

COMMUNITY  
DEVELOPMENT

May 6, 2004

Sid Squirrell  
1007 N. 7<sup>th</sup> Street  
Grand Junction, CO 81501

Re: 7<sup>th</sup> Street Townhomes  
SS-2003-077

Dear Sid:

This is to confirm our telephone and email conversations where we discussed the bonus rooms located above the garage units for the 7<sup>th</sup> Street townhomes located on 7<sup>th</sup> Street and Teller Avenue.

The plans that were reviewed and approved did not indicate the presence of a bathroom as a part of these rooms, however it would be permissible to include a bathroom if they were desired. My concern, as I indicated to you earlier, would be that if a future owner was interested in converting the room above the garage to an accessory dwelling unit, that it may not be possible to approve it. Accessory dwelling units are required to provide additional parking, and because the rear yard setback for some of the garage units is only 15' it would not be possible to provide the required on-site parking (minimum stall length is 18.5'). Owners may utilize the room as it presently exists however, with or without a bathroom, for storage, office, guest quarters, etc., they just may not be permitted to create an accessory dwelling unit.

I hope this letter has been helpful. Please do not hesitate to contact me should you require additional information or assistance.

Sincerely,



Lisa E. Cox, AICP  
Senior Planner

H:AdminProjects2003/SS-2003-077/ss5604

**From:** Lisa Cox  
**To:** Squirrell, Sid  
**Date:** 5/4/04 4:07PM  
**Subject:** Tag...You're it!

Sid,

We're playing telephone tag so I've resorted to email! I think I understand from your message this morning that Bob Lee needs some kind of letter from me concerning the rooms over the garages because you have decided to plumb for a bathroom...I'd be happy to write that letter for you, I just need you to give me a better idea of what Bob is looking for. Also, I have to tell you that I probably won't be able to write the letter until Thursday...my schedule has been insane since Monday and only looks busier for the rest of the week.

As for the rooms above the garage, you should know that if a future owner is interested in converting the room above the garage to an accessory dwelling unit, that it may not be possible to approve it. Accessory dwelling units are required to provide additional parking, and because the rear yard setback for some of the garage units is only 15' it would not be possible to provide the required on-site parking (minimum stall length is 18.5'). Owners may utilize the room as it presently exists for storage, office, guest quarters, etc., they just may not be permitted to create an accessory dwelling unit.

Let me know what information you need for the letter and I'll get it out to you as soon as possible. Thanks.

Lisa Cox, AICP  
Senior Planner  
970.256.4039

TCP pd  
SIF pd

# SEVENTH STREET TOWNHOMES

A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction

RMF-8  
DEDICATION SS-2003-077

KNOW ALL MEN BY THESE PRESENTS:  
That the undersigned, Cache Townhomes, LLC, a Colorado limited liability company is the owner of that real property situated in the City of Grand Junction, County of Mesa, State of Colorado and is described in Book 3443 at Page 576 of the Mesa County Clerk and Recorders Office, and being situated in the NW 1/4 NE 1/4 of Section 14, Township 1 South, Range 1 West of the Ute Meridian, Mesa County, Colorado as shown on the accompanying plat, said property being described as follows:  
A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction  
Mesa County, Colorado.  
That said owner has caused the said real property to be laid out and surveyed as SEVENTH STREET TOWNHOMES, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado.  
That said owner does hereby state that there are no lien holders against the property.  
That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:  
All Utility Easements to the City of Grand Junction for the use of City-approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.

IN WITNESS WHEREOF said owner has caused their name to be hereunto subscribed this 12<sup>th</sup> day of August A.D., 2003.  
Sidney Squirrel  
Cache Townhomes, LLC (Sidney Squirrel - Managing Member)



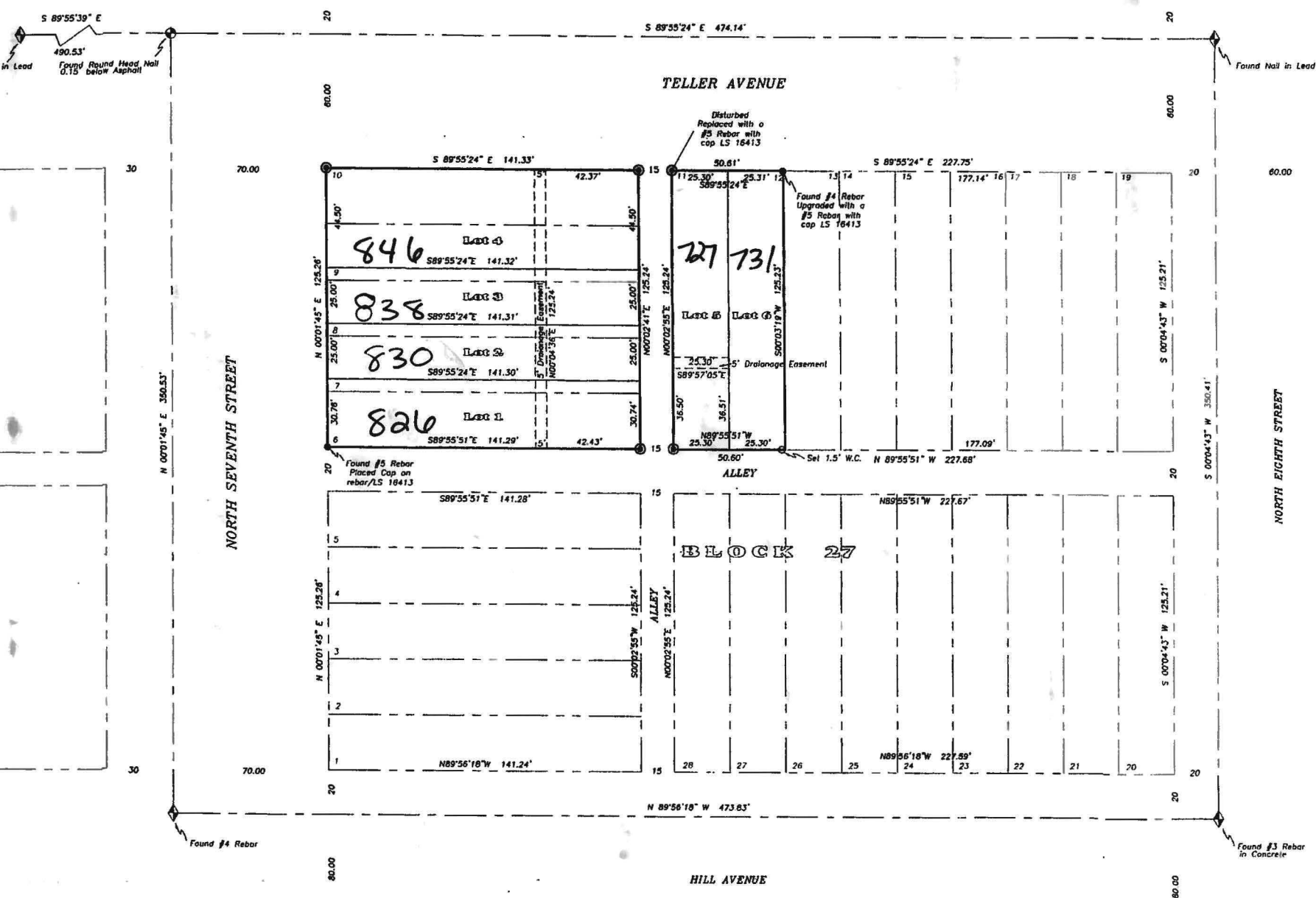
STATE OF COLORADO )  
COUNTY OF MESA ) S.S.  
The foregoing instrument was acknowledged before me this 12<sup>th</sup> day of August A.D., 2003, by Sidney Squirrel  
10/29/2005  
My commission expires: \_\_\_\_\_  
Gayle Henderson  
Notary Public  
Address \_\_\_\_\_

CITY APPROVAL  
This plat of SEVENTH STREET TOWNHOMES, a subdivision of the City of Grand Junction, County of Mesa, and State of Colorado was approved and accepted this 12<sup>th</sup> day of August A.D., 2003.  
[Signature] City Manager  
[Signature] President of Council

CLERK AND RECORDERS CERTIFICATE  
STATE OF COLORADO )  
COUNTY OF MESA ) S.S.  
I hereby certify that this instrument was filed in my office at 3:52 o'clock P. M. this 12<sup>th</sup> day of August A.D., 2003, and is duly recorded in Plat Book No. 19, Page 385  
Reception No. 2141571 Drawer No. 00-28 Fees: \$10.00 + \$1.00

TITLE CERTIFICATION  
STATE OF COLORADO  
COUNTY OF MESA  
We, Abstract & Title Co. of Mesa County, a title insurance company, as duly licensed in the state of Colorado, hereby certify that we have examined the title to the hereon described property, that we find the title to the property vested to Cache Townhomes, LLC; that the current taxes have been paid; that all mortgage not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; that all easements, reservations and rights of way of record are shown hereon.  
DATE: 8-12-03 BY: Debra I. Blanchette  
Debra I. Blanchette Title Officer  
Abstract & Title Co of Mesa County

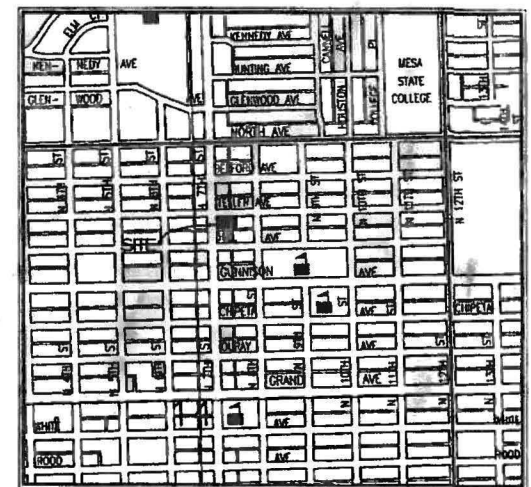
SURVEYOR'S CERTIFICATE  
I, Max E. Morris, certify that the accompanying plat of SEVENTH STREET TOWNHOMES, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same. I further certify that this plat conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and all applicable state laws and regulations.  
[Signature]  
Max E. Morris, O.E.D. Surveying Systems Inc.  
Colorado Registered Professional Land Surveyor 41



- ### LEGEND
- ◆ FOUND GRAND JUNCTION CITY MONUMENT (in Monument Box)
  - ⊙ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
  - ⊙ FOUND NO.5 REBAR W/Aluminum CAP L.S. 18469
  - FOUND SURVEY MONUMENT AS DESCRIBED
  - SET NO.5 REBAR W/CAP L.S. 16413 (PERIMETER SET IN CONCRETE)
  - ⊥ LOT CORNERS TO BE SET BY A COLORADO PROFESSIONAL LAND SURVEYOR PRIOR TO THE SALE OF THE LOT

- ### NOTES:
- Deeds were provided by client.
  - A title search was provided by client (Abstract & Title Co. of Mesa County, Inc., File #00909497 C). A Title Search was not performed by me.
  - Found Monuments that represent property corners are within .25± of calculated position.

NOTICE  
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT OR NO DEFECT MAY BE ASSERTED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



BASIS OF BEARINGS STATEMENT  
Bearings are base on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St & Hill Ave  
The measured bearing of this line is S00°04'43\"/>

### SEVENTH STREET TOWNHOMES

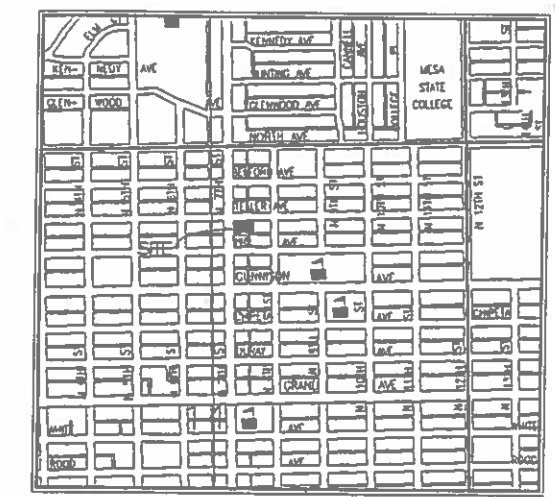
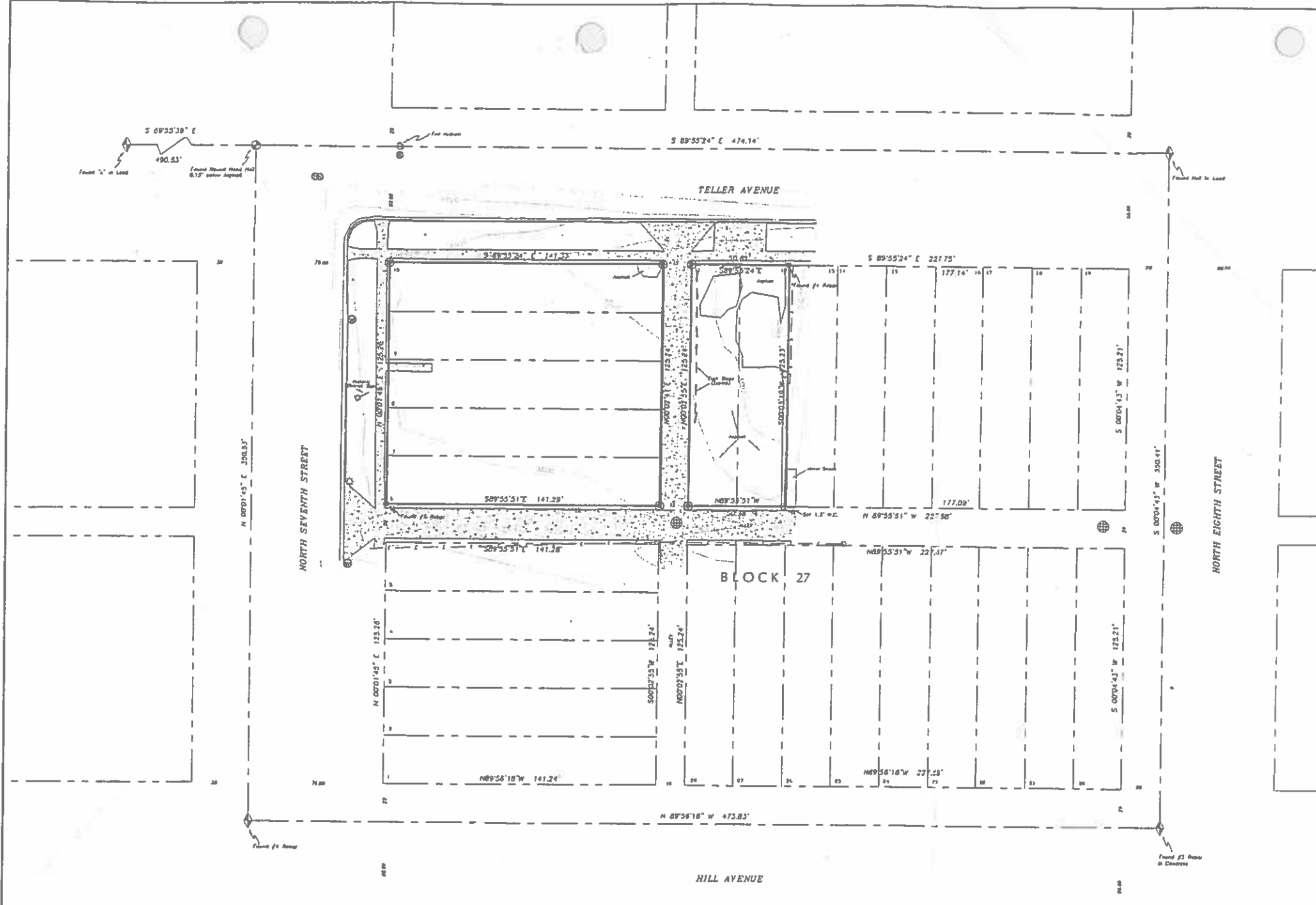
A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction

SITUATED IN THE NW 1/4 NE 1/4 SECTION 14, T 1 S, R 1 W OF THE UTE MERIDIAN

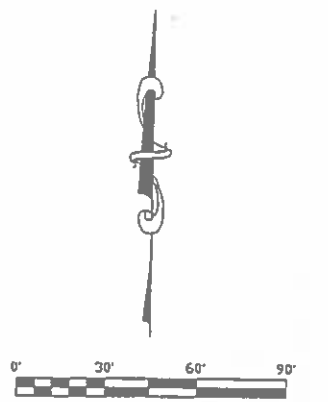
FOR: Carl Vostatak  
ACAD ID: 838 No. 71h  
SCALE: 1"=30'  
DATE: 8/07/03

Q.E.D. SURVEYING SYSTEMS, Inc.  
1018 Colorado Ave  
Grand Junction, CO  
81501-3521  
(970) 241-2370  
Fax: 241-7025

SURVEYED BY: RM SB  
DRAWN BY: DMM  
CHECKED BY: MEM  
SHEET NO.  
FILE: 2003 7



Vicinity Map  
(NOT TO SCALE)



**DESCRIPTION**

The following described premises is noted in Book-1774 Page-547 of the Mesa County Records: Being additionally described as follows:  
Lots 6 through 12, Block 27 in City of Grand Junction,  
Mesa County, Colorado.

**SURVEY CERTIFICATION**

I, Max E. Morris, a Registered Professional Land Surveyor registered in the State of Colorado, hereby certify to Callahan-Eastat Survey, Inc., Transition Title Insurance Company and Abstract & Title Company of Mesa County, Inc., that a field survey of the property described hereon was conducted under my direct supervision and completed on May 21, 2003, that this Improvement Survey Plat correctly shows all boundaries, the location of all pins and monuments, the location of all structures situated on the said property, apparent easements, any fences, hedges or walls on or within five feet of both sides of all boundaries of said property, the location of all visible utilities located on said property, all underground utilities for which there is visible surface evidence, and the available from the county clerk and recorder or for which information was made available based on Abstract & Title Company of Mesa County, Inc. Commitment No. 00909497 C, 2003. The Notes shown hereon are included and hereby made a part of this certification.

**LEGEND**

- ◆ FOUND GRAND JUNCTION CITY MONUMENT(in Monument Box)
- ⊙ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
- ⊙ FOUND NO.5 REBAR W/Aluminum CAP L.S. 18469
- FOUND SURVEY MONUMENT AS DESCRIBED
- SET NO.5 REBAR W/CAP L.S. 18413 (PERIMETER SET IN CONCRETE)
- CONTOUR LINES 1.0' INTERVAL
- - - FENCE LINE
- - - OVERHEAD ELECTRIC LINE
- DIRECTION OF DRAINAGE FLOW
- ⊙ SEWER MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- LIGHT POLE
- POWER POLE
- CONCRETE

**UTILITY PROVIDERS**

WATER	GRAND JUNCTION WATER
SEWER	GRAND JUNCTION
ELECTRIC	XCEL
CABLE TV	AT&T BROADBAND
GAS	XCEL
TELEPHONE	QWEST

**BASIS OF BEARINGS STATEMENT**

Bearings are base on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St. & Hill Ave.  
The measured bearing of this line is S00°04'43"W

NOTICE:  
ACCORDING TO COLORADO LAW YOU MUST OWN AND USE A LEGAL ACRES BASED UPON ANY DEFECT IN THIS SURVEY WHEN THESE PLATS ARE FILED. PLEASE RECHECK YOUR BEARING, TO BE EXACT AND ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED WITHIN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

LAND SURVEY DEPOSITS  
MESA COUNTY SURVEYORS OFFICE  
DATE: \_\_\_\_\_  
BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
RECEPTION NUMBER: \_\_\_\_\_

**AREA SUMMARY**

PARCELS = 0.58 ACRES = 100%
TOTAL = 0.58 ACRES = 100%



COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR L.S. 16413

**IMPROVEMENT SURVEY**

Lots 6 thru 12 in Block 27 of The City of Grand Junction

SITUATED IN THE NE1/4 NW1/4 SECTION 7, T1S, R1E OF THE UTE MERIDIAN	
FOR: Lloyd Jordan	Surveyed Under Colorado Statute 1979
ACAD ID: Jordan2	<b>Q.E.D. SURVEYING SYSTEMS, Inc.</b> 1018 Colorado Ave Grand Junction, CO 81501-3521 (970) 241-2370 Fax: 241-7025
SCALE: 1"=30'	SURVEYED BY: RM (GPS)
DATE: 5/22/03	DRAWN BY: DMM
	CHECKED BY: MEM
	SHEET NO.
	FILE: 2002-293

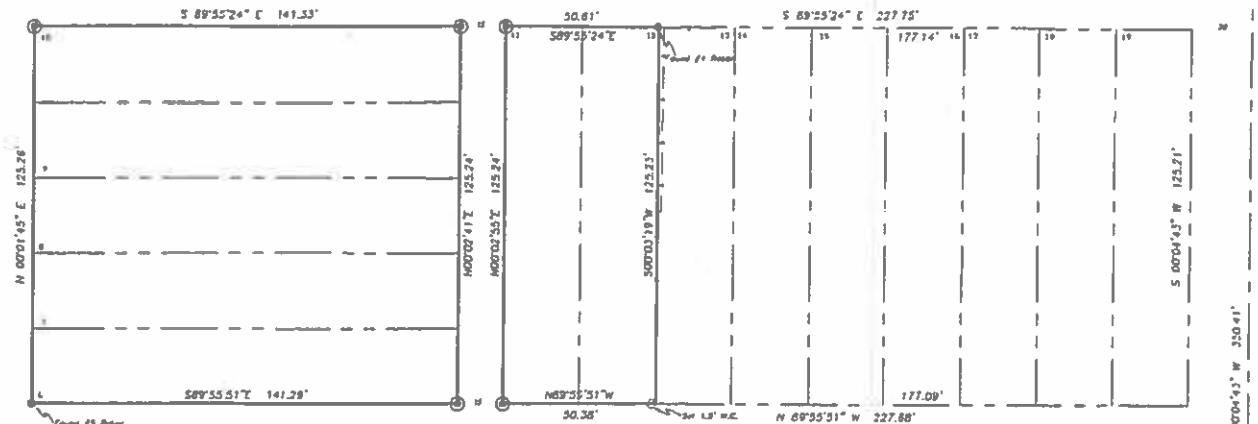
Found 1st in Level  
 S 89°35'29" E  
 490.53'

S 89°55'24" E 474.14'

TELLER AVENUE

N 00°01'45" E 350.53'

NORTH SEVENTH STREET



BLOCK 27

NORTH EIGHTH STREET

Found #1 Rebar

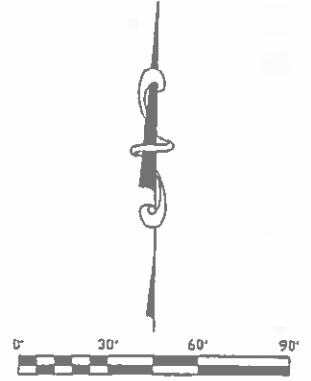
N 68°56'18" W 473.83'

HILL AVENUE

Found #1 Rebar in Concrete



Vicinity Map  
 (NOT TO SCALE)



LEGEND

- ◆ FOUND GRAND JUNCTION CITY MONUMENT (in Monument Box)
- ⊙ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
- ⊙ FOUND NO.5 REBAR W/ALUMINUM CAP L.S. 18469
- FOUND SURVEY MONUMENT AS DESCRIBED
- SET NO.5 REBAR W/CAP L.S. 16413 (PERIMETER SET IN CONCRETE)

CERTIFICATION

I, MAX E. MORRIS, CERTIFY THAT THIS PLAT IS PREPARED FROM FIELD NOTES OF A SURVEY MADE UNDER MY DIRECT SUPERVISION IN MARCH OF 2003, AND THE INFORMATION SHOWN HEREON IS BASED ON THIS SURVEYOR'S KNOWLEDGE, INFORMATION AND BELIEF, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED. I FURTHER CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE AND THE LAWS OF THE STATE OF COLORADO.



COLORADO REGISTERED  
 PROFESSIONAL LAND SURVEYOR L.S. 16413

LAND SURVEY DEPOSIT'S  
 MESA COUNTY SURVEYOR'S OFFICE

DATE: \_\_\_\_\_  
 BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
 DEPOSIT NUMBER: \_\_\_\_\_

BASIS OF BEARINGS STATEMENT

Bearings are based on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St. & Hill Ave. The measured bearing of this line is S00°04'43"W.

NOTICE:  
 ACCORDING TO COLORADO LAW YOU MUST CONSIDER ANY LEGAL ACTION TAKEN WITHIN ANY PERIOD OF THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST OBSERVE SUCH DEFECT OR IN ANY OTHER CASE AND ACTION TAKEN WITHIN ANY PERIOD OF THIS SURVEY IS CONSIDERED VOID THREE YEARS FROM THE DATE OF THE CORRECTION SHOWN HEREIN.

BOUNDARY SURVEY

Lots 6 thru 12 in Block 27 of The City of Grand Junction

SITUATED IN THE SW1/4 NE1/4 SECTION 36, T2S, R2E OF THE UTE MERIDIAN		
FOR: CARL VOSTATEK	Surveying Within Colorado Since 1977	SURVEYED BY: RM SB NI
ACAD ID: B38 NO 7th	<b>Q.E.D. SURVEYING SYSTEMS, Inc.</b> 1018 Colorado Ave Grand Junction, CO 81501-3531 (970) 241-2370 Fax: 241-7025	DRAWN BY: RM
SCALE: 1"=30'		CHECKED BY: DMM
DATE: 5/22/2003		SHEET NO: 1 of 1
		FILE: 03-079



Parks and Recreation Department

City of Grand Junction

1340 Gunnison Avenue

Grand Junction CO 81501

(970) 244-FUNN - FAX (970) 242-1637

FILE NO. SS-2003-077

PROPOSAL: Seventh Street Townhomes

PAID

LOCATION: 838 N. 7th St.

AUG 12 2003

ENGINEER/REPRESENTATIVE: \_\_\_\_\_

PETITIONER: Sidney Squinrell

DV

ADDRESS: 1007 N. 7th St.

PHONE NO.: 241-2909

FEE CALCULATION: \_\_\_\_\_

ACCOUNT NUMBER - ~~105-792-47510240200000~~

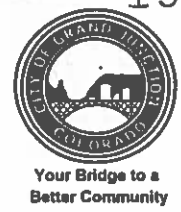
6 UNITS AT \$ 225. /UNIT = \$ 1,350.00 105-792-47510-136492

APPRAISED VALUE AT 10 % = \$ \_\_\_\_\_ 105-792-47510-117055

AMOUNT PAID \$ 1,350.00 DATE 8-12-03 INITIALS dit

WHITE-PETITIONER; GREEN-FINANCE; YELLOW-PARKS; PINK-COMM DEVELOP; GOLDENROD-FILE

**City of Grand Junction**  
 Department of Community Development



Date 8-12-03

Payee Name Cache Townhouses, LLC

Address, City, State, Zip 838 North 7th St.

Telephone 241-2909

Project Address/File/Name JS-2003-077

\* PLEASE CIRCLE ALL THAT APPLY

DESCRIPTION *	AMT	DESCRIPTION *	AMT
<b>DEVELOPMENT PROJECTS</b> 100-321-43195-13-109465 (DEV)		<b>PERMITS</b> 100-321-43195-13-124415 (PERMIT)	
Rezone		Temporary Use Permit	
Conditional Use		Floodplain Permit	
Special Use		Sign Permit (# )	
Major Sub-ODP, Prelim, Final		Special Events Permit (# )	
Simple Subdivision		Fence Permit (# )	
PDR - ODP, Prelim, Final		Home Occupation Permit	
ROW / Easement Vacation		100-61120-43365-30	
Replat / Property Line Adj		<b>OTHER</b>	
Variance		School Impact 701-905-43994 (SLD)	1,752.00
Site Plan Review		Drainage 202-61314-43995-30 (DRAIN)	122.00
Minor Change		TCP 2071-61314-43993-30 (TCP)	3,000.00
Change of Use		Sign Dep 100-21090-131840 (SIGN)	
PLANNING CLEARANCE (# )		Manuals, Copies, etc.	15.50
100-321-43195-13-124450 (PLAN)		400-321-43195-13-120513 (MANUAL)	

Treasurer Receipt No. \_\_\_\_\_ TOTAL \$ 4,889.50

(White: Customer) (Canary: Finance) (Pink: Planning) (Goldenrod: File)

CITY OF GRAND JUNCTION  
DEPARTMENT OF PUBLIC WORKS & UTILITIES  
250 NORTH 5TH STREET  
GRAND JUNCTION, CO 81501  
(970) 244-4003

TO THE MESA COUNTY CLERK & RECORDER:

2141571 08/12/03 0352PM  
JANICE WARD CLK&REC MESA COUNTY Co  
REC FEE \$10.00 SURCHG \$1.00

THIS IS TO CERTIFY that the herein named Subdivision Plat,

SEVENTH STREET TOWNHOMES

Situated in the NW 1/4 OF NE 1/4 of Section 14

Township 1S, Range 1W,

of the UTE Meridian in the City of Grand Junction, County of Mesa, State of Colorado, has been reviewed under my direction and, to the best of my knowledge, satisfies the requirements pursuant to C.R.S. 38-51-106 and the Zoning and Development Code of the City of Grand Junction for the recording of subdivision plats in the office of the Mesa County Clerk and Recorder.

This certification makes no warranties to any person for any purpose. It is prepared to establish for the County Clerk and Recorder that City review has been obtained. This certification does not warrant: 1) title or legal ownership to the land hereby platted nor the title or legal ownership of adjoining; 2) errors and/or omissions, including, but not limited to, the omission(s) of rights-of-ways and/or easements, whether or not of record; 3) liens and encumbrances, whether or not of record; 4) the qualifications, licensing status and/or any statement(s) or representation(s) made by the surveyor who prepared the above-named subdivision plat.

Dated this 11th day of AUGUST, 2003.

City of Grand Junction,  
Department of Public Works & Utilities

By:   
MARK RELPH  
Director of Public Works and Utilities

Recorded in Mesa County

Date: 8-12-03

Plat Book: 19 Page: 385

Drawer: 00-28



SUBDIVISION *Seventh Street Townhomes*

DATE *8-12-03*

# OF LOTS *6*

RECEPTION # *2141571*

BK/PG *19,385*

ACRES *.551*

ZONE *RmF-8*

OWNER *Cache Townhomes, LLC*

LOCATION *838 North 7th*

SEC/TWP/RNG *14, T15, R1W*

FILE # *SS-2003-077*

SIF *∅*

TCP *∅*

d 241-2909

**Carl Vostatek**

From: "Lisa Cox" <lisac@ci.grandjct.co.us>  
To: <cvostatek@prodigy.net>  
Sent: Tuesday, August 05, 2003 3:14 PM  
Subject: 7th Street Townhomes

Carl,

Here are the fees that you'll need to pay for the lots: Drainage fee is \$122 (total); TCP is \$500 per lot, Parks fee is \$225 per lot and the School fee is \$292 per lot. Recording fees are based on the plat and other documents to be recorded. Plat reproduction fee is \$15.50 per page (see my earlier letter).

Check with Customer Service for other utility fees.

Let me know if you have any other questions.

Lisa Cox, AICP  
Senior Planner  
970.256.4039

*hold for Gayles*

*Thanks*

Drainage Fee	$\$122 \times 6 = 732$
TCP	$\$500 \times 6 = 3,000 \checkmark$
Parks Fee	$225 \times 6 = 1,350 \checkmark$
School Fee	$292 \times 6 = 1,752 \checkmark$
Plat	$15.50 \checkmark$
	<hr/>
	$\$6,849.50$

**FAXED**

DATE: 8/6/03  
FAX#: 242-1744  
TO: sd  
FROM: Carl

CACHE TOWNHOUSES, LLC 08-03 1505  
838 NORTH 7TH ST  
GRAND JUNCTION, CO 81501

Date 8/8/03 82-340/1021  
BRANCH 772

Pay to the Order of City of Grand Jct \$ 6,849.50

Sixty Eight Hundred - Forty Nine Dollars

**Alpine Bank**  
709 Horizon Drive  
Grand Junction, CO 81506

*Sally Squirell*

⑆ 102103407⑆ 7717158858⑆ 1505

*ck returned*

8/5/2003

# City of Grand Junction

Community Development Department  
Planning • Zoning • Code Enforcement  
250 North 5th Street  
Grand Junction, CO 81501-2668

Phone: (970) 244-1430  
FAX: (970) 256-4031



## RECORD OF DECISION/FINDINGS OF FACT

**DATE:** June 26, 2003  
**FILE:** SS-2003-077, 7<sup>th</sup> Street Townhomes  
**LOCATION:** 838 N. 7<sup>th</sup> Street

**PETITIONER:** Callahan-Edfast Mortuary  
2515 Patterson Road  
Grand Junction, CO 81505

**REPRESENTATIVE:** Sid Squirrel  
1007 N. 7<sup>th</sup> Street  
Grand Junction, CO 81501

**PLANNER:** Lisa E. Cox; AICP

**REQUEST:** Simple Subdivision and Site Plan Review Approval

**DECISION:** **APPROVED, with conditions as noted below**

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In accordance with Section 2.8.C.3 of the Zoning and Development Code, the final plat and construction plans for 7<sup>th</sup> Street Townhomes have been approved. Approval is subject to the following condition:

1. Signage, if applicable, requires a separate sign permit. All signage must comply with sign regulations of the Zoning and Development Code including clear site distance.
2. The dimensions along the south line of Lots 5 and 6 do not add up to the overall dimension as indicated on the drawing. This must be corrected prior to recordation.
3. The front setback on Teller Avenue for the townhomes facing 7<sup>th</sup> Street (sides are oriented to Teller Avenue) shall be 20' (twenty) feet, NOT 19.50' feet as indicated on the plans.
4. It is acknowledged that bay windows may encroach into the setback not more than 3 feet; therefore the two townhomes facing Teller Avenue meet the front setback requirement as shown on the approved plans.
5. Provision of 4 copies of the Site Plan for approval by City staff.

### The following items must be completed before the plat may be recorded:

1. Submit a mylar of the final plat with owner's signatures, a computer disk with the plat information on it, and a check made payable to the City of Grand Junction for \$15.50 per plat page for reproduction costs. (The electronic version of the plat may be emailed to [stevesm@ci.grandjct.co.us](mailto:stevesm@ci.grandjct.co.us) instead of submitting a



computer disk.) Please note that all property corner pins must be set in concrete and inspected by the City Property Agent before the plat can be recorded.

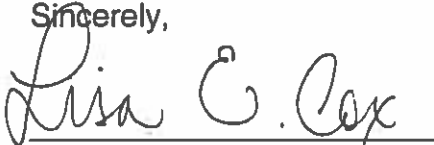
2. Updated title work not more than 90 days old.

3. Pay applicable fees as follows: Parks Impact fee of \$225 per lot (\$1,350). Recording fee of \$10 per plat page for the final plat. In addition to the standard recording fees, the Mesa County Clerk & Recorder has implemented a new \$1 electronic filing surcharge per document beginning September 1, 2002. Please calculate your fees accordingly. The check for the recording fees should be made payable to Mesa County Clerk & Recorder.

Included with this letter you will find a Customer Service Survey entitled "How Did We Do?" Please take a moment to complete the survey and provide us with your comments and feedback. We would like to improve our service to you, and welcome your comments and suggestions. A self-addressed, stamped envelope is enclosed for your convenience.

If you have any questions, or if I may be of further assistance, please call me at 256-4039.

Sincerely,

A handwritten signature in black ink that reads "Lisa E. Cox". The signature is written in a cursive style and is positioned above a horizontal line.

Lisa E. Cox, AICP  
Senior Planner

Enclosure: Customer Service Survey "How Did We Do?"

cc: Rick Dorris, Development Engineer  
Carl Vostatek, Architect

H:\AdminProjects2003\SS-2003-077\RecordofFinalDec

**From:** Rick Dorris  
**To:** Senta Costello  
**Date:** 6/24/03 5:35PM  
**Subject:** 7th Street

Senta,

I signed reproducible and two sets of prints. Please sign and return one set of prints to me.

Then have them return at least one more set for me.

Thanks,

Rick Dorris  
Development Engineer  
City of Grand Junction  
250 N. 5th Street  
Grand Junction, CO 81501  
voice 970-256-4034  
fax 970-256-4031  
email: rickdo@ci.grandjct.co.us



rg consulting engineers, inc.

denver • durango • grand junction • trinidad

June 24, 2003

Mr. Rick Dorris  
City of Grand Junction Community Development  
250 North 5<sup>th</sup> Street  
Grand Junction, Co 81501

*Re: 7<sup>th</sup> Street Townhomes  
Revised Site Plan / Grading Plan*

Dear Rick:

Attached to this letter are two copies and one set of original drawings for the 7<sup>th</sup> Street Townhouse project located at 7<sup>th</sup> and Teller Avenue. The drawings reflect the chase drain revisions we discussed last week.

Let me know if you need any additional information. If the attached revised drawings are acceptable, please sign the original drawings and we'll swing by and pick them up.

Thanks Rick-

*RG Consulting Engineers, Inc.*

Mark Austin

RECEIVED

JUN 24 2003

COMMUNITY DEVELOPMENT  
DEPT.

Lisa

June 12, 2003

Re: **SS-2003-077**

**SEVENTH STREET TOWNHOMES**

AP  
6/17/03

REVIEW COMMENTS

1. The dimensions along the South line of Lots 5 and 6 do not add up to the overall dimension as indicated on the drawing.
2. Immediately prior to recordation of the Plat a field inspection will be performed to verify that monumentation indicated on the Plat are in place and as noted

By: Peter T. Krick  
City Surveyor

August 11<sup>th</sup>, 2003

Re: SS-2003-077  
**SEVENTH STREET TOWNHOMES**

REVIEW COMMENTS

1. A field inspection revealed that the Northwest corner of Lot 5 has been damaged due to construction and shall be replaced. The Plat shall be revised to indicate this situation.
2. The Northeast corner of Lot 6 shall be noted as being capped with LS #16413.
3. The Southwest corner of Lot 1 shall be noted as being capped with LS #16413.
4. The Title Company has signed the mylar with blue ink and shall be resigned with black ink, per standards.

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

Lisa

AP  
8/12/03



**From:** Lisa Cox  
**To:** Vostatek, Carl  
**Date:** 8/11/03 2:03PM  
**Subject:** 7th Street Townhomes plat

Carl,

Peter Krick is returning the plat to you with comments. I'll fax the comments over to your office so you can get started on them since I know you and Sid are in a hurry to get the plat recorded.

Call Peter (256-4003) if you have questions about his comments. I will be out of the office all day on Wednesday, so if the plat is ready by then, go ahead and take it to Peter (just this one time)...I've already asked him if it was okay for you to bring it directly to him (just this one time). We don't normally allow the plats to go directly up to Peter, but since we're trying to help expedite things, its okay this time.

After Peter approves the plat and makes up the Recording Certificate, the City Manager and Mayor will need to sign the plat and then it can be recorded.

Lisa Cox, AICP  
Senior Planner  
970.256.4039

**From:** Lisa Cox  
**To:** sid@gj.net; Vostatek, Carl  
**Date:** 6/11/03 8:39PM  
**Subject:** 7th Street Townhomes

Hi guys...I got the latest Response to Comments and am fine with approving the project from the Planning side. Peter Krick, Rick Dorris and George Miller have until 6-18-03 (5 working days) to review the revised plans and let me know if they are okay with approving the project. You should hear something by next Wednesday from me on the status...Let me know if you have any questions before then!

Lisa Cox, AICP  
Senior Planner  
970.256.4039

**RESPONSE to REVIEW COMMENTS**  
**2nd Round**  
**7th Street Townhomes**  
**June 10, 2003**

*Response adequate -  
Community Development*

File: #SS-2003-077  
Location: 838 North 7th Street  
Petitioner: Callahan-Edfast/Michael Blackburn  
Staff Representative: Lisa Cox

**City Community Development**

**General:**

1. Labelled Response to Comments submitted for each agency or individual requesting information/ revised plans (4).
2. Revision date/nature of change on each plan/plat.
3. 11x17 reduction of plat attached.

**Landscape Plan:**

1. Type of trees reviewed by Parks and Recreation (Shawn Cooper). *Summit ash* approved; *silver maple* changed to *zeldora*.

**City Development Engineer**

See attached Response to Comments prepared by RG Consulting

**City Property Agent**

1. Dimensions revised on plat.
2. Title Commitment attached.
3. Improvement Survey signed and sealed by Surveyor.

**City Transportation Engineer.**

See attached Response to Comments prepared by RG Consulting.

## 2<sup>ND</sup> ROUND - RESPONSE TO COMMENTS:

### Comments from Rick Dorris:

1. Some curb and gutter and sidewalk has been shown to be replaced. Significantly more needs to be removed and replaced. Please meet on site to mark out the replacement items.

*Response: The applicant met with Mr. Dorris on 6/9/03. The revised drawing reflects the additional removal and replacement areas.*

2. The storm pipe going through the curb face will have no bury and will be in the concrete of the sidewalk. Another solution should be created here.

*Response: The existing sidewalk in this area is to be removed and replaced. The new grades are approximately 6" higher at this crossing so that it will not be constructed in the concrete sidewalk. The landscaped grades between the curb and new sidewalk will also be elevated to provide cover over the 6" pipe.*

3. A letter from the building department is needed indicating they have received a grading plan needs to be provided. They can simply sign on the letter you provided

*Response: The letter is attached.*

### Comments From George Miller

1. *Response: Comment noted.*
2. *Response: Chapter 12 of the TEDS discusses the requirements for alleys. This section is only two pages long, and the only sight/turning radius requirement is that garages must be a minimum of 15-ft from the property line, which this submittal reflects. I was not able to identify any additional specific radius requirements. While there is an "alley intersection" located at the southeast corner of this site, any vehicle that cannot make the turn can simply continue in the direction they are headed and end up on one of the adjacent City Streets. This is no specific reason that a vehicle needs to make a turn, except at the intersections with the adjacent City Streets.*

## Memorandum

**DATE:** June 11, 2003

**TO:** Rick Dorris, Community Development Engineer  
George Miller, City Transportation Engineer  
Peter Krick, City Property Agent

**FROM:** Lisa Cox, Senior Planner

**SUBJECT:** Response to Comments – 7th STREET  
TOWNHOMES (SS-2003-077).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Wednesday, June 18, 2003.

If you have any questions please contact me at:

Phone #: 256-4038

Fax #: 256-4038

E-mail: [lisac@ci.grandjct.co.us](mailto:lisac@ci.grandjct.co.us)

**From:** George Miller  
**To:** Cox, Lisa  
**Date:** 6/10/03 7:55AM  
**Subject:** Re: SS-2003-077, 7th St. Townhomes

Lisa, I thought I'd forwarded info to Impact, but can't verify because Impact has been down two days. As I recall, Jody made me back off on the radius improvements on 7th St, but I still was able to make sure they check to make sure they can accommodate turning vehicles at the alley intersection.

I hope you're having a good day. How's your dad doing?

>>> Lisa Cox 06/04/03 07:02PM >>>

I don't see any further comments in Impact and assume its ok to approve this project tomorrow?

Lisa Cox, AICP  
Senior Planner  
970.256.4039

# REVIEW COMMENTS

2<sup>nd</sup> Round

Page 1 of 2  
June 5, 2003

FILE #SS-2003-077(2)

TITLE HEADING: 7th Street Townhomes

LOCATION: 838 North 7th Street

PETITIONER: Callahan-Edfast – Michael Blackburn

PETITIONER'S ADDRESS/TELEPHONE: 1250 E. Sherwood D  
243-2450

PETITIONER'S REPRESENTATIVE: J&T Development, LLC – Sidney Squirrel  
241-2909

STAFF REPRESENTATIVE: Lisa Cox

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., THURSDAY, JUNE 12, 2003.**

*OK to approve* / **CITY COMMUNITY DEVELOPMENT**

6/5/03

Lisa Cox

256-4039

**GENERAL:**

1. Please submit and label a Response to Comment for each agency or individual that has requested additional information or revised plans. Distribution and review of the applicant's Response to Comments may be delayed if they are not labeled for distribution to each agency or individual.
2. Note the revision date and nature of change on each plan or plat sheet that has been revised.
3. Include an 11 x 17 reduction of the revised plat/plan.

**LANDSCAPE PLAN:**

1. Coordinate the type of trees being proposed for planting with the Parks and Recreation Department to ensure that they are acceptable. All landscaping must be irrigated and maintained.

**CITY DEVELOPMENT ENGINEER**

6/5/03

Rick Dorris

256-4155

1. Some curb and gutter and sidewalk has been shown to be replaced. I identified significantly more than shown on the plans. The best thing to do is to meet on site and paint what needs to be replaced and then identify on the plans.
2. The storm pipe going through the curb face will have no bury and will be in the concrete of the sidewalk. Another solution should be created here.

**REVIEW COMMENTS / FILE #SS-2002-077 / PAGE 2 of 2**

3. A letter FROM the building department showing they have received a grading plan needs to be provided. They can simply sign over the letter you wrote to them saying they received it.

**CITY PROPERTY AGENT**

**5/29/03**

**Peter Krick**

**256-4003**

---

**REVIEW COMMENTS**

1. Certain dimensions appearing on the Plat appear smaller than the 0.08" minimum size allowed and shall be made larger.
2. A complete copy of a current Title Commitment is required with the submittal. Copies of all documents referenced in the Commitment shall be furnished.
3. The Improvement Survey included with the submittal shall be signed and sealed by the Licensed Surveyor.

**CITY TRANSPORTATION ENGINEER**

**5/29/03**

**George Miller**

**256-4123**

---

Comments pertain to a comment response and plan set received 5-23-03.

1. (Applicant has requested a waiver from the TEDS required intersection radius need for reasons of pedestrian safety and historical preservation.) Though the radius improvement will require only an additional second of pedestrian crossing time and will not compromise visibility of either pedestrians or approaching vehicles, and would assure all traffic can flow from 7th St at a higher (safer) exiting speed, I will acquiesce to the historical preservation, as directed.
2. (Applicant has requested a waiver from the TEDS required alley radius reviews to ensure accessibility for all normal vehicle use, citing that had such a need been valid, it would have been addressed by recently completed alley improvements.) The radius need evaluations are necessary to prevent possible damage to this proposal's own fixtures. Recent alley way improvements could not have made these evaluations (or related modifications) as improvements were adjacent to undeveloped ground.



May 27, 2003

Re: SS-2003-077  
**SEVENTH STREET TOWNHOMES**

*AP  
5/29/03*

*Lisa*

REVIEW COMMENTS

1. Certain dimensions appearing on the Plat appear smaller than the 0.08" minimum size allowed and shall be made larger.
2. A complete copy of a current Title Commitment is required with the submittal. Copies of all documents referenced in the Commitment shall be furnished.
3. The Improvement Survey included with the submittal shall be signed and sealed by the Licensed Surveyor.

By: Peter T. Krick  
City Surveyor

## Memorandum

**DATE:** May 23, 2003

**TO:** Rick Dorris, Community Development Engineer  
Peter Krick, City Property Agent  
George Miller, City Transportation Engineer  
Faye Gibson, City Addressing  
Trent Prall, City Utility Engineer  
Chuck Wiedman, Bresnan Communications

**FROM:** Lisa Cox, Senior Planner

**SUBJECT:** Response to Comments – 7th STREET  
TOWNHOMES - (SS-2003-077).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Friday, May 30, 2003.

If you have any questions please contact me at:

Phone #: 256-4039

Fax #: 256-4031

E-mail: [lisac@ci.grandjct.co.us](mailto:lisac@ci.grandjct.co.us)

**RESPONSE to REVIEW COMMENTS**

7th Street Townhomes

May 23, 2003

File: #SS-2003-077

Location: 838 North 7th Street

Petitioner: Callahan-Edfast/Michael Blackburn

Staff Representative: Lisa Cox

**City Community Development**

General:

1. Labelled Response to Comments submitted for each agency or individual requesting information/revised plans (7).
2. Revision date/nature of change on each plan/plat.
3. 11x17 reduction of plat attached.

**Site Plan (Utility Composite)**

1. Landscaping Plan was included in submittal package and did show landscaping in the right-of-way between sidewalk and curb. Additional Landscape Plan attached.
2. Historical District will be identified on the plan.
3. Acknowledged.

**City Development Engineer**

See attached Response to Comments prepared by RG Consulting

**City Property Agent**

1. Shown on plat.
2. Location map provided.
3. Font style changed.
4. Improvement Survey Plat attached.
5. Shown on plat.
6. Shown on plat.
7. Shown on plat.
8. Shown on plat.
9. Title Commitment data incorporated herein.
10. Acknowledged.

**City Utility Engineer**

1. Acknowledged.

**City Transportation Engineer.**

See attached Response to Comments prepared by RG Consulting.

**Response to Comments**  
page 2

**City Addressing**

1. Acknowledged.

**Bresnan Communications**

1. Acknowledged.
2. Acknowledged.
3. Acknowledged.
4. Acknowledged.
5. Acknowledged.
6. Acknowledged.

## RESPONSE TO COMMENTS:

### Comments from Rick Dorris:

1. The 11X17 copy of the site plan does not match the utility composite for utilities. Make them match.  
*Response: The site plan has been revised.*
2. The asphalt patches must use seamless patching. Please call this out.  
*Response: Seamless patching has been added to the drawings.*
3. There are several cracked curb/gutter stones on 7<sup>th</sup> and Teller that need to be replaced.  
*Response:*
4. There is a storm sewer depicted connecting to the curb/gutter on Teller. Please clarify.  
*Response: Basically, a six inch drain line will collect the runoff from the backyard areas, which drain into small PVC area drains. We are proposing to remove a 10-ft section of curb and gutter and daylight the outlet of the six-inch pipe into the curb head, and re-pour the curb/gutter around the 6" outlet..*
5. Provide a "Site Plan" per TEDS, and include drainage flow arrows and elevations on the site plan.  
*Response: This application is a "minor" site plan review. RGCE has prepared a new site plan that we believe meet the requirements.*
6. Provide a letter from the building department that documents receipt of finished floor elevation requirements to meet site drainage needs.  
*Response:*
7. Drainage fee of \$122 is acceptable.  
*Response: No Response Required*
8. TCP applies.  
*Response: No Response Required*

### Comments From George Miller

1. The corner radius at 7<sup>th</sup> and Teller will need to be modified to a 30-ft radius (TEDS 6.2).  
*Response: We believe the corner should remain as originally constructed because this project is within an existing historic district with detached walks*

*with landscaped areas and center medians, which provides a very pedestrian friendly environment and provides numerous traffic calming benefits.*

2. The alley way intersection between thru E-W and N-S alleys will need to be evaluated for required turning radii to accommodate normally accessing vehicles.  
*Response: The alley was recently refurbished by the City of Grand Junction and should reflect all alley improvement standards. Turning movements at this corner will by default be restricted to passenger cars and trucks. Any large vehicles using this alley will not be able to make this turn without encroaching onto private property, but can easily progress to the adjacent city streets to make any required turning movements.*



rg consulting engineers, inc.

denver • durango • grand junction • trinidad

May 21, 2003

Mesa County Building Department  
750 Main Street  
Grand Junction, CO 81502

Re: Minimum Required Top Of Concrete Foundation Elevations  
Lots 1-6, Seventh Street Townhomes

To Whom It May Concern:

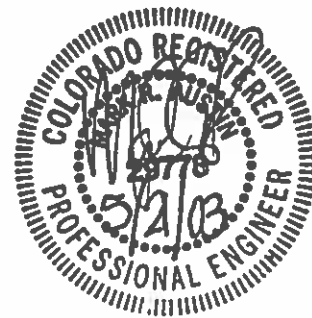
Listed below are the minimum top of foundation elevations for townhouse lots for the above subject properties:

Lot 1 5608.38-FT  
Lot 2 5608.38-FT  
Lot 3 5608.38-FT  
Lot 4 5608.38-FT  
Lot 5 5608.38-FT  
Lot 6 5607.25-FT  
Lot 7 5607.25-FT

If you have any questions or concerns, please give me a call at 242-7540.

Sincerely,  
RG Consulting Engineers, Inc.

Mark Austin, P.E.  
Western Slope Manager



## City of Grand Junction

Community Development Department  
Planning • Zoning • Code Enforcement  
250 North 5th Street  
Grand Junction, CO 81501-2668

Phone: (970) 244-1430  
FAX: (970) 256-4031



May 23, 2003

Dr. Bruce Kronkright  
732 Hill Avenue  
Grand Junction, CO 81501

Re: 7<sup>th</sup> Street Townhomes

Dear Dr. Kronkright:

Thank you for your letter of May 19, 2003 outlining your concerns for the proposed 7<sup>th</sup> Street Townhomes project. Inasmuch as I am able to, I will try to address the concerns you stated in your letter.

In regards to parking, the Zoning and Development Code requires that 2 parking spaces be provided for each single family attached or detached dwelling unit. In addition to the parking spaces provided by the two-car garage units, the developer has designed between 16 and 20 feet of asphalt/concrete (parking pad) between the alley and the garage units which could also accommodate parked vehicles in response to the Code requirements.

The City's Zoning Code does not address architectural design elements for dwelling units. Although this property is not located within the Seventh Street Historic District, the developer has designed the dwelling units in a manner that would blend well with the existing homes. I have enclosed a rendering from the developer of potential homes that could be constructed with the proposed development. For specific information on the exact architectural style to be constructed, I would recommend that you contact the developer directly.

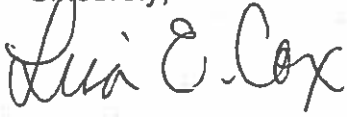
To address your traffic concerns, I have forwarded a copy of your letter to Mr. George Miller in the Traffic Engineering Division of the Public Works Department. Mr. Miller is much better qualified to address traffic related concerns than I am. You may also contact Mr. Miller at 256-4123 should you have other questions pertaining to the traffic in this area.





I hope this information has been helpful. Please do not hesitate to contact me should you have other questions, or if I may be of further assistance.

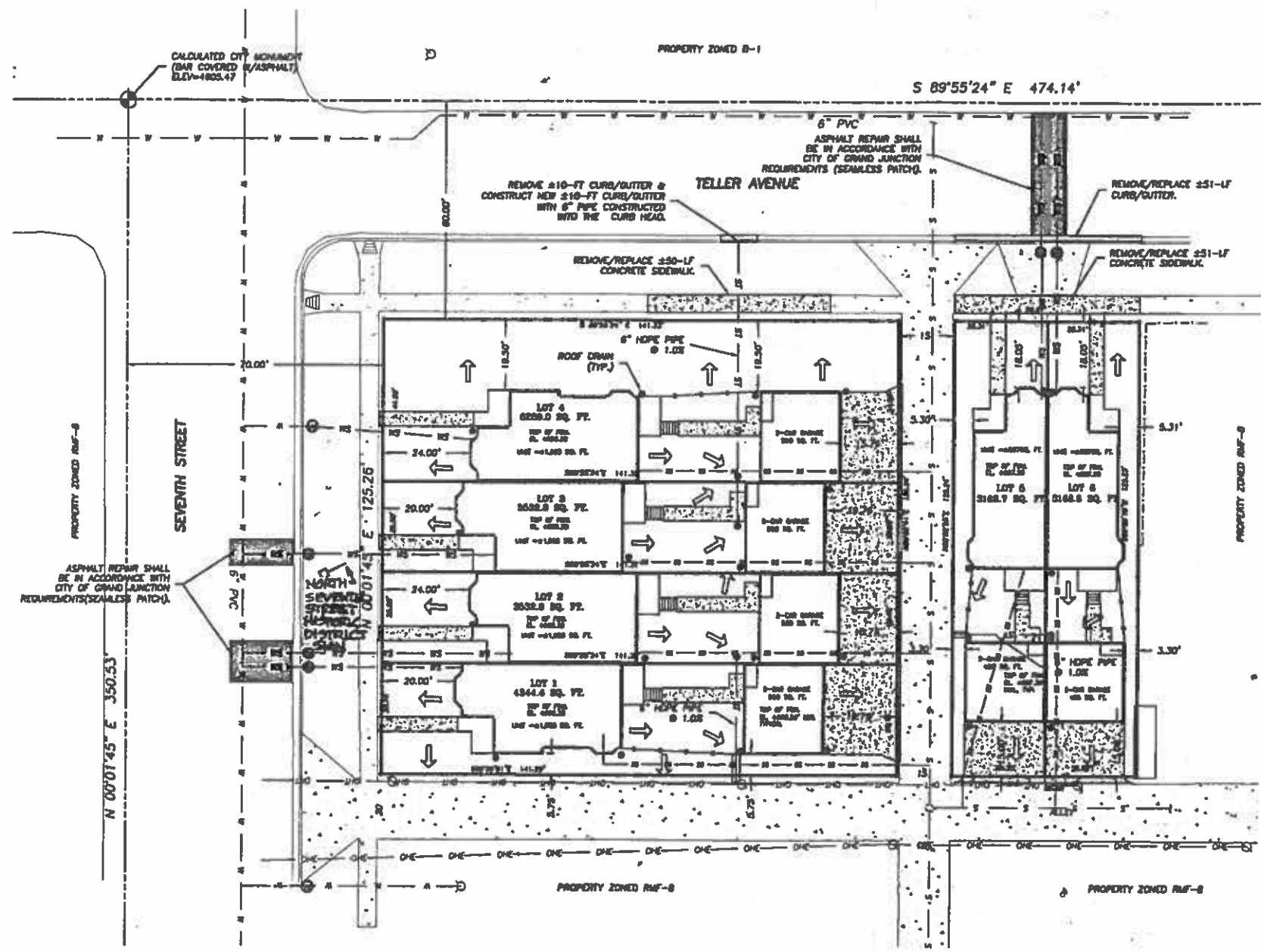
Sincerely,

A handwritten signature in black ink that reads "Lisa E. Cox". The signature is written in a cursive style with a large, looped "L" and "C".

Lisa E. Cox, AICP  
Senior Planner

Enclosure: 1

H:AdminProjects2003/SS-2003-077/BK52303



**LEGEND**

- PROPERTY LINE
- MONUMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLDG
- PROPOSED BLDG
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING WATER
- PROPOSED WATER
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING STORM LINE
- PROPOSED STORM LINE
- PROPOSED 8" DRAIN (MIN ADS 2200008 OR EQUAL)
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- EXISTING OVERHEAD POWER
- EXISTING OVERHEAD TELEPHONE
- EXISTING UTILITY POLE
- ROOF DRAIN
- DRAINAGE FLOW DIRECTION
- XX.XX FT FINISHED GRADE ELEVATION
- XX.XX FT FINISHED TOP OF CONCRETE ELEV.

**UTILITIES AND AGENCIES**

CITY OF GRAND JUNCTION PUBLIC WORKS	WATER
CITY OF GRAND JUNCTION PUBLIC WORKS	SEWER
CITY OF GRAND JUNCTION PUBLIC WORKS	STORM SEWER
XCCL ENERGY	GAS
XCCL ENERGY	POWER
QUEST	QUEST
AT&T CABLE SERVICES	TELEPHONE
	CABLE TV



**CITY OF GRAND JUNCTION ENGINEERING**

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

ACCEPTED AS CONSTRUCTED

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SEVENTH STREET TOWNHOMES  
SITE PLAN

presented by  
**CARL POSTATEC, ARCHITECT**

ig consulting engineers, inc.  
330 Main Street, Suite 203 • Grand Junction, Colorado • 81507  
(970) 242-7540

REVISIONS

NO.	DATE	DESCRIPTION
1	5/21/87	RESPONSE TO COMMENTS

DATE: 5/21/87

SCALE: VERIFICATION

1-800-922-1987

ALL RIGHTS RESERVED  
CITY OF COLORADO

DO NOT CONSTRUCT ANYTHING WITHOUT THE CITY ENGINEER'S APPROVAL

NO. 327.0005

DATE: 5-20-03

SCALE: 1"=20'

SHEET NO: S1

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contractor Documents for Capital Improvements Construction. Contractor shall have a copy of the occupied plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

# NOTICE OF LAND USE APPLICATION

A Land Use Application for the following has been received. This application does not require a Public Hearing, however, as an adjacent property owner you are invited to comment.

If you have any questions regarding the following request, please contact the Grand Junction Community Development Department at (970) 244-1430.

Objections, concerns, and/or comments about this application should be submitted, in writing, to the Grand Junction Community Development Department, 250 North 5th Street, Grand Junction, CO 81501 no later than **MAY 20 2003**.

---

**SS-2003-077 - 7th STREET TOWNHOMES - 838**  
**North 7th Street**  
Request approval to replat 7 lots into 6 lots for attached  
single family homes in the RMF-8 zone district.  
Planner **Lisa Cox**



City of Grand Junction  
 Community Development Department  
 250 North 5th Street  
 Grand Junction, CO 81501

PRESORTED  
 FIRST CLASS



6 MF PER  
 6065139



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOP  
 250 NORTH 5TH STREET  
 GRAND JUNCTION, CO 81501



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501

PRESORTED  
 FIRST CLASS



6 MF PER  
 6065139



*Ann  
 CGA*

LORI M HAAS  
 110 TEXAS AVE  
 GRAND JUNCTION, CO 81501-2170

NIXIE

2004 1 03 05/13/03

RETURN TO SENDER  
 ATTEMPTED - NOT KNOWN  
 UNABLE TO FORWARD

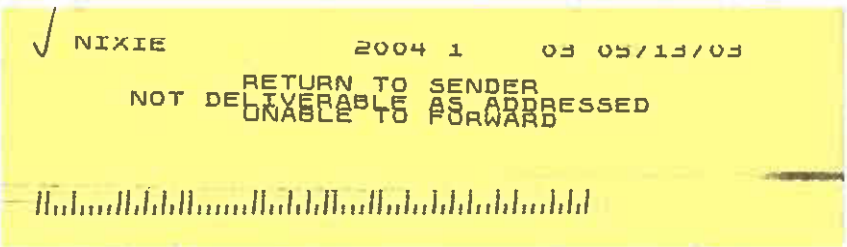




City of Grand Junction  
 Community Development Department  
 250 North 5th Street  
 Grand Junction, CO 81501



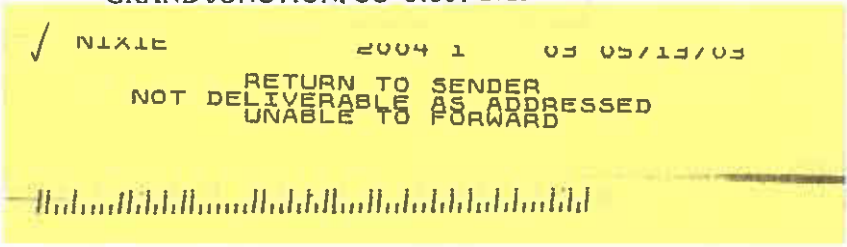
*for*  
 DANA A HENSLEY  
 732 TELLER AVE  
 GRAND JUNCTION, CO 81501-3239 *for 1/2*



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501



*for*  
 PAMELA GAY POWELL  
 CHESTER L HOSKINDS  
 609 TELLER AVE  
 GRAND JUNCTION, CO 81501-2723



Fire Department  
New Development Fire I v

Instructions: To process the application, the developer/applicant's engineer should first fill out all items in Section A, and then deliver/mail this form to the appropriate water purveyor.<sup>1</sup> Once the water supplier has signed and given the required information, deliver/mail the completed and fully signed form to the City or County Planning Department.<sup>2</sup>

SECTION A

Date: 4/4/03  
Project Name: 7th Street Townhomes  
Project street address: 838 N. 7th Street  
Assessor's Tax Parcel Number: \_\_\_\_\_  
Property Owner name: Callahan-Edfast Mortuary  
City's project file #: \_\_\_\_\_  
Name of Water Purveyor: City of GJ

1. If the project includes one or more one or two-family dwelling(s):
  - a. The maximum fire area<sup>1</sup> for each one or two family dwelling will be 2200 square feet.
  - b. All dwelling units will , will not  include an approved automatic sprinkler system.Comments: \_\_\_\_\_
2. If the project includes a building other than one and two-family dwelling(s):
  - a. List the fire area and type of construction for all buildings used to determine the minimum fire flow requirements: none
  - b. List each building that will be provided with an approved fire sprinkler system: none
3. List the minimum fire flow required for this project (based on Appendix B and C): \_\_\_\_\_

Comments: \_\_\_\_\_

Note: Fire Flow Rule: The City's Fire Code<sup>3</sup> sets minimum fire flows for all structures and new development. In general, for single family dwellings, at least 1000 g.p.m at 20 p.s.i. residual pressure must be continuously available at each structure. Duplex, other residential and all non-residential uses must have more fire flows in order to fight fires. Inadequate fire flows are normally due to water supply pipes that are too small or too little water pressure, or a combination of both.

Note for the Applicant/Project engineer: Refer to Appendix B and C, IFC 2000, to determine the minimum fire flow required for this project, based on the Water Purveyor's information (i.e., location, looping and size of water lines; water pressure at the site, etc.) and the type, density and location of all structures. Base your professional judgment on the City approved utility plans and Water Provider information shown on this Form. Each time the utility plans/other information relating to treated water changes, resubmit this form just as you did the first time.

[End of Section A. Section B continues on the reverse side of this page]

<sup>1</sup> Fire area is defined on page 357 of the IFC.

City of Grand Junction  
Fire Flow Form

SECTION B

[To be completed by the Water Supplier]

1. Circle the name of the water supplier: Ute Clifton Grand Junction
2. List the approximate location, type and size of supply lines for this project, or attach a map with the same information:
3. List the g.p.m. at 20 p.s.i. residual pressure at the point that the development/project will be connected to the existing water system: 2457 @ 20 PSI
3. Attach fire flow test data for the fire hydrants nearest to the development/project that must be used to determine available fire flow: \_\_\_\_\_  
[Or: 1. attach a map or diagram with the same information, or 2. attach a map/diagram with flow modeling information.]
4. If new lines are needed (or if existing lines must be looped) to supply the required fire flows, or if more information is needed to state the available minimum gpm @ 20 psi residual pressure, please list what the applicant/developer must do or obtain:

Print Name and Title of Water Supplier Employee completing this Form:

Ron Key Water Service Supervisor Date 4-4-03

\*\*\*\*\*

Note: Based on the facts and circumstances, the Fire Chief may require the applicant/developer to engage an engineer<sup>4</sup> to verify/certify that the proposed water system improvements, as reflected in the approved utility plans submitted in support of the application/development, will provide the minimum fire flows to all structures in this project. If so, the engineer's signature below means that the City's Fire Flow requirements will be met by this development, if constructed as approved.

Print Name and License No. of P.E.:

Signature of P.E.:

Dated: \_\_\_\_\_

<sup>1</sup> There are three drinking water suppliers: Ute Water, Clifton Water, and City water.

<sup>2</sup> Address: City- 250 North 5th St., Grand Junction, CO 81501; County-P.O. Box 20000, Grand Junction, CO 81502

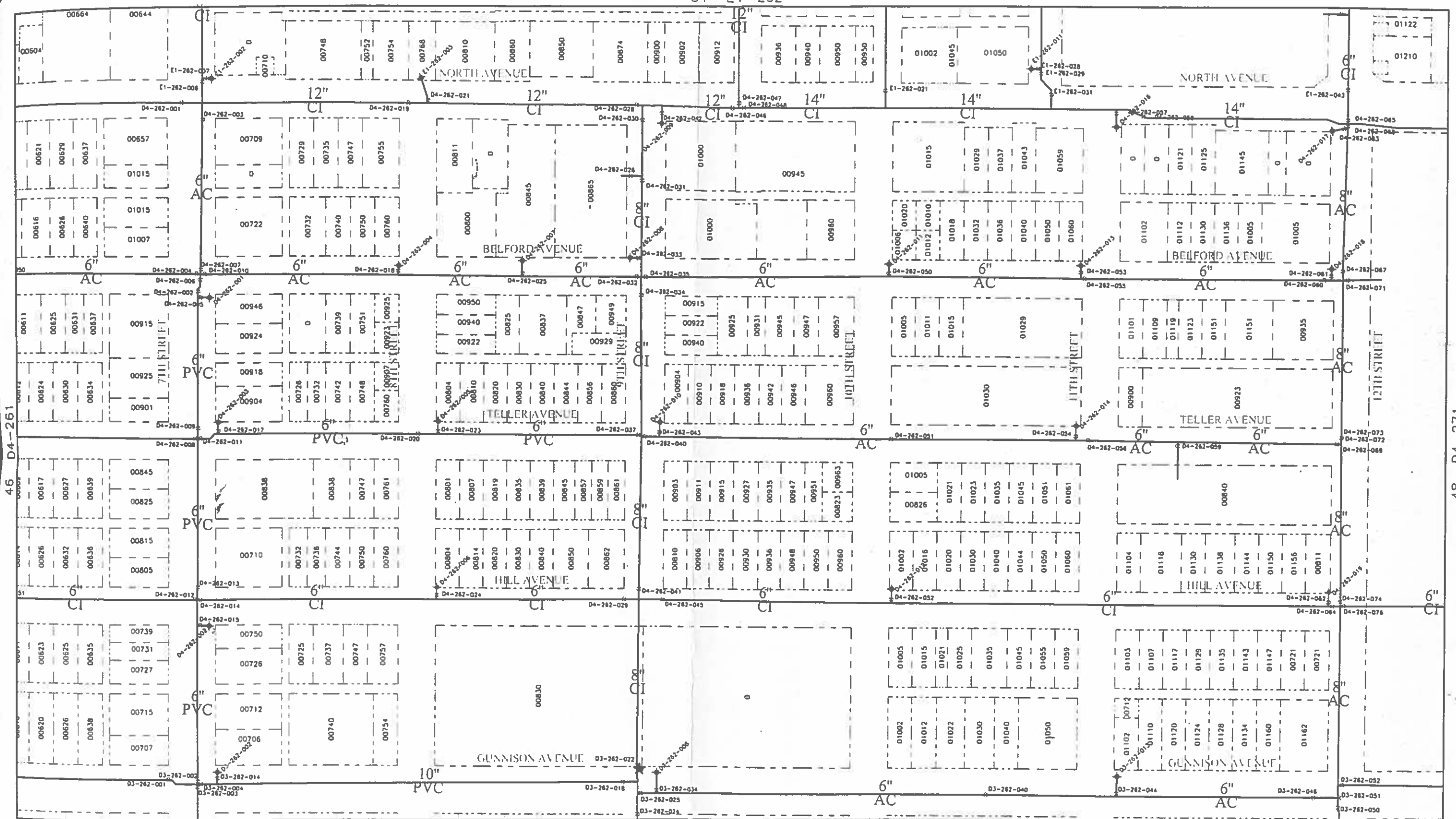
<sup>3</sup> International Fire Code, 2000 Edition

<sup>4</sup> City Code defines engineer as one who is licensed as a P.E. by the state of Colorado.

City of Grand Junction  
Fire Hydrant Flow Summary

Hydrant Number	Route Number	Number	Street	Type & Year	Main Size	Color	Average Maximum Flow	1997-2002 Average Flow @	1997-2002 Maximum Flow	2002 Max Flow	2002 Flow at 20 psi	2001 Max Flow	2001 Flow at 20 psi	2000 Max Flow	2000 Flow at 20 psi	1999 Max Flow	1999 Flow at 20 psi	1998 Max Flow	1998 Flow at 20 psi
D2-261-001	3375	102	White	C81	8"PVC	B	855	1793	2290		No Test		No Test	751	1403	712	1193	1008	2290
D3-262-015	3380	1198	Grand	C86	8"PVC	B	826	2613	3827		No Test	787	2778	751	2148	751	1870	889	2443
D3-262-014	3385	1102	Grand	M93	8"PVC	B	848	3158	3552		No Test	857	3077	787	2578	857	3424	889	3552
D3-262-011	3390	1002	Grand	M50	6"CI	O	611	1459	3245	857	3077	889	3245	238	233	337	325	672	806
D3-262-007	3395	898	Grand	C80	12"CI	B	473	916	3032		No Test	859	3032	238	246	411	411	411	427
D3-262-005	3400	802	Grand	AD92	6"CI	O	670	2013	3616	823	3616	851	3003	789	2295	787	2399	672	672
NEW	3405	698	Grand	M	8"PVC	B	840	2522	3795		No Test		No Test	823	2100	731	1992	857	2199
NEW	3410	602	Grand	M94	8"PVC	B	861	2285	2686		No Test	889	2686	751	2114	857	2134	889	1930
D3-261-010	3415	498	Grand	M7	8"PVC	B	827	2063	2683		No Test		No Test	712	2683	787	1708	857	1436
D3-261-008	3420	398	Grand	M82	8"PVC	B	1054	2603	2886		No Test		No Test		No Test	889	2443	1210	2886
D3-261-007	3425	302	Grand	M82	8"PVC	B	849	1688	2778		No Test	889	2778		No Test	605	776	950	16
D3-261-003	3430	198	Grand	AD92	8"PVC	B	708	1067	1788		No Test		No Test	411	431	411	437	1089	176
D3-262-012	3435	1098	Ouray	M69	6"AC	B	616	810	1830		No Test		No Test	238	212		0	823	1197
D3-262-006	3440	898	Ouray		6"AC	B	655	1590	2972		No Test	857	2972	751	1976	857	2080	336	378
D3-262-003	3445	702	Ouray	M65	6"AC	G	616	1284	2060		No Test		No Test	629	2060	751	1405	411	551
NEW	3446	598	Ouray	M97	6"PVC	B	826	3515	5819		No Test	857	2335	672				712	2392
D3-261-011	3450	498	Ouray	C81	6"CI	B	769	1831	3144	787	2180		No Test	787	3144		No Test	751	831
D3-261-005	3455	298	Ouray	C87	4"CI	R	533	1110	2572	168	168	168	201	787	2289	823	2572	672	769
D3-261-002	3460	102	Ouray	M72	4"CI	R	617	917	1268		No Test	238	285	712	1241	712	1268	751	888
D3-262-016	3465	1198	Chipeta	C83	6"AC	B	899	2381	3635		No Test		No Test	787	1737	823	1561	1036	2589
D3-262-010	3470	1002	Chipeta	M74	6"AC	B	819	2426	4784		No Test	823	2443	475	1004	672	1014	1036	2886
D3-262-009	3475	902	Chipeta	M84	12"CI	B	723	2074	3715		No Test		No Test	411	450	411	483	1062	3715
D3-262-004	3480	802	Chipeta	M74	6"AC	B	764	2492	4444		No Test	751	2604	531	772	581	766	978	3875
D3-262-001	3485	701	Chipeta	M86	8"PVC	B	823	2261	2261		No Test		No Test	823	2261		No Test		No Test
D3-261-013	3490	602	Chipeta		6"CI	O	692	1546	3457	787	3457	712	2599	581	709	531	620	889	1157
D3-261-009	3495	402	Chipeta	C7	6"CI	R	419	515	690	238	242	377	462	531	690	531	666		No Test
D3-261-004	3500	202	Chipeta	C87	8"CI	O	528	663	1396	168	168	168	197	581	738	581	607	1062	1396
D3-262-013	3505	1102	Gunnison	M66	6"AC	B	717	1988	3132		No Test		No Test	751	1976	751	1940	444	904
D3-262-008	3510	902	Gunnison	M67	6"AC	B	719	2194	3665		No Test	823	2204		No Test	751	1976	444	930
	3512	802	Gunnison	M99	6"		705	2382	3899		No Test		No Test		No Test	751	1976	444	1270
D3-262-002	3515	702	Gunnison	M74	10"PVC	B	799	2570	3247		No Test		No Test	823	2742	920	3247	475	1144
D3-261-012	3520	502	Gunnison	C80	8"PVC	B	748	2325	3618	787	3397	889	3192	672	939	712	1092	605	1713
D3-261-006	3525	302	Gunnison	M82	8"CI	O	657	1278	2339	581	1113	751	1193	672	977	672	977	377	10
D3-261-001	3530	102	Gunnison	AD88	8"CI	B	810	2076	2937	672	1322		No Test	712	1636	857	1902	920	25
D4-262-019	3535	1198	Hill	M50	6"CI	O	738	1533	2521		No Test	581	970	531	871	629	960	1062	2344
D4-262-012	3540	1002	Hill	C86	6"CI	R	670	1505	2817	238	243	377	413	712	1652	712	1874	1062	2817
D4-262-006	3545	802	Hill	C83	6"CI	O	801	1933	2842		No Test	558	808		No Test	629	1655	1163	2842
D4-262-002	3546	701	Hill	M88	6"PVC	B	872	2843	3120		No Test		No Test		No Test	823	2166		No Test
D4-261-014	3550	602	Hill		6"CI	O	725	2767	7068	444	510	475	577	787	2873	751	2604	1036	7066
D4-261-010	3555	402	Hill	M68	6"CI	O	839	2085	3477		No Test	475	587		No Test	823	2112	1235	3477
D4-261-004	3560	202	Hill		6"CI	O	836	2320	3190		No Test	556	714	787	2294	857	2544	1062	3190
D4-262-014	3565	1098	Teller	AD78	6"AC	B	974	2880	3086		No Test		No Test		No Test	857	2634	1114	3086
D4-262-010	3570	902	Teller	M79	6"AC	B	791	2788	3598		No Test	823	2905		No Test	889	2443	531	2208
D4-262-005	3575	802	Teller	M94	6"PVC	B	856	2580	3340		No Test		No Test		No Test	857	2355	823	2046
D4-262-003	3580	702	Teller	M94	6"PVC	B	742	2148	2720		No Test		No Test	751	2385	920	2720	556	1339
D4-261-012	3585	502	Teller	C88	6"CI	G	803	2536	4580		No Test	556	835	672	2794	857	2274	920	2194
D4-261-007	3590	302	Teller	D77	6"CI	O	704	1961	3422	531	747	605	866	823	3422	857	2807		No Test
NEW	3591	198	Teller	M97		B	829	2104	2855		No Test		No Test	712	1956	857	2855	889	1715
D4-261-002	3595	102	Teller	M95	6"CI	O	871	1891	2778		No Test		No Test	823	2433	889	2778	823	1525
D4-262-018	3600	1198	Belford	M74	6"AC	B	689	2238	2950		No Test		No Test	712	2724	751	2950	605	1033
D4-262-013	3605	1098	Belford	M74	6"AC	B	768	2261	2487		No Test		No Test	712	2036	823	2487		No Test
D4-262-011	3610	1002	Belford	M74	6"AC	B	776	2183	2332		No Test	787	2108	712	2167	751	2331	712	2332
D4-262-008	3615	898	Belford	M93	8"CI	B	762	2112	2845		No Test		No Test	712	2845	823	2399		No Test





**LEGEND**

- CITY WATER LINE 4" AND UNDER
- CITY WATER LINE 6" TO 10"
- CITY WATER LINE 12" AND ABOVE
- UTE WATER LINE
- ABANDONED WATER LINE
- WATER VALVE
- FIRE HYDRANT
- SAMPLE STATION

**SCALE**  
1" = 200'  
REVISED  
May 01, 2000

# CITY OF GRAND JUNCTION WATER SYSTEM MAP



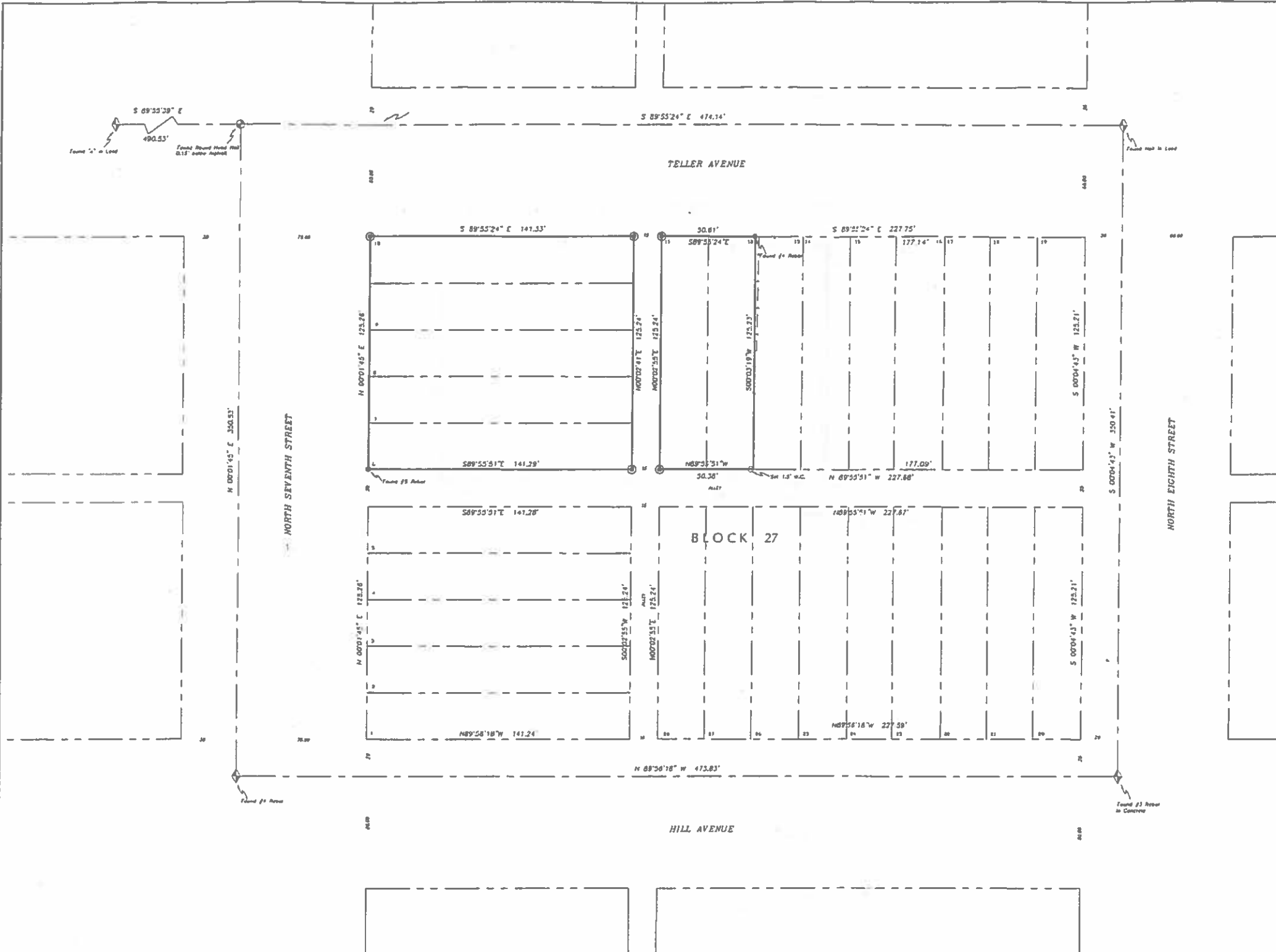
E1-261	E1-262	E1-271
D4-261	D4-262	D4-271
D3-261	D3-262	D3-271

SHEET NUMBER  
**47**  
**D4-262**

*Need Site Plan.*

- 1. Need SW removal.*
- 2. Storm pipe detail.*

CAPPA



Vicinity Map  
(NOT TO SCALE)

LEGEND

- ⬠ FOUND GRAND JUNCTION CITY MONUMENT (in Monument Box)
- ⊕ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
- ⊙ FOUND NO.5 REBAR w/Aluminum CAP L.S. 18469
- FOUND SURVEY MONUMENT AS DESCRIBED
- SET NO.5 REBAR w/CAP L.S. 18413 (PERIMETER SET IN CONCRETE)

CERTIFICATION

I, MAX E. MORRIS, CERTIFY THAT THIS PLAT IS PREPARED FROM FIELD NOTES OF A SURVEY MADE UNDER MY DIRECT SUPERVISION IN MARCH OF 2003, AND THE INFORMATION SHOWN HEREON IS BASED ON THIS SURVEYOR'S KNOWLEDGE, INFORMATION AND BELIEF, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED. I FURTHER CERTIFY THAT THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE AND THE LAWS OF THE STATE OF COLORADO.



COLORADO REGISTERED  
PROFESSIONAL LAND SURVEYOR L.S. 16413

LAND SURVEY DEPOSITS  
MESA COUNTY SURVEYOR'S OFFICE

DATE: \_\_\_\_\_  
BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
DEPOSIT NUMBER \_\_\_\_\_

BASIS OF BEARINGS STATEMENT

Bearings are base on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St. & Hill Ave. The measured bearing of this line is 500°04'43"W.

NOTICE:  
ACCORDING TO COLORADO LAW YOU MUST SIGNIFICANTLY AND LEGALLY ACQUIRE THESE MONUMENTS IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST POSSESS SUCH MONUMENTS OR ELSE THEY ARE AND ACTIONS THEREUPON ARE VOID IN THE FUTURE OR OTHERWISE MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION BEING MADE.

BOUNDARY SURVEY

LOTS 8 thru 12 in Block 27 of The City of Grand Junction

SITUATED IN THE SW1/4 NE1/4 SECTION 36, T2S, R2E OF THE UTE MERIDIAN		
FOR CARL VOSTATEK	Surveyed Under Check From 1979	SURVEYED BY: RM SB NI
ACAD ID: 838 NO 7th		DRAWN BY: RM
SCALE: 1"=30'		CHECKED BY: DMM
DATE: 5/22/2003	Q.E.D. SURVEYING SYSTEMS, Inc. 1018 Colorado Ave Grand Junction, CO 81501-3521 (970) 241-2370 Fax: 241-7025	SHEET NO: 1 of 1
		FILE: 03-079

SEVENTH STREET TOWNHOMES  
A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, Callahan-Edfast Mortuary, Inc. is the owner of that real property situated in the City of Grand Junction, County of Mesa, State of Colorado and is described in Book 1774 at Page 547 of the Mesa County Clerk and Recorders Office, and being situated in the NW 1/4 NE 1/4 of Section 14, Township 1 South, Range 1 West of the Ute Meridian, Mesa County, Colorado as shown on the accompanying plat, said property being described as follows:

A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction

Mesa County, Colorado.

That said owner has caused the said real property to be laid out and surveyed as SEVENTH STREET TOWNHOMES, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado.

That said owner does hereby state that there are no lien holders against the property.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

All Utility Easements to the City of Grand Junction for the use of City-approved public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.

IN WITNESS WHEREOF said owner has caused their name to be hereunto subscribed this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 2003.

Callahan-Edfast Mortuary, Inc.

STATE OF COLORADO )  
COUNTY OF MESA ) S.S.

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 2003, by \_\_\_\_\_

My commission expires: \_\_\_\_\_

Notary Public  
Address \_\_\_\_\_

CITY APPROVAL

This plat of SEVENTH STREET TOWNHOMES, a subdivision of the City of Grand Junction, County of Mesa, and State of Colorado was approved and accepted this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 2003.

City Manager \_\_\_\_\_

President of Council \_\_\_\_\_

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO )  
COUNTY OF MESA ) S.S.

I hereby certify that this instrument was filed in my office at \_\_\_\_\_ o'clock \_\_\_\_\_ M. this \_\_\_\_\_ day of \_\_\_\_\_ A.D., \_\_\_\_\_, and is duly recorded in Plat Book No. \_\_\_\_\_, Page \_\_\_\_\_.

Reception No. \_\_\_\_\_ Drawer No. \_\_\_\_\_ Fees \$ \_\_\_\_\_

TITLE CERTIFICATION

STATE OF COLORADO  
COUNTY OF MESA

We, Abstract & Title Co. of Mesa County, a title insurance company, as duly licensed in the state of Colorado, hereby certify that we have examined the title to the hereon described property, that we find the title to the property is vested to Callahan-Edfast Mortuary, Inc.; that the current taxes have been paid; that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; that all easements, reservations and rights of way of record are shown hereon.

DATE: \_\_\_\_\_

BY: Debra L. Blanchette, Title Officer  
Abstract & Title Co. of Mesa County

SURVEYOR'S CERTIFICATE

I, Max E. Morris, certify that the accompanying plat of SEVENTH STREET TOWNHOMES, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same. I further certify that this plat conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and of applicable state laws and regulations.



Max E. Morris, Q.E.D., Surveying Systems Inc.  
Colorado Registered Professional Land Surveyor L.S. 16413

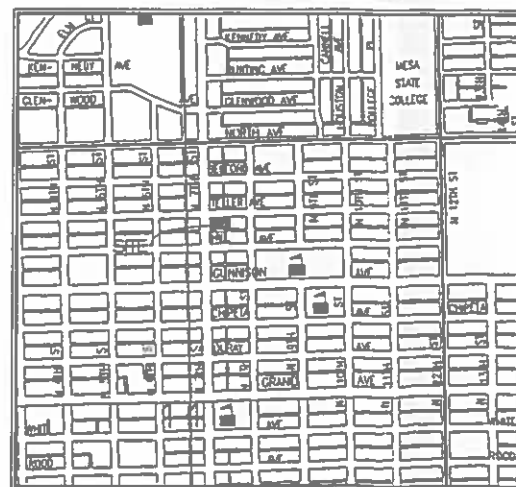
SEVENTH STREET TOWNHOMES

A Replat of Lots 6 thru 12 in Block 27 of The City of Grand Junction

Preliminary Plat		
SITUATED IN THE NW 1/4 NE 1/4 SECTION 14, T 1 S, R 1 W OF THE UTE MERIDIAN		
FOR: Carl Vostatek	Surveying Systems Inc.	SURVEYED BY: RM SB
ACAD ID: 838 No. 7th	Q.E.D. SURVEYING SYSTEMS, Inc.	DRAWN BY: DMM
SCALE: 1" = 30'	1016 Colorado Ave Grand Junction, CO 81501-3521 (970) 241-2370 Fax: 241-7025	CHECKED BY: MEM
DATE: 5/22/03		SHEET NO
		FILE: 2003-079

BASIS OF BEARINGS STATEMENT

Bearings are based on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St. & Hill Ave. The measured bearing of this line is S00°04'43"W.



Vicinity Map  
(NOT TO SCALE)

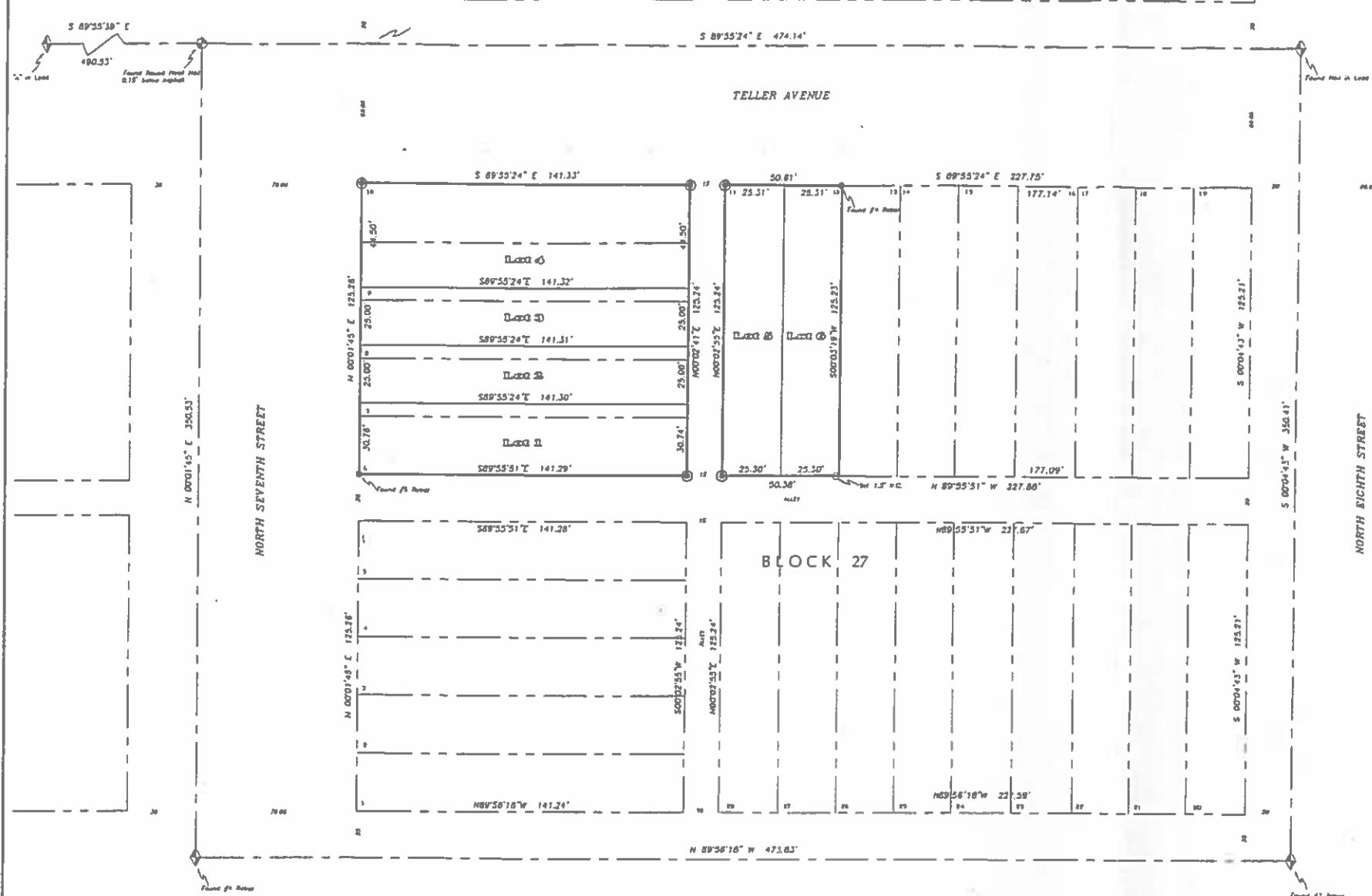
LEGEND

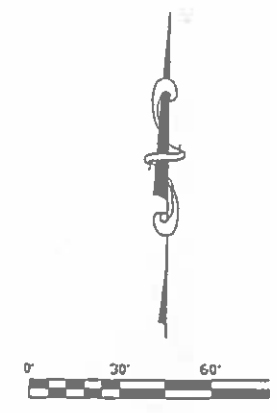
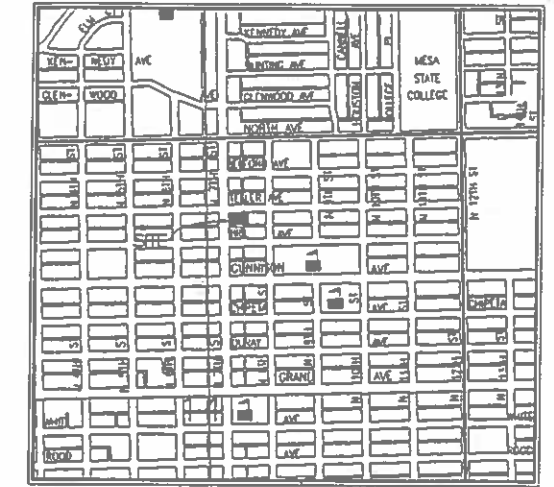
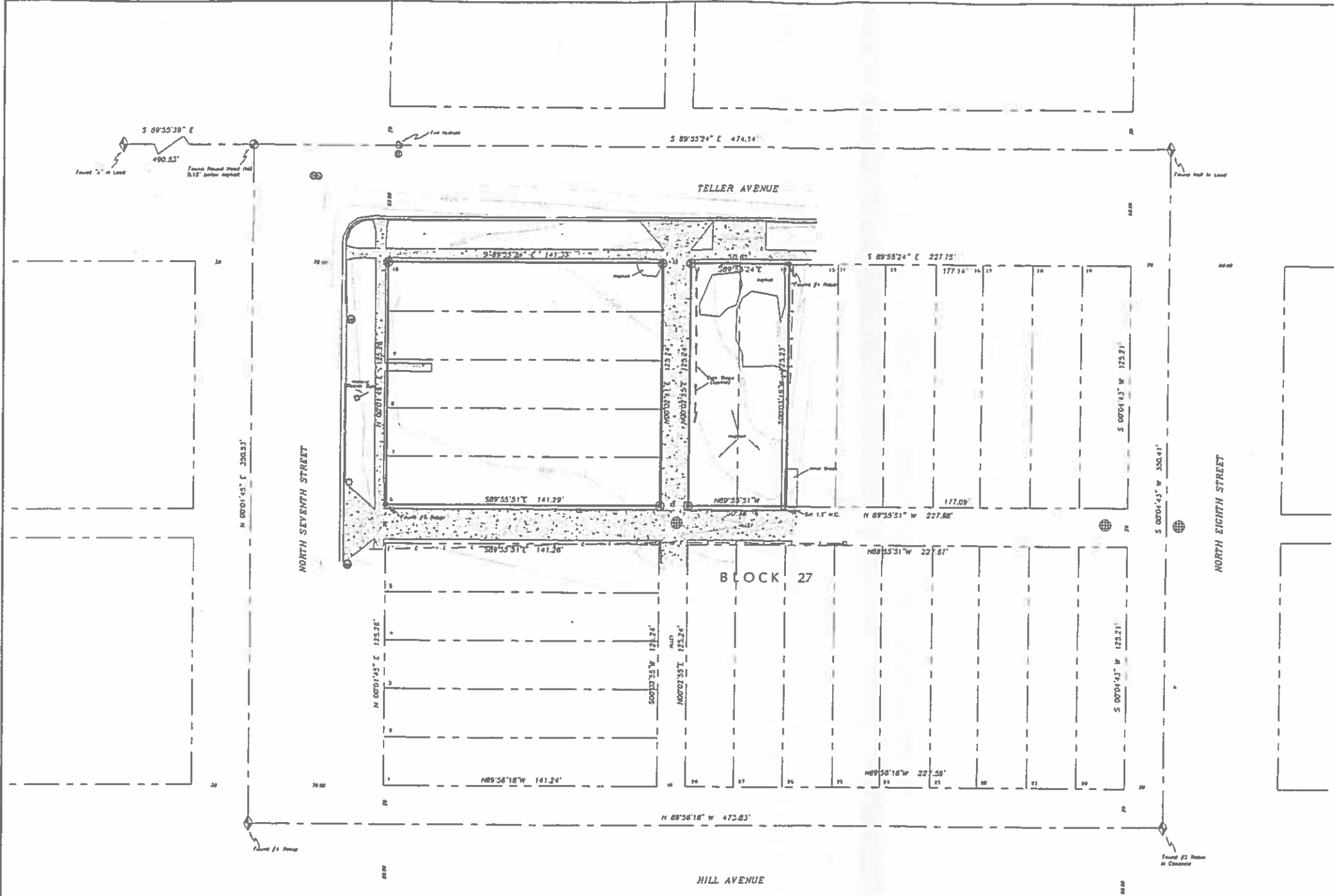
- ◆ FOUND GRAND JUNCTION CITY MONUMENT (in Monument Box)
- ⊙ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
- ⊙ FOUND NO.5 REBAR W/ALUMINUM CAP L.S. 18469
- FOUND SURVEY MONUMENT AS DESCRIBED
- SET NO.5 REBAR W/CAP L.S. 16413 (PERIMETER SET IN CONCRETE)

NOTES:

1. Deeds were provided by client.
2. A Title search was not provided and a Title Search was not performed by me.
3. Found Monuments that represent property corners are within .25% of calculated position.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT WILL ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE OCCURRENCE OF SUCH DEFECT.





Vicinity Map  
(NOT TO SCALE)

**DESCRIPTION**

The following described premises is noted in Book-1774 Page-547 of the Mesa County Records: Being additionally described as follows:  
Lots 8 through 12, Block 27 in City of Grand Junction,  
Mesa County, Colorado.

**SURVEY CERTIFICATION**

I, Max E. Morris, a Registered Professional Land Surveyor registered in the State of Colorado, hereby certify to Callahan-Easton Mortuary, Inc., Transnation Title Insurance Company and Abstract & Title Company of Mesa County, Inc., that a field survey of the property described herein was conducted under my direct supervision and completed on May 21, 2003, that this Improvement Survey Plat correctly shows all boundaries, the location of all pins and monuments, the location of all structures situated on the said property, apparent easements and the source from which they were obtained, conflicting boundary evidence, any fences, hedges or walls on or within five feet of both sides of all boundaries of said property, the location of all visible utilities located on said property, all underground utilities for which there is visible surface evidence, and the available from the county clerk and recorder or for which information was made available based on Abstract & Title Company of Mesa County, Inc. Commitment No. 00809497 ©, 2003, The Notes shown hereon are included and hereby made a part of this certification.



COLORADO REGISTERED  
PROFESSIONAL LAND SURVEYOR L.S. 16413

**LEGEND**

- ◆ FOUND GRAND JUNCTION CITY MONUMENT (in Monument Base)
- ⊙ RECOVERED G. J. CITY MONUMENT from UNDER ASPHALT
- ⊙ FOUND NO.5 REBAR W/ALUMINUM CAP L.S. 18469
- FOUND SURVEY MONUMENT AS DESCRIBED
- SET NO.5 REBAR W/CAP L.S. 18413 (PERIMETER SET IN CONCRETE)
- CONTOUR LINES 1.0' INTERVAL
- - - FENCE LINE
- - - OVERHEAD ELECTRIC LINE
- DIRECTION OF DRAINAGE FLOW
- ⊕ SEWER MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- CONCRETE

**UTILITY PROVIDERS**

- |           |                      |
|-----------|----------------------|
| WATER     | GRAND JUNCTION WATER |
| SEWER     | GRAND JUNCTION       |
| ELECTRIC  | XCEL                 |
| CABLE TV  | AT&T BROADBAND       |
| CAS       | XCEL                 |
| TELEPHONE | QWEST                |

**BASIS OF BEARINGS STATEMENT**

Bearings are based on the Mesa County Local coordinate System, locally determined by GPS observations on the Grand Junction City monument at the SE corner of North 8th St. & Teller Ave and the Grand Junction City monument at the SE corner of North 8th St. & Hill Ave. The measured bearing of this line is S00°04'43"W.

**NOTICE**

ACCORDING TO COLORADO LAW YOU MUST EXERCISE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU TAKE POSSESSION OF THIS SUBJECT. IN NO EVENT WILL ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

**LAND SURVEY DEPOSITS**  
MESA COUNTY SURVEYORS OFFICE

DATE: \_\_\_\_\_  
BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
RECEPTION NUMBER: \_\_\_\_\_

**AREA SUMMARY**

PARCELS = 0.58 ACRES = 100%

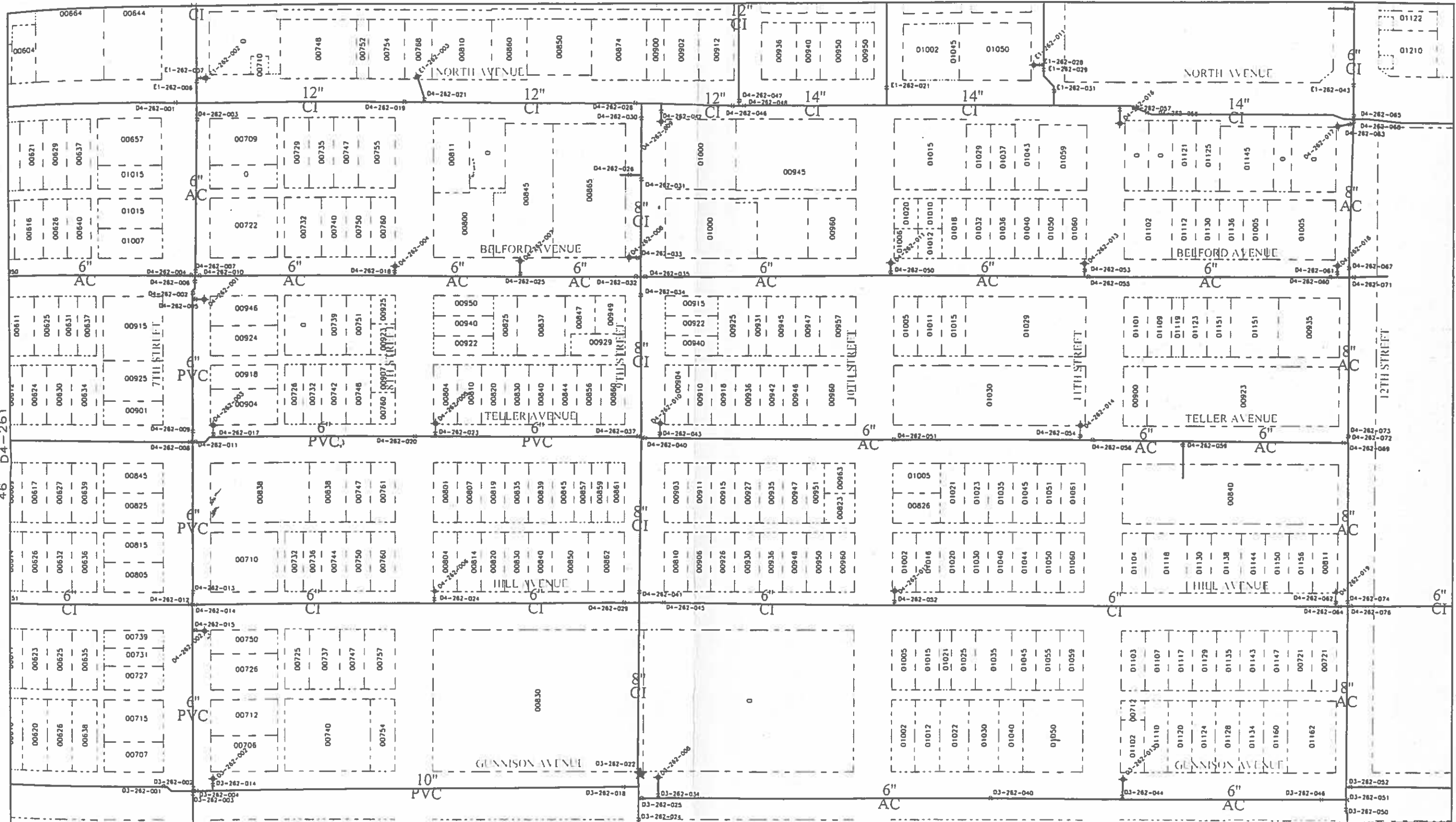
TOTAL = 0.58 ACRES = 100%

**IMPROVEMENT SURVEY**

Lots 6 thru 12 in Block 27 of The City of Grand Junction

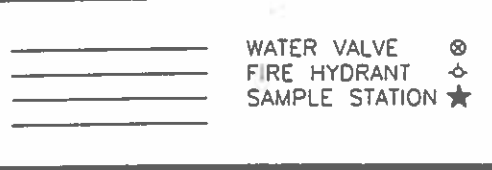
SITUATED IN THE NE1/4 NW1/4 SECTION 7, T1S, R1E OF THE 10TH MERIDIAN		SURVEYED BY: RM	
FOR: Lloyd Jordan	ACAD ID: Jordan2	DRAWN BY: DMM	
SCALE: 1" = 30'		CHECKED BY: NEM	
DATE: 5/22/03		SHEET NO.	
<p>Q.E.D. SURVEYING SYSTEMS, Inc. 1018 Colorado Ave Grand Junction, CO 81501-3521 (970) 241-2370 Fax: 241-7025</p>		FILE: 2002-293	

54 E1-262



40 D3-262

**LEGEND**  
 CITY WATER LINE 4" AND UNDER  
 CITY WATER LINE 6" TO 10"  
 CITY WATER LINE 12" AND ABOVE  
 UTE WATER LINE  
 ABANDONED WATER LINE



**SCALE**  
 1" = 200'  
 REVISED  
 May 01, 2009

**CITY OF GRAND JUNCTION  
 WATER SYSTEM MAP**

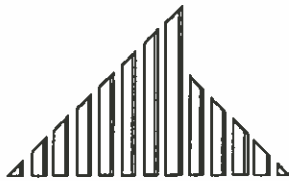


E1-261	E1-262	E1-271
D4-261	D4-262	D4-271
D3-261	D3-262	D3-271

SHEET NUMBER  
**47**  
**D4-262**

46 D4-261

48 D4-271



**ABSTRACT & TITLE CO.  
OF MESA COUNTY, INC.**

Issuing Agent For:  
TRANSNATION  
TITLE INSURANCE COMPANY

1114 N. 1st., Suite 201, Grand Junction, CO 81501, • (970) 242-8234 • FAX: (970) 241-4925

	AMOUNT	PREMIUM
<b>Bray &amp; Company Commercial</b>	<b>OWNER</b>	<b>\$</b>
<b>Sidney J. Squirrell</b>	<b>MORTGAGE</b>	<b>\$</b>
<b>1007 N. 7th Street</b>	<b>COST OF TAX CERTIFICATE</b>	<b>\$</b>
<b>Grand Junction, CO 81501</b>	<b>FORM 100</b>	<b>\$</b>
	<b>ALTA 8.1</b>	<b>\$</b>
		<b>\$</b>
		<b>\$</b>

Your Reference **Cache Townhomes** CC's To: **(1) Bray & Company - Sid Squirrell**

No. **00909497 C 4**

Tax Schedule No. **2945-141-14-015**

Property Address **838 N 7th Street, Grand Junction, CO 81501**

— COMMITMENT TO INSURE —

Transnation Title Insurance Company, an Arizona corporation, herein called the Company, for a valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedules A and B and to the conditions and stipulations shown on the reverse side.

Customer Contact: **Debra I. Blanchette**  
Phone: (970) 242-8234

By *Debra I. Blanchette*  
**AUTHORIZED SIGNATURE**

The effective date of this commitment is **August 3, 2003 at 7:00 A.M.**  
At which time fee title was vested in:

**Cache Townhomes LLC, A Colorado Limited Liability Company**

**SCHEDULE A**

1. Policies to be issued:

(A) Owners':

(B) Mortgagee's:

**SCHEDULE A — Continued**

2. **Covering the Land in the State of Colorado, County of Mesa**  
Described as:

Lots 6, 7, 8, 9, 10, 11 and 12 in  
Block 27 of the  
CITY OF GRAND JUNCTION



**SCHEDULE A — Continued**  
**REQUIREMENTS**

3. The following are the requirements to be complied with prior to the issuance of said policy or policies. Any other instrument recorded subsequent to the date hereof may appear as an exception under Schedule B of the policy to be issued. Unless otherwise noted, all documents must be recorded in the office of clerk and recorder of the county in which said property is located..

Commitment No. 00909497

File No. 00909497

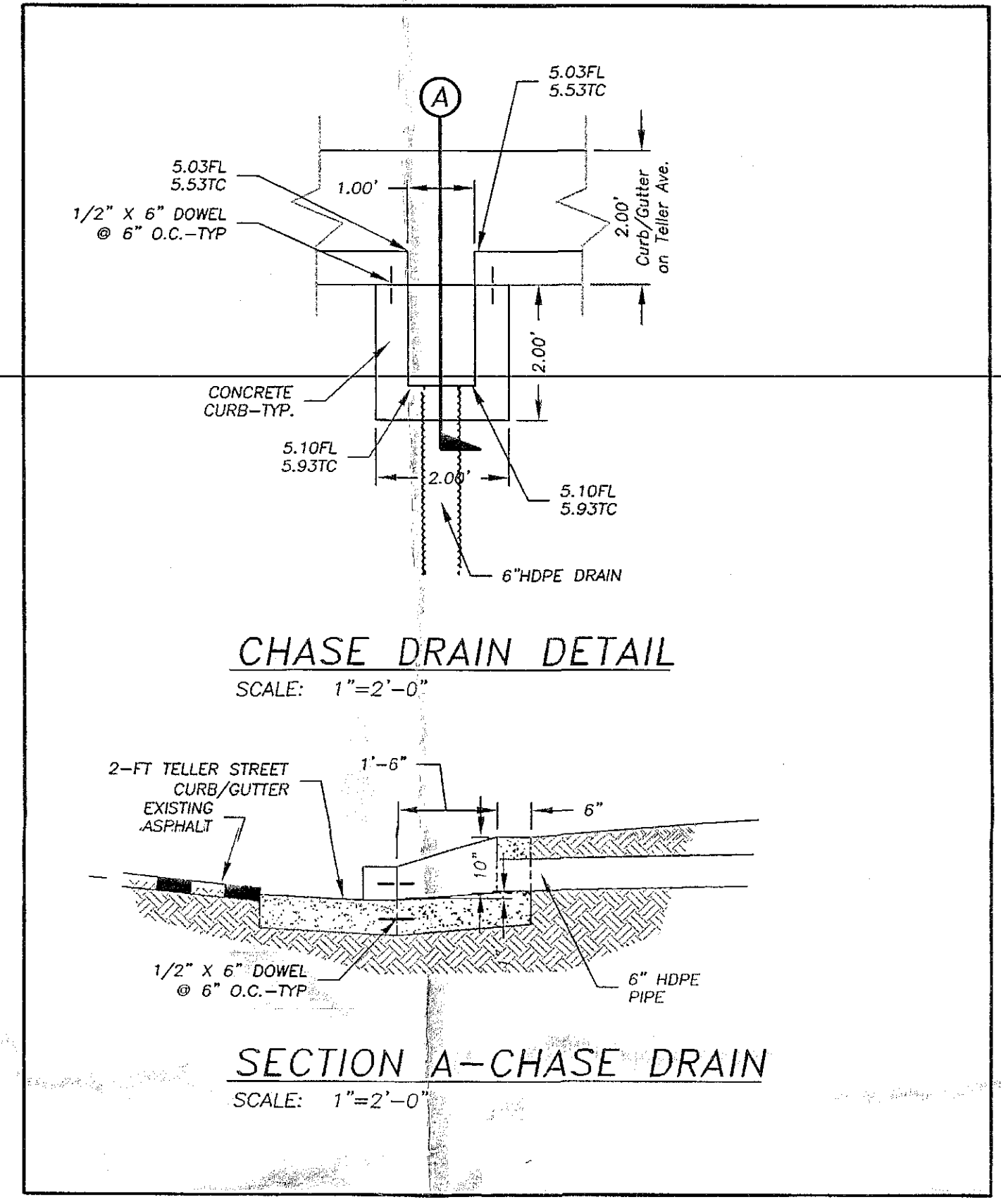
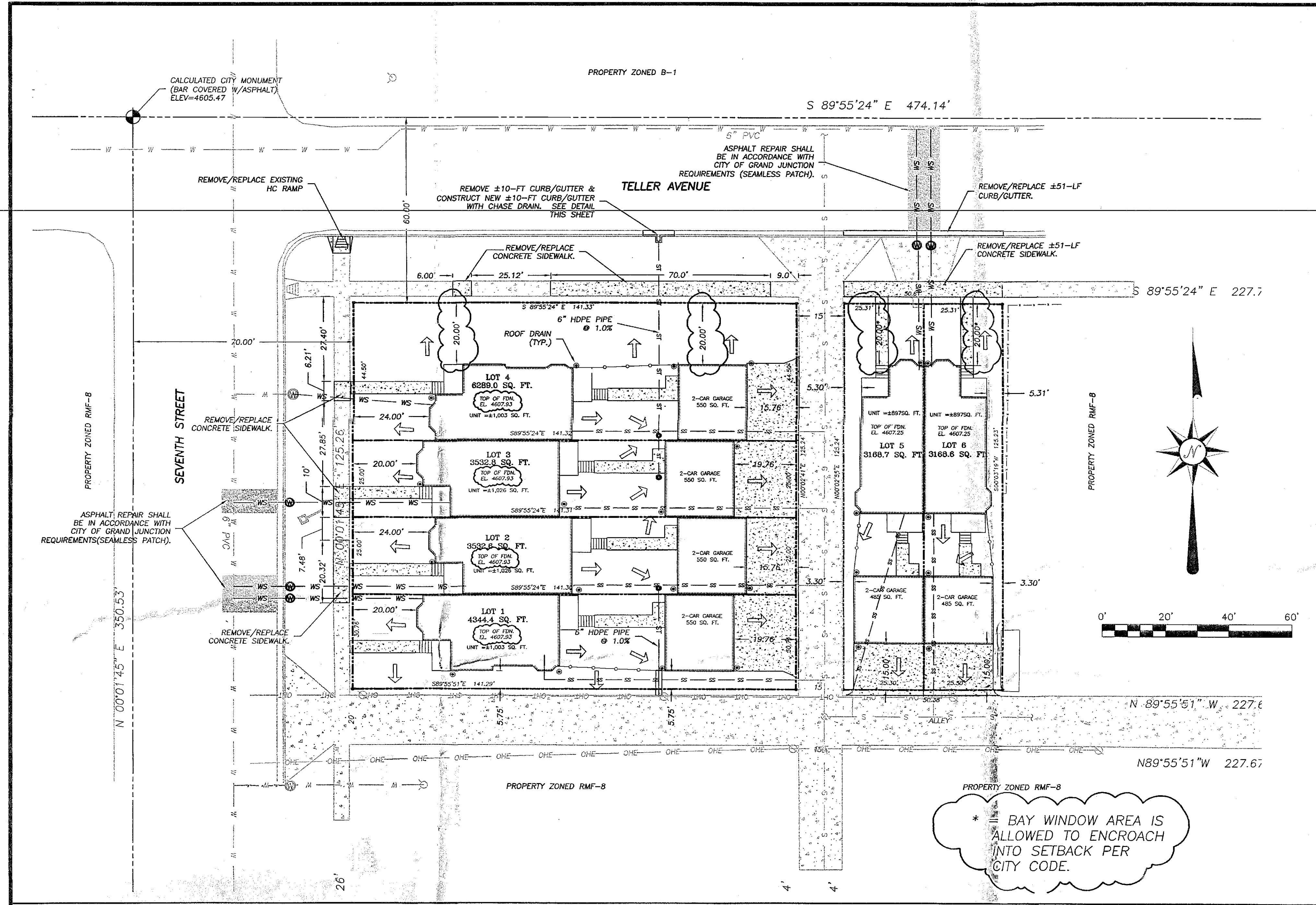
**SCHEDULE B — Section 2**

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company.

1. Rights or claims of parties in possession not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, and any facts which a correct survey and inspection of the premises would disclose and which are not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof.
6. Any and all unpaid taxes, assessments and unredeemed tax sales.

NOTE: EXCEPTION n/a WILL NOT APPEAR IN THE MORTGAGE POLICY TO BE ISSUED HEREUNDER.





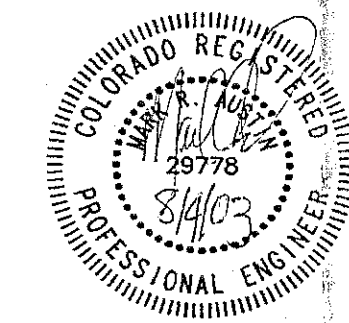
**LEGEND**

- PROPERTY LINE
- MONUMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLDG
- PROPOSED BLDG
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING WATER
- PROPOSED WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED SEWER
- EXISTING SEWER
- PROPOSED STORM LINE
- EXISTING STORM LINE
- PROPOSED STORM LINE
- PROPOSED 8" DRAIN BASIN
- ADS #28084G OR EQUAL
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- EXISTING OVERHEAD POWER
- EXISTING OVERHEAD TELEPHONE
- EXISTING UTILITY POLE
- ROOF DRAIN
- DRAINAGE FLOW DIRECTION
- XX.XX FG FINISHED GRADE ELEVATION
- XX.XX TC FINISHED TOP OF CONCRETE ELEV.

\* BAY WINDOW AREA IS ALLOWED TO ENCRUCH INTO SETBACK PER CITY CODE.

**UTILITIES AND AGENCIES**

CITY OF GRAND JUNCTION PUBLIC WORKS	WATER
CITY OF GRAND JUNCTION PUBLIC WORKS	SEWER
CITY OF GRAND JUNCTION PUBLIC WORKS	STORM SEWER
XCEL ENERGY	GAS
XCEL ENERGY	POWER
QWEST	TELEPHONE
AT&T CABLE SERVICES	CABLE TV



CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT  
 APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
 BY: *Rick E. Cox* AICP DATE: 8-11-05

CITY OF GRAND JUNCTION ENGINEERING  
 APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
 BY: *Carl Vostatek* DATE: 8-12-05  
 ACCEPTED AS CONSTRUCTED

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

DATE		DESCRIPTION	
08/09/05	1	ISSUE TO 2nd CITY COMMENTS	
08/19/05	2	CHASE DRAIN @ TELLER	
8/2/05	3	20'-FT SETBACK & 6' CURB FOUNDATION CHANGE	
REVISIONS NO. DATE DESCRIPTION 1 08/09/05 ISSUE TO 2nd CITY COMMENTS 2 08/19/05 CHASE DRAIN @ TELLER 3 8/2/05 20'-FT SETBACK & 6' CURB FOUNDATION CHANGE			
DESIGN BY: MTO DESIGNED BY: MTO CHECKED BY: MTO APPROVED BY: MTO		JOB NUMBER: 327.0005 DATE: 5-20-03 SCALE: 1"=20' SHEET NO: S1	
PROJECT: SEVENTH STREET TOWNHOMES SITE PLAN PREPARED FOR: CARL VOSTATEK, ARCHITECT 338 Main Street, Suite 203 • Grand Junction, Colorado • 81501 (970) 242-7340 ig consulting engineers, inc.			

03-077

ABBREVIATIONS

Table of abbreviations including: ABV above, AFF above finished floor, AP access panel, AC acoustical, ACT acoustical tile, ADJ adjacent, ADJT adjustable, AGG aggregate, A/C air conditioning, ALT alternate, AL aluminum, AB anchor bolt, ARCH architect, AD area drain, ASPH asphalt, AT asphalt tile, BSMT basement, BRG bearing, BR bedroom, BM bench mark, BEL below, BET between, BLK block, BLKG blocking, BD, BRD board, BS both sides, BOT bottom, BRK brick, BLDG building, BUR built up roofing, BO by others/byowner, CAB cabinet, CPT carpet, CSMT cosement, CI cast iron, CB catch basin, CK caulk, CLG ceiling, CHT ceiling height, CT ceramic tile, CHAM chamfer, CO clean out, CLR clear, clearance, CLOS closet, COL column, CONC concrete, CMU concrete masonry unit, CONST construction, CONT continuous, CONTR contractor, CLLL contract limit line, CJ control joint, CPR copper, CORR corrugated, corridor, CTR counter, CS counter sink, CFL counterflashing, CR course, DP dampproofing, DL dead load, DTL detail, DIAG diagonal, DIA diameter, DPR dispenser, DO ditto, DR door, DB doorbell, DBL double, DH double hung, DN down, DS downspout, DR drain, DT drantile, DWR drawer, DWC drawing, DF drinking fountain, EA each, EF each face, E east, EPDM elastomeric membrane, ELEC electric, electrical, EP electrical panel, EWC electric water cooler, EL elevation, EQ equal, EQP equipment, EXH exhaust, EXG existing, EB expansion bolt, EJ expansion joint, EXP exposed, EXT exterior, FB face brick, FOC face of concrete, FOF face of finish, FOM face of masonry, FOS face of stud, FF factory finish, FIN finish, finished, FFE finished floor elevation, FFL finished floor line, FE fire extinguisher, FEC fire extinguisher cabinet, FHS fire hose station, FLC flashing, FLR floor, flooring, FD floor, drain, FLUR fluorescent, FT foot, FTG footing, FND, FNDN foundation, FRMG framing, FUR furring, furred, FUT future, GA gage, gauge, GAL gallon, GV galvanized, GI general contractor, GC glass, glazing, GLB glass block, GCMU glazed CMU, GST glazed structural tie, GB grab bar, GD grade, grading, CVL gravel, GT grout, GYP gypsum, CPDW gypsum drywall, CPL gypsum lath, GPPL gypsum plaster, HBD hardboard, HCP handicap, HDW hardware, HWD hardwood, HDR header, HTG heating, HVAC heat/vent/air cond., HT height, HC hollow core, HM hollow metal, HOR horizontal, HP horsepower, HB hose bib, HWH hot water heater, INCL included, ID inside diameter, INSUL insulation, INSF insulating fill, INT interior, INV invert, JC janitor's closet, JT joint, JF joint filler, JST joist, KPL kickplate, KIT kitchen, KO knockout, LBL label, LAB laboratory, LAD ladder, LB log bolt, LAM laminate, LAV lavatory, L length, LW lightweight, LWC lightweight concrete, LTL lintel, LL live load, LRI living room, LVR louver, MB machine bolt, MH manhole, MFR manufacture, MAS masonry, MO masonry opening, MBR master bedroom, MTE material, MAX maximum, MECH mechanical, MC medicine cabinet, MMB membrane, MET metal, MWK millwork, MIN minimum, MIR mirror, MISC miscellaneous, MLD moulding, MT mount, MOV movable, MULL mullion, NAT natural, NOM nominal, N north, NIC not in contract, NTS not to scale, OBS obscure, OC on center, OP opaque, OPC opening, OPP opposite, OPH opposite hand, OD outside diameter, OH overhead, OSB oriented strand board, PNT paint, PR pair, PNL panel, PB panic bar, PTD paper towel dispenser, PTR paper towel receptor, PBD particle board, PTN partition, PVMT pavement, PED pedestal, PERF perforate, PERIM perimeter, PLAS plaster, plastic plate, PL plate, PG plate glass, PLY, PWD plywood, PVC polyvinyl chloride, PCC precast concrete, PFB prefabricate, PFN prefinished, PRF preformed, PSC prestressed concrete, PL property line, QT quarry tile, RAD, r radius, RWD redwood, REF reference, RFL reflect, REFR refrigerator, REG register, REINF reinforce, REM remove, REQD required, RES resilient, RR restroom, RET return, RA return air, REV revision, ROW right of way, R riser, RD roof drain, RH roof hatch, RFG roofing, RM room, RO rough opening, RB rubber base, RBT rubber tile, SFGL safety glass, SCH schedule, SECT section, SSK service sink, SHTG sheathing, SHT sheet, SG sheet glass, SH shafel, shelving, SGD sliding glass door, SIM similar, SKL skylight, SC solid core, S south, SPK speaker, SPEC specification, SQ square, SST stainless steel, STD standard, ST steel, STO storage, SD storm drain, STR structural, SCT structural clay tile, SUSP suspended, SF square foot, TKBD tackboard, TEL telephone, TV television, TC terra cotta, TZ terazzo, THK thick, THR threshold, TME to match existing, TPTN toilet partition, TPD toilet paper dispenser, T&G tongue and groove, TOC top of concrete, TOS top of steel, TOW top of wall, TB towel bar, T tread, TYP typical, UC undercut, UNF unfinished, UR urinal, UNO unless noted otherwise, VB vapor barrier, VERT vertical, VIN vinyl, VCT vinyl cofmposition tile, VIN B vinyl base, VT vinyl tile, WSCT wainscot, WH wall hung, WC watercloset, WP waterproof, WWF welded wire fabric, W west, WHB wheel bumper, W width, WIN window, WG wire glass, WM wire mesh, W/ with, WO without, WD wood, WB wood base

SYMBOLS

- + 341.0' EXISTING POINT ELEVATION
+ 341.0' NEW POINT ELEVATION
- 446 EXISTING CONTOURS
- 446 NEW CONTOURS
TB-6 TEST BORING
ELEVATION OR LEVEL LINE
PROPERTY CORNER
MATCH LINE
REVISION
WINDOW OR GLAZED OPENING
DOOR NUMBER
DESIGN NOTE
CENTERLINE FLOOR LINE IN EXT. ELEVATION PROJECTED LINE
PROPERTY OR BOUNDARY LINE
COLUMN REFERENCE GRID
BUILDING SECTION NUMBER SHEET NUMBER
WALL SECTION NUMBER SHEET NUMBER
ROOM ELEVATION NUMBER SHEET NUMBER
DETAIL NUMBER REFERENCE SHEET NUMBER
ROOM NUMBER
SLOPE DOWN
LINE OF WALL ABOVE
BREAK LINE
FENCE

SYMBOLS AS ABBREVIATIONS

- ANGLE PERPENDICULAR
C/C CENTER TO CENTER
CENTERLINE PLATE
CHANNEL ROUND
P PENNY

MATERIALS IN PLAN

- CONCRETE
BRICK
BLOCK (CMU)
WOOD STUD WALL
METAL STUD WALL
WINDOW OR GLAZING
TWO-HOUR FIRE WALL
SOUND REDUCING WALL

PROJECT DATA

PROJECT LOCATION: 838 NORTH SEVENTH STREET GRAND JUNCTION, COLORADO
PROJECT DESCRIPTION: TWO NEW TWO STORY CONDOMINIUM BUILDINGS

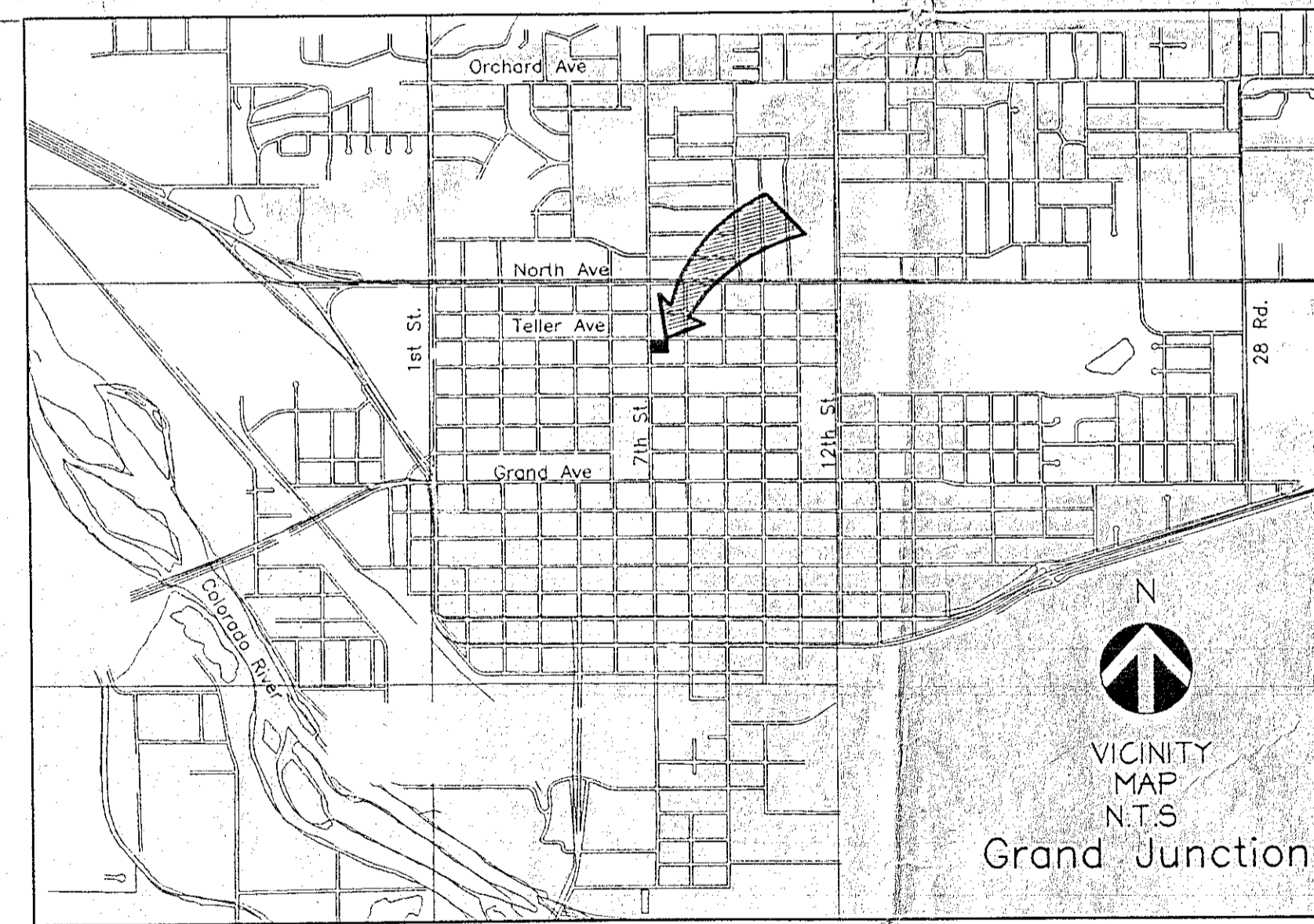
OWNER:
PROJECT NUMBER:
ISSUE DATE:
CODE CONFORMANCE:

ALL WORK SHALL COMPLY WITH CURRENT FEDERAL, STATE, COUNTY AND LOCAL BUILDING CODES INCLUDING, BUT NOT LIMITED TO: 2000 INTERNATIONAL BUILDING CODE AND GRAND JUNCTION ZONING CODE.

CODE DATA: 1997 UNIFORM BUILDING CODE
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: VN
ALLOWABLE S.F.: UNLIMITED
ACTUAL S.F.: 4780
REQ'D SEPARATION: 1 HR BETWEEN UNITS
OCCUPANT LOAD: 16

DRAWING INDEX

- T1 TITLE SHEET/VICINITY PLAN
L1 SITE / LANDSCAPE PLAN
A2 4-PLEX FIRST FLOOR PLAN
A2 4-PLEX SECOND FLOOR PLAN
A3 4-PLEX / GARAGE ELEVATIONS
A4 4-PLEX / GARAGE SCHEMATIC FOUNDATION PLANS
A5 DUPLEX MAIN LEVLE FLOOR PLAN
A5 DUPLEX SECOND-LEVEL FLOOR PLAN
A6 DUPLEX ELEVATIONS - DUPLEX GARAGE ELEVATIONS
A7 DUPLEX / GARAGE LONGITUDINAL CROSS SECTION
A7 DUPLEX / GARAGE SCHEMATIC FOUNDATION PLAN



GENERAL REQUIREMENTS NOTES:

- 1. IF DRAWINGS OR JOB CONDITIONS MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK OR TO WARRANTY WORK OR ITS PERFORMANCE, REQUEST CLARIFICATION. WORK SHALL BE PERFORMED IN A SATISFACTORY WORKMANLIKE MANNER.
2. ALL MANUFACTURED PRODUCTS, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER.
3. EACH ENTITY INVOLVED IN THE PERFORMANCE OF THE WORK SHALL COOPERATE IN OVERALL COORDINATION OF THE WORK.
4. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL SYSTEMS BE COMPLETE AND FUNCTIONAL TO PROVIDE THE INTENDED OR REQUIRED PERFORMANCE. PROVIDE CORRECTLY SIZED UTILITIES, PIPING, DRAINS, SERVICE AND THEIR CONNECTIONS TO EQUIPMENT AND SYSTEMS REQUIRING THEM. ARRANGE ALL WORK TO FACILITATE MAINTENANCE AND REPAIR OR REPLACEMENT OF EQUIPMENT.
5. PROVIDE PRODUCTS AND EQUIPMENT WHICH ARE COMPATIBLE WITH OTHER WORKS REQUIRING MECHANICAL/ELECTRICAL INTERFACE INCLUDING ELECTRICAL CONNECTIONS, CONTROL DEVICES, WATER DRAIN, AND OTHER PIPING CONNECTIONS. VERIFY ELECTRICAL CHARACTERISTICS, FUEL REQUIREMENTS AND OTHER INTERFACE REQUIREMENTS BEFORE ORDERING EQUIPMENT AND RESOLVE CONFLICTS THAT MAY ARISE.

Approved Landscape plan Response to Comments

Revisions:
10/03
04/03
DEPT.
COMMUNITY DEVELOPMENT
MAY 2 7 2003
RECEIVED

Project no: 0202
phase: construction documents
date: 02/11/03
checked: CV
approved: CV

REVIEW 2/8/03

SEVENTH STREET TOWNHOMES
836 N. SEVENTH STREET
GRAND JUNCTION, COLORADO

carl vostatok, architect
3438 grand valley canal road
clifton, colorado 81520 970-434-5665
(fax) 970-434-3308

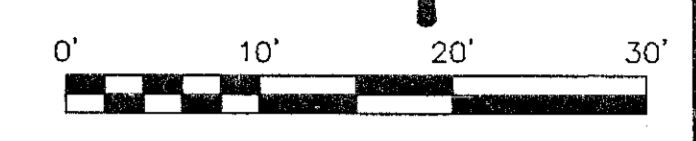
T1
of 10

APPROVED LANDSCAPE PLAN

03 027

CITY OF GRAND JUNCTION  
REQUIREMENTS (SEAMLESS PATCH).  
**TELLER AVENUE**

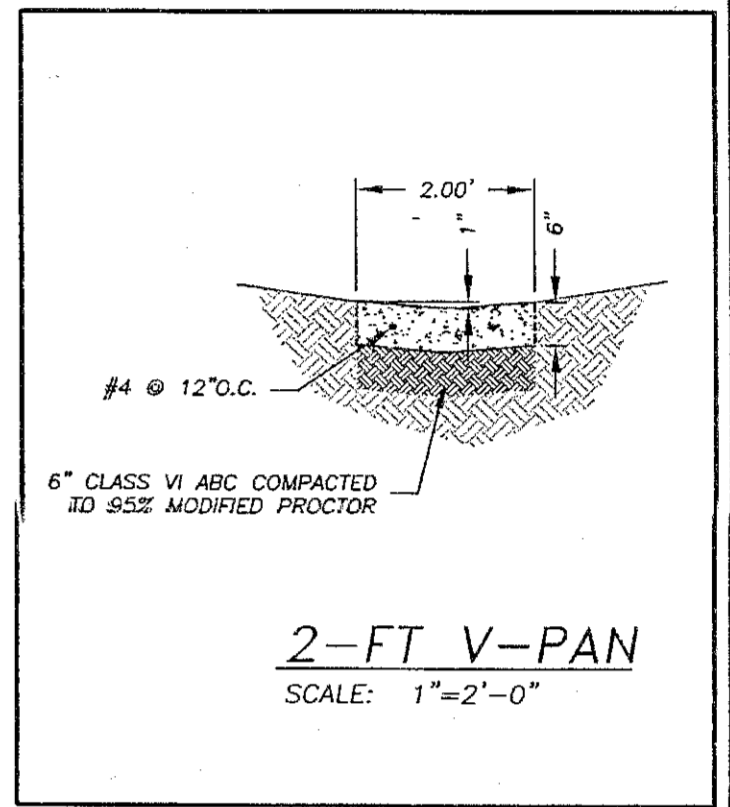
NOTE:  
PROJECT BENCHMARK  
CITY MONUMENT @  
8th AND TELLER  
ELEV. 4606.11



TOP OF FIRE  
HYDRANT EL. 4608.02'  
FIRE HYDRANT LOCATED  
ACROSS STREET  
4606

REMOVE ±10'-FT CURB/GUTTER &  
CONSTRUCT NEW ±10'-FT CURB/GUTTER  
WITH CHASE DRAIN. SEE DETAIL ON S-1.

51'± DEMOLISH EXIST. RAMP &  
REPLACE WITH NEW SIDEWALK &  
CURB & GUTTER. REGRADE AREA  
TO MATCH NEW WORK.



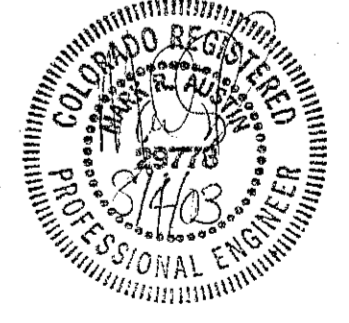
**LEGEND**

---	PROPERTY LINE
---	MONUMENT LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING BLDG.
---	PROPOSED BLDG.
---	EXISTING CONCRETE
---	PROPOSED CONCRETE
---	EXISTING WATER
---	PROPOSED WATER
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	PROPOSED WATER METER
---	EXISTING SEWER
---	PROPOSED SEWER
---	EXISTING STORM LINE
---	PROPOSED STORM LINE
---	PROPOSED 8" DRAIN BASIN
---	ADD 2"ORBAR OR EQUAL
---	PROPOSED ASPHALT REPAIR
---	PROPOSED ASPHALT REPAIR
---	PROPOSED ASPHALT REPAIR
---	EXISTING OVERHEAD POWER
---	EXISTING OVERHEAD TELEPHONE
---	EXISTING UTILITY POLE
---	ROOF DRAIN
---	DRAINAGE FLOW DIRECTION
---	XX.XX FG FINISHED GRADE ELEVATION
---	XX.XX TC FINISHED TOP OF CONCRETE ELEV.

**Major or Minor Site Plan Approval**  
Pursuant to Section 2.2 (D)(4) or 2.2 (D)(5) of the Grand Junction Zoning and Development Code, and all applicable requirements having been agreed to, stipulated or settled by the applicant to the satisfaction of the undersigned, this Site Plan was approved on June 26, 2003.

In accordance with Section 2.2(D)(4)(c)(2) or Section 2.2(D)(5)(d)(1), this approval shall expire on and be null and void on DEC 26, 2003.

Executed by: [Signature] Date: 8-11-03  
Name and Title: Staver Planner  
Community Development Department  
City of Grand Junction, Colorado



CITY OF GRAND JUNCTION ENGINEERING  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE:

BY: [Signature] DATE: 8-12-03  
ACCEPTED AS CONSTRUCTED

DATE: \_\_\_\_\_

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

1-800-922-1987  
CALL FOR BIDDING AND BIDDING INFORMATION. SEE CITY OF GRAND JUNCTION WEBSITE FOR BIDDING INFORMATION.  
SCALE VERIFICATION  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET  
ADJUST SCALES ACCORDINGLY

NO.	DATE	BY	DESCRIPTION
1	8/14/03	MT/C	1 20'-FT SETBACK & 6" LOWER FOUNDATION GRADE

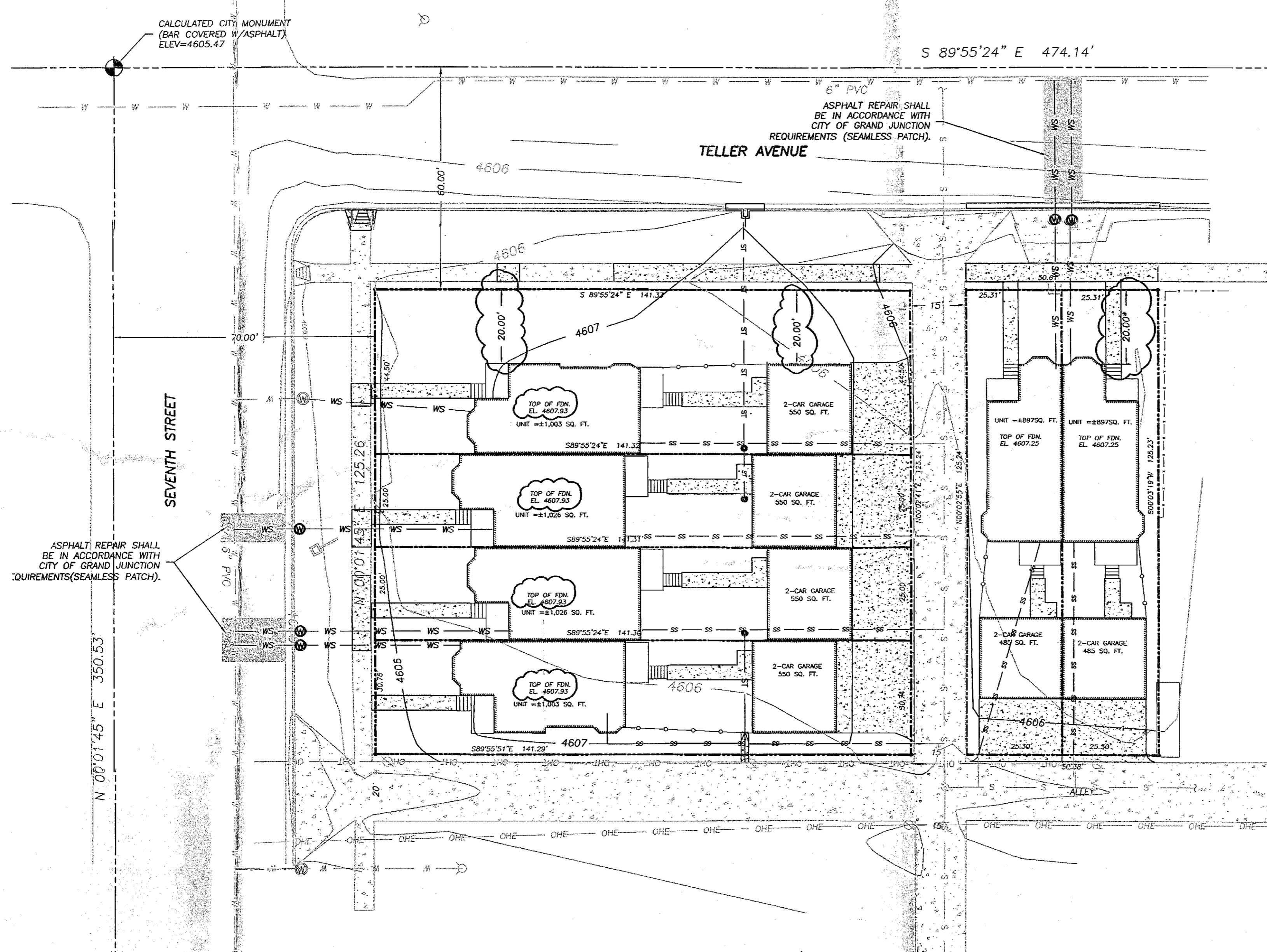
**ig consulting engineers, inc.**  
335 Main Street, Suite 203 • Grand Junction, Colorado • 81501  
(970) 242-7540

**SEVENTH STREET TOWNHOMES  
GRADING AND DRAINAGE PLAN**

prepared for  
**CARL VOSTATEK, ARCHITECT**

DESIGNED BY:	WJ/TJ
CHECKED BY:	MT/C
APPROVED BY:	MT/C
JOB NUMBER:	327.0005
DATE:	14 APRIL '03
SCALE:	1"=10'
SHEET NO.:	G1

55-2003-077



**LEGEND**

- PROPERTY LINE
- MONUMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLDG
- PROPOSED BLDG
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING WATER
- PROPOSED WATER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING STORM LINE
- PROPOSED STORM LINE
- PROPOSED ST DRAIN BASIN
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- EXISTING OVERHEAD POWER
- EXISTING OVERHEAD TELEPHONE
- EXISTING UTILITY POLE
- ROOF DRAIN
- DRAINAGE FLOW DIRECTION
- XX.XX FG FINISHED GRADE ELEVATION
- XXXX TC FINISHED TOP OF CONCRETE ELEV.

**UTILITIES AND AGENCIES**

CITY OF GRAND JUNCTION PUBLIC WORKS	WATER
CITY OF GRAND JUNCTION PUBLIC WORKS	SEWER
CITY OF GRAND JUNCTION PUBLIC WORKS	STORM SEWER
XCEL ENERGY	GAS
XCEL ENERGY	POWER
QWEST	TELEPHONE
AT&T CABLE SERVICES	CABLE TV



**CITY OF GRAND JUNCTION ENGINEERING**  
 APPROVED FOR CONSTRUCTION (EOR#ONE#YEAR#FROM#THIS#DATE#)  
 BY: *Carl Vostatek* DATE: 8-17-03  
 ACCEPTED AS CONSTRUCTED

DATE:	8-17-03
SCALE:	1"=20'
SHEET NO.:	U1

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
 1-800-922-1987  
 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES.  
 SCALE VERIFICATION  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET  
 ADJUST SCALES ACCORDINGLY

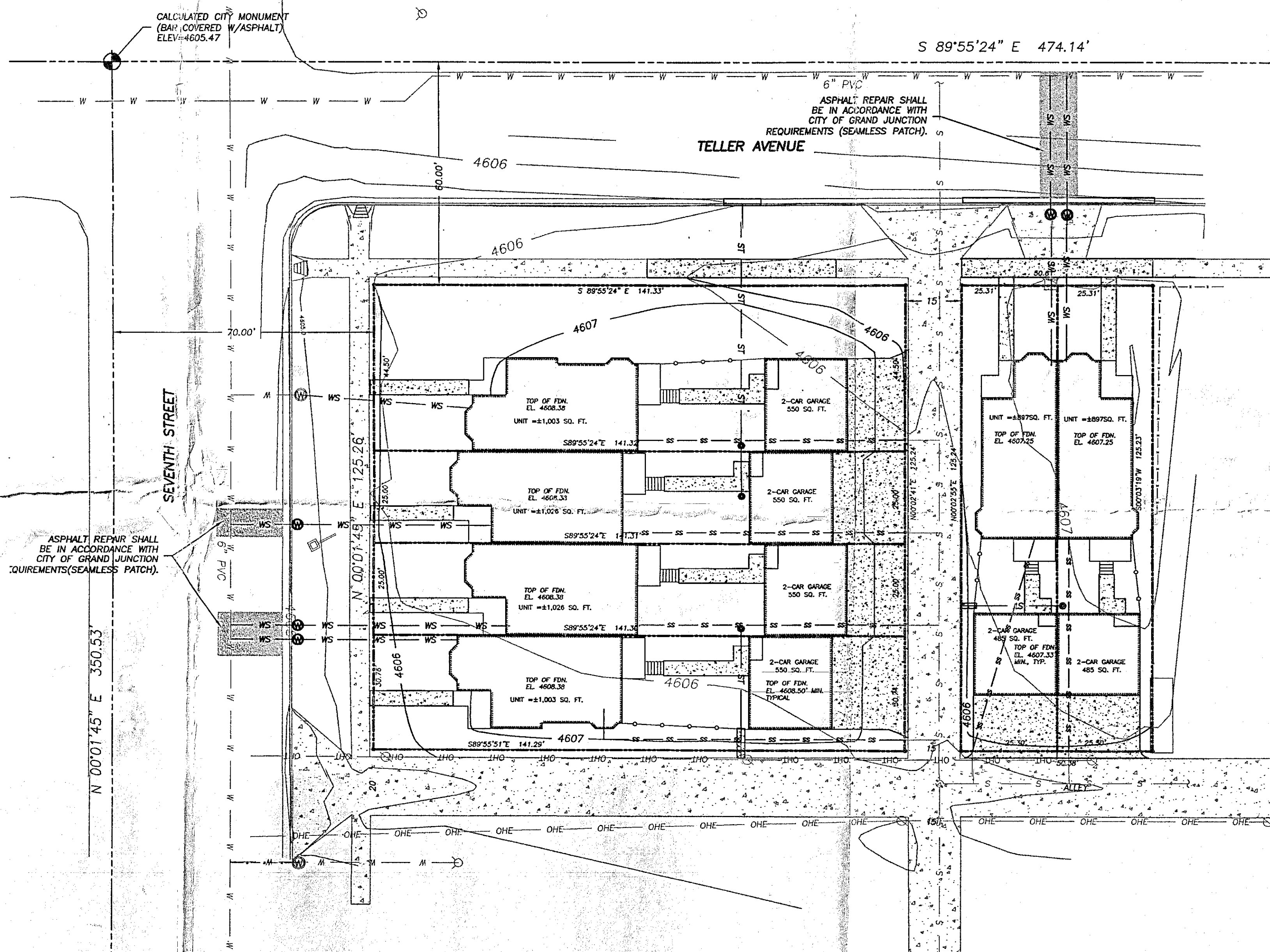
**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	8-21-03	m/d	RESPONSE TO CITY COMMENTS-ASPHALT PATCH
2	08/29/03	m/d	RESPONSE TO 2ND CITY COMMENTS-ADPT. REGIONAL
3	9/4/03	m/d	TELLER STREET SETBACK / TOP DOWN 6" CLARIFICATION

**to consulting engineers, inc.**  
 338 Main Street, Suite 203 • Grand Junction, Colorado • 81501  
 (970) 242-7540

**SEVENTH STREET TOWNHOMES**  
 UTILITY COMPOSITE  
 prepared for  
**CARL VOSTATEK, ARCHITECT**

03-077

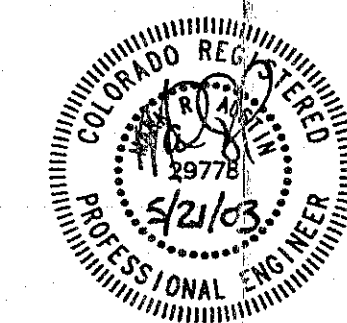


UTILITIES AND AGENCIES	
CITY OF GRAND JUNCTION PUBLIC WORKS	WATER
CITY OF GRAND JUNCTION PUBLIC WORKS	SEWER
CITY OF GRAND JUNCTION PUBLIC WORKS	STORM SEWER
XCEL ENERGY	GAS
XCEL ENERGY	POWER
QWEST	TELEPHONE
AT&T CABLE SERVICES	CABLE TV

LEGEND	
---	PROPERTY LINE
---	MONUMENT LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
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---	PROPOSED FENCE
---	EXISTING BLDG
---	PROPOSED BLDG
---	EXISTING CONCRETE
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---	EXISTING WATER METER
---	PROPOSED WATER METER
---	EXISTING SEWER
---	PROPOSED SEWER
---	EXISTING STORM LINE
---	PROPOSED STORM LINE
---	PROPOSED 8" DRAIN BASIN ADS #28084G OR EQUAL
---	PROPOSED ASPHALT REPAIR
---	PROPOSED ASPHALT REPAIR
---	PROPOSED ASPHALT REPAIR
---	EXISTING OVERHEAD POWER
---	EXISTING OVERHEAD TELEPHONE
---	EXISTING UTILITY POLE
---	ROOF DRAIN
---	DRAINAGE FLOW DIRECTION
XX.XX FG	FINISHED GRADE ELEVATION
XX.XX TC	FINISHED TOP OF CONCRETE ELEV.

RECEIVED  
MAY 23 2003  
COMMUNITY DEVELOPMENT  
DEPT.

CITY OF GRAND JUNCTION ENGINEERING  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ACCEPTED AS CONSTRUCTED  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

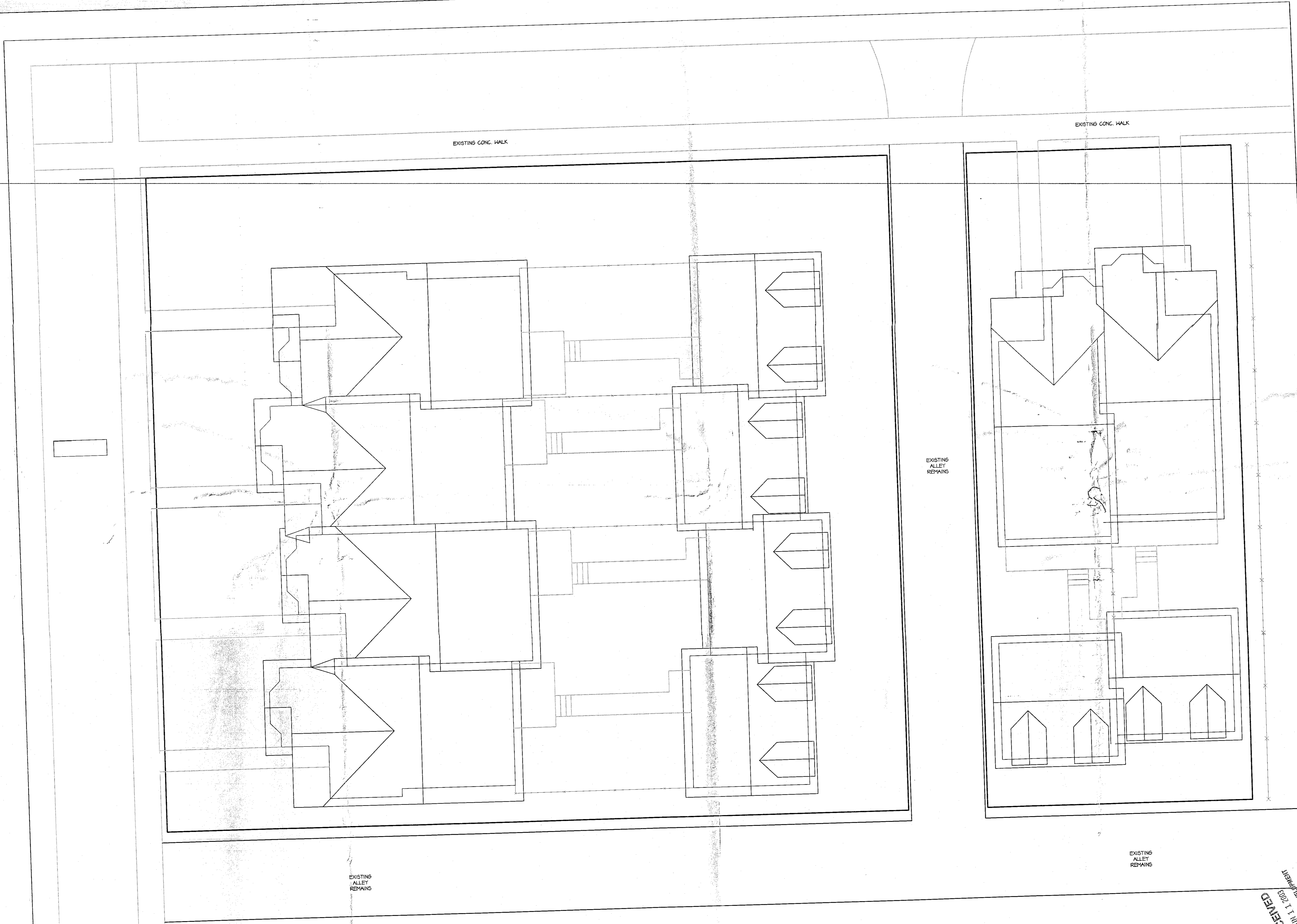


"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987	
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE PURPOSE OF UNDERGROUND UTILITY SCALE VERIFICATION SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY	
NO.	REVISIONS
1	RESPONSE TO CITY COMMENTS-ASPHALT PATCH
DATE	BY
5-21-03	mm
338 Main Street, Suite 203, Grand Junction, Colorado 81501 (970) 922-7400	
SEVENTH STREET TOWNHOMES UTILITY COMPOSITE	
CARL VOSTATEK, ARCHITECT	
DRAWN BY: WJM	DESIGNED BY: WJM
CHECKED BY: WJM	APPROVED BY: WJM
JOB NUMBER: 327.0005	DATE: 18APRIL03
SCALE: 1"=20'	SHEET NO: G1

03-077



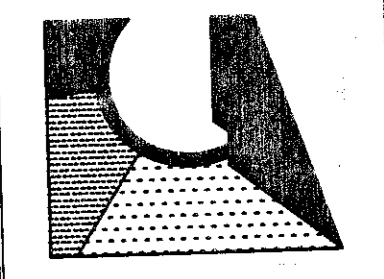


**SITE PLAN**  
1/8" = 1'-0"

Revisions:
Project no: 0202
phase: construction documents
date: 03/22/02
checked: cv
approved: cv

**SEVENTH STREET TOWNHOMES**  
836 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

carl vostattek, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5665  
(fax) 970-434-3308



RECEIVED  
JUN 11 2002  
COMMUNITY DEVELOPMENT

03-011

Revisions:

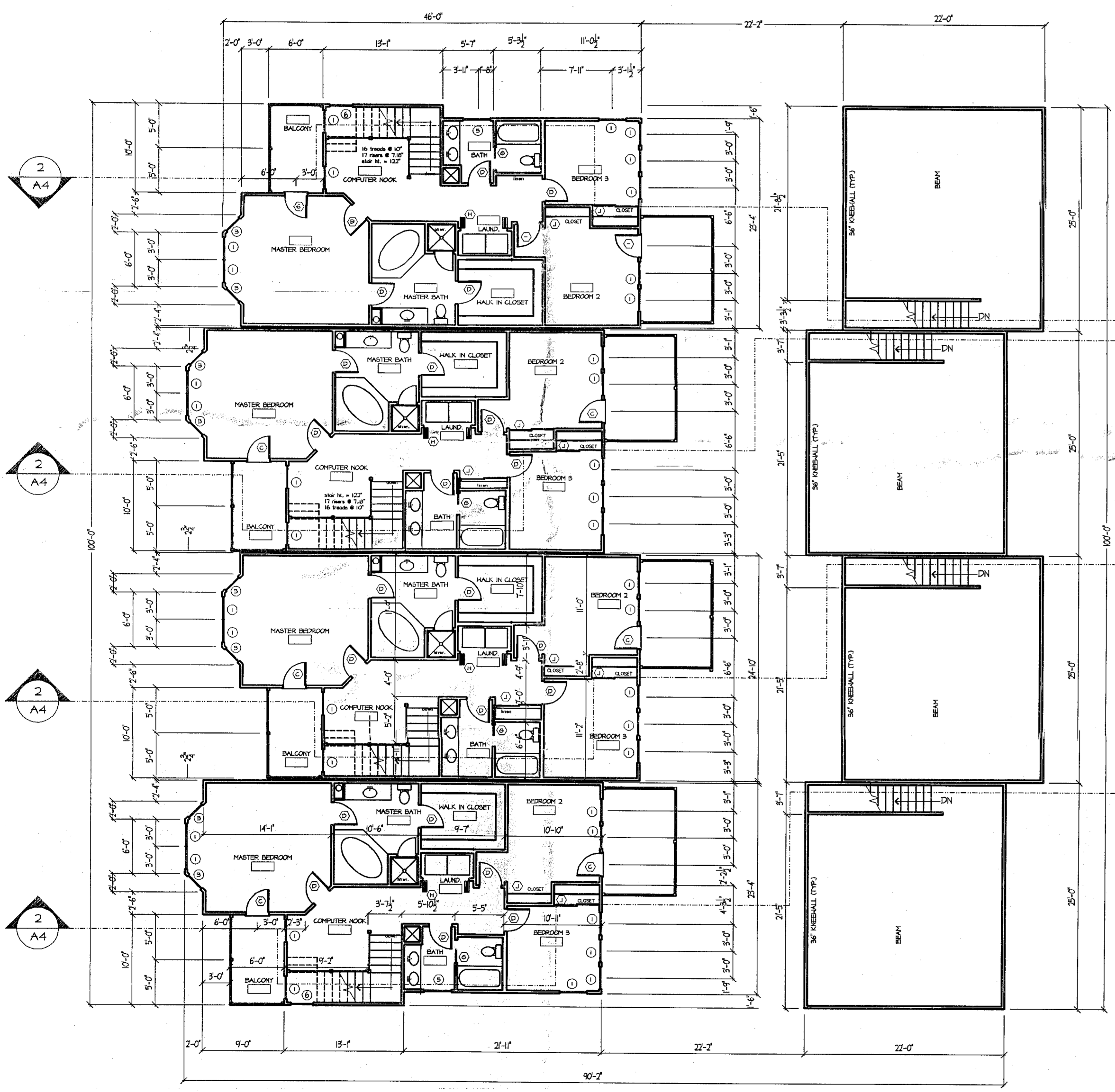

Project no: 0202  
 phase: construction documents  
 date: 03/15/02  
 checked: CV  
 approved: CV

2 4 8" VINYL VINYL

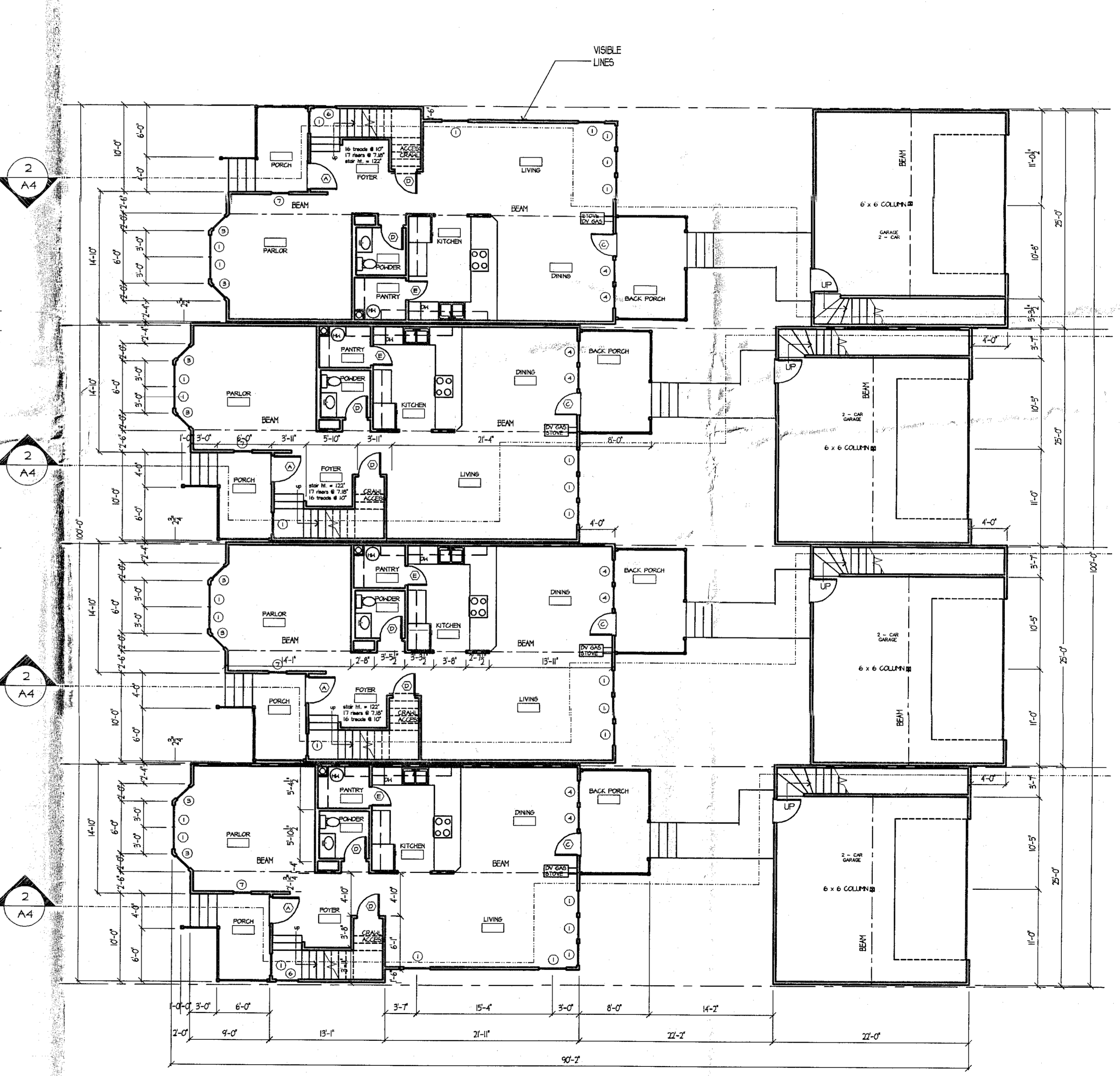
4-PLEX WINDOW SCHEDULE			
REF.	QTY	DESC.	NOTE
1	66	2' 3" x 5' 0" VINYL	VINYL
3	6	2' 3" x 5' 0" VINYL	VINYL
4	6	2' 3" x 5' 0" VINYL	VINYL
5	2	2' 3" x 5' 0" VINYL	PATIO DOOR REPLACEMENT UNIT
6	4	2' 3" x 5' 0" VINYL	ACRYLIC GLASS BLOCK UNIT
7	4	2' 3" x 5' 0" VINYL	ACRYLIC GLASS BLOCK UNIT

4-PLEX DOOR SCHEDULE			
REF.	QTY	DESC.	NOTE
A	4	6' 0" x 8' 0" HD	FIBERGLASS ENTRY DOOR
C	6	2' 3" x 5' 0" HD	FRENCH
D	32	2' 3" x 5' 0" HD	MAS
E	4	2' 3" x 5' 0" HD	LOUVERED
F	4	2' 3" x 5' 0" HD	POCKET
H	4	2' 3" x 5' 0" HD	BI-FOLD
J	4	2' 3" x 5' 0" HD	BYPASS
K	4	2' 3" x 5' 0" HD	SHAMANE
L	4	2' 3" x 5' 0" HD	OVERHEAD DOOR w/ OPENER



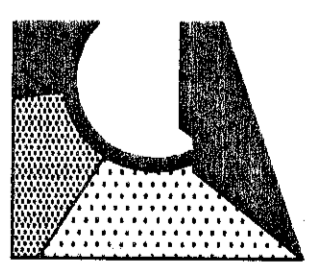
SECOND FLOOR  
 1/8" = 1'-0"



FIRST FLOOR  
 1/8" = 1'-0"

SEVENTH STREET TOWNHOMES  
 838 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

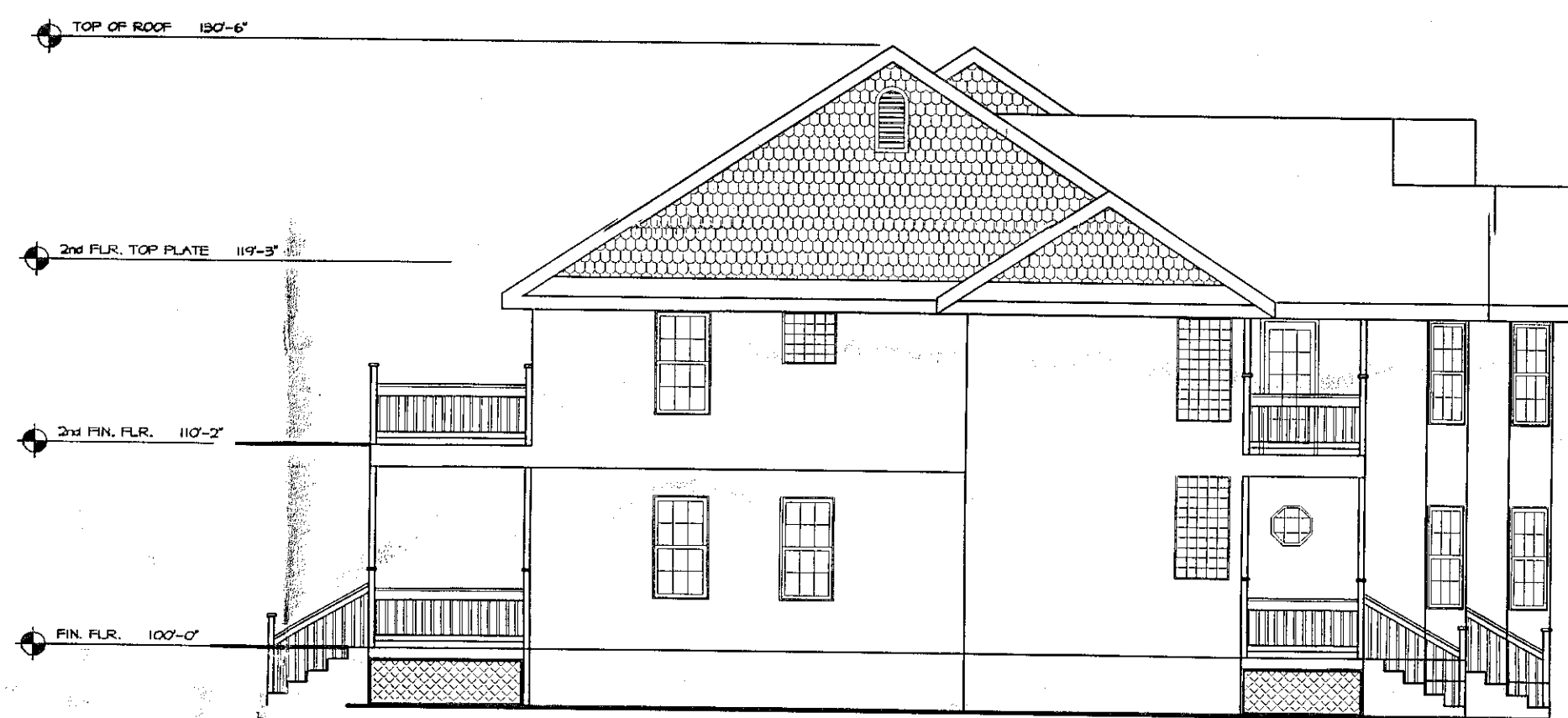
carl vostattek, architect  
 3439 grand valley canal road  
 cliffen, colorado 81520 970-434-5665  
 (fax) 970-434-3308



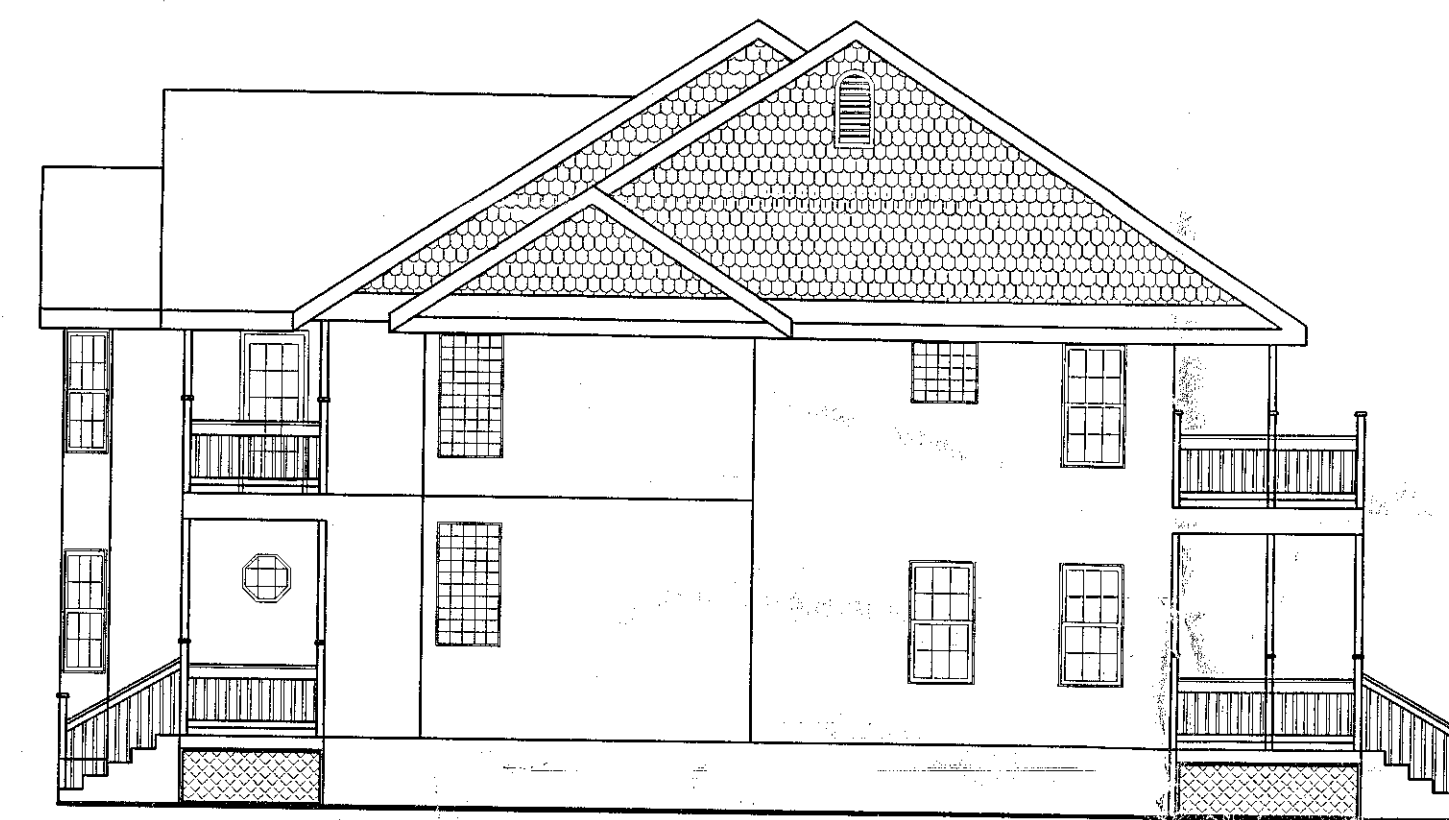
03-077



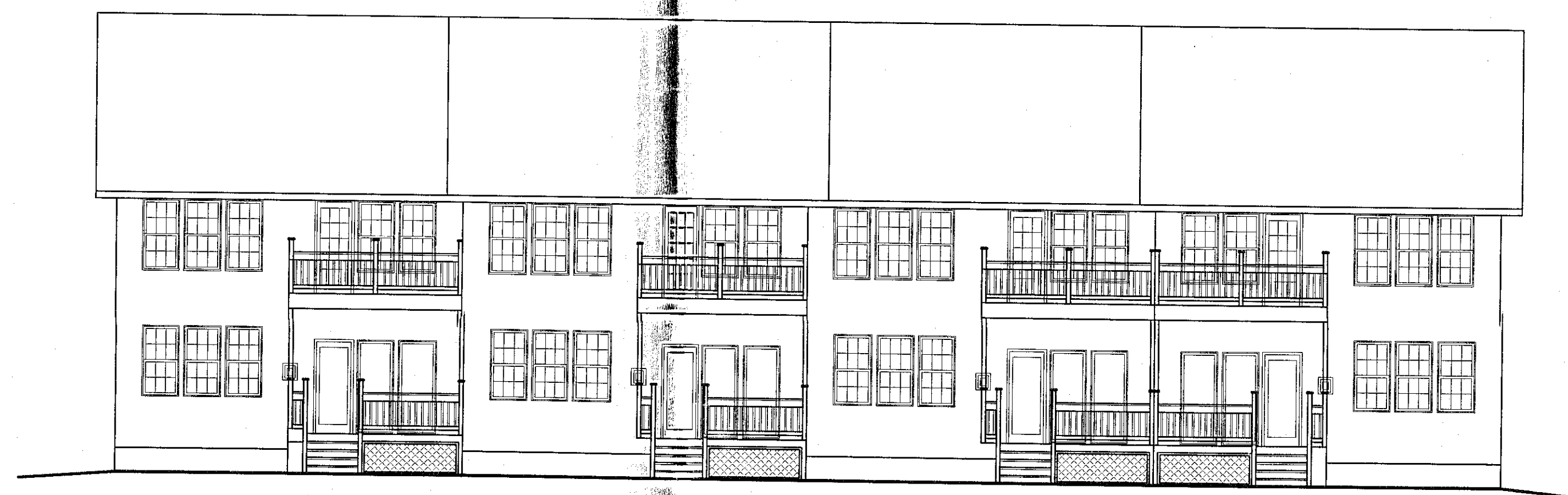
**4-PLEX WEST ELEVATION**  
1/8" = 1'-0"



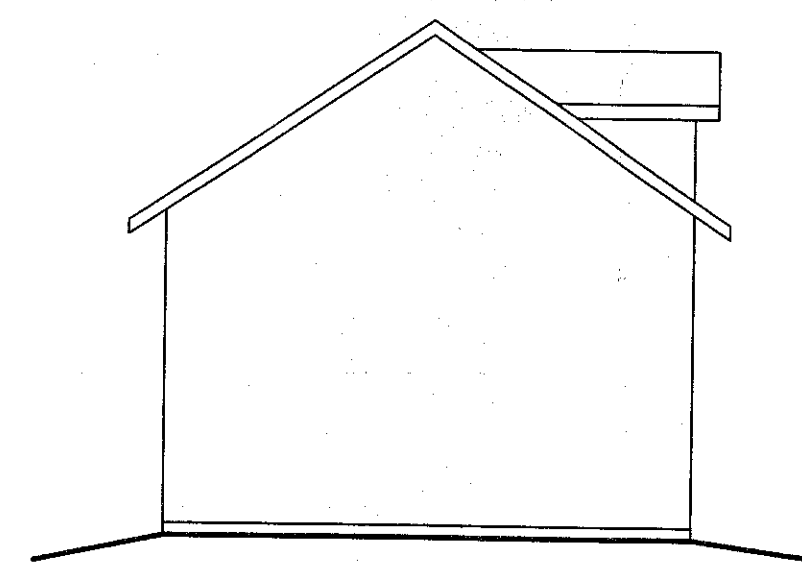
**NORTH ELEVATION**  
1/8" = 1'-0"



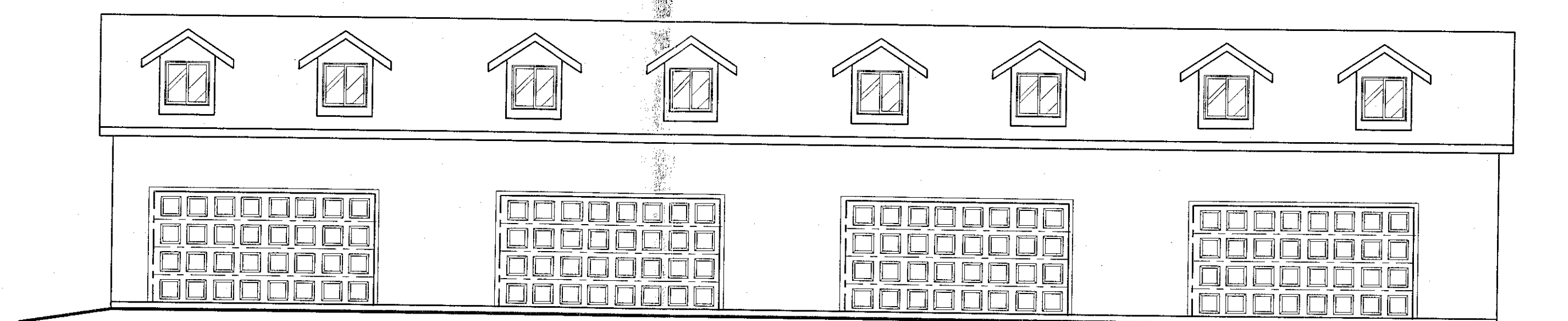
**SOUTH ELEVATION**  
1/8" = 1'-0"



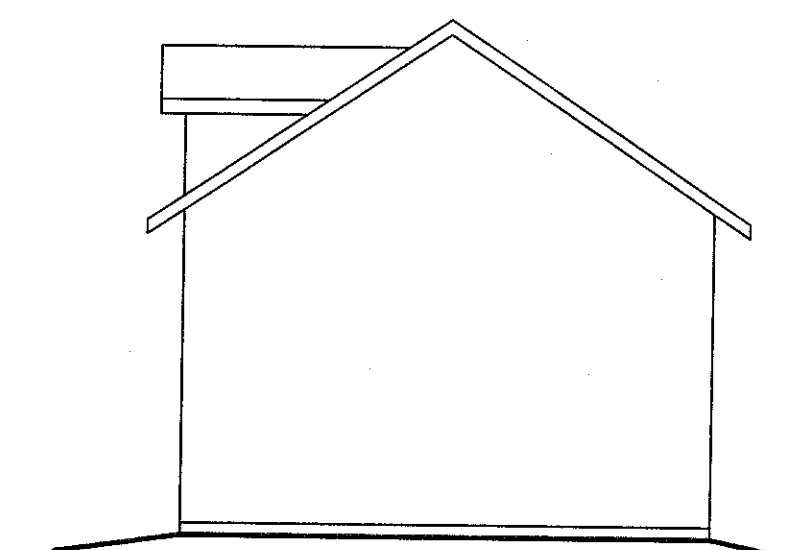
**EAST ELEVATION**  
1/8" = 1'-0"



**GARAGE NORTH ELEVATION**  
1/8" = 1'-0"



**EAST GARAGE ELEVATION**  
1/8" = 1'-0"



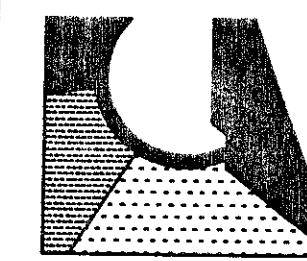
**GARAGE SOUTH ELEVATION**  
1/8" = 1'-0"

Revisions:

Project no: 0202  
phase: construction documents  
date: 03/15/02  
checked: CV  
approved: CV

**SEVENTH STREET TOWNHOMES**  
836 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

**carl vostattek, architect**  
3439 grand valley canal road  
970-434-5665  
clifton, colorado 81520  
(fax) 970-434-5308



**A3**

of 2

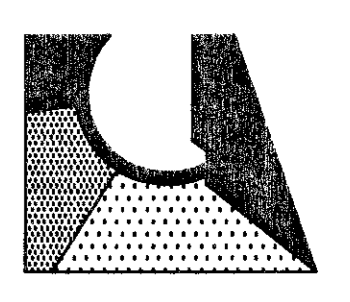
03-077

Revisions:

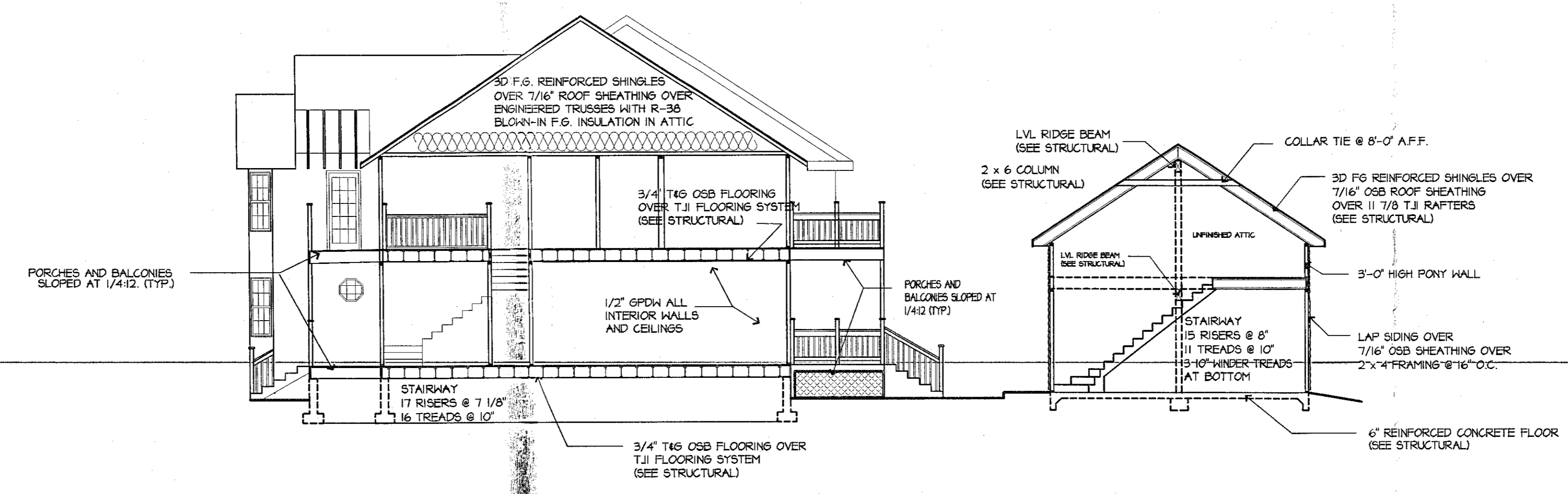
Project no: 0202  
 phase: construction documents  
 date: 03/15/02  
 checked: CV  
 approved: CV

SEVENTH STREET TOWNHOMES  
 838 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

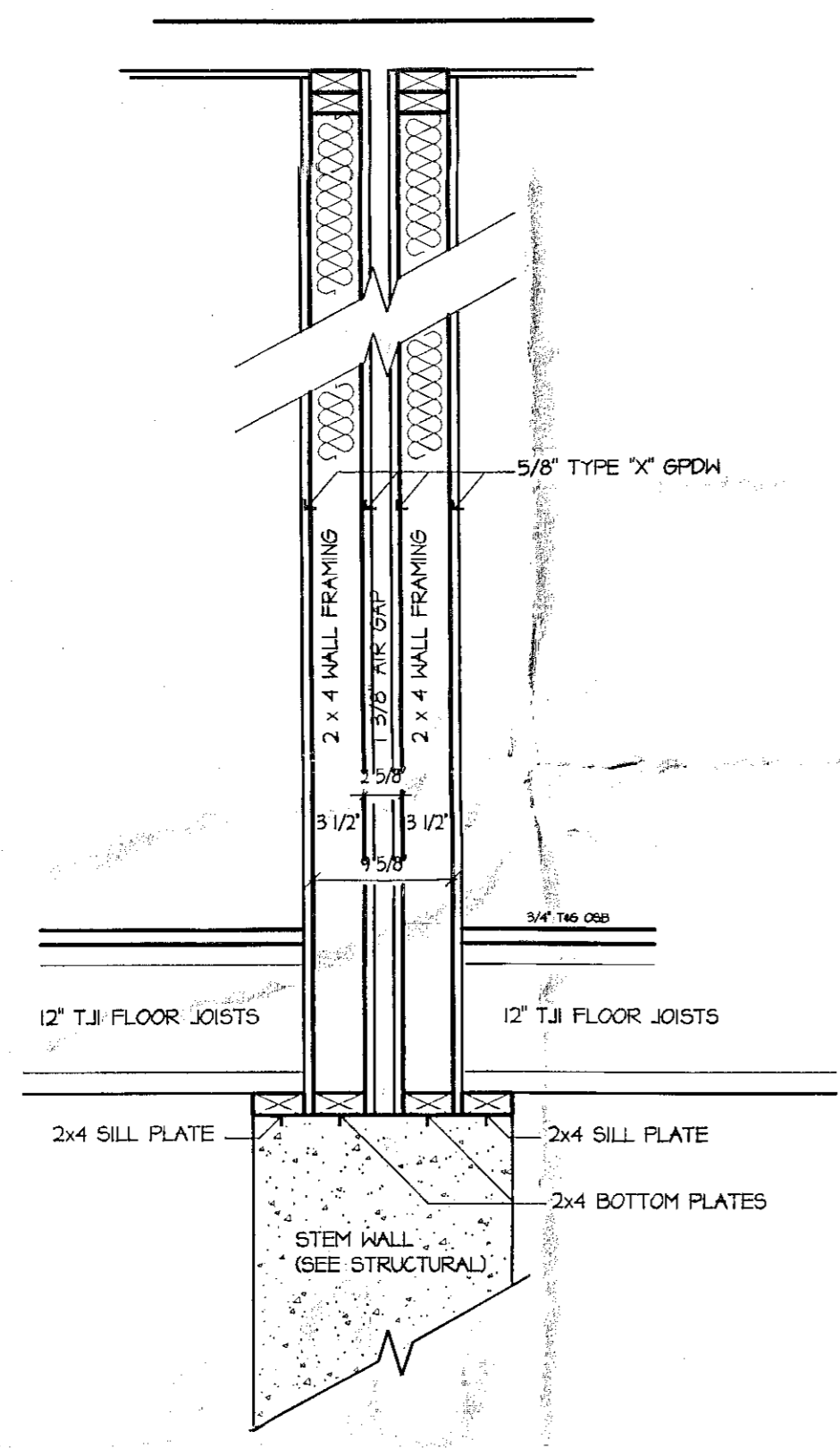
carl vostattek, architect  
 3439 grand valley canal road  
 clifton, colorado 81520 970-434-5665  
 (fax) 970-434-3308



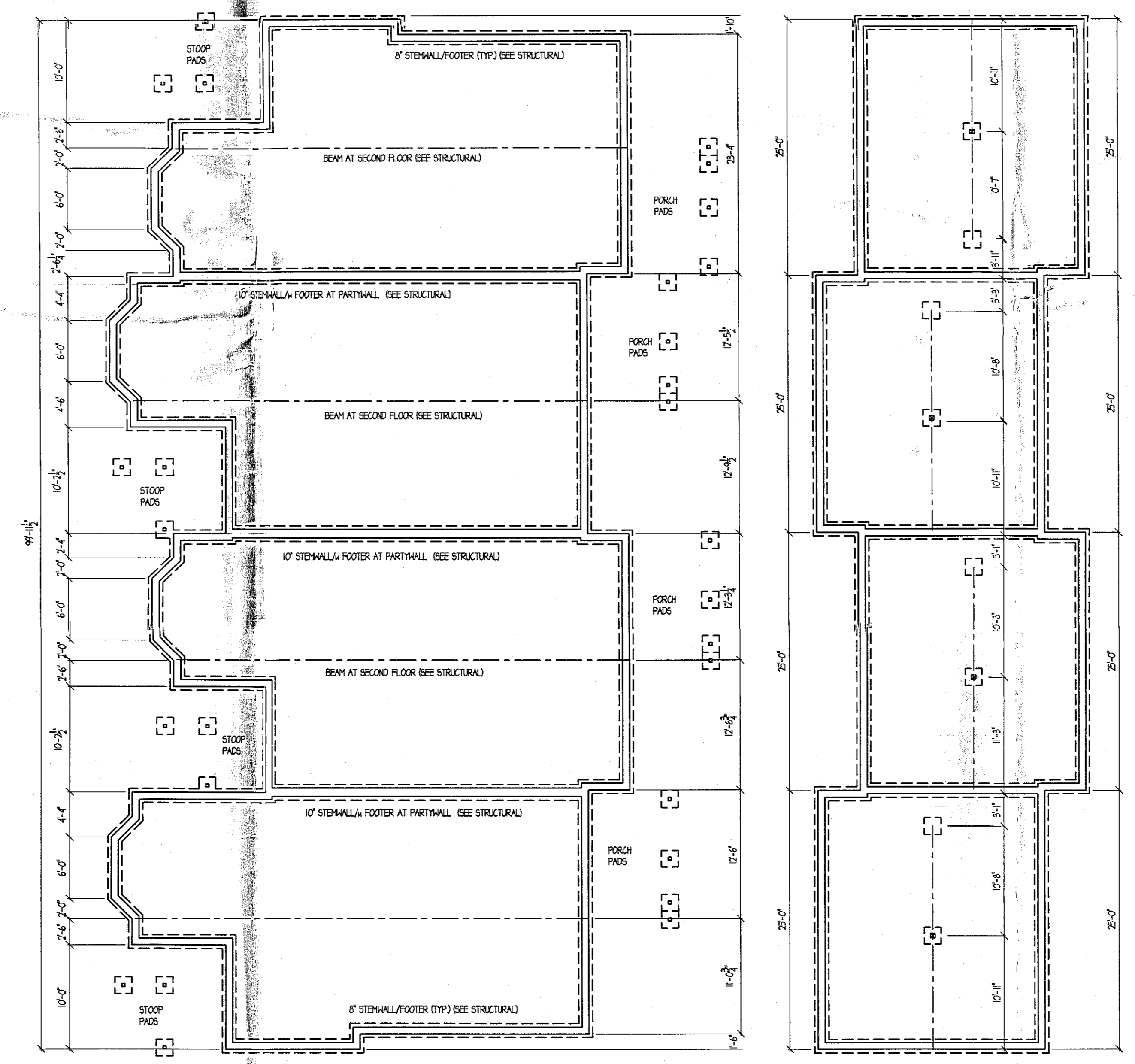
A4  
 of 2



2  
 A4  
 4-PLEX LONGITUDINAL CROSS SECTION  
 1/8" = 1'-0"



1  
 A4  
 PARTY WALL CROSS SECTION  
 2" = 1'-0"



FOR ADDITIONAL DIMENSIONS, REFER TO SHEET A3

4-PLEX / GARAGE SCHEMATIC FOUNDATION PLAN  
 1/8" = 1'-0"

03-07

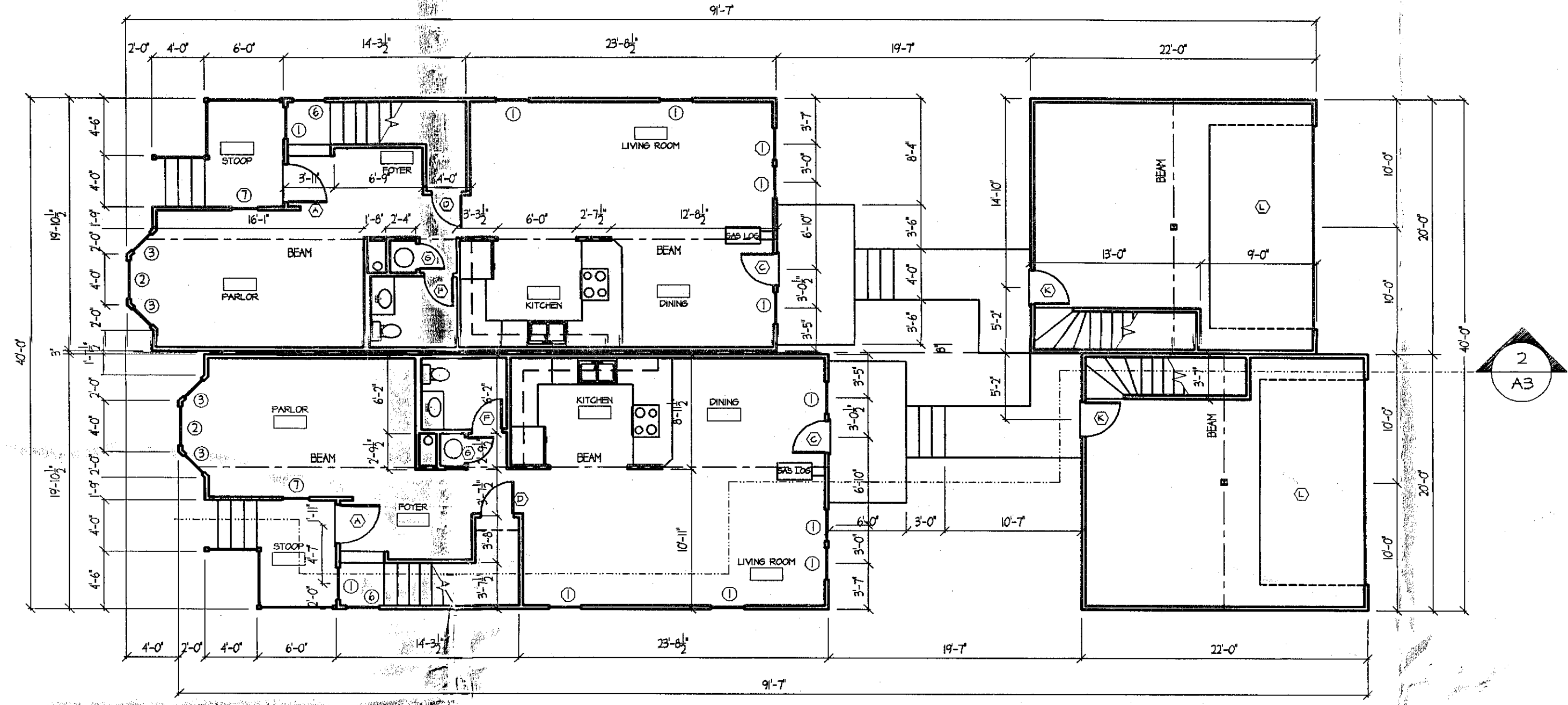
DUPLEX WINDOW SCHEDULE					
REF.	QUAN.	DESC.	SWH.	FRM.	NOTE
1	22	2' 0" x 5' 0"	WNTL	WNTL	
2	4	4' 0" x 5' 0"	WNTL	WNTL	
3	6	2' 0" x 5' 0"	WNTL	WNTL	
4	2	2' 0" x 6' 0"	WNTL	WNTL	PATIO DOOR REPLACEMENT UNIT
5	2	2' 0" x 4' 0"	WNTL	WNTL	ACRYLIC GLASS BLOCK UNIT
6	4	2' 0" x 3' 0"	WNTL	WNTL	ACRYLIC GLASS BLOCK UNIT
7	2	2' 0" x 4' 0"	WNTL	WNTL	

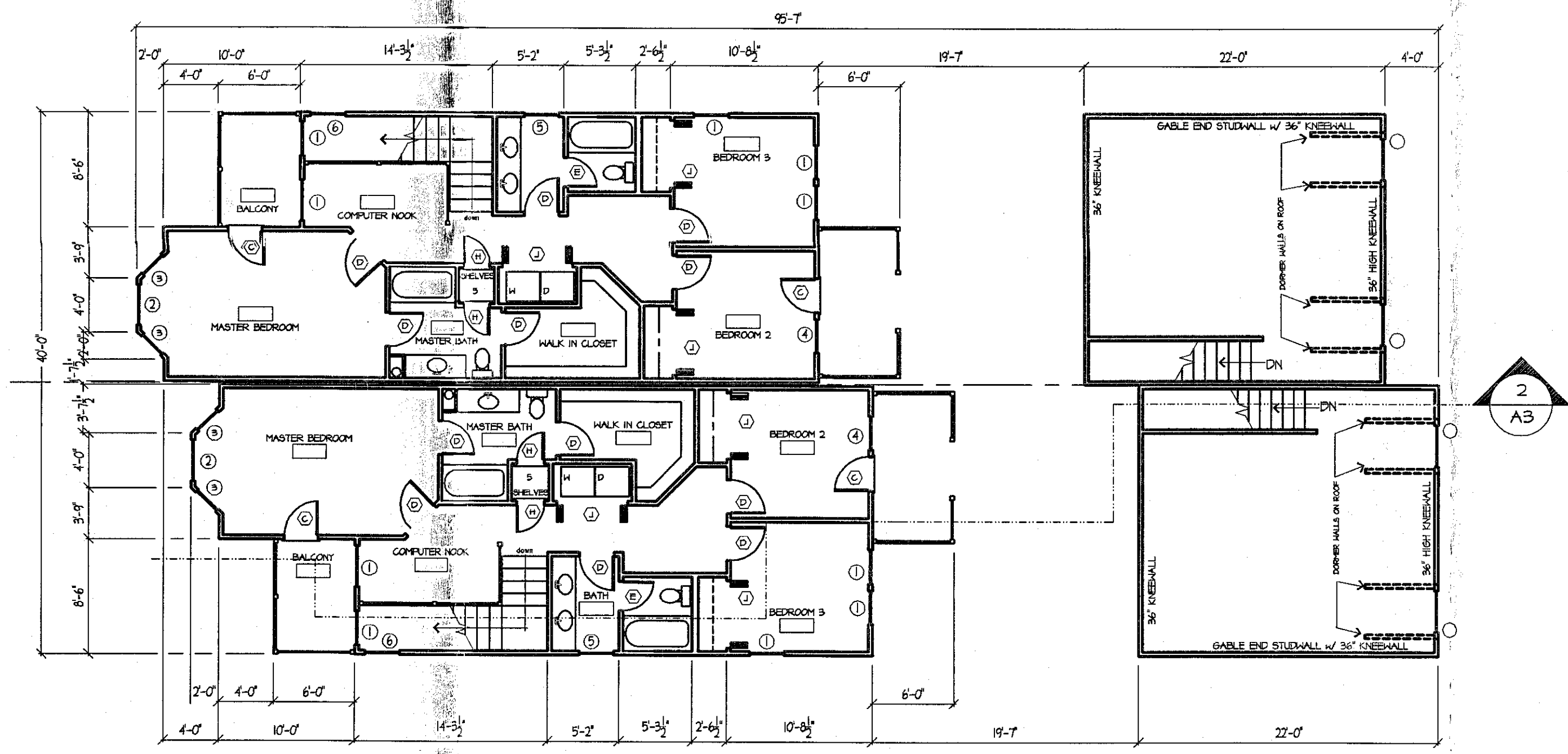
DUPLEX DOOR SCHEDULE					
REF.	QUAN.	DESC.	SWH.	FRM.	NOTE
A	2	6' 0" x 8' 0"	P.G.	HOOD	FRENCH/SLASH ENTRY DOOR
C	6	6' 0" x 8' 0"	HD	HD	FRENCH
D	4	6' 0" x 8' 0"	PHS	HD	
E	2	2' 0" x 8' 0"	PHS	HD	
F	2	6' 0" x 8' 0"	HD	HD	
G	2	6' 0" x 8' 0"	HD	HD	LOWERED
H	4	2' 0" x 8' 0"	HD	HD	
J	6	6' 0" x 8' 0"	HD	HD	BI-FOLD
K	2	6' 0" x 8' 0"	PHS	HD	GARAGE
L	2	6' 0" x 8' 0"	PH	HD	OVERHEAD DOOR w/ OPER.

Revisions:

Project no: 0202  
 phase: construction documents  
 date: 03/15/02  
 checked: CV  
 approved: CV



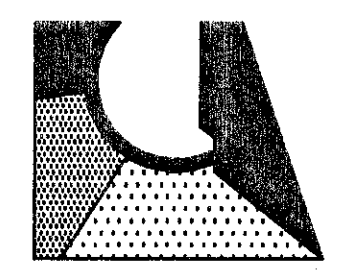
MAIN LEVEL FLOOR PLAN  
 1/4" = 1'-0"



SECOND LEVEL FLOOR PLAN  
 1/4" = 1'-0"

SEVENTH STREET TOWNHOMES  
 838 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

carl vostatsek, architect  
 3439 grand valley canal road  
 cliffon, colorado 81520 970-434-5665  
 (fax) 970-434-3308



A5  
 of 16

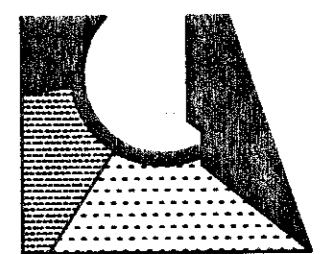
03-071

Revisions:

Project no: 0202  
phase: construction documents  
date: 03/15/02  
checked: CV  
approved: CV

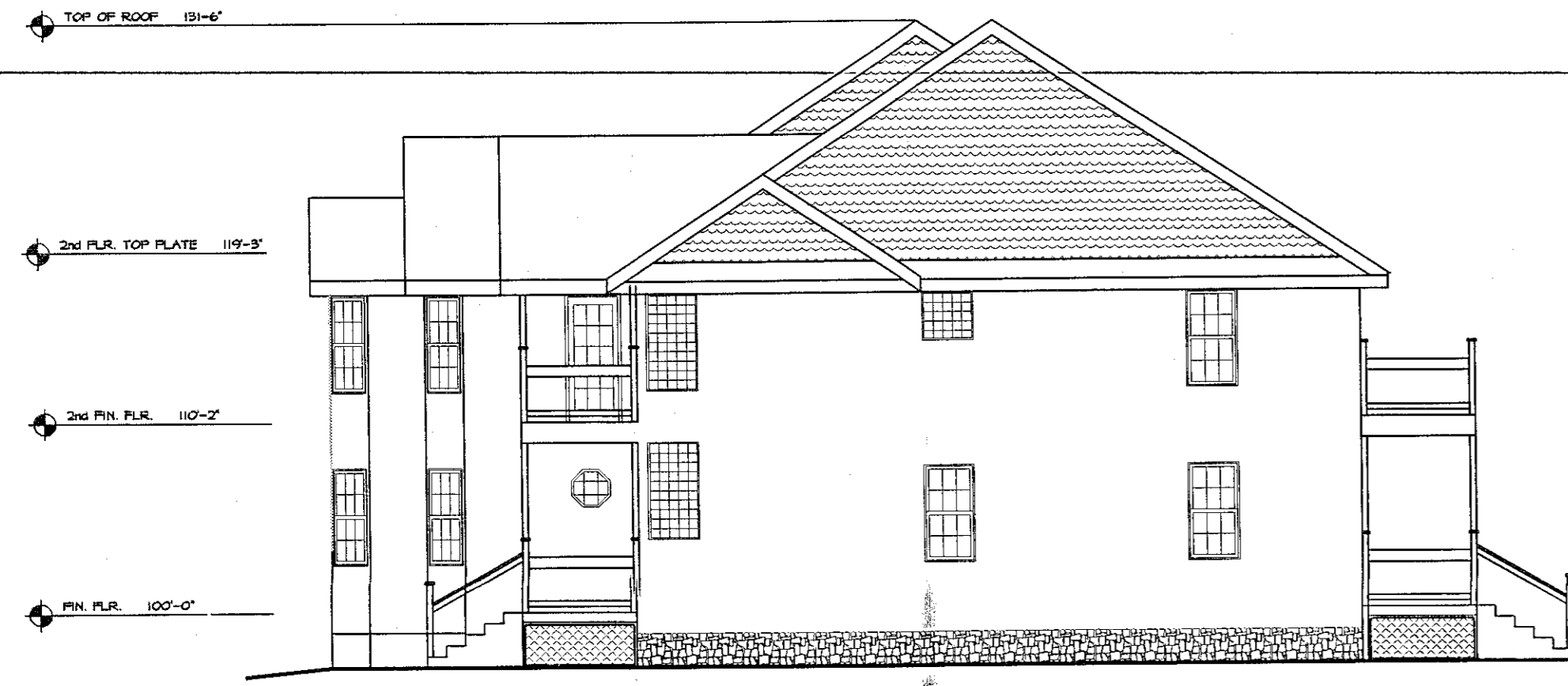
SEVENTH STREET TOWNHOMES  
838 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

carl vostatck, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5665  
(fax) 970-434-3308



A6

of 10

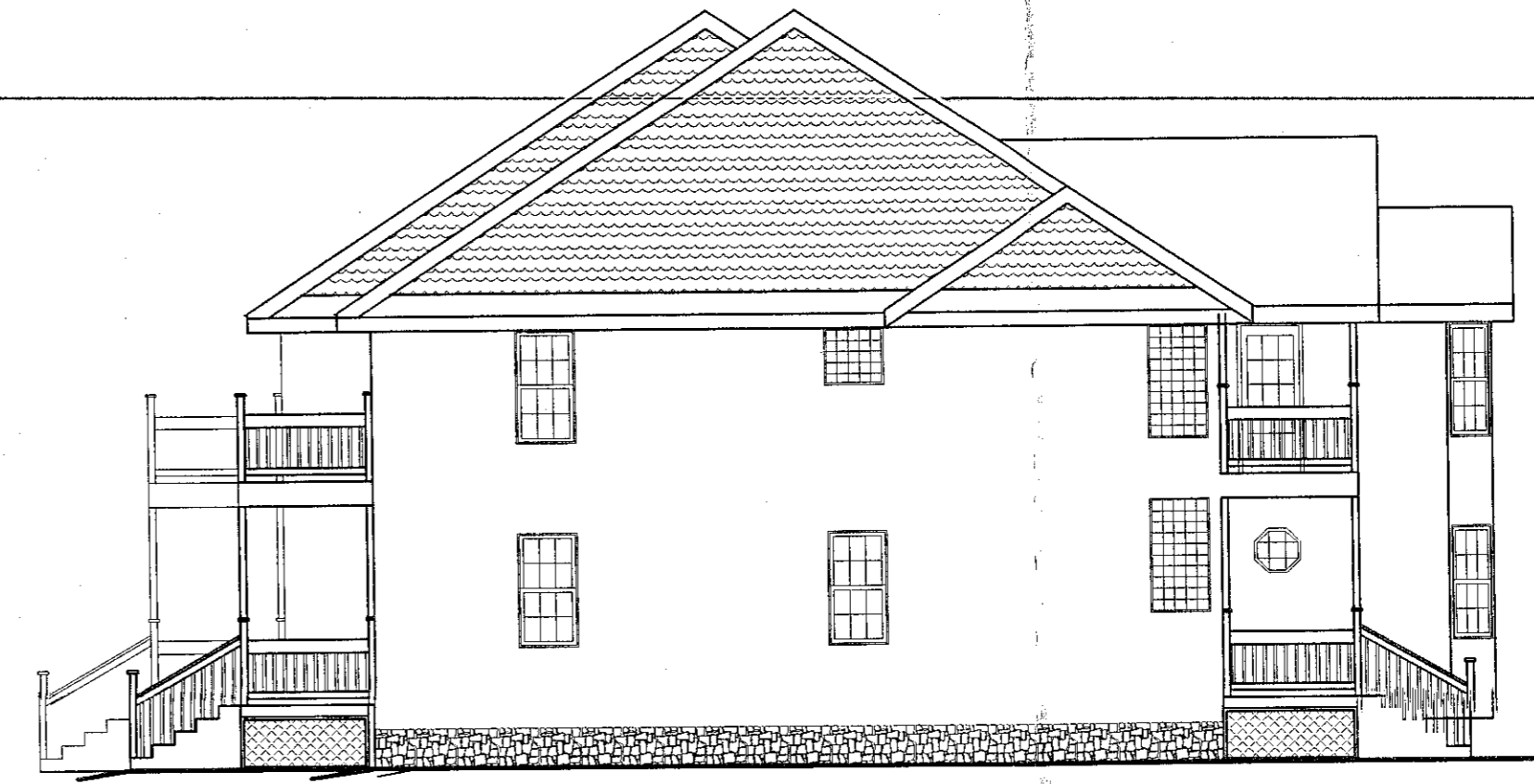


WEST ELEVATION  
1/8" = 1'-0"

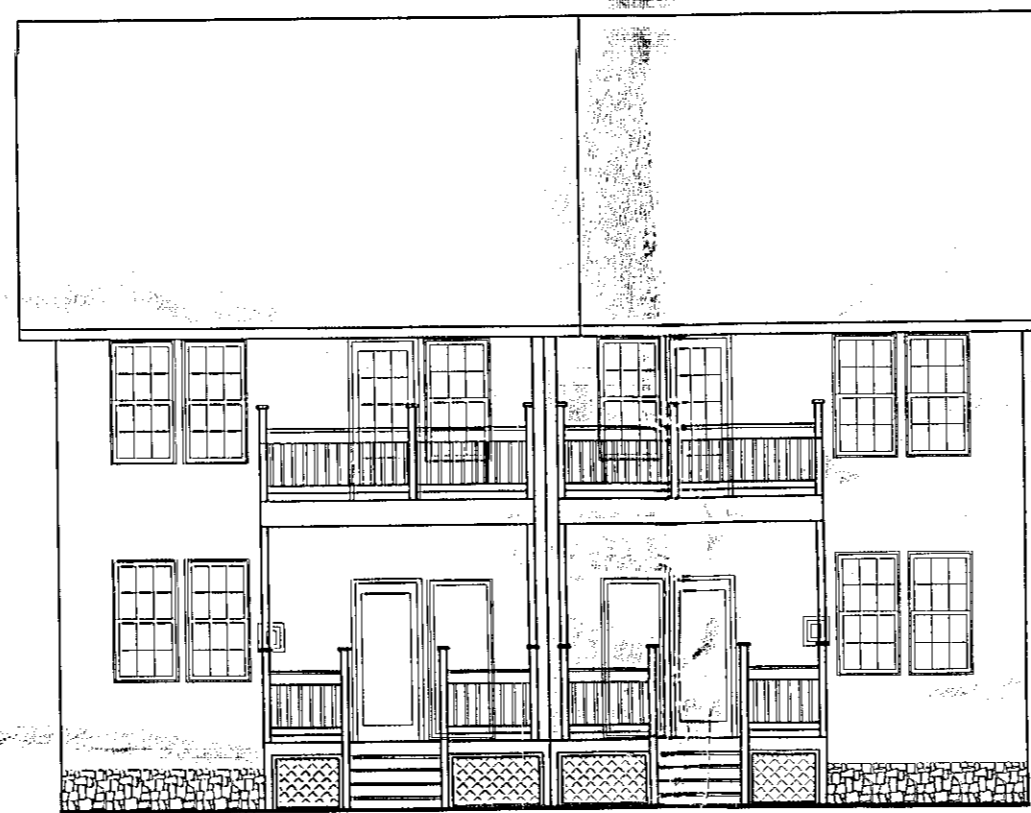


NORTH ELEVATION  
1/8" = 1'-0"

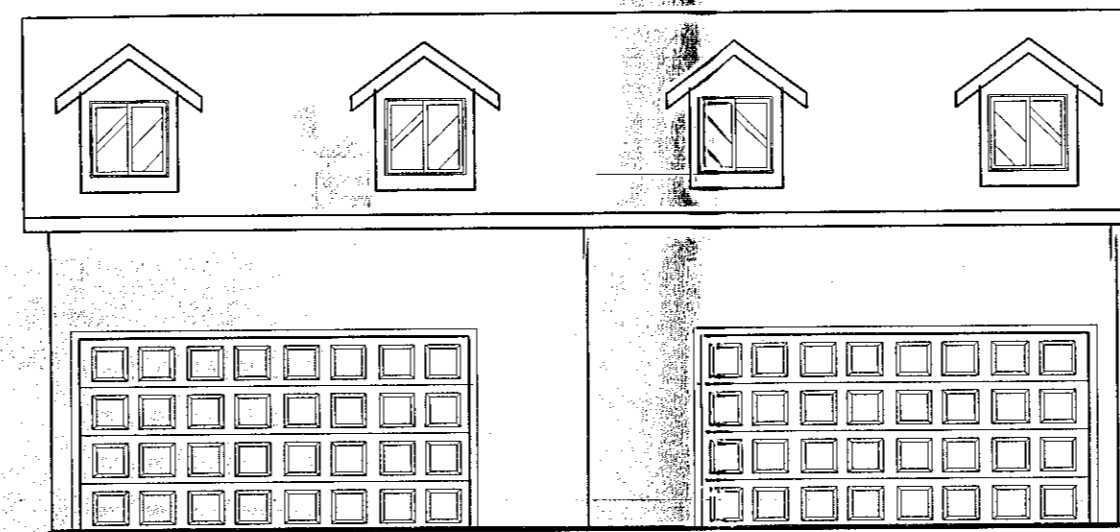
DUPLEX



EAST ELEVATION  
1/8" = 1'-0"

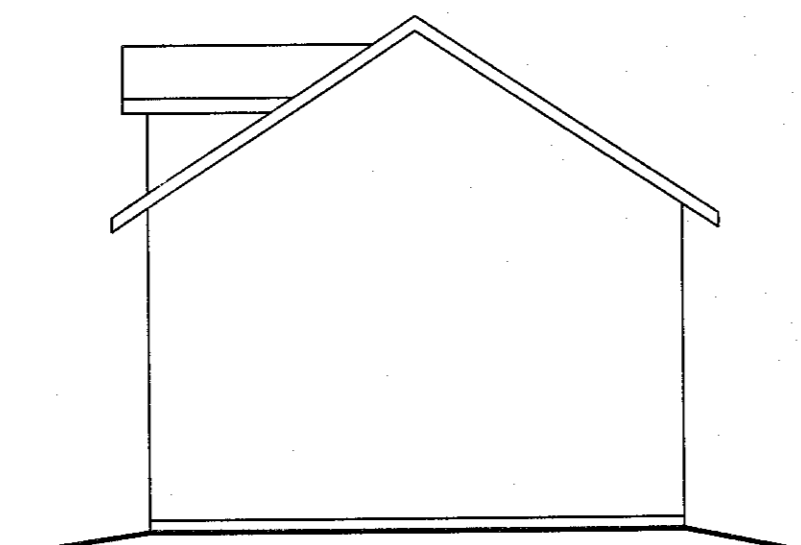


SOUTH ELEVATION  
1/8" = 1'-0"

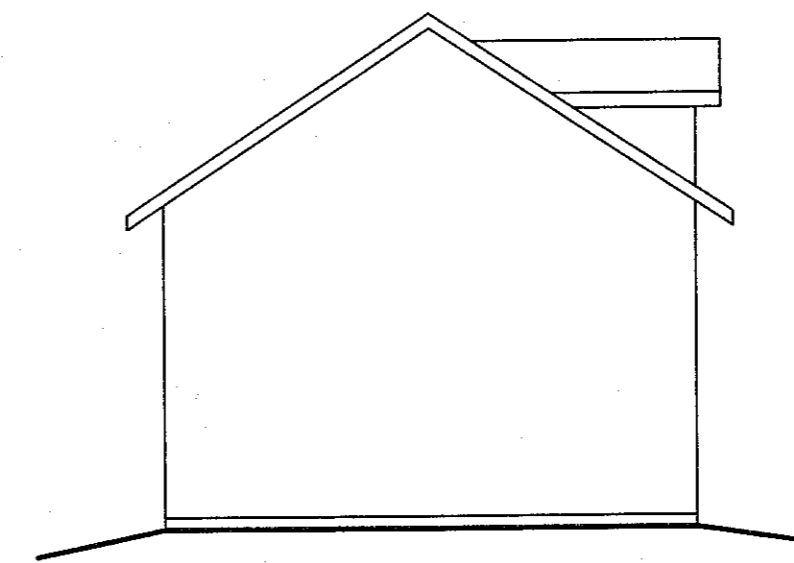


SOUTH ELEVATION  
1/8" = 1'-0"

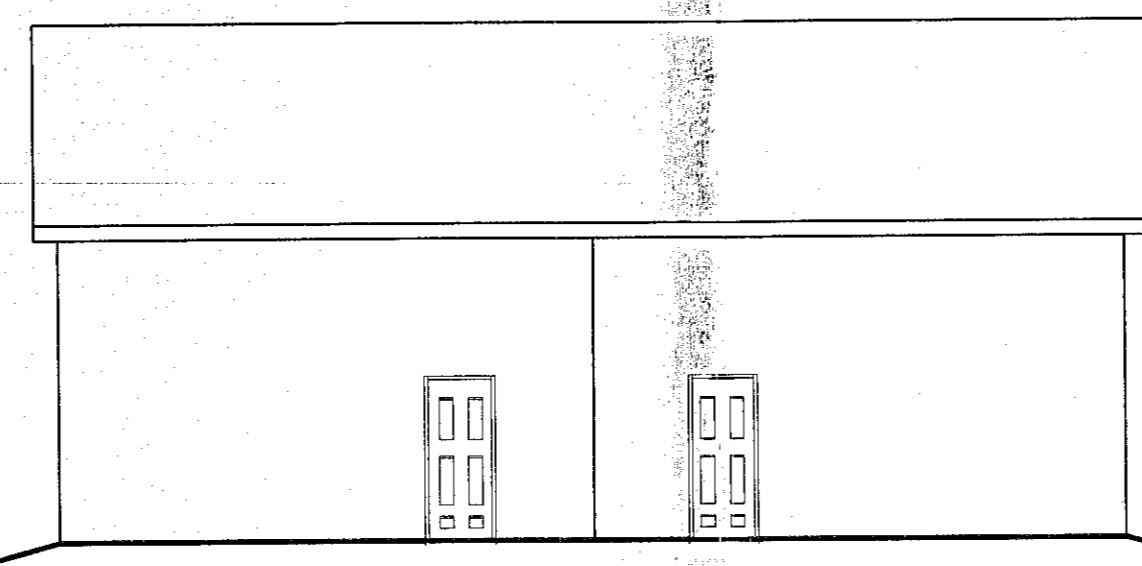
DUPLEX GARAGE



EAST ELEVATION  
1/8" = 1'-0"

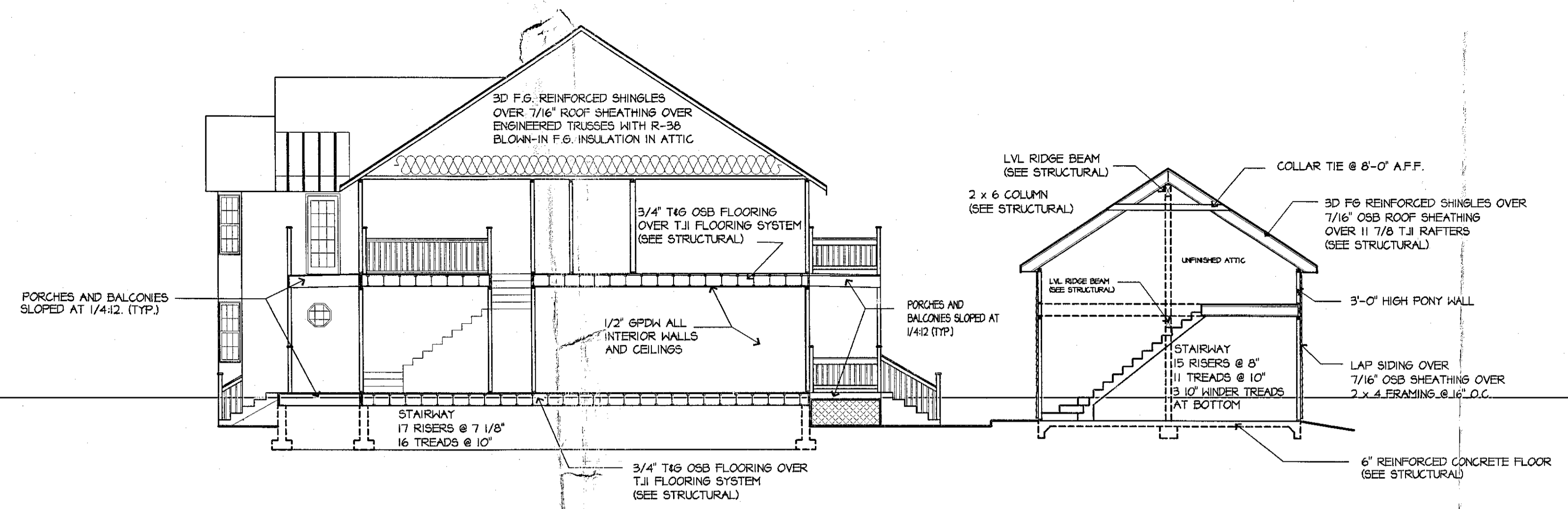


WEST ELEVATION  
1/8" = 1'-0"

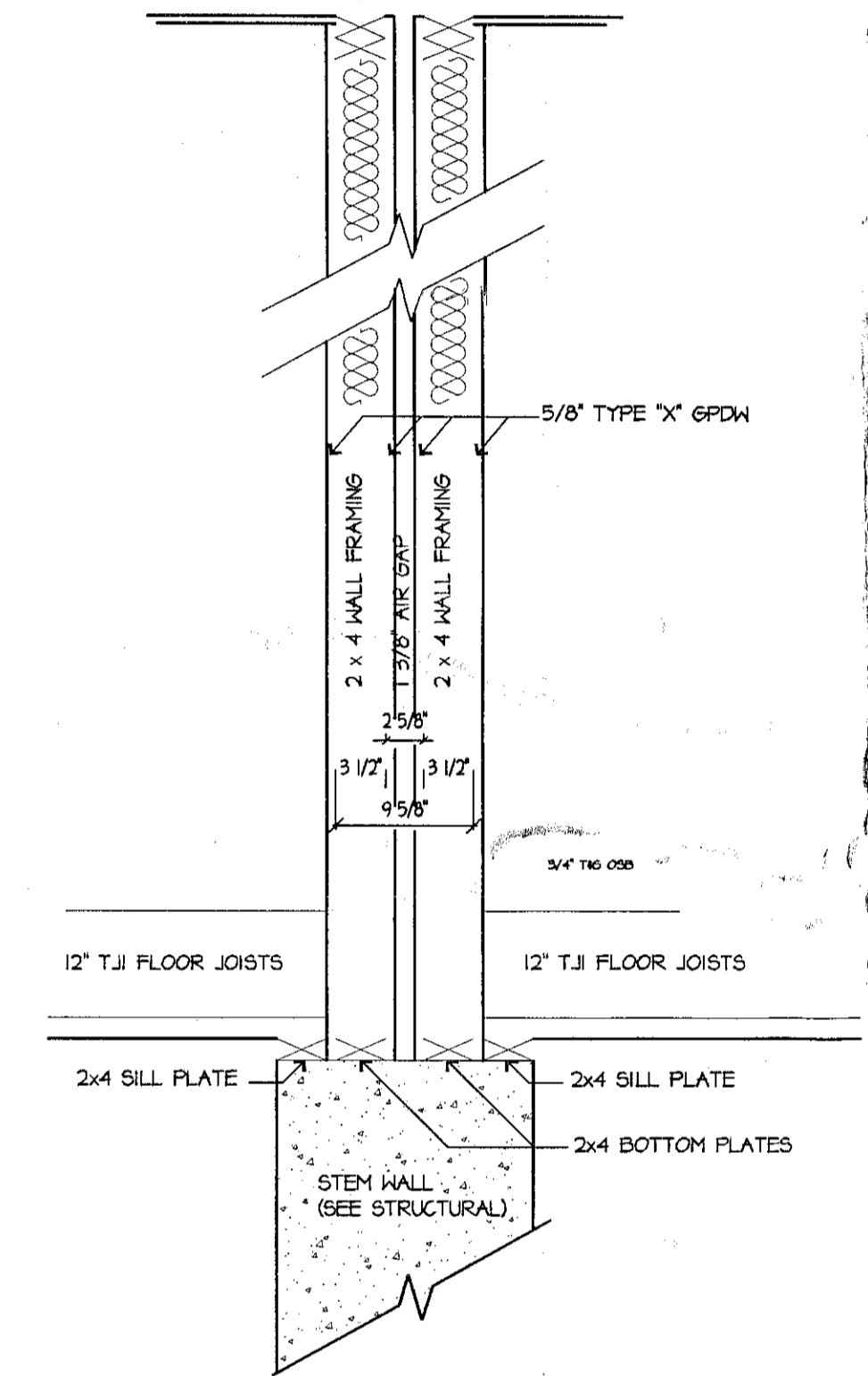


NORTH ELEVATION  
1/8" = 1'-0"

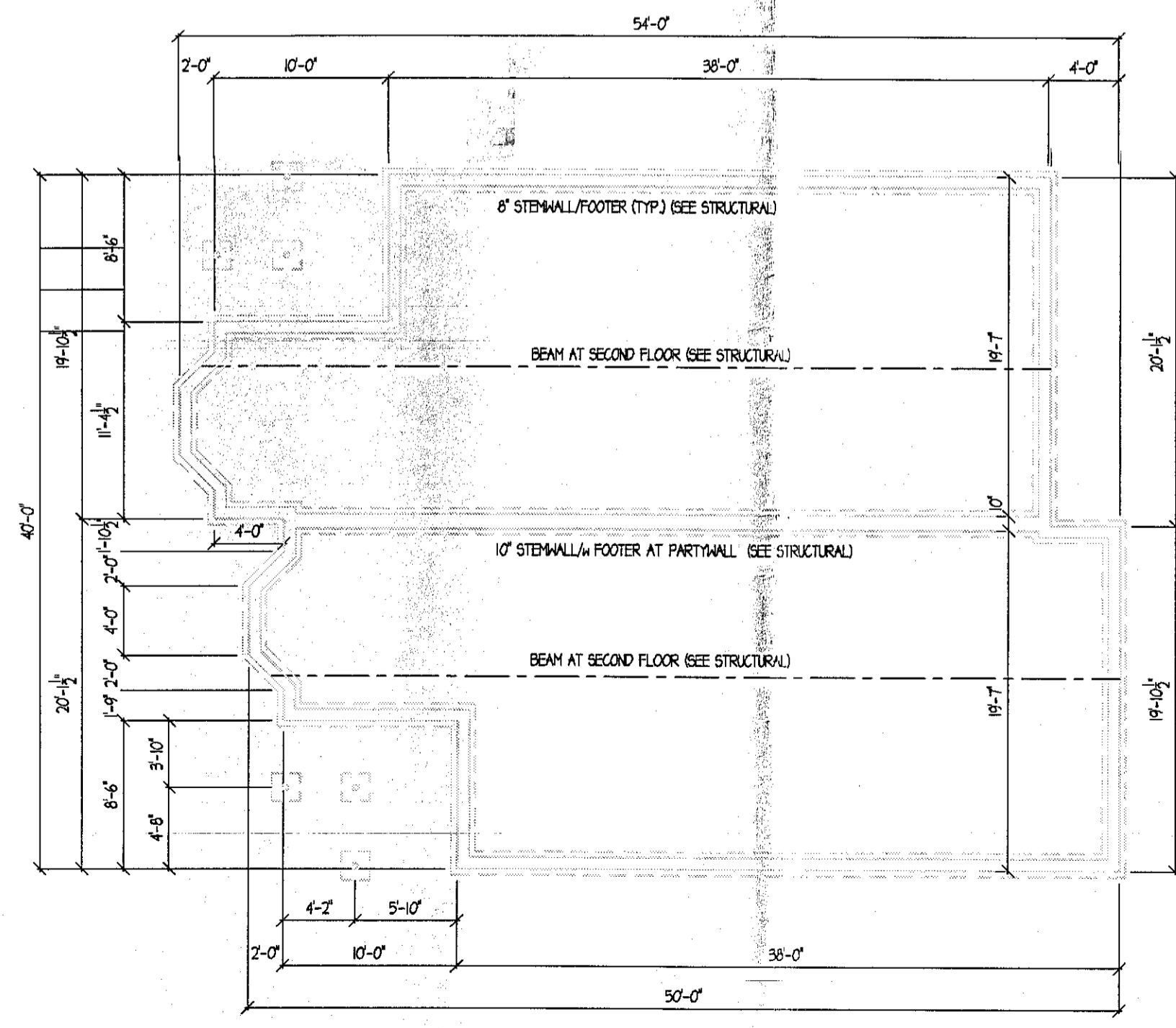
03-077



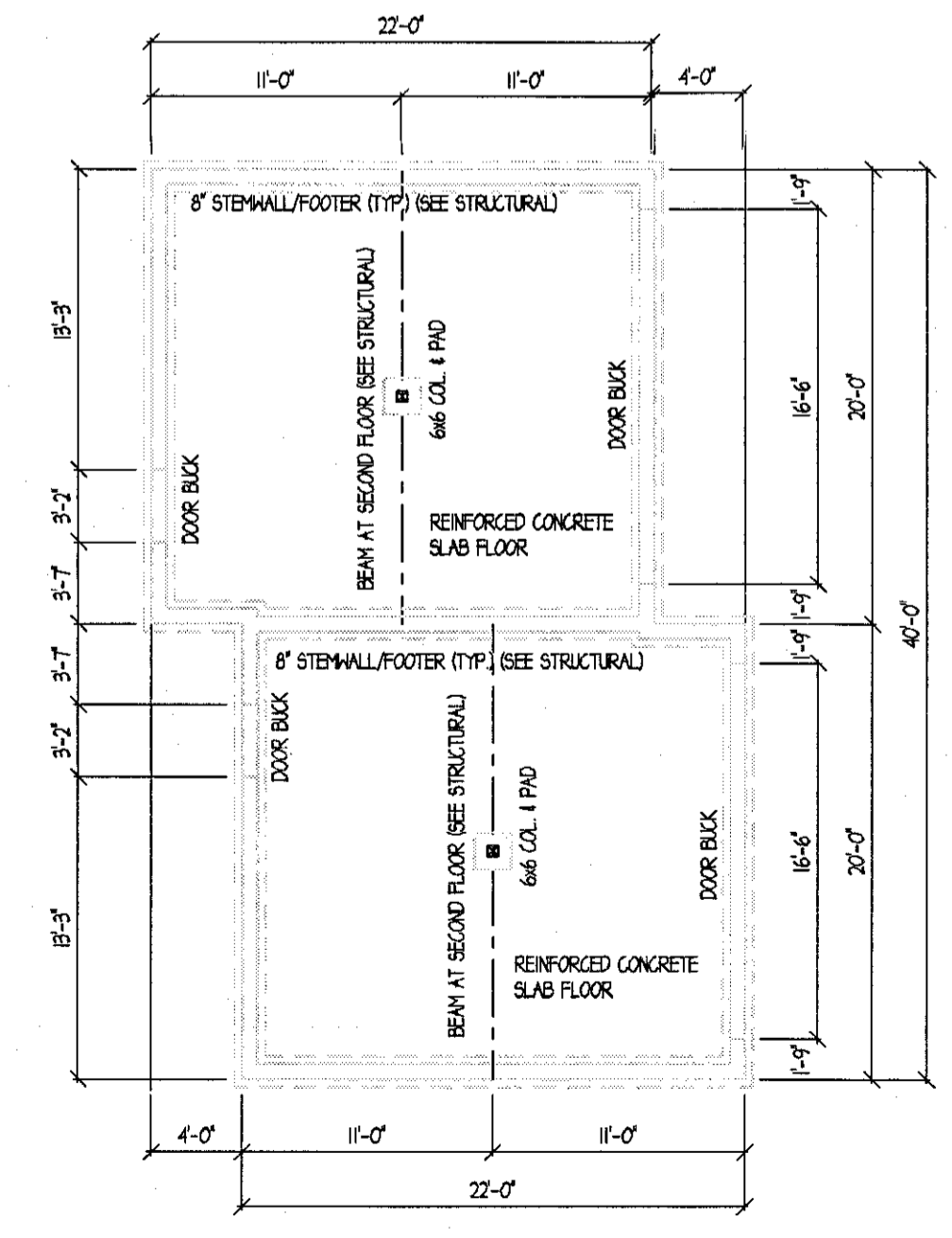
2 DUPLEX/GARAGE LONGITUDINAL CROSS SECTION  
 1/8" = 1'-0"



1 PARTY WALL CROSS SECTION  
 2" = 1'-0"



DUPLEX / GARAGE SCHEMATIC FOUNDATION PLAN  
 1/8" = 1'-0"

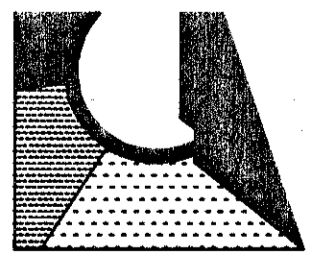


Revisions:


Project no: 0202  
 phase: construction documents  
 date: 03/15/02  
 checked: CV  
 approved: CV

SEVENTH STREET TOWNHOMES  
 838 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

carl vostatek, architect  
 3439 grand valley canal road  
 cliffton, colorado 81520 970-434-5665  
 (fax) 970-434-3308



A7  
 of 10

03-077

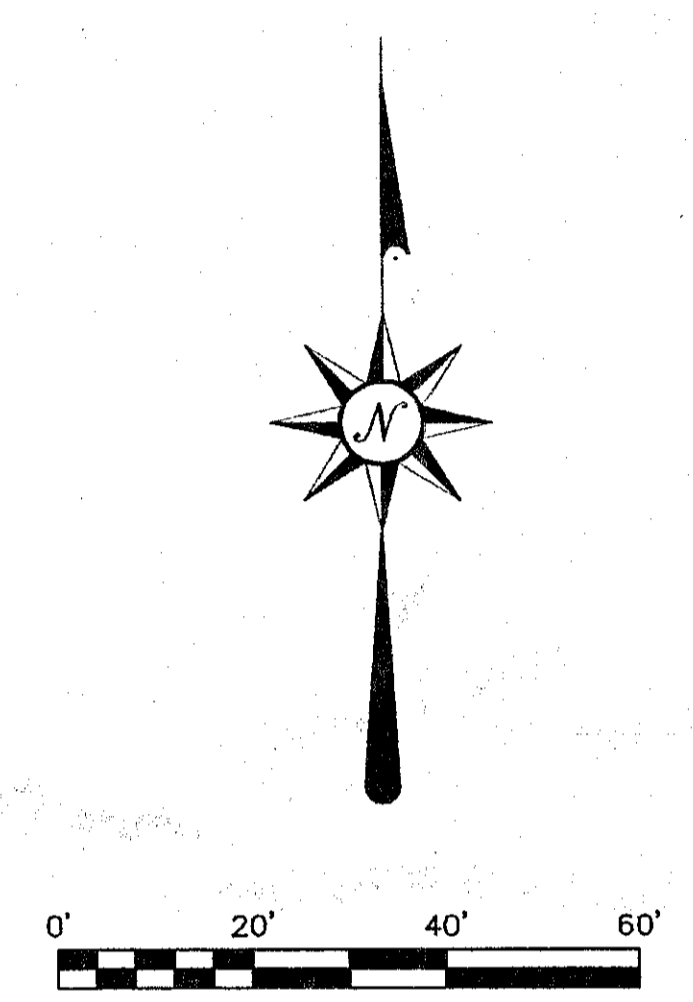
CALL UTILITY NOTIFICATION  
CENTER OF COURAGE  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRAVE, OR  
EXCAVATE FOR  
SCALE VERIFICATION  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET  
ADJUST SCALES ACCORDINGLY

NO.	DATE	BY	REVISIONS
1	5/21/03	MMQ	RESPONSE TO COMMENTS

**ig consulting engineers, inc.**  
338 Main Street, Suite 200, Grand Junction, Colorado • 81501  
(970) 242-7244

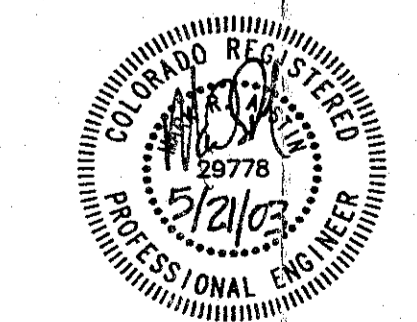
**SEVENTH STREET TOWNHOMES**  
**SITE PLAN**  
proposed for  
**CARL VOSTATEK, ARCHITECT**

DESIGN BY:	MMQ
REVISION BY:	MMQ
CHECKED BY:	MMQ
APPROVED BY:	MMQ
JOB NUMBER:	327.0005
DATE:	5-20-03
SCALE:	1"=20'
SHEET NO.:	S1



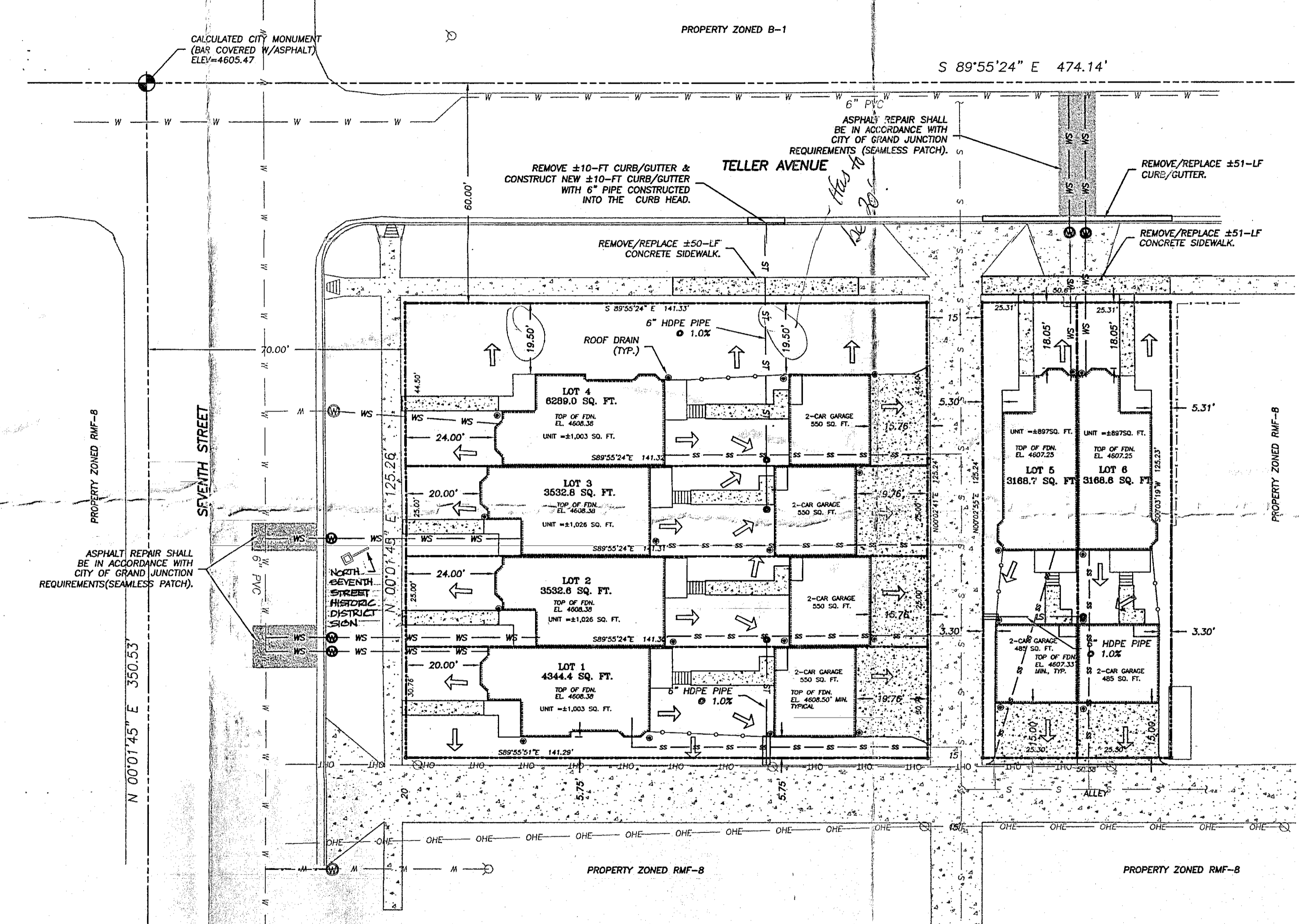
**LEGEND**

- PROPERTY LINE
- MONUMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING BLDG
- PROPOSED BLDG
- EXISTING CONCRETE
- PROPOSED CONCRETE
- WS --- WS --- EXISTING WATER
- WS --- WS --- PROPOSED WATER
- WS --- WS --- EXISTING FIRE HYDRANT
- WS --- WS --- EXISTING WATER METER
- WS --- WS --- PROPOSED WATER METER
- S --- S --- EXISTING SEWER
- S --- S --- PROPOSED SEWER
- ST --- ST --- EXISTING STORM LINE
- ST --- ST --- PROPOSED STORM LINE
- S --- S --- PROPOSED S' DRAIN BASIN
- S --- S --- ADS #2808AG OR EQUAL
- PROPOSED ASPHALT REPAIR
- PROPOSED ASPHALT REPAIR
- OHE --- OHE --- EXISTING OVERHEAD POWER
- OHE --- OHE --- EXISTING OVERHEAD TELEPHONE
- OHT --- OHT --- EXISTING UTILITY POLE
- ROOF DRAIN
- DRAINAGE FLOW DIRECTION
- XXXX FG --- FINISHED GRADE ELEVATION
- XX.XX TC --- FINISHED TOP OF CONCRETE ELEV.



**CITY OF GRAND JUNCTION ENGINEERING**  
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ACCEPTED AS CONSTRUCTED  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."



**UTILITIES AND AGENCIES**

CITY OF GRAND JUNCTION PUBLIC WORKS	WATER
CITY OF GRAND JUNCTION PUBLIC WORKS	SEWER
CITY OF GRAND JUNCTION PUBLIC WORKS	STORM SEWER
XCEL ENERGY	GAS
XCEL ENERGY	POWER
QWEST	TELEPHONE
AT&T CABLE SERVICES	CABLE TV

03-077



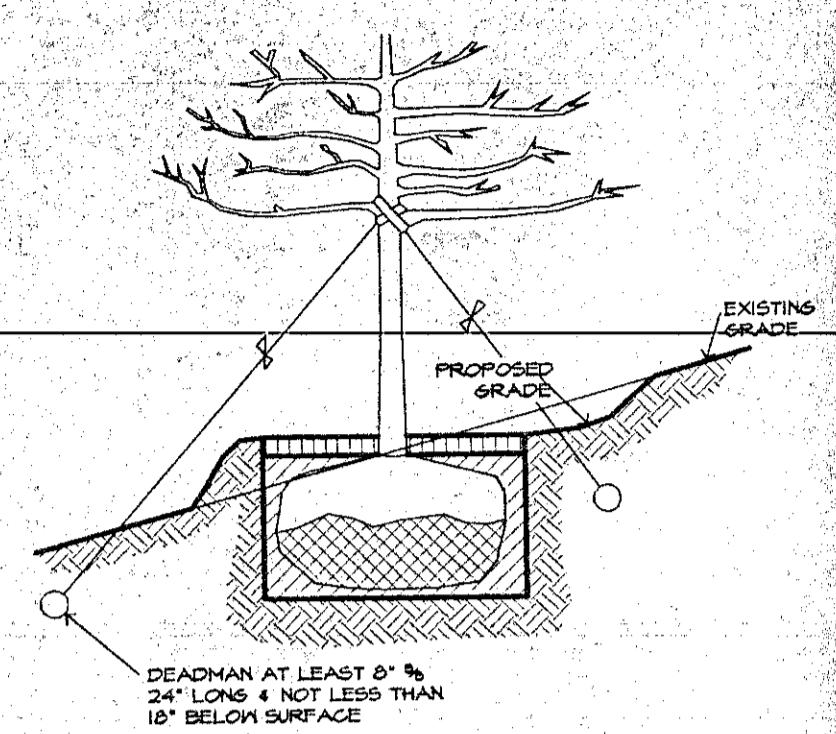
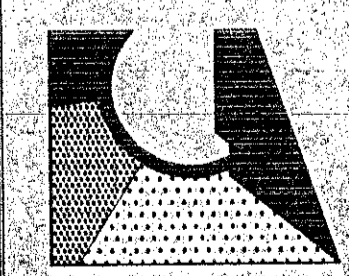
Revisions:  
3/11/03  
4/01/03

Project no: 0202  
phase: construction documents  
date: 2/11/02  
checked: CV  
approved: CV

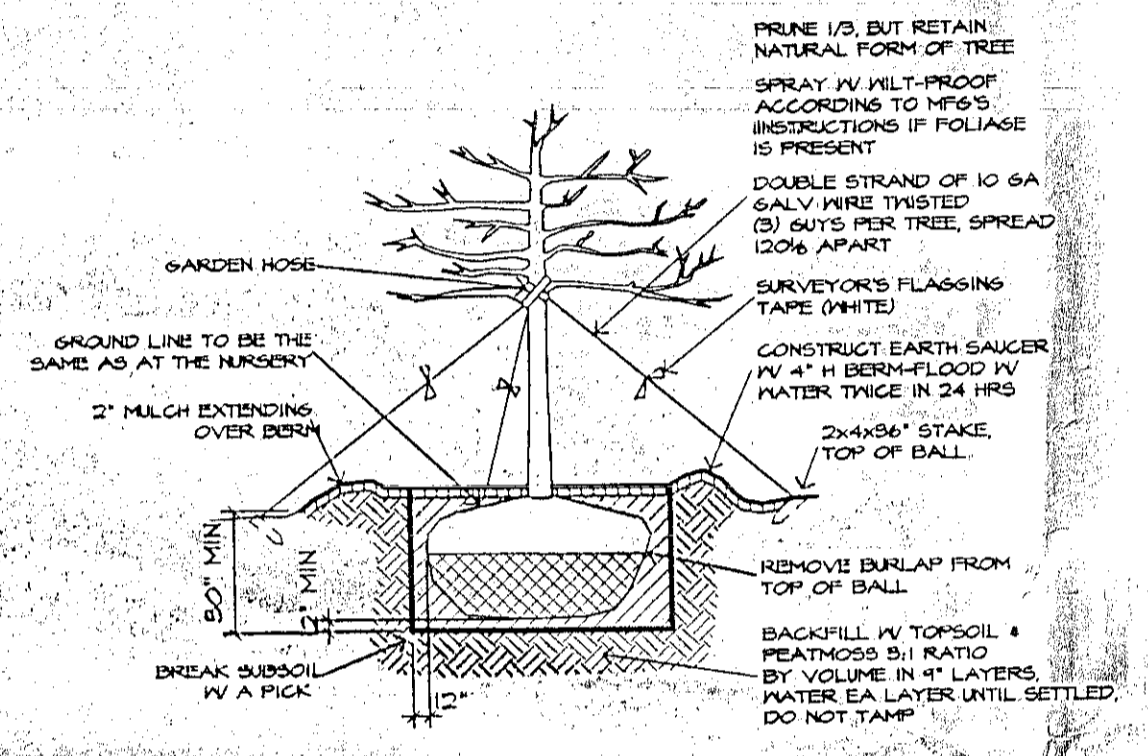
REVIEW 2/8/03

SEVENTH STREET TOWNHOMES  
838 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

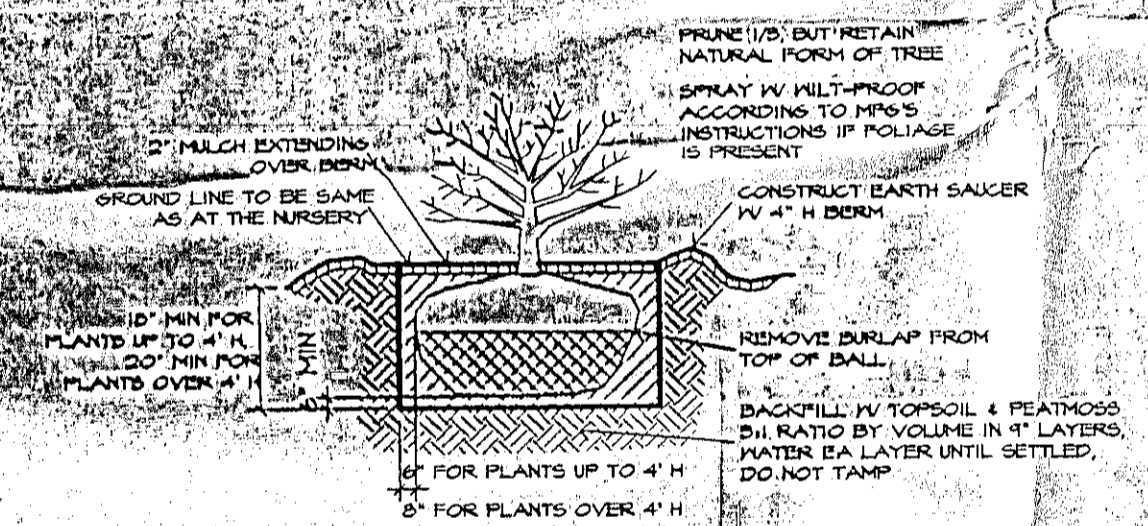
carl vostatek, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5665  
(fax) 970-434-3308



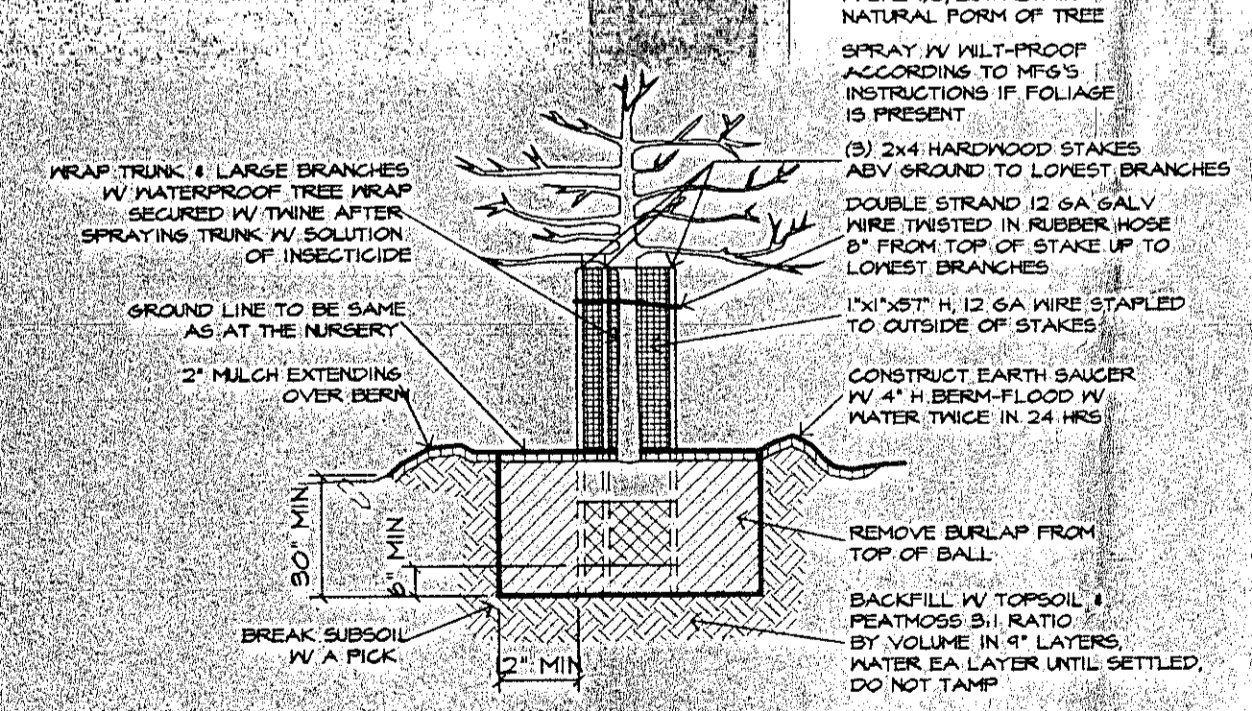
SLOPE PLANTING DETAIL  
(FOR MAJOR & MINOR TREES, BALLED & BURLAPPED)



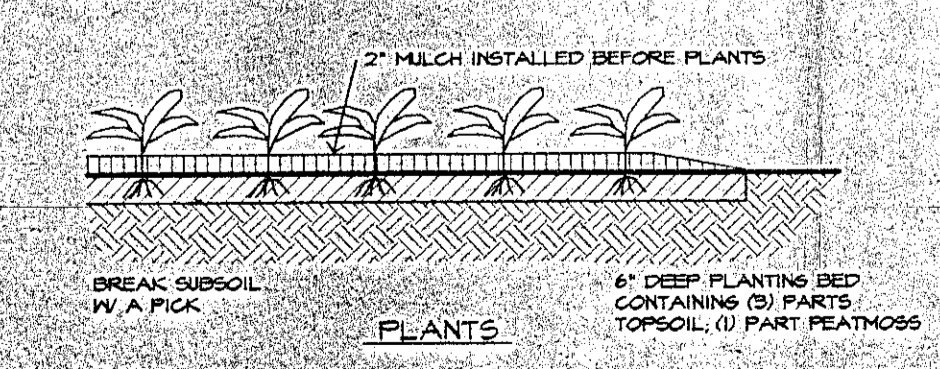
PLANTING & GUYING DETAIL  
(FOR MAJOR TREES 1 1/2 CALIPER & SMALLER BALLED & BURLAPPED)



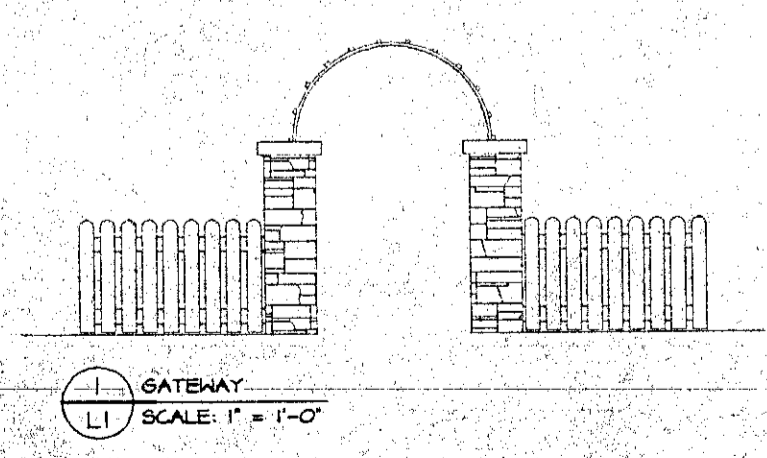
SHRUBS



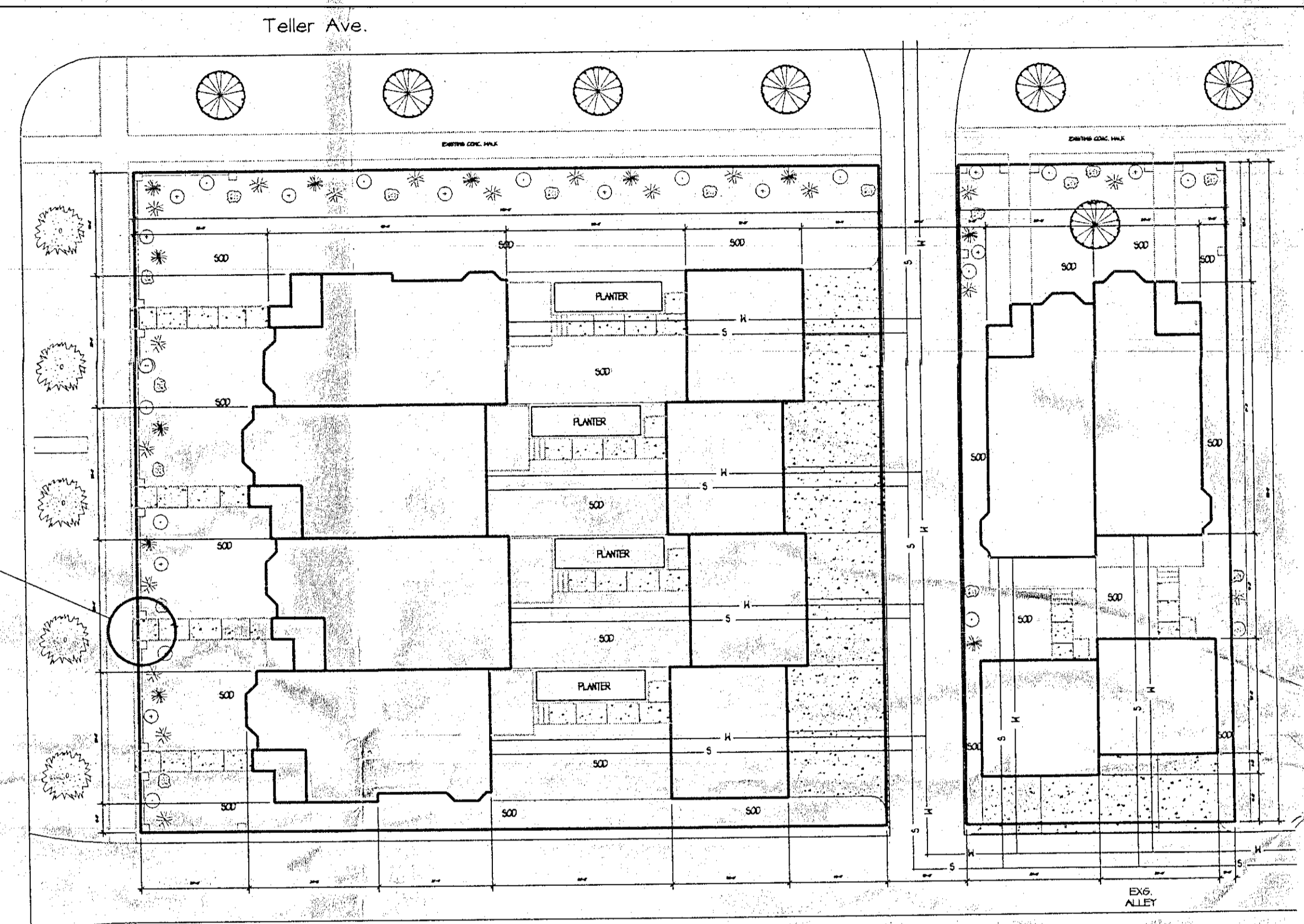
ALTERNATIVE PLANTING & GUYING DETAIL  
(FOR MAJOR & MINOR TREES, BALLED & BURLAPPED)



PLANTS



GATEWAY  
SCALE: 1" = 1'-0"



- CRITERIA:
- (1) TREE / 2500 SQ. FT. OF LOT
  - (2) SHRUB / 300 SQ. FT. OF LOT
- 17500 SQ. FT.  
(7) TREES  
(56) SHRUBS
- 6250 SQ. FT.  
(3) TREES  
(21) SHRUBS

LANDSCAPE / SITE PLAN  
1/20" = 1'-0"



LEGEND

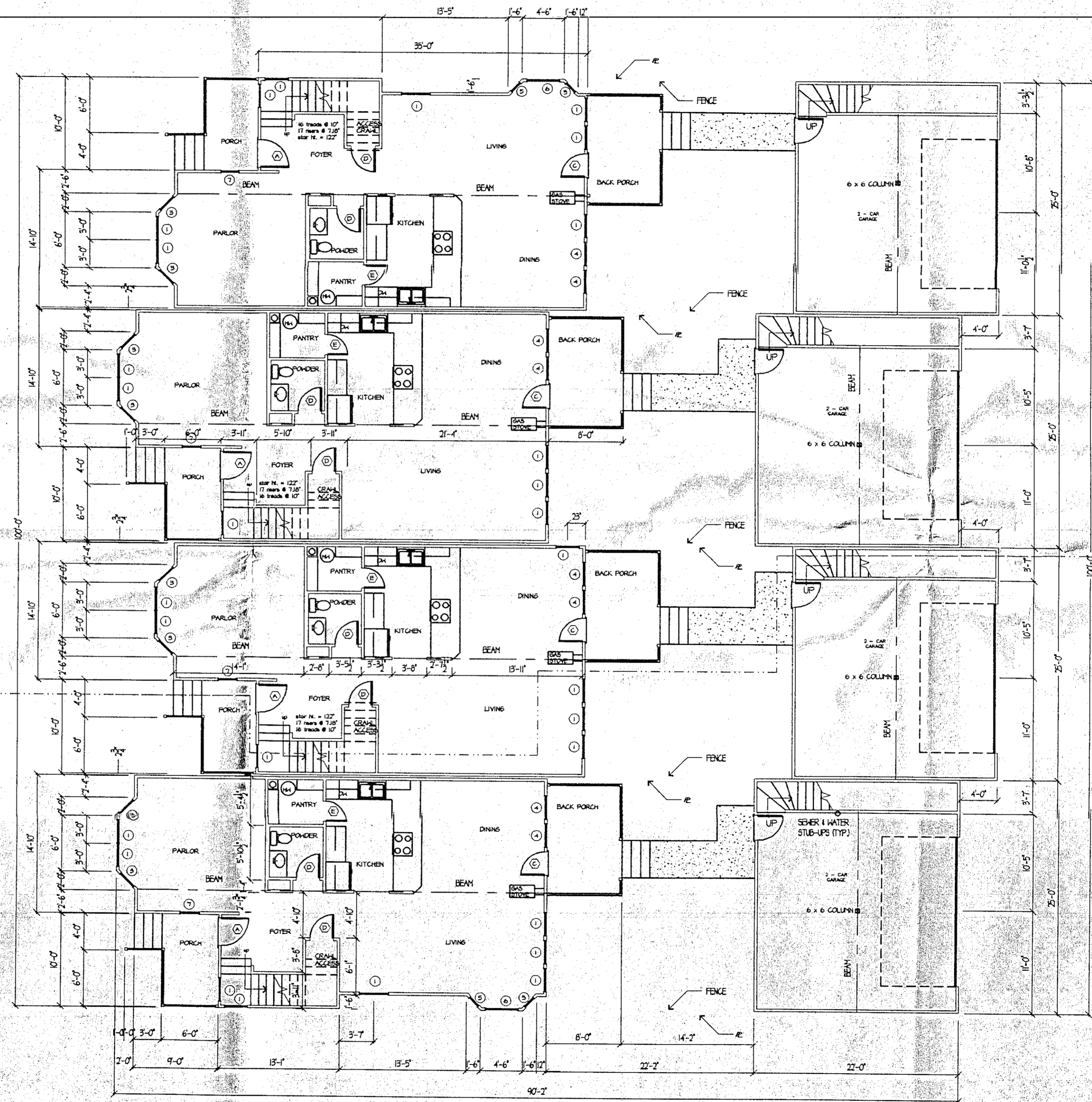
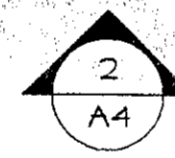
SYMBOL	COMMON NAME	QTY	MIN SIZE
	SUMMIT ASH	7	1 1/2"
	SILVER MAPLE	5	1 1/2"
	ANDORA JUNIPER	18	5 GAL
	BUFFALO JUNIPER	12	5 GAL
	LYNWOOD GOLD FORSYTHIA	11	5 GAL
	GOLD FLAME SPIREA	14	5 GAL
	POTENTILLA	14	5 GAL

4-PLEX WINDOW SCHEDULE					
REF.	QUAN.	DESC.	SASH	FRAME	NOTE
1	81	2" 5" SH	VINYL	VINYL	
3	8	2" 5" SH	VINYL	VINYL	
4	6	2" 6" PIC	VINYL	VINYL	PATIO DOOR REPLACEMENT UNIT
5	4	1" 5" SH	VINYL	VINYL	SIDE BAY WING
6	4	3" 5" FIX	VINYL	VINYL	SIDE BAY PIC
7	4	2" 5" AWN	VINYL	VINYL	
8	2	2" 4" SH	VINYL	VINYL	

4-PLEX DOOR SCHEDULE					
REF.	QUAN.	DESC.	LEAF	FRAME	NOTE
A	4	5" 6" EXT	F.G.	WOOD	FIBERGLASS ENTRY DOOR
C	12	2" 6" EXT	WD	WD	FRENCH
D	32	2" 6" INT	MAS	WD	
E	4	2" 6" INT	MAS	WD	LOUVERED
G	6	2" 6" INT	WD	WD	POCKET
H	4	5" 6" INT	WD	WD	BI-FOLD
J	6	5" 6" INT	WD	WD	BYPASS
K	4	2" 6" EXT	METAL	WD	GARAGE
L	4	16" 8" OH	FG	WD	OVERHEAD DOOR W/ OPENER

4-PLEX AREAS					
First Floor		Second Floor		Totals	
Living	985 sf	Living	916 sf	Living	1901 sf
Front Porch	72 sf	Front Balcony	60 sf	Front Porches	132 sf
Rear Porch	106 sf	Rear Balcony	96 sf	Rear Porches	204 sf
Garage	550 sf	Garage Storage	316 sf	Garage Areas	866 sf

Garage storage areas have a minimum ht. of 5'-0".  
Calculated area is 13'-0" wide and includes 2 dormers.



FIRST FLOOR

1/8" = 1'-0"

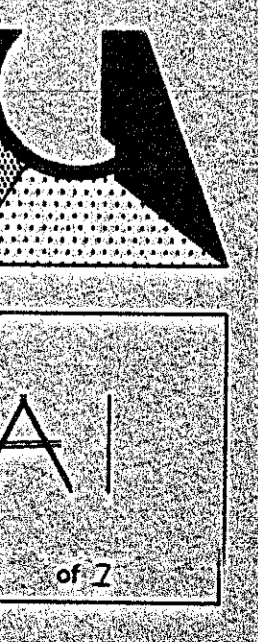
Revisions:  
3/10/03  
4/01/03

Project no.: 0202  
Phase: construction documents  
date: 02/11/03  
checked: CV  
approved: CV

REVISION 2/8/03

SEVENTH STREET TOWNHOMES  
838 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

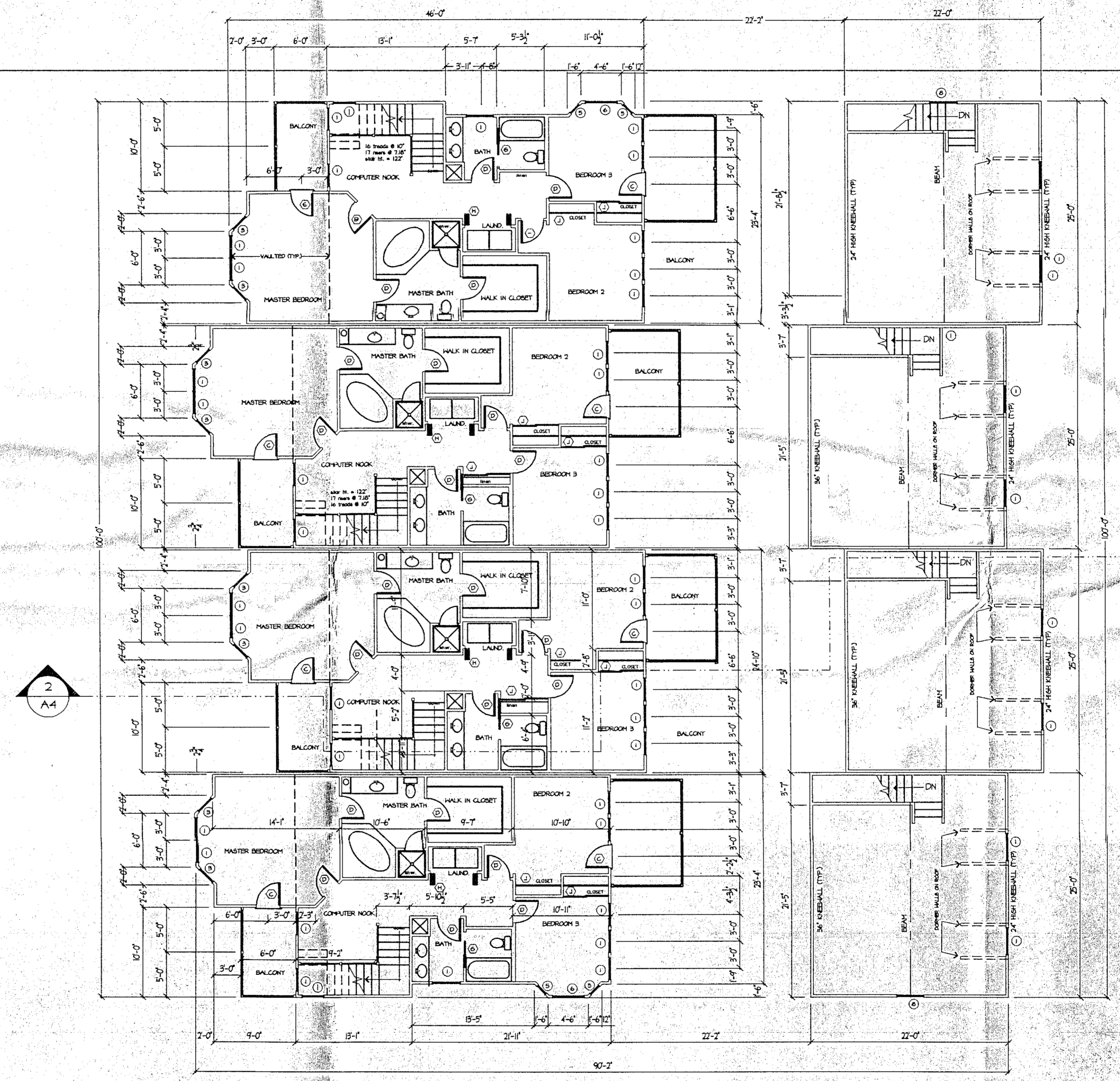
carl vostatsek, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5685  
(fax) 970-434-3308



Revisions:	
3/10/03	
4/10/03	

Project no: 0202  
 phase: construction documents  
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 checked: CV  
 approved: CV

REVISION 2/6/03

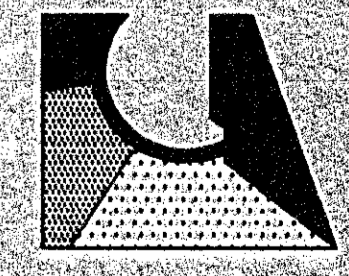


**SECOND FLOOR**

1/8" = 1'-0"

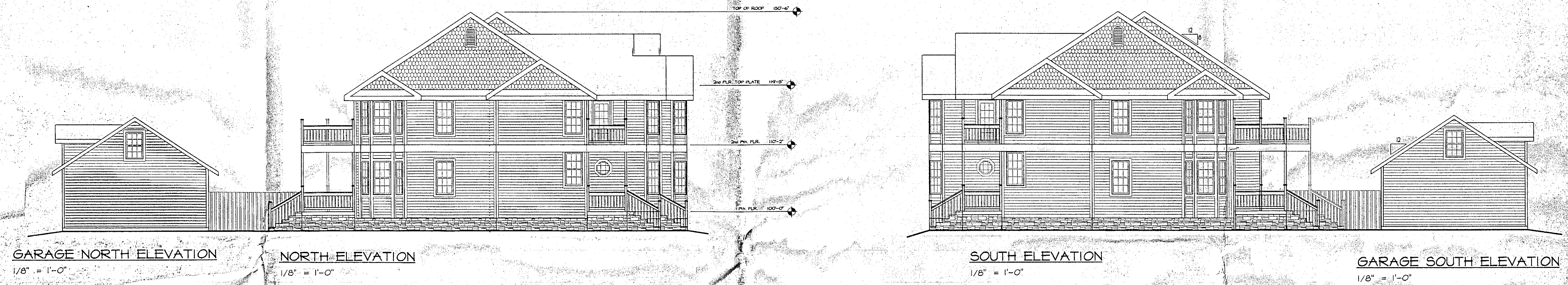
**SEVENTH STREET TOWNHOMES**  
 838 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

carl vostattek, architect  
 3439 Grand Valley canal road  
 cliffon, colorado 81520 970-434-5665  
 (fax) 970-434-3308





4-PLEX WEST ELEVATION  
1/8" = 1'-0"

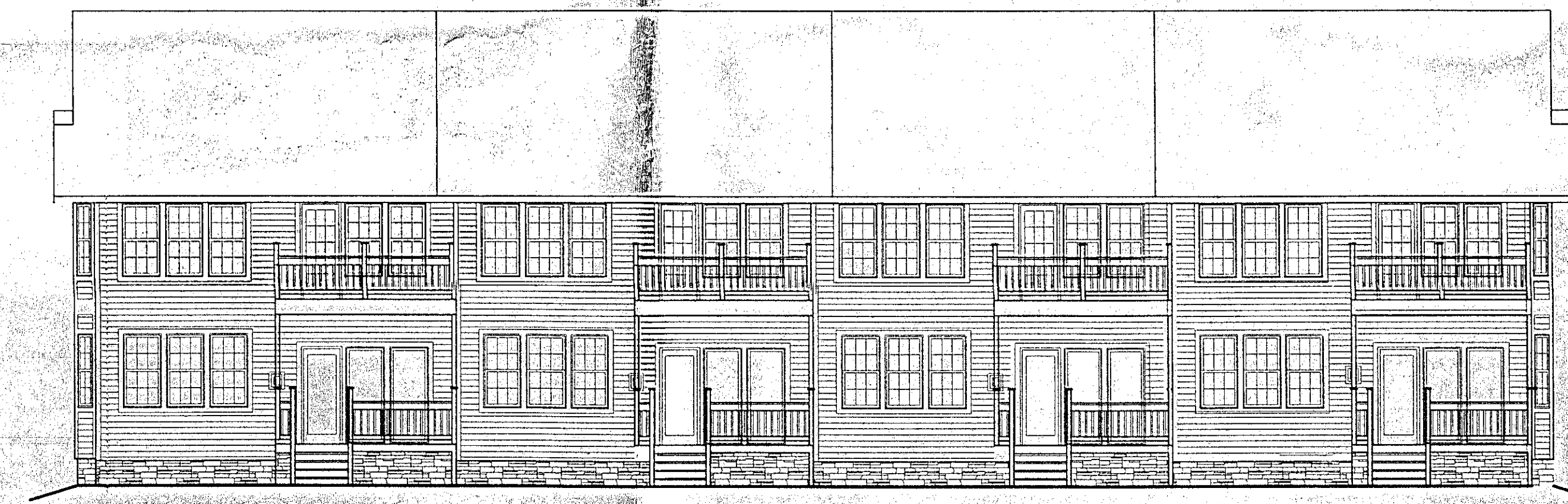


GARAGE NORTH ELEVATION  
1/8" = 1'-0"

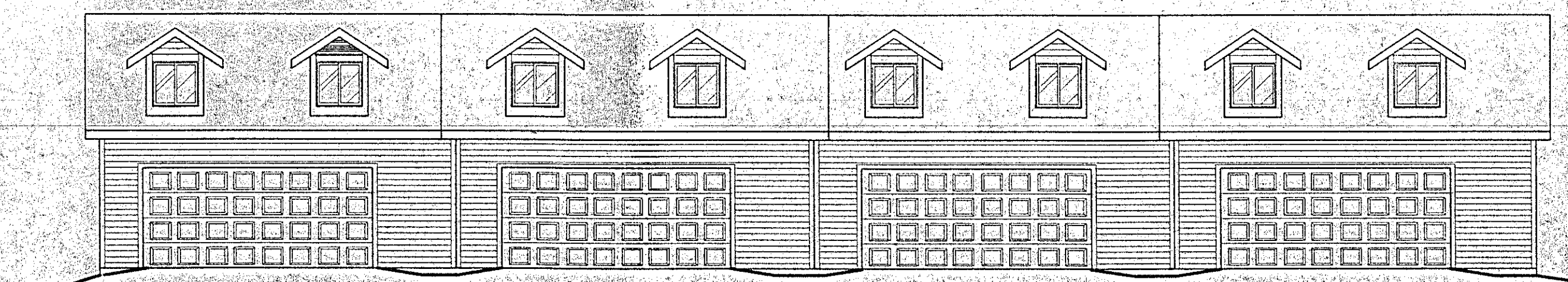
NORTH ELEVATION  
1/8" = 1'-0"

SOUTH ELEVATION  
1/8" = 1'-0"

GARAGE SOUTH ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"



EAST GARAGE ELEVATION  
1/8" = 1'-0"

Revisions:

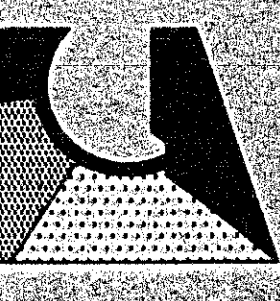
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4/0/03

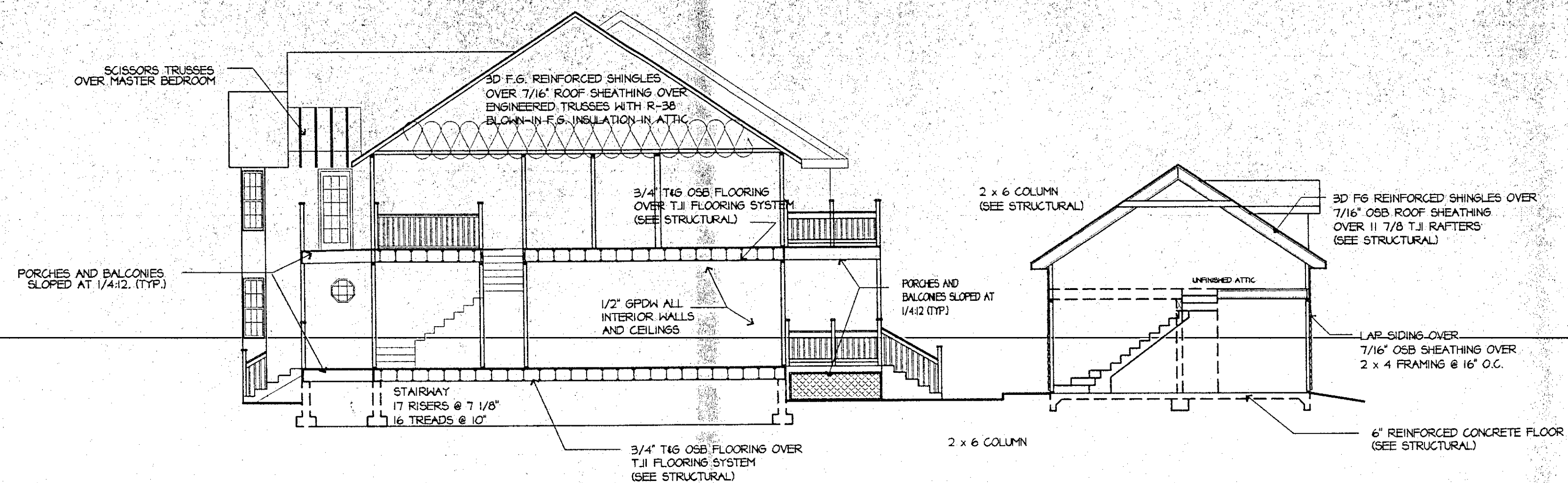
Project no.: 0202  
 phase: construction documents  
 date: 02/11/03  
 checked: CV  
 approved: CV

REVISION 2/8/03

SEVENTH STREET TOWNHOMES  
 836 NORTH SEVENTH STREET  
 GRAND JUNCTION, COLORADO

carl vostatck, architect  
 3439 grand valley canal road  
 cliffon, colorado 81520 • 970-334-6685  
 (fax) 970-334-3308

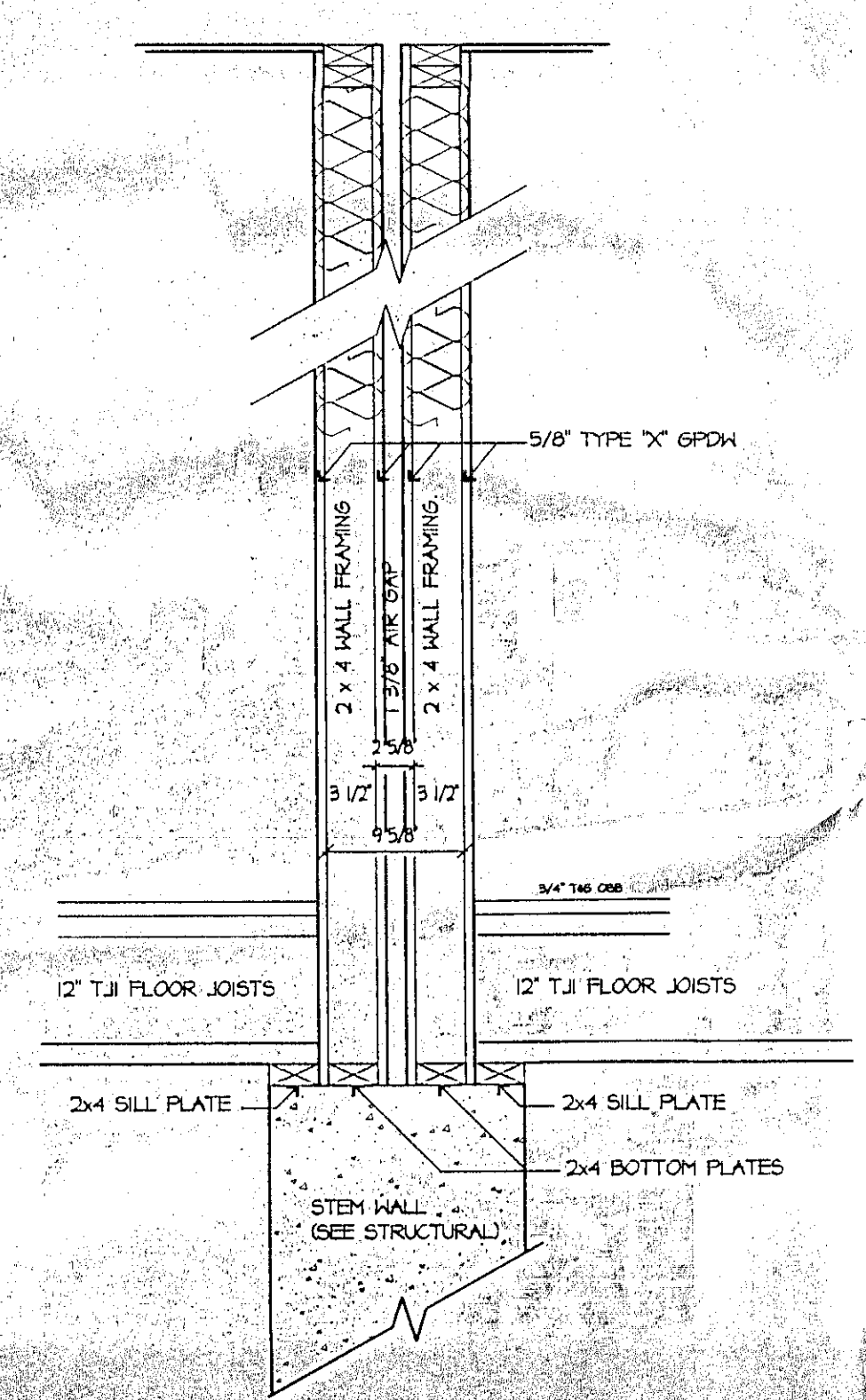




2  
A4

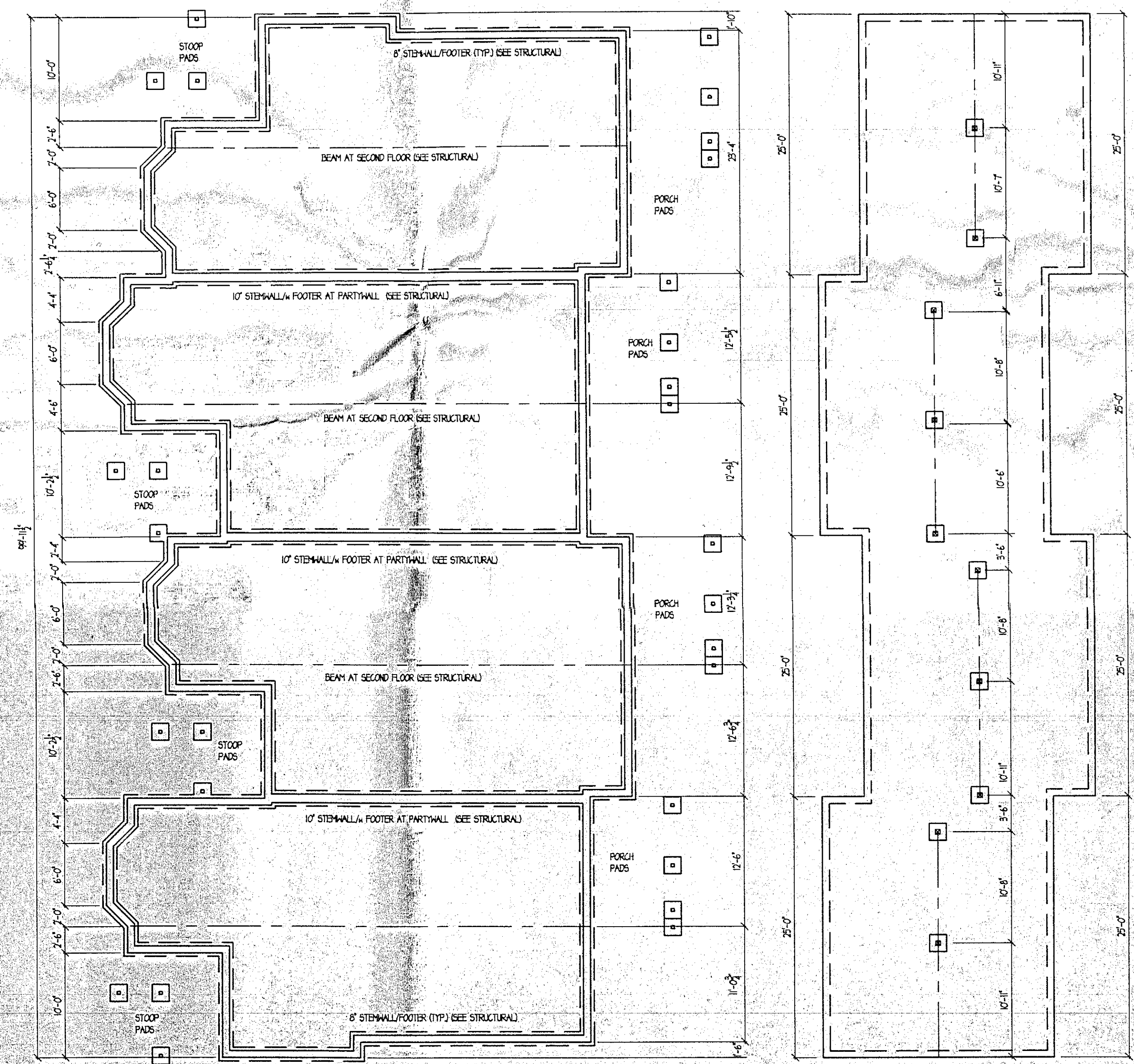
4-PLEX LONGITUDINAL CROSS SECTION

1/8" = 1'-0"



PARTY WALL CROSS SECTION

2" = 1'-0"



FOR ADDITIONAL DIMENSIONS, REFER TO SHEET A5

4-PLEX / GARAGE SCHEMATIC FOUNDATION PLAN

1/8" = 1'-0"

Revisions:

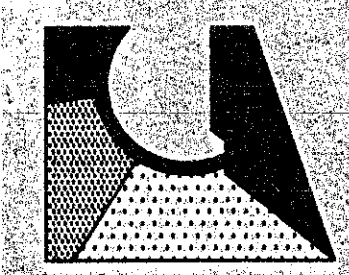
3/0/03
4/0/03

Project no: 0202  
 phase: construction documents  
 date: 02/11/03  
 checked: CV  
 approved: CV

REVIEW 2/8/03

SEVENTH STREET TOWNHOMES  
 838 NORTH SEVENTH STREET  
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carl vostattek, architect  
 3439 grand valley canal road  
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A4  
 of 7

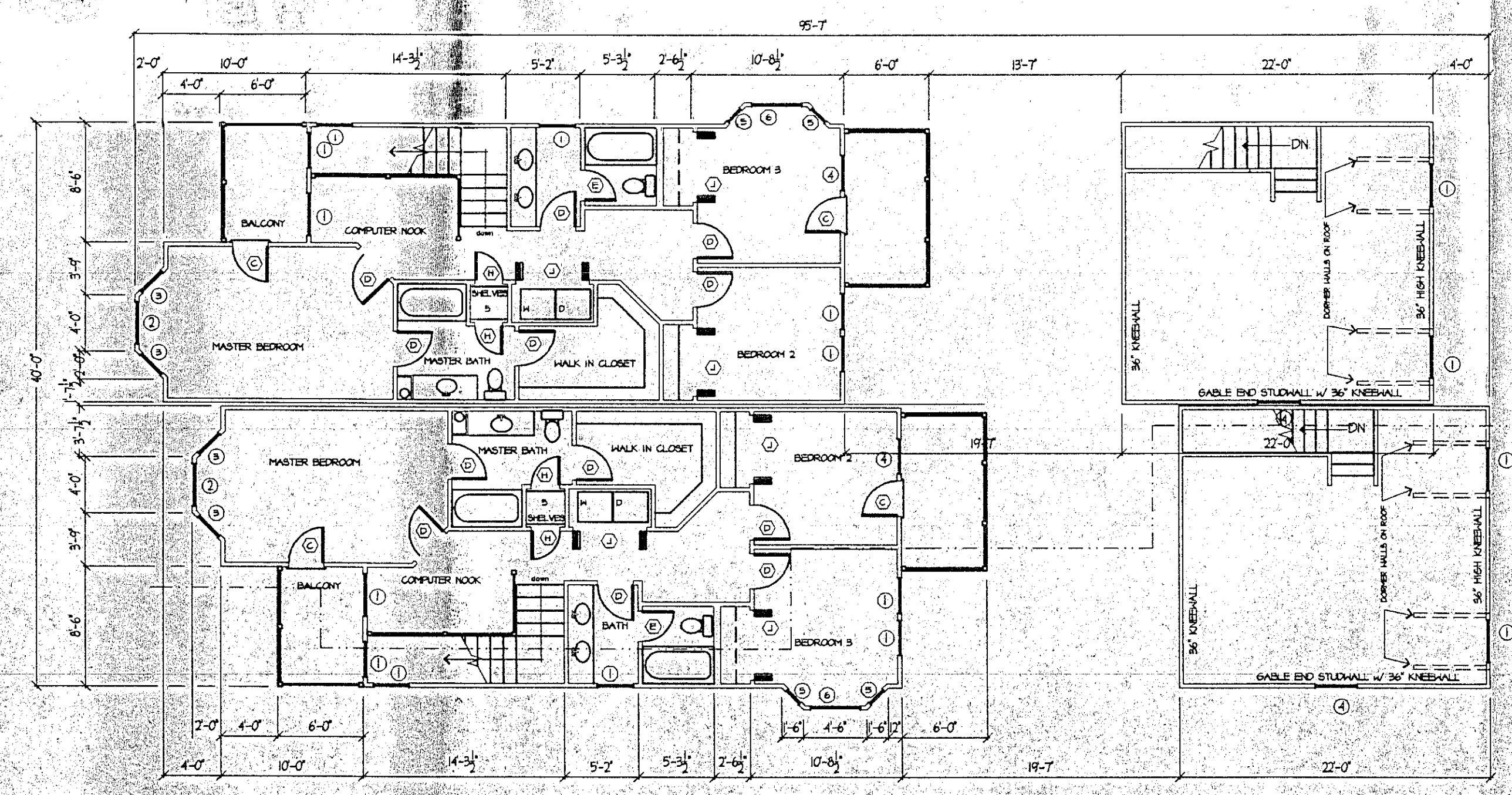
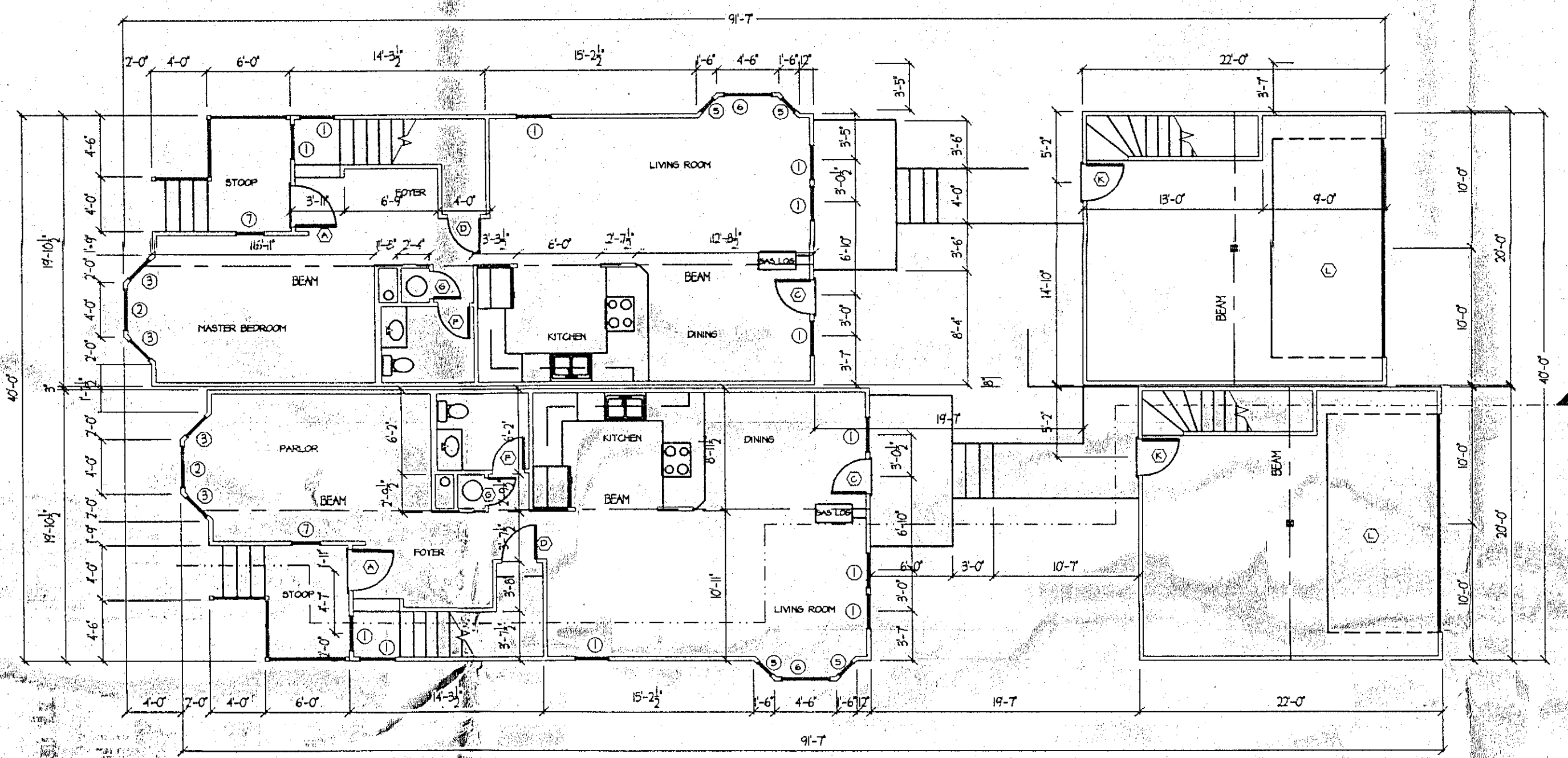
DUPLEX WINDOW SCHEDULE					
REF.	QTY	DESC.	SASH	FRAME	NOTE
1	26	2' 5" SH.	VINYL	VINYL	
2	4	3' 5" SH.	VINYL	VINYL	
3	8	2' 5" SH.	VINYL	VINYL	
4	2	2' 6" PIC	VINYL	VINYL	PATIO DOOR REPLACEMENT UNIT
5	4	1' 5" SH.	VINYL	VINYL	SIDE BAY WING
6	4	3' 5" SH.	VINYL	VINYL	SIDE BAY PIC
7	2	2' 2" MIN	VINYL	VINYL	
8	2	2' 4" SH.	VINYL	VINYL	

DUPLEX DOOR SCHEDULE					
REF.	QTY	DESC.	LEAF	FRAME	NOTE
A	2	3' 6" EXT	F.G.	WOOD	FIBERGLASS ENTRY DOOR
C	6	2' 6" EXT	WD	WD	FRENCH
D	14	2' 6" INT	MAS	WD	
E	2	2' 6" INT	MAS	WD	
F	2	2' 6" INT	WD	WD	
G	2	2' 6" INT	WD	WD	LOUVERED
H	4	2' 6" INT	WD	WD	
J	6	3' 6" INT	WD	WD	BI-FOLD
K	2	2' 6" EXT	METAL	WD	GARAGE
L	2	16' 6" OH	FG	WD	OVERHEAD DOOR w/ OPENER

DUPLEX AREAS		
First Floor:		
Living:	881 sf	
Front Porch:	67 sf	
Rear Porch:	78 sf	
Garage:	440 sf	
Second Floor:		
Living:	811 sf	
Front Balcony:	51 sf	
Rear Balcony:	67 sf	
Garage Storage:	265 sf	
Totals:		
Living:	1692 sf	
Front Porches:	118 sf	
Rear Porches:	145 sf	
Garage Areas:	705 sf	

Garage storage areas have a minimum ht. of 5'-0"  
Calculated area is 13'-0" wide and includes 2 dormers



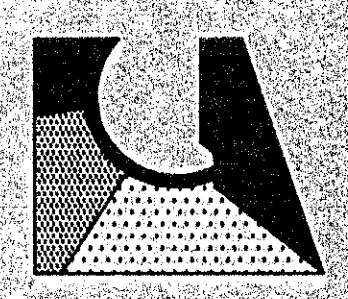
Revisions:  
3/0/03  
4/0/03

Project no: 0202  
phase: construction documents  
date: 02/17/03  
checked: CY  
approved: CY

REVIEW 2/8/03

SEVENTH STREET TOWNHOMES  
838 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

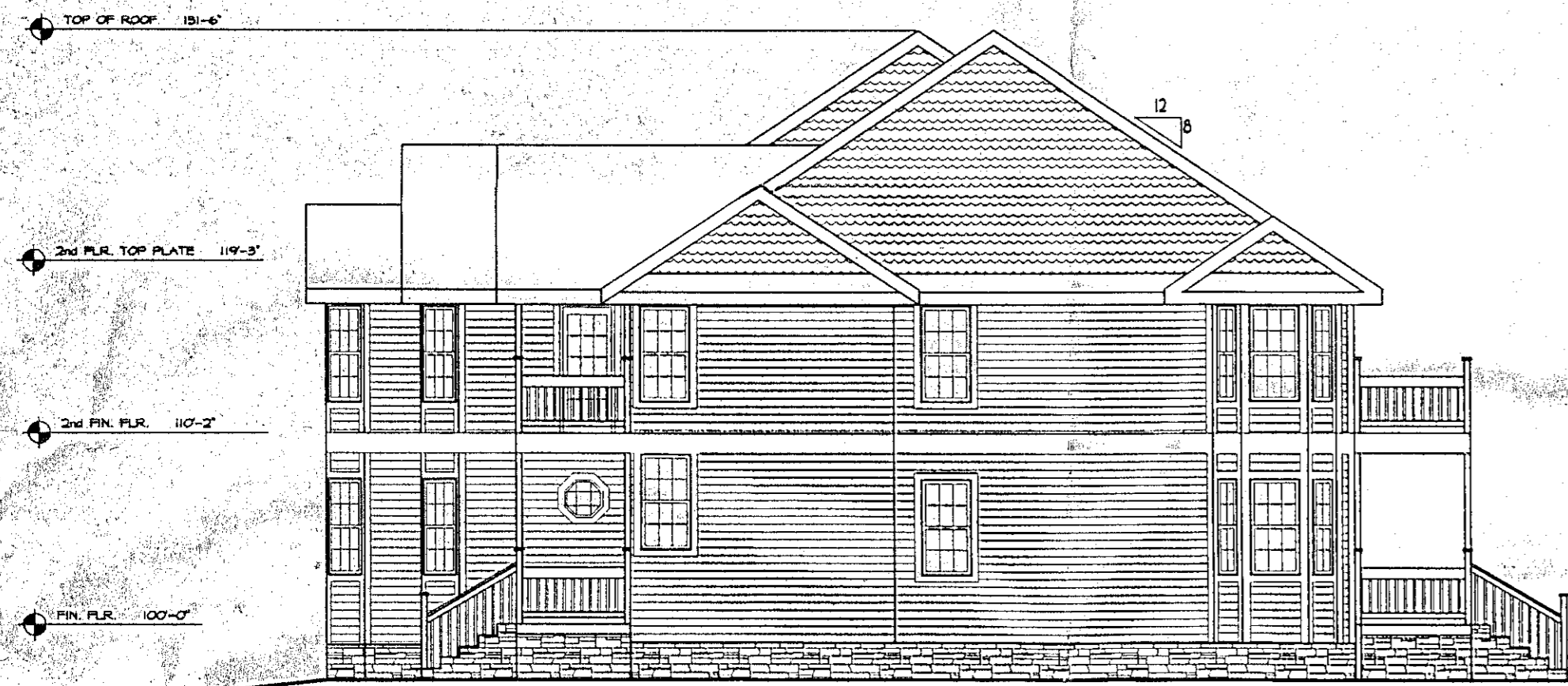
carl vostatck, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5865  
(fax) 970-434-3308



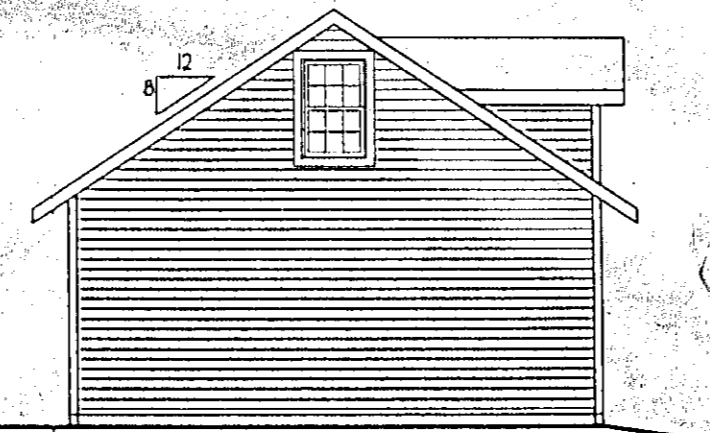


NORTH ELEVATION  
1/8" = 1'-0"

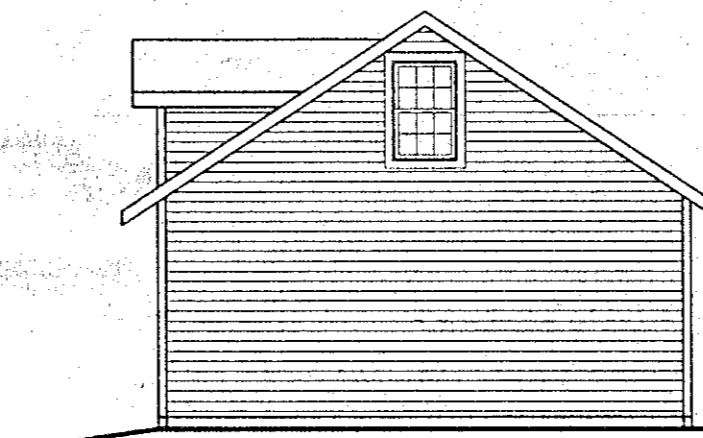
DUPLEX



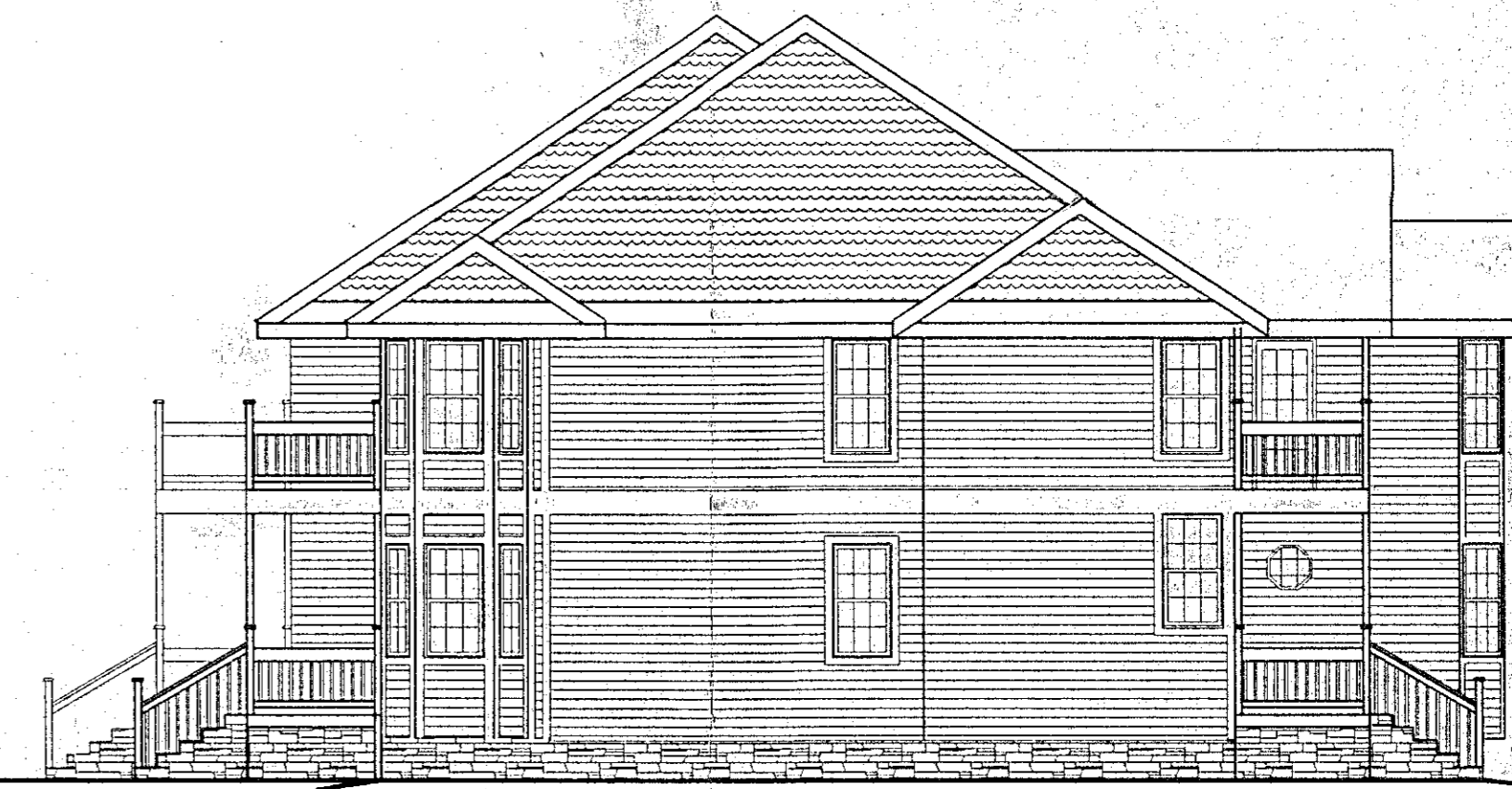
WEST ELEVATION  
1/8" = 1'-0"



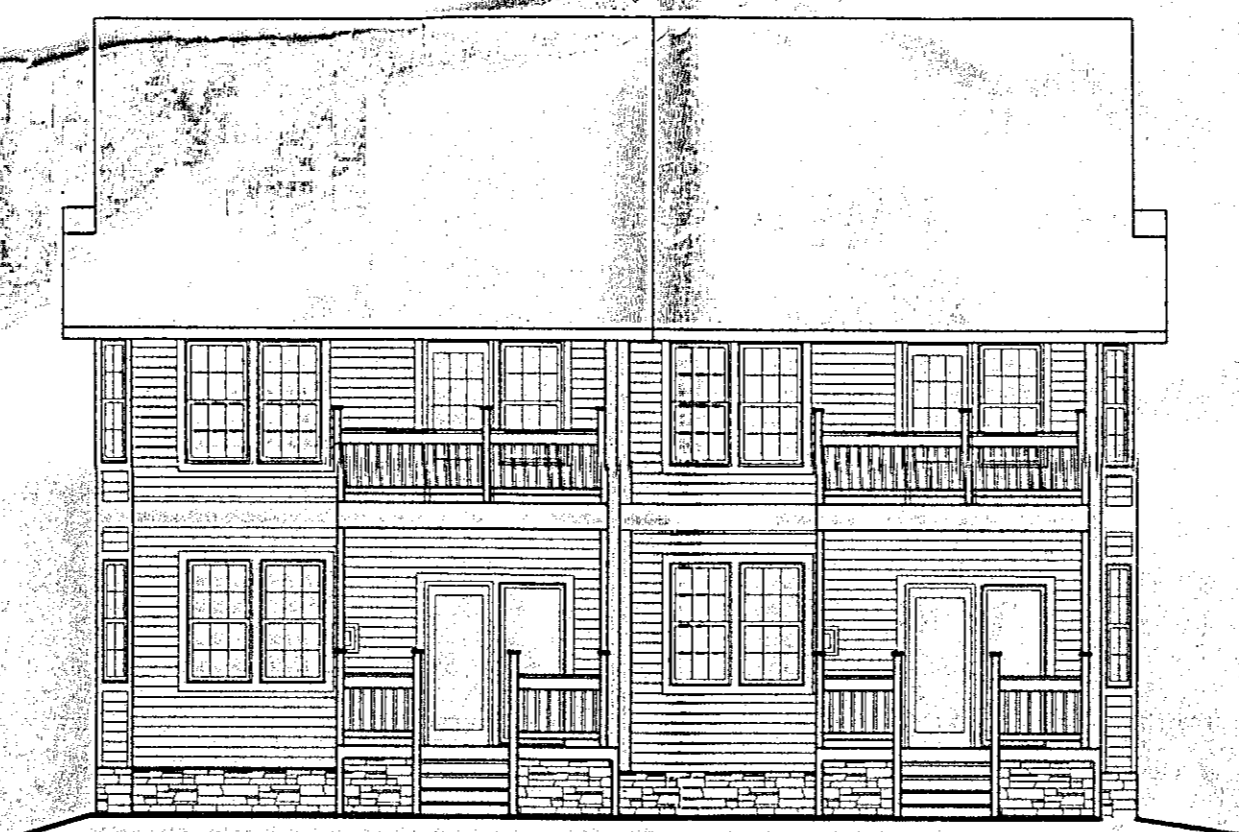
WEST ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"

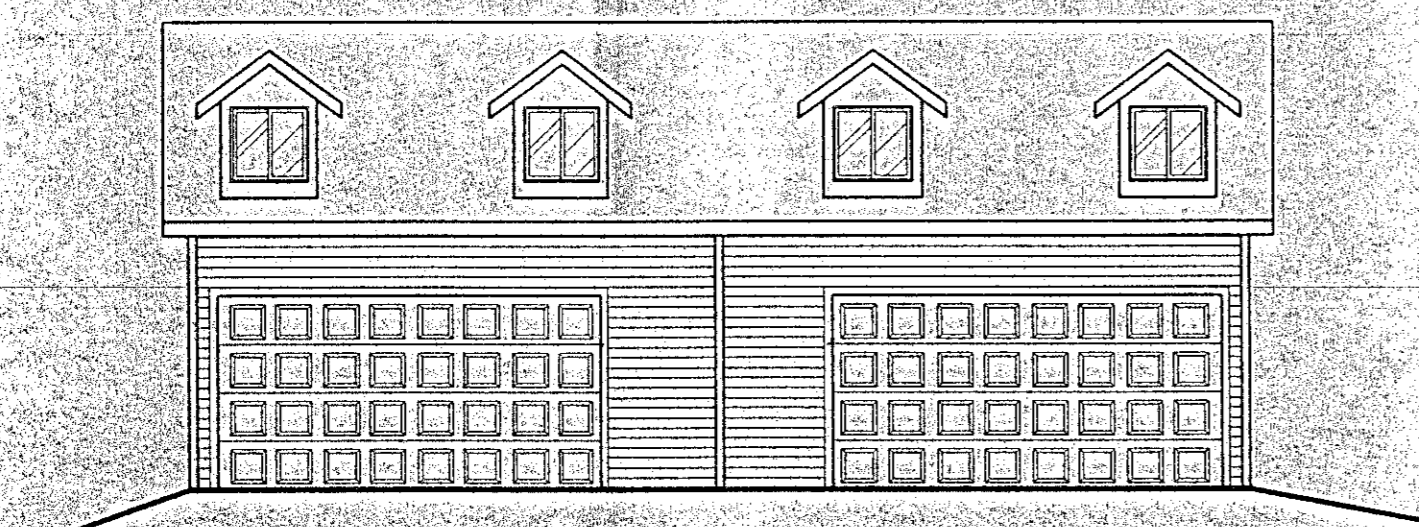


EAST ELEVATION  
1/8" = 1'-0"

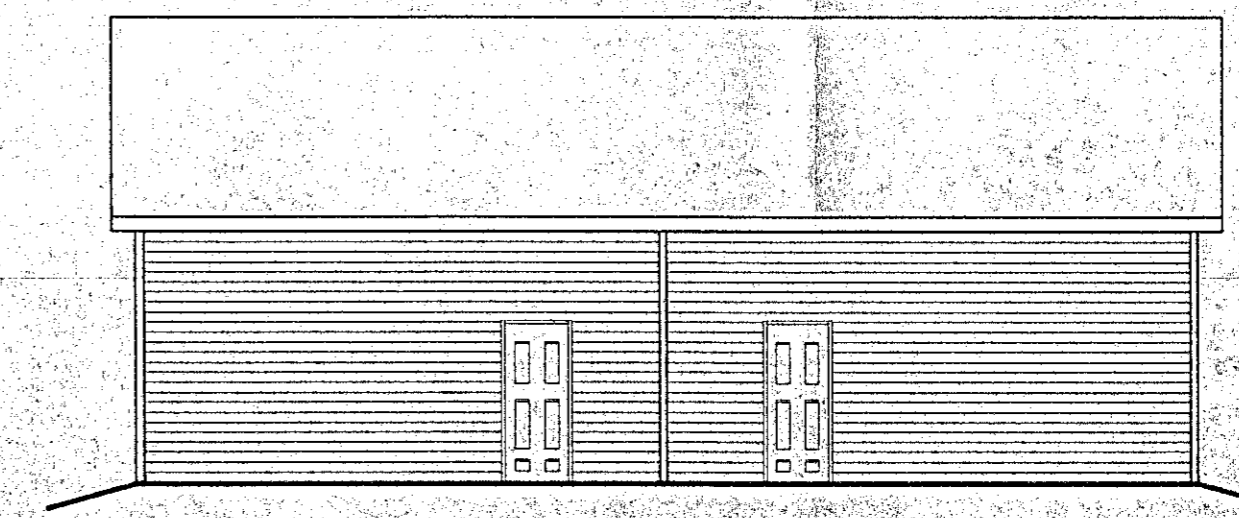


EAST ELEVATION  
1/8" = 1'-0"

SOUTH ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"



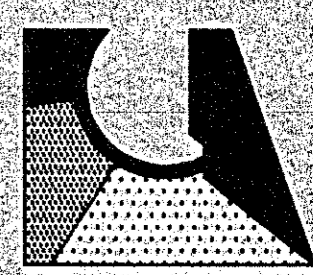
NORTH ELEVATION  
1/8" = 1'-0"

Revisions:	
3/10/03	
4/10/03	
Project no:	0202
phase:	construction documents
date:	02/11/03
checked:	EV
approved:	EV

REVISION 2/6/03

SEVENTH STREET TOWNHOMES  
838 NORTH SEVENTH STREET  
GRAND JUNCTION COLORADO

carl vostattek, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5665  
(fax) 970-434-3308



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# ABBREVIATIONS

ABV	above	FRMG	framing
AFF	above finished floor	FUR	furring, furred
AP	access panel	FUT	future
AC	acoustical		
ACT	acoustical tile	GA	gage, gauge
ADJ	adjacent	GAL	gallon
ADJT	adjustable	GV	galvanized
AGG	aggregate	GI	galvanized iron
A/C	air conditioning	GC	general contractor
ALT	alternate	GL	glass, glazing
AL	aluminum	GLB	glass block
AB	anchor bolt	GCMU	glazed CMU
ARCH	architect, architectural	GST	glazed structural tile
AD	area drain	GB	grab bar
ASPH	asphalt	GD	grade, grading
AT	asphalt tile	GVL	gravel
		GT	grout
BSMT	basement	GYP	gypsum
BRG	bearing	GPDW	gypsum drywall
BR	bedroom	GPL	gypsum lath
BM	bench mark	GPPL	gypsum plaster
BEL	below		
BET	between	HBD	hardboard
BLK	block	HCP	handicap
BLKG	blocking	HDW	hardware
BD, BRD	board	HWD	hardware
BS	both sides	HDR	header
BOT	bottom	HTG	heating
BRK	brick	HVAC	heat/vent/air cond.
BLDG	building	HT	height
BUR	built up roofing	HC	hollow core
BO	by others/byowner	HM	hollow metal
		HOR	horizontal
CAB	cabinet	HP	horsepower
CPT	carpet	HB	hose bib
CSMT	casement	HWH	hot water heater
CI	cast iron		
CB	catch basin	INCL	included
CK	caulk	ID	inside diameter
CLG	ceiling	INSUL	insulation
CHT	ceiling height	INSF	insulating fill
CT	ceramic tile	INT	interior
CHAM	chamfer	INV	invert
CO	clean out		
CLR	clear, clearance	JC	janitor's closet
CLOS	closet	JT	joint
COL	column	JF	joint filler
CONC	concrete	JST	joint filler
CMU	concrete masonry unit		
CONST	construction	KPL	kickplate
CONT	continuous	KIT	kitchen
CONTR	contractor	KO	knockout
CL	contract limit line		
CJ	control joint	LBL	label
CPR	copper	LAB	laboratory
CORR	corrugated, corridor	LAD	ladder
CTR	counter	LB	lag bolt
CS	counter sink	LAM	laminated
CFL	counterflashing	LAV	lavatory
CRS	course	L	length
		LT	light
DP	dampproofing	LW	lightweight
DL	dead load	LWC	lightweight concrete
DTL	detail	LTL	lintel
DIAG	diagonal	LL	live load
DIA	diameter	LR	living room
DPR	dispenser	LVR	louver
DO	door		
DR	door	MB	machine bolt
DB	doorbell	MH	manhole
DBL	double	MFR	manufacture
DHL	double hung	MAS	masonry
DN	down	MO	masonry opening
DS	downspout	MBR	master bedroom
DR	drainage	MTL	material
DT	drawer	NAX	maximum
DWR	drawing	MECH	mechanical
DWG	drawing	MC	medicine cabinet
DF	drinking fountain	MMB	membrane
		MET	metal
EA	each	MWK	millwork
EF	each face	MIN	minimum
E	east	MIR	mirror
EPDM	elastomeric membrane	MISC	miscellaneous
ELEC	electric, electrical	MLD	moulding
EP	electrical panel	MT	mount
EWC	electric water cooler	MOV	movable
EL	elevation	MULL	mullion
EO	equal		
EOP	equipment	NAT	natural
EXH	exhaust	NOM	nominal
EXG	existing	N	north
EB	expansion bolt	NIC	not in contract
EJ	expansion joint	NTS	not to scale
EXP	exposed		
EXT	exterior	OBS	obscure
		OC	on center
FB	face brick	OP	opaque
FOC	face of concrete	OPG	opening
FOF	face of finish	OPP	opposite
FOM	face of masonry	OPH	opposite hand
FOS	face of stud	OD	outside diameter
FF	factory finish	OH	overhead
FIN	finish, finished	OSB	oriented strand board
FFE	finished floor elevation		
FFL	finished floor line	PNT	point
FE	fire extinguisher	PR	pair
FEC	fire extinguisher cabinet	PNL	panel
FHS	fire hose station	PB	panic bar
FLG	flashing	PTD	paper towel dispenser
FLR	floor, flooring	PTR	paper towel receptor
FD	floor drain	PBD	particle board
FLUR	fluorescent	PTN	partition
FT	foot	PVMT	pavement
FTG	footing	PED	pedestal
FND, FNDN	foundation	PERF	perforate

# SYMBOLS

+ 341.0'	EXISTING POINT ELEVATION
+ 341.0'	NEW POINT ELEVATION
- - - 446	EXISTING CONTOURS
— 446	NEW CONTOURS
TB-6	TEST BORING
—	ELEVATION OR LEVEL LINE
○	PROPERTY CORNER
—	MATCH LINE
△	REVISION
△	WINDOW OR GLAZED OPENING
○	DOOR NUMBER
○	DESIGN NOTE
—	CENTERLINE FLOOR LINE IN EXT. ELEVATION PROJECTED LINE
—	PROPERTY OR BOUNDARY LINE
○	COLUMN REFERENCE GRID
△	BUILDING SECTION NUMBER SHEET NUMBER
△	WALL SECTION NUMBER SHEET NUMBER
△	ROOM ELEVATION NUMBER SHEET NUMBER
○	DETAIL NUMBER REFERENCE SHEET NUMBER
○	ROOM NUMBER
↘	SLOPE DOWN
—	LINE OF WALL ABOVE
—	BREAK LINE
—	FENCE

## SYMBOLS AS ABBREVIATIONS

∠	ANGLE	d	PENNY
C/C	CENTER TO CENTER	⊥	PERPENDICULAR
⊥	CENTERLINE	P	PLATE
C	CHANNEL	⊙	ROUND

# MATERIALS IN PLAN

[Pattern]	CONCRETE
[Pattern]	BRICK
[Pattern]	BLOCK (CMU)
[Pattern]	WOOD STUD WALL
[Pattern]	METAL STUD WALL
[Pattern]	WINDOW OR GLAZING
[Pattern]	TWO-HOUR FIRE WALL
[Pattern]	SOUND REDUCING WALL
WSCT	wainscot
WH	wall hung
WC	watercloset
WP	waterproof
WWF	welded wire fabric
W	west
WHB	wheel bumper
W	width
WIN	window
WG	wire glass
WM	wire mesh
W/	with
WO	without
WD	wood
WB	wood base

# PROJECT DATA

PROJECT LOCATION: 838 NORTH SEVENTH STREET  
GRAND JUNCTION, COLORADO

PROJECT DESCRIPTION: TWO NEW TWO STORY CONDOMINIUM BUILDINGS

OWNER:

PROJECT NUMBER: 012

ISSUE DATE: 02/05/03

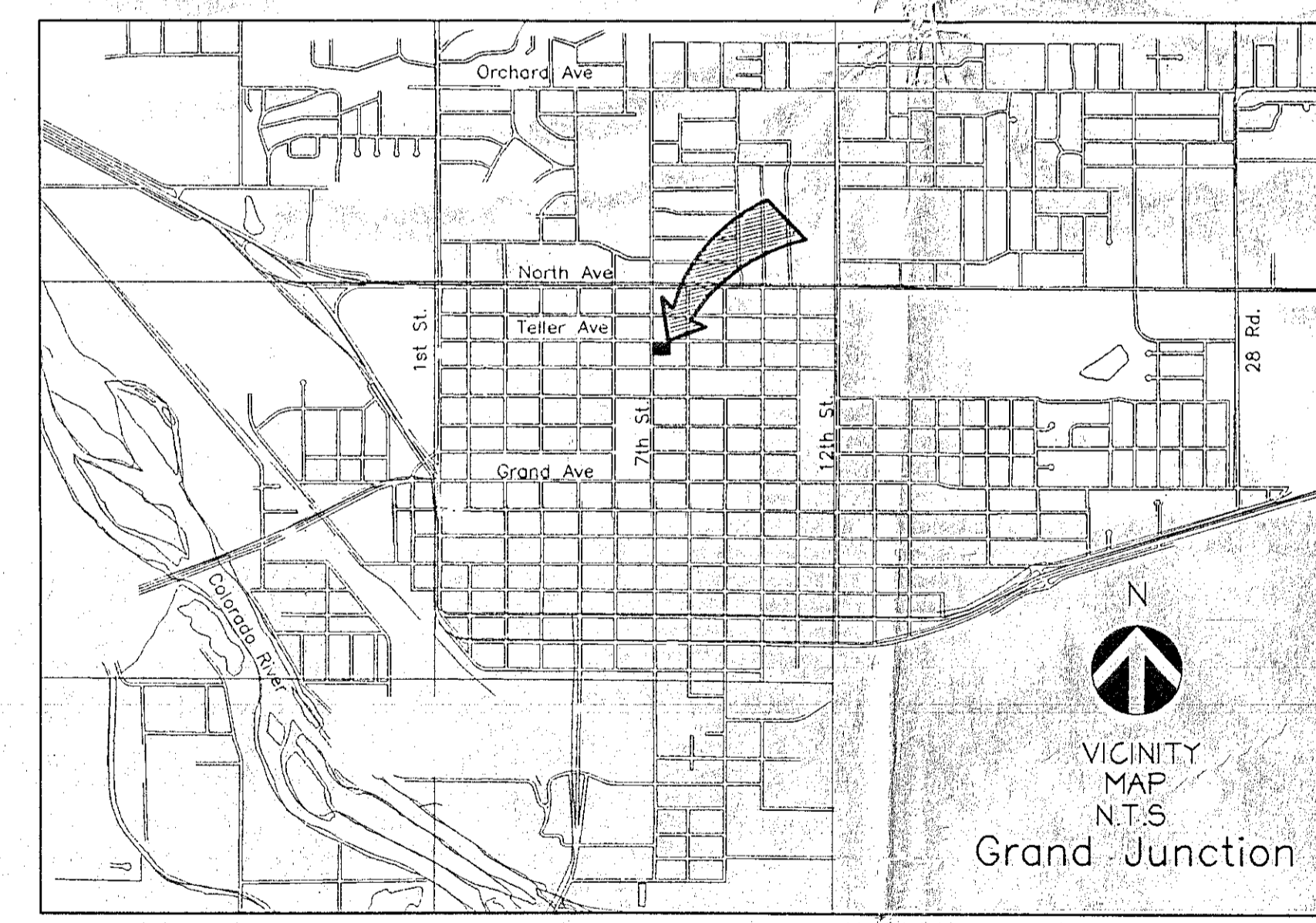
CODE CONFORMANCE: ALL WORK SHALL COMPLY WITH CURRENT FEDERAL, STATE, COUNTY AND LOCAL BUILDING CODES INCLUDING, BUT NOT LIMITED TO: 2000 INTERNATIONAL BUILDING CODE AND GRAND JUNCTION ZONING CODE.

## CODE DATA: 1997 UNIFORM BUILDING CODE

OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	VN
ALLOWABLE S.F.:	UNLIMITED
ACTUAL S.F.:	4780
REQ'D SEPARATION:	1 HR BETWEEN UNITS
OCCUPANT LOAD:	16

# DRAWING INDEX

- T1 TITLE SHEET/VICINITY PLAN
- L1 SITE / LANDSCAPE PLAN
- A2 4-PLEX FIRST FLOOR PLAN
- A2 4-PLEX SECOND FLOOR PLAN
- A3 4-PLEX / GARAGE ELEVATIONS
- A4 4-PLEX / GARAGE SCHEMATIC FOUNDATION PLAN
- A5 DUPLEX MAIN LEVEL FLOOR PLAN
- A5 DUPLEX SECOND LEVEL FLOOR PLAN
- A6 DUPLEX ELEVATIONS / DUPLEX GARAGE ELEVATIONS
- A7 DUPLEX / GARAGE LONGITUDINAL CROSS SECTION
- A7 DUPLEX / GARAGE SCHEMATIC FOUNDATION PLAN



## GENERAL REQUIREMENTS NOTES:

1. IF DRAWINGS OR JOB CONDITIONS MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK OR TO WARRANTY WORK OR ITS PERFORMANCE, REQUEST CLARIFICATION. WORK SHALL BE PERFORMED IN A SATISFACTORY WORKMANLIKE MANNER.
2. ALL MANUFACTURED PRODUCTS, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURER.
3. EACH ENTITY INVOLVED IN THE PERFORMANCE OF THE WORK SHALL COOPERATE IN OVERALL COORDINATION OF THE WORK.
4. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL SYSTEMS BE COMPLETE AND FUNCTIONAL TO PROVIDE THE INTENDED OR REQUIRED PERFORMANCE. PROVIDE CORRECTLY SIZED UTILITIES, PIPING, DRAINS, SERVICE AND THEIR CONNECTIONS TO EQUIPMENT AND SYSTEMS REQUIRING THEM. ARRANGE ALL WORK TO FACILITATE MAINTENANCE AND REPAIR OR REPLACEMENT OF EQUIPMENT.
5. PROVIDE PRODUCTS AND EQUIPMENT WHICH ARE COMPATIBLE WITH OTHER WORK, REQUIRING MECHANICAL/ELECTRICAL INTERFACE INCLUDING ELECTRICAL CONNECTIONS, CONTROL DEVICES, WATER DRAIN, AND OTHER PIPING CONNECTIONS. VERIFY ELECTRICAL CHARACTERISTICS, FUEL REQUIREMENTS AND OTHER INTERFACE REQUIREMENTS BEFORE ORDERING EQUIPMENT AND RESOLVE CONFLICTS THAT MAY ARISE.

*Approved  
Landscape plan  
Response to Comments*

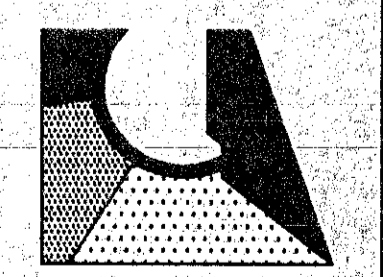
Revisions:  
3/10/03  
04/01/03  
DEPT.  
COMMUNITY DEVELOPMENT  
MAY 27 2003  
RECEIVED

Project no: 0202  
phase: construction documents  
date: 02/11/03  
checked: CV  
approved: CV

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SEVENTH STREET TOWNHOMES  
836 N. SEVENTH STREET  
GRAND JUNCTION, COLORADO

carl vostatsek, architect  
3439 grand valley canal road  
clifton, colorado 81520 970-434-5665  
(fax) 970-434-3308



T1  
of 10

APPROVED LANDSCAPE PLAN

03-077



