

RECEIPT OF APPLICATION

DATE BROUGHT IN: 4-18-03
CHECK #: 12315 AMOUNT: 340
DATE TO BE CHECKED IN BY: 4-22-03
PROJECT/LOCATION: 762 & 764 Valley Ct

Items to be checked for on application form at time of submittal:

- Application type(s)
- Acreage
- Zoning
- Location
- Tax #(s)
- Project description
- Property owner w/ contact person, address & phone #
- Developer w/ contact person, address & phone #
- Representative w/ contact person, address & phone #
- Signatures of property owner(s) & person completing application



DEVELOPMENT APPLICATION

Community Development Dept
250 North 5th Street
Grand Junction CO 81501
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

Petition for (check all appropriate boxes):

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Simple | <input checked="" type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Change of Use |
| <input type="checkbox"/> Planned Development - ODP | <input type="checkbox"/> Vacation, Right-of-Way | <input type="checkbox"/> Revocable Permit |
| <input type="checkbox"/> Planned Development - Preliminary | <input type="checkbox"/> Vacation, Easement | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Planned Development - Final | <input type="checkbox"/> Extension of Time | |
| <input type="checkbox"/> Annexation/Zone of Annexation | <input type="checkbox"/> Rezone | <input type="checkbox"/> Growth Plan Amendment |

From: _____

From: _____

From: _____

To: _____

To: _____

To: _____

Site Location:

762 & 764 VALLEY COURT

Site Tax No.(s): 2697-361-07-001
2697-361-07-002

Site Acreage/Square footage:
4.6±

Site Zoning: I-1

Project Description:

YARD EXPANSION FOR 84 LUMBER

Pierce Hardy Limited Partnership → Same

RG CONSULTING ENG.

Property Owner Name

Developer Name

Representative Name

1019 Route 519, Bldg #5 → Same

336 MAIN ST, STE 203

Address

Address

Address

Eighty Four, PA 15330-2813 → Same

GRAND JUNCTION, CO 81501

City/State/Zip

City/State/Zip

City/State/Zip

(800) 664-1984 * Same

242-7540

Business Phone No.

Business Phone No.

Business Phone No.

Silbaugh C @ 84 Lumber.com → Same

Jimhatry@aol.com

E-Mail

E-Mail

E-Mail

(724) 228-1452 * Same

255-1212

Fax Number

Fax Number

Fax Number

Cathy Silbaugh → Same

Jim Hatheway

Contact Person

Contact Person

Contact Person

(800) 664-1984, ext. 1346 * Same

242-7540

Contact Phone No.

Contact Phone No.

Contact Phone No.

Note Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

27 FEB 03

Date

Signature of Person Completing Application

Pierce Hardy Limited Partnership

Chris R. Baran asst. V.P.

3-4-03

Date

Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

General Meeting Notes – 762 & 764 Valley Ct.

February 10, 2003

SS/SPR (warehouses)

Planner: Pat C.

Engineer: Eric H.

Applicant: RG Consulting Eng. (Jim Hatheway)

Water:	fire flow form
Sewer:	existing
Drainage:	drainage fee
Flood plain:	show on plan
Wetlands:	--
Access:	see notes below
Site circulation:	onsite only
TCP:	yes
CDOT permit:	--
Street class:	Local Industrial
Street improvements:	no
Const. Activity Permit:	--
Underground utilities:	--
Other:	--

Streets/Traffic notes:

Will be sharing access with the existing 84 Lumber access.

Drainage notes:

Direct discharge w/ drainage fee will be allowed. Demonstrate there is adequate downstream capacity to convey any additional runoff.

Utility notes:

Must provide a Fire Flow Form filled out by the water supplier.

CITY OF GRAND JUNCTION
COMMUNITY DEVELOP
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501

CITY OF GRAND JUNCTION
WENDY - COMM DEV
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501

RG CONSULTING ENG.
JIM HATHEWAY
336 MAIN ST. #203
GRAND JUNCTION, CO 81501

W T HALL
TRUSTEE
748 22 RD
GRAND JUNCTION, CO 81505-9728

SMART INVESTMENTS INC
2154 HIGHWAY 6 AND 50
GRAND JUNCTION, CO 81505-9428

84 LUMBER CO
CATHY SILBAUGH
1019 ROUTE 519
EIGHTY FOUR, PA 15330-2813

R W PROPERTIES
2627 W 6TH AVE
DENVER, CO 80204-4105

THUNDERBIRD ENTERPRISES LLC
880 QUAIL RUN DR
GRAND JUNCTION, CO 81505-8608

DAVID N DODD
MYRNA L
767 VALLEY CT
GRAND JUNCTION, CO 81505-9714

5770 PARTNERS LLC
8101 E DARTMOUTH AVE UNIT 108
DENVER, CO 80231-4261

BALLARD LAND & LIVESTOCK
LLC
PO BOX 877
ROOSEVELT, UT 84066-0877

JAMES M JENKINS
PO BOX J
ASPEN, CO 81612-7411

ROGER SOLLENBARGER
31800 HIGHWAY 141
WHITEWATER, CO 81527-9724

WEST VALLEY DEVELOPMENTS
LLC
1111 S 12TH ST
GRAND JUNCTION, CO 81501-3820

REED MILLER INC
PO BOX 157
GRAND JUNCTION, CO 81502-0157

MARIE E TIPPING
MARIE E TIPPING
PO BOX 1849
GRAND JUNCTION, CO 81502-1849

GRAND JUNCTION I 70 AUTO
TRUCK
2514 OLEASTER CT
GRAND JUNCTION, CO 81505-9614

City of Grand Junction
 Department of Community Development



Date 10-14-03
 Payee Name Pierce Hardy Limited Partnership
 Address, City, State, Zip 1019 Rt 519
 Telephone Eighty-Four, PA 15330
 Project Address/File/Name SPR-2003-075

* PLEASE CIRCLE ALL THAT APPLY

DESCRIPTION *	AMT	DESCRIPTION *	AMT
DEVELOPMENT PROJECTS		PERMITS	
100-321-43195-13-109465 (DEV)		100-321-43195-13-124415 (PERMIT)	
Rezone		Temporary Use Permit	
Conditional Use		Floodplain Permit	
Special Use		Sign Permit (#)	
Major Sub-ODP, Prelim, Final		Special Events Permit (#)	
Simple Subdivision		Fence Permit (#)	
PDR - ODP, Prelim, Final		Home Occupation Permit	
ROW / Easement Vacation		100-61120-43365 30	
Replat / Property Line Adj		OTHER	
Variance		School Impact 701-905-43994 (SLD)	
Site Plan Review		Drainage 202-61314-43995-30 (DRAIN)	
Minor Change		TCP 2071-61314-43993-30 (TCP)	
Change of Use		Sign Dep 100-21090-131840 (SIGN)	
PLANNING CLEARANCE (#)		Manuals, Copies, etc.	15.50
100-321-43195-13-124450 (PLAN)		100-321-43195-13-120515 (MANUAL)	

Treasurer Receipt No. _____ TOTAL \$ 15.50

(White: Customer) (Canary: Finance) (Pink: Planning) (Goldenrod: File)

SH



City of Grand Junction
Department of Public Works and Utilities
Engineering Division
250 North Fifth Street
Grand Junction, CO 81501-2668
FAX: (970) 256-4011

September 5, 2003

Mr. Jim Hathaway, P.E.
RG Consulting Engineers, Inc.
336 Main Street, STE 203
Grand Junction, CO 81501

RE: TEDS Exception No. 31-03, for Access Offset Spacing at 779 22 Road

Dear Jim;

Please find attached the committee's decision on the above request. You may use this decision to proceed through the development review process.

If you have any question concerning this decision, please feel free to contact the Development Engineer in charge of your project or me at (970) 256-4047.

Sincerely,

Michael G. McDill, P.E.
City Engineer

Cc: Laura Lamberty, Development Engineer (256-4155)
Pat Cecil, Development Services Supervisor

EXCEPTION CONSIDERATIONS

1. Will the exception compromise safety?

Volumes are relatively low on 22 Road although this and other developments in the area will tend to increase these numbers over time. Trips into 84 Lumber will increase "as 84 Lumber continues to provide inventory that meets the needs of the Grand Valley." Although this is not a major high risk situation, it would be safer with opposing accesses.

2. Have other alternatives been considered that would meet the standard?

The applicant has also considered relocating the residential driveway across the street, but believes this is "not appropriate because the opposing access serves a non-conforming use." The problem is that this non-conforming use has every right to remain there as long as it wishes. I do not agree that this plan can depend on the eminent re-development of that property. I believe that this is a real option that the applicant needs to pursue.

There may also be another option available coincidental to whatever their plan might be to expand the current access to meet the 28-foot minimum requirement.

3. Has the proposed design been used in other areas?

We try not to approve situations with conflicting opposing driveways unless there appears to be no other option.

4. Will the exception require CDOT or FHWA coordination?

No.

5. Is this a one-time exception or a manual revision?

This request would be a one time consideration.

Staff Recommendation

I recommend denial of the requested Design Exceptions to Section 4.1.2, *Offsets*. It appears to me that there are options available that would lead to conformance to TEDS.

Recommended by: Michael A. McDuff

Approved as Requested:

Denied:

Date: 9/4/03

[Signature]
Robert E. Blanchard
Supt for Dick Beatty

Memorandum

DATE: October 7, 2003

TO: Laura Lamberty, Community Development Engineer

FROM: Pat Cecil, Development Services Supervisor

SUBJECT: Response to Comments – 84 Lumber Yard
Expansion (SPR-2003-075).

Attached is the Response to Comments for this project. Please review and return any further comments you have to me by Tuesday, October 21, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4031

E-mail: patc@grandjct.co.us



TRANSMITTAL

Date 6 October 2003

TO: Pat Cecil
Laura Lamberty

RECEIVED
OCT 06 2003
COMMUNITY DEVELOPMENT
DEPT.

FROM: Jim Hatheway
RG Consulting Engineers, Inc.
336 Main Street, Ste 203
Grand Junction, CO 81501

Phone 970-242-7540

Fax 970-255-1212

Re: 84 Lumber Grading
Revision

Attachments: Drawings Specifications Technical Revision

Pat and Laura,

84 Lumber added a dock to the project. Attached are the revised plans reflecting the change. I have also included the exhibit to be given to CDOT as part of the driveway improvements. I added a 6" curb on both sides of the drive to address Laura's concerns. I know this is a last minute change and appreciate your review.

Please let me know if you have any questions.

Thank you,

Jim Hatheway

REVIEW COMMENTS
4th Round

*Emailed
9/22/03*

Page 1 of 2
September 22, 2003

FILE #SPR-2003-075(4) **TITLE HEADING: 84 Lumber Yard Expansion**

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 18, 2003.

COMMUNITY DEVELOPMENT ENGINEER 8/4/03
Laura Lamberty 256-4155

1. TEDS Exception approved City Engineer has reviewed TEDS Exception and points out that the existing access to 84 Lumber is narrower than permitted by TEDS standards and drops off to near vertical at the Persigo Wash crossing. When the driveway is improved to standard and widened to the northeast the misalignment of the driveways would be sufficiently mitigated. Please show improvement of main access to TEDS standards

REVIEW COMMENTS

3rd Round

Page 1 of 2
August 26, 2003

FILE #SPR-2003-075(4) **TITLE HEADING:** 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 18, 2003.

COMMUNITY DEVELOPMENT ENGINEER 8/4/03
Laura Lamberty 256-4155

1. No further comments

CITY PROPERTY AGENT 7/24/03
Peter Krick 256-4003

REVIEW COMMENTS

1. Revise the name of the subdivision in the lower right corner to reflect the correct name as used at the top of the sheet.
2. All letter height shall be 0.08 minimum.
3. The word "purchaser" is misspelled within the NOTES located on the left side of the sheet.

Response: All corrections have been made.

CITY TRANSPORTATION ENGINEER 8/7/03
George Miller 256-4123

DevRev Valley Ct. 762, 764 84 Lumber Expansion 8-7-03 Miller (SPR-2003-075)
Comments pertain to Response to Comments, dated 7-15-03.

1. The matter of the 22 Rd access spacing is still unresolved. The applicant has cited residential spacing standards that do not apply to this roadway (they pertain to residential accesses on residential streets, as clarified in TEDS section 4.1.2, Offsets). Granted, the property opposite the 84 Lumber site is a residential use, and will likely develop in the future. But, at present, it is a residential use fronting onto a collector road, and the collector spacing standards must apply.

As stated in previous comments, the TEDS access spacing standards are being revised to 50' for industrial areas, on low speed roads that would serve industrial uses. I'm not sure that should apply here, as 22 Rd is a developing collector class through roadway, but will consider it in the interest of compromise.

I understand that the 84 site would incur a large cost in relocating a bridged access across a ditchway. That is why I recommended relocating the opposing driveway to match 84's entrance. That option has not been addressed in this most recent response.

If the applicant would wish to submit a TEDS exception on this issue, they may do so, citing TEDS sections 4.1.1 and 4.1.2, following the instructions detailed in TEDS chapter 14. However, I would ask that they consider relocating the opposing driveway, instead. Even if the exception were granted, I feel these proximate driveways present a correctable accident potential that will only increase as 22 Rd volumes grow over time.

Response: A TEDS exception has been submitted for review.

2. There are no other issues with this proposal.

2. property opposite the 84 Lumber site is a residential use, and will likely develop in the future. But, at present, it is a residential use fronting onto a collector road, and the collector spacing standards must apply.

As stated in previous comments, the TEDS access spacing standards are being revised to 50' for industrial areas, on low speed roads that would serve industrial uses. I'm not sure that should apply here, as 22 Rd is a developing collector class through roadway, but will consider it in the interest of compromise.

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2. There are no other issues with this proposal.

REVIEW COMMENTS
3rd Round

*Emailed
7/24/03*

Page 1 of 2
July 24, 2003

FILE #SPR-2003-075(3)

TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 25, 2003.

CITY PROPERTY AGENT

7/24/03

Peter Krick

256-4003

REVIEW COMMENTS

1. The name of the Plat shall be revised: The title cannot begin with the words "A", "The", "Replat" or any numeric number.
2. Verify that all lettering appearing on the plat be a minimum of 0.08".
3. The vicinity map should be increased in size as the lettering is too small to read.
4. A list of all abbreviations and symbols used must be included. Common abbreviations such as N for North does not require a table.
5. Include the "seconds" within the bearing for the portion of the Westerly boundary located along Valley Court, being the 70.00 foot tangent.
6. Provide dimensions for the easements located at the Southeast corner of the Plat; the easements shall be dimensionally tied to the boundary of the Plat.
7. If there are no liens of record, the Owners Statement shall include a statement that there are no lien holders.
8. A field inspection will be performed immediately prior to recording the Plat to verify that corners indicated on the drawing are in place and as noted.



City of Grand Junction
Department of Public Works and Utilities
Engineering Division
250 North Fifth Street
Grand Junction, CO 81501-2668
FAX: (970) 256-4011

DESIGN EXCEPTION #DE31-03

To: Mark Relph, Director of Public Works & Utilities
Thru: Tim Moore, Public Works Manager
Copy to: Laura Lamberty, Development Engineer
Pat Cecil, Development Services Supervisor
From: Mike McDill, City Engineer
Date: August 19, 2003
RE: Exception for Access Offset Spacing at 779 22 Road

DESCRIPTION OF THE SITUATION

Applicant is planning to construct 28,000 SF of additional storage on a lot adjoining the existing facility. This expansion justifies a review of all of the improvements on both lots. The existing access to the original 84 Lumber store is offset a distance of 35 feet from another gravel driveway into a single family residence across 22 Road. The existing driveway into 84 Lumber crosses Persigo Wash via a large rusty multi-plate metal culvert, which appears to be approaching the end of its service life. The existing access to 84 Lumber is as narrow as eighteen feet. TEDS will require that it be widened to at least twenty-eight feet. This work may, or may not also require the replacement of the culvert carrying Persigo Wash. Section 4.1.2, *Offsets*, requires that access either be opposite each other or be separated by at least 150 feet.

The applicant requests exception from Section 4.1.1, *Spacing*. However, the correct request would be for an exception to Section 4.1.2, *Offsets* since this relates to spacing between the applicant's driveway and another on the opposite side of 22 Road.

Memorandum

DATE: August 1, 2003

TO: Laura Lamberty, Community Development Engineer
George Miller, City Transportation Engineer
Peter Krick, City Property Agent

FROM: Pat Cecil, Development Services Supervisor

SUBJECT: Response to Comments – 84 Lumber Yard
Expansion (SPR-2003-075).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Friday, August 15, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4031

E-mail: patc@ci.grandjct.co.us

August 12, 2003

Re: SPR-2003-075

EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

REVIEW COMMENTS

1. Revise the name of the subdivision in the lower right corner to reflect the correct name as used at the top of the sheet.
2. All letter height shall be 0.08 minimum.
3. The word "purchaser" is misspelled within the NOTES located on the left side of the sheet.

By: Peter T. Krick
Professional Land Surveyor for
The City of Grand Junction

REVIEW COMMENTS

2nd Round

July 15 2003

FILE #SPR-2003-075(2)

TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 15, 2003.

CITY COMMUNITY DEVELOPMENT

7/1/03

Pat Cecil

244-1439

1. The revised plat was not received in time to review at the 7/1 Development review meeting. The plat will be scheduled for the 7/8 Development review meeting with any additional comments sent out after that meeting.

Response: Comment noted.

2. Access to Valley Court will be limited to fire emergency access. At any time that this access point is used for deliveries, material pick-up or other business purposes, this driveway will be required to be paved and the drainage report amended. Additional drainage fees will also be assessed at that time.

Response: Comment noted.

3. All outdoor storage areas have to be designated as such on the site plan.

Response: Outdoor storage areas have been identified.

4. A plan designating where future parking meeting City standards has not been submitted although the response to comments indicates that there is one.

Response: The plan was submitted with the first set of comment responses and was confirmed with a phone call.

CITY DEVELOPMENT ENGINEER

Laura Lamberty

6/20/03

256-4155

1. Provide us with a plat that meets City requirements as requested on last round of comments.
 - a. Show all adjoining road right-of-way (may have been originally acquired by the Feds as part of I-70.)
 - b. Dedicate right-of-ways as required by GVCP. 22 Road is Urban Collector
 - c. Dedicate multi-purpose easement on all road frontages.
 - d. If you are unclear about the area that I am requesting a dedication, please contact me at 256-4155 and do not submit another round of unresponsive comments,

Response: A revised plat has been submitted addressing all comments at once.

- a. *To the best of our knowledge all right of way is shown that is adjacent to the property.*
- b. *Additional right-of-way is not required. The aforementioned right-of-way is for I-70 and not 22 Road. In any case, after evaluating the legal descriptions for the I-70 Right of Way, it appears that there is 60' of right-of-way for I-70 before it connects into 22 Road approximately 600 feet north of the subject property.*
- c. *The easement shown adjacent to the I-70 Frontage Road right-of-way was dedicated exclusively to the Grand Junction Drainage District at Book 230 Page 11 in the Mesa County records. 84 Lumber does not have the authority to dedicate a 14' multi-purpose easement adjacent to the right of way due to this fact. The City of Grand Junction will need to negotiate with the GJDD to secure any easements that are required.*

2. Also dedicate required half-street rights-of-way and multi-purpose easements on all adjoining property under common ownership. (2697-361-02-003)

Response: This issue was not identified at the pre-application meeting and the city has since reconsidered this request.

3. If Fire Lane off of Valley Court is only truly a fire lane, then the drainage fee and drainage calculations are acceptable. If the use changes and is used for deliveries, alternate customer ingress or egress, or other access, then paving requirements and a reexamination of drainage facilities and fees is necessary.

Response: Comment noted.

4. Fees: TCP=\$6,832 and Drainage= \$11,367.25

CITY FIRE DEPARTMENT

Norm Noble

6/19/03

244-1414

1. The response to comments is acceptable.
2. No objections to planning clearance at this time.

Comments pertain to Response to Comments, dated 6-17-03.

1. Applicant has replied that no compliance with current TEDS access spacing concerns. In explanation, the applicant must realize that any redevelopment of the site initiates a review of TEDS and other current review standards. The site's existing 22 Rd access does not meet current TEDS standards for access spacing (reference TEDS section 4.1.1 that currently specifies 150' spacing for non opposed access points. This standard is being revised to require 50' spacing for non-opposing accesses).

As stated in the 5-12-03 comments, this site's 22 Rd access point must either be brought into compliance with the above noted TEDS section (by relocating it a minimum of 50' away from existing area access points, or relocating its access point or the east side access point, so they oppose each other), or the applicant must file a TEDS Exception (see TEDS chapter 14 for forms and instructions. The application should reference TEDS section 4.1.1).

Response: Based on further review of TEDS Section 4.1.1 it is not believed that a TEDS Exception is required. The first sentence of this section specifically states that the 150' (soon to be changed to 50') spacing requirement does not apply to single family residences. The driveway opposite 84 Lumber's existing driveway is currently serving a single family residence.

The gravel driveway noted above is approximately 35 feet (center to center) north of the existing 84 Lumber access and is serving a nonconforming use (residential in a commercial/industrial zone). This residential site will eventually be redeveloped to conform to the zoning that is in place for this nonconforming parcel. It is our contention that the opposing driveway should be relocated at that time to meet the needs of the developer and to conform to the TEDS.

The traffic flow using 84 Lumber's existing driveway is not expected to change appreciably because of the expansion. The proposed expansion of the yard onto the adjacent parcel is simply to alleviate storage issues as 84 Lumber continues to provide inventory that meets the needs of the Grand Valley. Additionally, as long as the opposing driveway continues to serve a residence, the potential for conflicts between vehicles entering 22 Road from either property will continue to be minor.

2. The applicant has clarified that the west access to this site will serve as an emergency access route only, and will have a gated and locked access point. The applicant understands that if this access is used for any other purpose, that access will undergo a review for that access and will have to comply with current TEDS standards

Response: Comment noted.

REVIEW COMMENTS

2nd Round

Page 1 of 2
July 1, 2003

FILE #SPR-2003-075(2) TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., JULY 15, 2003.

CITY COMMUNITY DEVELOPMENT

7/1/03

Pat Cecil

244-1439

1. The revised plat was not received in time to review at the 7/1 Development review meeting. The plat will be scheduled for the 7/8 Development review meeting with any additional comments sent out after that meeting.
2. Access to Valley Court will be limited to fire emergency access. At any time that this access point is used for deliveries, material pick-up or other business purposes, this driveway will be required to be paved and the drainage report amended. Additional drainage fees will also be assessed at that time.
3. All outdoor storage areas have to be designated as such on the site plan.
4. A plan designating where future parking meeting City standards has not been submitted although the response to comments indicates that there is one.

CITY DEVELOPMENT ENGINEER

6/20/03

Laura Lamberty

256-4155

1. Provide us with a plat that meets City requirements as requested on last round of comments.
 - a. Show all adjoining road right-of-way (may have been originally acquired by the Feds as part of I-70.)
 - b. Dedicate right-of-ways as required by GVCP. 22 Road is Urban Collector

- c. Dedicate multi-purpose easement on all road frontages.
- d. If you are unclear about the area that I am requesting a dedication, please contact me at 256-4155 and do not submit another round of unresponsive comments,
- 2. Also dedicate required half-street rights-of-way and multi-purpose easements on all adjoining property under common ownership. (2697-361-02-003)
- 3. If Fire Lane off of Valley Court is only truly a fire lane, then the drainage fee and drainage calculations are acceptable. If the use changes and is used for deliveries, alternate customer ingress or egress, or other access, then paving requirements and a reexamination of drainage facilities and fees is necessary.
- 4. Fees: TCP=\$6,832 and Drainage= \$11,367.25

CITY FIRE DEPARTMENT

6/19/03

Norm Noble

244-1414

- 1. The response to comments is acceptable.
- 2. No objections to planning clearance at this time.

CITY TRANSPORTATION ENGINEER

5/12/03

George Miller

256-4123

Comments pertain to Response to Comments, dated 6-17-03.

- 1. Applicant has replied that no compliance with current TEDS access spacing concerns. In explanation, the applicant must realize that any redevelopment of the site initiates a review of TEDS and other current review standards. The site's existing 22 Rd access does not meet current TEDS standards for access spacing (reference TEDS section 4.1.1 that currently specifies 150' spacing for non opposed access points. This standard is being revised to require 50' spacing for non-opposing accesses).

As stated in the 5-12-03 comments, this site's 22 Rd access point must either be brought into compliance with the above noted TEDS section (by relocating it a minimum of 50' away from existing area access points, or relocating its access point or the east side access point, so they oppose each other), or the applicant must file a TEDS Exception (see TEDS chapter 14 for forms and instructions. The application should reference TEDS section 4.1.1).

- 2. The applicant has clarified that the west access to this site will serve as an emergency access route only, and will have a gated and locked access point. The applicant understands that if this access is used for any other purpose, that access will undergo a review for that access and will have to comply with current TEDS standards

Memorandum

DATE: June 17, 2003

TO: Laura Lamberty, Community Development Engineer
George Miller, City Transportation Engineer
Hank Masterson, City Fire Department
John Shaver, City Attorney
Peter Krick, City Property Agent
John Ballagh, Grand Junction Drainage District
Jim Daugherty, Ute Water

FROM: Pat Cecil, Development Services Supervisor

SUBJECT: Response to Comments – 84 Lumber Yard
Expansion (SPR-2003-075).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Tuesday, June 24, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4038

E-mail: patc@ci.grandjct.co.us

*No Revised
Plat Submitted*

RECEIVED
JUN 17 2003
COMMUNITY DEVELOPMENT
DEPT.

84 Lumber Response to Comments
Property Agent
Peter Krick

REVIEW COMMENTS

RECEIVED

JUN 17 2003

COMMUNITY DEVELOPMENT
DEPT

May 20, 2003

FILE #SPR-2003-075

TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 20, 2003.

CITY COMMUNITY DEVELOPMENT

5/113/03

Pat Cecil

244-1439

1. Berms must be a minimum of 3 feet in height.

Response: Berms have been modified to reflect a 3 feet berm height.

2. Trees along the frontage should be space every 40 feet.

Response: Tree spacing has been modified accordingly.

3. Why are there two fences and two gates along the west side of the site?

Response: The fence call-out was inadvertently misplaced and has been corrected. There is only one perimeter fence.

4. Plans must designate parking areas in the event that the property is not used at some future date as part of the 84 Lumber operation.

Response: Based on previous conversations with the city, it was our understanding that after proving that the required number of spaces could be achieved within the paved area, the site plan would not need to reflect these parking spaces. An exhibit has been attached to these responses to demonstrate that the site meet current parking standards. 84 Lumber is not planning on using this area for customer parking and is not planning on striping the area because it will be used as outside storage, which defeats the purpose of striping these spaces. The fire lane will be striped to maintain an obstruction-free corridor for emergency vehicles.

5. What is the area designated as improved with base rock going to be used for?

Response: The area receiving Class VI base is considered excess land space at this time by the applicant and is being groomed to control weeds. The area will be used as outdoor storage.

6. Provide a lighting plan that demonstrates that full cut-off fixtures will be supplied.

Response: A lighting plan has been prepared and is included with these responses.

CITY DEVELOPMENT ENGINEER

5/16/03

Laura Lamberty

256-4155

Plat:

1. Show 22 Road right-of-way.

Response: The property does not front on 22 Road. Based on the plat of Valley West Subdivision, Filing 2 and the IBX Subdivision, the property actually fronts on right-of-way dedicated for I-70. Additional right-of-way does not need to be dedicated.

2. Dedicate 14' multi-purpose easement along "frontage" of lot on 22 Road.

Response: An ingress/egress/utility easement exceeding the 14' already exists for this lot.

3. Dedicate right-of-way for 30' half street on 22 Road if it doesn't exist.

Response: See response above.

Drainage Report:

1. Drainage fee calculation may need to be revisited based on other comments herein.

Response: The drainage fee calculation has been rechecked and has not been modified.

2. Developed flows are generated from areas which no longer sheet drain but collect and are discharged in a concentrated point or where the C value has increased. Based on that, developed flows appear to be discharged to the GJ Pipe property or to Valley Court.

Response: All developed flows are either conveyed to Valley Court or Persigo Wash. No developed flows will discharge to the GJ Pipe property. The existing topography shown on the grading plan is somewhat deceiving in that when GJ Pipe developed the property it was raised approximately 1 foot from existing grade in some locations, after the topographic survey conducted by 84 Lumber. Therefore, the developed runoff that may reach the property line will be directed to Valley Court along the property line. In places where the GJ Pipe property is at grade, berming along the property line will be constructed to direct the flow to Valley Court. Flow arrows have been added to the grading plan to make the flow directions more apparent. A note has also been added to the grading plans stating that the applicant should construct a berm/ditch combination as required to direct flow along the property line to Valley Court.

3. Discharge of developed flow to GJ Pipe property is not permissible.

Response: Agreed.

4. Evaluation of downstream capacity of Valley Court V-pan and downstream system and Persigo Wash to handle developed discharge does not appear to have been performed.

Response: Evaluation of the pre- and post-development runoff to Valley Court shows a modest increase in flow being carried by the v-pan. The difference in flow for the 100 year storm event is roughly 2.1 cfs undeveloped and 3.2 cfs developed to the v-pan. Developed flows being discharged to Persigo Wash should not cause the capacity of the channel to be exceeded due to the fact that the peak discharge for the site will be complete well before the peak flow rates due to upstream contributions are seen in the wash. This is justified by the fact that the site will discharge into the wash approximately 0.5 miles from the outfall of Persigo Wash to the Colorado River, while the total length of the wash itself is almost 6 miles long based on available quad sheets.

5. Sizing of conveyance facilities is not included.

Response: Sizing information has been included as part of these comments.

6. Design of rip rap scour protection is not included.

Response: The rip-rap specified on the vertical grading plan meets the requirements set forth in the SWMM for rip-rap sizing and apron size.

Fees:

TCP: 28 KSF x \$244/KSF = \$6,832

Drainage Fee: See above.

Plans

1. Sht UC 1: Show storm water utility on utility composite

Response: Proposed stormwater utility has been added to this drawing.

2. Sht SP 1: If access on Valley Court is strictly for fire and gate remains locked and not used for deliveries, employee entrance or other operations, provide allweather surface on required radii. Otherwise bring access and "fire lane" up to access standard in TEDS for commercial access. Show opposite and adjacent access points within 150'.

Response: The access from Valley Court is for emergency vehicle access only. The access is called out as Class VI Road Base to serve as the all-weather surface. All radii meet the 30' minimum specified in TEDS.

3. Show how developed flows from site are captured and directed away from other private properties.

Response: Flow arrows have been added to provide a better understanding of the drainage pattern.

4. G1: For scour protection, what is defined as waterline?

Response: The design of the apron has been modified to reflect that the apron will be constructed to the toe of the west slope of Persigo Wash.

CITY UTILITY ENGINEER

Trent Prall

5/15/03

244-1590

Please contact Jodi Romero with the City Customer Service Division at 244-1520 in regards to potential changes in sewer plant investment fees as well as monthly service rates for the site.

CITY ADDRESSING

5/13/03

Faye Gibson

256-4043

The lot will retain the address of 762 Valley Ct.

CITY FIRE DEPARTMENT

5/1/03

Hank Masterson

244-1414

1. A Knox padlock or Knox box will be required to allow the Fire Department access through the entrance gate at the Valley Court entrance and the 22 Road entrance, if these gates are to be locked during off hours.

Response: Knox padlocks/boxes have been identified at both gates entering the property.

2. The hydrant located at the south end of lot 13B is facing the wrong direction. It must be rotated 180 degrees in order to be used by the fire department.

Response: The site plan reflects the change in orientation for the fire hydrant identified above.

CITY ATTORNEY

4/25/03

John Shaver

244-1501

No evidence of ownership by this Applicant was submitted. Evidence must be provided or owner must sign application.

Response: A copy of the warranty deed has been included with these responses.

CITY PROPERTY AGENT

4/28/03

Peter Krick

256-4003

REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Standards. No review will be performed at this time. This Plat is returned to the client for revisions.

Response: An improvement survey plat has been submitted with the subdivision plat as required by the city by High Desert Surveying.

CITY CODE ENFORCEMENT

5/12/03

Nina McNally

256-4103

Code Enforcement comments and questions are based upon the most frequently addressed code violations for new construction/uses as they may apply to this project and are subject to comments of other review agencies.

1. Owner must maintain all vegetation, fences, walls and berms so that there is no sight distance hazard nor road or pedestrian hazard. ZD 6.5
2. Outdoor storage and display must conform to Zoning District regulations for the I-1 Zone (ZD Chapter 3) and Outdoor Storage, Non-res. 4.1.I.2.
3. Project must conform to off-street parking and loading provisions set forth at ZD 6.6 and landscaping as approved must be maintained ZD 6.5.B.15
4. Dust control measures must be taken during construction and for any parking areas Municipal Code 16-126, and parking areas maintained as required at ZD 6.6.A.9.b.
5. Adequate shielded lighting shall be provided for all parking facilities used at night ZD 6.6.A.8.

6. ALL outside light sources shall conform to the standards set forth at ZD 7.2.F., Nighttime Light Pollution. INDUSTRIAL AND MIXED USE ZONES must also conform to ZD 3.4.F.5.c.(3)/ZD 3.4.J.4.(3) regarding glare.
7. Permanent and temporary signs require a permit. ZD 4.2.F.a. and 4.2.D.6.
8. Fences require a permit. ZD 4.1.J.
9. Noise (Industrial Zones): Sound shall not exceed 65 db at any point on the property line ZD 3.4.F.5.c.2, G and H.

Response: Comments Noted.

CITY TRANSPORTATION ENGINEER

5/12/03

George Miller

256-4123

Proposal is to expand site storage by 28,000 sqft. Plans also show an extension of an emergency access lane extending from the site's 22 Rd frontage to Valley Ct. Plans do not show existing area traffic related facilities on Valley Ct.

Proposal Comments:

1. There are no Urban Trails facilities needed for this site.

Response: Comment noted.

2. The site's 22 Rd access is not opposed to an adjacent access, nor is it the required minimum distance away from that access. It is recommended that the opposing access be relocated to align with the 84 Lumber access. If this modification cannot be made, a TEDS Exception Application must be made to address the issue. (The accepted standard for access spacing is now 50' for this type of adjacent land use. See TEDS chap 14 for Exception Application information.)

Response: No new access is proposed from 22 Road. The existing access will continue to be used by customers, employees and delivery vehicles. The access from Valley Court will be for emergency vehicle use only.

3. It is not clear from the plans whether the proposed emergency access route. Will have full access to Valley Ct.. If this is the case (that the Valley Ct. access point will be ungated.) then plans will have to be amended to show area transportation facilities such as signing, striping, access points, etc. to allow evaluation of the proposed access point.

Response: The Valley Court access is provided for emergency vehicles only. The gate will be secured using a Knox Lock as required by the Fire Department.

MESA COUNTY BUILDING DEPT

4/28/03

Bob Lee

244-1656

Project must comply to all local building codes and contractor licensing laws. Need a separate building permit for each building. Larger building may require a fire protection system.

Response: Comment noted.

GRAND JUNCTION DRAINAGE DISTRICT

5/12/03

John Ballagh

242-4343

The platted subdivision is within the District. The Drainage District easement reflects the existing open drainage channel known as PERSIGO WASH. Fencing into the channel of the

wash should be strongly discourage as it can become a significant trash catcher and act as a dam during high runoff events causing potentially higher water levels upstream.

The plans do not require change as far as the Drainage District is concerned.

If there are any questions please contact the office.

Response: Comment noted. The applicant is not planning on constructing a fence through the channel.

UTE WATER
Jim Daugherty

4/28/03
242-7491

COMMENT

- * Mechanical plans for site and facility are required for cross connection review. This set of mechanical drawings need to be left with Ute for future reference.
 - * Water meters or wet taps will not be sold until a cross connection review is done from the mechanical drawings.
 - * A cross connection review must be completed, and an agreement that proper cross-connection devices will be installed must occur prior to Ute Water's approval.
 - * **ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY**
- If you have any questions concerning any of this, please feel free to contact Ute Water.

Response: Comments noted.

Comments not available as of 5/20/03:

CDOT
Grand Valley Irrigation
Qwest
Xcel

Memorandum

DATE: June 17, 2003

TO: Laura Lamberty, Community Development Engineer
George Miller, City Transportation Engineer
Hank Masterson, City Fire Department
John Shaver, City Attorney
Peter Krick, City Property Agent
John Ballagh, Grand Junction Drainage District
Jim Daugherty, Ute Water

FROM: Pat Cecil, Development Services Supervisor

SUBJECT: Response to Comments – 84 Lumber Yard
Expansion (SPR-2003-075).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Tuesday, June 24, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4038

E-mail: patc@ci.grandjct.co.us

6-18-2003

SEE ATTACHED COMMENTS.

PETER T. KRICK

June 18, 2003

Re: SPR-2003-075
84 LUMBER SIMPLE SUBDIVISION

REVIEW COMMENTS

THIS SUBMITTAL IS INCOMPLETE AND SHALL BE RETURNED FOR THE FOLLOWING REASON(S):

1. A Subdivision Plat was not submitted for review. A Subdivision Plat meeting the City of Grand Junction Platting Standards and all requirements of the SSID Manual is required. All accessory information required with the Plat shall be submitted for review.

By: Peter T. Krick
Professional Land Surveyor for the
City of Grand Junction

REVIEW COMMENTS

RECEIVED
JUN 17 2003
COMMUNITY DEVELOPMENT
DEPT.

May 20, 2003

FILE #SPR-2003-075

TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 20, 2003.

CITY COMMUNITY DEVELOPMENT
Pat Cecil

5/113/03
244-1439

1. Berms must be a minimum of 3 feet in height.

Response: Berms have been modified to reflect a 3 feet berm height.

2. Trees along the frontage should be space every 40 feet.

Response: Tree spacing has been modified accordingly.

3. Why are there two fences and two gates along the west side of the site?

Response: The fence call-out was inadvertently misplaced and has been corrected. There is only one perimeter fence.

4. Plans must designate parking areas in the event that the property is not used at some future date as part of the 84 Lumber operation.

Response: Based on previous conversations with the city, it was our understanding that after proving that the required number of spaces could be achieved within the paved area, the site plan would not need to reflect these parking spaces. An exhibit has been attached to these responses to demonstrate that the site can meet current parking standards. 84 Lumber is not planning on using this area for customer parking and is not planning on striping the area because it will be used as outside storage, which defeats the purpose of striping these spaces. The fire lane will be striped to maintain an obstruction-free corridor for emergency vehicles.

5. What is the area designated as improved with base rock going to be used for?

Response: The area receiving Class VI base is considered excess land space at this time by the applicant and is being groomed to control weeds. The area will be used as outdoor storage.

6. Provide a lighting plan that demonstrates that full cut-off fixtures will be supplied.

Response: A lighting plan has been prepared and is included with these responses.

CITY DEVELOPMENT ENGINEER

5/16/03

Laura Lamberty

256-4155

Plat:

1. Show 22 Road right-of-way.

Response: The property does not front on 22 Road. Based on the plat of Valley West Subdivision, Filing 2 and the IBX Subdivision, the property actually fronts on right-of-way dedicated for I-70. Additional right-of-way does not need to be dedicated.

2. Dedicate 14' multi-purpose easement along "frontage" of lot on 22 Road.

Response: An ingress/egress/utility easement exceeding the 14' already exists for this lot.

3. Dedicate right-of-way for 30' half street on 22 Road if it doesn't exist.

Response: See response above.

Drainage Report:

1. Drainage fee calculation may need to be revisited based on other comments herein.

Response: The drainage fee calculation has been rechecked and has not been modified.

2. Developed flows are generated from areas which no longer sheet drain but collect and are discharged in a concentrated point or where the C value has increased. Based on that, developed flows appear to be discharged to the GJ Pipe property or to Valley Court.

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3. Discharge of developed flow to GJ Pipe property is not permissible.

Response: Agreed.

4. Evaluation of downstream capacity of Valley Court V-pan and downstream system and Persigo Wash to handle developed discharge does not appear to have been performed.

Response: Evaluation of the pre- and post-development runoff to Valley Court shows a modest increase in flow being carried by the v-pan. The difference in flow for the 100 year storm event is roughly 2.1 cfs undeveloped and 3.2 cfs developed to the v-pan. Developed flows being discharged to Persigo Wash should not cause the capacity of the channel to be exceeded due to the fact that the peak discharge for the site will be complete well before the peak flow rates due to upstream contributions are seen in the wash. This is justified by the fact that the site will discharge into the wash approximately 0.5 miles from the outfall of Persigo Wash to the Colorado River, while the total length of the wash itself is almost 6 miles long based on available quad sheets.

5. Sizing of conveyance facilities is not included.

Response: Sizing information has been included as part of these comments.

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Fees:

TCP: 28 KSF x \$244/KSF = \$6,832

Drainage Fee: See above.

Plans

1. Sht UC 1: Show storm water utility on utility composite

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4. G1: For scour protection, what is defined as waterline?

Response: The design of the apron has been modified to reflect that the apron will be constructed to the toe of the west slope of Persigo Wash.

CITY UTILITY ENGINEER

Trent Prall

5/15/03

244-1590

Please contact Jodi Romero with the City Customer Service Division at 244-1520 in regards to potential changes in sewer plant investment fees as well as monthly service rates for the site.

CITY ADDRESSING

5/13/03

Faye Gibson

256-4043

The lot will retain the address of 762 Valley Ct.

CITY FIRE DEPARTMENT

5/1/03

Hank Masterson

244-1414

1. A Knox padlock or Knox box will be required to allow the Fire Department access through the entrance gate at the Valley Court entrance and the 22 Road entrance, if these gates are to be locked during off hours.

Response: Knox padlocks/boxes have been identified at both gates entering the property.

2. The hydrant located at the south end of lot 13B is facing the wrong direction. It must be rotated 180 degrees in order to be used by the fire department.

Response: The site plan reflects the change in orientation for the fire hydrant identified above.

CITY ATTORNEY

4/25/03

John Shaver

244-1501

No evidence of ownership by this Applicant was submitted. Evidence must be provided or owner must sign application.

Response: A copy of the warranty deed has been included with these responses.

CITY PROPERTY AGENT

4/28/03

Peter Krick

256-4003

REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Standards. No review will be performed at this time. This Plat is returned to the client for revisions.

Response: An improvement survey plat has been submitted with the subdivision plat as required by the city by High Desert Surveying.

CITY CODE ENFORCEMENT

5/12/03

Nina McNally

256-4103

Code Enforcement comments and questions are based upon the most frequently addressed code violations for new construction/uses as they may apply to this project and are subject to comments of other review agencies.

1. Owner must maintain all vegetation, fences, walls and berms so that there is no sight distance hazard nor road or pedestrian hazard. ZD 6.5
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3. Project must conform to off-street parking and loading provisions set forth at ZD 6.6 and landscaping as approved must be maintained ZD 6.5.B.15
4. Dust control measures must be taken during construction and for any parking areas Municipal Code 16-126, and parking areas maintained as required at ZD 6.6.A.9.b.
5. Adequate shielded lighting shall be provided for all parking facilities used at night ZD 6.6.A.8.

6. ALL outside light sources shall conform to the standards set forth at ZD 7.2.F., Nighttime Light Pollution. INDUSTRIAL AND MIXED USE ZONES must also conform to ZD 3.4.F.5.c.(3)/ZD 3.4.J.4.(3) regarding glare.
7. Permanent and temporary signs require a permit. ZD 4.2.F.a. and 4.2.D.6.
8. Fences require a permit. ZD 4.1.J.
9. Noise (Industrial Zones): Sound shall not exceed 65 db at any point on the property line ZD 3.4.F.5.c.2, G and H.

Response: Comments Noted.

CITY TRANSPORTATION ENGINEER

5/12/03

George Miller

256-4123

Proposal is to expand site storage by 28,000 sqft. Plans also show an extension of an emergency access lane extending from the site's 22 Rd frontage to Valley Ct. Plans do not show existing area traffic related facilities on Valley Ct.

Proposal Comments:

1. There are no Urban Trails facilities needed for this site.

Response: Comment noted.

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Response: No new access is proposed from 22 Road. The existing access will continue to be used by customers, employees and delivery vehicles. The access from Valley Court will be for emergency vehicle use only.

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Response: The Valley Court access is provided for emergency vehicles only. The gate will be secured using a Knox Lock as required by the Fire Department.

MESA COUNTY BUILDING DEPT

4/28/03

Bob Lee

244-1656

Project must comply to all local building codes and contractor licensing laws. Need a separate building permit for each building. Larger building may require a fire protection system.

Response: Comment noted.

GRAND JUNCTION DRAINAGE DISTRICT

5/12/03

John Ballagh

242-4343

The platted subdivision is within the District. The Drainage District easement reflects the existing open drainage channel known as PERSIGO WASH. Fencing into the channel of the

wash should be strongly discourage as it can become a significant trash catcher and act as a dam during high runoff events causing potentially higher water levels upstream.

The plans do not require change as far as the Drainage District is concerned.

If there are any questions please contact the office.

Response: Comment noted. The applicant is not planning on constructing a fence through the channel.

UTE WATER
Jim Daugherty

4/28/03
242-7491

COMMENT

- * Mechanical plans for site and facility are required for cross connection review. This set of mechanical drawings need to be left with Ute for future reference.
- * Water meters or wet taps will not be sold until a cross connection review is done from the mechanical drawings.
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- * **ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY**

If you have any questions concerning any of this, please feel free to contact Ute Water.

Response: Comments noted.

Comments not available as of 5/20/03:

CDOT
Grand Valley Irrigation
Qwest
Xcel

REVIEW COMMENTS

Page 1 of 4
May 20, 2003

FILE #SPR-2003-075

TITLE HEADING: 84 Lumber Yard Expansion

LOCATION: 762 & 764 Valley Court

PETITIONER: Pierce Hardy Limited Partnership – Cathy Silbaugh

PETITIONER'S ADDRESS/TELEPHONE: 1019 Route 519, Bldg #5
Eight Four, PA 15330-2813
800-664-1984x1346

PETITIONER'S REPRESENTATIVE: RG Consulting Engineering – Jim Hatheway
242-7540

STAFF REPRESENTATIVE: Pat Cecil

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., AUGUST 20, 2003.

CITY COMMUNITY DEVELOPMENT

5/113/03

Pat Cecil

244-1439

1. Berms must be a minimum of 3 feet in height.
2. Trees along the frontage should be spaced every 40 feet.
3. Why are there two fences and two gates along the west side of the site?
4. Plans must designate parking areas in the event that the property is not used at some future date as part of the 84 Lumber operation.
5. What is the area designated as improved with base rock going to be used for?
6. Provide a lighting plan that demonstrates that full cut-off fixtures will be supplied.

CITY DEVELOPMENT ENGINEER

5/16/03

Laura Lamberty

256-4155

Plat:

1. Show 22 Road right-of-way.
2. Dedicate 14' multi-purpose easement along "frontage" of lot on 22 Road.
3. Dedicate right-of-way for 30' half street on 22 Road if it doesn't exist.

Drainage Report:

1. Drainage fee calculation may need to be revisited based on other comments herein.
2. Developed flows are generated from areas which no longer sheet drain but collect and are discharged in a concentrated point or where the C value has increased. Based on that, developed flows appear to be discharged to the GJ Pipe property or to Valley Court.

REVIEW COMMENTS / SPR-2003-075 / PAGE 2 of 4

3. Discharge of developed flow to GJ Pipe property is not permissible.
4. Evaluation of downstream capacity of Valley Court V-pan and downstream system and Persigo Wash to handle developed discharge does not appear to have been performed.
5. Sizing of conveyance facilities is not included.
6. Design of rip rap scour protection is not included.

Fees:

TCP: 28 KSF x \$244/KSF = \$6,832

Drainage Fee: See above.

Plans

1. Sht UC 1: Show storm water utility on utility composite
2. Sht SP 1: If access on Valley Court is strictly for fire and gate remains locked and not used for deliveries, employee entrance or other operations, provide allweather surface on required radii. Otherwise bring access and "fire lane" up to access standard in TEDS for commercial access. Show opposite and adjacent access points within 150'.
3. Show how developed flows from site are captured and directed away from other private properties.
4. G1: For scour protection, what is defined as waterline?

CITY UTILITY ENGINEER

5/15/03

Trent Prall

244-1590

Please contact Jodi Romero with the City Customer Service Division at 244-1520 in regards to potential changes in sewer plant investment fees as well as monthly service rates for the site.

CITY ADDRESSING

5/13/03

Faye Gibson

256-4043

The lot will retain the address of 762 Valley Ct.

CITY FIRE DEPARTMENT

5/1/03

Hank Masterson

244-1414

1. A Knox padlock or Knox box will be required to allow the Fire Department access through the entrance gate at the Valley Court entrance and the 22 Road entrance, if these gates are to be locked during off hours.
2. The hydrant located at the south end of lot 13B is facing the wrong direction. It must be rotated 180 degrees in order to be used by the fire department.

CITY ATTORNEY

4/25/03

John Shaver

244-1501

No evidence of ownership by this Applicant was submitted. Evidence must be provided or owner must sign application.

CITY PROPERTY AGENT

4/28/03

Peter Krick

256-4003

REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Standards. No review will be performed at this time. This Plat is returned to the client for revisions.

CITY CODE ENFORCEMENT

5/12/03

Nina McNally

256-4103

Code Enforcement comments and questions are based upon the most frequently addressed code violations for new construction/uses as they may apply to this project and are subject to comments of other review agencies.

1. Owner must maintain all vegetation, fences, walls and berms so that there is no sight distance hazard nor road or pedestrian hazard. ZD 6.5
2. Outdoor storage and display must conform to Zoning District regulations for the I-1 Zone (ZD Chapter 3) and Outdoor Storage, Non-res. 4.1.I.2.
3. Project must conform to off-street parking and loading provisions set forth at ZD 6.6 and landscaping as approved must be maintained ZD 6.5.B.15
4. Dust control measures must be taken during construction and for any parking areas Municipal Code 16-126, and parking areas maintained as required at ZD 6.6.A.9.b.
5. Adequate shielded lighting shall be provided for all parking facilities used at night ZD 6.6.A.8.
6. ALL outside light sources shall conform to the standards set forth at ZD 7.2.F., Nighttime Light Pollution. INDUSTRIAL AND MIXED USE ZONES must also conform to ZD 3.4.F.5.c.(3)/ZD 3.4.J.4.(3) regarding glare.
7. Permanent and temporary signs require a permit. ZD 4.2.F.a. and 4.2.D.6.
8. Fences require a permit. ZD 4.1.J.
9. Noise (Industrial Zones): Sound shall not exceed 65 db at any point on the property line ZD 3.4.F.5.c.2, G and H.

CITY TRANSPORTATION ENGINEER

5/12/03

George Miller

256-4123

Proposal is to expand site storage by 28,000 sqft. Plans also show an extension of an emergency access lane extending from the site's 22 Rd frontage to Valley Ct. Plans do not show existing area traffic related facilities on Valley Ct.

Proposal Comments:

1. There are no Urban Trails facilities needed for this site.
2. The site's 22 Rd access is not opposed to an adjacent access, nor is it the required minimum distance away from that access. It is recommended that the opposing access be relocated to align with the 84 Lumber access. If this modification cannot be made, a TEDS Exception Application must be made to address the issue. (The accepted standard for access spacing is now 50' for this type of adjacent land use. See TEDS chap 14 for Exception Application information.)
3. It is not clear from the plans whether the proposed emergency access route. Will have full access to Valley Ct.. If this is the case (that the Valley Ct. access point will be ungated.) then plans will have to be amended to show area transportation facilities such as signing, striping, access points, etc. to allow evaluation of the proposed access point.

MESA COUNTY BUILDING DEPT

4/28/03

Bob Lee

244-1656

Project must comply to all local building codes and contractor licensing laws. Need a separate building permit for each building. Larger building may require a fire protection system.

GRAND JUNCTION DRAINAGE DISTRICT

5/12/03

John Ballagh

242-4343

The platted subdivision is within the District. The Drainage District easement reflects the existing open drainage channel known as PERSIGO WASH. Fencing into the channel of the wash should be strongly discourage as it can become a significant trash catcher and act as a dam during high runoff events causing potentially higher water levels upstream.

The plans do not require change as far as the Drainage District is concerned.

If there are any questions please contact the office.

UTE WATER

4/28/03

Jim Daugherty

242-7491

COMMENT

- * Mechanical plans for site and facility are required for cross connection review. This set of mechanical drawings need to be left with Ute for future reference.
- * Water meters or wet taps will not be sold until a cross connection review is done from the mechanical drawings.
- * A cross connection review must be completed, and an agreement that proper cross-connection devices will be installed must occur prior to Ute Water's approval.
- * ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY

If you have any questions concerning any of this, please feel free to contact Ute Water.

Comments not available as of 5/20/03:

CDOT

Grand Valley Irrigation

Qwest

Xcel

August 12, 2003

Re: SPR-2003-075
EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

REVIEW COMMENTS

1. Revise the name of the subdivision in the lower right corner to reflect the correct name as used at the top of the sheet.
2. All letter height shall be 0.08 minimum.
3. The word "purchaser" is misspelled within the NOTES located on the left side of the sheet.

By: Peter T. Krick
Professional Land Surveyor for
The City of Grand Junction

AP
8/13/03

Pat



City of Grand Junction
Department of Public Works and Utilities
Engineering Division
250 North Fifth Street
Grand Junction, CO 81501-2668
FAX: (970) 256-4011

July 11, 2003

RG Engineers
366 Main Street, Suite 203
Grand Junction, CO 81501

Regarding: SPR-2003-075: 84 Lumber Yard Expansion

Dear Mark:

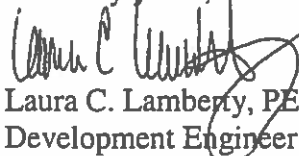
After our discussion July 9 regarding the referenced development application and your recount of specific general meeting items, the City has reconsidered our requirement for half street improvements on the adjoining 84 Lumber parcel. The City is standing by the original specific determination that half street-improvements would not be required if the application was structured as such.

For reference, the requirement stemmed from the application of the half-street improvement requirement in the code to the *development* or *property*. The definitions of these terms are contained in Chapter 9 of the Zoning and Development Code which extends the meaning to adjacent parcels under the same ownership.

We will still ask that you confirm that 60' of right-of-way exist along the 22 Road frontage of all lots under this common ownership and dedicate a 14' multi-purpose easement to the City of Grand Junction if it is not in place. The existing easement is for utilities and drainage, and not for roadway appurtenances and may be dedicated to a drainage district and not to the public.

If you have any questions, please contact me at 256-4155.

Sincerely yours,



Laura C. Lamberty, PE
Development Engineer

July 8, 2003

Re: SPR-2003-075
84 LUMBER SIMPLE SUBDIVISION

AP
7/24/03

REVIEW COMMENTS

1. The name of the Plat shall be revised: The title cannot begin with the words "A", "The", "Replat" or any numeric number.
2. Verify that all lettering appearing on the plat be a minimum of 0.08".
3. The vicinity map should be increased in size as the lettering is too small to read.
4. A list of all abbreviations and symbols used must be included. Common abbreviations such as N for North does not require a table.
5. Include the "seconds" within the bearing for the portion of the Westerly boundary located along Valley Court, being the 70.00 foot tangent.
6. Provide dimensions for the easements located at the Southeast corner of the Plat; the easements shall be dimensionally tied to the boundary of the Plat.
7. If there are no liens of record, the Owners Statement shall include a statement that there are no lien holders.
8. A field inspection will be performed immediately prior to recording the Plat to verify that corners indicated on the drawing are in place and as noted.

By: Peter T. Krick
Professional Land Surveyor for the
City of Grand Junction

July 8, 2003

Re: SPR-2003-075
84 LUMBER SIMPLE SUBDIVISION

REVIEW COMMENTS

1. The name of the Plat shall be revised: The title cannot begin with the words "A", "The", "Replat" or any numeric number.
2. Verify that all lettering appearing on the plat be a minimum of 0.08".
3. The vicinity map should be increased in size as the lettering is too small to read.
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7. If there are no liens of record, the Owners Statement shall include a statement that there are no lien holders.
8. A field inspection will be performed immediately prior to recording the Plat to verify that corners indicated on the drawing are in place and as noted.

By: Peter T. Krick
Professional Land Surveyor for the
City of Grand Junction

GRAND JUNCTION DRAINAGE DISTRICT

P.O. BOX 969 GRAND JUNCTION, CO 81502
(970) 242-4343 FAX (970) 242-4348

*AP
5/12/03*

Date: May 2, 2003
To: Grand Junction Community Development Department
Attention: Pat Cecil
From: John L. Ballagh, Manager
Subject: 84 Lumber, yard expansion SPR 2003-075

The platted subdivision is within the District. The Drainage District easement reflects the existing open drainage channel known as PERSIGO WASH. Fencing into the channel of the wash should be strongly discouraged as it can become a significant trash catcher and act as a dam during high runoff events causing potentially higher water levels upstream.

The plans do not require change as far as the Drainage District is concerned.

If there are any questions please contact the office.

Pat

From: "jim daugherty" <jdaugherty@utewater.org>
To: "Comm Dev" <CommDev@ci.grandjct.co.us>
Date: Fri, Apr 25, 2003 12:55 PM
Subject: 84 LUMBER

*AP
4/25/03*

Ute Water Conservancy District
Review Number
SPR-2003-075
Review Name
84 LUMBER

* COMMENT

- * Mechanical plans for site and facility are required for cross connection review. This set of mechanical drawings need to be left with Ute for future reference.
 - * Water meters or wet taps will not be sold until a cross connection review is done from the mechanical drawings.
 - * A cross connection review must be completed, and an agreement that proper cross-connection devices will be installed must occur prior to Ute Water's approval.
 - * ALL FEES AND POLICIES IN EFFECT AT TIME OF APPLICATION WILL APPLY
- If you have any questions concerning any of this, please feel free to contact Ute Water.

Edward Tolen P.E.
Project Engineer, Ute Water

Jim Daugherty
New Services Coordinator, Ute Water

DATE 4/25/03

PHONE OFFICE 242-7491
FAX 242-9189
EMAIL jdaugherty@utewater.org

CC: "Jim Hatheway" <jimhatrg@aol.com>

Pat

April 23, 2003

Re: SPR-2003-075
84 LUMBER SIMPLE SUBDIVISION

AP
4/28/03

REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Standards. No review will be performed at this time. This Plat is returned to the client for revisions.

By: Peter T. Krick
Professional Land Surveyor for the
City of Grand Junction

TCP 6,832.
Drainage 11,367.25

\$ 18,199.25

Pat

From: "Bob Lee" <BLee@co.mesa.co.us>
To: <CommDev@ci.grandjct.co.us>
Date: Wed, Apr 23, 2003 2:06 PM
Subject: Agency Review

*AP
4/28/03*

SPR-2003-075 Project must comply to all local building codes and contractor licensing laws. Need a separate building permit for each building. Larger building may require a fire protection system.

City of Grand Junction
Community Development Department
250 North 5th Street
Grand Junction CO 81501

Telephone: (970) 244-1430
Fax: (970) 256-4031
Email: CommDev@ci.grandjct.co.us



Review Agency Comment Sheet

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

Date: 14 MARCH 03

To Review Agency: REAL ESTATE MANAGER

File No: SPR-2003-075
(To be filled in by City Staff)

Staff Planner: Pat Ceel
(To be filled in by City Staff)

Project Name: 84 LUMBER - YARD EXPANSION

Location: 762 & 764 VALLEY COURT

Development Review Meeting Date: 5/13/03
(To be filled in by City Staff)

COMMENTS *(For Review Agency Use)*

Outside Review Agencies: Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

City Review Agencies: Please type your comments in Impact AP.

**All comments must be returned to the
Community Development Department no later than**
(To be filled in by City Staff) 5/12/03

NOTE: Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

PETER T. KRICK
Reviewed By
4/23/2003
Date

Email Address Telephone

April 23, 2003

Re: SPR-2003-075
84 LUMBER SIMPLE SUBDIVISION

REVIEW COMMENTS

This Plat does not meet the current City of Grand Junction Platting Standards. No review will be performed at this time. This Plat is returned to the client for revisions.

By: Peter T. Krick
Professional Land Surveyor for the
City of Grand Junction



CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5th Street • Grand Junction, CO 81501

May 5, 2003

ACCEPTANCE LETTER

A submittal for the 84 Lumber Yard Expansion (SPR-2003-075) has been accepted for review.

If you have any questions regarding the status of this project review, please contact Pat Cecil, the project planner, at 244-1439 or patc@ci.grandjct.co.us.

Review comments for the project will be available on 5/20/03 after 4:00 P.M., approximately 5 weeks from the application submittal date.

If this project requires a public hearing, a sign must be posted on the property a minimum of ten (10) days in advanced of the hearing. There will be a \$50.00 refundable deposit required at the time the sign is picked up from Community Development.

cc: SPR-2003-075

General Meeting/Pre-Application Conference Checklist

Date 2/10/03
2697-361-07-001
Tax Parcel # 2697-361-07-002

Applicant _____ Phone _____ Tax Parcel # _____

Location 762, 764 Valley Ct. Proposal Expand 8th Lumber

Meeting Attendees _____

While all factors in a development proposal require careful thought, preparation and design, the following circled items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General meetings and pre-application conference notes/standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

ZONING & LAND USE

- a. Zoning: I-1
- b. Future Land Use Designation:
- c. Growth Plan, Corridor & Area Plans Applicability:

OFF-SITE IMPACTS

- a. access/right-of-way required
- b. traffic impact
- c. street improvements
- d. drainage/stormwater management
- e. availability of utilities

SITE DEVELOPMENT

- a. bulk requirements
- b. traffic circulation
- c. parking (off-street: handicap, bicycle, lighting) per code
- d. landscaping (street frontages, parking areas) per code
- e. screening & buffering
- f. lighting & noise per code
- g. signage

MISCELLANEOUS

- a. revocable permit
- b. State Highway Access Permit
- c. floodplain, wetlands, geologic hazard, soils
- d. proximity to airport (clear or critical zone)

OTHER

- a. related files _____
- b. neighborhood meeting

FEES

- a. application fee: \$290 + \$50 for names addresses
Due at submittal. Checks payable to City of GJ
- b. Transportation Capacity Payment (TCP):
- c. Drainage fee:
- d. Parks Impact Fee:
- e. Open Space Fee or Dedication:
- f. School Impact Fee:
- g. Recording Fee:
- h. Plant Investment Fee (PIF) (Sewer Impact):

PROCESSING REQUIREMENTS

- a. Documents - ZDC, SSID, TEDS, SWMM
- b. Submittal Requirements/Review Process
- c. Annexation (Persigo Agreement)

PLANNER'S NOTES

1) Simple subdivision required to merge 2-lots if buildings are to cross lot lines.

2) Landscaping required along Valley Ct. frontage, interior landscaping to code.

City of Grand Junction
Community Development Department
250 North 5th Street
Grand Junction CO 81501

Telephone: (970) 244-1430
Fax: (970) 256-4031
Email: CommDev@ci.grandjct.co.us



Review Agency Comment Sheet

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

Date: 14 MARCH 03

To Review Agency: CITY COMMUNITY DEVELOPMENT

File No: SPR-2003-075
(To be filled in by City Staff)

Staff Planner: Pat Cecil
(To be filled in by City Staff)

Project Name: 84 LUMBER - YARD EXPANSION

Location: 762 & 764 VALLEY COURT

Development Review Meeting Date: 5/13/03
(To be filled in by City Staff)

COMMENTS *(For Review Agency Use)*

Outside Review Agencies: Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

City Review Agencies: Please type your comments in Impact AP.

**All comments must be returned to the
Community Development Department no later than**

(To be filled in by City Staff) 5/12/03

NOTE: Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Reviewed By _____ Date _____

Email Address _____ Telephone _____

APPLICATION COMPLETENESS REVIEW

Use "N/A" for items which are not applicable

Date: 4/21/03

Project Name: 84 Lumber - Yard Expansion (if applicable)

Project Location: 762 & 764 Valley Ct. (address or cross-streets)

Check-In Staff Community Development: PC initials of check-in
Development Engineer: _____ staff members

APPLICATION TYPE(S): SPR & SS (one file)
(e.g. Site Plan Review)

FEE PAID: Application: 140 BALANCE DUE:
Acreage: 75 Yes amount \$ _____
Public Works: 75 No

COMPLETENESS REVIEW:
Originals of all forms received w/signatures? Yes No, list is missing items below

50 for tables

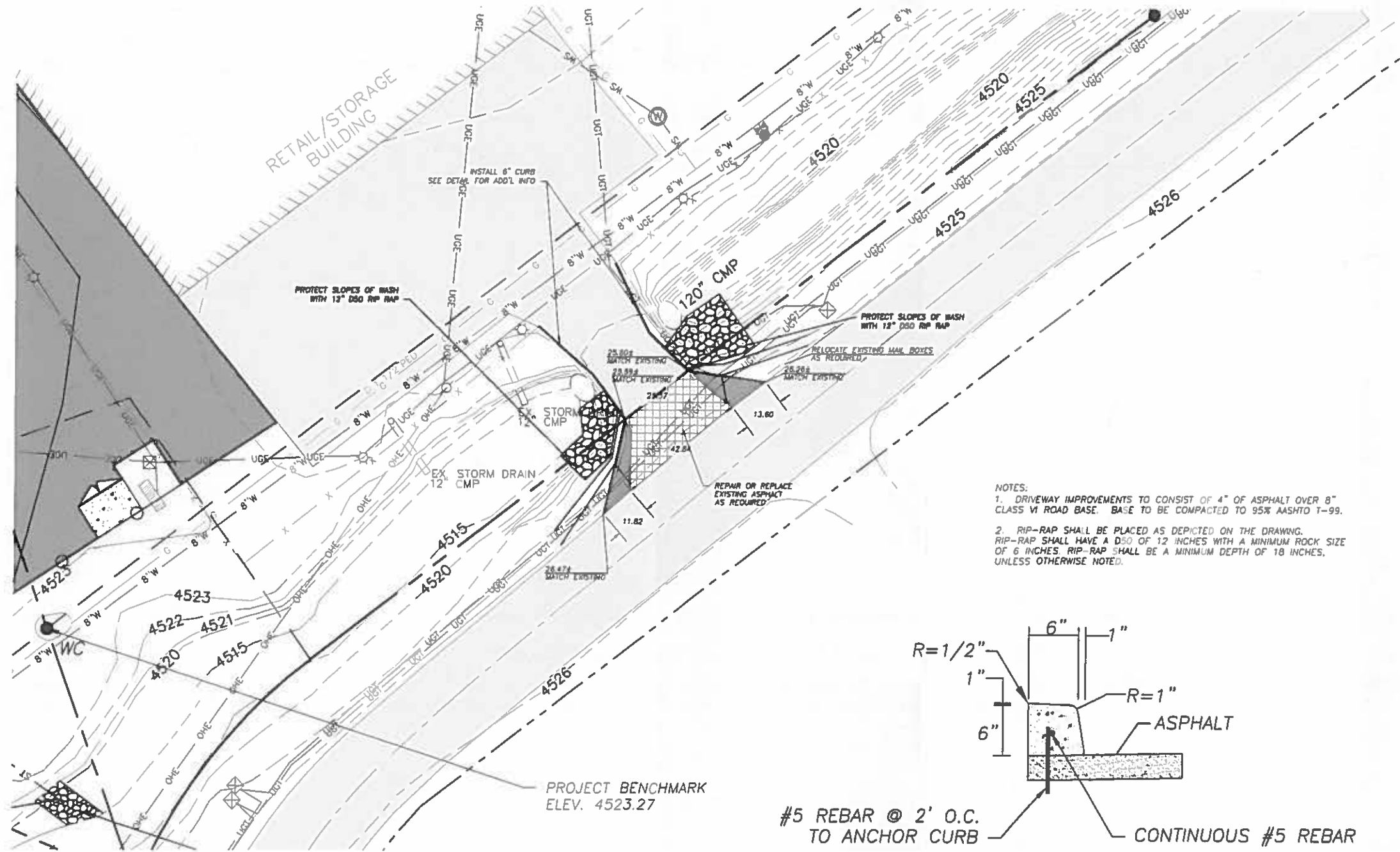
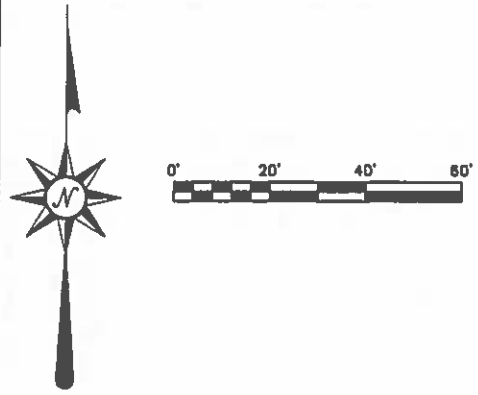
- _____
- _____
- _____

Missing drawings, reports, other materials: No Yes, list missing items below
Note: use SSID checklist

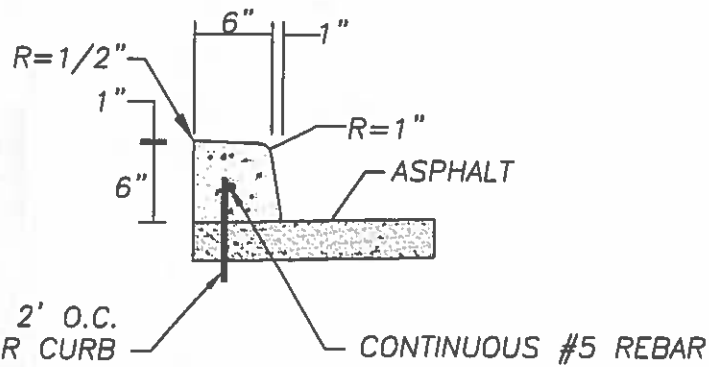
- _____
- _____
- _____

Incomplete drawings, reports, other materials? No Yes, list missing items below
Note: Attach SSID checklist(s) w/incomplete information identified

- _____
- _____
- _____



NOTES:
 1. DRIVEWAY IMPROVEMENTS TO CONSIST OF 4" OF ASPHALT OVER 8" CLASS VI ROAD BASE. BASE TO BE COMPACTED TO 95% AASHTO T-99.
 2. RIP-RAP SHALL BE PLACED AS DEPICTED ON THE DRAWING. RIP-RAP SHALL HAVE A D50 OF 12 INCHES WITH A MINIMUM ROCK SIZE OF 6 INCHES. RIP-RAP SHALL BE A MINIMUM DEPTH OF 18 INCHES, UNLESS OTHERWISE NOTED.



VERTICAL CURB
N.T.S.

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED STORM DRAIN
	PROPOSED V-PAN
	EXISTING V-PAN
	EXISTING FENCE
	PROPOSED 6" CHAINLINK FENCE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING PHONE LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED GRADE BREAK LINE
	PROPOSED SWALE FLOWLINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING WATER METER
	EXISTING LIGHT POLE
	PROPOSED LIGHT
	EXISTING FIRE HYDRANT
	PROPOSED AREA INLET
	PROPOSED ROOF DRAIN
	PROPOSED TRAFFIC FLOW DIRECTION
	PROPOSED ASPHALT
	EXISTING ASPHALT
	PROPOSED ALL-WEATHER SURFACE
	PROPOSED CONCRETE
	PROPOSED CLASS VI BASE 6" THICK
	PROPOSED FLOW ARROWS

CALL UNITY FOR MORE INFORMATION
 COUNTY OF COLORADO
1-800-822-1987
 CALL & MAKE SURE YOU ARE IN CONTACT WITH THE CORRECT OFFICE. IF YOU ARE NOT SURE, CALL THE OFFICE OF THE COUNTY ENGINEER.
SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY.

NO.	DATE	REVISIONS

rg consulting engineers, inc.
 338 Main Street, Suite 203 • Grand Junction, Colorado • 81501
 (970) 242-7540

64 LUMBER YARD
22 ROAD ACCESS IMPROVEMENT PLAN
 PREPARED BY
PIERCE HARDY LIMITED PARTNERSHIP

DATE	11 SEP 03
SCALE	1"=20'
SHEET NO.	G1
JOB NUMBER	636.0002
DESIGNED BY	
CHECKED BY	
APPROVED BY	
DATE	



rg consulting engineers, inc.

denver • durango • grand junction • trinidad

12 August 2003

Mr. Rick Dorris
Development Engineer
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

**Re: SPR-2003-075: 84 Lumber Yard Expansion
TEDS Exception Request**

Dear Mr. Dorris,

RG Consulting Engineers (RGCE) is requesting an exception from the City of Grand Junction's Transportation Engineering Design Standards (TEDS) Section 4.1.1-Spacing. This section requires a minimum of 150 feet between site access locations.

The TEDS exemption is being requested for the existing access for 84 Lumber (779 22 Road) off of 22 Road. A gravel driveway for a private residence is offset from 84 Lumber's access by approximately 35 feet (centerline to centerline) on the east side of 22 Road.

The existing residential home, which generates only a few daily trips, is a "non-conforming" use because it is located on property that is zoned industrial. It has a good potential of being developed in the future. Therefore, it is our opinion that 84 Lumber should not be required to "relocate" their driveway to align with a "non-conforming" use site. Because the residential property will more than likely redevelop in the future, it makes sense to adjust the driveway location for this property at that time.

The traffic flow using 84 Lumber's existing driveway is not expected to change appreciably because of the expansion. The proposed expansion of the yard onto the adjacent parcel is simply to alleviate storage issues as 84 Lumber continues to provide inventory that meets the needs of the Grand Valley. Additionally, as long as the opposing driveway continues to serve a residence, the potential for conflicts between vehicles entering 22 Road from either property will continue to be minor because of the minimal vehicle trips generated by residences.

RECEIVED

AUG 12 2003

COMMUNITY DEVELOPMENT
DEPT.

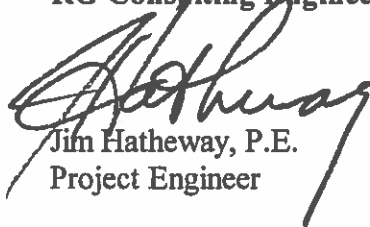
Mr. Rick Dorris
August 12, 2003
Page 2 of 2

During the pre-application process conducted for this project, the City of Grand Junction strongly encouraged the applicant to provide a "shared" access with the current 84 Lumber site. This is exactly what the applicant has proposed, and for the City to now go back and require them to relocate their driveway (a large multi-plate pipe culvert over the Persigo Wash that will be extremely difficult and expensive to accomplish) to meet a non-conforming driveway does not make sense.

Alternatives available to solve the problem are to relocate the existing access for 84 Lumber or relocate the opposing residential access. The 84 Lumber driveway crosses Persigo Wash. Relocating the 84 Lumber driveway will place an undue hardship on 84 Lumber because of the size of the culvert, the amount of water flowing in Persigo Wash, potential wetland impacts, and short term access issues for customers and delivery vehicles. The other alternative is to relocate the opposing gravel driveway to be in alignment with the existing 84 Lumber access. This is not appropriate because the opposing access serves a nonconforming use (residential) and the development that eventually occurs on this property will relocate the access to conform to the TEDS as well as the access needs of the future development.

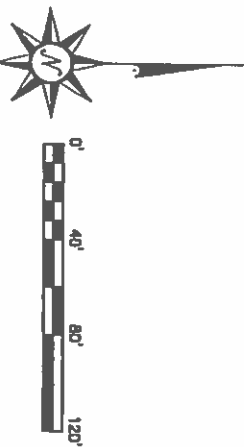
I appreciate your time in reviewing and responding to this exception request. If you have any questions, I can be reached at 242-7540.

Sincerely,
RG Consulting Engineers, Inc.



Jim Hatheway, P.E.
Project Engineer

Attachments:
11 X 17 Site Plan
Aerial Photo of Site

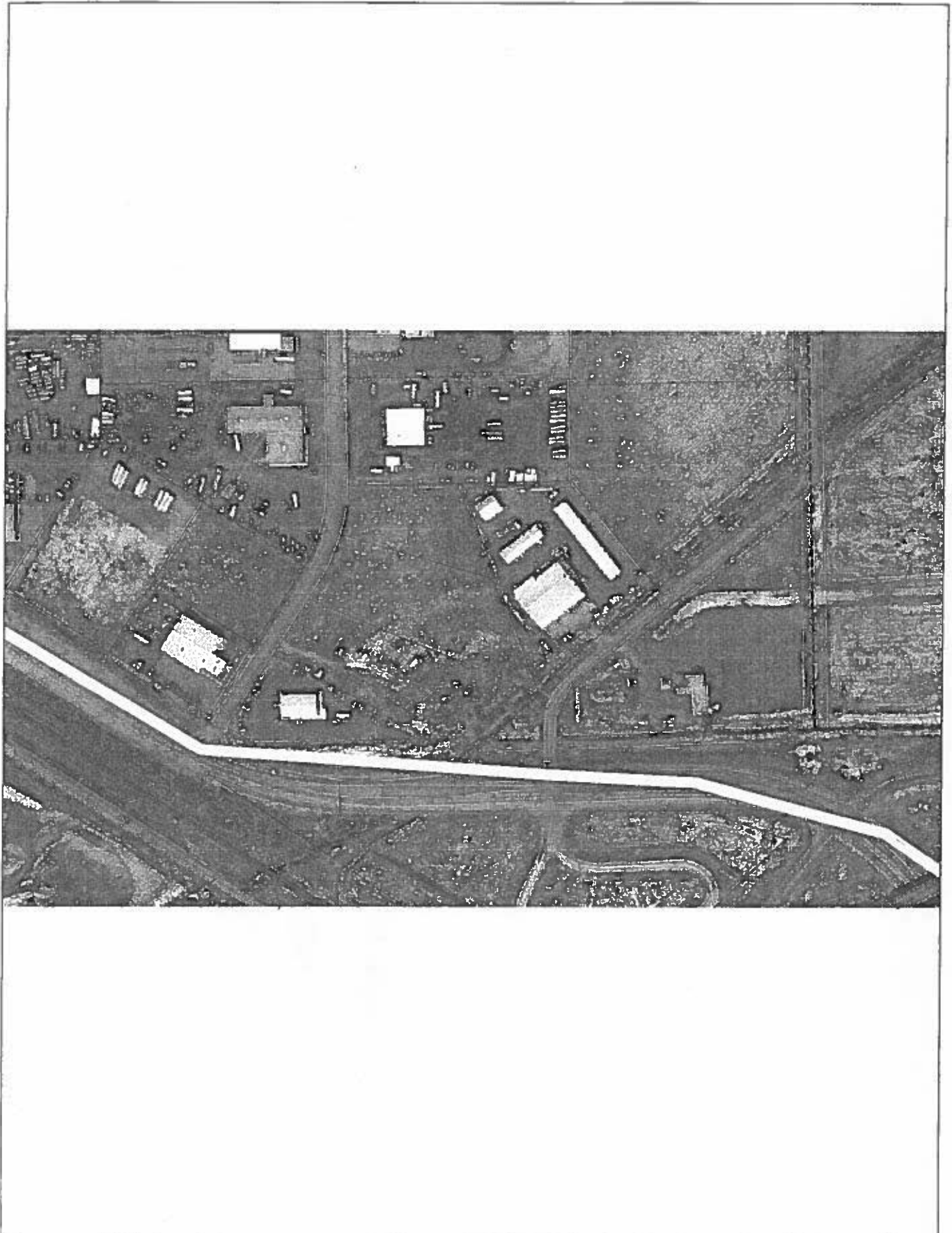


LOT 19
VALLEY WEST SUBDIVISION, FILING NO. 3
766 VALLEY CT
2697-361-03-009
1-1 ZONING
Balford Land & Livestock LLC
Reloading Pond

LAND USE SUMMARY			
LAND USE	ACRES	PERCENT	
PAVING/CONC.	2.087	45.27%	
GRAVEL	1.096	23.58%	
LANDSCAPE	0.794	17.22%	
BUILDING	0.643	13.93%	
TOTAL	4.61	100.00%	

LEGEND			
	EXISTING CONTOUR		
	PROPOSED BUILDING		
	EXISTING BUILDING		
	PROPOSED STORM DRAIN		
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	EXISTING 2460\"/>		

Zoning Map



FAT,

Here's a layout for
Larson. We managed to
Convince Rochelle to
to what we want. TAKE A
look at this & let us know
what you guys think.

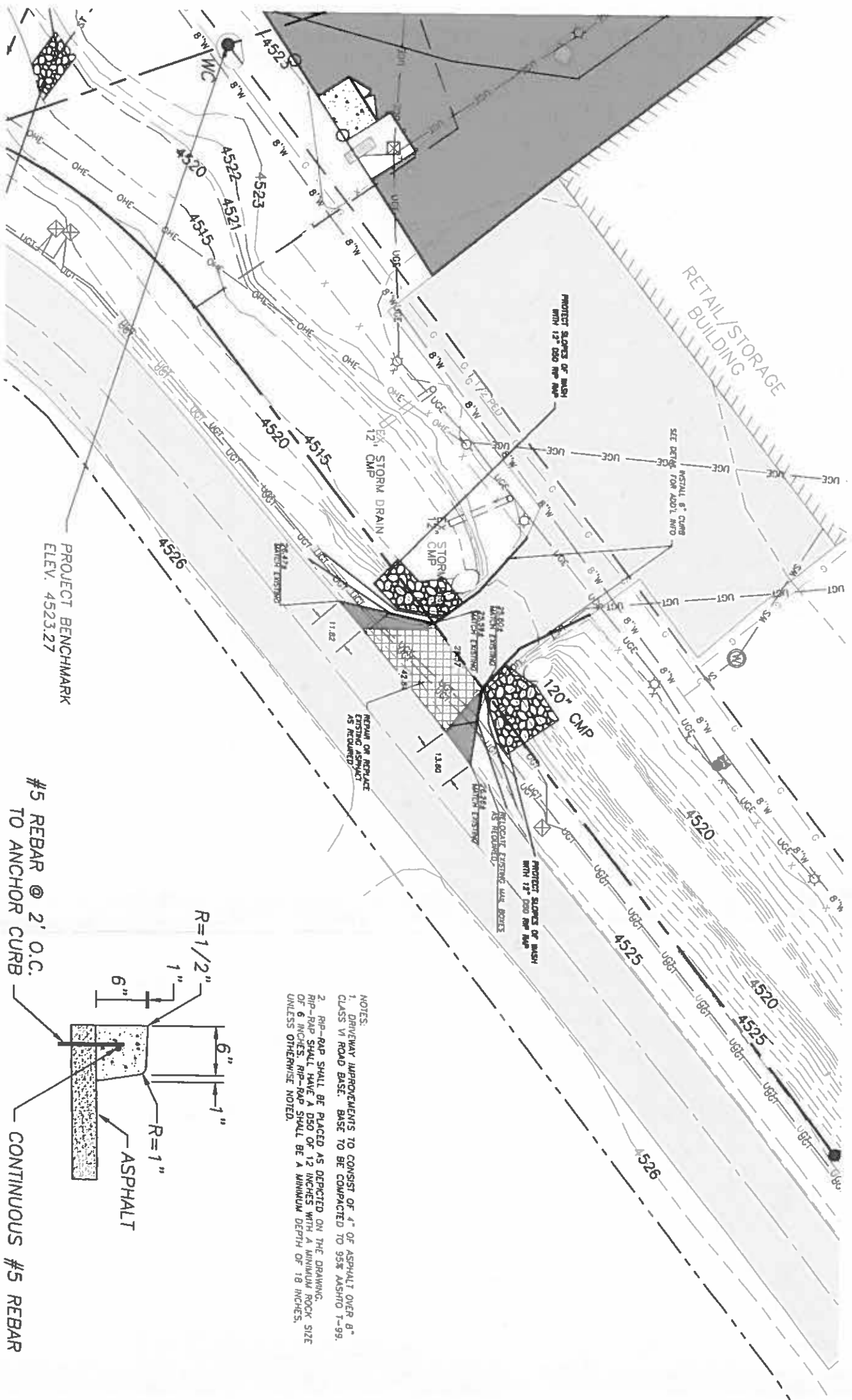
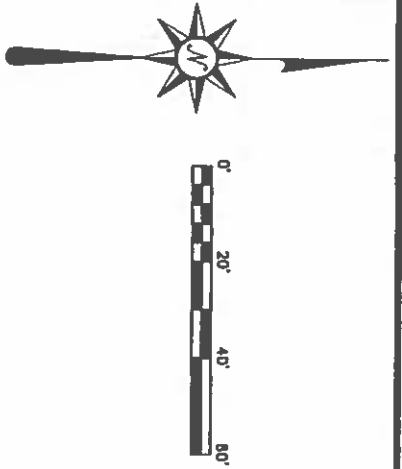
Agate St,
Diam

P.S. Have Laura &
Have George take
a look also.

RECEIVED

AUG 14 2003

COMMUNITY DEVELOPMENT
DEPT

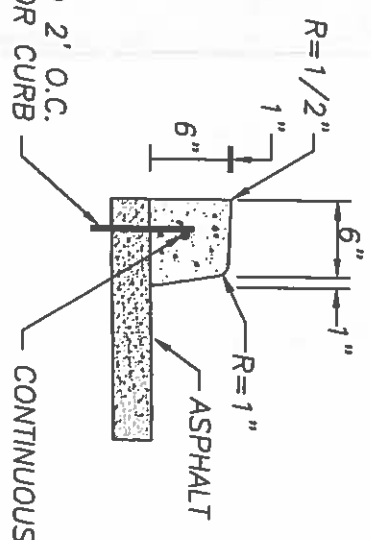


PROJECT BENCHMARK
ELEV. 4523.27

#5 REBAR @ 2' O.C.
TO ANCHOR CURB

VERTICAL CURB

N.T.S.



- NOTES:
1. DRIVEWAY IMPROVEMENTS TO CONSIST OF 4" OF ASPHALT OVER B" CLASS VI ROAD BASE. BASE TO BE COMPACTED TO 95% AASHO T-99.
 2. RIP-RAP SHALL BE PLACED AS DEPICTED ON THE DRAWING. RIP-RAP SHALL HAVE A D50 OF 12 INCHES WITH A MINIMUM ROCK SIZE OF 6 INCHES. RIP-RAP SHALL BE A MINIMUM DEPTH OF 18 INCHES, UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED STORM DRAIN
	EXISTING V-PIPE
	PROPOSED V-PIPE
	EXISTING FENCE
	PROPOSED 6" CHAINLINK FENCE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING PHONE LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING EASEMENT LINE
	EXISTING BREAK LINE
	PROPOSED STORM DRAIN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING WATER METER
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	PROPOSED AREA W/let
	PROPOSED ROOF DRAIN
	PROPOSED TRAFFIC FLOW DIRECTION
	PROPOSED ASPHALT
	EXISTING ASPHALT
	PROPOSED ALL-WEATHER SURFACE
	PROPOSED CONCRETE
	PROPOSED CLASS VI BASE 6" THICK
	PROPOSED FLOW ARROWS

84 LUMBER YARD

22 ROAD ACCESS IMPROVEMENT PLAN

PIERCE HARDY LIMITED PARTNERSHIP

rg consulting engineers, inc.
336 Main Street, Suite 203 - Grand Junction, Colorado - 81501
(970) 242-7540

REVISIONS		
NO.	DESCRIPTION	DATE BY

CALL UTILITY LOCATIONS
CENTER OF COLORADO
1-800-822-1987

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. CHECK ON
ACCURACY AND THE DEPTH OF UNDERGROUND UTILITIES.

SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

DATE:	11 SEP 03
SCALE:	1"=20'
SHEET NO:	61

DATE 29 MAY 03PROJECT 84 LUMBER

JOB NO. _____

TASK RUNOFF COMPARISON TO VALLEY COURT

BY _____

CHK'D _____

RECEIVE
SHEET

JUN 17 2003

UNDEVELOPED FLOW TO VALLEY COURT

4523.7 TO 4521.6

ASSUME TYPE C SAND
 $C_{100} = 0.26$ BARE GROUND COMMUNITY DEVELOPMENT DEPT.

$$L_0 = 526.6$$

$$S_0 = 0.4\% \Rightarrow V = 0.7 \text{ fps}$$

$$T_0 = \frac{1.8(1.1-C)\sqrt{L}}{\sqrt[3]{S}} = \frac{1.8(1.1-0.26)\sqrt{300}}{\sqrt[3]{0.4}} = 35.5 \text{ min}$$

$$T_s = \frac{L}{60V} = \frac{230}{60(0.7)} = 5.5 \text{ min}$$

$$T_c = 41 \text{ min}$$

$$I_{100} = 1.76 \text{ in/hr}$$

$$Q = CIA = 0.26(1.76)(4.6 \text{ AC}) = 2.1 \text{ CFS}$$

DEVELOPED FLOW TO VALLEY COURT

$$\textcircled{A} \text{ V-PAN} \Rightarrow A = 0.54 \text{ AC}, L = 270', S = 0.5\% \Rightarrow V = 1.5 \text{ fps}$$

$$\text{CHANNEL FLOW} \Rightarrow T_c = \frac{L}{60V} = \frac{270}{60(1.5)} = 3 \text{ MIN} \Rightarrow \text{USE } 5 \text{ MIN} \Rightarrow I_{100} = 4.41 \text{ in/hr}$$

$$C_{100} = \frac{0.34(0.95) + 0.20(0.46)}{0.54} = 0.76$$

$$Q_{100} = (0.76)(4.41)(0.54) = 1.8 \text{ CFS}$$

$$\textcircled{B} \text{ OVERLAND FLOW TO SW COR TO VALLEY COURT}$$

$$A = 1.29 \text{ AC} \quad C_{100} = 0.46$$

$$L_0 = 320'$$

$$S_0 = \frac{23.1 - 21.6}{320} = 0.5\%$$

$$T_c = \frac{1.8(1.1-0.46)\sqrt{320}}{\sqrt[3]{0.5}} = 25.9 \text{ MIN} \Rightarrow I_{100} = 2.34 \text{ in/hr}$$

$$Q = 0.46(2.34)(1.29) = 1.39 \text{ CFS}$$

$$Q_{\text{TOTAL}} = 3.2 \text{ CFS TO VALLEY COURT}$$

∴ INCREASE IN FLOW TO VALLEY COURT MINIMAL
2.1 CFS VS 3.2 CFS

3' PAN
2.5" DEEP



DATE _____
JOB NO. _____
BY _____
CHK'D _____

PROJECT V-PAN SIZING FOR 84 LUMBER
TASK _____

SHEET _____

V-PAN SIZING E. PROPERTY LINE

$$A = 1.4AL$$

$$C_2 = 0.93$$

$$L = 553 \text{ ft}$$

$$S = 0.5\% \Rightarrow V = 1.5 \text{ fps}$$

$$T_c = \frac{L}{60V} = \frac{553}{60(1.5)} = 6.1 \text{ MIN} \Rightarrow I_z = 1.07 \text{ IN/HR}$$

$$Q_2 = C I A = 0.93 (1.07) (1.4) = 1.39 \text{ CFS}$$

V-PAN SIZING TO VALLEY COURT

$$A = 0.54AL$$

$$L = 270'$$

$$S = 0.5\% \Rightarrow V = 1.5 \text{ fps}$$

$$T_c = \frac{270}{60(1.5)} = 3 \text{ MIN} \Rightarrow \text{USE } 5 \text{ MIN} \Rightarrow I_z = 1.11 \text{ IN/HR}$$

$$C_2 = 0.93$$

$$Q_2 = 0.93 (1.11) (0.54) = 0.56 \text{ CFS}$$

84 LUMBER V-PAN CAPACITY
Worksheet for Triangular Channel

Project Description	
Project File	f:\hydrology\haestad\fmw\84lumber.fm2
Worksheet	VPAN CAPACITY
Flow Element	Triangular Channel
Method	Manning's Formula
Solve For	Discharge

Input Data	
Mannings Coefficient	0.013
Channel Slope	0.005000 ft/ft
Depth	0.23 ft
Left Side Slope	14.400000 H : V
Right Side Slope	14.400000 H : V

Results		
Discharge	1.45	cfs
Flow Area	0.76	ft ²
Wetted Perimeter	6.64	ft
Top Width	6.62	ft
Critical Depth	0.23	ft
Critical Slope	0.005085	ft/ft
Velocity	1.91	ft/s
Velocity Head	0.06	ft
Specific Energy	0.29	ft
Froude Number	0.99	
Flow is subcritical.		

DATE 29 MAY 03PROJECT 84 LUMBER STORM SEWER

JOB NO. _____

TASK _____

BY _____

CHK'D _____

SHEET _____

STORM SEWER SIZINGINLET #1

$$A = 0.66 \text{ AC}$$

$$L_0 = 100'$$

$$S_0 = 1\%$$

$$C_{100} = 0.95$$

$$T_0 = \frac{1.8(1.1-0.95)\sqrt{100}}{\sqrt[3]{1}} = 2.7 \text{ MIN} \Rightarrow \text{USE } 5 \text{ MIN} \Rightarrow I_{100} = 4.41 \text{ "/HR}$$

$$Q_{100} = 0.95(4.41)(0.66) = 2.7 \text{ CFS (USE 15" PIPE OUT OF INLET #1)}$$

INLETS 1 & 2

$$A = 1.46 \text{ AC}$$

$$C_{100} = 0.95$$

$$T_0 = 2.7 \text{ MIN}$$

$$L_p = 220'$$

$$S_p = 0.5\% \Rightarrow V = \frac{Q}{A} = \frac{2.7 \text{ CFS}}{0.62 \text{ FT}^2} = 4.4 \text{ FPS}$$

$$T_L = \frac{220}{60(4.4)} = 0.8 \text{ MIN}$$

$$T_c = 3.5 \text{ MIN} \Rightarrow \text{USE } 5 \text{ MIN} \Rightarrow I_{100} = 4.41 \text{ "/HR}$$

$$Q_{100} = 0.95(4.41)(1.46) = 6.1 \text{ CFS (USE 18" PIPE OUT OF INLET #2)}$$

INLETS 1, 2, & 3 \leftarrow V-PAN AREA

$$A = 1.6 \text{ AC} + 1.4 \text{ AC} = 3 \text{ AC}$$

$$T_c \text{ V-PAN} = 6.1 \text{ MIN} \leftarrow \text{LONGEST } T_c \Rightarrow I_{100} = 4.23 \text{ "/HR}$$

$$T_c \text{ INLETS} = 3.5 \text{ MIN} + \frac{220}{60(5 \text{ FPS})} = 4.2 \text{ MIN}$$

$$Q_{100} = 0.95(4.23 \text{ "/HR})(3 \text{ AC}) = 12 \text{ CFS (USE 21" PIPE OUT OF INLET #3)}$$

15" STORM SEWER CAPACITY
Worksheet for Circular Channel

Project Description	
Project File	f:\hydrology\haestad\fmw\184\lumber.fm2
Worksheet	STORM SEWER
Flow Element	Circular Channel
Method	Manning's Formula
Solve For	Full Flow Capacity

Input Data	
Mannings Coefficient	0.011
Channel Slope	0.005000 ft/ft
Diameter	15.00 in

Results	
Depth	15.0 in
Discharge	5.40 cfs
Flow Area	1.23 ft ²
Wetted Perimeter	3.93 ft
Top Width	0.00 ft
Critical Depth	0.94 ft
Percent Full	100.00
Critical Slope	0.005950 ft/ft
Velocity	4.40 ft/s
Velocity Head	0.30 ft
Specific Energy	FULL ft
Froude Number	FULL
Maximum Discharge	5.81 cfs
Full Flow Capacity	5.40 cfs
Full Flow Slope	0.005000 ft/ft

18" STORM SEWER CAPACITY
Worksheet for Circular Channel

Project Description	
Project File	f:\hydrology\haestad\fmw\84lumber.fm2
Worksheet	18" STORM
Flow Element	Circular Channel
Method	Manning's Formula
Solve For	Full Flow Capacity

Input Data	
Mannings Coefficient	0.011
Channel Slope	0.005000 ft/ft
Diameter	18.00 in

Results		
Depth	18.0	in
Discharge	8.78	cfs
Flow Area	1.77	ft ²
Wetted Perimeter	4.71	ft
Top Width	0.00	ft
Critical Depth	1.15	ft
Percent Full	100.00	
Critical Slope	0.005755	ft/ft
Velocity	4.97	ft/s
Velocity Head	0.38	ft
Specific Energy	FULL	ft
Froude Number	FULL	
Maximum Discharge	9.44	cfs
Full Flow Capacity	8.78	cfs
Full Flow Slope	0.005000	ft/ft




















**21" STORM SEWER CAPACITY
Worksheet for Circular Channel**

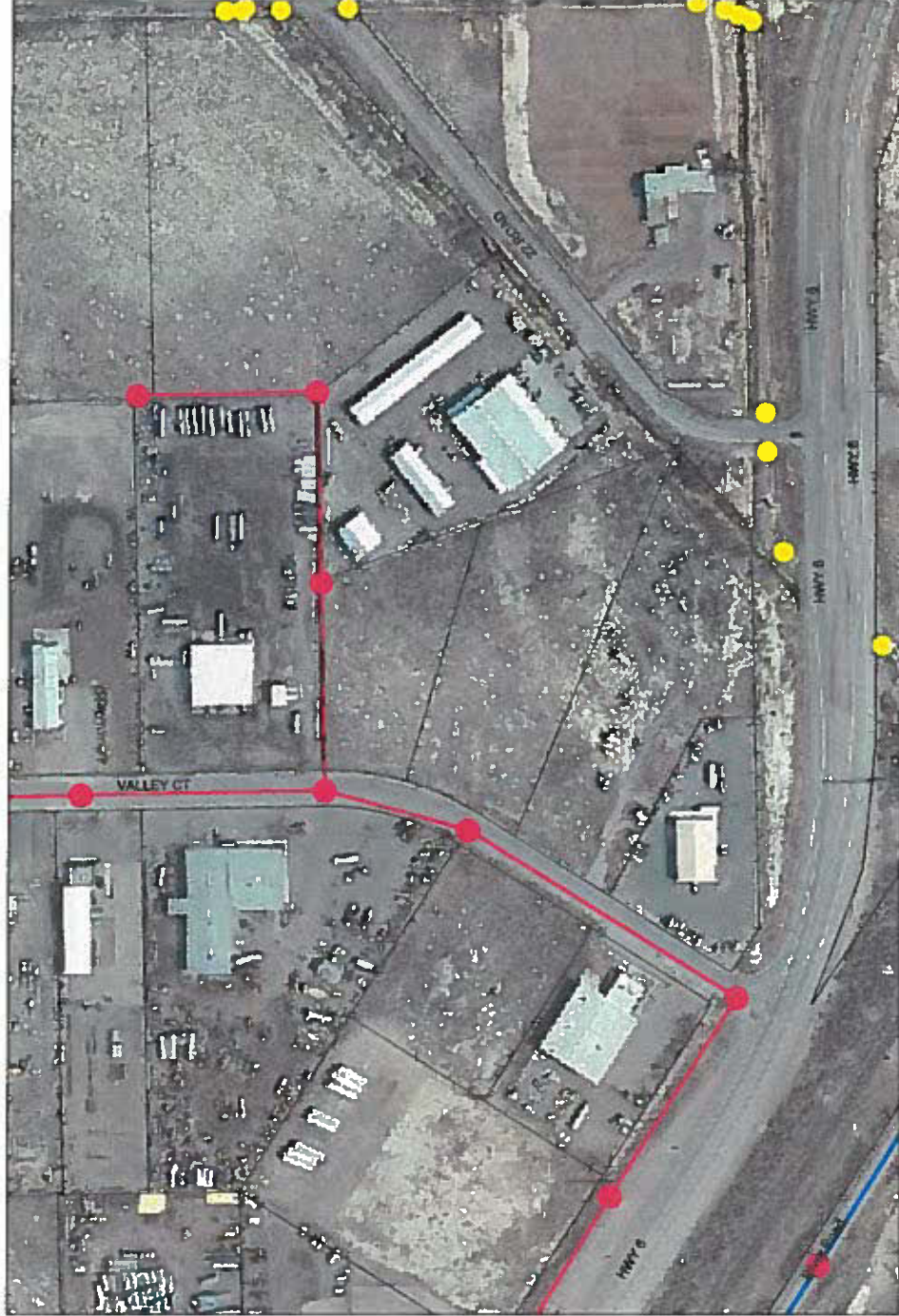
Project Description	
Project File	f:\hydrology\haestad\fmw\84\lumber.fm2
Worksheet	21" STORM SEWER CAPACITY
Flow Element	Circular Channel
Method	Manning's Formula
Solve For	Full Flow Capacity

Input Data	
Mannings Coefficient	0.012
Channel Slope	0.005000 ft/ft
Diameter	21.00 in

Results	
Depth	1.75 ft
Discharge	12.14 cfs
Flow Area	2.41 ft ²
Wetted Perimeter	5.50 ft
Top Width	0.00 ft
Critical Depth	1.30 ft
Percent Full	100.00
Critical Slope	0.006165 ft/ft
Velocity	5.05 ft/s
Velocity Head	0.40 ft
Specific Energy	FULL ft
Froude Number	FULL
Maximum Discharge	13.06 cfs
Full Flow Capacity	12.14 cfs
Full Flow Slope	0.005000 ft/ft

762 & 764 Valley Ct.

	PUMP STATIONS
	SANITARY MANHOLES
	PRIVATE MANHOLES
	COMBINED SANITARY MANHOLES
	STORM MANHOLES
	CATCH BASINS
	IRRIGATION GATES
	CATCH BASIN LATERALS
	Abandoned
	FORCE MAINS
	FORCE MAINS-NOT SURVEYED
	COMBINED SEWER
	SANITARY SEWER
	SANITARY SEWER-NOT SURVEYED
	STORM SEWER
	STORM SEWER-NOT SURVEYED
	IRRIGATION DITCHS
	Detention Ponds
	Parcels
Air Photos	



SCALE 1 : 3,600



Planning \$ <u>0</u>	Drainage <u>11,367.25</u>
TCP \$ <u>6,832.00</u>	School Impact \$ <u>0</u>

ERMIT NO.
FILE # <u>SPR-2003-075</u>

PLANNING CLEARANCE

(site plan review, multi-family development, non-residential development)

Grand Junction Community Development Department

779 22 P&P
1100T-17122

THIS SECTION TO BE COMPLETED BY APPLICANT

BUILDING ADDRESS 762 764 VALLEY COURT

TAX SCHEDULE NO. 2697-361-07-002

SUBDIVISION IBX

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 30,000

FILING _____ BLK _____ LOT S 1 & 2

SQ. FT OF EXISTING BLDG(S) 34,388

OWNER Pierce Hardy Limited Partnership

NO. OF DWELLING UNITS: BEFORE 0 AFTER 0

ADDRESS 1019 Route 519, BLDG #5
Eighty Four, PA 15330-2813

NO. OF BLDGS ON PARCEL: BEFORE 4 AFTER 6

TELEPHONE (800) 664-1984

USE OF ALL EXISTING BLDGS STORAGE & SALES

APPLICANT Pierce Hardy Limited Partnership

DESCRIPTION OF WORK & INTENDED USE: SITE

ADDRESS 1019 Route 519, BLDG #5
Eighty Four, PA 15330-2813

GRADING, IMPROVEMENTS TO FACILITATE

TELEPHONE (800) 664-1984

84 LUMBER YARD EXPANSION

Submittal requirements are outlined in the SSID (Submittal Standards for Improvements and Development) document.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE I-1

LANDSCAPING/SCREENING REQUIRED: YES NO

SETBACKS: FRONT: 15' from Property Line (PL) or
from center of ROW, whichever is greater
SIDE: 5' from PL REAR: 10' from PL

PARKING REQUIREMENT: _____
SPECIAL CONDITIONS: _____

MAXIMUM HEIGHT 40'

MAXIMUM COVERAGE OF LOT BY STRUCTURES N/A

CENSUS TRACT _____ TRAFFIC ZONE _____ ANNEX _____

Modifications to this Planning Clearance must be approved, in writing, by the Community Development Department Director. The structure authorized by this application cannot be occupied until a final inspection has been completed and a Certificate of Occupancy has been issued by the Building Department (Section 307, Uniform Building Code). Required improvements in the public right-of-way must be guaranteed prior to issuance of a Planning Clearance. All other required site improvements must be completed or guaranteed prior to issuance of a Certificate of Occupancy. Any landscaping required by this permit shall be maintained in an acceptable and healthy condition. The replacement of any vegetation materials that die or are in an unhealthy condition is required by the Grand Junction Zoning and Development Code.

Four (4) sets of final construction drawings must be submitted and stamped by City Engineering prior to issuing the Planning Clearance. One stamped set must be available on the job site at all times.

I hereby acknowledge that I have read this application and the information is correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply to the project. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to non-use of the building(s).

Applicant's Signature X Pierce Hardy Limited Partnership

Date 3-4-03

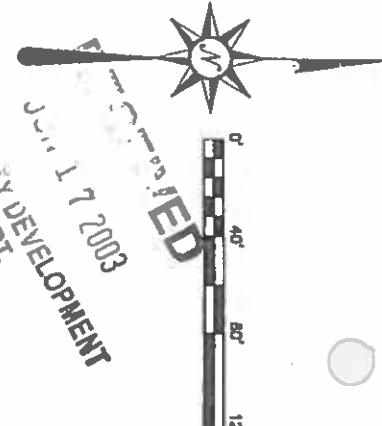
Department Approval Butler

Date 10/23/03

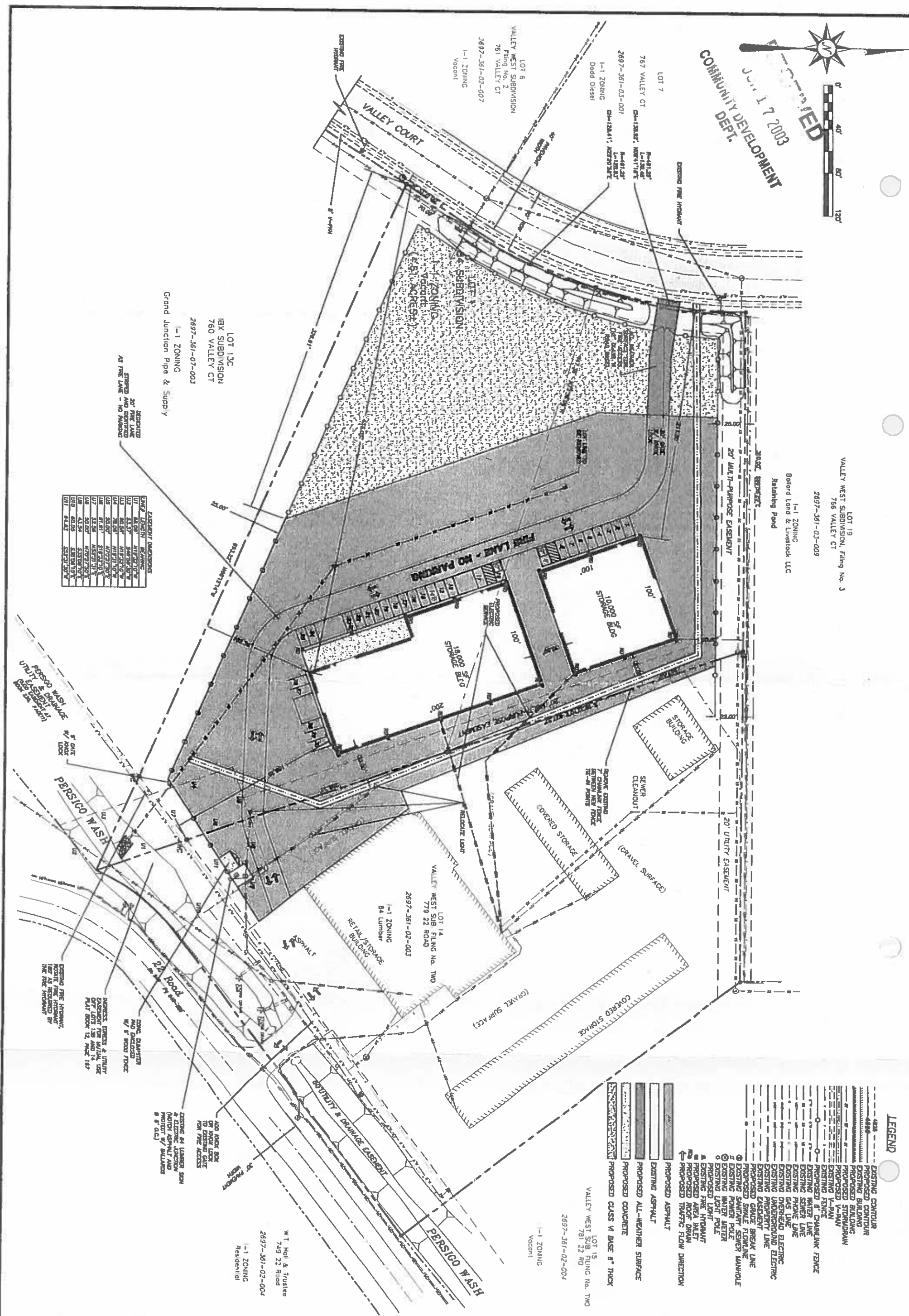
Additional water and/or sewer tap fee(s) are required:	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	W/O No. <u>yard work</u>
Utility Accounting <u>Donover</u>			Date <u>10/24/03</u>

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.C.1 Grand Junction Zoning and Development Code)

(White: Planning) (Yellow: Customer) (Pink: Building Department) (Goldenrod: Utility Accounting)



COMMUNITY DEVELOPMENT
DEPT.
JUL 17 2003



ELEMENT DIMENSIONS

LINE LENGTH	BEARING
U1	64.00' N10°00'00"W
U2	43.37' S48°50'57"W
U3	86.54' N18°32'10"W
U4	78.00' N18°11'10"W
U5	50.00' N07°07'50"E
U6	81.81' S17°37'0"E
U7	22.58' N52°31'31"E
U8	50.00' N07°07'50"E
U9	43.35' S58°10'0"E
U10	44.00' S57°13'0"E
U11	84.00' S57°13'0"E

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING STORMDRAIN
- PROPOSED STORMDRAIN
- EXISTING 1"-1" MAN
- PROPOSED 1"-1" MAN
- EXISTING CHAINLINK FENCE
- PROPOSED CHAINLINK FENCE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING OVERHEAD ELECTRIC
- PROPOSED OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING GRADE BREAK LINE
- PROPOSED GRADE BREAK LINE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING POWER POLE
- PROPOSED POWER POLE
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING ROOF FALL
- PROPOSED ROOF FALL
- EXISTING TRAFFIC FLOW DIRECTION
- PROPOSED TRAFFIC FLOW DIRECTION
- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING ALL-WEATHER SURFACE
- PROPOSED ALL-WEATHER SURFACE
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING CLASS V BASE 8" THICK
- PROPOSED CLASS V BASE 8" THICK

84 LUMBER YARD EXPANSION
PARKING EXHIBIT
prepared for
PIERCE HARDY LIMITED PARTNERSHIP



rg consulting engineers, inc.
336 Main Street, Suite 203 • Grand Junction, Colorado • 81501
(970) 243-7540

REVISIONS

NO.	DESCRIPTION	DATE	BY

DLL LIGHT RESPONSE
CENTER OF COLORADO
1-800-822-1067
SCALE VERIFICATION
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET
ADJUST SCALES ACCORDINGLY

DATE: 29 MAY 03
DRAWN: 636.0001
SCALE: 1"=40'
SHEET NO: SP 1

RECEIVED
JUN 17 2003
COMMUNITY DEVELOPMENT
DEPT.

**84 Lumber Response to Comments
Community Development
Pat Cecil**

SUBDIVISION *Eighty-Four Lumber Simple Subdivision*

DATE *10-14-03*

OF LOTS *1 lot*

RECEPTION# *2153765*

BK/PG *20,34*

ACRES *4.60*

ZONE *I-1*

OWNER *Pierce Hardy Limited Partnership*

LOCATION *762 + 764 Valley Ct.*

SEC/TWP/RNG *36, T1N, R2W*

FILE# *SPR-2003-075*

SIF *Ø*

TCP *Ø*

PR-2003-075



TRANSMITTAL

Date 13 October 2003

TO: Pat Cecil

FROM: Jim Hatheway

RG Consulting Engineers, Inc.

336 Main Street, Ste 203

Grand Junction, CO 81501

Phone 970-242-7540

Fax 970-255-1212

Re: 84 Lumber Plat

Attachments: Drawings Specifications Technical Revision

Pat,

Attached are 2 checks for recording fees for the 84 Lumber Plat.

1. \$10 to Mesa County Clerk and Recorder
2. \$15.50 to City of Grand Junction

Please let me know if you have any questions.

Thank you,

Jim Hatheway

WARRANTY DEED

Grantor(s), WEST VALLEY DEVELOPMENTS, LLC
A Colorado Limited Liability Company

whose legal address is 1111 South 12th Street
Grand Junction, CO 81501

*County of Mesa and State of

Colorado for the consideration of

Three Hundred Eighty Five Thousand DOLLARS,

in hand paid, hereby sell(s) and convey(s) to Pierce Hardy Limited Partnership,
a Pennsylvania limited partnership

whose legal address is c/o 84 Lumber Company, Bldg 1/Tax Department
1019 Route 519, Eighty Four, PA 15330

County of and State of Pennsylvania

the following real property in the County of Mesa and State of

Colorado, to wit:

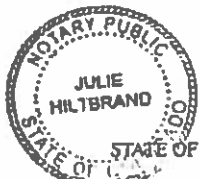
Lots 13-A and 13-B of 1BX SUBDIVISION, according to the official plat
thereof recorded in Plat Book No. 15 at Page 99, Official Records of
Mesa County, Colorado.

also known by street and number as: 764 and 762 Valley Court
Grand Junction, CO 81505

assessor's schedule or parcel number: 2697-361-07-001 and 2697-361-07-002

with all its appurtenances, and warrant(s) the title to the same, subject to general property taxes for 2003,
payable in 2004 and taxes and special assessments for subsequent years; easements
and rights of way of record, if any; covenants, restrictions and reservations
of record, if any.

Signed this 31st day of March, 2003.



WEST VALLEY DEVELOPMENTS, LLC
Patricia G. Tucker
Patricia G. Tucker, Manager

CO
} ss.

My Commission Expires 8/12/05

The foregoing instrument was acknowledged before me this 31st day of March, 2003
by Patricia G. Tucker, Manager
WEST VALLEY DEVELOPMENT, LLC

Witness my hand and official seal,
My commission expires: 8/12/05

Julie Hiltbrand
Notary Public

*If in Denver, insert "City and"

Name and Address of Person Creating Newly Created Legal Description (§ 38-35-106.5, C.R.S.)

PETITIONER INFORMATION

**DEVELOPMENT APPLICATION ON TOP
MAILING LISTS - ALL REPORTS
PUBLIC NOTICE OF POSTINGS
GENERAL PROJECT REPORTS
POLICY INFORMATION
MAPS - LEGALS**

GENERAL PROJECT REPORT
for
84 LUMBER YARD EXPANSION at 762/764 VALLEY COURT

Project Description (location, Acreage, Proposed Use)

The purpose of this project is to construct two new storage buildings and expand outdoor storage for the existing 84 Lumber site located at 779 22 Road. The proposed expansion will take place on Lots 13-A and 13-B of the IBX Subdivision west of the existing site. The two lots have been assigned street addresses of 764 and 762 Valley Court, respectively. 84 Lumber proposes to combine these two vacant lots into a single lot with a total acreage of 4.61 acres.

The site is bounded on the east by the existing 84 Lumber site, Grand Junction Pipe and Supply Company to the south, Public R.O.W. (Valley Court), vacant property and Dodd Diesel to the west, and property owned by Ballard Land and Livestock, LLC to the north. Access to the site will be provided through the existing 84 Lumber site off of 22 Road. The intent of this project is to provide 84 Lumber with additional warehouse and yard space to facilitate operations.

The surrounding land uses and zoning include

North: Ballard Land and Livestock, LLC, Zoned I-1
East: Existing 84 Lumber site, Zoned I-1
South: Grand Junction Pipe and Supply Company, Zoned I-1
West: Valley Court, Dodd Diesel, and Vacant Land, Zoned I-1

Public Benefit:

The proposed yard expansion and additional storage into the vacant lots will allow 84 Lumber to provide additional construction materials for sale to the public. The additional yard space will also allow 84 Lumber to better market and display the materials that are provided for sale.

The public and employees will continue to access 84 Lumber using the existing driveway off of 22 Road. The new buildings will be accessed using a new driveway connected to the west side of the existing asphalt area on the south side of the store.

The proposed facility will be landscaped in accordance with the City of Grand Junctions' Zoning and Development Code requirements. Landscaping berms have been provided on the western portion of Lot 1, allowing 84 Lumber to reduce the number of required trees by 33% (48 trees to 32 trees).

Additional parking spaces are not being provided at this time. A note has been added to the plat that essentially says that if Lot 1, 84 Subdivision is sold independent of Lot 14, Valley West Subdivision Filing Number Two, then the purchaser of said Lot 1 will bring said Lot 1 into compliance with the parking code that is in effect at the date of purchase.

Demand on public facilities will be minimal. Traffic into and out of the facility is not expected to increase significantly. Police and fire needs should be no greater than what is currently required by the existing site. The site will be fenced to provide perimeter security.

GENERAL PROJECT REPORT
for
84 LUMBER YARD EXPANSION at 762/764 VALLEY COURT

Two gates secured with Knox Locks will be provided to accommodate fire and emergency access requirements

Utilities:

All utility services required for this project are currently located on the existing 84 Lumber site. A new water line may be extended from the existing system into the new site to support landscaping, as required

Two fire hydrants are located on the east side of the Valley Court frontage near the northwestern and southwestern property corners of the site. A third fire hydrant is located on the northwest side of the Persigo Wash within the utility easement of the new site.

Stormwater

The existing property is nearly flat with grades off approximately 0.4%. The site is sparsely vegetated with weedy forbs. Historically, stormwater from the site has discharged to the southwest to the Valley Court R.O.W. Pre-application meeting notes provided by the city state that a drainage fee can be paid in lieu of on-site detention. 84 Lumber is opting to pay the drainage fee, therefore no stormwater detention facilities are proposed for this expansion.

There are two options available to direct the stormwater runoff, Persigo Wash and Valley Court. The grading for the site has been configured to convey a majority of the stormwater runoff from the developed portions of the site to area inlets that will discharge stormwater into Persigo Wash. Runoff from the remaining areas will continue to discharge to Valley Court. The existing v-pan adjacent to Valley Court carries runoff to a ditch adjacent to Highway 6 & 50 that discharges into Pritchard Wash approximately 2,400 feet to the northwest.

Anticipated Business Operations

The typical hours of operation will be:

7:00 A.M. to 6:00 P.M., Monday - Friday

7:00 A.M. to 5:00 P.M., Saturday

Closed Sunday

Construction for this project is anticipated to begin in May 2003.



rg consulting engineers, inc.

denver • durango • grand junction • trinidad

15 April 2003

Mr. Pat Cecil
City of Grand Junction
250 North 5th Street
Grand Junction, CO. 81501

**Re: Final Drainage Report
84 Lumber – Yard Expansion
762/764 Valley Court
Grand Junction, Colorado 81501**

Dear Mr. Cecil:

The proposed site and grading plans for the 84 Lumber yard expansion at 762/764 Valley Court have been prepared by this office to meet the requirements laid out by the City of Grand Junction at the pre-application meeting held with RG Consulting Engineers on 10 February 2003. The meeting notes provided by the City of Grand Junction following this meeting stated that no detention is required for the site provided that all stormwater runoff is directed to the v-pan in Valley Court or the Persigo Wash and a drainage fee is paid to the city.

This letter certifies that site grading has been configured to meet this requirement, therefore no stormwater detention is provided on-site. The majority of the surface water runoff generated from the development will be directed to the Persigo Wash. The remaining area, consisting primarily of the undeveloped portions of the site, will continue to discharge to the v-pan adjacent to Valley Court.

The drainage fee is based on the following calculation. The site is assumed to have Type C soils.

$C_{100H} = 0.34$ (Undeveloped area, Bare Ground)
 $C_{100D} = 0.73$ (Composite 100-yr Runoff Coefficient for developed conditions)
 $C_{100} = 0.95$ (Paved/Concrete Areas) @ 2.087 acres
 $C_{100} = 0.95$ (Roof Area) @ 0.643 acres
 $C_{100} = 0.26$ (Green Landscaping) @ 0.794 acres
 $C_{100} = 0.54$ (Non-Green & Gravel Landscaping) @ 1.086 acres

Drainage Fee = $(\$10,000)(C_{100D} - C_{100H})(\text{acres})^{0.7}$
= $(\$10,000)(0.73-0.34)(4.61)^{0.7}$
= \$11,367.25

If you have any additional questions or concerns, please contact me at 970-242-7540.

Sincerely,
RG Consulting Engineers, Inc.

Jim Hatheway, P.E.
Project Engineer



Attachment:
City of Grand Junction Pre-Application Notes

**City of Grand Junction
Fire Department
New Development Fire Flow**

Instructions: To process the application, the developer/applicant's engineer should first fill out all items in Section A, and then deliver/mail this form to the appropriate water purveyor.¹ Once the water supplier has signed and given the required information, deliver/mail the completed and fully signed form to the City or County Planning Department.²

SECTION A

Date: 6 MARCH 03
Project Name: 84 LUMBER - YARD EXPANSION
Project street address: 762 & 764 VALLEY COURT
Assessor's Tax Parcel Number: 2697-361-07-001 & 2697-361-07-002
Property Owner name: PIERLE HARDY LIMITED PARTNERSHIP
City's project file #: _____
Name of Water Purveyor: UTE

1. If the project includes one or more one or two-family dwelling(s):
a. The maximum fire area¹ for each one or two family dwelling will be _____ square feet.
b. All dwelling units will , will not include an approved automatic sprinkler system.

Comments: _____

2. If the project includes a building other than one and two-family dwelling(s):
a. List the fire area and type of construction for all buildings used to determine the minimum fire flow requirements: CONSTRUCTION TYPE II-B BUILDING #1 10,000 SF, BUILDING #2 18,000 SF
b. List each building that will be provided with an approved fire sprinkler system: N/A

3. List the minimum fire flow required for this project (based on Appendix B and C): 2750 gpm

Comments: _____

Note: Fire Flow Rule: The City's Fire Code³ sets minimum fire flows for all structures and new development. In general, for single family dwellings, at least 1000 g.p.m at 20 p.s.i. residual pressure must be continuously available at each structure. Duplex, other residential and all non-residential uses must have more fire flows in order to fight fires. Inadequate fire flows are normally due to water supply pipes that are too small or too little water pressure, or a combination of both.

Note for the Applicant/Project engineer: Refer to Appendix B and C, IFC 2000, to determine the minimum fire flow required for this project, based on the Water Purveyor's information (i.e., location, looping and size of water lines; water pressure at the site, etc.) and the type, density and location of all structures. Base your professional judgment on the City approved utility plans and Water Provider information shown on this Form. Each time the utility plans/other information relating to treated water changes, resubmit this form just as you did the first time.

[End of Section A. Section B continues on the reverse side of this page]

¹ Fire area is defined on page 357 of the IFC.

**City of Grand Junction
Fire Flow Form**

SECTION B

[To be completed by the Water Supplier]

1. Circle the name of the water supplier: Ute Clifton Grand Junction

2. List the approximate location, type and size of supply lines for this project, or attach a map with the same information: 8" main in Valley Court, 8" looped in Hwy 6/50
8" looped in 22 Road

3. List the g.p.m. at 20 p.s.i. residual pressure at the point that the development/project will be connected to the existing water system: 1750 @ 20psi in Valley Court
4400 @ 20psi in 22 Rd

3. Attach fire flow test data for the fire hydrants nearest to the development/project that must be used to determine available fire flow: attached
[Or: 1. attach a map or diagram with the same information, or 2. attach a map/diagram with flow modeling information.]

4. If new lines are needed (or if existing lines must be looped) to supply the required fire flows, or if more information is needed to state the available minimum gpm @ 20 psi residual pressure, please list what the applicant/developer must do or obtain:

Print Name and Title of Water Supplier Employee completing this Form:

Edward Tolon Project Engineer Date _____

Note: Based on the facts and circumstances, the Fire Chief may require the applicant/developer to engage an engineer⁴ to verify/certify that the proposed water system improvements, as reflected in the approved utility plans submitted in support of the application/development, will provide the minimum fire flows to all structures in this project. If so, the engineer's signature below means that the City's Fire Flow requirements will be met by this development, if constructed as approved.

Print Name and License No. of P.E.:

Signature of P.E.:

Dated: _____

¹ There are three drinking water suppliers: Ute Water, Clifton Water, and City water.

² Address: City- 250 North 5th St., Grand Junction, CO 81501; County-P.O. Box 20000, Grand Junction, CO 81502

³ International Fire Code, 2000 Edition

⁴ City Code defines engineer as one who is licensed as a P.E. by the state of Colorado.

Look Up: **0375** **Grp** **Calculat** **Refres** **+**

Pressure Hydrant: **0375**

Entered By: **GC**

Testing Info	
By:	CM
Date:	10/02/2002
Time:	2:00 AM

Pressure PSI	
Static:	101
Residual:	76

NFPA
AA

Comments: **760 VALLEY CT.**

Total GPM: **924** Predicted Flow @ 20: **1,743** Gals Used: **3,695**

Flow Hydrant	Pitot	Flow Device	Duration	Comment	GPM
0369	30	A	4	764 VALLEY CT.	924

Look Up:

Grap **Calculat** **Refres** **+**

Pressure Hydrant: Entered By:

Testing Info		Pressure PSI	
By:	<input type="text" value="CM AND SRD"/>	Static:	<input type="text" value="88"/>
Date:	<input type="text" value="03/20/2003"/>	Residual:	<input type="text" value="72"/>
Time:	<input type="text" value="2:00 AM"/>		

Comments:

NFPA
AA

Total GPM: Predicted Flow @20: Gals Used:

Flow Hydrant	Pitot	Flow Device	Duration	Comment	GPM
0379	32	A	4	785 22 RD	854
0380	40	A	4	783 22 RD	1067

84 humber

FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for use in car lots, street lighting or parking areas.

CONSTRUCTION– Rugged, .063" thick, aluminum rectilinear housing. Continuously seam welded for weather-tight seal and integrity.

Naturally anodized, extruded, aluminum door frame with mitered corners is retained with (two) .188" diameter hinge pins and secured with (one) quarter-turn, quick release fastener. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into door frame.

FINISH – Standard finish is dark bronze (DDB) polyester powder. Other powder architectural colors available.

OPTICAL SYSTEM – Reflectors are anodized and segmented for superior uniformity and control, which allows the flexibility to mix distributions without compromising the overall lighting job. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five cut-off distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff), Type IV (wide, forward throw), and Type V (square symmetrical).

Lens is .125" thick, impact-resistant, tempered, glass with thermally-applied, silk screened power door shield.

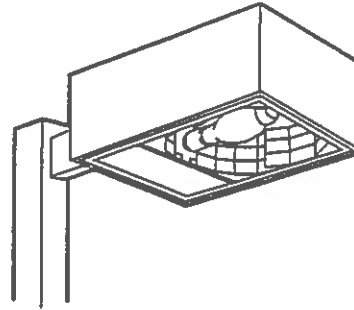
ELECTRICAL SYSTEM – Constant-wattage autotransformer is 100% copper-wound and factory-tested. Super CWA Pulse Start ballast required for 320W and 350W (must order SCWA option). Removable power door and positive-locking disconnect plug.

Porcelain, horizontally-oriented, mogul-base socket with copper alloy, nickel plated screw shell and center contact. UL listed 1500W-600V.

INSTALLATION – Extruded, 4" aluminum arm for pole or wall mounting is shipped in fixture carton. Optional mountings available.

LISTING – UL listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options).

Catalog Number KSF2-400M-R3-TB-SP04-KSF2HS-DDB	
Notes 64 LUMBER COMPANY SITE LIGHTING (03030)	Type SA



Area Lighting KSF2

METAL HALIDE
320W, 350W, 400W
15' to 25' Mounting



Specifications

EPA: 2.0 ft² (.28m²)
(includes arm)
Length: 25 -5/16 (64.3)
Width: 18-1/2 (47.0)
Depth: 8-5/16 (21.1)
Weight: 52 lbs (23.6kg)
Arm: 4 (10.2)

All dimensions are inches (centimeters) unless otherwise specified.

Mounting Option	Drill Hole Template ⁷
SPxx, RPxx, DA12P	5
WBxx, DA12WB	6
WWxx	7

ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog number.

Example: **KSF2 400M R3 120 SP04 SF DDB**

KSF2 400M		R3	TB	SP04	KSF2HS-DDB			
Series		Voltage	Mounting ⁷		Options			
KSF2 320M		120	SP04	Square pole (4' arm) (standard) ⁴	Shipped Installed in Fixture			
KSF2 350M		208 ²	SP09	Square pole (9' arm)	SF	Single fuse (120, 277, 347V, n/a TB)		
KSF2 400M ¹		240 ²	RP04	Round pole (4' arm) ⁴	DF	Double fuse (208, 240, 480V, n/a TB)		
		277	RP09	Round pole (9' arm)	PER	NEMA twist-lock receptacle only (no photocontrol)		
	Distribution	347	RPO9	Round pole (9' arm)	QRS	Quartz restrike system (75W max; lamp not included, 120V only)		
R2	IES Type II roadway	480 ²	WW04	Wood pole or wall (4' arm) ⁴	EC	Emergency circuit		
R3	IES Type III asymmetric	TB ³	WW09	Wood pole or wall (9' arm)	CR	Corrosion-resistant finish		
R4SC	IES Type IV forward throw, sharp cutoff		WB04	Wall bracket (4' arm)	CSA	Listed and labeled to comply with Canadian Standards		
R4W	IES Type IV wide, forward throw		WB09	Wall bracket (9' arm)	SCWA	Super CWA Pulse Start Ballast		
R5S	IES Type V square		L/ARM	When ordering KMA, DA12				
				Optional Mounting (shipped separately)		Shipped Separately⁵		
				DA12P	Degree arm (pole)	PE1	NEMA twist-lock PE (120, 208, 240V)	
				DA12WB	Degree arm (wall)	PE3	NEMA twist-lock PE (347V)	
				KMA	Mast arm adapter	PE4	NEMA twist-lock PE (480V)	
				KTMB	Twin mounting bar	PE7	NEMA twist-lock PE (277V)	
						SC	Shorting cap for PER option	
						KSF2HS	House side shield (R2,R3)	
						KSF2VG	Vandal guard	
							Architectural Colors (powder finish) ⁶	
							Standard Colors	
							DDB	Dark bronze (standard)
							DWH	White
							DBL	Black
								Classic Colors
							DMB	Medium bronze
							DNA	Natural aluminum
							DSS	Sandstone
							DGC	Charcoal gray
							DTG	Tennis green
							DBR	Bright red
							DSB	Steel blue

NOTES:

- Use ED28 reduced jacket lamp.
- Consult factory for availability in Canada.
- Optional multi-tap ballast (120, 208, 240, 277V). (120, 277, 347V in Canada).
- SP09, RP09, or WW09 must be used when two or more luminaires are oriented on a 90° drilling pattern.
- May be ordered as accessory.
- Additional architectural colors available; see Architectural Colors brochure, form no. 794.3.
- Refer to technical data section in Outdoor binder for drilling template.

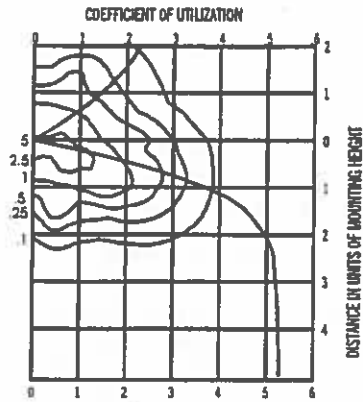
Accessories: Tenon Mounting Slipfitter (Order separately)

Tenon O.D.	Number of fixtures					
	One	Two@180°	Two@90° ¹	Three@120°	Three@90° ¹	Four@90° ¹
2-3/8"	T20-190	T20-280	T20-290	T20-320	T20-390	T20-490
2-7/8"	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4"	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

KSF2 400M Arm-Mounted Rectilinear Cutoff Lighting

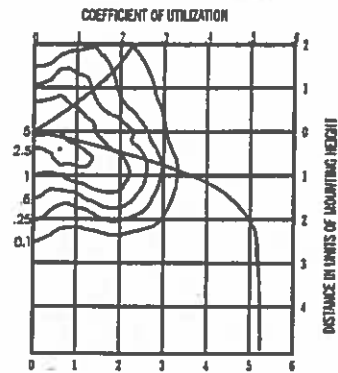
Coefficient of Utilization _____
Initial Footcandles _____

KSF2 400M R2 Test No. 1193031801



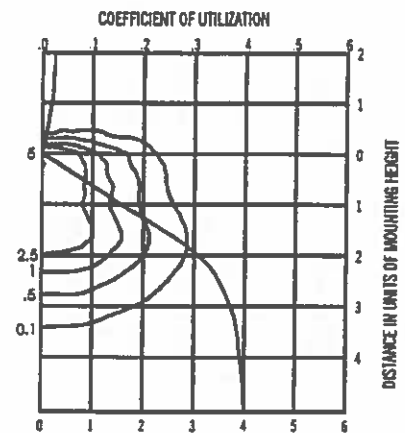
400W Metal Halide lamp, 32000 rated lumens. Footcandle values based on 35' mounting height, Distribution II, cutoff.

KSF2 400M R3 Test No. TEST NO. 1194100501



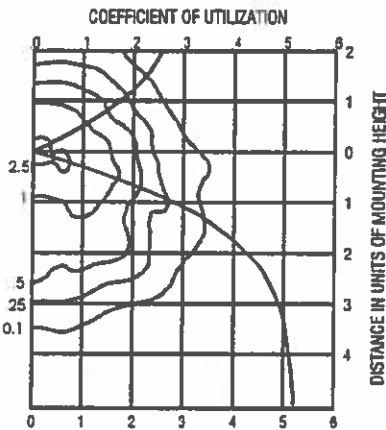
400W Metal Halide lamp, 32000 rated lumens. Footcandle values based on 35' mounting height, Distribution II, cutoff.

KSF2 400M R4SC Test No. 1193041301



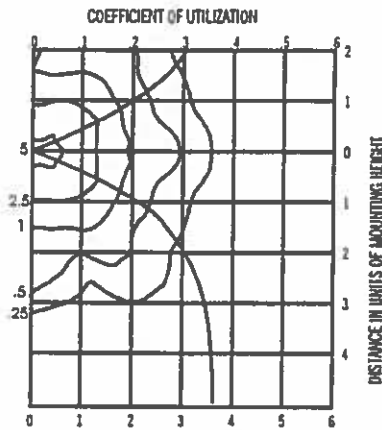
400W Metal Halide lamp, 32000 rated lumens. Footcandle values based on 35' mounting height, Distribution IV, sharp cutoff.

KSF2 400M R4W Test No. LTL8509



400W Metal Halide lamp, rated lumens. Footcandle values based on 35' mounting height, Distribution wide, forward throw.

KSF2 400M R5S Test No. 1193051801



400W Metal Halide lamp, 32000 rated lumens. Footcandle values based on 35' mounting height, Distribution V, cutoff.

NOTES:

- 1 For electrical characteristics, consult technical data tab.
- 2 Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory and actual field measurements. Dimensions and specifications are based on the most current available data and are subject to change.
- 3 Photometric data for other distributions can be accessed from the Lithonia Lighting website. (www.lithonia.com)

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

15 ft = 5.4

30 ft = 1.36

40 ft = .77

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction factor}$$



An Acuity Brands Company

Lithonia Lighting

Acuity Lighting Group, Inc.

Outdoor Lighting

One Lithonia Way, Conyers, GA 30012-3957

Phone: 770-922-9000 Fax: 770-918-1209

In Canada: 1100 50th Ave., Lachine, Quebec H8T 2V3

www.lithonia.com



FEATURES & SPECIFICATIONS

INTENDED USE — For entrances, stairwells, corridors and other pedestrian areas.

CONSTRUCTION — Rear housing is rugged, corrosion-resistant, die-cast aluminum. Front cover is one-piece UV-resistant injection molded polycarbonate, internally painted. Captive external hardware is specially treated for corrosion resistance and includes slotted hex-head and tamperproof fasteners.

OPTICAL SYSTEM — One-piece die-formed reflector is diffused aluminum. Refractor is clear polycarbonate, providing IES cutoff distribution and maximum lateral light output. Front cover is sealed and gasketed to inhibit the entrance of outside contaminants.

ELECTRICAL SYSTEM — Ballast is high reactance, high power factor, copper wound and 100% factory tested. UL listed. Components are heat-sunk directly to the cast housing for maximum heat dissipation (For 50 hertz availability, consult factory.)

Porcelain, horizontally oriented medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 660W, 600V and 4kV pulse rated.

Medium-base lamp included with fixture.

INSTALLATION — Mount to any vertical surface or to a 4" round square outlet box. Back access through gasketed slot. Top wiring access through 1/2" threaded conduit entry. (Through-wiring requires use of a conduit tee). Photocells are field-installable.

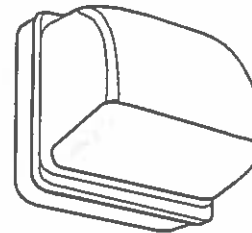
LISTING — UL listed for wet locations. IP65 listed. Listed and labeled to comply with Canadian and Mexican Standards (see options).

Catalog Number		TWAC-100M-TB-PE-LPI	
Notes		Type	
84 LUMBER COMPANY SITE LIGHTING (03030)		SB	

Cutoff Mini-WallPaks

TWAC

METAL HALIDE
50W, 70W, 100W



Height: 10" (25.4cm)
Width: 11-1/2" (29.2cm)
Depth: 8-15/16" (22.7cm)
Weight: 10 lbs. (4.53kg)



ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog numbers (shipped separately).

Example: TWAC 50M 120 LPI

TWAC	100M	TB	PE	LPI	
Series	Wattage/lamp	Voltage	Options	Lamp	
TWAC	50M 70M 100M	120 208 ⁶ 240 ⁶ 277 347 TB ¹	<p>Shipped installed in fixture</p> <p>SF Single fuse (120, 277, 347V)²</p> <p>DF Double fuse (208, 240V)²</p> <p>XHP High power factor ballast</p> <p>EC Emergency circuit^{3,4}</p> <p>DC12 Emergency circuit 12 volt (35W lamp included std.)⁷</p> <p>2DC12 Emergency circuit 12 volt (2 35W lamps included std.)⁷</p> <p>QRS Quartz restrike system^{3,4}</p> <p>CR Corrosion-resistant finish (epoxy clear coat over paint-rear housing only)</p> <p>CRT Corrosion-resistant teflon finish (rear housing)⁵</p> <p>CSA Listed and labeled to comply with Canadian Standards</p> <p>NOM Listed and labeled to comply with Mexican Standards (Consult factory)</p> <p>PE Photocell</p> <p>L/LP Less lamp</p>	<p>Architectural Colors (optional)</p> <p>DNA Natural aluminum</p> <p>DBL Black</p> <p>DMB Medium bronze</p> <p>DWH White</p>	LPI Lamp included as standard

NOTES:

- Optional multi-tap ballast (120/208/240/277V; 120/277; 347V for Canada).
- Not available with multi-tap ballast.
- Lamp not included.
- Quartz lamp wattage not to exceed ballast wattage rating.
- Black finish on housing only.
- Consult factory for availability in Canada.
- Not available with QRS, EC or NOM.

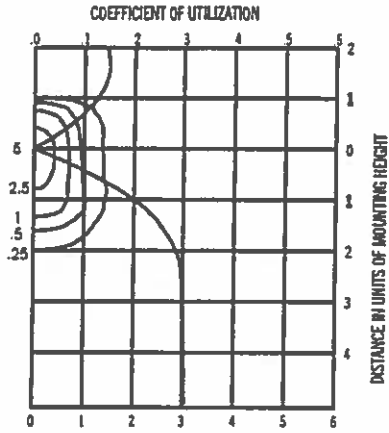
Accessories

Order as separate catalog number	
RK1 PEB1	Photocell kit (120V only)
RK1 PEB1 CSA	Photocell kit (120V only)
RK1 PEB2	Photocell kit (208, 240 or 277V)
RK1 PEB3 CSA	Photocell kit (347V)
TWAWG	Wireguard

TWAC Metal Halide Wall-Pak

TWAC 50M

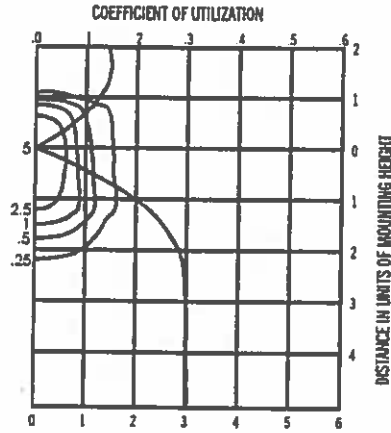
Test No. LTL8360



50W Metal Halide lamp, 8500 rated lumens. Footcandle values based on 20' mounting height. Distribution, cutoff.

TWAC 70M

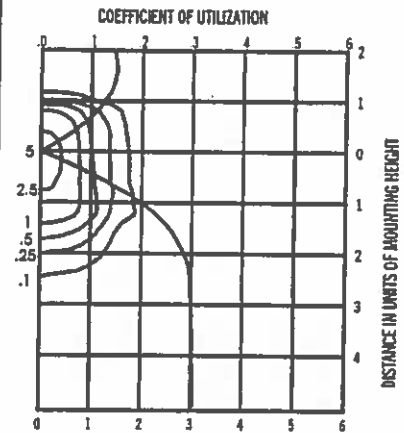
Test No. LTL8338



70W Metal Halide lamp, 5200 rated lumens. Footcandle values based on 20' mounting height. Distribution, cutoff.

TWAC 100M

Test No. LTL8359



100W Metal Halide lamp, 8500 rated lumens. Footcandle values based on 20' mounting height. Distribution, cutoff.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

6'	8'	10'
8 ft. = 6.25	-	8 ft. = 6.25
10 ft. = 4.00	10 ft. = 4.00	-
12 ft. = 2.78	12 ft. = 2.78	12 ft. = 2.78



Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

SCHEDULE A

COMMITMENT FOR TITLE INSURANCE

1. Effective Date: January 16, 2003 at 7:30 A.M.

Case No. ALTC-16042

2. Policy or policies to be issued:

(a) ALTA Owner's Policy (10-17-92)

Amount \$ 385,000.00

Proposed Insured:

Premium \$ 1,032.25

PIERCE HARDY LIMITED PARTNERSHIP, A PENNSYLVANIA LIMITED PARTNERSHIP

(b) ALTA Loan Policy (10-17-92)

Amount \$

Proposed Insured:

Premium \$

(c)

Proposed Insured:

Amount \$

Premium \$

3. Title to the fee simple estate or interest in the land described or referred to in this Commitment is at the effective date hereof vested in:

WEST VALLEY DEVELOPMENTS, A COLORADO LIMITED LIABILITY COMPANY

4. The land referred to in this Commitment is described as follows:

See Exhibit "A", attached hereto and made a part hereof by reference.

Countersigned at AMERICAN LAND TITLE COMPANY
2532 Patterson Road, Suite 13
Grand Junction, CO 81505

By Jerry Hiett
Authorized Officer or Agent

Schedule A--Page 1

This commitment is invalid unless the Insuring Provisions and Schedules A and B are attached
Form No. 91-88 (SCH.A)
035-1-088-0001/10

Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

Exhibit "A"

Case No. ALTC-16042

Lots 13-A and 13-B of IBX SUBDIVISION, according to the official plat thereof recorded in Plat Book No. 15 at Page 99, Official Records of Mesa County, Colorado.

PURPORTED ADDRESS: 762 and 764 Valley Court, Grand Junction, CO 81505

Lawyers Title Insurance Corporation

A LANDAMERICA COMPANY

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

SCHEDULE B - Section 1 Requirements

The following are the requirements to be complied with:

Item(a) Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item(b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to-wit:

1. Warranty Deed from WEST VALLEY DEVELOPMENTS, A COLORADO LIMITED LIABILITY COMPANY vesting fee simple title in PIERCE HARDY LIMITED PARTNERSHIP, A PENNSYLVANIA LIMITED PARTNERSHIP.

Item(c) Pay all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.

Item(d) This office must be furnished with A FINAL AFFIDAVIT AND AGREEMENT prior to the issuance of any policy of title insurance.

NO LIABILITY IS ASSUMED HEREUNDER UNTIL FULL POLICY PREMIUM IS PAID.

Schedule B-Section 1 - Page 1 - Case No. ALTC-16042

This commitment is invalid unless the Insuring Provisions and Schedules A and B are attached

Form No. 91-88(B-1)

1-008-0002

Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

SCHEDULE B - Section 2 Exceptions

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:

1. Rights or claims of parties in possession not shown by the public records.
2. Easements, or claims of easements, not shown by the public records.
3. Discrepancies, conflicts in boundary lines, shortages in area, encroachments, and any facts which a correct survey and inspection of the premises would disclose and which are not shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. Right of the Proprietor of a vein or lode to extract and remove his ore therefrom should the same be found to penetrate or intersect the premises hereby granted and the rights of way for ditches or canals constructed by the authority of the United States as reserved in United States Patent recorded September 9, 1890, in Book 11, Page 49, Official Records.
7. General Taxes for the year 2003, which are liens; are not yet due and payable.
8. General Taxes for the year 2002, which are liens; are now due and payable. SCHEDULE NO. 2697-361-07-001, in the original amount of \$1,220.39.
9. General Taxes for the year 2002, which are liens; are now due and payable. SCHEDULE NO. 2697-361-07-002, in the original amount of \$1,567.77.

(Continued)

Exceptions numbered None

(Loan Policy only) are hereby omitted.

NOTE: The Policy, when issued, will take exception to any adverse matters disclosed.

The Owner's Policy to be issued, if any, shall contain the following items in addition to the ones set forth above:

- (1) The Deed of Trust, if any, required under Schedule B-Section 1, Item(b).
- (2) Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing issuance thereof; water rights, claims or title to water.
- (3) Any and all unpaid taxes, assessments and unredeemed tax sales.

Schedule B-Section 2 - Page 1 - Case No. ALTC-16042

Form 91-88 B2 Rocky Mt.
035-1-088-0504

Lawyers Title Insurance Corporation

A LANDAMERICA COMPANY

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

Exceptions (continued)

10. Special assessments, liens for water and sewer service, and installation charges, if any, none now show of record.
 11. Easements, reservations, restrictions and dedications, if any as shown on the official plat of said subdivision.
 12. Covenants, conditions, restrictions and easements (deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin):
Recorded: May 30, 1979
Book 1151 at Page 410
A copy of which is hereto attached.
 13. Covenants, conditions, restrictions and easements (deleting therefrom any restrictions indicating any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin):
Recorded: May 18, 1979
Book 1201 at Page 12
A copy of which is hereto attached.
- Amendment and/or Modification of said Covenants:
Recorded: October 11, 1988
Book 1714 at Page 2
A copy of which is hereto attached.

Lawyers Title Insurance Corporation

A LAWYERS TITLE COMPANY

NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

NOTE: IF THE LAND DESCRIBED IN SCHEDULE A OF THE COMMITMENT FOR TITLE INSURANCE IS A SINGLE FAMILY RESIDENCE (INCLUDING A CONDOMINIUM OR TOWNHOUSE UNIT), THE PROPOSED OWNER'S POLICY INSURED IS NOTIFIED:

1. Colorado Insurance Regulations require that every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed;
2. Exception No. 4 of Schedule B, Section 2 may be deleted from the owner's policy, when issued, upon satisfaction of underwriting requirements. These requirements may include indemnity agreements, approval of financial status of an indemnitor, examination of lien waivers, a physical inspection of the property and/or such additional requirements or information as the Company may deem necessary.

PURSUANT TO SENATE BILL 91-14 (CRS 10-11-122) NOTICE IS HEREBY GIVEN THAT:

- (a) **THE SUBJECT REAL PROPERTY MAY BE LOCATED IN A SPECIAL TAXING DISTRICT;**
- (b) **A CERTIFICATE OF TAXES DUE LISTING EACH TAXING JURISDICTION MAY BE OBTAINED FROM THE COUNTY TREASURER OR THE COUNTY TREASURER'S AUTHORIZED AGENT;**
- (c) **INFORMATION REGARDING SPECIAL DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE OBTAINED FROM THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK AND RECORDER, OR THE COUNTY ASSESSOR.**

TREASURER'S CERTIFICATE OF TAXES DUE

Date: 02/20/2003

Certificate No: 13587

STATE OF COLORADO
COUNTY OF MESA

I, the undersigned do hereby certify that the entire amount of taxes and assessments due upon the real estate or personal property described below, and all sales of the same for unpaid taxes or assessments shown by the books in my office, from which the same may still be redeemed, with the amount required for redemption, are as noted herein:

Title Co	: AMERICAN LAND TITLE	Order #:	ALTC16042
Seller	: WEST VALLEY	Buyer	:
Lender	:	Ordered:	GH
Tax Year	: 2002	User ID:	:
Schedule #:	2697-361-07-001		

Description:
LOT 13-A IBX SUB SEC 36 1N 2W - 1.66AC

Amounts Due as of Certificate Date

Current Taxes		Base	Penalty
02 REAL	\$	1,220.39	
Total Due	\$	1,220.39	

BEFORE PAYING TOTAL DUE, PLEASE CALL FOR UPDATED FIGURES
IF PENALTY IS DUE OR IF THERE ARE OUTSTANDING TAX SALES

-- Continued --



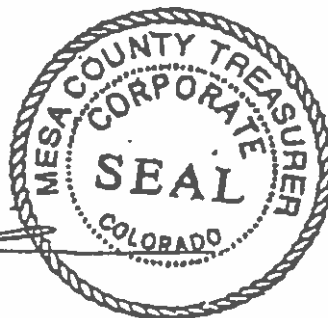
2697-361-07-001

Tax Charges Distribution for Taxing Year '02:

Description	Rate	Amount	Description	Rate	Amount
COLO RIVER	0.2550	4.12			
DRAINAGE GJ	2.5390	41.03			
MESA COUNTY	21.8090	352.44			
GRAND JCT	8.0000	129.28			
SCH DST 51	34.3100	554.45			
LIBRARY	3.0000	48.48			
UTE WATER	2.0000	32.32			
SCH D51BOND	3.9370	63.62			
GJ TMLR*	-0.3310	-5.35			
			Totals ----->	75.5190	1220.39

MONIKA TODD
Mesa County Treasurer

By: 



CERTIFIED DATE

February 20, 2003

TREASURER'S CERTIFICATE OF TAXES DUE

Date: 02/20/2003

Certificate No: 13588

STATE OF COLORADO
COUNTY OF MESA

I, the undersigned do hereby certify that the entire amount of taxes and assessments due upon the real estate or personal property described below, and all sales of the same for unpaid taxes or assessments shown by the books in my office, from which the same may still be redeemed, with the amount required for redemption, are as noted herein:

Title Co	: AMERICAN LAND TITLE	Order #:	ALTC16042
Seller	: WEST VALLEY	Buyer	:
Lender	:	Ordered:	GH
Tax Year	: 2002	User ID:	:
Schedule #:	2697-361-07-002		

Description:
LOT 13-B IRX SUB SEC 36 1N 2W - 2.95AC

Amounts Due as of Certificate Date

Current Taxes		Base	Penalty
02 REAL	\$	1,567.77	
Total Due	\$	1,567.77	

BEFORE PAYING TOTAL DUE, PLEASE CALL FOR UPDATED FIGURES
IF PENALTY IS DUE OR IF THERE ARE OUTSTANDING TAX SALES

-- Continued --



2697-361-07-002

Tax Charges Distribution for Taxing Year '02:

Description	Rate	Amount	Description	Rate	Amount
COLO RIVER	0.2550	5.29			
DRAINAGE GJ	2.5390	52.71			
MESA COUNTY	21.8090	452.76			
GRAND JCT	8.0000	166.08			
SCH DST 51	34.3100	712.27			
LIBRARY	3.0000	62.28			
UTE WATER	2.0000	41.52			
SCH DS1BOND	3.9370	81.73			
GJ TMLR+	-0.3310	-6.87			
			Totals ----->	75.5190	1567.77

MONIKA TODD
Mesa County Treasurer

By: 



CERTIFIED DATE

February 20, 2003

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE
SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

LOTS 13-A AND 13-B, IBX SUBDIVISION
SECTION 36, TOWNSHIP 1 NORTH, RANGE 2 WEST UTE MERIDIAN

CITY OF GRAND JUNCTION
DEPARTMENT OF PUBLIC WORKS & UTILITIES
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501
(970) 244-4003

TO THE MESA COUNTY CLERK & RECORDER:

2153765 10/14/03 0421PM
JANICE WARD CLK&REC MESA COUNTY Co
REC FEE \$10.00 SURCHG \$1.00

THIS IS TO CERTIFY that the herein named Subdivision Plat,

EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

Situated in the NE 1/4 of Section 36

Township 1N, Range 2W,

of the UTE Meridian in the City of Grand Junction, County of Mesa, State of Colorado, has been reviewed under my direction and, to the best of my knowledge, satisfies the requirements pursuant to C.R.S. 38-51-106 and the Zoning and Development Code of the City of Grand Junction for the recording of subdivision plats in the office of the Mesa County Clerk and Recorder.

This certification makes no warranties to any person for any purpose. It is prepared to establish for the County Clerk and Recorder that City review has been obtained. This certification does not warrant: 1) title or legal ownership to the land hereby platted nor the title or legal ownership of adjoining; 2) errors and/or omissions, including, but not limited to, the omission(s) of rights-of-ways and/or easements, whether or not of record; 3) liens and encumbrances, whether or not of record; 4) the qualifications, licensing status and/or any statement(s) or representation(s) made by the surveyor who prepared the above-named subdivision plat.

Dated this 24th day of SEPTEMBER, 2003.

City of Grand Junction,
Department of Public Works & Utilities

By: 
MARK RELPH
Director of Public Works and Utilities

Recorded in Mesa County

Date: 10-14-03

Plat Book: 20 Page: 34

Drawer: 00-667

EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

(A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION,
LOCATED IN THE NE 1/4 SECTION 36, T 1 N, R 2 W, U.M.,)

TCP 6,832.
SIF 0

I-1

SPR-2003-075

DEDICATION

That the undersigned Pierce Hardy Limited Partnership is the owner of that real property situated in the Northeast Quarter (NE 1/4) of Section 36, Township 1 North, Range 2 West, Ute Meridian, Mesa County, State of Colorado, being Lots 13-A and 13-B, IBX Subdivision as recorded in Book 15, at Page 89, of the official records of the Clerk and Recorders Office of Mesa County, Colorado.

That said owner has caused the real property to be laid out and platted as EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a Replat of Lots 13-A and 13-B of IBX SUBDIVISION, a part of the City of Grand Junction, Colorado. That said owner does hereby dedicate and set apart that real property as shown and labeled as the accompanying plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION as follows. There are no lien holders on this property.

IN WITNESS WHEREOF, said owner, has caused his name to be hereunto subscribed this 30 day of SEPTEMBER, 2003 A.D.

by: Christina A. Taras
Christina A. Taras
Asst. Vice President

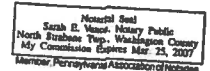
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF WASHINGTON

On this day of , 2003, before me, a notary public, the undersigned officer, personally appeared Christina A. Taras, who acknowledged herself to be the Asst. Vice President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Peter Jon Co. by herself as Asst. Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Pierce Hardy Limited Partnership
By: ~~Christina A. Taras~~
Asst. Vice President

Sharon C. Vance Notary Public
Commission Expires March 2, 2007
NOTARY PUBLIC



TITLE CERTIFICATION

STATE OF COLORADO
COUNTY OF MESA

We, AMERICAN LAND TITLE, a title insurance company, as duly licensed in the State of Colorado, do hereby certify that we have examined the title to the herein described property, that we find the title to the property is vested to B4 Lumber, Inc.; that the current taxes have been paid; that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; that all easements, reservations and rights of way of record are shown hereon.

Date: SEPTEMBER 30, 2003 By: [Signature]
Name and Title
AMERICAN LAND TITLE
Name of Title Company

CITY OF GRAND JUNCTION APPROVAL

This plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this 30 day of SEPTEMBER, A.D., 2003.

[Signature] Mayor
[Signature] City Manager

CLERK AND RECORDER'S CERTIFICATE

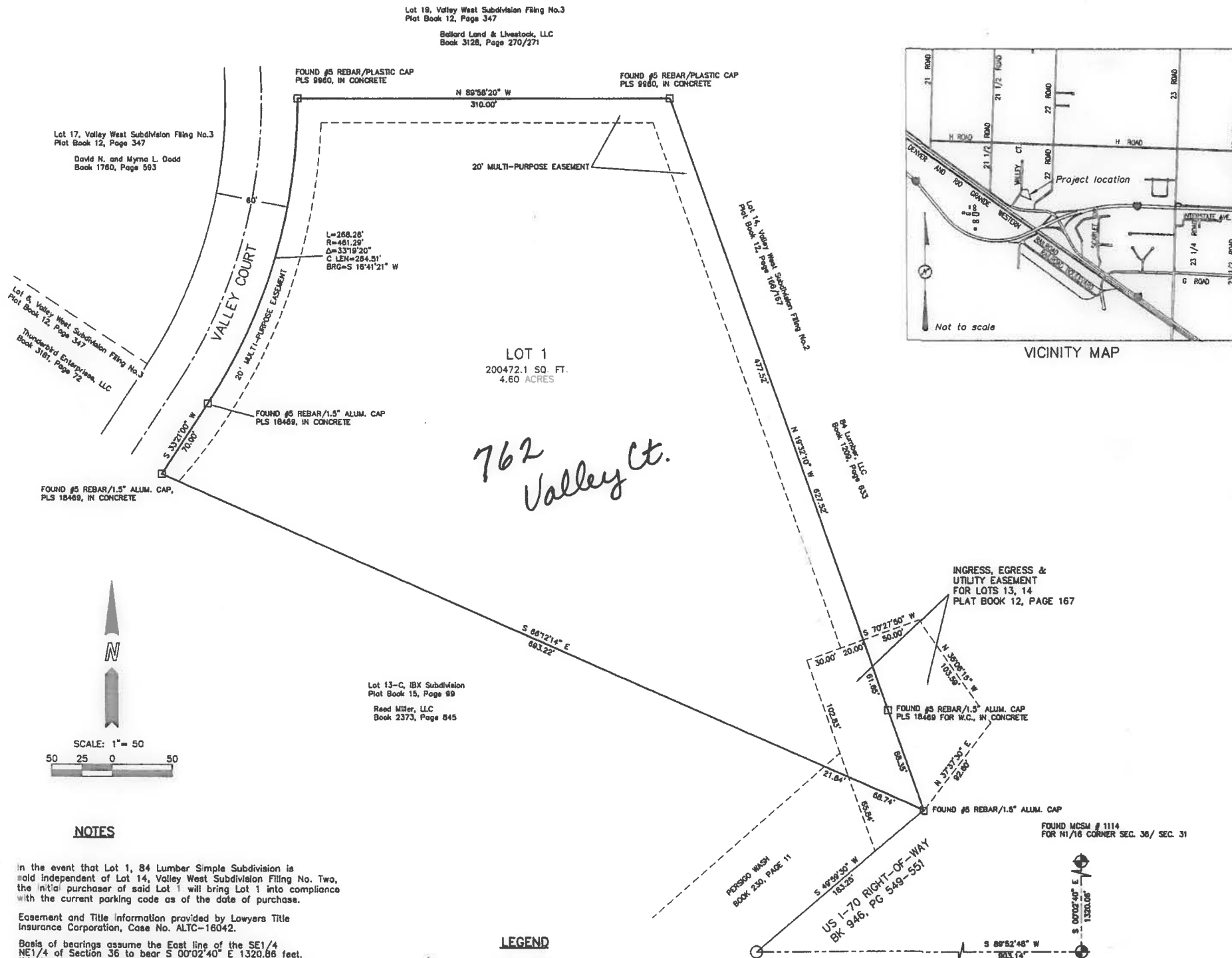
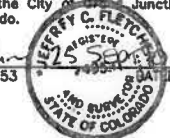
STATE OF COLORADO)
COUNTY OF MESA) ss
I hereby certify that this instrument was filed in my office at 4:21 o'clock P. M., October 14, A.D., 2003, and was duly recorded in Plat Book No. 20 Page No. 34

2153765
Reception No. 00-67
Clerk and Recorder
By: _____ Deputy

SURVEYOR'S CERTIFICATION

I, Jeffrey C. Fletcher, do hereby certify that the accompanying plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION is a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of same. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

Jeffrey C. Fletcher
JEFFREY C. FLETCHER COLORADO PLS 24853



NOTES

In the event that Lot 1, B4 Lumber Simple Subdivision is sold independent of Lot 14, Valley West Subdivision Filing No. Two, the initial purchaser of said Lot 1 will bring Lot 1 into compliance with the current parking code as of the date of purchase.

Easement and Title Information provided by Lowerys Title Insurance Corporation, Case No. ALTC-16042.

Basis of bearings assume the East line of the SE1/4 NE1/4 of Section 36 to bear S 00°02'40" E 1320.66 feet, this bearing is as shown on the plat of Valley West Filing No. 2. Both monuments on this line are Mesa County Survey Markers.

LEGEND

- ⊕ MESA COUNTY SURVEY MARKER
- SET ALUMINUM CAP ON No. 5 REBAR, PLS 24953 IN CONCRETE
- CALCULATED POSITION
- ⊠ FOUND REBAR, AS NOTED
- ALUM. = ALUMINUM
- W.C. = WITNESS CORNER
- T = TOWNSHIP
- R = RANGE
- U.M. = UTE MERIDIAN
- PLS = PROFESSIONAL LAND SURVEYOR

NOTICE: ACCORDING TO COLORADO LAW YOU MUST CONSIDER ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

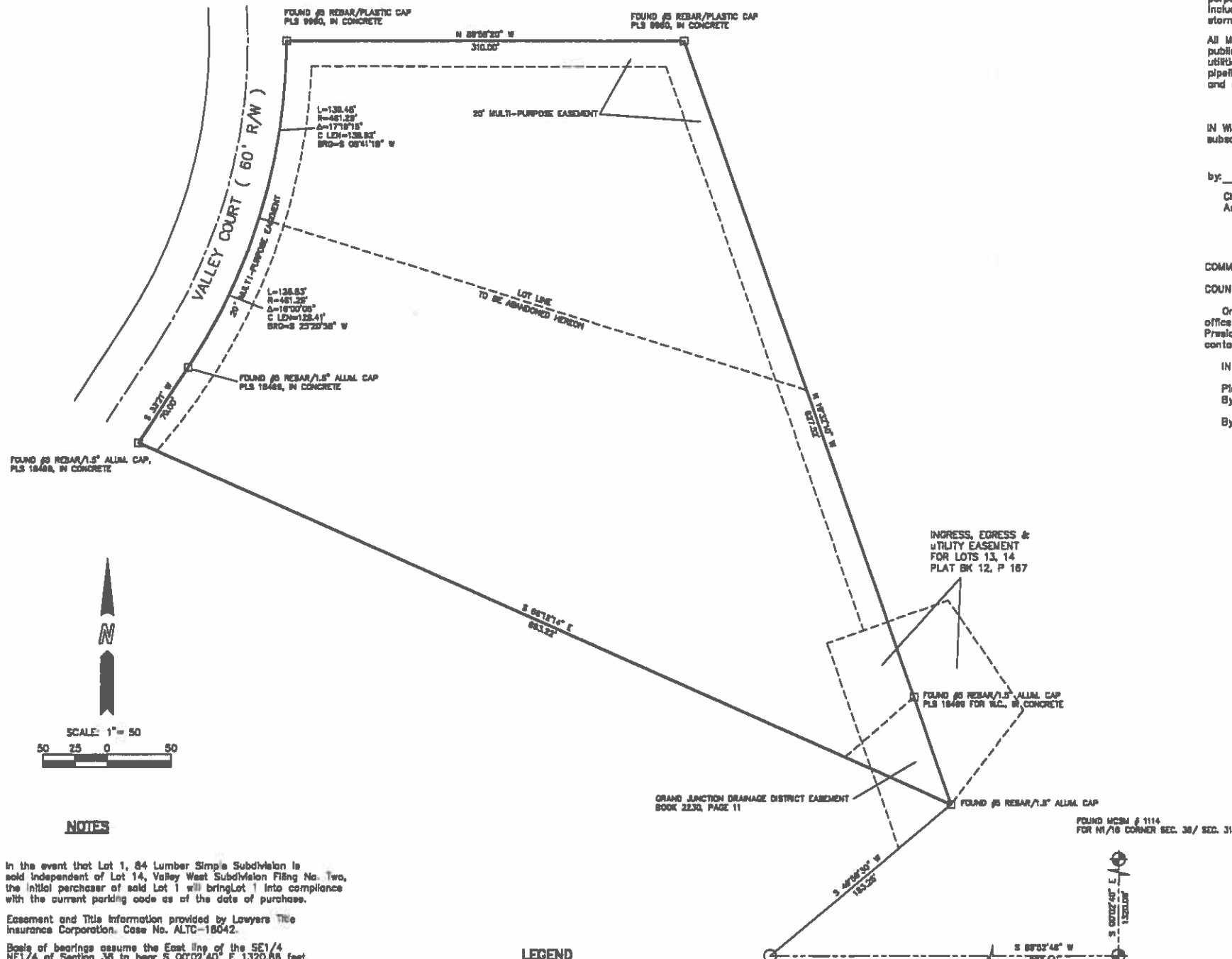
EIGHTY-FOUR LUMBER SIMPLE SUB.
A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION, NE1/4 SEC. 36, T1N, R2W, U.I CITY OF GRAND JUNCTION, COLORADO

HIGH DESERT SURVEYING, LLC
2581 B 3/4 ROAD
GRAND JUNCTION, COLORADO 81503
TEL: 970-254-8849, FAX: 970-255-7047

PROJECT NO. 03-17	SUR. BY: DR/ANN	CHECKED: JCF	SHEET: 1	OF: 1
DATE: 02/28/03	BE/FB	JCF		

84 LUMBER SIMPLE SUBDIVISION

A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION,
LOCATED IN THE NE 1/4 SECTION 36, T 1 N, R 2 W, U.M.,



NOTES

In the event that Lot 1, 84 Lumber Simple Subdivision is sold independent of Lot 14, Valley West Subdivision Filing No. Two, the initial purchaser of said Lot 1 will bring Lot 1 into compliance with the current parking code as of the date of purchase.

Easement and Title Information provided by Lawyers Title Insurance Corporation, Case No. ALTC-18042.

Basis of bearings assume the East line of the SE 1/4 NE 1/4 of Section 36 to bear S 00°02'40\"/>

LEGEND

- MESA COUNTY OR BLM SURVEY MARKER
- SET ALUMINUM CAP ON No. 5 REBAR, PLS 24853 IN CONCRETE
- RECORD MEASUREMENT
- FOUND REBAR, AS NOTED

NOTED: ACCORDING TO COLORADO LAW YOU MUST EXERCISE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST OBSERVED SUCH DEFECT. IN NO EVENT, ANY ANY LEGAL ACTION SHALL BE BRINGED IN THIS SURVEY OR CONSTRUCTION LINE FROM THE POINT FROM THE DATE OF CONSTRUCTION SURVEY MONUMENT.

DEDICATION

That the undersigned Pierce Hardy Limited Partnership is the owner of that real property situated in the Northwest Quarter (NE 1/4) of Section 36, Township 1 North, Range 2 West, Ute Meridian, Mesa County, State of Colorado, being Lots 13-A and 13-B, IBX Subdivision as recorded in Book 15, at Page 99, of the official records of the Clerk and Recorder's Office of Mesa County, Colorado.

That said owner has caused the real property to be laid out and platted as 84 LUMBER SIMPLE SUBDIVISION, a Replat of Lots 13-A and 13-B of IBX SUBDIVISION, a part of the City of Grand Junction, Colorado. That said owner does hereby dedicate and set apart that real property as shown and labeled as the accompanying plat of 84 LUMBER SIMPLE SUBDIVISION as follows.

All Utility Easements to the City of Grand Junction for the use of City-approved: public utilities as perpetual easement for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.

All Multi-purpose Easement to the City of Grand Junction for the use of City-approved: utilities and public providers as perpetual easement for the installation operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV line, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.

IN WITNESS WHEREOF, said owner, has caused his name to be hereunto subscribed this _____ day of _____, 2003 A.D.

by: _____
Christina A. Toros
Asst. Vice President

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF WASHINGTON

On this _____ day of _____, 2003, before me, a notary public, the undersigned officer, personally appeared Christina A. Toros, who acknowledged herself to be the Asst. Vice President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Peter Jan Co. by herself as Asst. Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Pierce Hardy Limited Partnership
By: Peter Jan Co., General Partner

By: _____
Christina A. Toros
Asst. Vice President

CITY OF GRAND JUNCTION APPROVAL

This plat of 84 LUMBER SIMPLE SUBDIVISION, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this _____ day of _____ A.D., 2003.

City Manager _____ City Mayor _____

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO) ss
COUNTY OF MESA)
I hereby certify that this instrument was filed in my office at _____ o'clock _____ M., _____ A.D., 2003, and was duly recorded in Plat Book No. _____ Page No. _____

Reception No. _____ Clerk and Recorder

Drawer No. _____ By: _____ Deputy

SURVEYOR'S CERTIFICATION

I, Jeffrey C. Fletcher, do hereby certify that the accompanying plat of 84 LUMBER SIMPLE SUB. a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of same. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

JEFFREY C. FLETCHER COLORADO PLS 24853 DATED _____

84 LUMBER SIMPLE SUBDIVISION
A REPLAT OF LOTS 13-A AND 13-B,
NE 1/4 SECTION 36, T1N, R2E, U.M.
CITY OF GRAND JUNCTION, COLORADO

HIGH DESERT SURVEYING, LLC

3001 S 3/4 ROAD
GRAND JUNCTION, COLORADO 81503
TEL: 970-254-8648, FAX: 970-255-7047

PROJECT NO. 03-17	SUR. BY	DRAWN	CHECKED	SHEET	OF
DATE: 02/28/03	BE/FB	JCF		1	1

EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

(A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION,
LOCATED IN THE NE 1/4 SECTION 36, T 1 N, R 2 W, U.M.,)

Lot 19, Valley West Subdivision Filing No.3
Plat Book 12, Page 347
Butler Land & Livestock, LLC
Book 3128, Page 270/271

Lot 17, Valley West Subdivision Filing No.3
Plat Book 12, Page 347
David M. and Myrna L. Dodd
Book 1780, Page 583

Lot 6, Valley West Subdivision Filing No.3
Plat Book 12, Page 347
Turnward Enterprises, LLC
Book 3181, Page 72

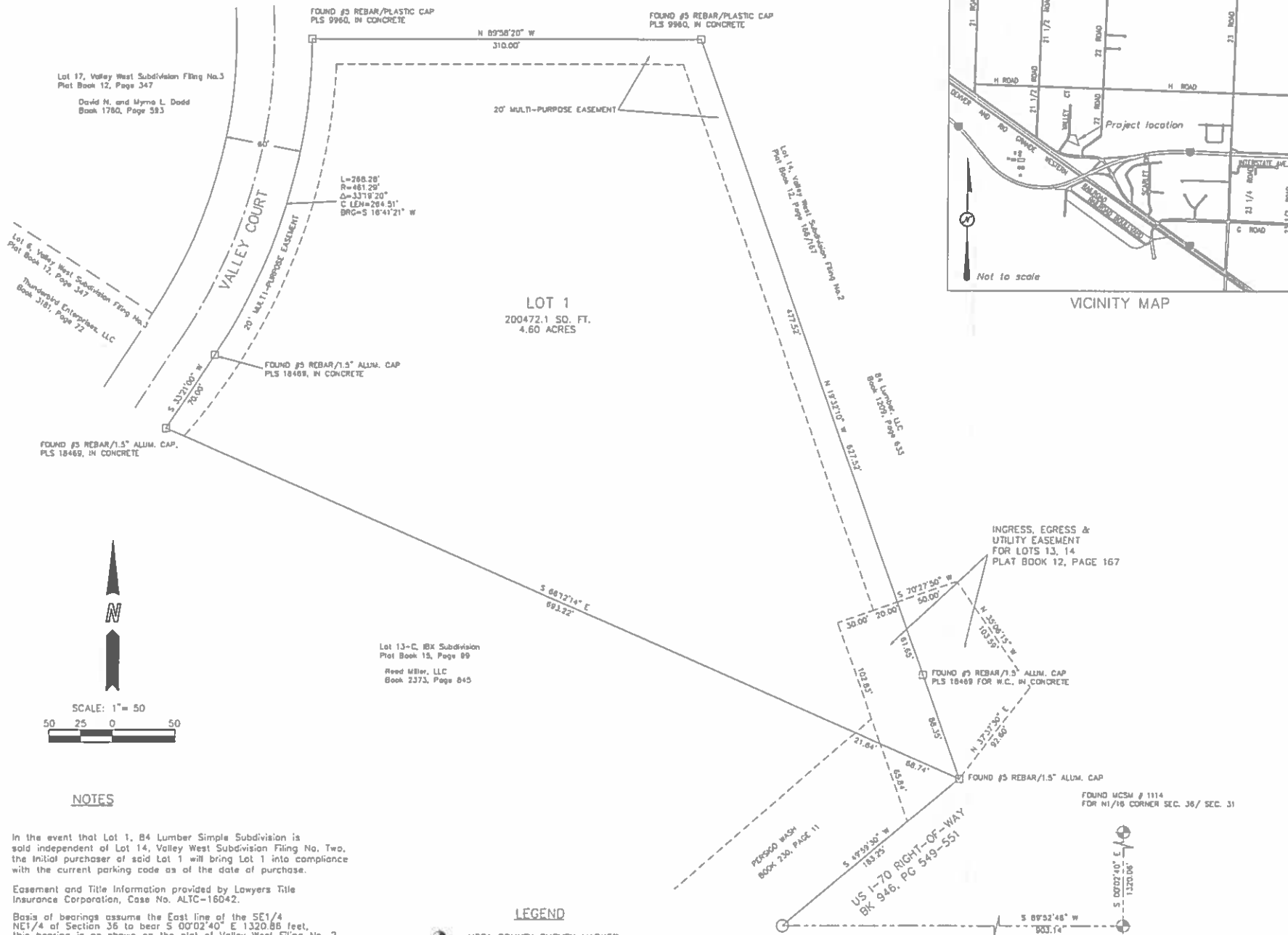
Lot 13-C, IBX Subdivision
Plat Book 15, Page 99
Reed Miller, LLC
Book 2373, Page 845

Lot 14, Valley West Subdivision Filing No.2
Plat Book 12, Page 347
B4 Lumber, LLC
Book 1201, Page 835

LOT 1
200472.1 SQ. FT.
4.60 ACRES



VICINITY MAP



NOTES

In the event that Lot 1, B4 Lumber Simple Subdivision is sold independent of Lot 14, Valley West Subdivision Filing No. Two, the initial purchaser of said Lot 1 will bring Lot 1 into compliance with the current parking code as of the date of purchase.

Easement and Title Information provided by Lawyers Title Insurance Corporation, Case No. ALTC-16042.

Basis of bearings assumes the East line of the SE1/4 NE1/4 of Section 36 to bear S 00°02'40" E 1320.88 feet, this bearing is as shown on the plat of Valley West Filing No. 2. Both monuments on this line are Mesa County Survey Markers.

- LEGEND**
- MESA COUNTY SURVEY MARKER
 - SET ALUMINUM CAP ON NO. 5 REBAR, PLS 24953 IN CONCRETE
 - CALCULATED POSITION
 - FOUND REBAR, AS NOTED
- ALUM. = ALUMINUM
W.C. = WITNESS CORNER
T. = TOWNSHIP
R. = RANGE
U.M. = UTE MERIDIAN
PLS = PROFESSIONAL LAND SURVEYOR

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, WILL ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

DEDICATION

That the undersigned Pierce Hardy Limited Partnership is the owner of that real property situated in the Northeast Quarter (NE 1/4) of Section 36, Township 1 North, Range 2 West, Ute Meridian, Mesa County, State of Colorado, being Lots 13-A and 13-B, IBX Subdivision as recorded in Book 15, of Page 99, of the official records of the Clerk and Recorders Office of Mesa County, Colorado.

That said owner has caused the real property to be laid out and platted as EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a Replat of Lots 13-A and 13-B of IBX SUBDIVISION, a part of the City of Grand Junction, Colorado. That said owner does hereby dedicate and set apart that real property as shown and labeled as the accompanying plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION as follows. There are no lien holders on this property.

IN WITNESS WHEREOF, said owner, has caused his name to be hereunto subscribed this _____ day of _____, 2003 A.D.

by: _____
Christina A. Torres
Asst. Vice President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF WASHINGTON

On this _____ day of _____, 2003, before me, a notary public, the undersigned officer, personally appeared Christina A. Torres, who acknowledged herself to be the Asst. Vice President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Peter Jon Co. by herself as Asst. Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Pierce Hardy Limited Partnership
By: Peter Jon Co., General Partner

By: _____
Christina A. Torres
Asst. Vice President

TITLE CERTIFICATION

STATE OF COLORADO
COUNTY OF MESA

We, _____ a title insurance company, as duly licensed in the State of Colorado, do hereby certify that we have examined the title to the herein described property, that we find the title to the property is vested to B4 Lumber, Inc., that the current taxes have been paid; that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record, that all easements, reservations and rights of way of record are shown hereon.

Date: _____ By: _____
Name and Title

Name of Title Company

CITY OF GRAND JUNCTION APPROVAL

This plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this _____ day of _____, A.D., 2003.

Mayor _____ City Manager _____

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO } ss
COUNTY OF MESA }
I hereby certify that this instrument was filed in my office at _____ A.D., 2003, and was duly recorded in Plat Book No. _____ Page No. _____

Reception No. _____ Clerk and Recorder
By: _____ Deputy

SURVEYOR'S CERTIFICATION

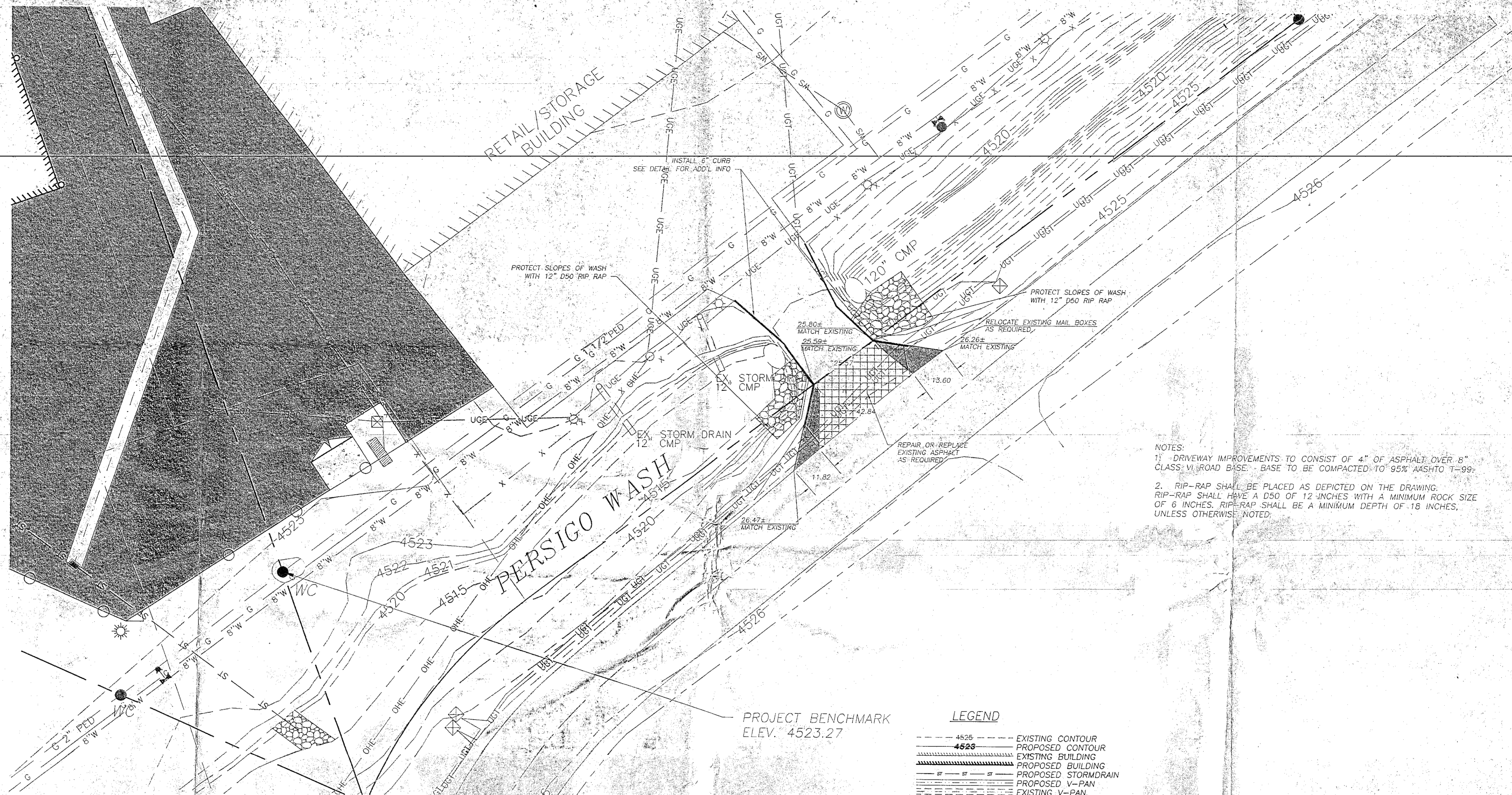
I, Jeffrey C. Fletcher, do hereby certify that the accompanying plat of EIGHTY-FOUR LUMBER SIMPLE SUB-a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of same. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

JEFFREY C. FLETCHER COLORADO PLS 24953

EIGHTY-FOUR LUMBER SIMPLE SUB.
A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION, NE1/4 SEC. 36, T1N, R2W, U.M., CITY OF GRAND JUNCTION, COLORADO

HIGH DESERT SURVEYING, LLC
2591 B 3/4 ROAD
GRAND JUNCTION, COLORADO 81503
TEL: 970-254-8848, FAX: 970-253-7047

PROJECT NO. 03-17	SUR. BY: JCF	DRAWN: JCF	CHECKED: JCF	SHEET: 1	OF: 1
DATE: 02/26/03					

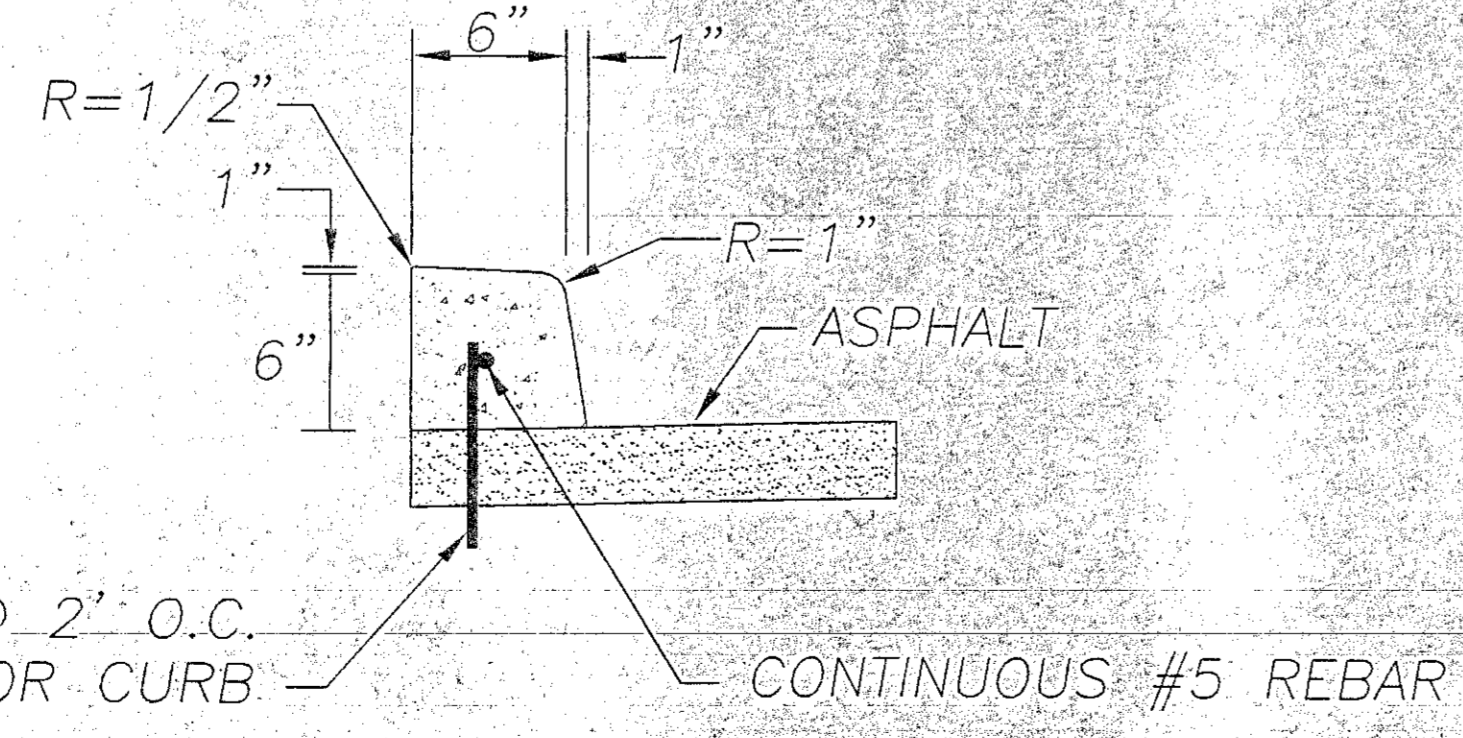
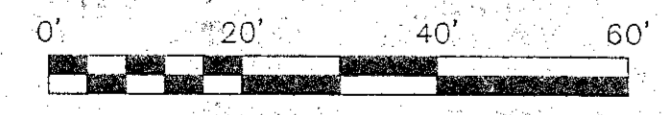


NOTES:
 1. DRIVEWAY IMPROVEMENTS TO CONSIST OF 4" OF ASPHALT OVER 8" CLASS VI ROAD BASE. BASE TO BE COMPACTED TO 95% AASHTO T-99.
 2. RIP-RAP SHALL BE PLACED AS DEPICTED ON THE DRAWING. RIP-RAP SHALL HAVE A D50 OF 12 INCHES WITH A MINIMUM ROCK SIZE OF 6 INCHES. RIP-RAP SHALL BE A MINIMUM DEPTH OF 18 INCHES, UNLESS OTHERWISE NOTED.

PROJECT BENCHMARK
 ELEV. 4523.27

LEGEND

- 4526 --- EXISTING CONTOUR
- 4528 --- PROPOSED CONTOUR
- ▨ EXISTING BUILDING
- ▨ PROPOSED BUILDING
- ST --- ST --- PROPOSED STORM DRAIN
- V --- V --- PROPOSED V-PAN
- V --- V --- EXISTING V-PAN
- F --- F --- EXISTING FENCE
- ○ ○ ○ ○ PROPOSED 6" CHAINLINK FENCE
- 4" W --- 4" W --- EXISTING WATER LINE
- SS --- SS --- EXISTING SEWER LINE
- UGT --- UGT --- EXISTING PHONE LINE
- G --- G --- EXISTING GAS LINE
- OHE --- OHE --- EXISTING OVERHEAD ELECTRIC
- UGE --- UGE --- EXISTING UNDERGROUND ELECTRIC
- --- --- EXISTING PROPERTY LINE
- --- --- EXISTING EASEMENT
- --- --- PROPOSED GRADE BREAK LINE
- --- --- PROPOSED SWALE FLOWLINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING LIGHT POLE
- ⊙ PROPOSED LIGHT
- ⊙ EXISTING FIRE HYDRANT
- ⊙ PROPOSED AREA INLET
- RDS PROPOSED ROOF DRAIN
- ⇨ PROPOSED FLOW DIRECTION
- ▨ PROPOSED ASPHALT
- ▨ EXISTING ASPHALT
- ▨ PROPOSED ALL-WEATHER SURFACE
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED CLASS VI BASE 6" THICK
- ⇨ PROPOSED FLOW ARROWS



VERTICAL CURB
 N.T.S.

CALL UTILITY LOCATORS
 CENTER OF COURSE
 1-800-828-1887

CALL BUSINESS AGENCIES IN ADVANCE BEFORE YOU DIG. TRACE OR EXCAVATE FOR SCALE VERIFICATION OF UTILITIES.
 BAR CODE IS FOR ORGANIC DRAWING
 IF NOT ONE INCH ON THIS SHEET
 ADJUST SCALES ACCORDINGLY

NO.	DATE	BY

REVISIONS

DESCRIPTION

DATE

BY

PIERCE HARDY LIMITED PARTNERSHIP

338 Main Street, Suite 203 • Grand Junction, Colorado • 81501
 (970) 242-7450



CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

BY: *Laura C. Winkler* DATE: 10-25-03

ACCEPTED AS CONSTRUCTED

BY: _____ DATE: _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

84 LUMBER YARD

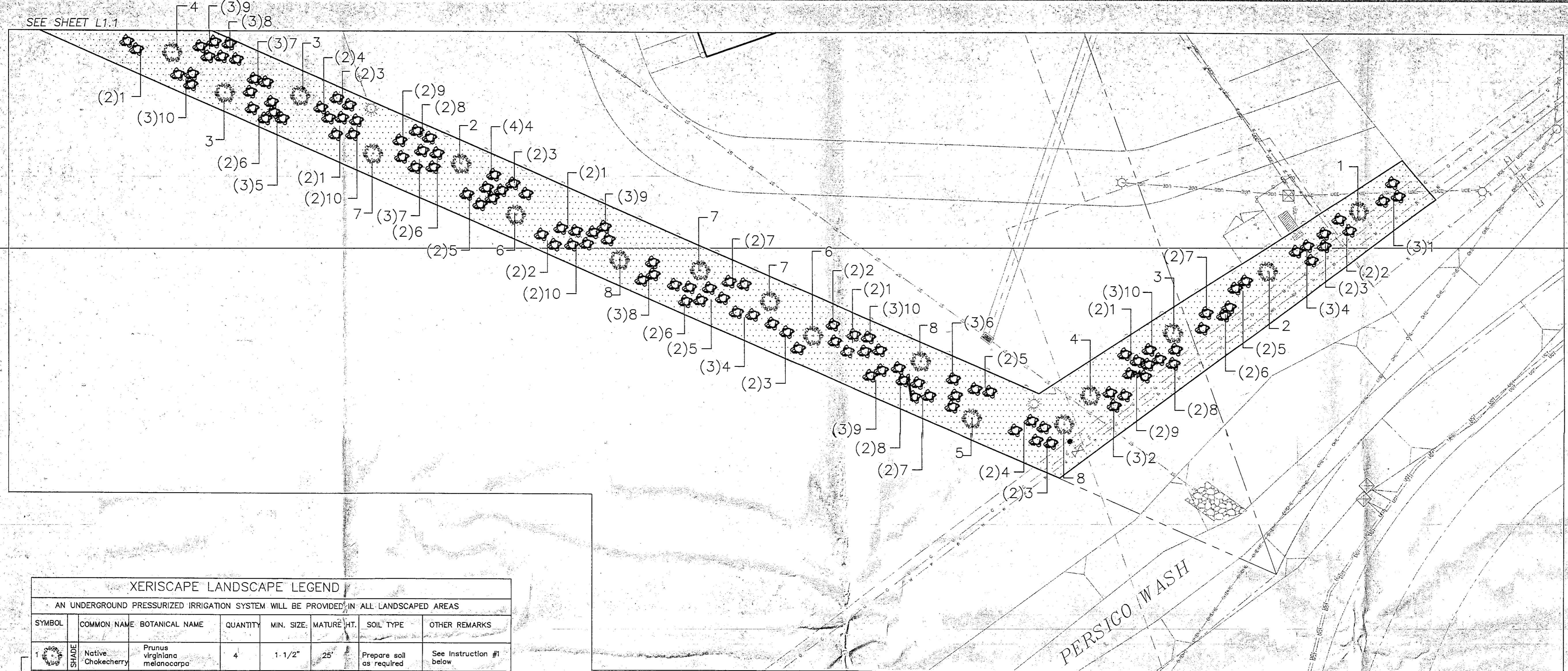
22 ROAD ACCESS IMPROVEMENT PLAN

PIERCE HARDY LIMITED PARTNERSHIP

DRAWN BY:	JH
DESIGNED BY:	JH
PROJECT NO.:	636.0002
DATE:	11 SEP 03
SCALE:	1" = 20'
SHEET NO.:	61

RECEIVED
 OCT 24 2003
 COMMUNITY DEVELOPMENT

SEE SHEET L1.1



XERISCAPE LANDSCAPE LEGEND

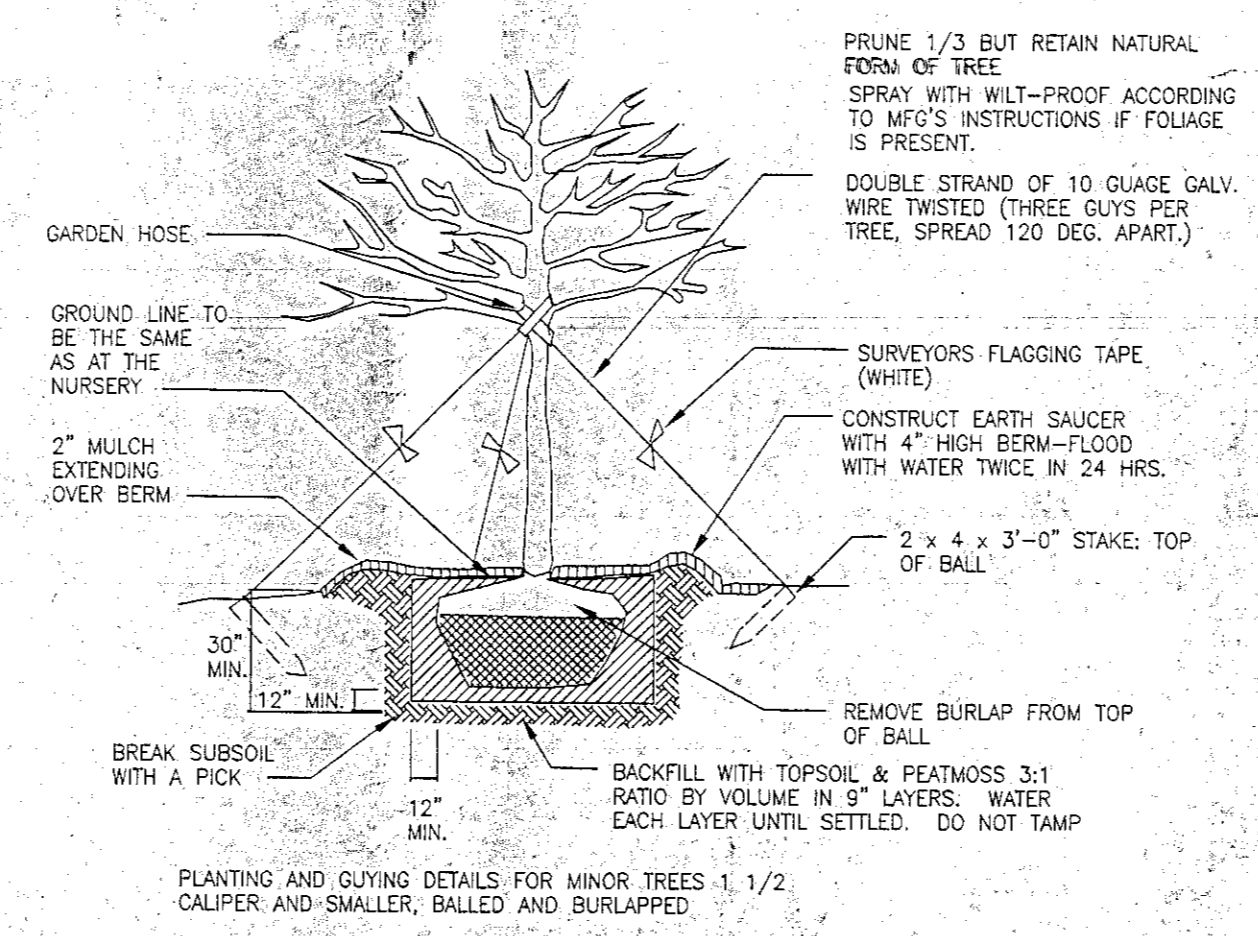
AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED IN ALL LANDSCAPED AREAS

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	MIN. SIZE	MATURE HT.	SOIL TYPE	OTHER REMARKS
1	SHADE Native Chokecherry	Prunus virginiana melanocarpa	4	1 1/2"	25'	Prepare soil as required	See Instruction #1 below
2	SHADE Western Hackberry	Celtis occidentalis	5	1 1/2"	40'	Prepare soil as required	See Instruction #1 below
3	SHADE Hawthorn	Crataegus	5	1 1/2"	40'	Prepare soil as required	See Instruction #1 below
4	SHADE Green Ash	Fraxinus spp.	5	1 1/2"	40'	Prepare soil as required	See Instruction #1 below
5	ORNAM Staghorn Sumac	Rhus typhina	4	1 1/2"	25'	Prepare soil as required	See Instruction #1 below
6	ORNAM New Mexico Locust	Robinia neomexicana	4	1 1/2"	25'	Prepare soil as required	See Instruction #1 below
7	ORNAM Burr Oak	Quercus rubra	5	1 1/2"	40'	Prepare soil as required	See Instruction #1 below
8	ORNAM Western Catalpa	Catalpa speciosa	5	1 1/2"	40'	Prepare soil as required	See Instruction #1 below
1	SHRUB Rabbitbrush	Chrysothamnus nauseosus	40	5 gallon	4'	Prepare soil as required	See Instruction #1 below
2	SHRUB Big Sage	Artemisia tridentata	40	5 gallon	4'	Prepare soil as required	See Instruction #1 below
3	SHRUB Four-wing Saltbush	Atriplex canescens	40	5 gal.	4'	Prepare soil as required	See Instruction #1 below
4	SHRUB Cliff Rose	Cowania mexicana	40	5 gal.	4'	Prepare soil as required	See Instruction #1 below
5	SHRUB Antelope Bitterbrush	Purshia tridentata	40	5 gal.	4'	Prepare soil as required	See Instruction #1 below
6	SHRUB Smooth Sumac	Rhus glabra	40	5 gal.	4'	Prepare soil as required	See Instruction #1 below
7	SHRUB Old Man Wormwood	Artemisia cana	40	5 gal.	4'	Prepare soil as required	See Instruction #1 below
8	SHRUB Mormon Tea	Ephedra viridis	39	5 gal.	3'	Prepare soil as required	See Instruction #1 below
9	SHRUB Threelobed Sumac	Rhus trilobata	39	5 gal.	3'	Prepare soil as required	See Instruction #1 below
10	SHRUB Mentor Barberry	Berberis spp.	39	5 gal.	3'	Prepare soil as required	See Instruction #1 below
COVER	2" Rock (or Bark)					6 mil. poly or equivalent under w/ soil steralant	

37 TREES TOTAL

397 SHRUBS TOTAL

Instruction #1: Irrigation to be provided for all xeriscape planting until established (approximately 2-3 years); once plants have been established, water only required during hot, dry periods



CALIPER*	RANGE	MAX. HEIGHT	MINIMUM BALL DIAMETER	MINIMUM BALL DEPTH
1/2 to 3/4 in.	5 to 6 ft.	8 ft.	12 inches	9 inches
3/4 to 1 in.	6 to 8 ft.	10 ft.	14 inches	10 inches
1 to 1 1/4 in.	7 to 9 ft.	11 ft.	16 inches	12 inches
1 1/4 to 1 1/2 in.	8 to 10 ft.	12 ft.	18 inches	13 inches
1 1/2 to 1 3/4 in.	10 to 12 ft.	14 ft.	20 inches	14 inches
1 3/4 to 2 in.	10 to 12 ft.	14 ft.	22 inches	15 inches
2 to 2 1/2 in.	12 to 14 ft.	16 ft.	24 inches	16 inches
2 1/2 to 3 in.	14 to 16 ft.	18 ft.	32 inches	20 inches
3 to 3 1/2 in.	14 to 16 ft.	18 ft.	36 inches	22 inches
3 1/2 to 4 in.	16 to 18 ft.	20 ft.	44 inches	26 inches
4 to 5 in.	16 to 18 ft.	22 ft.	48 inches	28 inches
5 to 6 in.	> 18 in.	26 ft.	48 inches	28 inches

*In the selection of trees from commercial nurseries, caliper indicates the diameter of the trunk taken 6 inches above the ground level up to and including 4-inch caliper size and 12 inches above the ground level for larger sizes.

HEIGHT RANGE*	MAXIMUM BALL DIAMETER	MINIMUM BALL DEPTH
1 1/2 to 2 ft.	10 inches	8 inches
2 to 3 ft.	12 inches	9 inches
3 to 4 ft.	13 inches	10 inches
4 to 5 ft.	15 inches	11 inches
5 to 6 ft.	18 inches	12 inches
6 to 7 ft.	18 inches	13 inches
7 to 8 ft.	20 inches	14 inches
8 to 9 ft.	22 inches	15 inches
9 to 10 ft.	24 inches	16 inches
10 to 12 ft.	26 inches	17 inches

NOTE FOR STD. SHADE TREES AND SHRUBS AND MINOR TREES: Ball sizes should always be of a diameter to encompass the fibrous and feeding root system necessary for the full recovery of the plant.

LANDSCAPING REQUIREMENTS:
 48 TREES x 33% REDUCTION (FOR "BERM" INSTALLATION) = 32 TREES REQ'D
 397 SHRUBS REQ'D

LANDSCAPE PLAN

AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED IN ALL LANDSCAPED AREAS

NORTH ↑

1" = 20' - 0"

APPROVED BY CITY OF GRAND JUNCTION ENGINEER: [Signature] DATE: 03/27/03

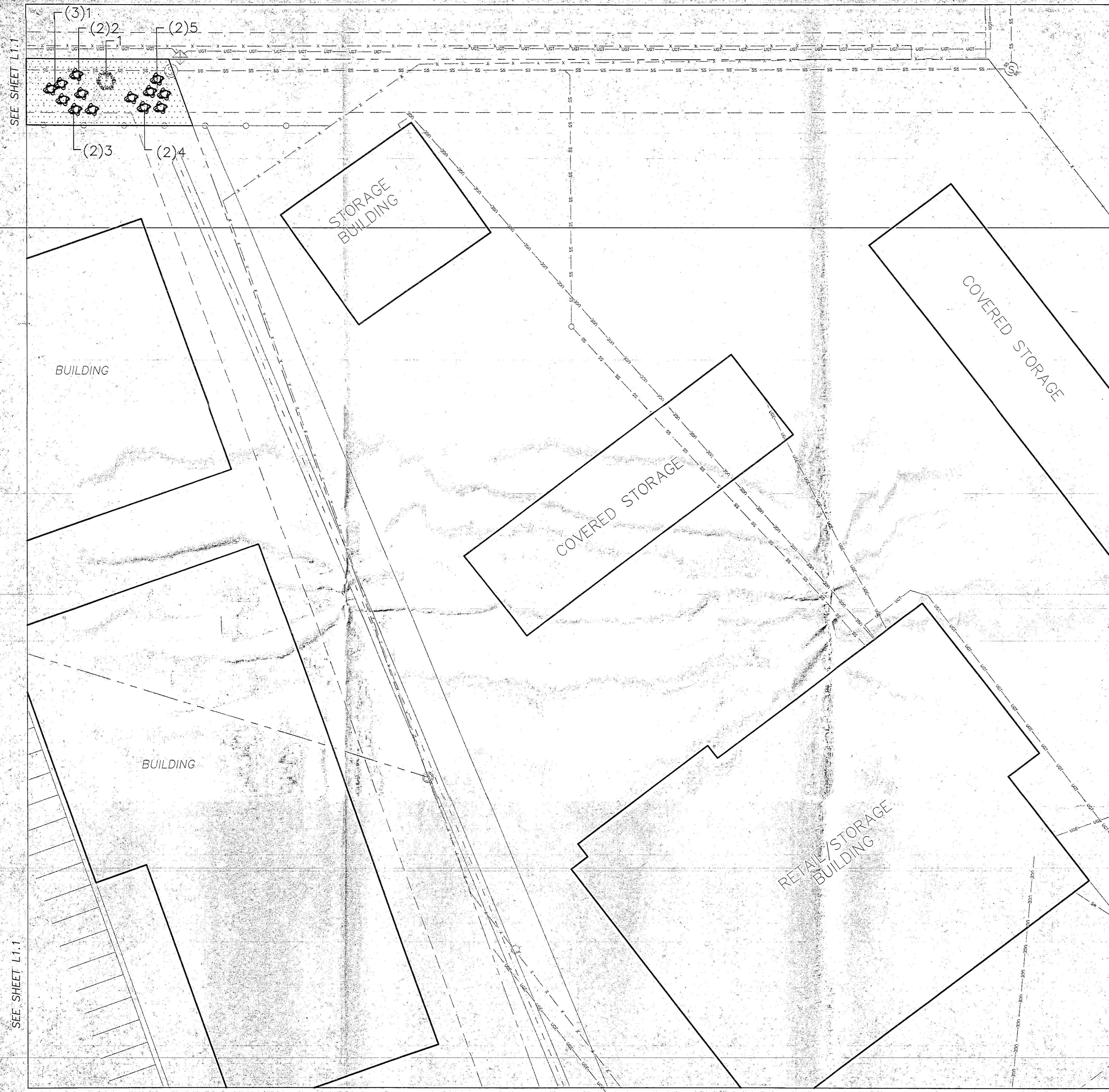
APPROVED BY COMMUNITY DEVELOPMENT: [Signature] DATE: 05/28/03

GREGG ASSOCIATES
 518 MAIN STREET SUITE 205
 GRAND JUNCTION, COLORADO 81501
 TELE 970 245 9857 FAX 970 265 7005

84 LUMBER COMPANY
 LANDSCAPE PLAN
 GRAND JUNCTION, COLORADO

03-27-03
 04-07-03
 05-28-03

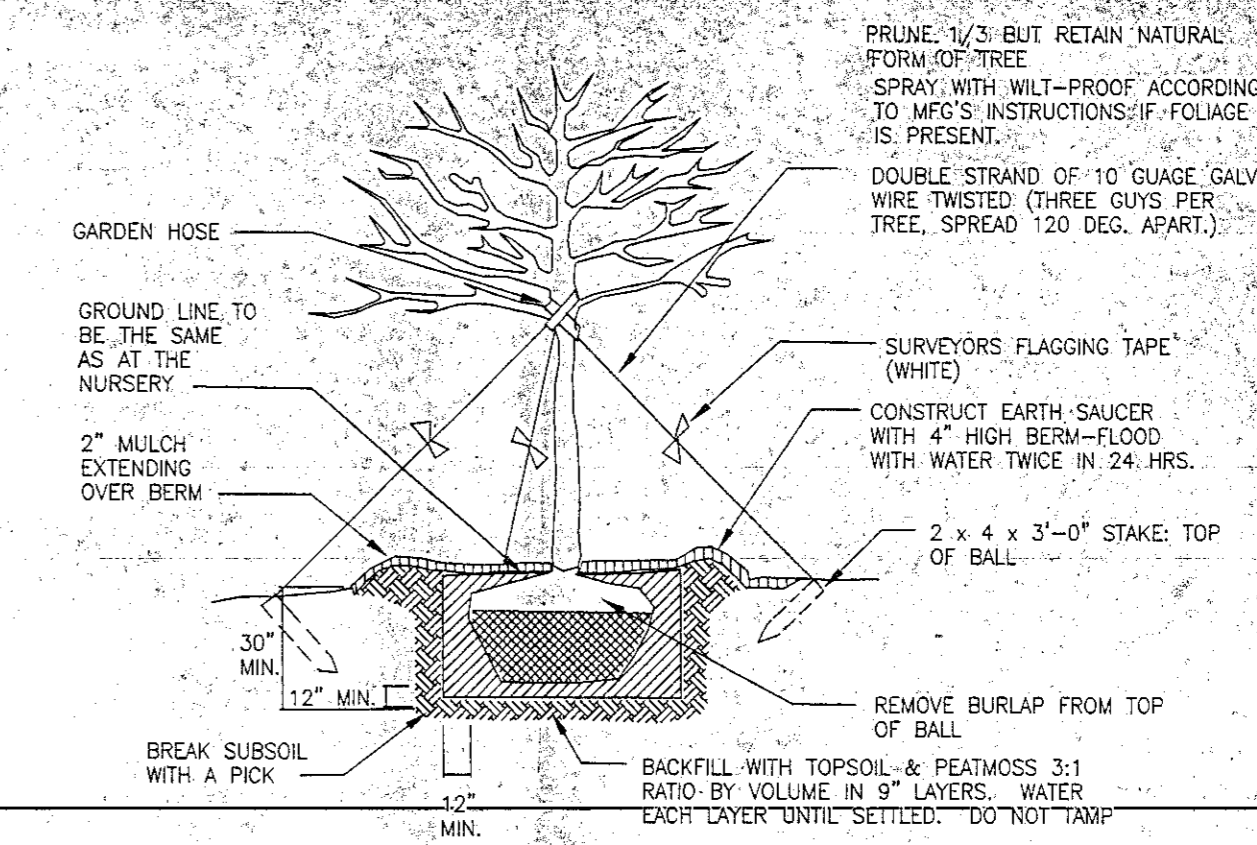
L1.3



SEE SHEET L1.1

SEE SHEET L1.1

SEE SHEET L1.3



PLANTING AND CULLING DETAILS FOR MINOR TREES 1 1/2 CALIPER AND SMALLER, BALLED AND BURLAPPED

CALIPER*	RANGE RANGE	MAX. HEIGHT	MINIMUM BALL DIAMETER	MINIMUM BALL DEPTH	HEIGHT RANGE	MAXIMUM BALL DIAMETER	MINIMUM BALL DEPTH
1/2 to 3/4 in.	5 to 6 ft.	8 ft.	12 inches	9 inches	1 1/2 to 2 ft.	10 inches	8 inches
3/4 to 1 in.	6 to 8 ft.	10 ft.	14 inches	10 inches	2 to 3 ft.	12 inches	9 inches
1 to 1 1/4 in.	7 to 9 ft.	11 ft.	16 inches	12 inches	3 to 4 ft.	13 inches	10 inches
1 1/4 to 1 1/2 in.	8 to 10 ft.	12 ft.	18 inches	13 inches	4 to 5 ft.	15 inches	11 inches
1 1/2 to 1 3/4 in.	10 to 12 ft.	14 ft.	20 inches	14 inches	5 to 6 ft.	18 inches	12 inches
1 3/4 to 2 in.	10 to 12 ft.	14 ft.	22 inches	15 inches	6 to 7 ft.	18 inches	13 inches
2 to 2 1/2 in.	12 to 14 ft.	16 ft.	24 inches	16 inches	7 to 8 ft.	20 inches	14 inches
2 1/2 to 3 in.	14 to 16 ft.	18 ft.	32 inches	20 inches	8 to 8 ft.	22 inches	15 inches
3 to 3 1/2 in.	14 to 16 ft.	18 ft.	38 inches	22 inches	9 to 10 ft.	24 inches	16 inches
3 1/2 to 4 in.	16 to 18 ft.	22 ft.	44 inches	26 inches	10 to 12 ft.	26 inches	17 inches
4 to 5 in.	16 to 18 ft.	22 ft.	44 inches	26 inches			
5 to 6 in.	> 18 in.	26 ft.	46 inches	29 inches			

*In the selection of trees from commercial nurseries, caliper indicates the diameter of the trunk taken 6 inches above the ground level up to and including 4 inch caliper size and 12 inches above the ground level for larger sizes.

NOTE FOR STD. SHADE TREES AND SHRUBS AND MINOR TREES: Ball sizes should always be of a diameter to encompass the fibrous and feeding root system necessary for the full recovery of the plant.

XERISCAPE LANDSCAPE LEGEND							
AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED IN ALL LANDSCAPED AREAS							
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	MIN. SIZE	MATURE HT.	SOIL TYPE	OTHER REMARKS
1	Native Chokecherry	Prunus virginiana melanocarpa	4	1 1/2"	25'	Prepare soil as required	See instruction #1 below
2	Western Hackberry	Celtis occidentalis	5	1 1/2"	40'	Prepare soil as required	See instruction #1 below
3	Hawthorn	Crataegus	5	1 1/2"	40'	Prepare soil as required	See instruction #1 below
4	Green Ash	Fraxinus spp.	5	1 1/2"	40'	Prepare soil as required	See instruction #1 below
5	Staghorn Sumac	Rhus typhina	4	1 1/2"	25'	Prepare soil as required	See instruction #1 below
6	New Mexico Locust	Robinia neomexicana	4	1 1/2"	25'	Prepare soil as required	See instruction #1 below
7	Burr Oak	Quercus rubra	5	1 1/2"	40'	Prepare soil as required	See instruction #1 below
8	Western Catalpa	Catalpa speciosa	5	1 1/2"	40'	Prepare soil as required	See instruction #1 below
1	Rabbitbrush	Chrysothamnus nauseosus	40	5 gallon	4'	Prepare soil as required	See instruction #1 below
2	Big Sage	Artemisia tridentata	40	5 gallon	4'	Prepare soil as required	See instruction #1 below
3	Four-wing Saltbush	Atriplex canescens	40	5 gal.	4'	Prepare soil as required	See instruction #1 below
4	Cliff Rose	Cowania mexicana	40	5 gal.	4'	Prepare soil as required	See instruction #1 below
5	Antelope Bitterbrush	Purshia tridentata	40	5 gal.	4'	Prepare soil as required	See instruction #1 below
6	Smooth Sumac	Rhus glabra	40	5 gal.	4'	Prepare soil as required	See instruction #1 below
7	Old Man Wormwood	Artemisia cana	40	5 gal.	4'	Prepare soil as required	See instruction #1 below
8	Mormon Tea	Ephedra viridis	39	5 gal.	3'	Prepare soil as required	See instruction #1 below
9	Threeleaf Sumac	Rhus trilobata	39	5 gal.	3'	Prepare soil as required	See instruction #1 below
10	Mentor Barbary	Berberis spp.	39	5 gal.	3'	Prepare soil as required	See instruction #1 below
COVER	2" Rock (or Bark)						6 mil poly or equivalent under w/ soil sterilant.

Instruction #1: Irrigation to be provided for all xeriscape planting until established (approximately 2-3 years); once plants have been established, water only required during hot, dry periods.

37 TREES TOTAL
397 SHRUBS TOTAL

LANDSCAPING REQUIREMENTS:
48 TREES x 33% REDUCTION (FOR "BERM" INSTALLATION) =
32 TREES REQ'D
397 SHRUBS REQ'D

LANDSCAPE PLAN

AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED IN ALL LANDSCAPED AREAS.

1" = 20' - 0"

APPROVED BY CITY OF GRAND JUNCTION ENGINEER: [Signature]

APPROVED BY COMMUNITY DEVELOPMENT: [Signature]

DATE & REVISIONS	REMARKS
03-12-03	
03-14-03	
03-27-03	
04-07-03	

L1.2

CREGG ASSOCIATES
318 MAIN STREET, SUITE 205
GRAND JUNCTION, COLORADO 81501
TEL: 970.245.8657 FAX: 970.263.7905

84 LUMBER COMPANY
LANDSCAPE PLAN
GRAND JUNCTION, COLORADO

C:\Program Files\Autocad 2004\Drawings\04\LANDSCAPE\L1.dwg, Wed May 28 10:23:47 2003

05.07.03

EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION

(A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION,
LOCATED IN THE NE 1/4 SECTION 36, T 1 N, R 2 W, U.M.)

Lot 19, Valley West Subdivision Filing No.3
Plat Book 12, Page 347

Bollard Land & Livestock, LLC
Book 3126, Page 270/271

Lot 17, Valley West Subdivision Filing No.3
Plat Book 12, Page 347

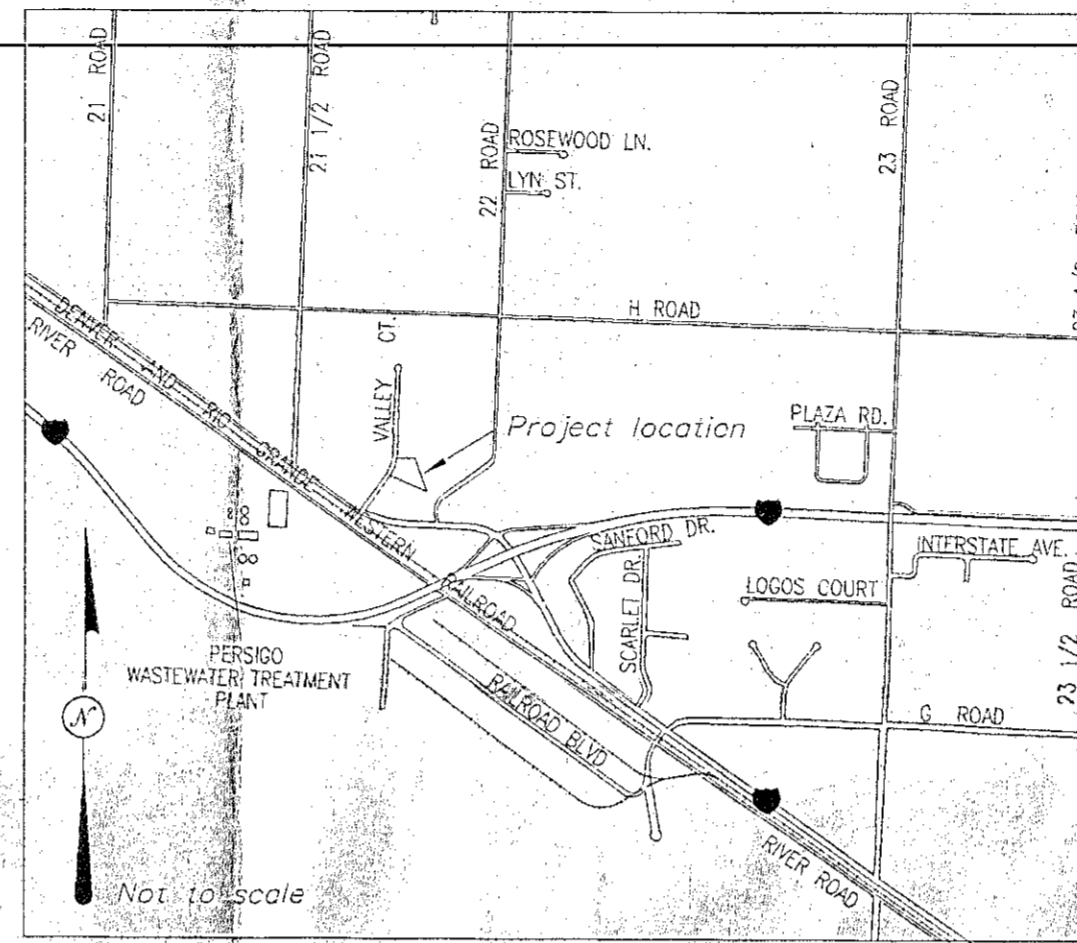
David N. and Nyma L. Dodd
Book 1760, Page 593

Lot 14, Valley West Subdivision Filing No.3
Plat Book 12, Page 347

Thunderbird Enterprises, LLC
Book 3101, Page 72

Lot 13-C, IBX Subdivision
Plat Book 15, Page 99

Reed Miller, LLC
Book 2373, Page 845



VICINITY MAP

DEDICATION

That the undersigned Pierce Hardy Limited Partnership is the owner of that real property situated in the Northeast Quarter (NE 1/4) of Section 36, Township 1 North, Range 2 West, Ute Meridian, Mesa County, State of Colorado, being Lots 13-A and 13-B, IBX Subdivision as recorded in Book 15, at Page 99, of the official records of the Clerk and Recorders Office of Mesa County, Colorado.

That said owner has caused the real property to be laid out and platted as EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a Replat of Lots 13-A and 13-B of IBX SUBDIVISION, a part of the City of Grand Junction, Colorado. That said owner does hereby dedicate and set apart that real property as shown and labeled as the accompanying plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION as follows. There are no lien holders on this property.

IN WITNESS WHEREOF, said owner, has caused his name to be hereunto subscribed this _____ day of _____, 2003 A.D.

by:
Christina A. Toras
Asst. Vice President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF WASHINGTON

On this _____ day of _____, 2003, before me, a notary public, the undersigned officer, personally appeared Christina A. Toras, who acknowledged herself to be the Asst. Vice President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Peter Jon Co. by herself as Asst. Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Pierce Hardy Limited Partnership
By: Peter Jon Co., General Partner

By:
Christina A. Toras
Asst. Vice President

RECEIVED
AUG 29 2003
COMMUNITY DEVELOPMENT
DEPT.

TITLE CERTIFICATION

STATE OF COLORADO
COUNTY OF MESA

We, _____ a title insurance company, as duly licensed in the State of Colorado, do hereby certify that we have examined the title to the hereon described property, that we find the title to the property is vested to 84 Lumber, Inc.; that the current taxes have been paid; that all mortgages not satisfied or released or recorded or otherwise terminated by law are shown hereon; and that there are no other encumbrances of record; that all easements, reservations and rights of way of record are shown hereon.

Date: _____ By: _____
Name and Title

Name of Title Company

CITY OF GRAND JUNCTION APPROVAL

This plat of EIGHTY-FOUR LUMBER SIMPLE SUBDIVISION, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this _____ day of _____, A.D., 2003.

Mayor: _____ City Manager: _____

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO
COUNTY OF MESA

I hereby certify that this instrument was filed in my office at _____ o'clock _____ M., _____ A.D., 2003.

and was duly recorded in Plat Book No. _____ Page No. _____

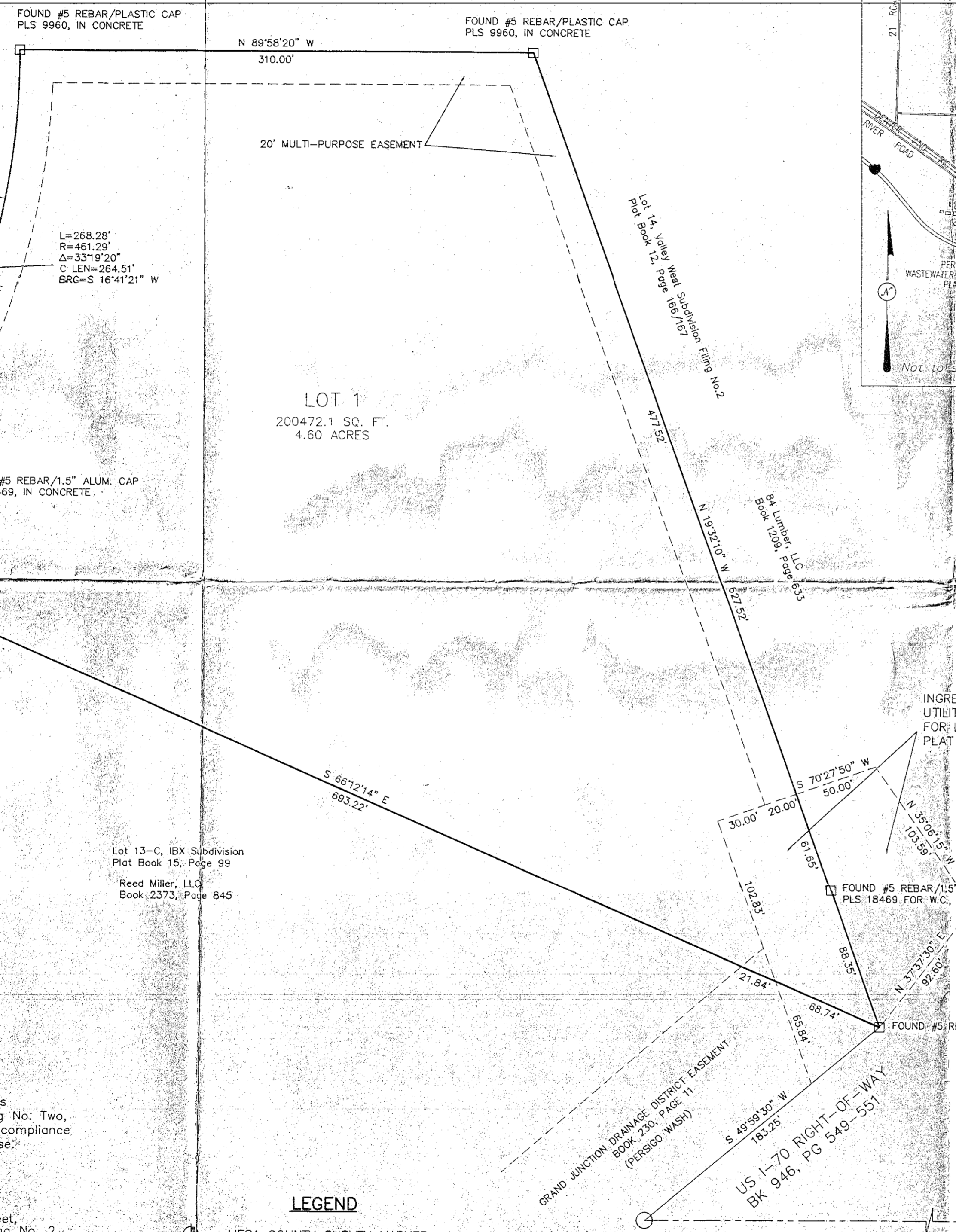
Reception No. _____ Clerk and Recorder

Drawer No. _____ By: _____
Deputy

SURVEYOR'S CERTIFICATION

I, Jeffrey C. Fletcher, do hereby certify that the accompanying plat of 84 LUMBER SIMPLE SUBDIVISION is a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of some. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

JEFFREY C. FLETCHER COLORADO PLS 24953 DATED _____



LEGEND

- MESA COUNTY SURVEY MARKER
- SET ALUMINUM CAP ON No. 5 REBAR, PLS 24953 IN CONCRETE
- CALCULATED POSITION
- FOUND REBAR, AS NOTED
- ALUM = ALUMINUM
- WC = WITNESS CORNER
- T = TOWNSHIP
- R = RANGE
- U.M. = UTE MERIDIAN
- PLS = PROFESSIONAL LAND SURVEYOR

NOTES

In the event that Lot 1, 84 Lumber Simple Subdivision is sold independent of Lot 14, Valley West Subdivision Filing No. Two, the Initial purchaser of said Lot 1 will bring Lot 1 into compliance with the current parking code as of the date of purchase.

Easement and Title Information provided by Lawyers Title Insurance Corporation, Case No. ALTC-16042.

Basis of bearings assume the East line of the SE 1/4 NE 1/4 of Section 36 to bear S 00°02'40\"/>

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SAID DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

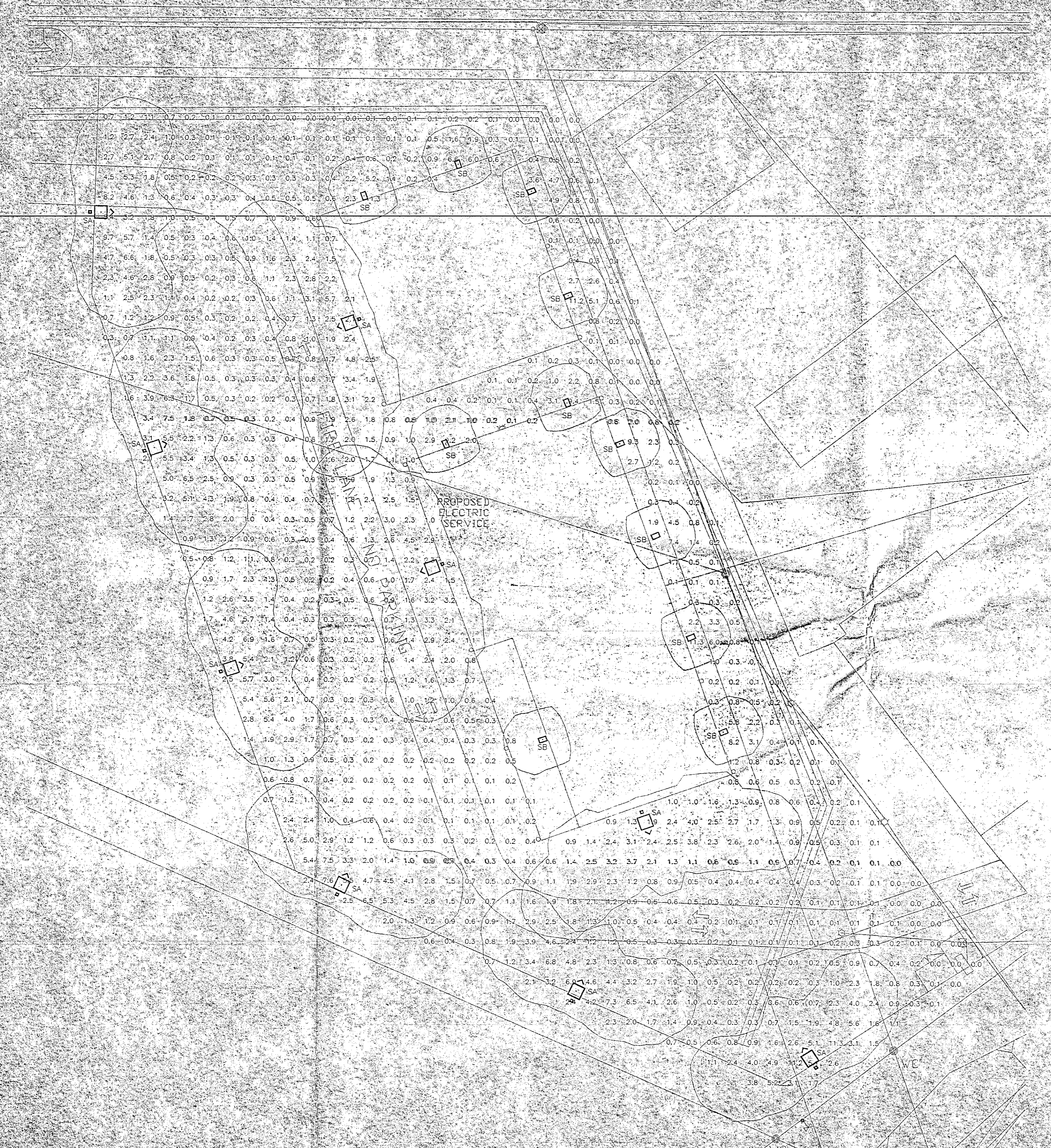
EIGHTY-FOUR LUMBER SIMPLE SUB-
A REPLAT OF LOTS 13-A AND 13-B, IBX
SUBDIVISION, NE 1/4 SEC. 36, T1N, R2W, U.M.,
CITY OF GRAND JUNCTION, COLORADO

HIGH DESERT SURVEYING, LLC

2591 B 3/4 ROAD
GRAND JUNCTION, COLORADO 81503
TEL: 970-254-8649, FAX: 970-255-7047

PROJECT NO.	SUR. BY	DRAWN	CHECKED	SHEET	OF
03-17	BE/FB	JCF		1	1

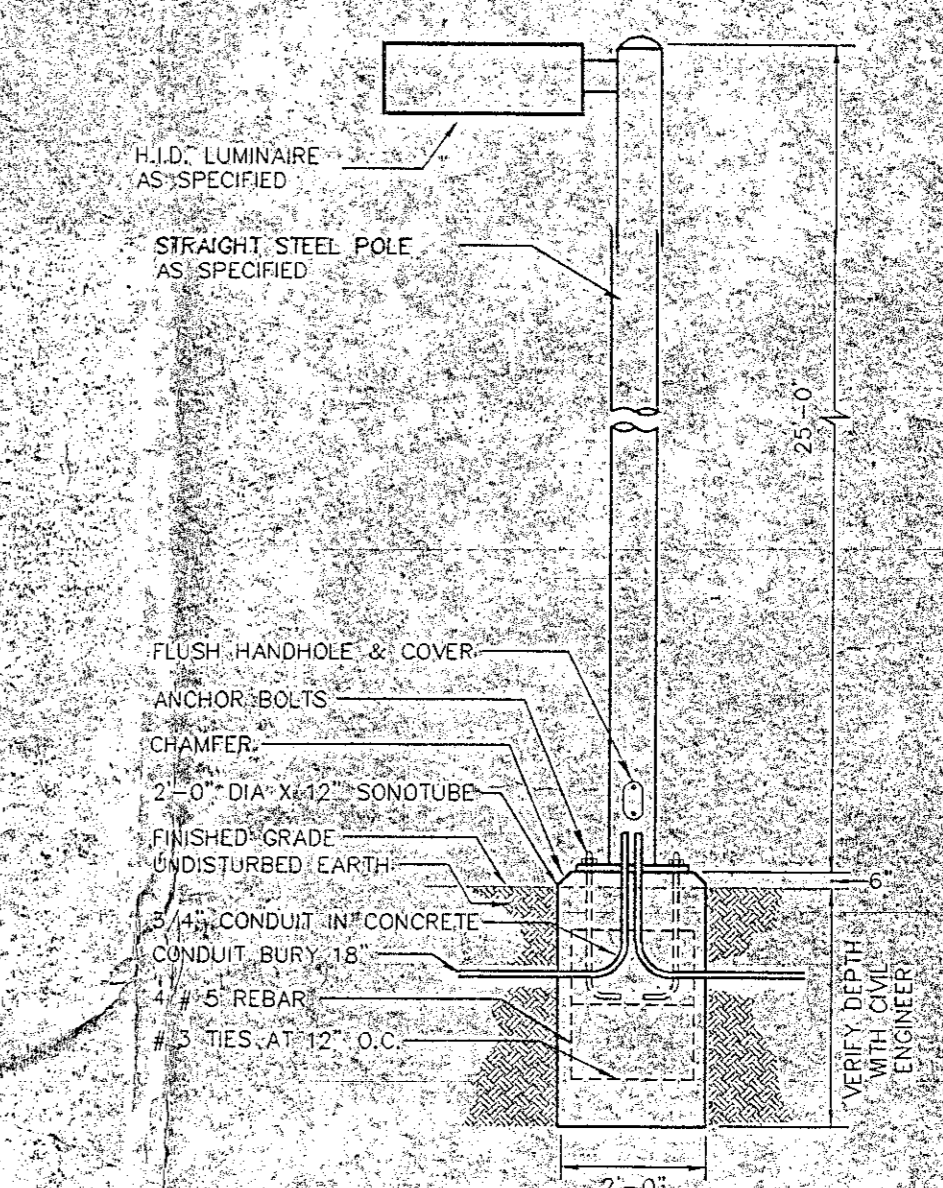
DATE: 02/28/03



ISOFOOTCANDLE SITE PLAN

LUMINAIRE SCHEDULE

TYPE	MANUFACTURER CATALOG NO.	MANUFACTURER CATALOG NO.	VOLTAGE & MOUNTING # OF LAMPS	BALLAST LAMP TYPE LAMP CAST #	DESCRIPTION
SA	LITHONIA KSF2-400M-R3-TB	ENGINEER APPROVED EQUIVALENT	AS AVAILABLE POLE	MH POWER FACTOR METAL HALIDE	8'x12' Wx8' D ARM MOUNTED CUTOFF DARK ALUMINUM RECTANGULAR HOUSING 22" SQUARE
SB	LITHONIA TWAC-100M-TB-PE LPI	ENGINEER APPROVED EQUIVALENT	AS AVAILABLE SURFACE WALL	MH100 WITH FIXTURE METAL HALIDE	POLE 4' SQ. POLE-DARK SKY MEMBER 10'x11.5' Wx9' D MINICUTOFF WALL-PARKS CAST ALUMINUM HOUSING PHOTO CELL DARK SKY MEMBER



LIGHTING POLE BASE DETAIL
NOT TO SCALE

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM BURR ASSOCIATES, INC.

	BURR ASSOCIATES, INC. ARCHITECTS, ENGINEERS, PLANNERS 1000 WEST 10TH AVENUE, SUITE 100 DENVER, COLORADO 80202 TEL: 303.733.1100 FAX: 303.733.1101 WWW.BURRASSOCIATES.COM	PROJECT NO. 17-001 SHEET NO. 17-001-01 DATE: 6/15/06 DRAWING TITLE: LIGHTING POLE BASE DETAIL DRAWING SCALE: AS SHOWN	PROJECT: 17-001 SHEET: 17-001-01 DATE: 6/15/06 DRAWING TITLE: LIGHTING POLE BASE DETAIL DRAWING SCALE: AS SHOWN
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84 LUMBER SIMPLE SUBDIVISION

A REPLAT OF LOTS 13-A AND 13-B, IBX SUBDIVISION,
LOCATED IN THE NE 1/4 SECTION 36, T 1 N, R 2 W, U.M.,

DEDICATION

That the undersigned Pierce Hardy Limited Partnership is the owner of that real property situated in the Northeast Quarter (NE 1/4) of Section 36, Township 1 North, Range 2 West, Ute Meridian, Mesa County, State of Colorado, being Lots 13-A and 13-B, IBX Subdivision as recorded in Book 15, at Page 99, of the official records of the Clerk and Recorders Office of Mesa County, Colorado.

That said owner has caused the real property to be laid out and platted as 84 LUMBER SIMPLE SUBDIVISION, a Replat of Lots 13-A and 13-B of IBX SUBDIVISION, a part of the City of Grand Junction, Colorado. That said owner does hereby dedicate and set apart that real property as shown and labeled as the accompanying plat of 84 LUMBER SIMPLE SUBDIVISION as follows.

All Utility Easements to the City of Grand Junction for the use of City-approved public utilities as perpetual easement for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.

All Multi-purpose Easement to the City of Grand Junction for the use of City-approved utilities and public providers as perpetual easement for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV line, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.

IN WITNESS WHEREOF, said owner, has caused his name to be hereunto subscribed this _____ day of _____, 2003 A.D.

by: _____
Christina A. Toras
Asst. Vice President

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF WASHINGTON

On this _____ day of _____, 2003, before me, a notary public, the undersigned officer, personally appeared Christina A. Toras, who acknowledged herself to be the Asst. Vice President, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of Peter Jon Co. by herself as Asst. Vice President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Pierce Hardy Limited Partnership
By: Peter Jon Co., General Partner

By: _____
Christina A. Toras
Asst. Vice President

CITY OF GRAND JUNCTION APPROVAL

This plat of 84 LUMBER SIMPLE SUBDIVISION, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado, is approved and accepted this _____ day of _____, A.D., 2003.

City Manager

City Mayor

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO } ss
COUNTY OF MESA }
I hereby certify that this instrument was filed in my office at _____ o'clock _____ M., _____, A.D., 2003, and was duly recorded in Plat Book No. _____ Page No. _____

Reception No.

Clerk and Recorder

Drawer No.

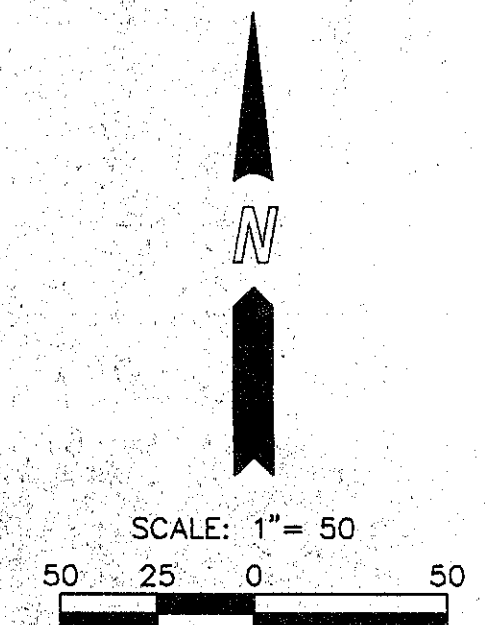
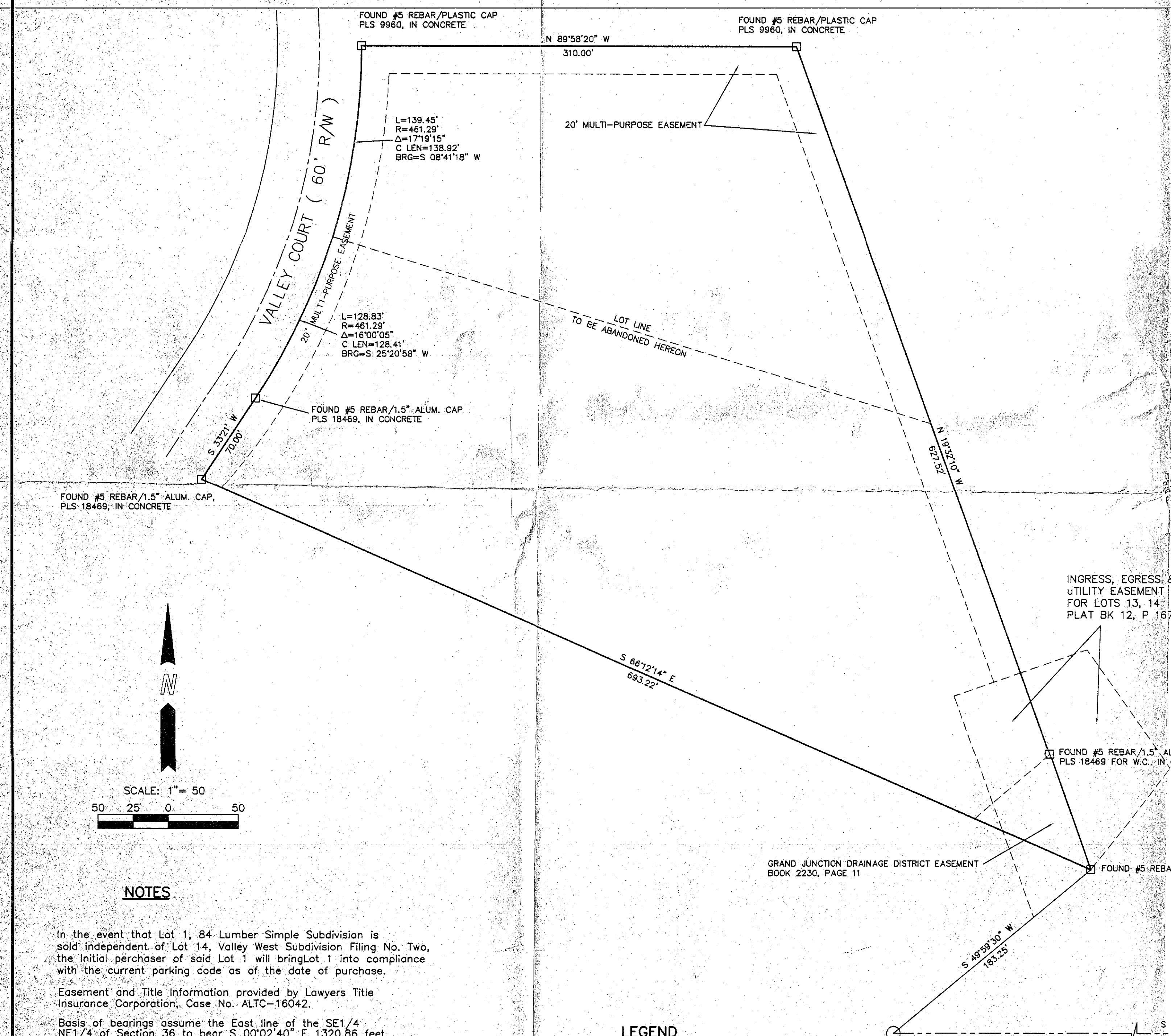
By: _____

Deputy

SURVEYOR'S CERTIFICATION

I, Jeffrey C. Fletcher, do hereby certify that the accompanying plat of 84 LUMBER SIMPLE SUB. a subdivision of a part of the City of Grand Junction, Colorado, has been prepared under my direct supervision and represents a field survey of some. This plat conforms to the requirements for subdivision plats specified in the City of Grand Junction Development code and the applicable laws of the State of Colorado.

JEFFREY C. FLETCHER COLORADO PLS 24953 DATED _____



NOTES

In the event that Lot 1, 84 Lumber Simple Subdivision is sold independent of Lot 14, Valley West Subdivision Filing No. Two, the initial purchaser of said Lot 1 will bring Lot 1 into compliance with the current parking code as of the date of purchase.

Easement and Title Information provided by Lawyers Title Insurance Corporation, Case No. ALTC-16042.

Basis of bearings assume the East line of the SE 1/4 NE 1/4 of Section 36 to bear S 00°02'40\"/>

LEGEND

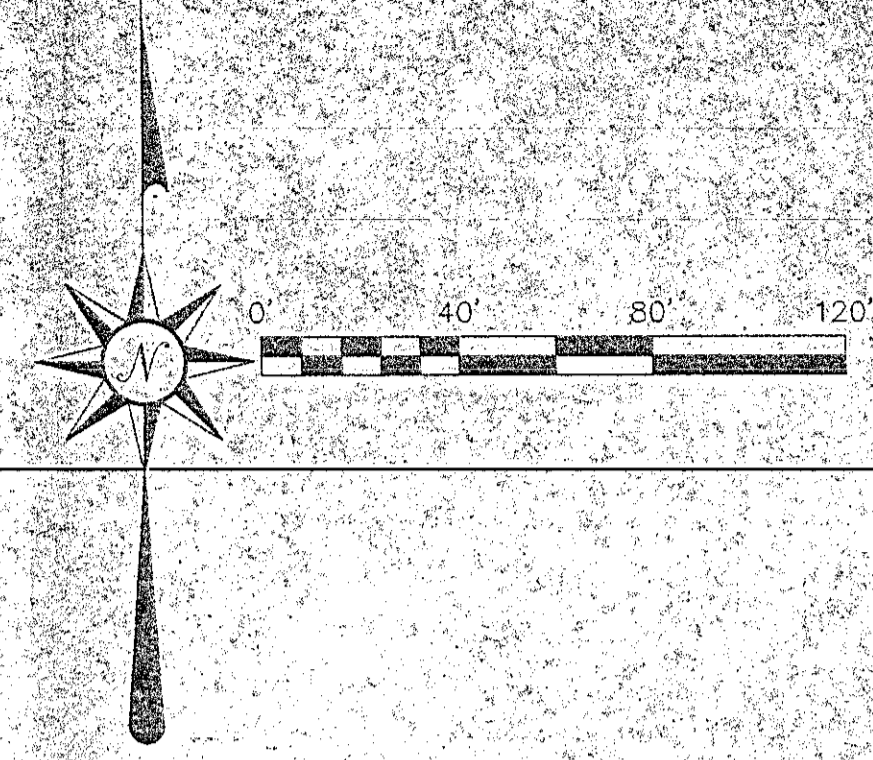
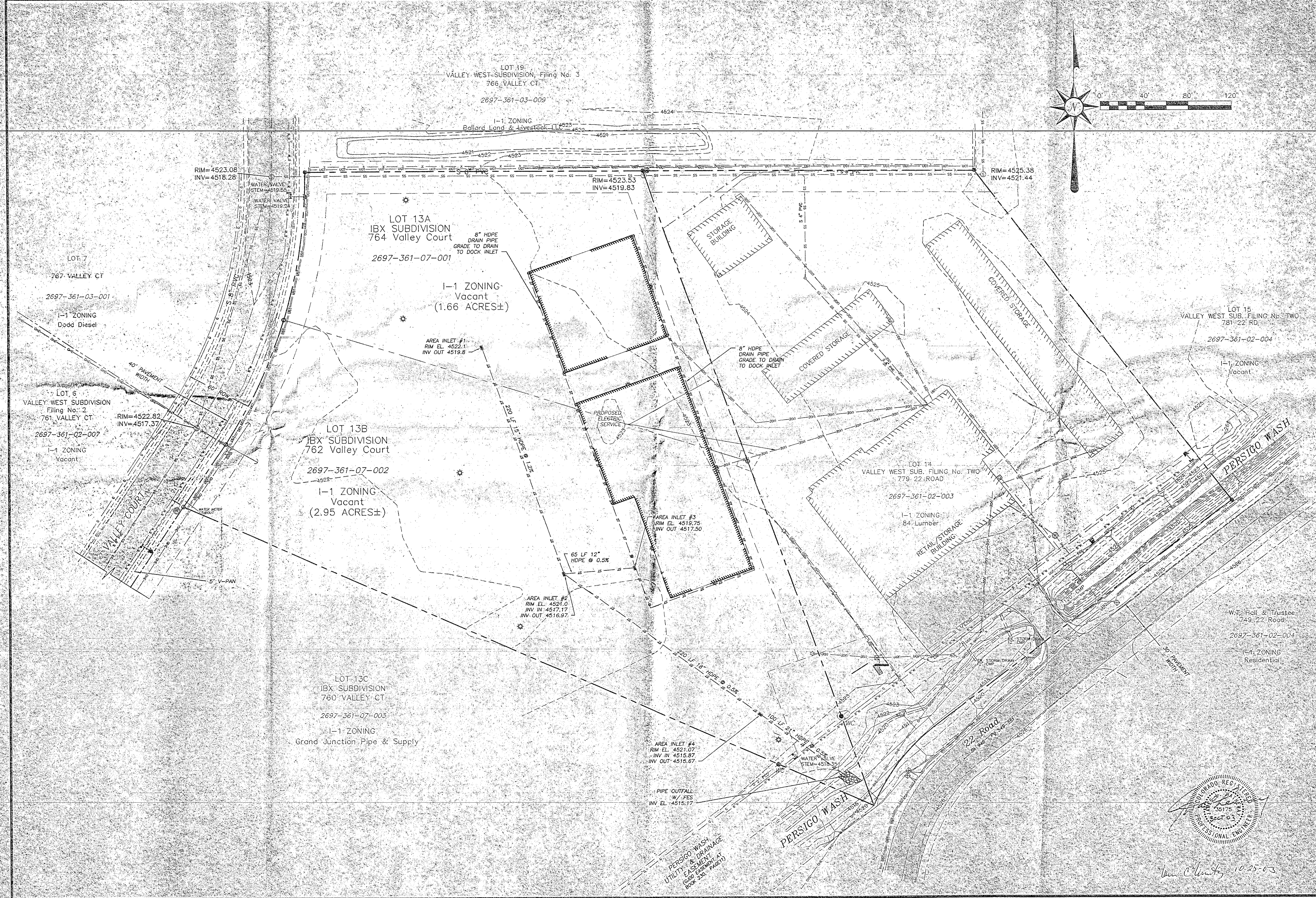
- MESA COUNTY OR BLM SURVEY MARKER
- SET ALUMINUM CAP ON No. 5 REBAR, PLS 24953 IN CONCRETE
- (R) RECORD MEASUREMENT
- FOUND REBAR, AS NOTED

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

84 LUMBER SIMPLE SUBDIVISION
A REPLAT OF LOTS 13-A AND 13-B,
NE 1/4 SECTION 36, T1N, R2E, U.M.
CITY OF GRAND JUNCTION, COLORADO

HIGH DESERT SURVEYING, LLC
2591 B 3/4 ROAD
GRAND JUNCTION, COLORADO 81503
TEL: 970-254-8649; FAX: 970-255-7047

PROJECT NO. 03-17	SUR. BY: DRAWN	CHECKED	SHEET	OF
DATE: 02/28/03	BE/FB	JCF	1	1

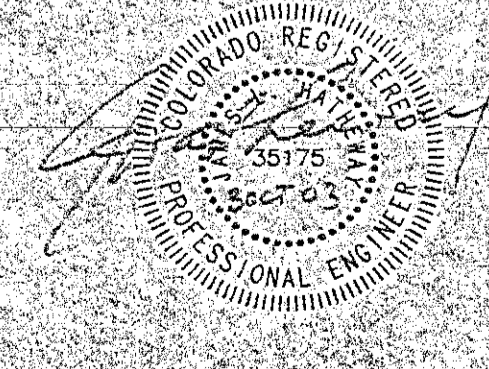


UTILITY LOCATION CENTER OF GRADE
 1-800-822-1087
 CALL BUSINESS DIVISION ENGINEERING DEPARTMENT
 SCALE VERIFICATION
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF ANY DIMENSIONS ARE IN DISCREPANCY

NO.	DATE	REVISIONS
1	07/19/03 JH	REVISED PER CITY COMMENTS
2	07/29/03 JH	REVISED PER CLIENT COMMENTS - ADDED DOCK
3		
4		
5		
6		
7		
8		
9		
10		

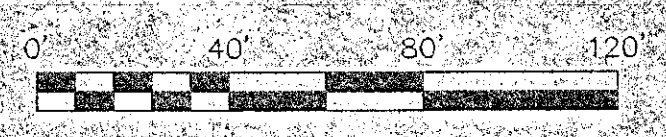
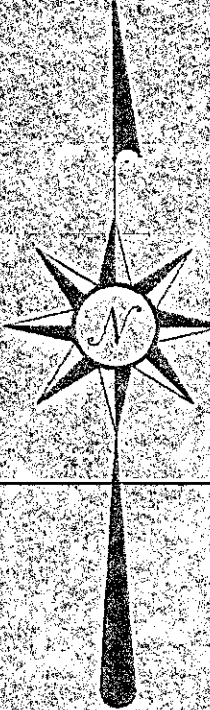
PIECE HARDY LIMITED PARTNERSHIP
 CONSULTING ENGINEERS, INC.
 338 MAIN STREET, SUITE 333, GREAT MILWAUKEE, WISCONSIN 53180
 (414) 242-7440

DRAWN BY	JH
CHECKED BY	MTG
DATE	6/30/05
SCALE	1" = 40'
SHEET NO.	UC-1



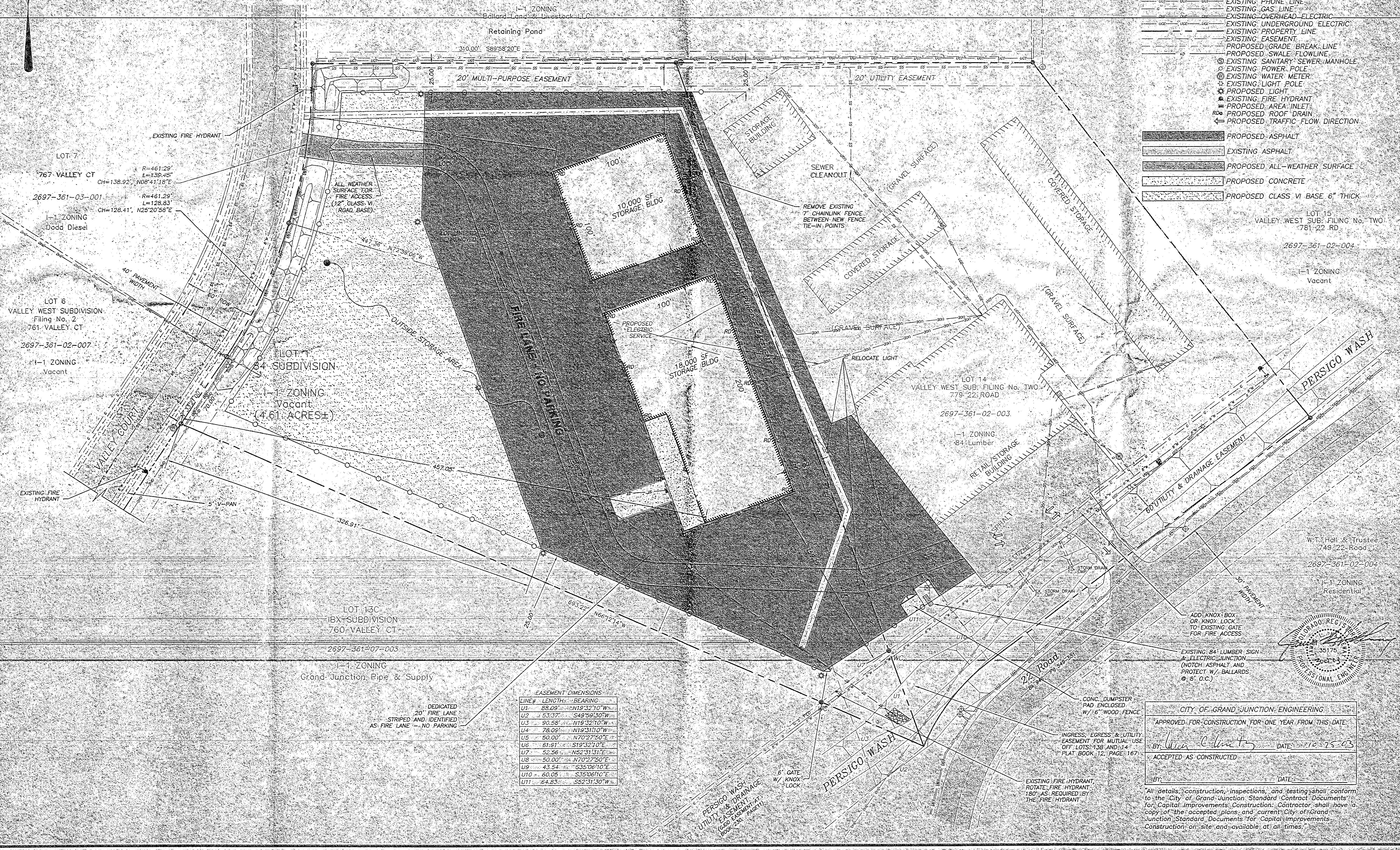
van Cloutier 10-25-03

84 LUMBER YARD EXPANSION
 UTILITY COMPOSITE
 PIECE HARDY LIMITED PARTNERSHIP



LAND-USE SUMMARY		
	ACRES	PERCENT
PAVING/CONC.	2.087	45.27%
GRAVEL	1.086	23.56%
LANDSCAPE	0.794	17.22%
BUILDING	0.643	13.95%
TOTAL	4.61	100.00%

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - PROPOSED STORMDRAIN
 - PROPOSED V-PAN
 - EXISTING V-PAN
 - EXISTING WATER LINE
 - PROPOSED 6" CHAINLINK FENCE
 - EXISTING SEWER LINE
 - EXISTING PHONE LINE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED GRADE BREAK LINE
 - PROPOSED SWALE FLOWLINE
 - ⊙ EXISTING SANITARY SEWER MANHOLE
 - ⊙ EXISTING POWER POLE
 - ⊙ EXISTING WATER METER
 - ⊙ EXISTING LIGHT POLE
 - ⊙ PROPOSED LIGHT
 - ⊙ EXISTING FIRE HYDRANT
 - ⊙ PROPOSED AREA INLET
 - ⊙ PROPOSED ROOF DRAIN
 - ⊙ PROPOSED TRAFFIC FLOW DIRECTION
 - PROPOSED ASPHALT
 - EXISTING ASPHALT
 - PROPOSED ALL-WEATHER SURFACE
 - PROPOSED CONCRETE
 - PROPOSED CLASS VI BASE 6" THICK



EASEMENT DIMENSIONS

LINE#	LENGTH	BEARING
U1	89.89'	N19°32'00"W
U2	63.07'	S49°56'30"W
U3	90.58'	N19°32'10"W
U4	78.09'	N19°31'10"W
U5	50.00'	N70°27'50"E
U6	61.81'	S19°32'10"E
U7	52.58'	N82°31'31"E
U8	60.00'	N70°27'50"E
U9	43.54'	S35°06'10"E
U10	60.05'	S35°06'10"E
U11	64.83'	S82°31'30"W

DEDICATED
20' FIRE LANE
STRIPED AND IDENTIFIED
AS FIRE LANE - NO PARKING

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE:
BY: *[Signature]* DATE: 10-25-03
ACCEPTED AS CONSTRUCTED: _____ DATE: _____

All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times.

REVISONS:

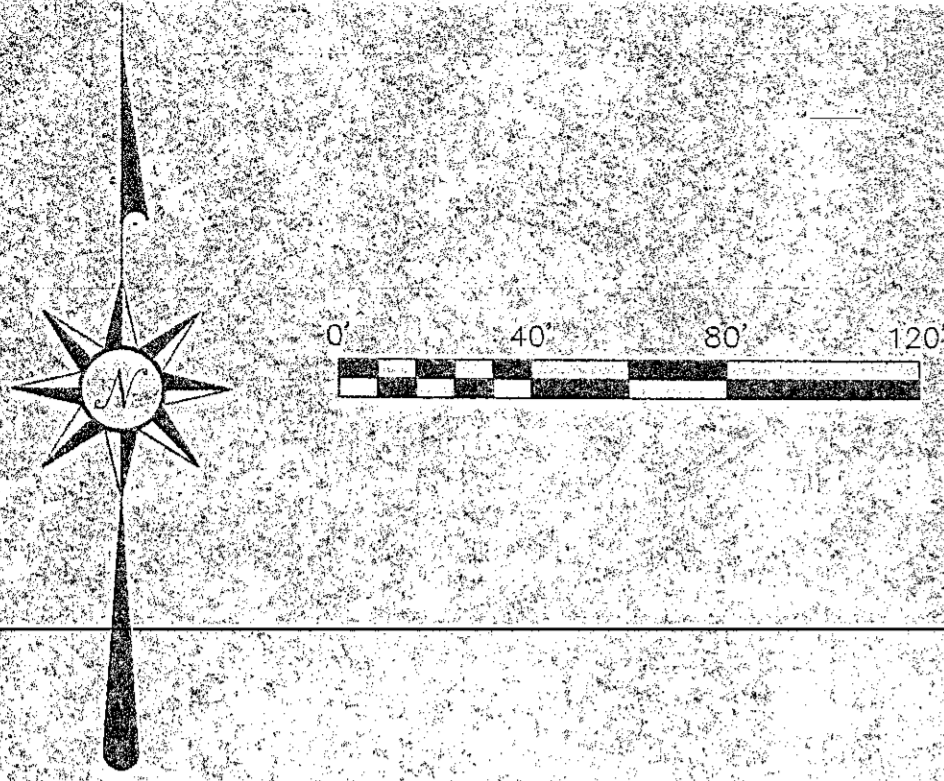
NO.	DATE	DESCRIPTION
1	6/12/03	REVISED PER CITY COMMENTS
2	7/29/03	REVISED PER CITY COMMENTS
3	9/29/03	REVISED PER CLIENT COMMENTS - ADDED DCKY

SCALE VERIFICATION
DRAWN BY: MTC
CHECKED BY: MTC
DATE: 10-25-03

84 LUMBER YARD EXPANSION
SITE PLAN

PIERCE HARDY LIMITED PARTNERSHIP

JOB NUMBER: 656-0001
DATE: 17 APR 05
SCALE: 1"=40'
SHEET NO. 1 OF 1



LOT 19
VALLEY WEST SUBDIVISION, FILING No. 3
766 VALLEY CT
2697-361-03-009

I-1 ZONING
Ballard Land & Address Book, LLC
4523

LOT 7
767 VALLEY CT
2697-361-03-001

I-1 ZONING
Dodd Diesel

LOT 6
VALLEY WEST SUBDIVISION
Filing No. 2
767 VALLEY CT
2697-361-02-007

I-1 ZONING
Vacant

LOT 14
VALLEY WEST SUB. FILING No. TWO
779 22 ROAD
2697-361-02-003

J-1 ZONING
84 Lumber

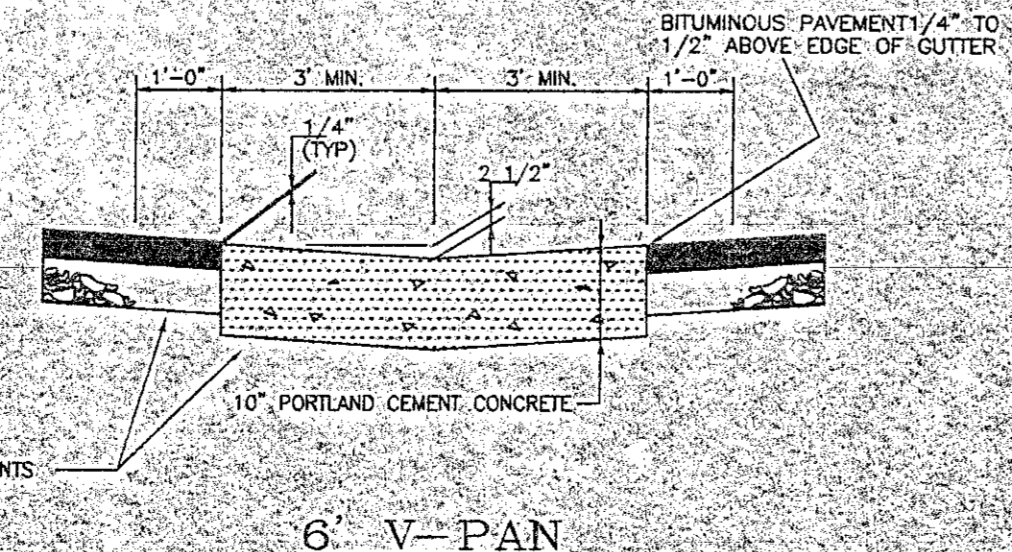
LOT 15
VALLEY WEST SUB. FILING No. TWO
781 22 RD
2697-361-02-004

I-1 ZONING
Vacant

LOT 13C
IBX SUBDIVISION
760 VALLEY CT
2697-361-07-003

I-1 ZONING
Grand Junction Pipe & Supply

- GENERAL NOTES**
- ALL CONCRETE SHALL BE 3000 PSI MIN. WITH 4" SLUMP, UNLESS OTHERWISE NOTED. ALL FLAT WORK CONCRETE SHALL CONTAIN FIBER MESH, UNLESS OTHERWISE NOTED.
 - PLACE 7" MIN. OF CDOT CLASS VI BASE COURSE MATERIAL UNDER ALL CONCRETE AND RECOMPACT TO 95% OF AASHTO T-180, UNLESS OTHERWISE NOTED.
 - ASPHALT PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER.
 - THE PROJECT AREA SHALL BE GRADED AS DEPICTED ON THESE APPROVED PLANS. ANY MODIFICATION TO SITE GRADING AND DRAINAGE SHALL BE APPROVED BY THE ENGINEER BEFORE COMMENCING WORK.
 - UTILITY LOCATIONS DEPICTED ON THESE DRAWINGS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER FOR SPECIFIC LOCATES PRIOR TO EXCAVATION WORK. CONTACT OWNER FOR THE LOCATION OF PRIVATE LINES ON SITE.
 - THE VERTICAL DATUM USED FOR THIS PROJECT IS THE WITNESS CORNER LOCATED ON THE EASTERN PROPERTY LINE, ELEVATION 4523.27.
 - AREA INLETS SHALL BE INSTALLED PER DETAIL D-10 IN THE CITY OF GRAND JUNCTION STANDARD CONTRACT DOCUMENTS FOR CAPITAL IMPROVEMENTS CONSTRUCTION, JUNE 2002.
 - ALL DIMENSIONS AND SPOT ELEVATIONS SHOWN ARE MEASURED AT THE FLOWLINE, UNLESS OTHERWISE SPECIFIED.



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - PROPOSED STORM DRAIN
 - PROPOSED V-PAN
 - EXISTING V-PAN
 - EXISTING FENCE
 - PROPOSED 6" CHAINLINK FENCE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING PHONE LINE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED GRADE BREAK LINE
 - PROPOSED SWALE FLOWLINE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING POWER POLE
 - EXISTING WATER METER
 - EXISTING LIGHT POLE
 - PROPOSED LIGHT
 - EXISTING FIRE HYDRANT
 - PROPOSED AREA INLET
 - PROPOSED ROOF DRAIN
 - PROPOSED TRAFFIC FLOW DIRECTION
 - PROPOSED ASPHALT
 - EXISTING ASPHALT
 - PROPOSED ALL-WEATHER SURFACE
 - PROPOSED CONCRETE
 - PROPOSED CLASS VI BASE 6" THICK
 - PROPOSED FLOW ARROWS

CALL UTILITY LOCATES CENTER OF COLORADO
1-800-982-1987
CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES
SCALE: VERIFICATION BASE IS ONE INCH ON ORIGINAL DRAWING. ADJUST SCALES ACCORDINGLY.

NO.	REVISIONS	DESCRIPTION	DATE
1	REVISED PER CITY COMMENTS		6/16/03
2	REVISED PER CLIENT COMMENTS		8/27/03
3	REVISED PER CITY COMMENTS		9/10/03
4	REVISED PER CITY COMMENTS		9/10/03
5	REVISED PER CITY COMMENTS		9/10/03
6	REVISED PER CITY COMMENTS		9/10/03
7	REVISED PER CITY COMMENTS		9/10/03
8	REVISED PER CITY COMMENTS		9/10/03
9	REVISED PER CITY COMMENTS		9/10/03
10	REVISED PER CITY COMMENTS		9/10/03

to consulting engineers, inc.
135 Main Street, Suite 333, Grand Junction, Colorado 81501
(970) 949-1440

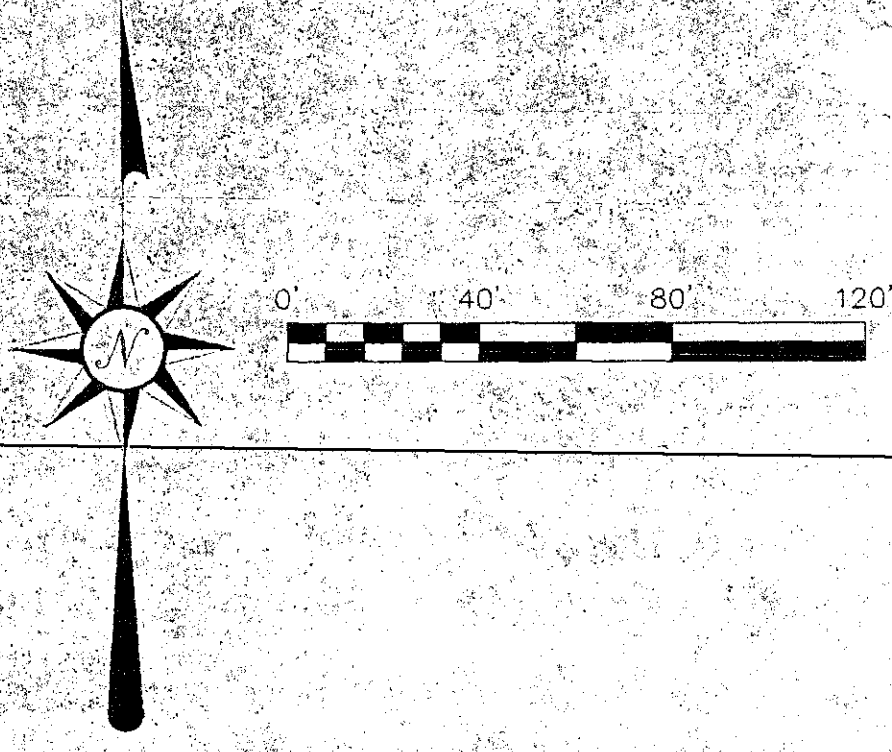
84 LUMBER YARD EXPANSION
GRADING PLAN
VERTICAL CONTROL

PIERCE HARDY LIMITED PARTNERSHIP

CITY OF GRAND JUNCTION ENGINEERING
APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE
By: *[Signature]* DATE: 10-25-03
ACCEPTED AS CONSTRUCTED
DATE:

All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times.

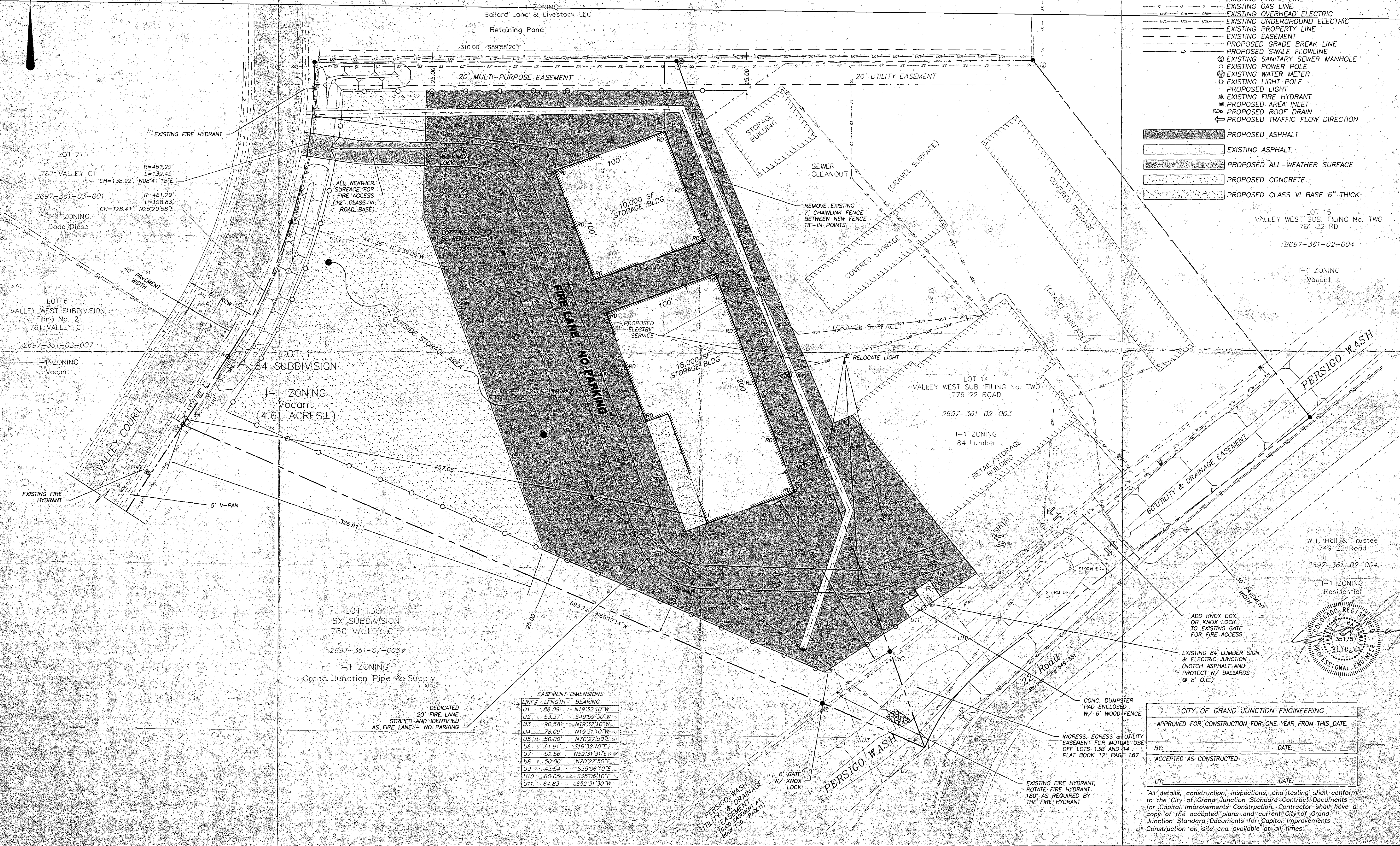
DATE	17 APR 03
SCALE	1" = 40'
SHEET NO.	11 OF 11
JOB NUMBER	636.0001



LOT 15
VALLEY WEST SUBDIVISION, Filing No. 3
766 VALLEY CT
2697-361-03-009

LAND USE SUMMARY		
	ACRES	PERCENT
PAVING/CONC.	2.087	45.27%
GRAVEL	1.086	23.56%
LANDSCAPE	0.794	17.22%
BUILDING	0.643	13.95%
TOTAL	4.61	100.00%

- LEGEND**
- 4625 --- EXISTING CONTOUR
 - 4523 --- PROPOSED CONTOUR
 - --- EXISTING BUILDING
 - --- PROPOSED BUILDING
 - --- PROPOSED STORMDRAIN
 - --- PROPOSED V-PAN
 - --- EXISTING V-PAN
 - --- EXISTING FENCE
 - --- PROPOSED 6" CHAINLINK FENCE
 - --- EXISTING WATER LINE
 - --- EXISTING SEWER LINE
 - --- EXISTING PHONE LINE
 - --- EXISTING GAS LINE
 - --- EXISTING OVERHEAD ELECTRIC
 - --- EXISTING UNDERGROUND ELECTRIC
 - --- EXISTING PROPERTY LINE
 - --- EXISTING EASEMENT
 - --- PROPOSED GRADE BREAK LINE
 - --- PROPOSED SWALE FLOWLINE
 - --- EXISTING SANITARY SEWER MANHOLE
 - --- EXISTING POWER POLE
 - --- EXISTING WATER METER
 - --- EXISTING LIGHT POLE
 - --- PROPOSED LIGHT
 - --- EXISTING FIRE HYDRANT
 - --- PROPOSED AREA INLET
 - --- PROPOSED ROOF DRAIN
 - --- PROPOSED TRAFFIC FLOW DIRECTION
- [Pattern] PROPOSED ASPHALT
 - [Pattern] EXISTING ASPHALT
 - [Pattern] PROPOSED ALL-WEATHER SURFACE
 - [Pattern] PROPOSED CONCRETE
 - [Pattern] PROPOSED CLASS VI BASE 6" THICK



EASEMENT DIMENSIONS

LINE #	LENGTH	BEARING
U1	88.09'	N19°32'10" W
U2	53.37'	S49°59'30" W
U3	90.58'	N19°32'10" W
U4	78.09'	N19°31'10" W
U5	50.00'	N70°27'50" E
U6	61.91'	S19°32'10" E
U7	52.56'	N52°31'31" E
U8	50.00'	N70°27'50" E
U9	43.54'	S35°06'10" E
U10	60.05'	S35°06'10" E
U11	64.83'	S52°31'30" W

CITY OF GRAND JUNCTION ENGINEERING

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

BY: _____ DATE: _____

ACCEPTED AS CONSTRUCTED

BY: _____ DATE: _____

"All details, construction, inspections, and testing shall conform to the City of Grand Junction Standard Contract Documents for Capital Improvements Construction. Contractor shall have a copy of the accepted plans and current City of Grand Junction Standard Documents for Capital Improvements Construction on site and available at all times."

CALL UTILITY LOCATIONS CENTER OF COLORADO 1-800-822-1007

CALL A BUSINESS BEFORE YOU DIG. CALL AN EXCAVATOR FOR THE MARKING OF UNDERGROUND UTILITIES. SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT INDICATED OTHERWISE. ADJUST SCALES ACCORDINGLY.

NO.	REVISIONS	DATE	BY
1	REVISED PER CITY COMMENTS	6/16/03	JH
2	REVISED PER CITY COMMENTS	7/29/03	JH

84 LUMBER YARD EXPANSION

SITE PLAN

PIERCE HARDY LIMITED PARTNERSHIP

W.T. Hall & Trustee
749 22 Road
2697-361-02-004
I-1 ZONING Residential

ADD KNOX BOX OR KNOX LOCK TO EXISTING GATE FOR FIRE ACCESS

EXISTING 84 LUMBER SIGN & ELECTRIC JUNCTION (NOTCH ASPHALT AND PROTECT W/ BALLARDS @ 8' O.C.)

CONC. DUMPSTER PAD ENCLOSED W/ 6" WOOD FENCE

INGRESS, EGRESS & UTILITY EASEMENT FOR MUTUAL USE OFF LOTS 13B AND 14 PLAT BOOK 12, PAGE 167

EXISTING FIRE HYDRANT, ROTATE FIRE HYDRANT 180° AS REQUIRED BY THE FIRE HYDRANT

PERSICO WASH UTILITY & DRAINAGE EASEMENT (60' EASEMENT AT BOOK 230, PAGE 11)

6" GATE W/ KNOX LOCK

W.T. Hall & Trustee
749 22 Road
2697-361-02-004
I-1 ZONING Residential

PROFESSIONAL ENGINEER
35175
31306

PIERCE HARDY LIMITED PARTNERSHIP

03-07