 81505  
(970) 523-5555

Mesa County Health Department  
515 Paterson  
Grand Junction, Colorado 81501  
(303) 248-6960

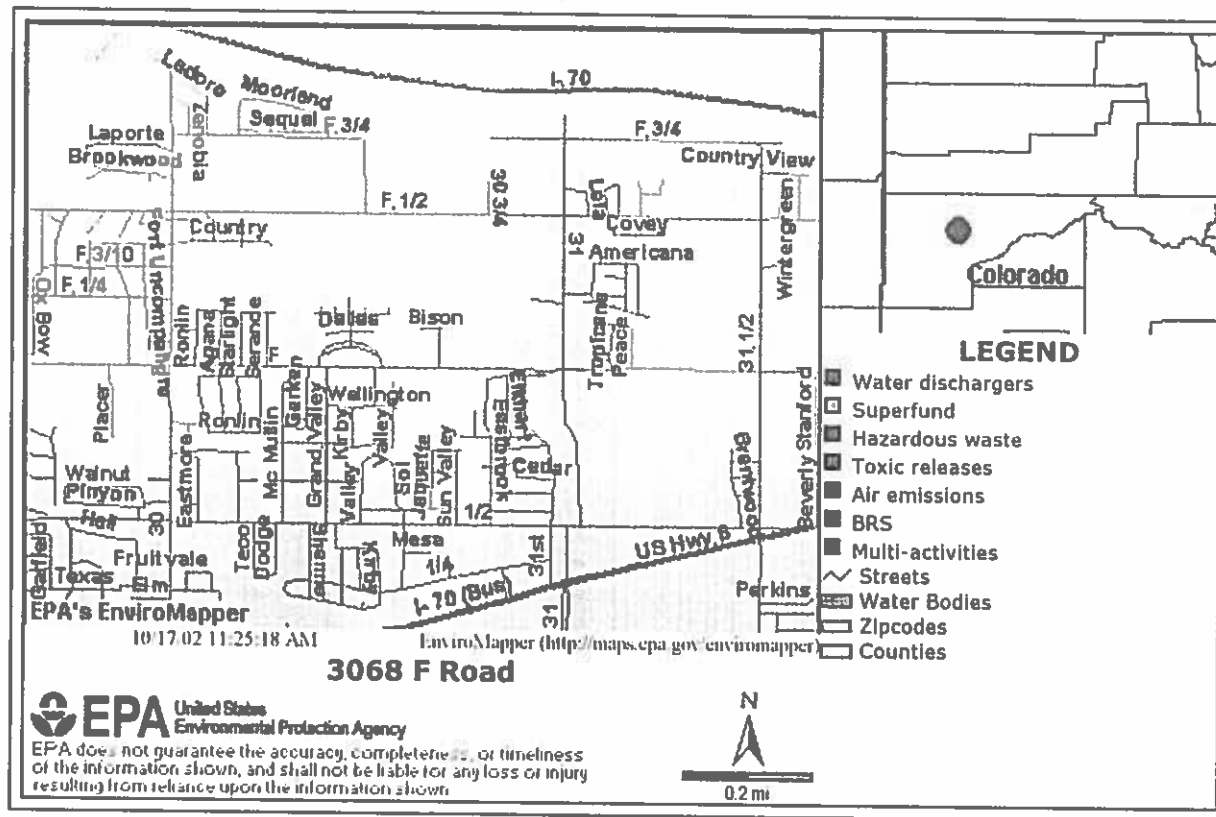
Mesa State Tomlinson Library  
1200 College Place  
Grand Junction, Colorado (970) 248-1244

Mesa County Assessor's Office  
Mesa County Surveyor's Office  
Box 20000  
Grand Junction, Colorado 81502-5003  
(970) 244-1610

Mesa County Public Library  
Main Branch  
530 Grand Avenue  
Grand Junction, CO (970) 243-4442

**APPENDIX B**  
**AGENCY CORRESPONDENCE**





**COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT**  
Hazardous Materials and Waste Management Division  
222 S. 6th St., Rm 232, Grand Junction CO 81501-2768  
(970)-248-7164

Page 1 of 1

Date: 10/17/02

**Mill Tailings Report for**

**Address:** 03068 F RD  
2943-044-00-130  
Grand Junction, Mesa County, Colorado

**Location No.:** 12946

**Requested By:** STOCKTON BOB  
WALSH ENVIRONMENTAL

**ORIGINAL SURVEY/SCREENING INFORMATION**

8/1/71 Date of survey (or screening form date)

Occupant: WISEMAN OK

Owner: WISEMAN OK

Tailings Use Tailings are Indicated Greater Than 10 Feet Away From the Structure

**Comment:** T BY CLOTHES LINE POLE+HAY STCK

**Uranium Mill Tailings Remedial Action Program (UMTRAP)**

12/31/91 Date Excluded from the Program. For further information regarding the exclusion, contact John Elmer at Mactec-ers at 248-6356

COLORADO DEPARTMENT OF HEALTH

OFFICIAL SURVEY REPORT

Property Address 155 F. P. Hill St. 8151  
Property Owner J. S. Hill  
Owner Address (if different than above) \_\_\_\_\_  
Date of Report 12-1-51

I.  No indication of uranium mill tailings has been found on this property. See Item III below.

Uranium Mill tailings are indicated to be on this property and are located:

- In yard only (by clothesline pole + hay stack)
- under or around garage or patio only
- under or around the house
- under or around the house and in yard
- under or around the building (business, church, etc.)

II. RESULTS OF THE RADIATION SURVEY IN THE STRUCTURE INDICATE:

Average gamma radiation exposure rate of \_\_\_\_\_ mR/hr. This compares with the Surgeon General's recommendation for corrective action at 0.05 mR/hr.

Average radon daughter concentration of \_\_\_\_\_ WL. This compares with the Surgeon General's recommendation for corrective action at 0.010 WL.

or

The presence of uranium tailings under occupied areas necessitating corrective action.

III. RECOMMENDATION:

You are advised to remove tailings if feasible or take other means of corrective action to reduce the radiation exposure.

Location of identified tailings and radiation levels do not warrant immediate action. However, if use of the identified area is changed in the future, removal if feasible by other corrective action or control should be considered.

Recommendations will be provided to you when measurements of radon daughter concentration have been completed.

Other radiation sources (non-tailings) have been identified on your property, such as instrument dials, ore samples, etc. Removal is suggested, if practical.

# 12 176

107

We are pleased to report to you that no indication of uranium mill tailings was found either under or against the structure in our survey of your property.

We would like, however, to inform you that tailings have been located on your property as indicated on the attached survey report. This location does not present any problem of radiation exposure to you at this time. If, at a later date, construction is considered over the indicated area, we recommend corrective action be considered.

Our survey in Grand Junction is continuing. Because of the time-consuming nature of this evaluation, we are not able to notify all property owners simultaneously of our findings. Thus, some of your friends and neighbors whose homes we have evaluated may not receive notification letters, indicating either the presence or absence of tailings, for some months.

We appreciate your cooperation in this survey. If you have any questions, please feel free to call our Grand Junction office at 243-7830.

Sincerely,

*Roy L. Cleere*

Roy L. Cleere, M.D., M.P.H.  
Executive Director



Environmental Scientists and Engineers, Inc.

July 15, 2001

Mr. Drew Reekie  
Environmental Specialist  
City of Grand Junction Fire Department  
330 S. 6th Street  
Grand Junction, Colorado 81501

Re: Environmental Transaction Screen  
3068 F Road  
WALSH Project Number 5078-010

Dear Mr. Reekie:

Walsh Environmental Scientists and Engineers, LLC (WALSH) is conducting an Environmental Transaction Screen (ETS) for Vista Engineering of Grand Junction, Colorado. The property is located at 3068 F Road and the legal description is included in parcel number 2943-044-00-130. The property is currently agricultural and residential land. I would appreciate it if you would research your records for any indications of hazardous materials, incidents/spills, or fires at this property.

Thanks for your assistance in this matter. If you have any questions, please don't hesitate to contact me at (970) 241-4636.

Sincerely,

Robert A. Stockton  
Environmental Scientist

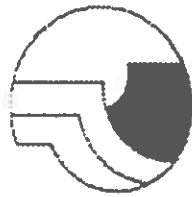
Copy to: files

Western Slope Division:

255 Main Street, Grand Junction, Colorado . 81501-7803 . Phone (970) 241-4636 . FAX (970) 241-4312 . walshenv.com

Corporate Office:

4888 Pearl East Circle, Suite 108, Boulder, Colorado . 80301-2475 . Phone (303) 443-3282 . FAX (303) 443-0367



# Mesa County

## Property Search Results *(Continued)*

The Mesa County Assessor's Office makes every effort to collect and maintain accurate data. However, the Mesa County Assessor's Office is unable to warrant any of the information contained herein.

<b>Owner's Name:</b>	GOLLIHER, GRANT and JANE GOLLIHER
<b>Mailing Address:</b>	PO BOX 315 MORAN, WY 83013-0315
<b>Parcel Identifier:</b>	2943-044-00-130
<b>Associated Par:</b>	
<b>Legal Description:</b>	E 12.5A OF SW4 SE4 SEC 4 1S 1E EXC E 248FT LYING S OFN LI PRICE DITCH SAID PARCEL DESC IN B-1019 P-747 +ALSO EXC S 50FT FOR CO ROAD
<b>Property Address:</b>	3068 F RD
<b>NeighborHood:</b>	Econ 30 M+B Nbhd 1
<b>Land Unit 1:</b>	
<b>Schedule Type:</b>	IRRIGATED LAND
<b>Units:</b>	6.31
<b>Unit Type:</b>	Acres
	<b>Building Characteristics</b> (Including Drawings and Information)

---

## Tax Information

Select one and then click on an area of the map

Zoom In Zoom Out Pan Identify Parcel Refresh

**Incorporated Areas**  
Select Items to Draw:

- Roads
- Road Names
- BLM Lands
- State Lands
- Parcel Lines
- Township
- Sections

New Search

Enter a Parcel Number to view detailed information

**Parcel Number:**  
**Address:**



# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 5th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

<input type="checkbox"/> Subdivision Plat/Plan - Simple	<input type="checkbox"/> Site Plan Review - Major	<input type="checkbox"/> Concept Plan
<input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary	<input type="checkbox"/> Site Plan Review - Minor	<input type="checkbox"/> Minor Change
<input type="checkbox"/> Subdivision Plat/Plan - Major Final	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Planned Development - ODP	<input type="checkbox"/> Vacation, Right-of-Way	<input type="checkbox"/> Revocable Permit
<input type="checkbox"/> Planned Development - Preliminary	<input type="checkbox"/> Vacation, Easement	<input type="checkbox"/> Variance
<input type="checkbox"/> Planned Development - Final	<input type="checkbox"/> Extension of Time	
<input checked="" type="checkbox"/> Annexation/Zone of Annexation	<input type="checkbox"/> Rezone	<input type="checkbox"/> Growth Plan Amendment

From: CO RSE-4      From: \_\_\_\_\_      From: \_\_\_\_\_  
To: CITY      To: \_\_\_\_\_      To: \_\_\_\_\_

Site Location: 3068 F Road

Site Tax No.(s): <u>2943-044-00-130</u>	Site Acreage/Square footage:	Site Zoning:
--	------------------------------	--------------

Project Description:

Grant Gollither Jane Gollither Property Owner Name	Darter, LLC Developer Name	Vista Engineering Corp. Representative Name
P.O. Box 315 Address	786 Valley Court Address	2777 Crossroads Blvd. Address
Moran, WY 83013-0315 City/State/Zip	Grand Jct., CO 81505 City/State/Zip	Grand Jct., CO 81506 City/State/Zip
Business Phone No.	(970) 523-5555 Business Phone No.	(970) 243-2242 Business Phone No.
E-Mail	E-Mail	banner@wic.net E-Mail
Fax Number	523-0103 Fax Number	(970) 243-3810 Fax Number
Contact Person	Bob Fuller Contact Person	David Chase Contact Person
Contact Phone No.	Contact Phone No.	(970) 243-2242, ext. 202 Contact Phone No.

Note Legal property owner is owner of record on date of submittal. We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

David Chase Vista Engineering      10-10-02  
Jane Gollither jane.gollither      10-4-02

Signature of Person Completing Application      Date

Jane Gollither jane.gollither      10-4-02  
Required Signature of Legal Property Owner(s) - attach additional sheets if necessary      Date



**APPENDIX C**  
**TRANSACTION SCREEN QUESTIONNAIRE**

**WALSH ENVIRONMENTAL TRANSACTION SCREEN QUESTIONNAIRE** DATE: \_\_\_\_\_  
 (to be completed by Owner or Tenant of the Property)

Description of Site: Address including zip code and county.

**THIS QUESTIONNAIRE WAS COMPLETED BY:**

Name: Grant Golliver  
 Firm (Title): -  
 Address: PO Box 315 Moran, WY 83013  
 Phone No.: (307) 543-2015

QUESTION	OWNER	OCCUPANT (if applicable)	Observed During Site Visit	Notes/Comments
1. Is the Property or any Adjoining Property used for any industrial use?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
2. To the best of your knowledge, has the Property or any Adjoining Property been used for any industrial use in the past?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
3. Is the Property or any Adjoining Property used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
4. To the best of your knowledge, has the Property or any Adjoining Property been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
5. Are there currently, or to the best of your knowledge have there been previously, any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of greater than 5 gallons in volume or 50 gallons in the aggregate, stored on or used at the Property or at the facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No <input checked="" type="radio"/> Unknown <input type="radio"/>	

QUESTION	OWNER	OCCUPANT (if applicable)	Observed During Site Visit	Notes/Comments
6. Are there currently, or to the best of your knowledge have been previously, any industrial drums (typically 55-gallon) or sacks of chemicals located on the Property or at the facility?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes No Unknown	One empty 55 gal drum near building, looks like it was here.
7. Has Fill Dirt been brought onto the Property which originated from a contaminated site or which is of an unknown origin?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes No Unknown	Small amount of soil waste dumped in area previously.
8. Are there currently, or to the best of your knowledge have there been previously, any pits, ponds, or lagoons located on the Property in connection with waste treatment or waste disposal?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	
9. Is there currently, or to the best of your knowledge has there been previously, any stained soil on the Property?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes No Unknown	Stained soil in area.
10. Are there currently, or to the best of your knowledge have there been previously, any registered or unregistered storage tanks (above or underground) located on the Property?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	
11. Are there currently, or to the best of your knowledge have there been previously, any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the Property or adjacent to any structure located on the Property?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	
12. Are there currently, or to the best of your knowledge have there been previously, any flooring, drains, or walls located within the facility that are stained by substances other than water or are emitting foul odors?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	
13. If the Property is served by a private well or non-public water system, have contaminants been identified in the well or system that exceed guidelines applicable to the water system or has the well been designated as contaminated by any government environmental/ health agency?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes No <input checked="" type="radio"/> Unknown	
14. Does the Owner or Occupant of the Property have any knowledge of environmental liens or governmental notification relating to past or current violations of environmental laws with respect to the Property or any facility located on the Property?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	
15. Has the Owner or Occupant of the Property been informed of the past or current existence of hazardous substances or petroleum products or environmental violations with respect to the Property or any facility located on the Property?	Yes <input checked="" type="radio"/> No Unknown	Yes No Unknown	Yes <input checked="" type="radio"/> No Unknown	

QUESTION	OWNER			OCCUPANT (if applicable)			Observed During Site Visit			Notes/Comments
16. Does the Owner or Occupant of the Property have any knowledge of any environmental site assessment of the Property or facility that indicates the presence of hazardous substances or petroleum products on, or contamination of, the Property or recommended further assessment of the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
17. Does the Owner or Occupant of the Property know of any past, threatened, or pending lawsuits or administrative proceedings concerning a release or threatened release of any hazardous substance or petroleum products involving the Property by any Owner or Occupant of the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
18. Does the Property, or land adjacent to the property, discharge wastewater other than storm water or into a sanitary sewer system?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
19. To the best of your knowledge, have any hazardous substances or petroleum products, unidentified waste materials, tires, automotive or industrial batteries, or any other waste materials been dumped above grade, buried, and/or burned on the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
20. Is there a transformer, capacitor, or any hydraulic equipment for which there are any records indicating the presence of PCBs?	Yes	No	<input checked="" type="radio"/> Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
21. If there are transformers or hydraulic equipment, have they ever leaked onto the Property or adjacent properties?	Yes	No	<input checked="" type="radio"/> Unknown	Yes	No	Unknown	Yes	No	<input checked="" type="radio"/> Unknown	

Copies of the completed questionnaire have been mailed or delivered to:

Included in WALSH report # 5078-010

Preparer represents that to the best of the preparer's knowledge, the above statements and facts are true and correct and to the best of the preparer's actual knowledge no material facts have been suppressed or misstated.

Signature: R/S FOR: GRANT Golliver Date: 10/21/2002

## **APPENDIX D**

# **QUALIFICATIONS OF REPORT PREPARERS**

## **CORPORATE CREDENTIALS**

Walsh Environmental Scientists and Engineers, Inc. (WALSH) is a full-service, multi-disciplinary environmental consulting firm providing environmental and analytical services nationwide. Founded in 1979 by James P. Walsh, the firm presently employs more than 60 scientists and engineers, including professionals with Masters Degrees and Ph.D. Degrees. With three offices in two states, WALSH has established a reputation for quality and innovation by successfully completing complex environmental projects.

WALSH consists of a diverse group of highly-qualified and experienced professional personnel with advanced expertise in environmental engineering, geology, geochemistry, analytical chemistry, hydrology, soil science, water science, industrial hygiene and safety, and computer technology.

With more than 1,000 satisfied clients in 21 states, and 30 foreign nations, from small business owners to major oil companies, WALSH emphasizes personalized service provided by a highly motivated senior professional staff.

### **Environmental Science and Engineering**

WALSH is dedicated to accurately assessing and resolving complex environmental problems in an efficient and cost-effective manner. Our practical approach to managing the application of remediation technologies maximizes the company's ability to accomplish the goals of its clients.

The company's environmental services include:

- Phase I and Phase II Environmental Site Assessments
- "Superfund" and Hazardous Waste Site Investigations
- Underground Storage Tank Removal and Remediation
- Soil Boring, Logging, and Sampling
- Installation of Ground-Water Monitoring Systems
- Ground-Water and Surface Water Sampling
- Laboratory Testing of Soil and Ground-Water Samples
- Contaminant Characterization
- Solid Waste Landfill Permitting and Closure
- Computer Modeling of Environmental Systems
- Environmental Impact Assessments/Statements
- Expert Witness and Litigation Support

#### KEY EXPERTISE

- ✓ Environmental Site Assessments
- ✓ Soil, Ground-Water, and Asbestos Investigations and Remediation
- ✓ Industrial Hygiene
- ✓ Hazardous Waste Handling and Disposal
- ✓ Permitting

#### EDUCATION AND CERTIFICATIONS

M.A., Geology and Environmental Sciences  
B.A., Environmental Engineering  
Certified Hazardous Materials Manager (IHMM)  
Certified Asbestos Inspector  
Certified Professional Geologist #8861  
Wyoming Registered Professional Geologist #3325  
Colorado Oil & Public Safety Reg. Cons. #5078  
OSHA 40-hour Supervisor

#### EXPERIENCE SUMMARY

Mr. Baltzer has 21 years of professional experience including 10 as a soil geologist and Quaternary tectonics specialist, and 11 as an environmental consultant. He has performed environmental and geologic investigations on hundreds of sites, has prepared written reports for most of these, and has delivered oral presentations on several dozen projects. In addition, Mr. Baltzer has been a guest and substitute lecturer for the Mesa State College Environmental Restoration Program since 1993.

airborne lead, dust, sulfuric acid, radon, mold, VOCs, asbestos and other agents. He also has performed exhaust gas measurements at manufacturing facilities.

#### KEY PROJECTS

*Environmental Site Assessments.* Mr. Baltzer has produced over 200 ESAs on industrial, multi-family, retail, warehouse, vacant, and other properties.

These ESAs, which follow the American Standards for Testing and Materials guideline, have revealed hidden contamination of various types. He performs level two site assessments and accurately quantifies environmental contamination.

*Voluntary Cleanup.* Mr. Baltzer has cleaned up abandoned mines, spill sites, and a salvage yard under Colorado's Voluntary Cleanup Program (VCUP). The VCUPs defined remediation that was cost-effective, thorough, and approved by the State and EPA.

#### *Hazardous and Special Waste Management.*

Mr. Baltzer arranges and ensures proper remediation, handling, and disposal of hazardous wastes. Waste removal projects have included wastes of unknown origin and content.

*Permitting.* Mr. Baltzer has prepared environmental permits for storm water discharge, dewatering, demolition, mine reclamation, and landfills.

*Asbestos Inspections.* Mr. Baltzer has performed dozens of asbestos inspections of structures strictly following state and AHERA protocols. He has managed all types of asbestos-containing materials, focusing on identifying hazards, yet eliminating some suspect materials from abatement. Mr. Baltzer has worked with CDPHE to minimize abatement costs, and made recommendations for handling asbestos-containing materials resulting in substantial cost savings for his clients.

*Other Environmental Projects.* Other projects Mr. Baltzer has performed involve the application of environmental regulations, geologic site investigations, groundwater monitoring, and remote sensing interpretations. He also conducts subsurface investigations using exploratory excavations, drilling, and geophysical techniques; and has operated and maintained groundwater and soil remediation facilities. He performs asbestos inspections and is an industrial hygienist. He designs and installs radon mitigation systems. He has operated and maintained numerous remediation systems including soil vapor extraction, air stripping, and other technologies.

#### *Industrial Hygiene and Health and Safety.*

Mr. Baltzer has performed numerous health and safety functions. In addition to preparing dozens of site-specific Health and Safety Plans, he has performed or managed health and safety projects. He performed a sound survey at an UNTRA disposal cell, and performs air-monitoring studies using personal and ambient air monitors. These tests have measured

#### EMPLOYMENT HISTORY

District Manager, WALSH, 1993-present;  
Environmental Scientist 1991-1993  
Engineer, Enpro Consulting Group, Inc., 1990-1991  
Geologist, State University of New York, 1988-1990  
Geologist, Michael W. West and Assoc., 1986-1988  
Geologist, U.S. Bureau of Reclamation, 1981-1985

#### PROFESSIONAL ASSOCIATIONS

American Institute for Professional Geologists  
(AIPG) Associate Editor  
Vice Chair, Mesa County Local Emergency Planning  
Committee  
Member, Mesa State College Environmental  
Restoration Education Advisory Committee

#### KEY EXPERTISE

- ✓ Remediation Systems Installation
- ✓ Soil, Ground-Water Investigations and Remediation
- ✓ Data Collection and Interpretation
- ✓ Environmental Site Assessments

#### EDUCATION AND CERTIFICATIONS

B.S., Environmental Restoration and Hazardous Waste Management, Mesa State College, 2000  
OSHA Health and Safety Training

---

#### EXPERIENCE SUMMARY

Mr. Stockton has eighteen months of experience as an environmental consultant. He can perform all phases of environmental site investigations, remediation, and waste disposal. He has installed remediation wells and systems for the clean up of petroleum products. In addition, he has overseen subcontractors for the completion of various remediation and monitoring projects. He has supervised and managed the environmental, health, and safety issues during a petroleum remediation project.

Mr. Stockton's primary responsibility at WALSH is the installation of a complex air sparge-soil vapor extraction system for the remediation of petroleum products in soil and ground water.

#### Key Projects

*Environmental Site Remediations.* Mr. Stockton is installing an air sparging and soil vapor extraction system for the remediation of petroleum contaminated soil and groundwater in a high profile location. He has also assisted on another petroleum contaminated site with the maintenance and operation of a soil vapor extraction and thermal oxidation remediation system.

*Environmental Site Investigations.* Mr. Stockton has performed numerous environmental site investigations and remediation projects, including obtaining ground water, air, surface water, soil, and waste samples.

*Site Clean-up.* Mr. Stockton has supervised and managed the environmental, health, and safety issues during a hazardous spill project. Successful completion of the project required that Mr. Stockton determine transportation methods and determine proper testing and disposal practices for potentially-hazardous wastes.

Additional skills that Mr. Stockton posses include:

- surveying and mapping
- field documentation and instrumentation
- hazardous waste profiling and manifesting
- historical record searches
- data interpretation.

#### EMPLOYMENT HISTORY

WALSH, May 2000 to present.  
Office Depot, June 1998 to January 2000.  
Sprint Express, 1993 to 1998.  
US Army, 1987 to 1993.



Kori

Pam Fults  
434-9675

Please call  
when you have  
received revised  
plans for  
Surprise Acres  
subdivision

Thanks



# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 6th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision Plat/Plan - Simple                       | <input type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan          |
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change          |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final                  | <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Change of Use         |
| <input type="checkbox"/> Planned Development - ODP                            | <input type="checkbox"/> Vacation, Right-of-Way   | <input type="checkbox"/> Revocable Permit      |
| <input type="checkbox"/> Planned Development - Preliminary                    | <input type="checkbox"/> Vacation, Easement       | <input type="checkbox"/> Variance              |
| <input type="checkbox"/> Planned Development - Final                          | <input type="checkbox"/> Extension of Time        |  |
| <input checked="" type="checkbox"/> Annexation/Zone of Annexation             | <input checked="" type="checkbox"/> Rezone        | <input type="checkbox"/> Growth Plan Amendment |

From: \_\_\_\_\_

County From: RSF-4

From: \_\_\_\_\_

To: \_\_\_\_\_

To: City RSF-4

To: \_\_\_\_\_

**Site Location:**

3068 F Road

**Site Tax No.(s):**

2943-044-00-130

**Site Acreage/Square footage:**

6.288 AC. +/-

**Site Zoning:**

Rezone to City RSF-4

**Project Description:**

20 Single-family lots

CPS Enterprises, LLC

Property Owner Name

CPS Enterprises, LLC

Developer Name

Vista Engineering, Corp.

Representative Name

P.O. Box 561

Address

P.O. Box 561

Address

2777 Crossroads Blvd.

Address

Telluride, CO 81435

City/State/Zip

Telluride, CO 81435

City/State/Zip

Grand Jct., CO 81506

City/State/Zip

(970) 728-9909

Business Phone No.

(970) 728-9909

Business Phone No.

(970) 243-2242

Business Phone No.

jhconst@rmi.net

E-Mail

jhconst@rmi.net

E-Mail

banner@wic.net

E-Mail

(970) 728-9865

Fax Number

(970) 728-9865

Fax Number

(970) 243-3810

Fax Number

James Hughes

Contact Person

James Hughes

Contact Person

Patrick O'Connor

Contact Person

(970) 728-9909

Contact Phone No.

(970) 728-9909

Contact Phone No.

(970) 243-2242, ex. 204

Contact Phone No.

**Note** Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

[Signature]  
Signature of Person Completing Application

Date

[Signature]  
Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

4-23-03

CITY OF GRAND JUNCTION  
COMMUNITY DEVELOP  
250 NORTH 5TH STREET  
GRAND JUNCTION, CO 81501

VISTA ENGINEERING, CORP.  
PATRICK O'CONNOR  
2777 CROSSROADS BLVD  
GRAND JUNCTION, CO 81506

DIANA L WHALEN  
AMY J LAMBERT  
3061 F 1/2 RD  
GRAND JUNCTION, CO 81504-5546

GENE W BABEL  
AUDREY B BABEL  
601 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

JAMES R BOWE  
607 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

WESLEY J BARCUS  
KAREN A BARCUS & B A  
613 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

JOAN HALEY  
602 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

RODNEY A DURAN  
SANDRA K DURAN  
608 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

SHAWN PAUL MOORE  
NADYA A  
614 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

JAMES O DIDIER  
PAULA L LYNCH  
3077 F 1/2 RD  
GRAND JUNCTION, CO 81504-5546

CITY OF GRAND JUNCTION  
WENDY - COMM DEV  
250 NORTH 5TH STREET  
GRAND JUNCTION, CO 81501

MAX STERLING  
3064 F RD  
GRAND JUNCTION, CO 81504-4210

RICHARD W FULTS  
3066 F RD  
GRAND JUNCTION, CO 81504-4210

DANIEL A SITES  
JANELL M SITES  
603 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

BISON HOLDING TRUST % D  
CARPA  
4401 CONNECTICUT AVE NW LBBY  
A  
WASHINGTON, DC 20008-2358

JERRY C MORGAN  
KATHRYN D  
615 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

LEONARD I TURNER  
RUTH E  
604 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

ELSIE E SPEER  
610 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

ARTHUR D EDWARDS  
MARGARET E EDWARDS  
616 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

MARY T CARTER  
JAMES J CARTER JR  
630 NOBLE CT  
GRAND JUNCTION, CO 81504-6987

CPS ENTERPRISES, LLC  
JAMES HUGHES  
P.O. BOX 561  
TELLURIDE, CO 81435

GRANT GOLLIHER  
JANE GOLLIHER  
PO BOX 315  
MORAN, WY 83013-0315

MESA COUNTY VALLEY SCHOOL  
DIST  
2115 GRAND AVE  
GRAND JUNCTION, CO 81501-8007

ORVILLE A TRAVIS  
VERLA E  
605 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

ROGER AMES  
LADONNA AMES  
3072 BISON AVE  
GRAND JUNCTION, CO 81504-4237

ALVA L DOTSON  
DELLA A  
617 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

RONALD D STANFIELD  
VALERIE B STANFIELD  
606 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

JERRY L MILLER  
JOANN H  
612 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

ERIC TODD PETERSEN  
618 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

REZA A SHAHNOOSHI  
TRUDI L HOFFMAN  
628 NOBLE CT  
GRAND JUNCTION, CO 81504-6987

DONALD R ALLERHEILIGEN  
JUDITH HUMPHRIES ALL  
3061 NOBLE CT  
GRAND JUNCTION, CO 81504

DIANE F CARLSON  
3059 NOBLE CT  
GRAND JUNCTION, CO 81504-6983

JOE L DAVIS  
ELIZABETH J DAVIS  
602 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

ROBERT E GANT  
PEARL E GANT -TRUSTE  
PO BOX 57  
GRAND JUNCTION, CO 81502-0057

CARL M KERNS  
ROSITA M KERNS  
606 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

PATRICIA M BRADSHAW  
HERBERT J PAVLISICK  
658 E PAGOSA DR  
GRAND JUNCTION, CO 81506-6015

ELLEN LAVERNE PENBERTHY  
610 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

ROBERT R JENKINS  
GLADYS L JENKINS  
612 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

KATHLEEN R MCGIRR  
MAUREEN K BEYER  
614 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

VERA WELLS  
616 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

BEATRICE KAYDEN  
MICHAEL L & DEBRA K  
618 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

RITA D'AMICO  
LIVING TRUST  
618 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

BRUCE J MERTES  
LILLIAN A & G MERTES  
620 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

ROBERTS FAMILY TRUST  
620 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

BETTY LOU GOWING  
622 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

FRANK M WALLACE  
LA VERA R WALLACE  
622 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

LOIS M WILLIAMS  
624 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

ALAN GILLIDETTE  
PATRICIA A GILLIDETT  
2873 KATHY JO LN  
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October 11, 2002

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Re: Subsurface Soils Exploration  
Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

Project Description: This report presents the results of our geotechnical evaluation performed to determine the general subsurface conditions of the site applicable to construction of a small residential subdivision containing approximately 18 lots. A vicinity map is included in the Appendix of this report.

We understand that the proposed structures will probably consist of single story and possibly two story, framed structures with the possibility of half basement with concrete floor slabs on grade and crawl space or slab on grade type construction. Grand Junction Lincoln DeVore has not seen a full set of building plans, but structures of this type typically develop wall loads on the order of 600 to 2000 plf and column loads on the order of 4 to 15 kips.

The characteristics of the subsurface materials encountered were evaluated with regard to the type of construction described above. Recommendations are included herein to match the described construction to the soil characteristics found. The information contained herein may or may not be valid for other purposes. If the proposed site use is changed or types of construction proposed, other than noted herein, Grand Junction Lincoln DeVore should be contacted to determine if the information in this report can be used for the new construction without further field evaluations.

Project Scope: The purpose of our exploration was to evaluate the surface and subsurface soil and geologic conditions of the site and, based on the conditions encountered, to provide recommendations pertaining to the geotechnical aspects of the site development as previously described. The conclusions and recommendations included herein are based on an analysis of the data obtained from our field explorations, laboratory testing program, and on our experience with similar soil and geologic conditions in the area.

Field Exploration and Laboratory Testing: A field evaluation was performed on 9-24-02 and 9-25-02, and consisted of a site reconnaissance by our geotechnical personnel and the drilling of 3 shallow exploration borings. These 3 exploration borings were drilled within the proposed building envelopes near the locations indicated on the Boring Location Plan. The exploration borings were located to obtain a reasonably good profile of the subsurface soil conditions. All exploration borings were drilled using a CME 45-B, truck mounted drill rig with continuous flight auger to depths of approximately 13 to 15 feet. Samples were taken with a standard split spoon sampler, thin-wall Shelby Tubes and by bulk methods. Logs describing the subsurface conditions are presented in the attached figures.

The following laboratory tests were performed on representative soil samples to determine their relative engineering properties.

- ASTM D-2487 Soil Classification
- ASTM D-2435 One Dimensional Consolidation
- ASTM D-4546 One Dimensional Swell or Settlement Potential for Cohesive Soils
- ASTM D-2937 In-Place Soil Density
- ASTM D-2216 Moisture Content of Soil
- ASTM D-2844 R-Value of Soils (Hveem-Carmany)

Darter, LLC

Subsurface Soils Exploration, Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

October 11, 2002

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Tests were performed in accordance with test methods of the American Society for Testing and Materials or other accepted standards. The results of our laboratory tests are included in this report. The in-place soil density, moisture content and the standard penetration test values are presented on the attached drilling logs.

This letter contains general recommendations for construction of a residential foundation, but is not a foundation design and cannot be used as such. Our conclusions and recommendations for this site are presented below.

**Excavation Observation:** Grand Junction Lincoln DeVore personnel should be contacted to observe the foundation soils after the excavation has been completed, and prior to placing forms or concrete. The purpose of this is to observe the type and condition of the foundation soils throughout the excavation. If the soils are found to differ from those encountered in our exploration borings or appear to be unstable, additional recommendations may be required, prior to construction of the foundations.

**Soil Classification:** The surface soils on this site consist of a series of silty clay and sandy clay soils which are a product of mud flow/debris flow features which originate on the south-facing slopes of the Bookcliffs. These mud flow/debris flow features are a small part of a very extensive mud flow/debris flow complex along the base of the Bookcliffs and extending to the Colorado River. Utilizing recent events and standard evaluation techniques, this tract is not considered to be within with an active debris flow hazard area.

The surface soils are an erosional product of the upper Mancos Shale and the Mount Garfield Formations which are exposed on the slopes of the Bookcliffs. The soils contained within these mud flow/debris flow features normally exhibit a metastable condition which can range from very slight to severe. Metastable soil is subject to internal collapse and is very sensitive to changes in the soil moisture content. Based on the field and laboratory testing of the soils on this site, the severity of the metastable soils can be described as slight to occasionally moderate.

The principle Soil Type encountered on this site was classified as a sandy silt (ML) under the Unified Classification System. These soils are actually very stratified, with some thin strata of silty sand, low plastic silt and very silty, sandy clay. The majority of these strata are less than 1/2 inch thick. The Standard Penetration Tests ranged from 26 blows per foot to less than 1 blow per 18 inches. Penetration tests of this magnitude indicate that the soil ranges from stiff to very soft and of medium to low density. The moisture content varied from 4.2% to 24.3%, indicating a damp to dry soil in the upper strata to a wet to saturated soil at and near the water table. This soil contains strata which are slightly plastic and the soil profile, as a whole, is sensitive to changes in moisture content. Some strata of these soils will tend to expand upon small moisture increases. Expansion/Consolidation tests using the Consolidation Apparatus, ASTM D-4546, Method C, were performed on relatively undisturbed samples of the soil, using slightly damp porous stones. Expansive pressures on the order of 420 psf, at constant volume were found to be typical, prior to sample inundation. With subsequent decreased moisture, these soils will tend to shrink, with some cracking upon desiccation. This material will also consolidate upon saturation or excessive loading. Upon test saturation, collapse of .05% to .5 % was measured, with 1.75% consolidation occurring at an applied load of 4100 psf. Upon further test loading, 2.94% consolidation occurred at an applied load of 8200 psf. If recommended bearing values are not exceeded, such settlement will remain within tolerable limits. The allowable maximum bearing value was found to be on the order of 4000 psf by the consolidation test. In our experience, we recommend that a maximum bearing value of 3000 psf be utilized, due to the possible presence of unstable soils when wet or saturated. A minimum dead load of 400 psf will be required.

These very stratified soils may be quite sensitive to excessive reworking or traffic loads during the construction phase if wetted. Such wetting may occur during periods of precipitation or may be the result of ground water conditions. These soils typically exhibit excessive 'pumping' during excavation or other periods of heavy or repeated construction traffic.



The thickness of these alluvial soils is believed to be in excess of 25 feet. These alluvial soils are underlain by the Mancos Shale Formation, which is considered to be bedrock in this area. Some thin deposits of sandy gravels and cobbles of the Ancient Colorado River Terrace have been encountered immediately beneath these fine grained alluvial soils and on top of the Mancos Shale. The presence of these coarse grained sandy gravels and cobbles has not been confirmed on this site.

Man-made Fill:

The soils encountered in our test borings appear to be native to the site. All building foundations must penetrate any man-made fills which are present at the site at this time, as well as any fills which result from the excavation process. Careful examination of the open excavation will be necessary to determine the presence or absence of man-made fills. The open excavation must be examined prior to the placement of concrete to establish that materials of proper design bearing capacity have been exposed and that no soft spots or debris are present in the foundation area. A 24 hour notice is required for all field examinations to enable Grand Junction Lincoln DeVore to schedule personnel and provide service when needed.

Soil Moisture Conditions:

A free water table came to equilibrium during drilling at 10 to 12 feet below the present ground surface in two of the exploration borings. This is probably very close to the true phreatic surface rather than a perched water table. In our opinion the subsurface water conditions shown are a permanent feature on this site. The depth to free water would be subject to fluctuation on this site depending upon external environmental effects.

Because of capillary rise, the soil zone within a few feet above the free water level identified in the borings will be quite wet. Pumping and rutting may occur during the excavation process, particularly if the bottom of the foundations are near the capillary fringe. Pumping is a temporary, quick condition caused by vibration of excavating equipment on the site. If pumping occurs, it can often be stopped by removal of the equipment and greater care exercised in the excavation process. In other cases, geotextile fabric layers can be designed or cobble sized material can be introduced into the bottom of the excavation and worked into the soft soils. Such a geotextile or cobble raft is designed to stabilize the bottom of the excavation and to provide a firm base for equipment.

Our experience in this area of the Fruitvale indicates the free water surface may rise to a seasonal level of 5 to 10 feet below the present ground surface. Due to the relatively high rise of ground water, it is common in this area (and recommended) to minimize the depth of excavation for utilities, street improvements and foundations to 6 to 10 feet. **The use of basements is not recommended within this subdivision, however, half basement type construction may be feasible in portions of this subdivision.**

Foundation Type Recommended:

Assuming that some amount of differential movement can be tolerated, then a conventional shallow foundation system, underlain by up to 12 inches of structural fill (possible reworked native soils), placed in accordance with the recommendations contained within this report may be utilized. The foundation would consist of continuous spread footings beneath all bearing walls and isolated spread footings beneath all columns and other points of concentrated load. Such a shallow foundation system, resting on the properly constructed structural fill, may be designed on the basis of an allowable bearing capacity of 3000 psf maximum. A minimum bearing of 400 psf may be required.

Recommendations pertaining to balancing, reinforcing, drainage, and inspection are considered extremely important and must be followed. Contact stresses beneath all continuous walls should be balanced to within + or - 200 psf at all points. Isolated interior column footings should be designed for contact stresses of about 150 psf less than the average used to balance the continuous walls. The criteria for balancing will depend somewhat on the nature of the structure.

Single-story, slab-on-grade structures may be balanced on the basis of dead load only. Multi story structures may be balanced on the basis of dead load plus one half live load, for up to three stories.

If the design of the upper structure is such that loads can be balanced reasonably well or if minor amounts of differential settlement can be tolerated, a floating structural slab or raft type of foundation could be used on this site. If the slab is to be a floating structural slab, similar in appearance to the "monolithic" slab used in the Grand Junction area, the slab should be underlain by a minimum of 2 feet of structural fill, placed in accordance with recommendations contained in this report. Such a slab would require heavy reinforcing to resist differential bending. This structural slab, using the granular structural fill as part of the foundation system, could be designed assuming the top of the structural fill has a modulus of subgrade reaction of  $k=250$  pci. If large concentrated loads are located in the interior of this fill or if minor construction problems are encountered in the placement of the fill, the use of geosynthetic fabric or geogrid as part of the fill construction would significantly improve the performance of the fill and foundation system.

It is possible to design either the floating structural slab or the raft type of slab either as a solid or ribbed slab, but in either case a rimwall must be used for confinement. Any such slab must be specifically designed for the anticipated loading. Such a foundation system will settle to some degree as the softer, underlying soils consolidate, but differential movement is held to a minimum. Because the soils may settle in varying amounts, some minor cracking and heave are possible unless the slabs are specifically designed with the movement in mind.

Assuming that the low to medium density alluvial sandy silt soils are utilized for foundation bearing, the type of foundation system for individual sites in this subdivision will be dependent upon the individual building plans, structural loading and the amount of soil reworking/improvement which is undertaken. For sites in which the subgrade soils have been either reworked or over excavated, water conditioned/soaked and compacted under the supervision of a geotechnical engineer and will probably support relatively light weight residential structures, the Minimum House Foundation Standards of Mesa County will probably be adequate. Building plans which indicate that no large building loads, either distributed or concentrated, are present, are often times properly supported utilizing the Minimum House Foundation Standards. It is important the relevant tables of wall reactions, foundation wall loads and footings and piers must be used to size the foundation elements when the Minimum House Foundation Standards are utilized. It will be appropriate for a geotechnical engineer to evaluate the individual building sites either by site specific Subsurface Soils Exploration or possibly utilizing the results of an Open Excavation Observation.

Structural Fill/Soil Improvement:

For use in conjunction with a shallow foundation system, a structural fill may be recommended to replace the upper variable density soils. This structural fill may be placed in conjunction with structural fill beneath concrete slabs on grade. The existing native soils may require removed for a depth of 1 foot to 2 feet below the proposed bottom footing elevation, depending upon the site conditions and the foundation type. *The excavation/fill width is to extend at least 20 inches from the interior and exterior of the proposed foundation wall or bearing pad in contact with the fill.* Once it is felt that adequate soil removal has been achieved, it is recommended that the excavation be closely examined by a representative of Grand Junction Lincoln-DeVore to ensure that an adequate over excavation depth has indeed occurred and that the exposed soils are suitable to support the proposed structural man-made fill.

At the specific direction of the Geotechnical Engineer, it may be appropriate to extensively water soak the over-excavated portion of the site for at least 1 day, prior to the installation of any required perimeter drain and the structural fill. The purpose of this wetting or soaking is to provide initial settlement/collapse of the subgrade soils and to allow proper subgrade. This wetting or soaking must be controlled and not allowed to adversely affect nearby structures.

After any required soaking has been accomplished, the subgrade soils are to be mechanically compacted to a minimum of 86% of the soils maximum Modified Proctor dry density (ASTM D-1557) for a depth of at least 6 inches.

Once this examination has been completed, it is recommended that a coarse-grained, non-expansive, non-free draining man-made structural fill be imported to the site and placed on the properly prepared subgrade soils. Non-Expansive, Native soils may be utilized as structural fill, if specifically approved by the Geotechnical Engineer. The upper 6" to 12"(minimum) of the fill is to be a sandy gravel (minus 3/4" & GM/GW) or a gravelly sand (minus 3/4" & SM/SW). The structural fill should be placed in the overexcavated portion of this site in lifts not to exceed 6 inches after compaction. A minimum of 90% of the soils maximum Modified Proctor dry density (ASTM D-1557) must be maintained during the soil placement. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum moisture content  $\pm$  2%).

Very low expansive to non-expansive, native soils may be utilized as structural fill, if specifically approved by the Geotechnical Engineer. If these native soils have a slight expansive potential, the soils should be placed as structural fill in lifts not to exceed 6 inches after compaction. These soils must not be over compacted but, compacted wet of the soils 'optimum' moisture content. These soils should be placed at a minimum of 86% and a maximum of 92% of the soils maximum modified proctor dry density, ASTM D-1557. These soils must be placed at a moisture content conducive to the required compaction while being wet of the 'optimum' moisture content. These soils must be placed at 'optimum' moisture content or up to 4% over 'optimum' moisture content.

The granular material must be brought to the required density by mechanical means. No soaking, jetting or puddling techniques of any type should be used in placement of fill on this site. To confirm the quality of the compacted fill product, it is recommended that surface density tests be taken at maximum 2 foot vertical intervals.

It is recommended that any required perimeter drain be placed in the exterior portion of the structural fill, at the base of the fill, in order to prevent or at least minimize the collection of water in the soils and fill beneath the structure.

Reinforcing: All foundation stem walls should be designed as "grade beams" capable of spanning at least 10 feet. Where the foundation stem walls are relatively shallow in height, vertical reinforcing will not be necessary. However, in the walls retaining soil in excess of 4 feet in height, vertical reinforcing may be necessary to resist the lateral pressures (restrained case) of the soils along the wall exterior. To aid in designing such vertical reinforcing, an equivalent fluid pressure (E.F.P) on the order of 45 pcf would be appropriate for the native soils.

Floor Slabs: Non-Structural floor slabs on grade, if any, should be positively separated from all structural portions of this building and allowed to float freely. Frequent scoring (control joints) of the slabs should be provided to allow for possible shrinkage cracking of the slab. These control joints should be placed to provide maximum slab areas of approximately 200 to 360 square feet. Any man-made fill placed below floor slabs on grade should be compacted to a minimum of 90% of its maximum Modified Proctor dry density, ASTM D-1557. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum moisture content  $\pm$ 2%).

Due to the expansive nature of some strata of the underlying soils, the most desirable type of floor system to use at this site in an attempt to minimize any structural or cosmetic damage related to floor slab movement, would be a structural floor. It must be noted the slightly expansive strata are relatively dry and located in the upper portion of these soil profile. However, if it is decided to utilize a concrete slab on grade system, the following recommendations are made.

If the recommendations for structural fill in the foundation section of this report are followed beneath those areas requiring concrete slabs on grade, the majority of slight expansive properties will probably be mitigated. The use of 1 foot to 2 feet of structural fill beneath concrete slabs on grade is an acceptable mitigation.

If structural fill is not placed beneath concrete slabs on grade then, the magnitude of expansion measured of the soils on this site is such that some floor slab movement should be expected. Non-bearing partitions resting on slabs should be constructed with a minimum 1 ½ inch void space, preferably at the bottom, to allow for freedom of movement without affecting the roof or floor above (see attached suggested detail). All bearing partitions should have their own foundations. If this is a basement or multi-level type construction, stairways between floors should not be constructed as a rigid connection, but should allow for vertical movement of the floor slab. The partition wall void space is not intended to allow for all potential slab movement, but is intended to serve as an indicator of slab movement. The void space should be maintained for the life of the structure.

Where floor slabs are cast on expansive clay soils, no known method of construction will prevent all future slab movement. If the builder and future owner are willing to risk the possibility of some damage due to concrete floor slab movement, the recommendations contained herein should be carefully followed and can help minimize such damage. Any subsequent owner should be advised of the soil conditions and advised to maintain the surface and subsurface drainage, framing of partitions above floor slabs, drywall and finish work above floor slabs, etc.

Drainage and Grading:

Adequate site drainage should be provided in the foundation area both during and after construction to prevent the ponding of water and the wetting or saturation of the subsurface soils. We recommend that the ground surface around the structure be graded so that surface water will be carried quickly away from the building. The minimum gradient within 10 feet of the building will depend on surface landscaping. We recommend that paved areas maintain a minimum gradient of 2%, and that landscaped areas maintain a minimum gradient of 8%. It is further recommended that roof drain downspouts be carried at least 5 feet beyond all backfilled areas and discharged a minimum 10 feet away from the structure. **Proper discharge of roof drain downspouts may require the use of subsurface piping in some areas.** Under no circumstances should a 'dry well discharge' be used on this site, unless specifically sited by a Geotechnical Engineer. Planters, if any, should be so constructed that moisture is not allowed to seep into foundation areas or beneath slabs or pavements.

The existing drainage on the site must either be maintained carefully or improved. We recommend that water be drained away from structures as rapidly as possible and not be allowed to stand or pond near the building. We recommend that water removed from one building not be directed onto the backfill areas of adjacent buildings. We recommend that a hydrologist or drainage engineer experienced in this area be retained to complete a drainage plan for this site.

Should an automatic lawn irrigation system be used on this site, we recommend that the sprinkler heads, irrigation piping and valves be installed no less than 5 feet from the building. In addition, these heads should be adjusted so that spray from the system does not fall onto the walls of the building and that such water does not excessively wet the backfill soils.

It is recommended that lawn and landscaping irrigation be reasonably limited, so as to prevent undesirable saturation of subsurface soils or backfilled areas. Several methods of irrigation water control are possible, to include, but not limited to:

- \* Metering the Irrigation water.
- \* Sizing the irrigation distribution service piping to limit on-site water usage.
- \* Encourage efficient landscaping practices.

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Subsurface Soils Exploration, Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

October 11, 2002

Page 7

- \* Enforcing reasonable limits on the size of high water usage landscaping for each lot and any park areas.
- \* Incorporating 'xeriscaping' landscaping and irrigation techniques.

A plastic membrane placed on any Crawlspace ground surfaces may retain/trap excessive amounts of water beneath the membrane. If future moisture problems develop or are anticipated, the Foundation Design Engineer or the Geotechnical Engineer may require that the membrane be partially or completely removed from the crawlspace area.

Provided all recommendations found herein pertaining to site surface drainage, grading and soil compaction are closely followed, a perimeter foundation drain would not be required for structures with the living area above the finished ground surface around the individual structure. For fully finished basements or half basements, the use of a perimeter foundation drain would significantly reduce potential moisture related problems which can arise from subsequent area development.

Backfill: To reduce settlement and aid in keeping water from reaching beneath this building, all backfill around this building should be mechanically compacted to a minimum of 90% of its maximum Modified Proctor dry density ASTM D-1557. The only exception to this would be the components of the perimeter foundation drain, if any. All backfill should be composed of the native soils and should not be placed by soaking, jetting or puddling. All backfill placed in utility trenches around this structure or below foundation walls should be mechanically compacted to a minimum of 90% of its maximum Modified Proctor dry density ASTM D-1557. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum content  $\pm 2\%$ ).

Cement Type: Type II, Type I-II or Type II-V cement is recommended for all concrete which is in contact with the soils on this site. Calcium chloride should not be added to a Type II, Type I-II or Type II-V cement under any circumstances.

Remarks: We recommend that the bottom of all foundation components rest a minimum of 1-1/2 feet below finished grade or as required by the local building codes. Foundation components must not be placed on frozen soils.

Structural slab-on-grade (Monolithic) foundation systems typically have an effective soil cover of less than 12 inches. Under normal use, the building and foundation system radiates sufficient heat that frost heave from the underlying soils is not normally a problem. However, additional protection can be provided by applying an insulation board to the exterior of the foundation and extending this board to approximately 18 inches below the final ground surface grade. This board may be applied either prior to or after the concrete is cast and it is very important that all areas of soil backfill be compacted. Local building officials should be consulted for regulatory frost protection depths.

Seismic Data: Utilizing the criteria of the 2000 International Building Code, Section 1615 and our interpretation of figures 1615(1) and 1615(2), Structures in Grand Junction and Clifton, Colorado should be designed with **Special Response Acceleration factors**,  $S_s=0.35$  &  $S_1 = 0.08$ . Based upon our analysis of the soils which are expected to be present beneath the building foundations, the **Site Classification** is **C**. These values can be used to determine the **Values of Site Coefficient,  $F_s$  &  $F_d$** , from Tables 1615.1.2(1) & 1615.1.1(2), to calculate  **$S_{ms}$ ,  $S_{m1}$ ,  $S_{ps}$  &  $S_{p1}$**  and to determine the **Seismic Design Categories** from Tables 1616.3(1) and 1616.3(2).

Pavements: Samples of the surficial native soils that may be required to support pavements have been evaluated using the Hveem-Carmany method (ASTM D-2844) to determine their support characteristics. The results of the laboratory testing are as follows:

AASHTO Classification - A-4(4) Unified Classification - ML, silt with thin sand and silty clay strata  
 Soil Type # 1

R	=	20
Expansion @ 300 psi	=	82 psf
Displacement @ 300 psi	=	4.75

Displacement values higher than 4.00 generally indicate the soil is unstable and may require confinement for proper performance.

Traffic Counts or anticipated volumes have not been provided to Grand Junction Lincoln DeVore. We have assumed an EAL=5 for the interior, Low Volume, Residential Streets.

The 1986/94 AASHTO design procedure, recognized by the Colorado Department of Transportation, with a design life of 30 years was used, with an annual growth rate of 3%. Based upon the existing topography, the anticipated final road grades and subsurface soils conditions encountered during the drilling program, a Drainage Factor of 0.8 (1986/94 AASHTO procedure) has been utilized for the section analysis.

**Calculated Pavement Sections**

18K EAL = 5 Low Volume Residential

AC	3" or 4"
ABC	4" or use 6"
Subbase	0" or 0"
	12" Compacted Subgrade

Full Depth	AC	4"
		12" Compacted Subgrade

**PAVEMENT SECTIONS, Possible Unstable Subgrade Soils**

*Very Minor Instability, Less than 2 inch Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" of aggregate base course ABC
- on Geotextile for separation and minor reinforcement (minimum Grab Strength of 120 lbs.)
- on Reworked, Compacted Subgrade Soil

*Minor Instability, 2 to 4 inches of Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" (minimum) of aggregate base course ABC
- on Geotextile or Biaxial Geogrid for reinforcement (req. If subbase/structural fill is rutting)
- on 12" of subbase/structural fill
- on Geotextile for separation and reinforcement (minimum Grab Strength of 180 lbs.)
- on Reworked, Compacted Subgrade Soil

*Moderately Severe Instability, Over 4 inches of Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" (minimum) of aggregate base course ABC
- on Geotextile or Biaxial Geogrid for reinforcement  
(product use will depend on degree of instability)
- on 18" (minimum) of subbase/structural fill
- on Geotextile for separation and reinforcement (minimum Grab Strength of 180 lbs.)
- on Slightly Reworked, Leveled Subgrade Soil

The additional materials and effort expended in subgrade stabilization is to provide a construction platform, so the actual Road Section can be placed and compacted. The specific areas which will require placement of the Geotextile Fabric will depend on the actual conditions encountered during construction. The subgrade and road section construction should be monitored by representatives of the Geotechnical Engineer.

Geotextile Fabric for separation and minor reinforcement should be either a woven with a minimum Grab Strength of 180 lb., in the weakest direction (such as Amoco 2002 or Contech C-180 or Mirafi 500-X). If free water is encountered, Equivalent Reinforcement Strength ( minimum Grab Strength of 180 lb., in the weakest direction) can be obtained by using Amoco 4552 or Contech C-70NW or Mirafi 180N may be used for better constructability. In instances requiring only separation properties, a non-woven/needle punched Geotextile with a minimum Grab Strength of 120 lbs., in the weakest direction (such as Amoco 4506, Contech C-50NW or Mirafi 140N) may be utilized, even though it is a weaker fabric.

Biaxial Geogrid for reinforcement shall have a minimum Tensile strength @ 5% Strain of 550 lb/ft., in the weakest direction (such as Tensar BX 1100).

The imported structural Fill (Hveem-Carmany R>70 , swell not critical) is to be Granular, Medium to Coarse Grained, Very low plastic (PI<4), Non Freedraining, Compactable and within the following Gradation:

Maximum size, by screening	<u>8"</u>
Passing the #4 screen	20% - 85%
Passing the #40 screen	10% - 60%
Passing the #200 screen	3% - 15%

The maximum aggregates size may be exceeded if the contractor can provide evidence of proper compaction of the matrix material while avoiding excessive particle size segregation of the fill material or avoiding excessive overworking of the subgrade soils.

Imported Structural Fill and Aggregate Base Course (ABC) to be compacted to 90% of its maximum Modified Proctor dry density (ASTM-D-1557) at a moisture content within  $\pm 2\%$  of optimum moisture. The use of light weight tracked equipment will minimize subgrade degradation, vibratory compaction equipment is not recommended.

During the placement of any structural fill, it is recommended that a sufficient amount of field tests and observation be performed under the direction of the Geotechnical Engineer. The Geotechnical Engineer should determine the amount of observation time and field density tests required to determine substantial conformance with these recommendations.

Any areas of Fill or Subgrade instability encountered during construction are to be immediately brought to the attention of the Geotechnical Engineer, so recommendations for stabilization can be given.

The Subgrade Stabilization is normally considered effective if the imported structural fill materials are confined, if specified imported fill and specified asphalt densities are obtained and the final traffic surface is stable according to local practices. Some 'pumping and rolling' of the finish Base Course (ABC) surface is anticipated but, rutting should not occur.

## **PAVEMENT SECTION CONSTRUCTION**

### **FLEXIBLE PAVEMENT**

We recommend that the asphaltic concrete pavement meet the State of Colorado requirements for a Grade C mix. In addition, the asphaltic concrete pavement should be compacted to a minimum of 95% of its maximum Hveem density. The aggregate base coarse should meet the requirements of State of Colorado Class 5 or Class 6 material, and have a minimum R value of 78. We recommend that the base coarse be compacted to a minimum of 95% of its maximum Modified Proctor dry density (ASTM D-1557), at a moisture content within + or -2% of optimum moisture. The native subgrade shall be scarified and recompacted to a minimum of 90% of their maximum Modified Proctor day density (ASTM D-1557) at a moisture content within + or -2% of optimum moisture.

All pavement should be protected from moisture migrating beneath the pavement structure. If surface drainage is allowed to pond behind curbs, islands or other areas of the site and allowed to seep beneath pavement, premature deterioration or possibly pavement failure could result.

### **Limitations:**

This report is issued with the understanding that it is the responsibility of the owner, or his representative to ensure that the information and recommendations contained herein are brought to the attention of the individual lot purchasers for the subdivision. In addition, it is the responsibility of the individual lot owners that the information and recommendations contained herein are brought to the attention of the architect and engineer for the individual projects and the necessary steps are taken to see that the contractor and his subcontractors carry out the appropriate recommendations during construction.

The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or the works of man on this or adjacent properties. In addition, changes in acceptable or appropriate standards may occur or may result from legislation or the broadening of engineering knowledge. Accordingly, the findings of this report may be invalid, wholly or partially, by changes outside our control. Therefore, this report is subject to review and should not be relied upon after a period of 3 years.

The recommendations of this report pertain only to the site investigated and are based on the assumption that the soil conditions do not deviate from those described in this report. If any variations or undesirable conditions are encountered during construction or the proposed construction will differ from that planned on the day of this report, Grand Junction Lincoln DeVore should be notified so that supplemental recommendations can be provided, if appropriate.



Darter, LLC

Subsurface Soils Exploration, Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

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Grand Junction Lincoln DeVore makes no warranty, either expressed or implied, as to the findings, recommendations, specifications or professional advice, except that they were prepared in accordance with generally accepted professional engineering practice in the field of geotechnical engineering.

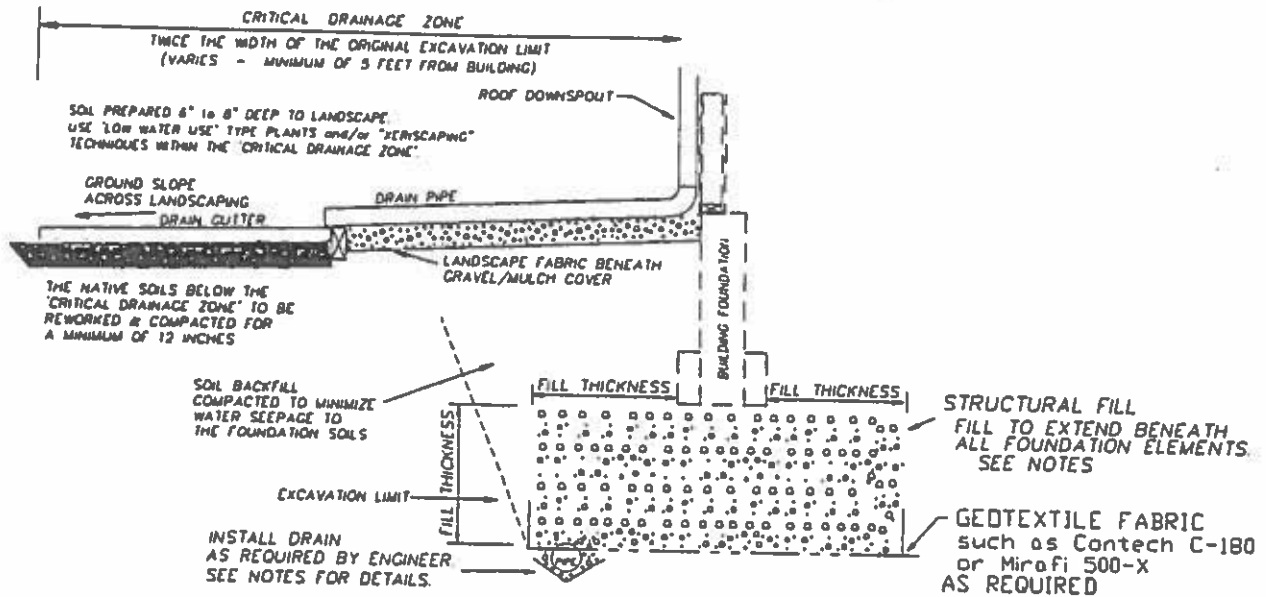
Respectfully submitted,

GRAND JUNCTION  
LINCOLN-DeVORE, INC.

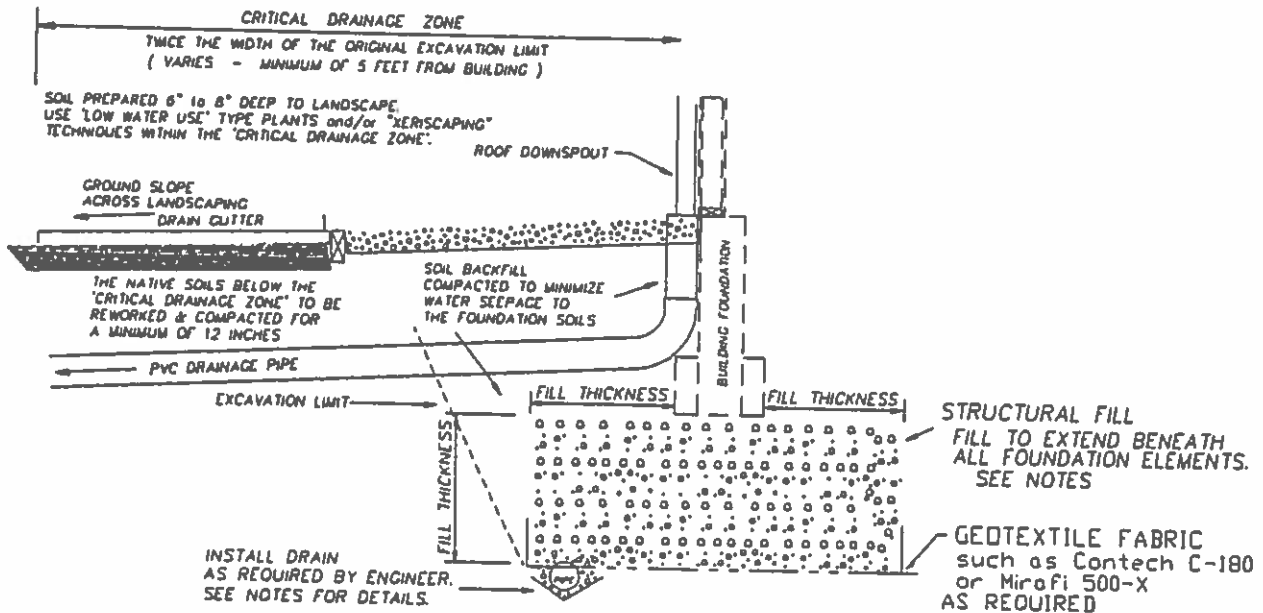


By: Edward M. Morris, PE  
Principal Engineer

GJLD Job # 89649-GJ



DRAINAGE / LANDSCAPING CONCEPT  
'NO WATER ZONE' BY FOUNDATION



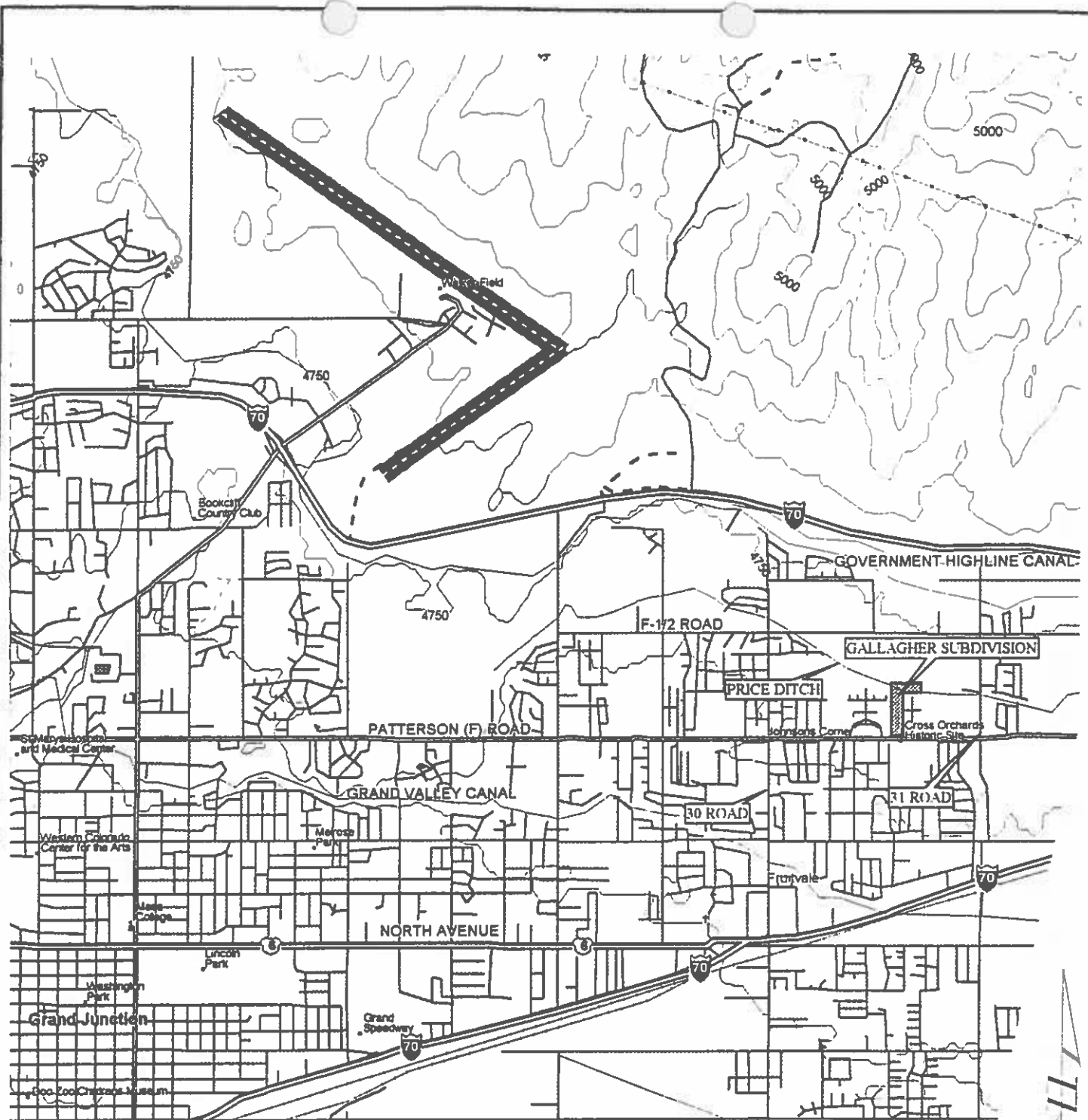
DRAINAGE / LANDSCAPING CONCEPT  
'NO WATER ZONE' BY FOUNDATION



GRAND JUNCTION  
LINCOLN-DeVORE, Inc.  
GEOTECHNICAL ENGINEERS-GEOLOGISTS

EXTERIOR DRAINAGE / LANDSCAPING CONCEPT

SCALE: NONE		DATE: 4-18-2002
LD # .		FIG # D-DRAIN2



3-D TopoQuads Copyright © 1999 DeLorme Yarmouth, ME 04096 | 1500 ft Scale: 1 : 43,750 Detail: 12-0 Datum: WGS84

### SITE LOCATION DIAGRAM

**GALLAGHER SUBDIVISION**  
**30-3/4 & F Road, Grand Junction**

**DARTER, LLC**  
 Grand Junction, Colorado

Date  
 10-10-2002

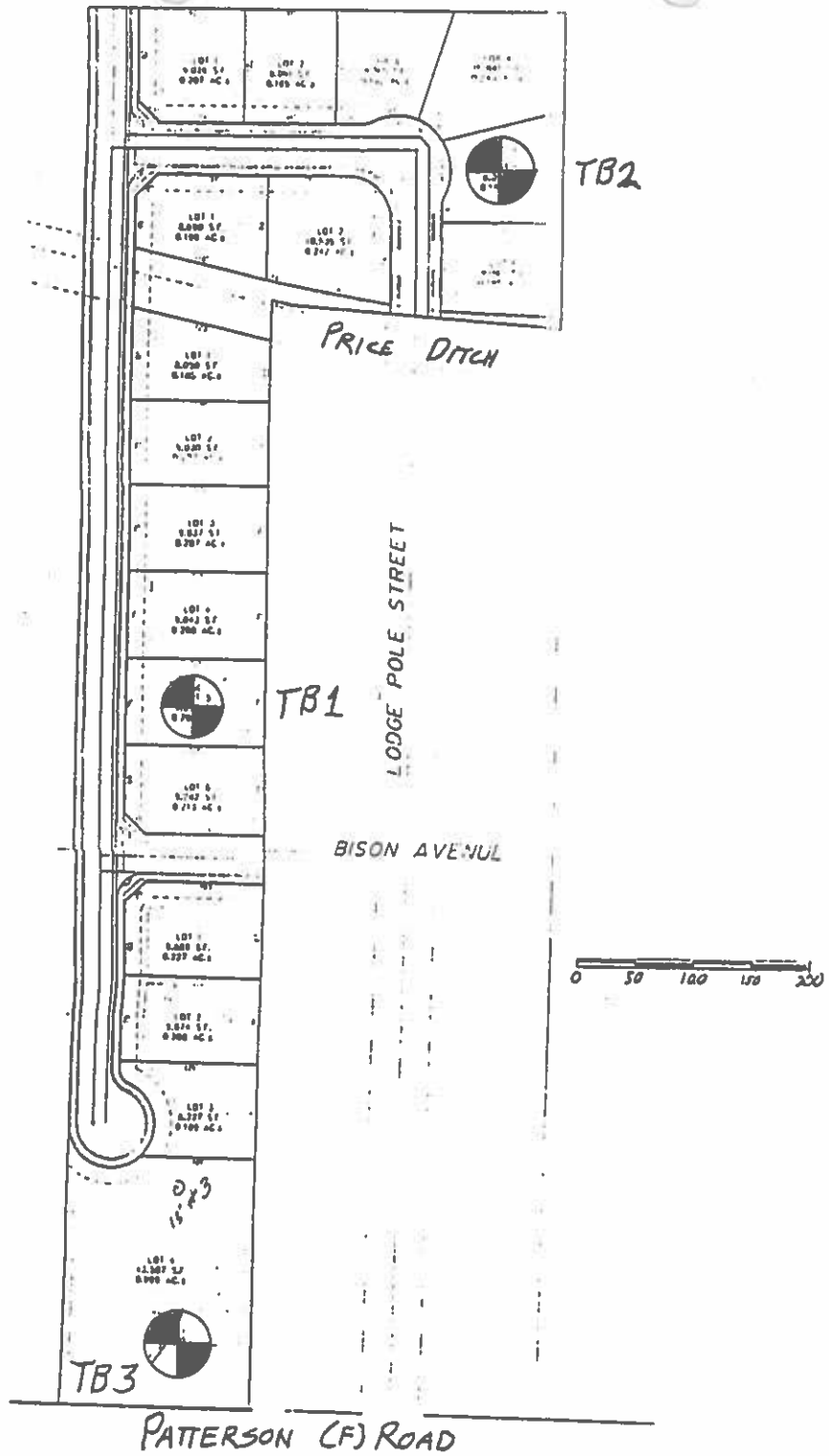
Job No.  
 89649-GJ

Drawn  
 EMM



**GRAND JUNCTION**  
**LINCOLN - DeVORE, Inc.**

Geotechnical Consultants  
 Grand Junction, Colorado



**BORING LOCATION DIAGRAM**

**GALLAGHER SUBDIVISION**  
 30-3/4 & F Road, Grand Junction

**DARTER, LLC**  
 Grand Junction, Colorado

Date  
 10-10-2002

Job No.  
 89649-GJ

Drawn  
 EMM



**GRAND JUNCTION  
 LINCOLN - DEVORE, Inc.**  
 Geotechnical Consultants  
 Grand Junction, Colorado

		BORING NO. 1		DRILL: GJLD CME-46B					
		CENTRAL PORTION of TRACT				BLOW COUNT		SOIL DENSITY	
DEPTH (FT.)		BORING ELEVATION:		AUGER/TOOLS: 4" od, SOLID		/inch		pcf	
SOIL LOG		DESCRIPTION						%	
		SURFACE REWORKED by AGRICULTURAL ACTIVITIES							
	ML	SANDY SILT	THIN LEAN CLAY STRATA	DRY					
	I	SI. COLLAPSIBLE	MEDIUM DENSITY		ST		96.6	5.3%	
5		SI. EXPANSIVE STRATA			5	6/6	94.8	4.3%	
		FRAGMENTS of SILTSTONE		DRY	SPT	7/6		6.4%	
		ALLUVIAL/DEBRIS FAN DEPOSITS				7/6			
	ML	SANDY SILT	Occ. SAND STRATA	DAMP					
	I	SI. COMPRESSIBLE		SULFATES	ST		104.1	13.0%	
10			MEDIUM DENSITY	WET	10		98.5	20.0%	
		SOFT to DRILL							
	FREE WATER		V						
	ML	SANDY SILT							
	I	COMPRESSIBLE	LOW DENSITY		SPT	1/18		24.3%	
15					15				
		TD @ 15'							
20					20				
25					25				
30					30				
35					35				
40					40				

Blow Counts are counted for each  
6 inches of sampler penetration.

Free Water @ 12'  
During Drilling 9-24-02

### LOG OF SUBSURFACE EXPLORATION



**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado

**GALLAGHER SUBDIVISION**

30-3/4 & F Road, Grand Junction

**DARTER, LLC**  
Grand Junction, Colorado

Date  
10-10-2002

Job No.  
89649-GJ

Drawn  
EMM

DEPTH (FT.)	SOIL LOG	BORING NO. 2		DRILL: GJLD CME-46B		BLOW COUNT	SOIL DENSITY	WATER
		NORTHEAST PORTION of TRACT		AUGER/TOOLS: 4" od, SOLID				
		BORING ELEVATION:	DESCRIPTION			/inch	pcf	%
			SURFACE REWORKED by AGRICULTURAL ACTIVITIES					
			HIGH ORGANIC in SOME STRATA					
			ALLUVIAL/DEBRIS FAN DEPOSITS					
				DRY				
5	ML	SANDY SILT	MEDIUM DENSITY		ST		96.1	4.2%
	I	SI. EXPANSIVE STRATA		DAMP	5	6/6		
		SI. COLLAPSIBLE	Occ. SAND STRATA		SPT	7/6		5.9%
			THIN LEAN CLAY STRATA			8/6		
				DAMP				
10	ML	SANDY SILT	MEDIUM DENSITY		SPT	7/6		6.0%
	I	SI. EXPANSIVE STRATA		SULFATES	10	7/6		
						9/6		
				DAMP				
15	ML	SANDY SILT	MEDIUM DENSITY		ST		108.7	7.5%
	I	SI. EXPANSIVE STRATA			15			
			FRAGMENTS of SILTSTONE					
20					20			
			TD @ 14'					
25					25			
30					30			
35					35			
40					40			

Blow Counts are counted for each  
6 inches of sampler penetration.  
NO Free Water  
During Drilling 9-24-02

**LOG OF SUBSURFACE EXPLORATION**




**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado

<b>GALLAGHER SUBDIVISION</b>		
30-3/4 & F Road, Grand Junction		
<b>DARTER, LLC</b>		Date
Grand Junction, Colorado		10-10-2002
Job No.	Drawn	
89649-GJ	EMM	

		BORING NO. 3		DRILL: GJLD CME-46B					
		SOUTHWEST PORTION of TRACT				BLOW COUNT		SOIL	
DEPTH (FT.)	SOIL LOG	BORING ELEVATION:		AUGER/TOOLS: 4" od, SOLID				DENSITY	WATER
		DESCRIPTION				/inch	pcf	%	
		SURFACE REWORKED by AGRICULTURAL ACTIVITIES							
	ML SANDY SILT	HIGH SULFATES							
		VERY SANDY STRATA							
	ML SANDY SILT	FRAGMENTS of SILTSTONE					95.8	7.1%	
5	I SI. COMPRESSIBLE	LOW DENSITY		ST		5			
		ALLUVIAL/DEBRIS FAN DEPOSITS				4/6			
		SOFT to DRILL		SPT		4/6		8.9%	
	ML SANDY SILT					4/6			
	I SI. COMPRESSIBLE								
10	FREE WATER	SOFT to DRILL		ST			95.1	17.4%	
		SOME SAND STRATA ARE 'FLOWING'		10					
	ML SANDY SILT	ALLUVIAL/DEBRIS FAN DEPOSITS							
	I COMPRESSIBLE								
15						15			
		HOLE COLLAPSED BACK TO 10'							
20		TD @ 13'				20			
25						25			
30						30			
35						35			
40						40			

Blow Counts are counted for each  
6 inches of sampler penetration.  
Free Water @ 10'  
During Drilling 9-25-02

**LOG OF SUBSURFACE EXPLORATION**

 <p><b>GRAND JUNCTION LINCOLN - DeVORE, Inc.</b> Geotechnical Consultants Grand Junction, Colorado</p>	<p><b>GALLAGHER SUBDIVISION</b> 30-3/4 &amp; F Road, Grand Junction</p>	
	<p><b>DARTER, LLC</b> Grand Junction, Colorado</p>	<p>Date 10-10-2002</p>
	<p>Job No. 89649-GJ</p>	<p>Drawn EMM</p>

Soil Sample: SANDY SILT (M)

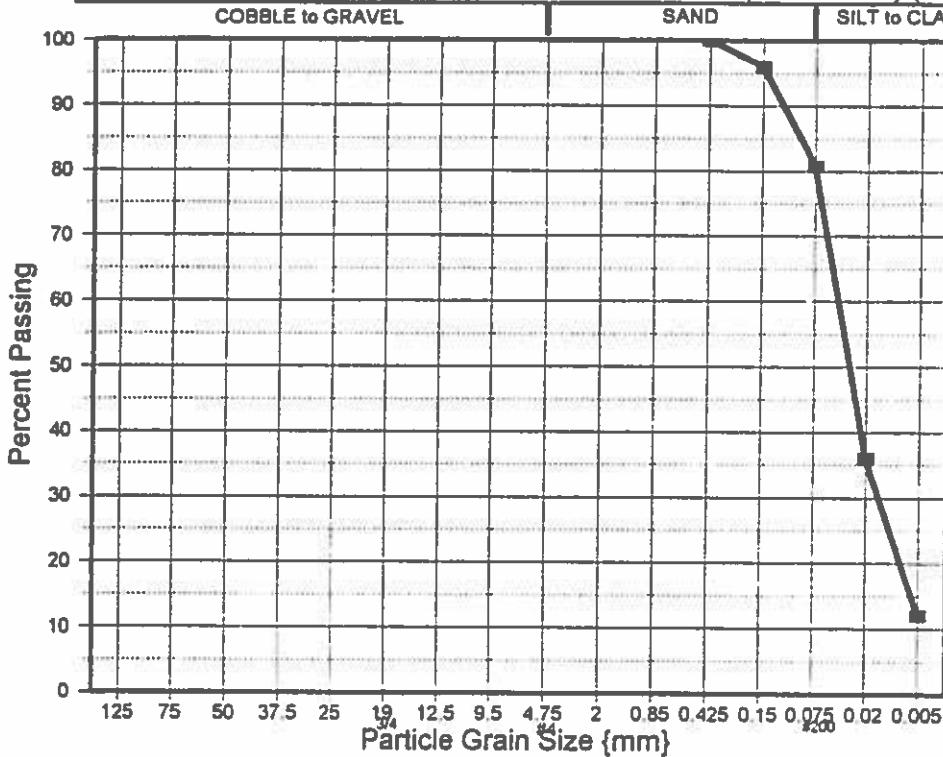
Sample No.: 1 (Typical)

Geologic Origin: ALLUVIAL/DEBRIS FAN DEPOSITS

Test by: DC

Natural Water Content (w): 7.1% Boring No.: 1 Depth: 3'

In-Place Density (pcf): 95.8 Soil Specific Gravity (Gs):



Effective size mm  
Cu  
Cc

Plastic Limit (PL) 18%  
Liquid Limit (LL) 21%  
Plasticity Index (PI) 3%  
Skempton's Activity 0.1  
Shrinkage Limit (SL)  
Shrinkage Ratio

DIRECT SHEAR: CD  
Ult. Res.  
Shear Angle: deg.  
Tan Shear:  
Cohesion: psf

Sieve (mm)	% Passing
5"	125
3"	75
2"	50
1-1/2"	37.5
1"	25
3/4"	19
1/2"	12.5
3/8"	9.5
#4	4.75
#10	2
#20	0.85
#40	0.425
#100	0.15
#200	0.075
	0.02
	0.005

Maximum  
Size Allowed  
By Sampler  
2-1/2"

MOISTURE / DENSITY RELATIONSHIP:

ASTM Method: D-698 A D 4718 - 30% Rock Correction  
Max. Dry Density : pcf  
Optimum Moisture :

HVEEM-CARMANY:  
'R' Value @ 300 psi: 20  
Displacement 300 psi: 4.74  
Expansion @ 300 psi: 82 psf

FHA Soil Swell:  
% Swell  
psf  
Remolded Sample

ALLOWABLE BEARING (net): psf by Consolidometer  
Standard Penetration (SPT): psf by Penetrometer  
Unconfined Compression (qu): psf

CONSTANT VOLUME SWELL: 420 psf  
COLLAPSE OF 0.07% DURING SWELL PHASE

CONSOLIDATION: 1.63% @ 4100 psf  
CONSOLIDATION: 2.30% @ 8200 psf

SULFATE SALTS: 50 ppm

PERMEABILITY:  
K (20 C) Remolded cm/sec @ pcf

SOIL ANALYSIS and SUMMARY

GALLAGHER SUBDIVISION  
30-3/4 & F Road, Grand Junction

DARTER, LLC  
Grand Junction, Colorado

Date  
10-10-2002

Job No.  
89649-GJ

Drawn  
EMM



GRAND JUNCTION  
LINCOLN - DeVORE, Inc.  
Geotechnical Consultants  
Grand Junction, Colorado



Soil Sample: SANDY SILT (M)

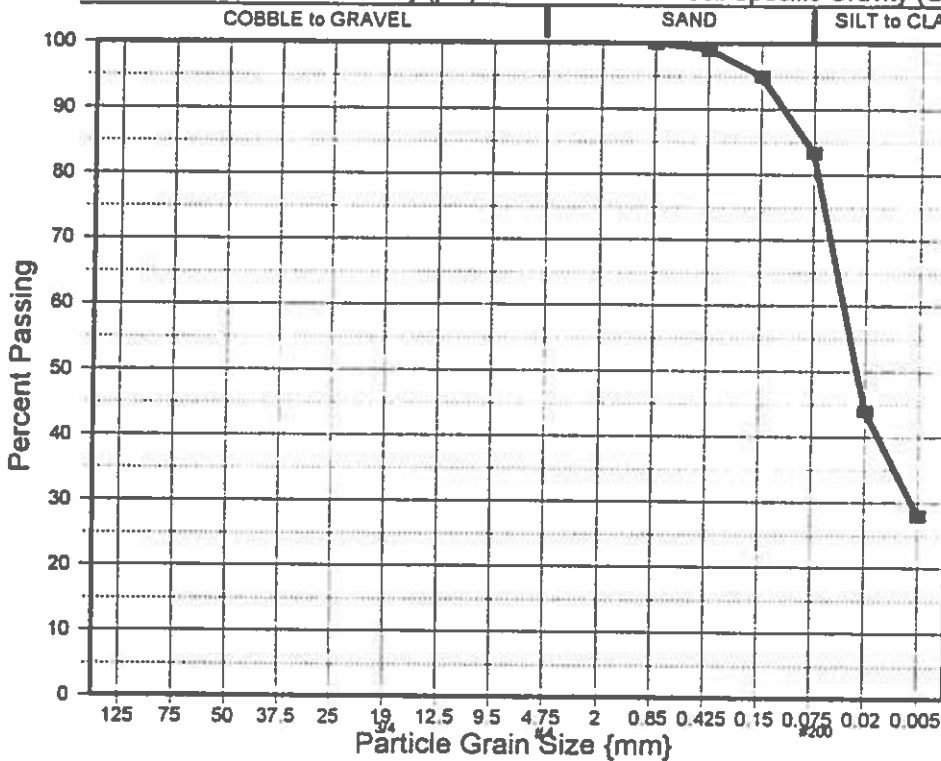
Sample No.: 1 (Typical)

Geologic Origin: ALLUVIAL/DEBRIS FAN DEPOSITS

Test by: DC

Natural Water Content (w): 20.1% Boring No.: 1 Depth: 8'

In-Place Density (pcf): 98.0 Soil Specific Gravity (Gs):



Effective size mm

Cu

Cc

Plastic Limit (PL) 19%

Liquid Limit (LL) 22%

Plasticity Index (PI) 3%

Skempton's Activity 0.1

Shrinkage Limit (SL)

Shrinkage Ratio

DIRECT SHEAR: CD

Ult. Res.

Shear Angle: deg.

Tan Shear:

Cohesion: psf

Sieve (mm)	% Passing	
5"	125	
3"	75	
2"	50	
1-1/2"	37.5	
1"	25	
3/4"	19	
1/2"	12.5	
3/8"	9.5	
#4	4.75	
#10	2	
#20	0.85	100
#40	0.425	99
#100	0.15	95
#200	0.075	83.4
	0.02	44
	0.005	28

Maximum  
Size Allowed  
By Sampler  
2-1/2"

MOISTURE / DENSITY RELATIONSHIP:

ASTM Method: D-698 A D-4718 - 30% Rock Correction

Max. Dry Density : pcf

Optimum Moisture :

HVEEM-CARMANY:

'R' Value @ 300 psi:

Displacement 300 psi:

Expansion @ 300 psi: psf

ALLOWABLE BEARING (net): psf by Consolidometer

Standard Penetration (SPT): psf by Penetrometer

Unconfined Compression (qu): psf

COLLAPSE @ Wetting 0.03% @ psf

CONSOLIDATION: 1.75% @ 4100 psf

CONSOLIDATION: 2.94% @ 8200 psf

SULFATE SALTS: 2000 ppm

PERMEABILITY:

K (20 C) Remolded cm/sec @ pcf

FHA Soil Swell:

% Swell

psf

Remolded Sample

psf by Consolidometer

psf by Penetrometer

SOIL ANALYSIS and SUMMARY



GRAND JUNCTION  
LINCOLN - DeVORE, Inc.  
Geotechnical Consultants  
Grand Junction, Colorado

GALLAGHER SUBDIVISION

30-3/4 & F Road, Grand Junction

DARTER, LLC

Grand Junction, Colorado

Date

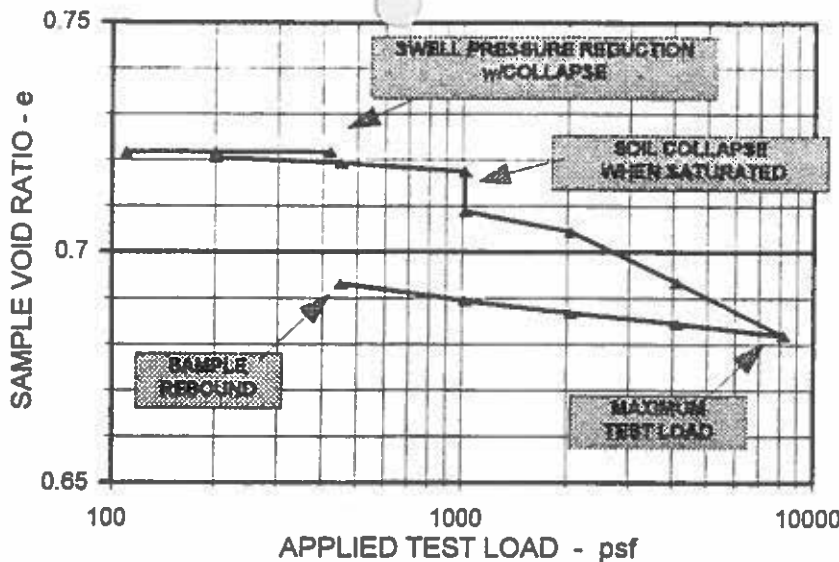
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Job No.

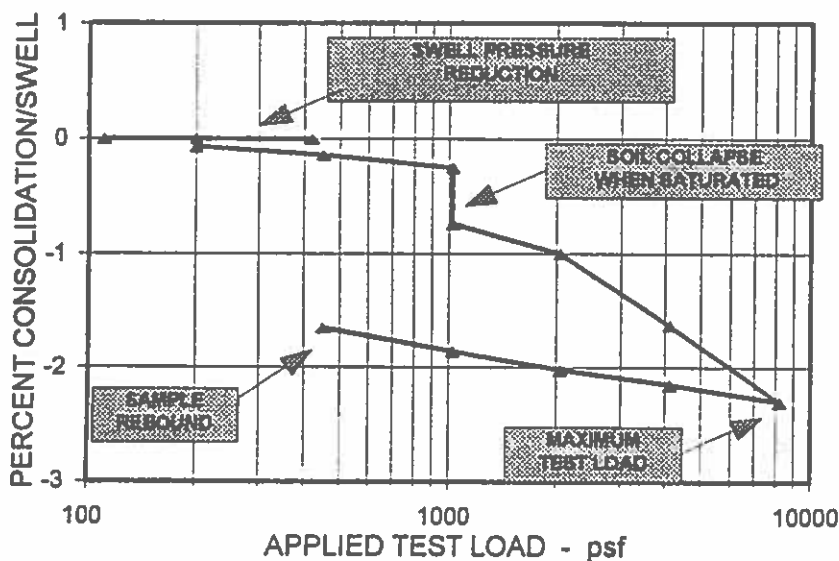
89649-GJ

Drawn

EMM



The Swell/Settlement Test (ASTM D-4546 Method C) Was Run By Subjecting The Soil Specimen To A Small Load And The Sample Volume Is Held Constant While The Specimen Attempts To Swell, Increasing In Pressure. The Test Begins With The Specimen At Approximate Natural Moisture Content But, The Porous Stones Are Very Moist To Detect Soil Expansion Characteristics At Constant Sample Volume, Prior To Inundation. The Apparatus Automatically Increases The Load Until The Specimen Is Exerting A Constant 'Swell Pressure'. After Achieving a Constant 'Swell Pressure', The Sample Is Inundated With Water. Any Additional Swell Or Collapse Of The Specimen Is Allowed To Occur And The Loading Is Continued. After The Maximum Test Load, The Soil Specimen Is Unloaded To Measure Rebound And Develop The Data For Calculating The Soil 'Heave' Potential.



**LOAD SUMMARY**

110	psf SEATING LOAD
1025	psf SAMPLE SATURATED
0.49	% SOIL COLLAPSE UPON SATURATION
0.65	% SAMPLE REBOUND @ UNLOAD
2.30	% MAXIMUM CONSOLIDATION
8200	psf MAXIMUM TEST LOAD

COLLAPSE of 0.49%, DURING SWELL PHASE  
 MAXIMUM 'CONSTANT VOLUME' SWELL TO 420 psf.  
 SWELL PRESSURE 'FELL BACK' TO 200 psf.

	INITIAL	MAXIMUM LOAD	FINAL LOAD
SOIL DENSITY (pcf)	94.8	97.4	96.9
SOIL MOISTURE (%)	4.3%	25.1%	25.5%
CONSOLIDATION (%)	-0-	2.30%	1.65%
VOID RATIO (e)	0.730	0.684	0.693
SATURATION (%)	15%	97%	97%

SOIL #: 1
SOIL TYPE: ML, Qdf
TEST HOLE #: 1 @ 3'
SAMPLE Gs: 2.63
DIAMETER: 2.5"
AREA (inches): .03409

SAMPLE Gs WAS ESTIMATED

**SOIL SWELL/SETTLEMENT ASTM D-4546 C**



**GRAND JUNCTION  
 LINCOLN - DeVORE, Inc.**  
 Geotechnical Consultants  
 Grand Junction, Colorado

**GALLAGHER SUBDIVISION**

30-3/4 & F Road, Grand Junction

**DARTER, LLC**

Grand Junction, Colorado

Date

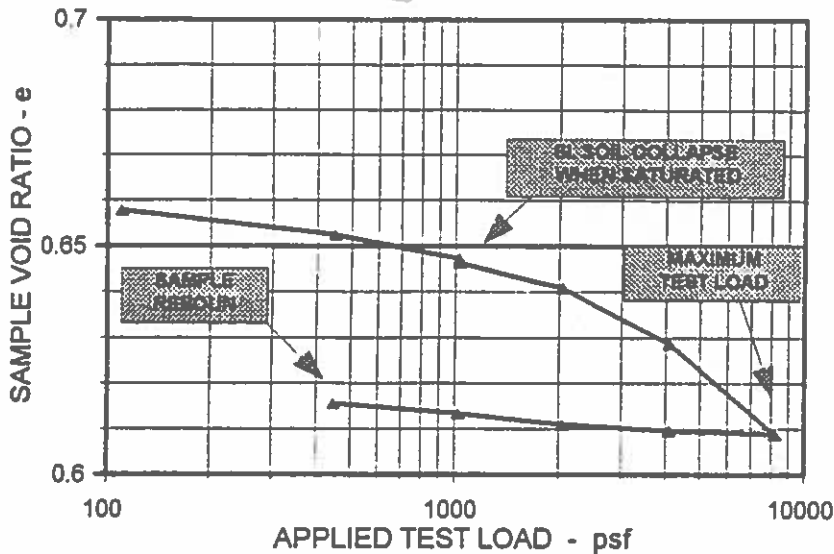
10-10-2002

Job No.

89649-GJ

Drawn

EMM

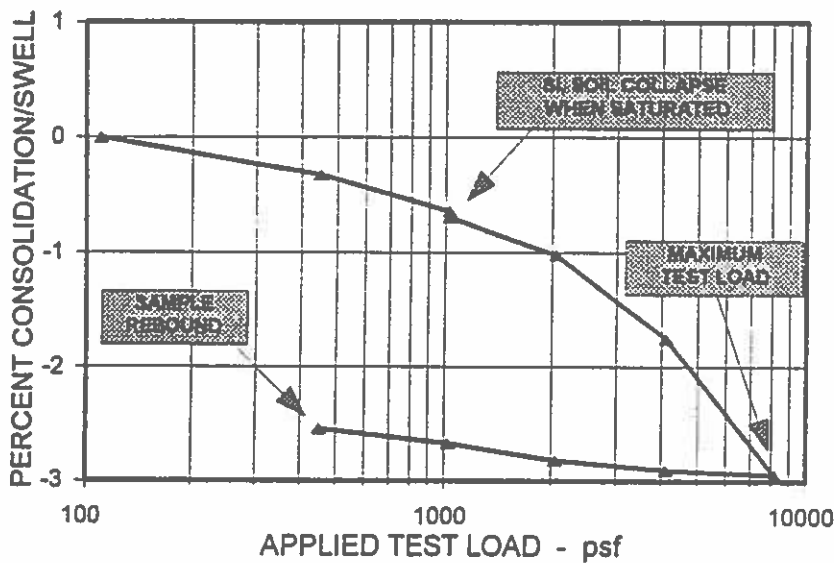


The Consolidation Test (ASTM D-2435) Was Run By Subjecting The Soil Specimen To A 'Seating' Load To Remove Slack From The Apparatus And To Provide An Accurate Point Of Beginning.

The Test Begins With The Specimen At Approximate Natural Moisture Content But, The Porous Stones Are Very Moist To Detect Soil Expansion Characteristics At The Light Test Loads, Prior To Inundation.

The Sample Is Loaded To Approximately 1025 psf Or Overburden Pressure And Then Inundated With Water. Any Swell Or Collapse Of The Specimen Is Allowed To Occur And The Loading Is Continued.

After The Maximum Test Load, The Soil Specimen Is Unloaded To Measure Rebound And Any Swelling Potential After Consolidation.



#### LOAD SUMMARY

110	psf SEATING LOAD
1025	psf SAMPLE SATURATED
0.05	% SOIL COLLAPSE
0.00	% SOIL EXPANSION / SWELL D-4546 B
0.40	% SAMPLE REBOUND @ UNLOAD
2.94	% MAXIMUM CONSOLIDATION
8200	psf MAXIMUM TEST LOAD

	INITIAL	MAXIMUM LOAD	FINAL LOAD
SOIL DENSITY (pcf)	98.5	101.7	101.6
SOIL MOISTURE (%)	20.8%	21.3%	21.4%
CONSOLIDATION (%)	-0-	2.94%	2.54%
VOID RATIO (e)	0.666	0.613	0.616
SATURATION (%)	82%	91%	91%

SOIL #: II
SOIL TYPE: ML, Qdf
TEST HOLE #: 1 @ 8'
SAMPLE Gs: 2.63
DIAMETER: 2.5"
AREA (inches): .03409

SAMPLE Gs WAS ESTIMATED

#### SOIL CONSOLIDATION ASTM D-2435



**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado

**GALLAGHER SUBDIVISION**  
30-3/4 & F Road, Grand Junction

<b>DARTER, LLC</b> Grand Junction, Colorado		Date 10-10-2002
Job No. 89649-GJ	Drawn EMM	



COMMITMENT FOR TITLE INSURANCE

SECURITY UNION TITLE INSURANCE COMPANY

a California corporation, herein called the Company, for a valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedules A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate six months after the effective date hereof or when the policy or policies committed for shall issue, whichever occurs first, provided that the failure to issue such policy or policies is not the fault of the Company.

Issued by:  
MERIDIAN LAND TITLE, LLC  
2454 Patterson, Suite 100  
Grand Junction, CO 81505  
Phone (970) 245-0550 Fax (970) 241-1593

SECURITY UNION TITLE INSURANCE COMPANY

*[Handwritten Signature]*



By: *[Handwritten Signature]*

President

ATTEST

*[Handwritten Signature]*

Secretary

Authorized Signature

## STANDARD EXCEPTIONS FOR OWNER'S POLICY

The owner's policy will be subject to the mortgage, if any, noted under item one of Section 1 of Schedule B hereof and to the following exceptions: (1) rights or claims of parties in possession not shown by the public records; (2) encroachments, overlaps, boundary line disputes, and any matters which would be disclosed by an accurate survey and inspection of the premises; (3) easements, or claims of easements, not shown by the public records; (4) any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records; (5) water rights, claims or title to water; (6) taxes or special assessments which are not shown as existing liens by the public records.

## CONDITIONS AND STIPULATIONS

1. The term "mortgage," when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to Paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions, the Exclusions from Coverage and the Conditions and Stipulations of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

NOTE: The language contained in the printed Exclusions from Coverage and Conditions and Stipulations of the policy committed for may be examined by reference to forms on file in the office of the Department of Insurance or by inquiry at the office which issued this Commitment.

**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

**FILE NUMBER: 62073            AMENDED I**

**1. Effective date: February 11, 2003 at 8:00 AM**

<b>2. Policy or Policies to be issued:</b>	<b>Amount of Insurance</b>
<b>A. ALTA Owner's Policy</b>	<b>\$275,000.00</b>
<b>Proposed Insured:</b>	
<b>CPS ENTERPRISES</b>	
<b>B. ALTA Loan Policy</b>	<b>\$220,000.00</b>
<b>Proposed Insured:</b>	
<b>COMMUNITY FIRST MORTGAGE, LLC</b>	
<b>its successors and/or assigns</b>	
<b>C. Not Applicable</b>	<b>\$0.00</b>
<b>Proposed Insured:</b>	
<b>NONE</b>	

**3. The estate or interest in the land described or referred to in this Commitment and covered herein is:**

    Fee Simple

**4. Title to the above described estate or interest in said land is at the effective date hereof vested in:**

    GRANT GOLLIHER AND JANE GOLLIHER, as Joint Tenants

**5. The land referred to in this Commitment is described as follows:**

A tract of land generally described as being a portion of the East 12.5 acres of the SW¼ SE¼ of Section 4, Township 1 South, Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW¼ SE¼ of said Section 4, thence West 165.58 feet along the South boundary of said Section 4; thence North 00°13' West 1316.33 feet to the North boundary of the SW¼ SE¼ of said Section 4; thence North 89°57' East 412.09 feet along the North boundary of the SW¼ SE¼ of said Section 4 to the East boundary of the SW¼ SE¼ of said Section 4; thence South 00°17' East 272.67 feet along the East boundary of the SW¼ SE¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85°45' West 229.77 feet, thence North 77°06' West 19.59 feet; thence South 00°17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,

Mesa County, Colorado.

**COMMITMENT FOR TITLE INSURANCE**  
**SCHEDULE B - Section 1**  
**Requirements**

FILE NUMBER: 62073      AMENDED I

The following are the requirements to be complied with:

A. Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

B. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

1. NOTE: Before issuing its policy of title insurance, this Company will require evidence, satisfactory to the Company, that CPS Enterprises:

- (a) Is validly formed on the date when documents in this transaction are to be signed; and
- (b) Is in good standing and authorized to do business in the state or county where the said corporation was formed.

2. Deed sufficient to convey the fee simple estate or interest in the land described herein, to the proposed insured, Schedule A, Item 2(A).

NOTE: Colorado Law requires that a Real Property Transfer Declaration accompany document conveying title to real property when such documents are presented for recording. Failure to provide such Declaration may result in monetary penalties being added to property taxes.

3. Deed of Trust sufficient to mortgage the fee simple estate or interest in the land described herein, to the proposed insured, Schedule A, Item 2(B).

\* 4. NOTE: Upon receipt of appropriate additional premium, Endorsement Forms ALTA 8.1, 100.29 and 110.2 will be included with the Loan Policy to be issued.

NOTE: Upon receipt of an acceptable Improvement Location Certificate and upon receipt of the appropriate premium, items numbered 1,2 and 3 of Schedule B-Section 2 herein will be deleted from the Loan Policy to be issued and Endorsement Form 100 will be included with said Policy.

NOTE: Upon receipt of acceptable Final Lien Affidavit, item number 4 of Schedule B-Section 2 herein will be deleted from the Loan Policy to be issued.

\* Item(s) may require special attention.

C. Payment of all taxes, charges, assessments, levied and assessed against the subject premises which are due and payable.

**COMMITMENT FOR TITLE INSURANCE**  
**SCHEDULE B - Section 2**  
**Exceptions**

FILE NUMBER: 62073      AMENDED I

The policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records, or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.

B. General Exceptions:

1. Rights or claims of parties in possession not shown by the public records.
2. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises including, but not limited to, insufficient or impaired access or matters contradictory to any survey plat shown by the public records.
3. Easements, or claims of easements, not shown shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a.) Unpatented mining claims; (b.) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c.) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.

Paragraphs 1, 2, 3, 4, 5 and 6 above will not appear as printed exceptions on extended coverage policies, except as to such parts thereof which may be shown as a Special Exception in Schedule B-Section 2.

C. Special Exceptions:

7. Any and all unpaid taxes, assessments and unredeemed tax sales, if any.
8. Right of way for ditches or canals constructed by the Authority of the United States together with the right of proprietor of a vein of lode to extract and remove his ore therefrom should the same be found to intersect said premises as reserved in United States Patent recorded December 21, 1891 in Book 11 at Page 135.
9. An easement for irrigation ditch for the Price Ditch and rights incidental thereto, as set forth in instrument recorded July 23, 1974 in Book 1020 at Page 639.
10. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Palisade Irrigation District, recorded April 16, 1993 in Book 1968 at Page 924.
11. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Mesa County Irrigation District, recorded November 14, 1994 in Book 2110 at Page 809. Location Map and Survey Description was recorded April 29, 1999 in Book 2580 at Page 693.



## JOINT NOTICE OF PRIVACY POLICY

### Fidelity National Financial Group of Companies/Security Union Title Insurance Company and Meridian Land Title, LLC

We recognize and respect the privacy expectations of today's consumers and the requirements of applicable federal and state privacy laws. We believe that making you aware of how we use your non-public personal information ("Personal Information"), and to whom it is disclosed, will form the basis for a relationship of trust between us and the public that we serve. This Privacy Statement provides that explanation. We reserve the right to change this Privacy Statement from time to time consistent with applicable privacy laws.

In the course of our business, we may collect Personal Information about you from the following sources:

- ❖ From applications or other forms we receive from you or your authorized representative;
- ❖ From your transactions with, or from the services being performed by us, our affiliates, or others;
- ❖ From our internet web sites;
- ❖ From the public records maintained by governmental entities that we either obtain directly from those entities, or from our affiliates or others; and
- ❖ From consumer or other reporting agencies.

#### Our Policies Regarding the Protection of the Confidentiality and Security of Your Personal Information

We maintain physical, electronic and procedural safeguards to protect your Personal Information from unauthorized access or intrusion. We limit access to the Personal Information only to those employees who need such access in connection with providing products or services to you or for other legitimate business purposes.

#### Our Policies and Practices Regarding the Sharing of Your Personal Information

We may share your Personal Information with our affiliates, such as insurance companies, agents, and other real estate settlement service providers. We also may disclose your Personal Information:

- ❖ To agents, brokers or representatives to provide you with services you have requested;
- ❖ To third-party contractors or service providers who provide services or perform marketing or other functions on our behalf; and
- ❖ To others with whom we enter into joint marketing agreements for products or services that we believe you may find of interest.

In addition, we will disclose your Personal Information when you direct or give us permission, when we are required by law to do so, or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

One of the important responsibilities of some of our affiliated companies is to record documents in the public domain. Such documents may contain your Personal Information.

#### Right to Access your Personal Information and Ability to Correct Errors Or Request Changes Or Deletion

Certain states afford you the right to access your Personal Information and, under certain circumstances, to find out to whom your Personal Information has been disclosed. Also, certain states afford you the right to request correction, amendment or deletion of your Personal Information. We reserve the right, where permitted by law, to charge a reasonable fee to cover costs incurred in responding to such requests.

All requests submitted to the Fidelity National Financial Group of Companies/Security Union Title Insurance Company shall be in writing, and delivered to the following address:

Privacy Compliance Officer  
Fidelity National Financial, Inc.  
4050 Calle Real, Suite 220  
Santa Barbara, CA 93110

#### Multiple Products or Services

If we provide you with more than one financial product or service, you may receive more than one privacy notice from us. We apologize for any inconvenience this may cause you.

## MERIDIAN LAND TITLE, LLC

### DISCLOSURE STATEMENT

Note: pursuant to CRS 10-11-122, notice is hereby given that:

- A) The subject real property may be located in a special taxing district.
- B) A Certificate of Taxes Due listing each taxing jurisdiction may be obtained from the County Treasurer's authorized agent.
- C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 3-5-1, paragraph C of Article VII requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Meridian Land Title, LLC conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically be deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- A) The land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
- B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- D) The Company must receive payment of the appropriate premium.
- E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium; fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

- A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal That energy in the property; and
- B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

This notice applies to owner's policy commitments containing a mineral severance instrument exception or exceptions, in Schedule B, Section 2.

Nothing herein contained will be deemed to obligate the company to provide any of the coverages referred to herein unless the above conditions are fully satisfied.

# **GENERAL PROJECT REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

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**PREPARED FOR:**

**CPS Enterprises, LLC  
P.O. Box 561  
Telluride, CO 81435  
(970) 728-9909**

**PREPARED BY:**

**VISTA ENGINEERING CORP.  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242**

April 23, 2003  
VEC # 4117.00-03

# GENERAL PROJECT REPORT

## SONRISE ACRES SUBDIVISION

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### A. LOCATION AND DESCRIPTION OF PROPERTY

Sonrise Acres Subdivision contains approximately 6.288 acres (including 0.328 acres of open space) and is located near the City of Grand Junction, Colorado, at 3068 F Road (west of Lodge Pole Street). Proposed development of the site shall consist of one Filing containing 20 lots for a finished density of 3.18 units per acre. It is currently zoned "County RSF-4" with a similar future land use designation of "Residential Medium-Low", having a dwelling density of 2 to 4 units per acre. The site plan shows the location of the property in relationship to the surrounding vicinity. One tax parcel, numbered 2943-044-00-130, is contained within the site.

Existing streets in the vicinity include Bison Avenue in the center of the site, Lodge Pole Street to the east, and F Road to the south. Bison Avenue, an existing urban residential street, is proposed to extend into the project from the east and terminate at proposed Sonrise Way, a residential street with a cul-de-sac on the south end. Sonrise Way will have a modified cross-section with the typical 14' asphalt mat, a 6.5' curb, gutter, and walkway on the east side of centerline, but only a 6' asphalt mat on the west side of the centerline (given that the remaining roadway is located west of the property boundary and will be completed at a future date when the adjacent parcel develops). A section of the Price Ditch (in buried pipeline) runs east to west near the northern end of the site.

The surrounding area consists primarily of residential housing zoned "County RSF-4". Thunder Mountain Elementary School is located immediately north of the property. The site is currently vacant except for a single family residence in the southeast corner adjacent to F Road. This residence will remain and be incorporated into the proposed lot geometry, but will continue to utilize the existing driveway onto F Road. All other lots will be accessed by the internal streets proposed within the subdivision. Existing outbuildings will be removed or relocated to conform with setback requirements for the new lot lines.

Existing ground cover over most of the site consists of a sparse covering of pasture grasses and weeds, with many bare areas resulting from recent boarding of livestock. Landscaping of the proposed open space tract will consist of a low-maintenance native grass with temporary irrigation provided by the existing residence to establish growth and shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan and are typical sandy silts found in the area and the Valley. The soils generally consist of Billings Silty Clay and Billings Silty Clay Loam. These soils are categorized as hydrologic soils group "C" which have low infiltration capability and moderate to high runoff potential. This should not pose an adverse impact to development of the site. There are no known geological hazards at this location.

## B. PUBLIC BENEFIT

This site provides an opportunity for "in-fill" development within an area of similarly sized homes which have existed in the vicinity for several years. This is a proposal which provides new construction of moderately priced homes and extension of utilities in an area attractive to buyers due to the proximity of schools, shopping, recreation, parks, and medical facilities.

Development of this site will provide improvements to drainage conditions which have existed in the area for many years. Elimination of flood-irrigation practices and creation of a stormwater management facility will reduce peak flows exiting the property and improve runoff conditions downstream.

Existing streets in the vicinity include F Road adjacent immediately to the south, East Valley Drive to the west, and Lodge Pole Street to the east. Urban residential streets are proposed to extend into the adjacent parcels to the north, east, and west to provide neighborhood connectivity.

## C. PROJECT COMPLIANCE, COMPATIBILITY AND IMPACT

All streets and utilities will be constructed in conformance with current City of Grand Junction Standards and Specifications. The project will be designed to comply with the standards listed in the current City of Grand Junction Zoning and Development Code for an "RSF-4" zoning. The proposed density is consistent with the with the "Growth-Plan" and with existing development in the surrounding area which consists primarily of residential housing zoned "RSF-4".

Topography of the property is relatively "flat" in nature, sloping generally south at an average rate of less than one percent. Offsite surface runoff in the vicinity is collected and diverted away from the site by the existing developments surrounding the project. An existing storm drain in F Road carries runoff west to Indian Wash. Developed runoff will flow south to be collected, detained, and released at a controlled rate from the detention facility proposed within the Open-Space designated in the southwest corner of the site.

All utilities are available to the site, with sanitary and storm sewer existing in F Road. Domestic water is proposed to connect to the existing water line in Lodge Pole Street to the east. Fire protection will be provided by the hydrants proposed and located in conformance with Fire Codes. Locations of the proposed utilities are shown on the site plan. The impact on public facilities will be minimal given the size of this development and considering that the project is proposed to develop within the density range provided in the Growth Plan.

Landscaping of the open space tract shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners. Setback requirements are shown on the preliminary plan.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan submittal. In addition, an "environmental transaction screen" was performed. There are no known geological or environmental hazards at this location.

**D. DEVELOPMENT SCHEDULE AND PHASING**

It is proposed to develop Sunrise Acres Subdivision in one filing. Construction of the infrastructure is anticipated to begin in late 2003, as soon as possible after final approval of the project.



Date: May 2, 2003

CPS ENTERPRISES II, LLC  
P.O. BOX 561  
TELLURIDE, CO 81435

Re: Our File #: 62073  
3068 F Road

Policy #: 7510624115

Policy Date: April 22, 2003 at 11:23 AM

Dear Customer:

Enclosed please find your Owner's Policy of Title Insurance which should be kept with your permanent records.

The premium for this policy was paid for at the time of closing.

We have opened and will maintain a personal file on your property which will enable us to give you fast and accurate service in the future. You may be eligible for a discounted title premium if you decide to sell or refinance your property within the next five years.

Please feel free to contact our office if you should have any questions in connection with this policy or the actual transaction. Do not hesitate to let us know if we may be of further service. Thank you!

Sincerely,

MERIDIAN LAND TITLE, LLC

By:

*Karen Crespin*

enc.

Agent for SECURITY UNION TITLE INSURANCE COMPANY and LAND TITLE INSURANCE CORPORATION

2454 Patterson, Suite 100, Grand Junction, CO 81505 Phone: (970)245-0550 Fax: (970)241-1593 Cel: (970)260-3064

**OWNER'S POLICY OF TITLE INSURANCE  
SCHEDULE A****FILE NUMBER:** 62073      **AGENT NUMBER:** 06 3093      **POLICY NUMBER:** 75106 24115**Date of Policy:** April 22, 2003 at 11:23 AM      **Amount of Insurance:** \$295,000.00  
**At Reception Number:** 2117851**1. Name of Insured:**

CPS ENTERPRISES II, LLC

**2. The estate or interest in the land described or referred to in this Policy and covered herein is:**

Fee Simple

**3. Title to the above described estate or interest in said land is at the effective date hereof vested in:**

CPS ENTERPRISES II, LLC

**4. The land herein described is encumbered by the following mortgage or trust deed, and assignments:**

Deed of Trust executed by CPS ENTERPRISES II, LLC, to the Public Trustee of Mesa County, in favor of COMMUNITY FIRST NATIONAL BANK, to secure \$157,500.00 and any other obligations secured thereby, dated April 3, 2003, and recorded April 22, 2003 in Book 3336 at Page 514.

and the mortgages or trust deeds, if any, shown in Schedule B hereof.

**5. The land referred to in this Policy is described as follows:**

A tract of land generally described as being a portion of the East 12.5 acres of the SW $\frac{1}{4}$  SE $\frac{1}{4}$  of Section 4, Township 1 South, Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW $\frac{1}{4}$  SE $\frac{1}{4}$  of said Section 4, thence West 165.58 feet along the South boundary of said Section 4; thence North 00°13' West 1316.33 feet to the North boundary of the SW $\frac{1}{4}$  SE $\frac{1}{4}$  of said Section 4; thence North 89°57' East 412.09 feet along the North boundary of the SW $\frac{1}{4}$  SE $\frac{1}{4}$  of said Section 4 to the East boundary of the SW $\frac{1}{4}$  SE $\frac{1}{4}$  of said Section 4; thence South 00°17' East 272.67 feet along the East boundary of the SW $\frac{1}{4}$  SE $\frac{1}{4}$  of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85°45' West 229.77 feet, thence North 77°06' West 19.59 feet; thence South 00°17' East 1065.34 feet to the true point of beginning.

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado.



**OWNER'S POLICY OF TITLE INSURANCE**  
**SCHEDULE B**  
**Exceptions**

FILE NUMBER: 62073

POLICY NUMBER: 75106 24115

This policy does not insure against loss or damage which may arise by reason of:

**A. General Exceptions:**

1. Rights or claims of parties in possession not shown by the public records.
2. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises including, but not limited to, insufficient or impaired access or matters contradictory to any survey plat shown by the public records.
3. Easements, or claims of easements, not shown shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a.) Unpatented mining claims; (b.) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c.) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.

**B. Special Exceptions:**

7. Taxes for the year 2003, a lien not yet due or payable.
8. Right of way for ditches or canals constructed by the Authority of the United States together with the right of proprietor of a vein of lode to extract and remove his ore therefrom should the same be found to intersect said premises as reserved in United States Patent recorded December 21, 1891 in Book 11 at Page 135.
9. An easement for irrigation ditch for the Price Ditch and rights incidental thereto, as set forth in instrument recorded July 23, 1974 in Book 1020 at Page 639.
10. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Palisade Irrigation District, recorded April 16, 1993 in Book 1968 at Page 924.
11. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Mesa County Irrigation District, recorded November 14, 1994 in Book 2110 at Page 809. Location Map and Survey Description was recorded April 29, 1999 in Book 2580 at Page 693.

# POSTING OF PUBLIC NOTICE SIGNS

The posting of the Public Notice Sign is to make the public aware of development proposals. The requirement and procedure for public notice sign posting is required by the City of Grand Junction Zoning and Development Code.

To expedite the posting of public notice signs the following procedure list has been prepared to help the petitioner in posting the required signs on their properties;

1. All petitioners/representatives will receive a copy of the Development Review Schedule for the month advising them of the date by which the sign needs to be posted. **IF THE SIGN HAS NOT BEEN PICKED UP AND POSTED BY THE REQUIRED DATE, THE PROJECT WILL NOT BE SCHEDULED FOR THE PUBLIC HEARING.**
2. A deposit of \$50.00 per sign is required at the time the sign is picked up.
3. You must call for utility locates before posting the sign. Mark the location where you wish to place the sign and call 1-800-922-1987. You must allow two (2) full working days after the call is placed for the locates to be performed.
4. Sign(s) shall be posted in a location, position and direction so that:
  - a. It is accessible and readable, and
  - b. It may be easily seen by passing motorists and pedestrians.
5. Sign(s) MUST be posted at least 10 days before the Planning Commission hearing date and, if applicable, shall stay posted until after the City Council Hearing(s).
6. **After the Public Hearing(s) the sign(s) must be taken down and returned to the Community Development Department within FIVE (5) working days to receive a full refund of the sign deposit.** For each working day thereafter the petitioner will be charged a \$5.00 late fee. After eight working days Community Development Department staff will retrieve the sign and the sign deposit will be forfeited in its' entirety.

The Community Development Department staff will field check the property to ensure proper posting of the sign. If the sign is not posted, or is not in an appropriate place, the item will be pulled from the public hearing agenda.

I have read the above information and agree to its terms and conditions.

SIGNATURE

*Paul J. King*

DATE

5-29-03

FILE # & NAME

ANX-2003-090 Sunrise Acres Subd

RECEIPT # 19018

LOCATION:

3068 F Rd

PETITIONER/REPRESENTATIVE:

Vista Engineering

PHONE # 243-2242

DATE OF HEARING:

6-10-03

POST SIGN(S) BY:

5-30-03

DATE SIGN(S) PICKED-UP:

5-29-03

RETURN SIGN(S) BY:

DATE SIGN(S) RETURNED

RECEIVED BY:

Friday June 6, 2003

Richard and Pamela Fults  
3066 F. Rd.  
Grand Jct. 81504  
434-9675

**RECEIVED**  
JUN 10 2003  
COMMUNITY DEVELOPMENT  
DEPT.

RE:ANX/PP-2003-090

Ladies and Gentlemen:

We are writing this letter in regards to the "Notice of Development Application" we received, concerning the construction of ANX/PP-2003-090-SONRISE ACRES SUBDIVISION-3068 F. RD. We are not opposed to growth but, are opposed to the increase of LIGHT and NOISE POLLUTION, which has been associated with the construction of NEW TRADITIONS SUBDIVISION to the west of us. We feel that these are very important to us and to the well being of Our Family, Our Animals and, the Wildlife. We were hoping that a third generation of Fults' would be able to enjoy what Grandpa had started over 40 yrs. ago.

One way to prevent these concerns, is to not build the Subdivision. Since that is unlikely. The following items are what we have come up with, that might help alleviate some of our concerns, so that we may continue to enjoy what is left of our wide open area and, OUR LITTLE SANCTUARY.

1. The plans show a Cul-de-sac adjacent to our Backyard, Pond and, Waterfall, which provides a peaceful getaway for our family. Especially, during the Waterfowl Migration, when the Ducks and, Heron visit. Thus the Cul-de-sac will increase the LIGHT and NOISE POLLUTION from the Cars turning around in our Backyard and, at our Bedrooms.

**SOLUTION:** Have Developer build a Vinyl Privacy Fence at least 6 ft. tall. Preferably 8 ft., from the front of our home extending north 300 ft.

2. a. Block One; Lots 2-5: Restrict the height of structures, not to exceed One Story.  
b. Restrict the type of outdoor Lights for Structures and Street Lights to help control Light Pollution.

**SOLUTION:** Build a Vinyl Privacy Fence.

3. If possible, please notify us by phone about the Development Hearings.

This is what we request to address our concerns. Thank you for giving us the opportunity to do so.

Respectfully yours,  
RICHARD FULTS/PAMELA FULTS  
RASHELL FULTS-HUSEMAN

See Attached

## REVIEW COMMENT RESPONSES

July 24, 2003

### SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated June 10, 2003.

#### Lori Bowers - City Community Development

1. The cul-de-sac has been relocated to exist within the proposed project boundary.  
*Lot 5, does not meet minimum 2,000 ft*
2. Tract "A" will be dedicated as requested on the Final Plat.

#### Eric Hahn - City Community Development Engineer

##### GENERAL COMMENTS

1. A signed copy of the Stormwater Discharge Permit will be included with the final plan submittal.
2. The DIA will reflect 120% of the estimated costs at final plan stage.
3. Top-of-concrete elevations, acknowledged by the Building Department, will be provided at final plan stage.
4. Drainage from the western portion of the partial street section of Sunrise Way will be negligible, but will flow south along the edge of pavement and natural swale (created by the road-cut) into the detention area.
5. "No-Parking" signs will be posted on both sides of the street, as requested.
6. The street section has been corrected to reflect the 20' of proposed asphalt.
7. The cul-de-sac has been relocated to exist within the proposed project boundary.
8. The length of the Lodge Pole extension is shown on the revised drawings.
9. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
10. Detention has been designed for the project site with no anticipation of storage from the western property (due to the southwest direction of natural grade). Given the location of the detention pond, it would be available for expansion to accept and manage runoff from the

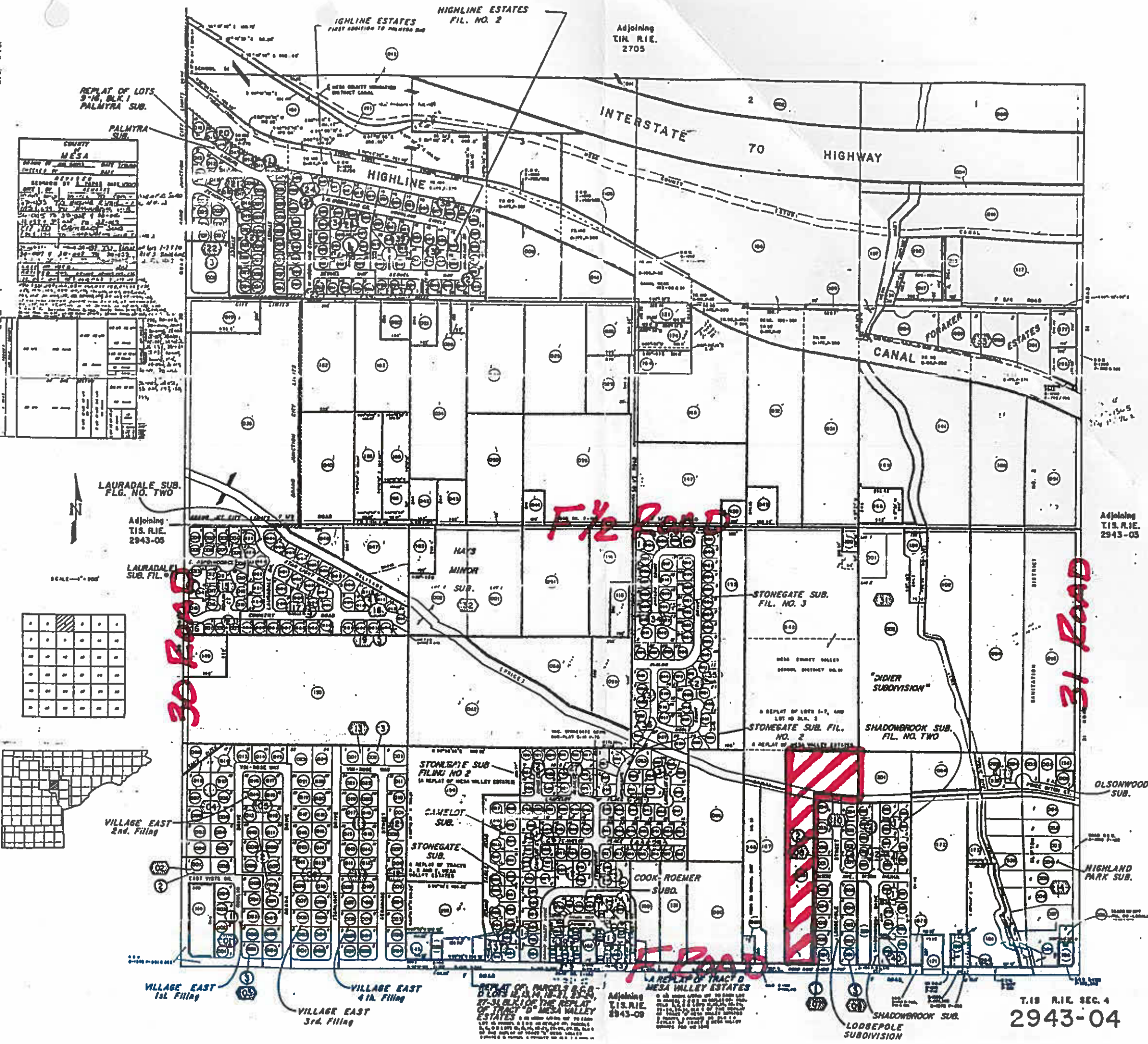


2943-04  
S.I.C. 211.

REPLAT OF LOTS 9-16, BLK. 1 PALMYRA SUB.

COUNTY OF MESA

SECTION	TRACT	FILE NO.	DATE
1	1	1	1-1-19
1	2	1	1-1-19
1	3	1	1-1-19
1	4	1	1-1-19
1	5	1	1-1-19
1	6	1	1-1-19
1	7	1	1-1-19
1	8	1	1-1-19
1	9	1	1-1-19
1	10	1	1-1-19
1	11	1	1-1-19
1	12	1	1-1-19
1	13	1	1-1-19
1	14	1	1-1-19
1	15	1	1-1-19
1	16	1	1-1-19



Adjoining  
T1S R1E.  
2705

Adjoining  
T1S R1E.  
2943-03

Adjoining  
T1S R1E.  
2943-09

T1S R1E SEC. 4  
2943-04

Sonri

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

\*\*\*\*\*

**DESCRIPTION OF A TRACT OF LAND**

A tract of land generally described as being a portion of the East 12.5 acres of the SW ¼ SE ¼ of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW ¼ SE ¼ of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North 00° 13' West 1316.33 feet to the North boundary of the SW ¼ SE ¼ of said Section 4; thence North 89° 57' East 412.09 feet along the North boundary of the SW ¼ SE ¼ of said Section 4 to the East boundary of the SW ¼ SE ¼ of said Section 4; thence South 00° 17' East 272.67 feet along the East boundary of the SW ¼ SE ¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85° 45' West 229.77 feet, thence North 77° 06' West 19.59 feet; thence South 00° 17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado

# B&G Excavation & Concrete. LLC

2482 Commerce Blvd.  
Grand Junction, Co 81505  
Phone (970) 255-6520  
Fax (970) 255-1017

## FAX COVER PAGE

DATE 05/07/07

TO: Ken Fischer

FAX # 256 4031

NUMBER OF PAGES: 2

MESSAGE: Orange Grove Punch List, PP-2003-090

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**James Hughes Construction**

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**From:** Laura Lamberty [laural@ci.grandjct.co.us]  
**Sent:** Friday, September 22, 2006 2:58 PM  
**To:** jhconst@rmi.net  
**Subject:** Fwd: Orange Grove Correction List



Header.dat (751  
B)

**FAXED**

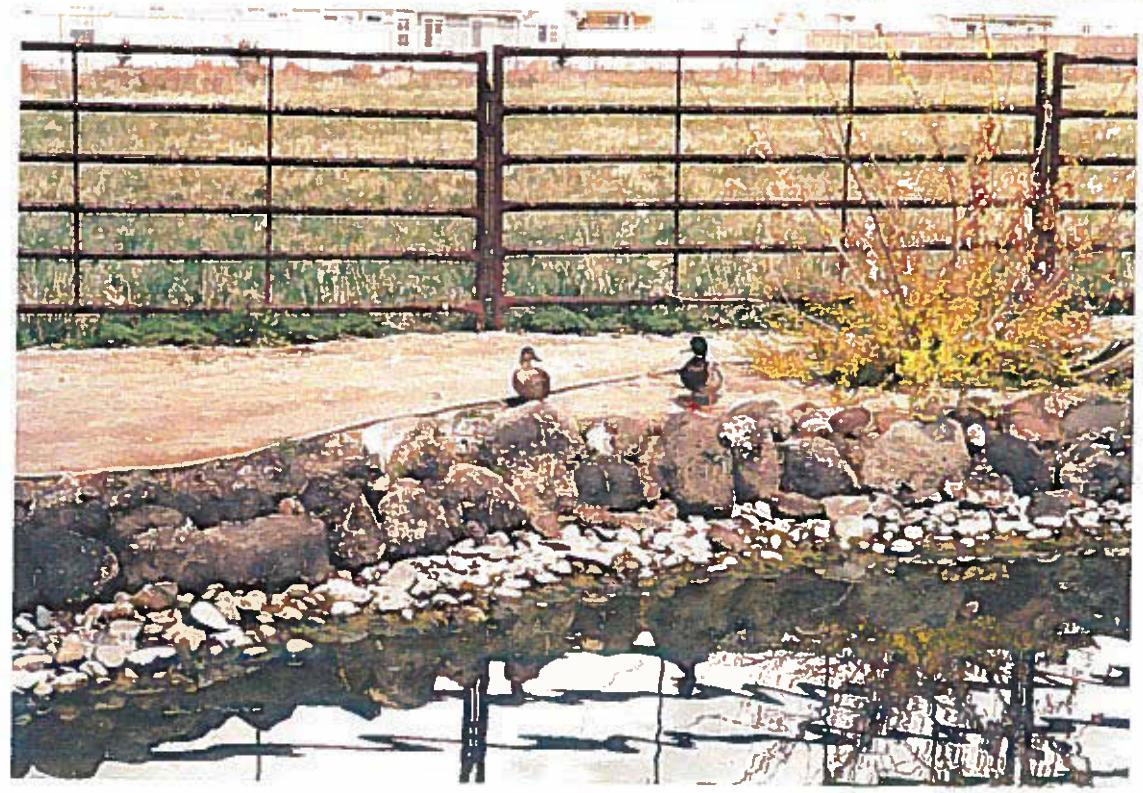
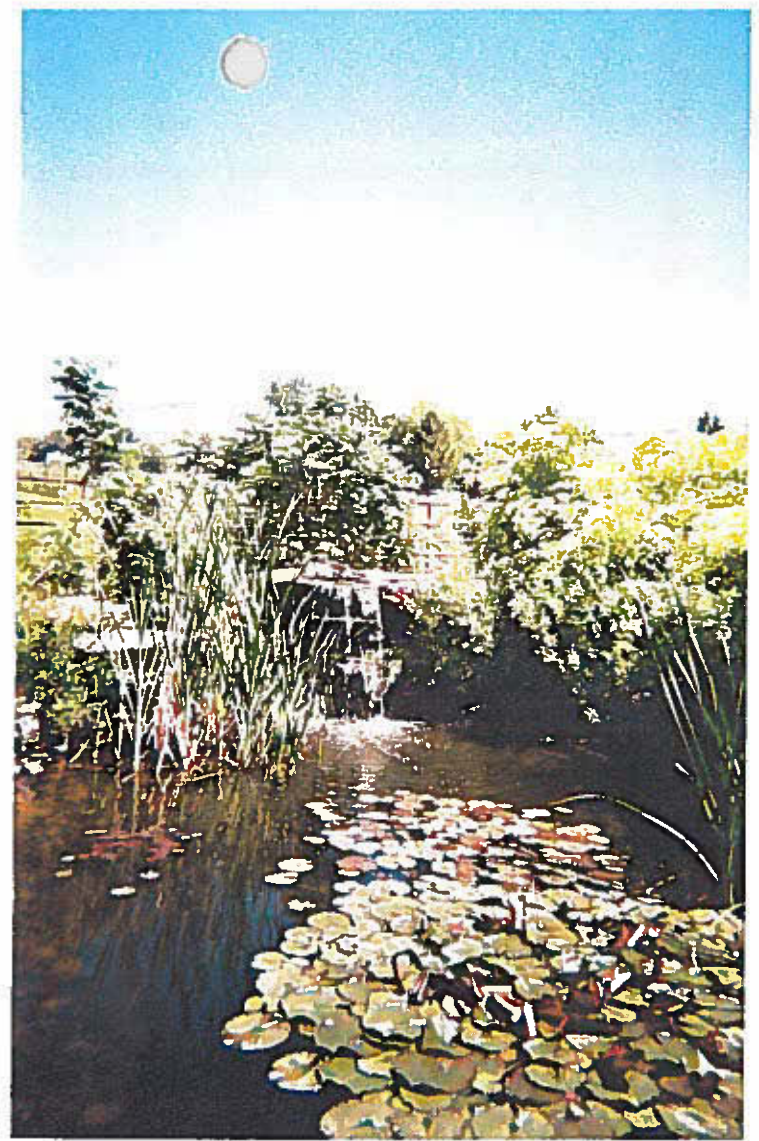
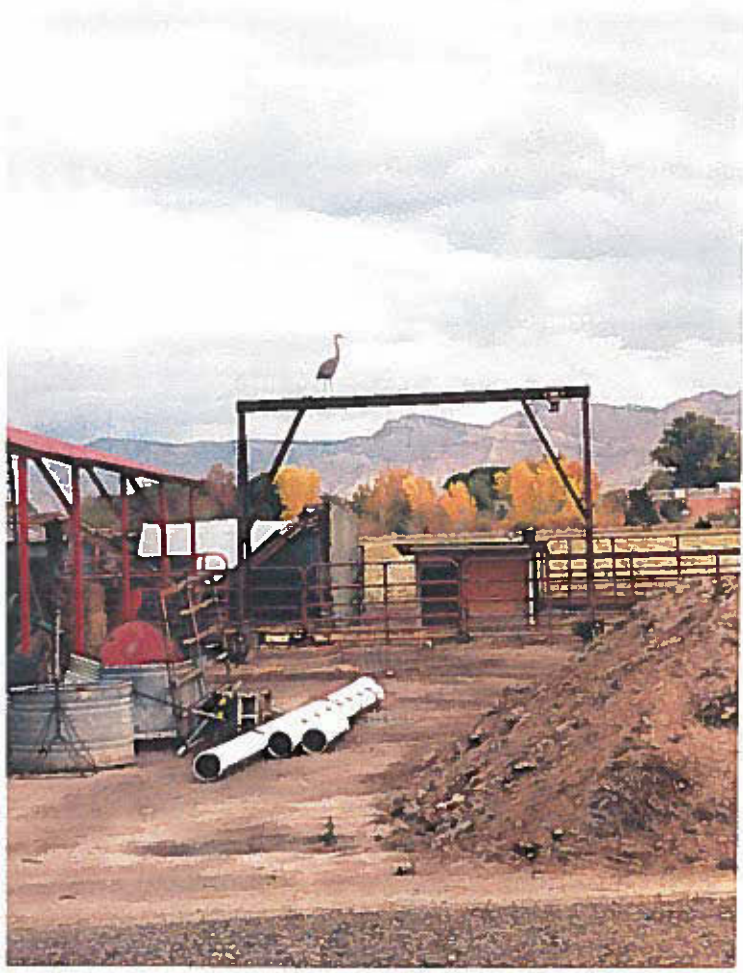
9-25-06

>>> "Laura Lamberty" <laural@ci.grandjct.co.us> 9/22/2006 10:50 AM >>>  
Punch List for Orange Grove Final Acceptance

1. Clean V-pan in Detention pond of cat tails, mud, etc. The detention pond is routinely holding water. 2. Replace dead landscaping - all trees in detention pond are dead. 3. Straighten all parking signs 4. Repair spalled concrete on south of intersection. 5. Chip spilled concrete out of gutter at 808 Orange Grove 6. Repair 1 joint of cracked v-pan Orange Grove Court/Orange Grove Way 7. Fill in sunken spots of shoulder on west side of Orange Grove. 8. Clean Gutter where holding water/ move cars. 9. Replace cracked thermoplastic truncated dome mats. 10. Replace previously repaired gutter at Lot 4 where patch has come loose.

Laura C. Lamberty, PE  
Development Engineer  
City of Grand Junction  
250 N 5th Street  
Grand Junction, CO 81501  
(970) 256-4155  
(970) 256-4031 Fax





Richard and Pamela Fults  
3066 F. Rd.  
Grand Junction, CO 81504  
434-9675

RECEIVED  
SEP 04 2003  
COMMUNITY DEVELOPMENT  
DEPT.

September 3, 2003

RE: Review Comments Responses-July 24, 2003

Sonrise Acres Subdivision – Preliminary Plans

File # PP-2003-090

Ladies and Gentlemen:

We are writing this letter in reference Eric Hahn's General Comments item # 4.

If our fence line ends up higher than the natural swale, ( that is 1300 feet long ) the amount of rain water that will accumulate at the lower end of our property will be substantial enough which will create an erosion problem along our fence line.

Also; If the natural swale is, lower than our fence line (as Eric has stated). When we irrigate our pasture, through no fault of ours, water will flow onto Sonrise Way. We have never had a problem with this in the past because; the property to the east is higher than we are.

We feel that the accumulation of water (which cannot soak in) from the 7 feet of asphalt will be substantial enough to cause erosion on the lower end of our fence line. If in fact, the roadway is lower than our property.

We were not as concerned about this erosion or drainage problem until we reviewed the revised plans, showing the 7 feet of asphalt instead of the 7 feet of gravel the first set of plans showed.

On the other hand, if their roadway ends up higher than our property, the 7 feet of roadway west of the centerline will drain onto us.

**THIS IS NOT ACCEPTABLE!**

We feel that to alleviate this problem (which is more than negligible, as Eric has stated). Build a windrow within the 1 ½ ft. area, and not bury the fence. We believe if the windrow is built first, it can be processed, rolled in and, compacted so it will hold water from either side.

**THIS WOULD BE ACCEPTABLE!**

Without seeing the plans, it is impossible to know what problems we are going to incur. The Developer or his Representatives to address our concerns on this matter have not contacted us.

Sincerely,  
Richard and Pamela Fults  
Enclosure (1)



# Site Location Map

Figure 1



# Aerial Photo Map

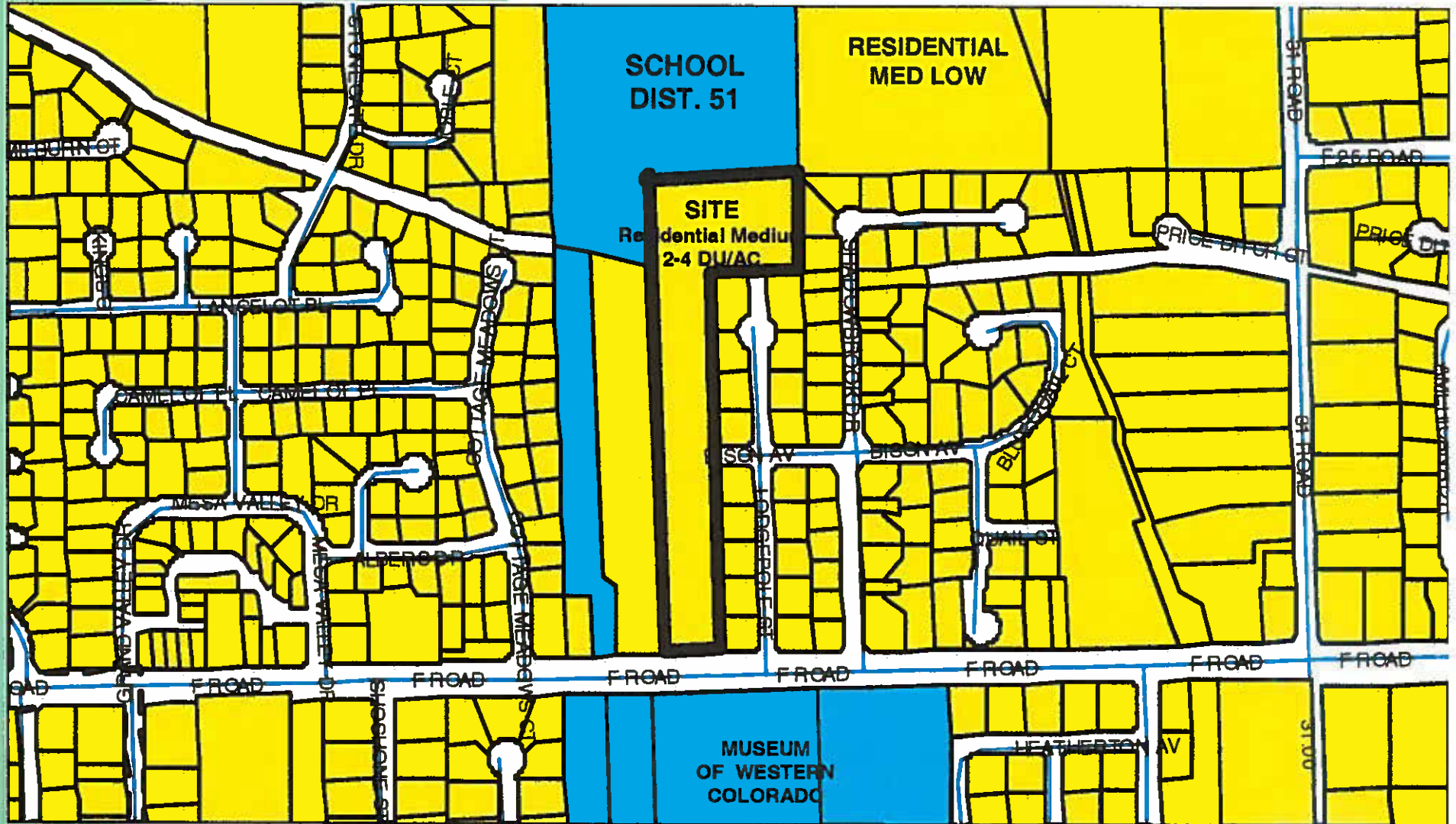
Figure 2





# Future Land Use Map

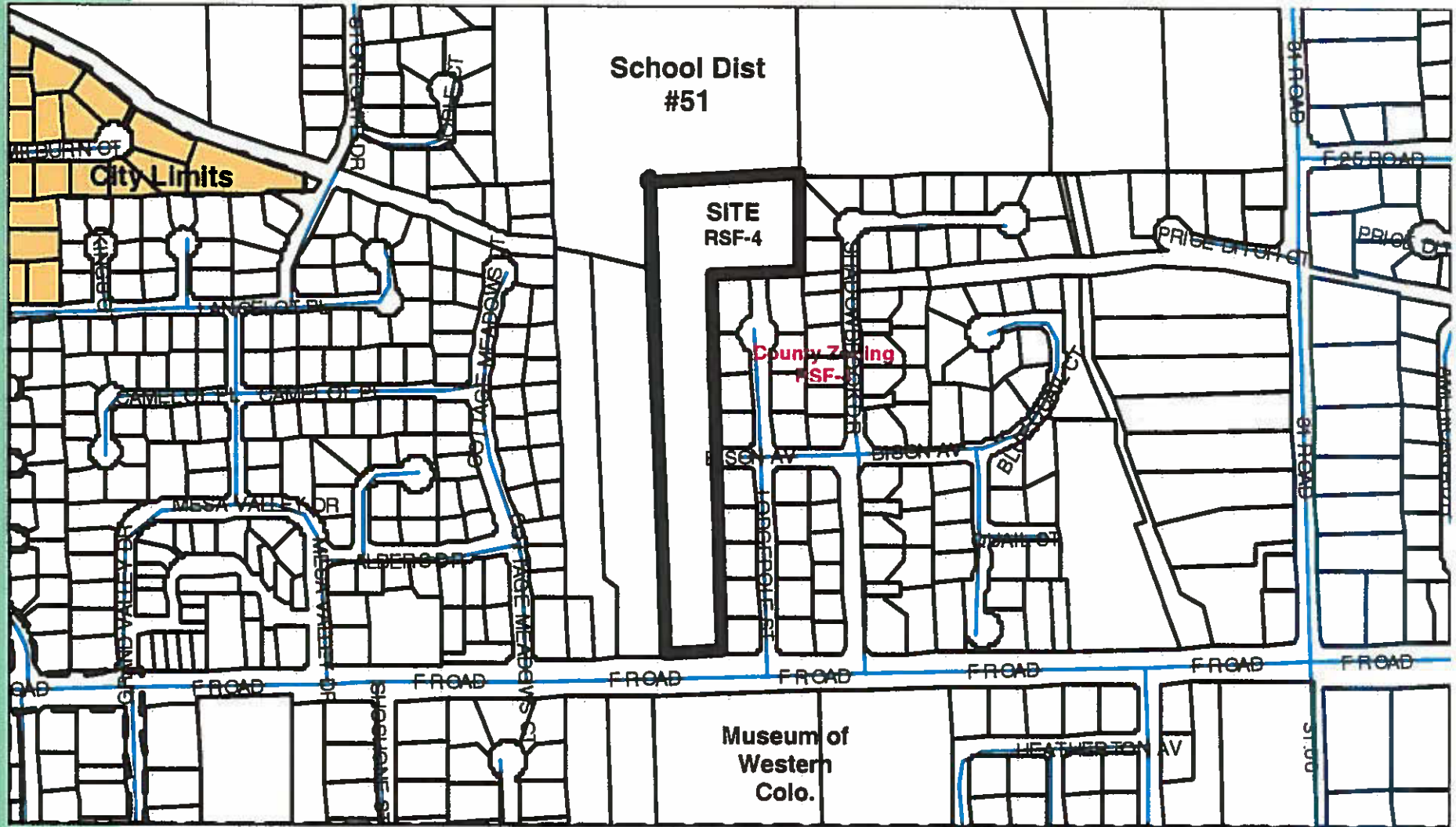
Figure 3



# Existing City and County Zoning

City Limits

Figure 4



NOTE: Mesa County is currently in the process of updating their zoning map. Please contact Mesa County directly to determine parcels and the zoning thereof."



Zoning Map





# CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

Date: October 15, 2003

Applicant: CPS, LLC – James Hughes  
Representative: Vista Engineering Corp– Pat O'Connor  
The following item (Sonrise Acres Subdivision – PP-2003-090) has been scheduled for Planning Commission on October 28, 2003.

A sign(s) advertising the Public Hearing will be required to be posted no later than this Friday, October 3, 2003. The signs are available at the Community Development Department. A \$50.00 deposit is required for a Public Hearing sign. The deposit will be refunded, in full, if the sign(s) is/are returned within 5 working days after the final meeting. A sign is required to be placed facing each road(s) that abuts the project site.

The Staff Report for the project will be available for pick-up after 4 P.M. on Thursday, October 23, 2003.

Please contact the project planner, Lori Bowers, at (256-4033, [lorib@ci.grandjct.co.us](mailto:lorib@ci.grandjct.co.us)) if you have any questions relating to this notice.

cc: PP-2003-090

7000 1670 0000 0684 8367

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage  Insured)

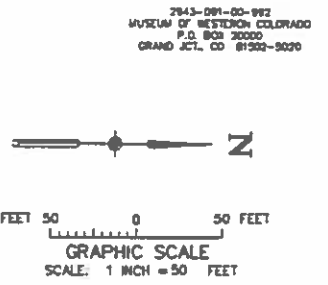
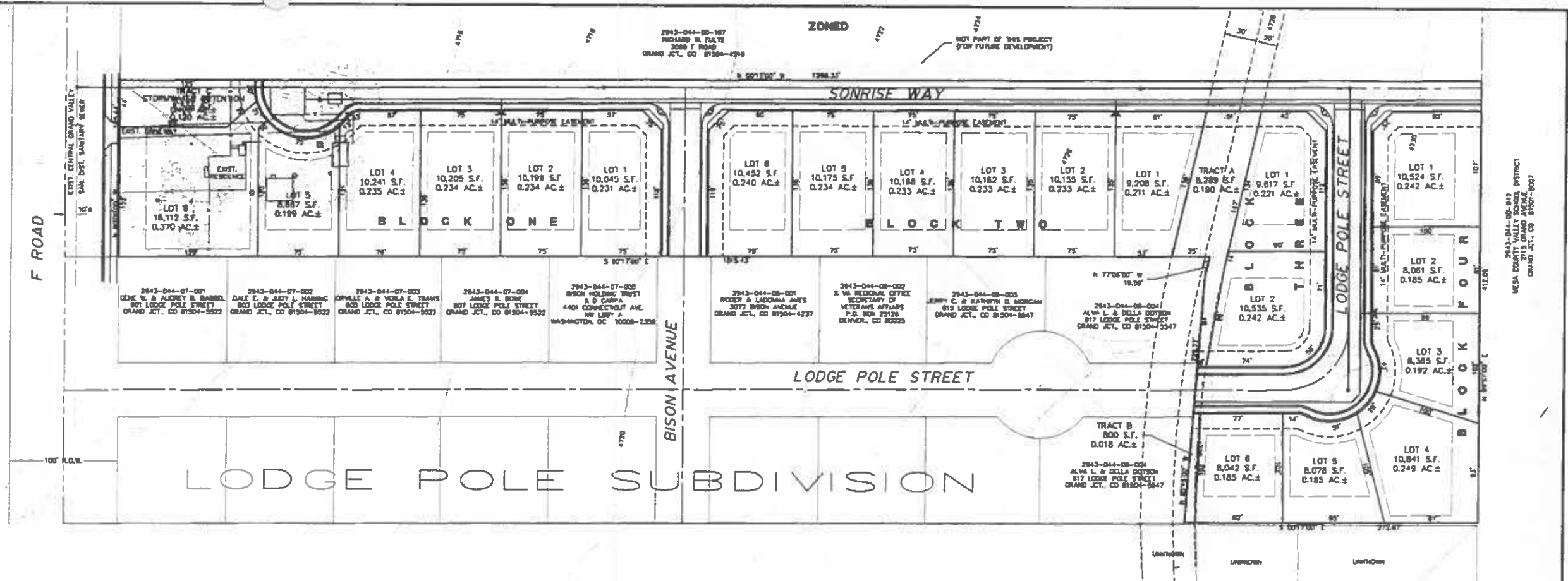
Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To: Vista Engineering - Pat O'Connor  
Street, Apt. No. or PO Box No.: 605 2814 Rd #B  
City, State, ZIP+4: GJ 81506

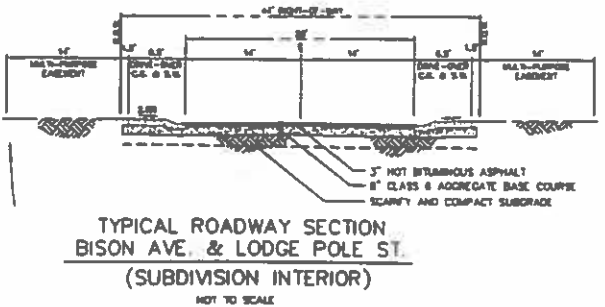
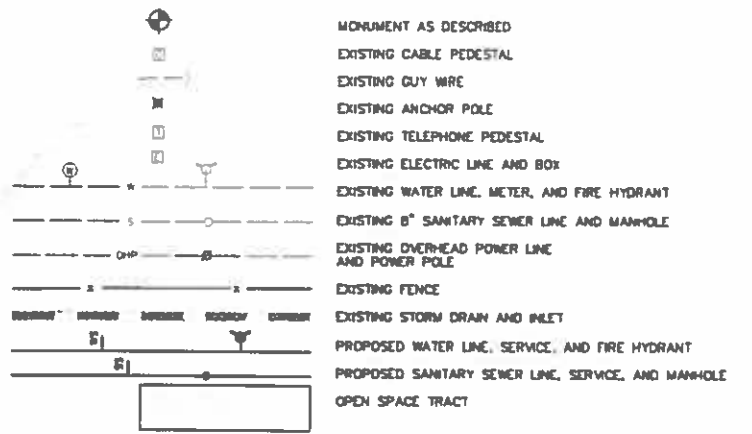
PS Form 3800, May 2000 See Reverse for Instructions



C:\SDSKPRO\17.00-02\dwg\prelim2.dwg, 04/22/03 08:39:55 AM, FRANCES

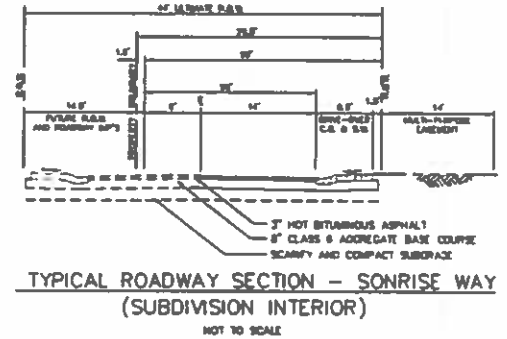


**LEGEND**



**PUBLIC FACILITIES**

SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Cifton Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Owest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palsdale Irrigation District

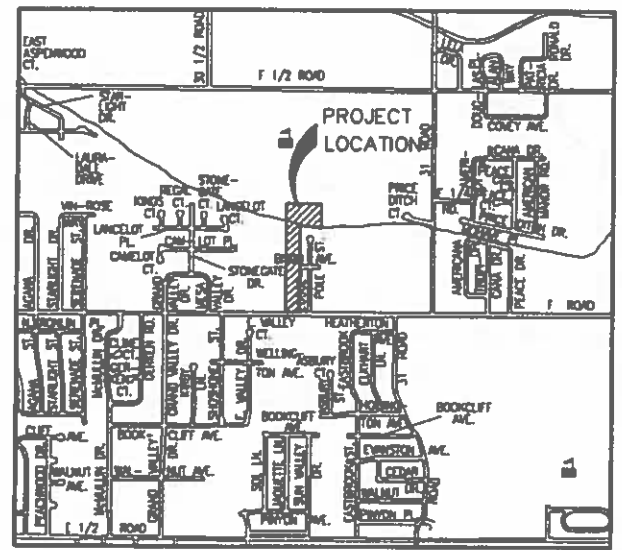


**BULK REQUIREMENTS FOR RSF-4 ZONE**

MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	7 FEET
PRINCIPAL STRUCTURE	3 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	
MINIMUM REAR YARD SETBACK	25 FEET
PRINCIPAL STRUCTURE	5 FEET
ACCESSORY STRUCTURE	
MINIMUM FRONT YARD SETBACK	20 FEET
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

RESIDENTIAL LOTS (20)	4.569 ACRES	73.0%
OPEN SPACE	0.326 ACRES	5.2%
INTERIOR ROADS	1.371 ACRES	21.8%
<b>TOTAL</b>	<b>6.266 ACRES</b>	<b>100.0%</b>



DRAWN BY: F.J.B. DESIGNED BY: P.M.O. CHECKED BY: P.M.O.	REVISION DATE DESCRIPTION BY DTD _____ _____ _____	<b>VISTA ENGINEERING CORP.</b> CONSULTING ENGINEERS AND LAND SURVEYORS 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242	GRAND JUNCTION, COLORADO SCALE: 1" = 50' SHEET NO. 1 of 1	PRELIMINARY PLAN SONRISE ACRES	SHEET NO. 1 of 1
---	---	--	---	-----------------------------------	------------------

# PLANNING COMMISSION NOTICE OF PUBLIC HEARING

DATE: OCT 28 2003 TIME: 7:00 p.m.

PLACE: City Hall Auditorium, 250 North 5<sup>th</sup> Street

A petition for the following request has been received and tentatively scheduled for a public hearing on the date indicated above.

If you have any questions regarding this request or to confirm the hearing date, please contact the Grand Junction Community Development Department at (970) 244-1430 or stop in our office at 250 North 5<sup>th</sup> Street.

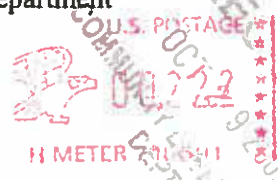
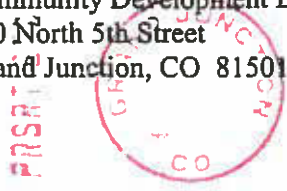
## PP-2003-090 – SONRISE ACRES SUBDIVISION - 3068 F Road

Request approval to develop 20 single family lots on 6.288 acres in a RSF-4 (Residential Single Family-4 units/acre) zone.

Planner **Lori Bowers**



City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501



5/30

MELINDA PARKER  
616 1/2 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4371

PARK616 815042010 1A03 04 10/29/03  
RETURN TO SENDER  
PARKER, MELINDA COLLEEN  
MOVED LEFT NO ADDRESS  
UNABLE TO FORWARD  
RETURN TO SENDER





CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOP  
 250 NORTH 5TH STREET  
 GRAND JUNCTION, CO 81501



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501



*ANK  
 C-16*

KATHLEEN R MCGIRR  
 MAUREEN K BEYER  
 614 SHADOW BROOK DR  
 GRAND JUNCTION, CO 81501 4257



NIXIE 2007 1 03 06/12/03

RETURN TO SENDER  
 ATTEMPTED - NOT KNOWN  
 UNABLE TO FORWARD



**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

**1. Article Addressed to:-**

Vista Engineering Corp  
 Pat O'Connor  
 2777 Crossroads Blvd  
 # 11  
 Grand Junction, CO  
 81506

**2. Article Number**

(Transfer from service label)

7000-1670-0010-0684-6806

**COMPLETE THIS SECTION ON DELIVERY**

**A. Signature**

X D. Stratton

- Agent
- Addressee

**B. Received by (Printed Name)**

D. Stratton

**C. Date of Delivery**

5/28/02

**D. Is delivery address different from item 1?**

Yes

If YES, enter delivery address below:

No

**3. Service Type**

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

**4. Restricted Delivery? (Extra Fee)**

Yes

UNITED STATES POSTAL SERVICE



First-Class Mail  
Postage & Fees Paid  
JSPS  
Permit No. G-10

*Lori Bowers*

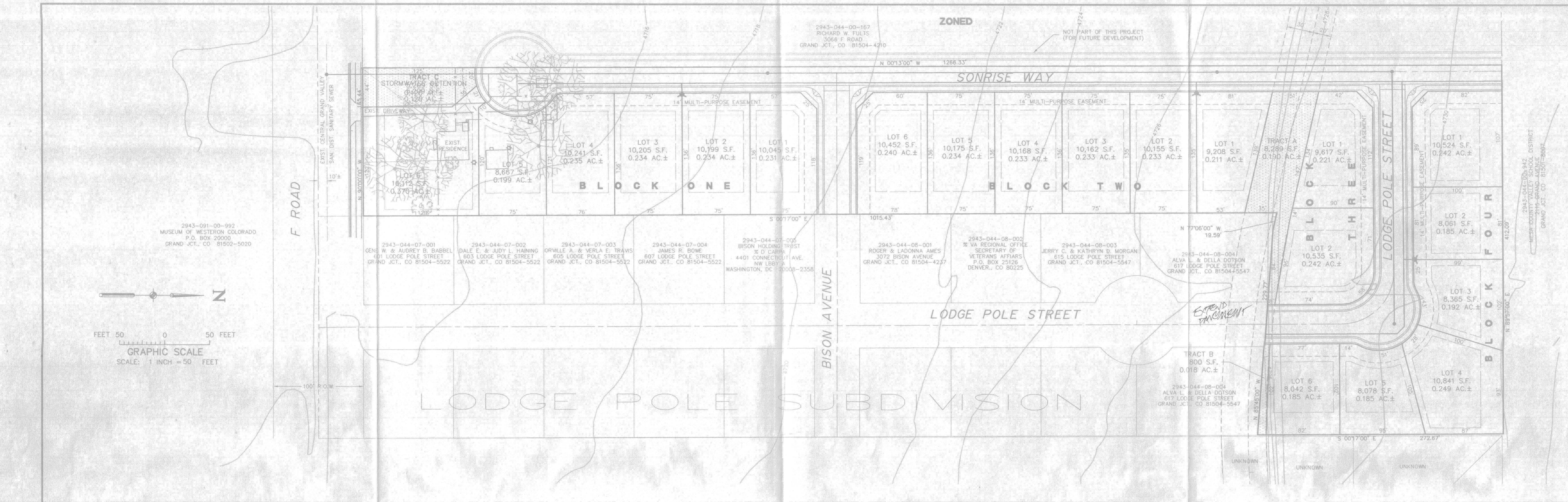
• Sender: Please print your name, address, and ZIP+4 in this box •

Community Development Dept.  
250 North 5th Street  
Grand Junction, CO 81501

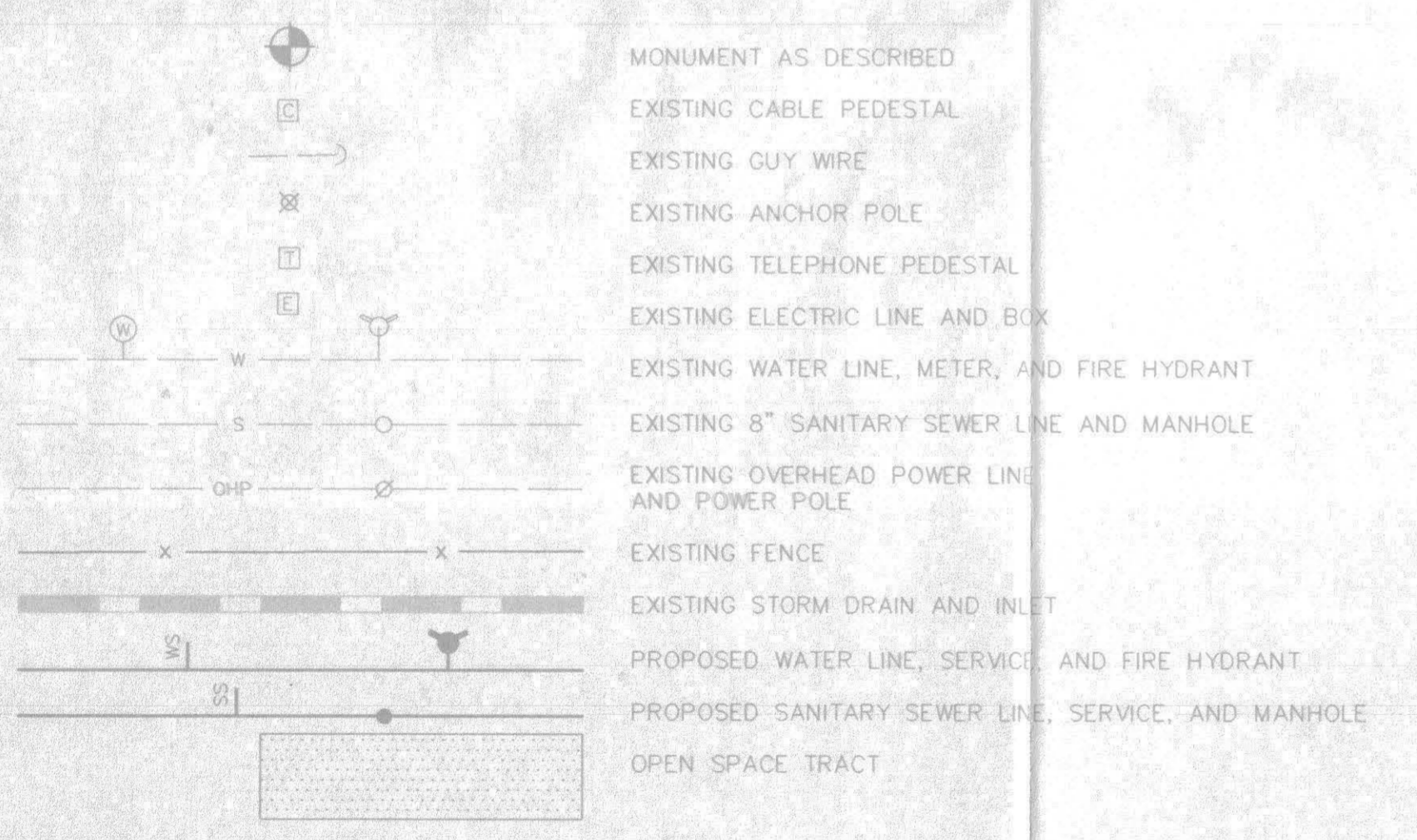
RECEIVED  
MAY 29 2003  
COMMUNITY DEVELOPMENT  
DEPT.







**LEGEND**



**PUBLIC FACILITIES**

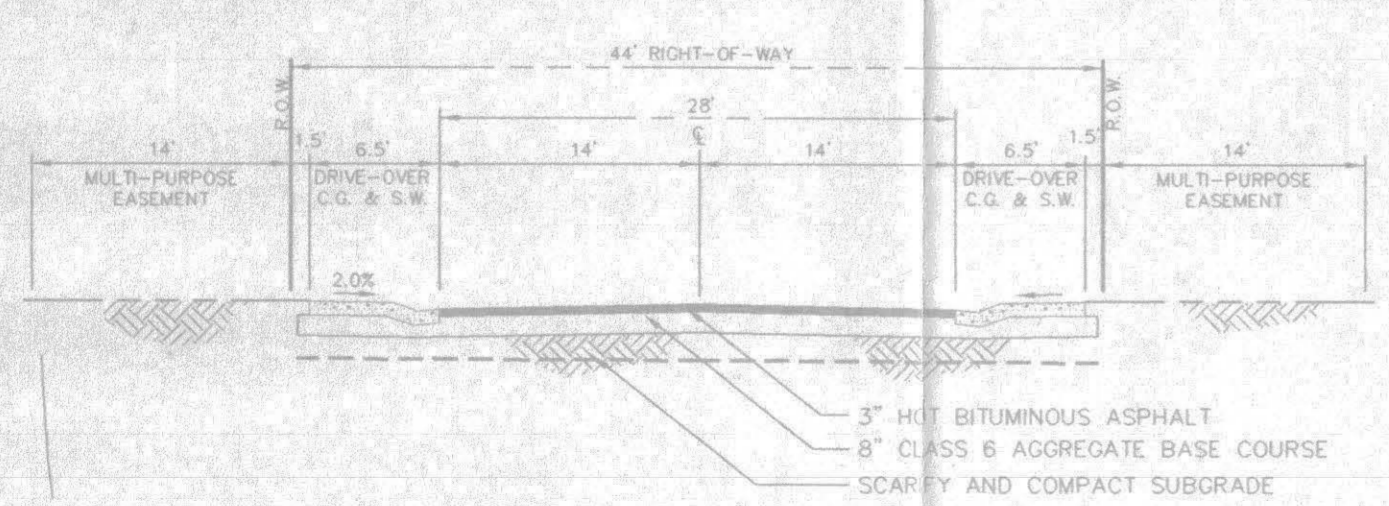
SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Clifton Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Qwest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palisade Irrigation District

**BULK REQUIREMENTS FOR RSF-4 ZONE**

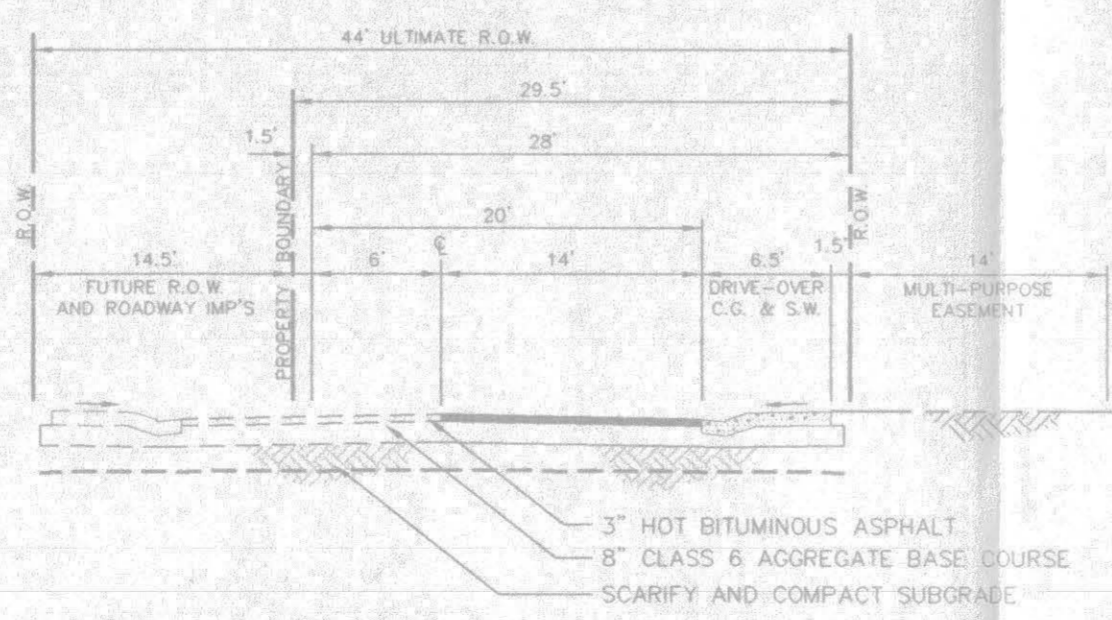
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MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	
PRINCIPAL STRUCTURE	7 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	3 FEET
MINIMUM REAR YARD SETBACK	
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	5 FEET
MINIMUM FRONT YARD SETBACK	
PRINCIPAL STRUCTURE	20 FEET
ACCESSORY STRUCTURE	25 FEET
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

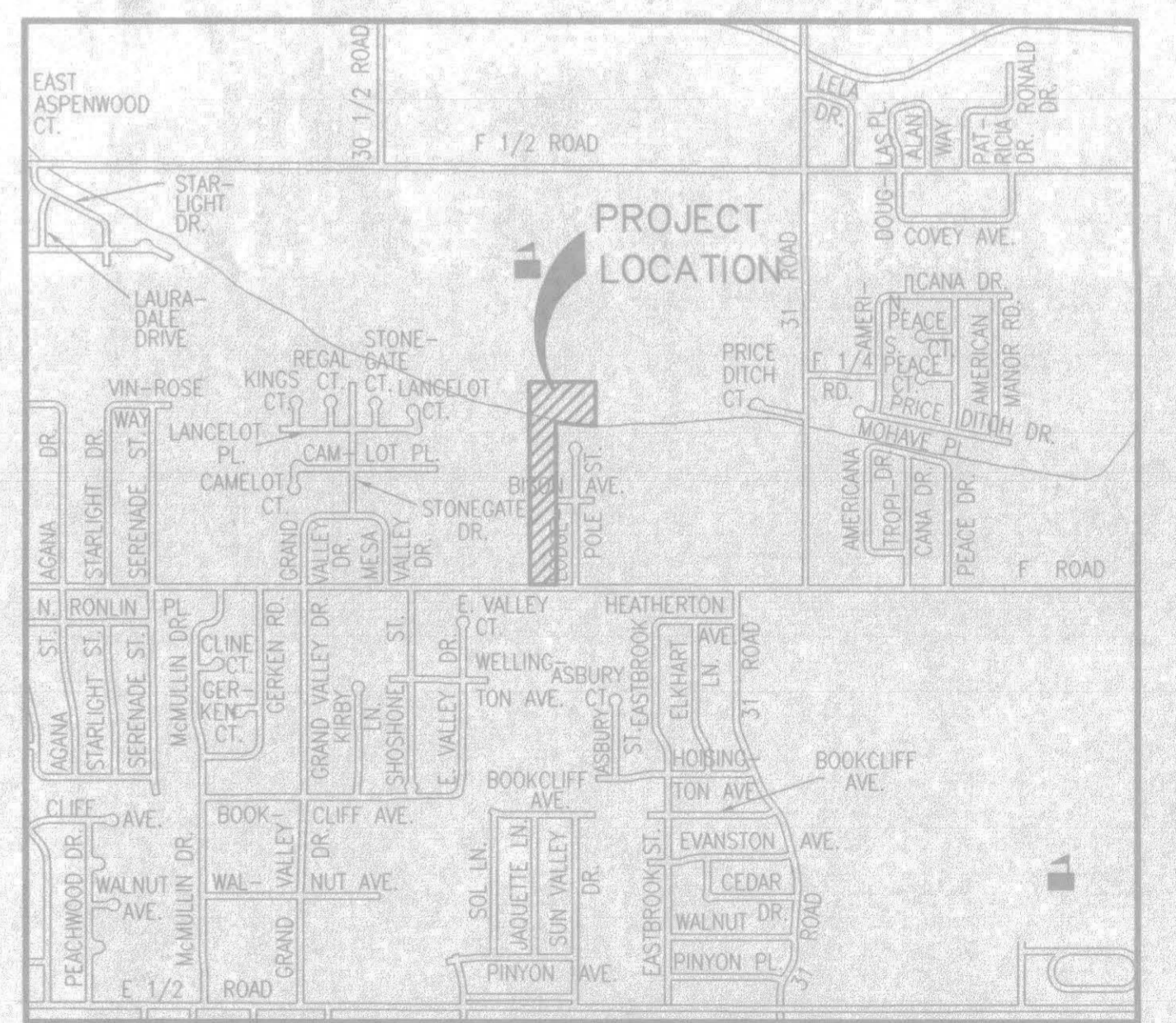
RESIDENTIAL LOTS (201)	4.589 ACRES±	73.0%
OPEN SPACE	0.328 ACRES±	5.2%
INTERIOR ROADS	1.371 ACRES±	21.8%
TOTAL	6.288 ACRES±	100.0%



TYPICAL ROADWAY SECTION  
BISON AVE. & LODGE POLE ST.  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



TYPICAL ROADWAY SECTION - SONRISE WAY  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



VICINITY MAP

DRAWN BY:	F.J.B.	REVIEWED:	DATE:	FOR:
DESIGNED BY:	P.M.O.	REVIEWED:	DATE:	FOR:
CHECKED BY:	P.M.O.	REVIEWED:	DATE:	FOR:

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81608 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHD	T

PRELIMINARY PLAN  
SONRISE ACRES

GRAND JUNCTION, COLORADO	SCALE: 1" = 50'	JOB NO: 417.00-02	DATE: 4-20-03
SHEET NO. 1 of 1			

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