

**SONRISE ACRES ANNEXATION  
PETITION FOR ANNEXATION**

WE THE UNDERSIGNED do hereby petition the City Council of the City of Grand Junction, State of Colorado, to annex the following described parcels to the said City:

GENERAL LOCATION: 3068 F Road

Tax Parcel #'s 2943-044-00-130

**SEE ATTACHED EXHIBIT A**

This foregoing description describes the parcel; the perimeter boundary descriptions, for purposes of the Annexation Act, is shown on the attached "Perimeter Boundary Legal Description, Sonrise Acres Annexation."

As grounds therefore, the petitioner respectfully state that annexation to the City of Grand Junction, Colorado is both necessary and desirable and that the said territory is eligible for annexation in that the provisions of the Municipal Annexation Act of 1965, Sections 31-12-104 and 31-12-105 CRS 1973 have been met.

This petition is accompanied by four copies of a map or plat of the said territory, showing its boundary and its relation to established city limit lines, and said map is prepared upon a material suitable for filing.

Your petitioners further state that they are the owners of more than fifty percent of the area of such territory to be annexed, exclusive of streets and alleys; that the mailing address of the signer and the date of signature are set forth hereafter opposite the name of the signer, and that the legal description of the property owned by the signer of said petition is attached hereto.

WHEREFORE, these petitioners pray that this petition be accepted and that the said annexation be approved and accepted by ordinance. These petitioners by his/her/their signature(s) acknowledge, understand and agree that if any development application concerning the property which is the subject hereof is denied, discontinued or disapproved, in whole or in part, that the annexation of the property to the City of Grand Junction shall proceed.

CPS Enterprises, LLC  
NAME

P.O. Box 561, Telluride, CO 81435  
ADDRESS

  
\_\_\_\_\_  
SIGNATURE

By James Hughes, Manager

4-23-03  
DATE

# EXHIBIT A

## DESCRIPTION OF A TRACT OF LAND

A tract of land generally described as being a portion of the East 12.5 acres of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North  $00^{\circ} 13'$  West 1316.33 feet to the North boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4; thence North  $89^{\circ} 57'$  East 412.09 feet along the North boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4 to the East boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4; thence South  $00^{\circ} 17'$  East 272.67 feet along the East boundary of the SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North  $85^{\circ} 45'$  West 229.77 feet, thence North  $77^{\circ} 06'$  West 19.59 feet; thence South  $00^{\circ} 17'$  East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado

## SPECIAL DISTRICTS

Clifton Fire

Clifton Water &

Utah Water

Central Grand Valley Sewerage

Grand Junction Drainage

Upper Grand Valley Pest Control

School District 51

Southside Area Annex

TO: **ANNEXATION IMPACT REPORT TEAM MEMBERS**

Dan Wilson, City Attorney  
Tim Moore, Public Works Manager  
Tim Woodmansee, Property Agent  
Peter Krick, Senior Real Estate Technician  
Greg Trainor, Utility Manager  
Terry Brown, Technical Service Supervisor  
Rob Laurin, Solid Waste Supervisor  
Mike McDill, City Engineer  
Doug Cline, Streets Superintendent  
Jody Kliska, Traffic Engineer  
Gordon Gram, Public Works  
Michael Grizenko, Public Works  
Edward Wacker, Public Works  
Don Hobbs, Parks Manager  
Shawn Cooper, Parks Planner  
Rick Beaty, Fire Chief  
Jim Bright, Fire Department  
Harry Long, Police Department  
Lanny Paulson, Budget Coordinator  
Jodi Romero, Customer Service Manager  
Stephanie Tuin, City Clerk  
Debbie Kovalik, Director of VCB  
Ivy Williams, Code Enforcement Supervisor  
Kathy Portner, Planning Manager  
Steve Smith, GIS Technician II  
Jeff Wood, Communications 911  
Linda Dannenberger, Mesa County Planning  
Ed Tolen, Ute Water Conservancy

FROM: Dave Thornton, Community Development Department

RE: **Sonrise Acres Annexation No. 1, No. 2, No. 3, No. 4**

DATE: June 10, 2003

Wednesday, June 4<sup>th</sup>, City Council approved the resolution of referral of petition to annex and exercise land use immediately for the Sonrise Acres Annexation. The entire annexation area consists of one parcel of land located at 3068 F Road and a portion of the F Road ROW. The annexation area is 9.8472 acres in size. Please see the attached map and annexation summary information. If you need any additional information, please contact either Lori Bowers at 256-4033 or me at 244-1450.

**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3068 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed: = \$ 12,130</b>	
	<b>Actual: = \$ 132,590</b>	
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	

The following annexation and zoning schedule is being proposed.

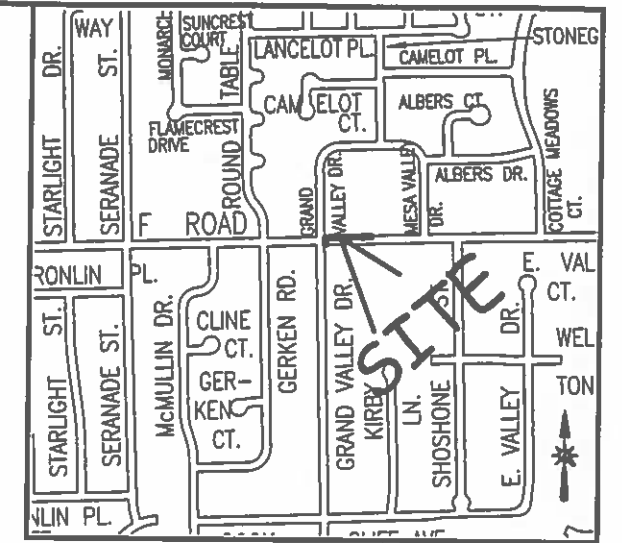
<b>ANNEXATION SCHEDULE</b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), First Reading, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 2<sup>nd</sup></b>	First Reading on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public hearing on Annexation and Zoning by City Council
<b>Au 17<sup>th</sup></b>	Effective date of Annexation and Zoning

(ateammem.doc)

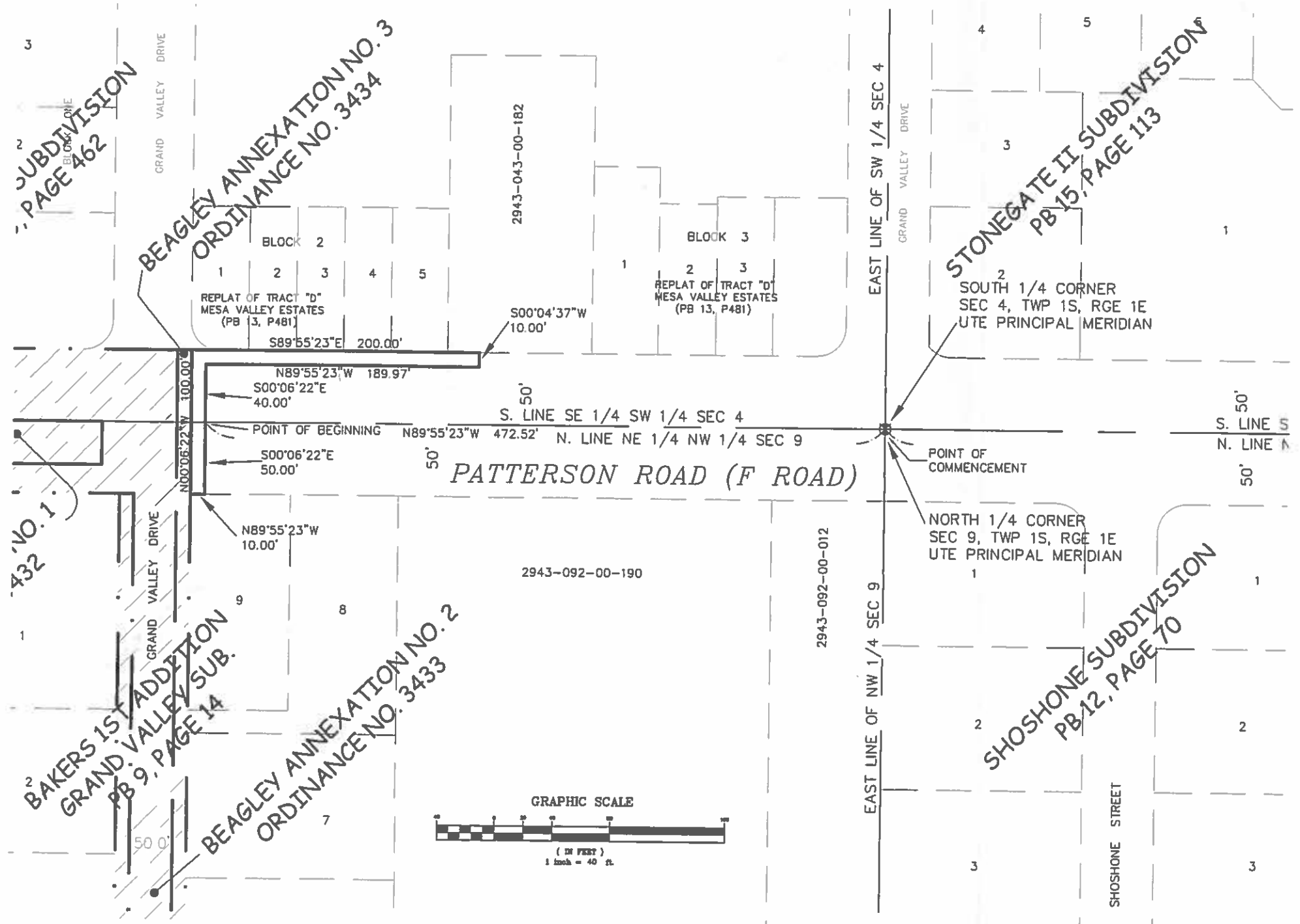


# SONRISE ACRES ANNEXATION NO. 1

SITUATE IN THE SE 1/4 OF THE SW 1/4 OF SECTION 4 AND THE NE 1/4 OF THE NW 1/4 OF SECTION 9, T1S, R1E, U.M. COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE



### LEGAL DESCRIPTION

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the City of Grand Junction  
DATE: 05-16-2003

AREA OF ANNEXATION	
ANNEXATION PERIMETER	599.97 FT
CONTIGUOUS PERIMETER	100.00 FT
AREA IN SQUARE FEET	2,899.84
AREA IN ACRES	0.0666***

\*\*\*0.0666 ACRES WITHIN R/W FOR PATTERSON ROAD

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ??? EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY  
DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

SONRISE ACRES ANNEXATION NO. 1

C:\drawing\Peter\annex\Sonrise Acres Annex Drawing.dwg 05/19/2003 08:25:34 AM MDT

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

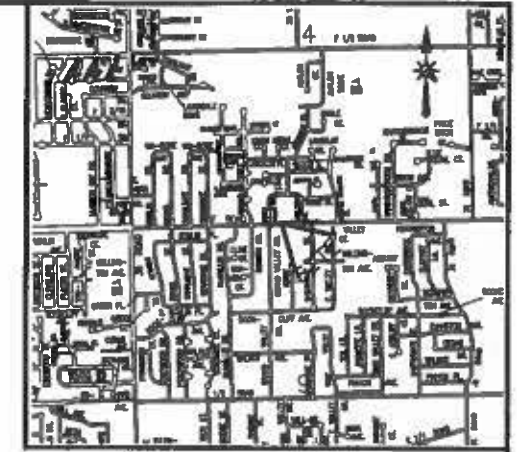
DRAWN BY P.T.K. DATE 05-16-2003  
DESIGNED BY DATE  
CHECKED BY T.W. DATE  
APPROVED BY DATE

SCALE  
1" = 40'

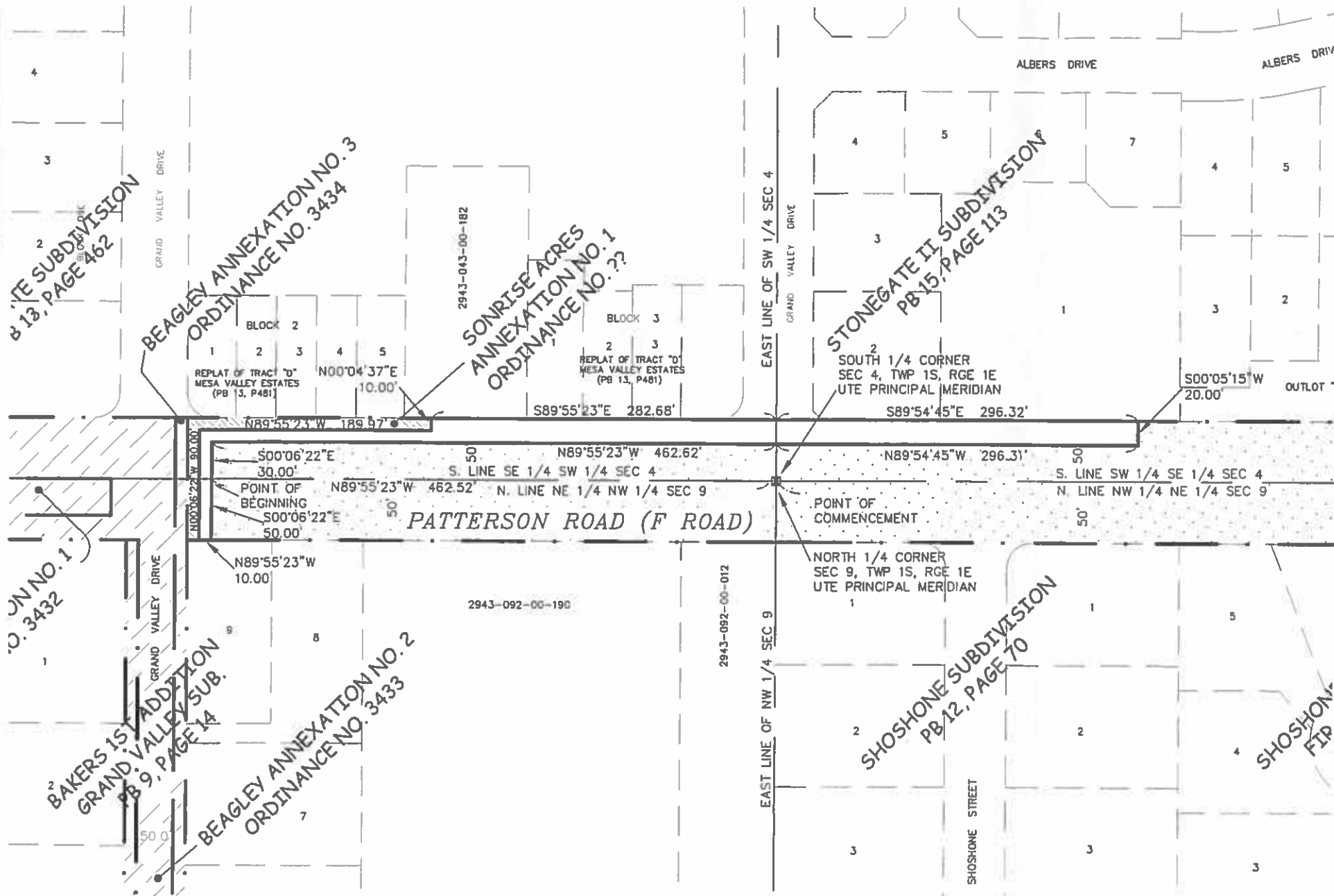


# SONRISE ACRES ANNEXATION NO. 2

SITUATE IN THE SW 1/4 AND THE SE 1/4 OF SECTION 4  
AND THE NW 1/4 OF SECTION 9, T1S, R1E, U.M.  
COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP NOT-TO-SCALE

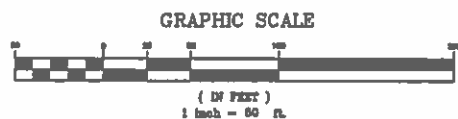


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING, thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road), thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.



The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the  
City of Grand Junction  
DATE: 5/16/2003

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AREA OF ANNEXATION	
ANNEXATION PERIMETER	1,737.90 FT
CONTIGUOUS PERIMETER	289.97 FT.
AREA IN SQUARE FEET	14,279.42
AREA IN ACRES	0.3278***
***0.3278 ACRES WITHIN R/W FOR PATTERSON ROAD	

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ???

EFFECTIVE DATE ???

THIS IS NOT A BOUNDARY SURVEY

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

SONRISE ACRES ANNEXATION NO. 2

Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

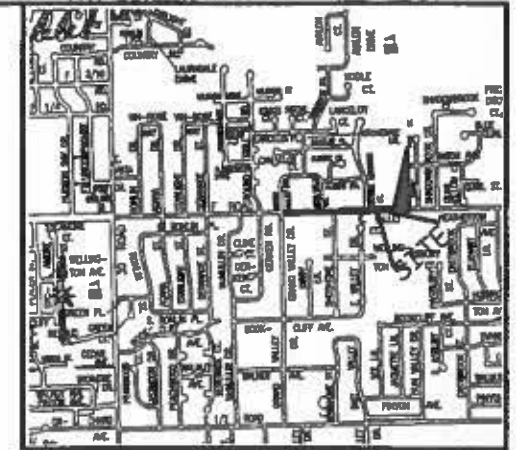
DRAWN BY P.T.K.	DATE 05-16-2003	SCALE
DESIGNED BY	DATE	1" = 50'
CHECKED BY T.W.	DATE	
APPROVED BY	DATE	



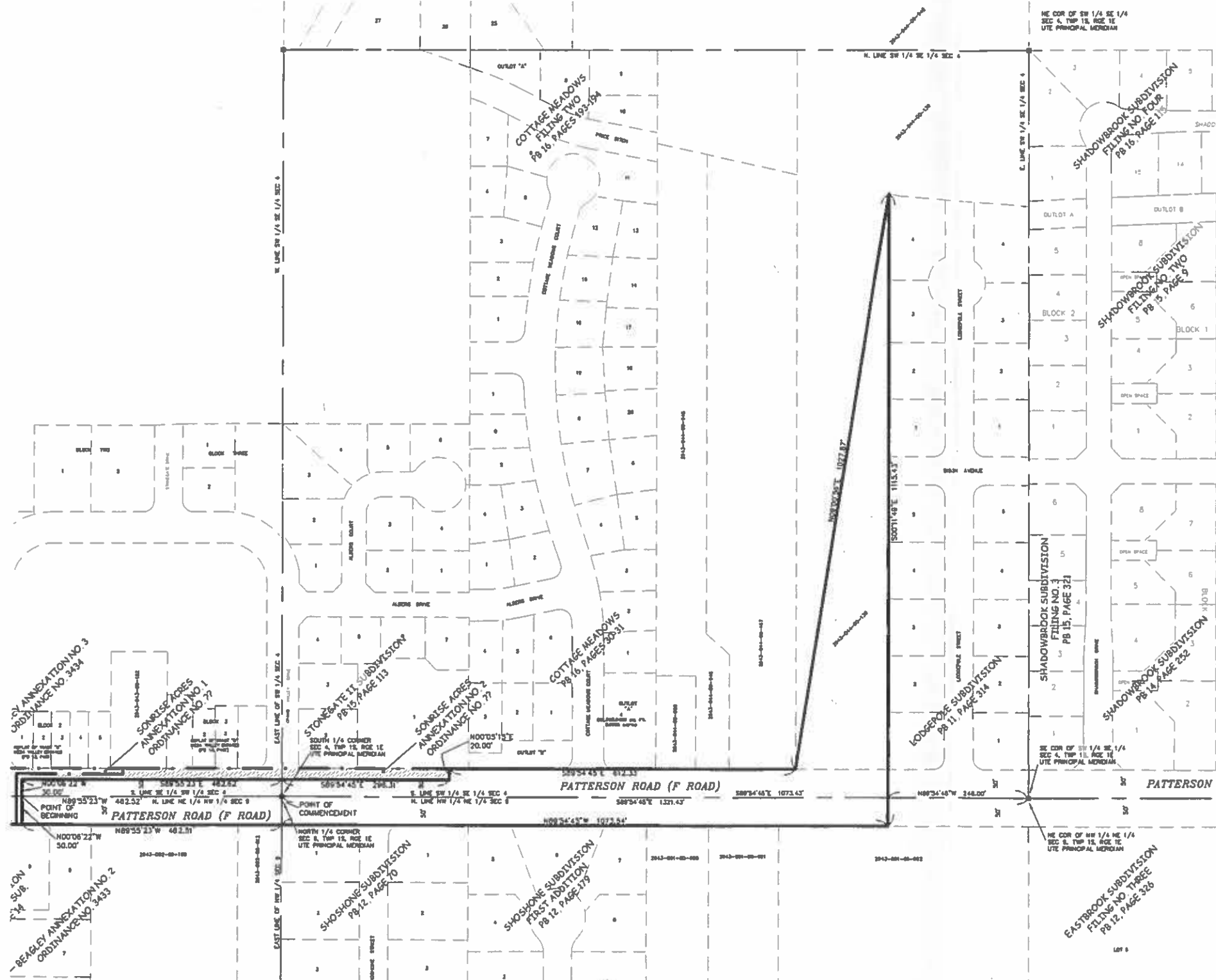


# SONRISE ACRES ANNEXATION NO. 3

SITUATE IN THE SW 1/4 AND THE SE 1/4 OF SECTION 4 AND THE NW 1/4 AND THE NE 1/4 OF SECTION 9, T1S, R1E, U.M. COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE

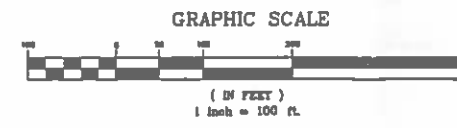


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road, thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.



GRAPHIC SCALE

( IN FEET )  
1 inch = 100 ft.

The Description(s) contained herein have been derived from subdivision plats and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. This plat does not constitute a legal survey, and is not intended to be used as a means for establishing or verifying property boundary lines.

PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the  
City of Grand Junction

DATE: \_\_\_\_\_

ORDINANCE NO. ???  
EFFECTIVE DATE ???

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DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

**AREA OF ANNEXATION**

ANNEXATION PERIMETER	5,150.61 FT
CONTIGUOUS PERIMETER	858.93 FT
AREA IN SQUARE FEET	221,965.94
AREA IN ACRES	5.0956***

\*\*\*1.176 ACRES WITHIN R/W FOR PATTERSON ROAD

**LEGEND**

ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

DRAWN BY	P.T.K.	DATE	05-16-2003
DESIGNED BY	_____	DATE	_____
CHECKED BY	I.W.	DATE	_____
APPROVED BY	_____	DATE	_____

SCALE  
1" = 100'

C:\drawing\Peter\annex\Sonrise Acres Annexation.dwg\Sonrise Acres Annex Drawing.dwg 05/19/2003 08:25:34 AM PDT

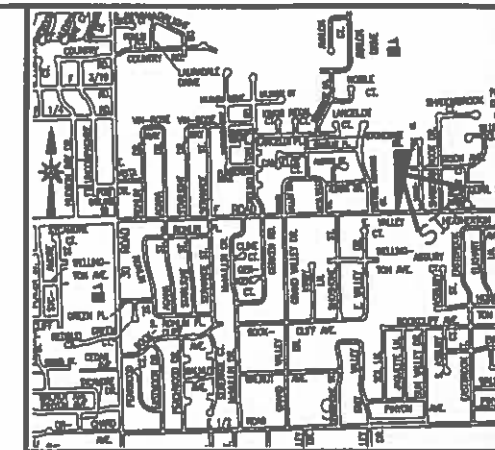
Notice.  
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SONRISE ACRES ANNEXATION NO. 3

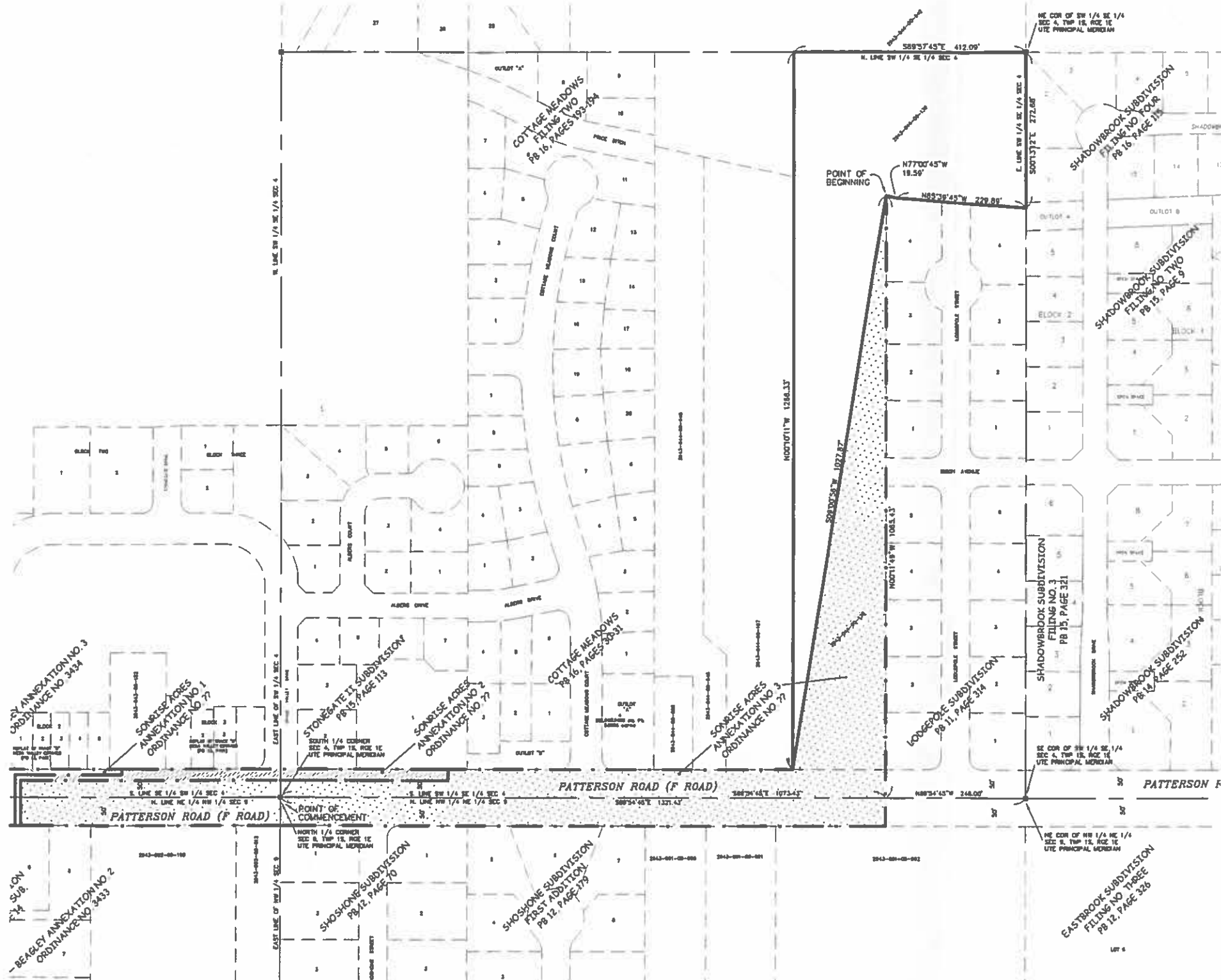


# SONRISE ACRES ANNEXATION NO. 4

SITUATE IN THE SW 1/4 OF THE SE 1/4 OF SECTION 4  
TOWNSHIP 1 SOUTH, RANGE 1 EAST, U.M.  
COUNTY OF MESA, STATE OF COLORADO



LOCATION MAP: NOT-TO-SCALE

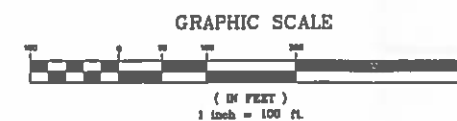


### LEGAL DESCRIPTION

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Beginning, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.



ANNEXATION PERIMETER	3,228.45 FT
CONTIGUOUS PERIMETER	1,027.87 FT
AREA IN SQUARE FEET	189,797.69
AREA IN ACRES	4.3572**
**0.0005 ACRES WITHIN 0.1"	

LEGEND	
ANNEXATION BOUNDARY	—————
EXISTING CITY LIMITS	—————

ORDINANCE NO. ???  
EFFECTIVE DATE ???

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DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
REAL ESTATE DIVISION  
CITY OF GRAND JUNCTION, COLORADO

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PETER T. KRICK, PLS No. 32824  
Professional Land Surveyor for the  
City of Grand Junction  
DATE: 05-16-2003

C:\drawing\Peter\annex\Sonrise Acres Annexation.dwg\Sonrise Acres Annex Drawing.dwg 05/19/2003 08:25:34 AM MDT

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DRAWN BY P.T.K. DATE 05-16-2003  
DESIGNED BY DATE  
CHECKED BY T.W. DATE  
APPROVED BY DATE

SCALE  
1" = 100'

SONRISE ACRES ANNEXATION NO. 4

File Copy

**SONRISE ACRES ANNEXATION**

A Serial Annexation Comprising Sonrise Acres Annexation No. 1, Sonrise Acres Annexation No. 2, Sonrise Acres Annexation No. 3 and Sonrise Acres Annexation No. 4

It is my professional belief; based on my review of the petition, pursuant to C.R.S. 31-12-104, that the Sonrise Acres Annexation is eligible to be annexed.

It complies with the following:

- a) A proper petition has been signed by more than 50% of the owners and more than 50% of the property described;
- b) Not less than one-sixth of the perimeter of the area to be annexed is contiguous with the existing City limits;
- c) A community of interest exists between the area to be annexed and the City. This is so in part because the Central Grand Valley is essentially a single demographic and economic unit and occupants of the area can be expected to, and regularly do, use City streets, parks and other urban facilities;
- d) The area will be urbanized in the near future;
- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

*David L. Thornton*

David L. Thornton, AICP

MAY 21, 2003

Date

STATE OF COLORADO

SS:

COUNTY OF MESA)

Subscribed and sworn to before me this 21<sup>st</sup> of May 2003, by David L. Thornton. Witness my hand and official seal.

My Commission expires:

*10/29/2005*

*Gayleen Henderson*  
Notary Public

(eligible)



My Commission Expires 10/29/2005

STATE OF COLORADO

SS

AFFIDAVIT

COUNTY OF MESA

James Hughes, of lawful age, being first duly sworn, upon oath, deposes and says:

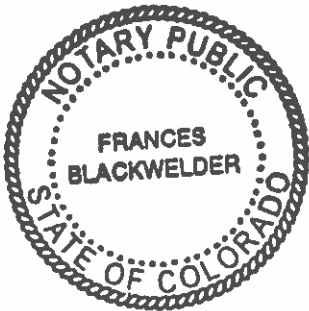
That he is the circulator of the forgoing petition:

That each signature on the said petition is the signature of the person whose name it purports to be.

[Signature]

Subscribed and sworn to before me this 23<sup>rd</sup> day of April, 2003.

Witness my hand and official seal.



[Signature]  
Notary Public

646 Pinewood Court  
Address

My commission expires: 2-09-2004

# PERIMETER BOUNDARY LEGAL DESCRIPTION SONRISE ANNEXATION

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

## SONRISE ACRES ANNEXATION NO. 1

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

## SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of

the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of

1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Sonrise Acres Annexation No. 1, 2, 3 and 4 – Referral of Petition, First Reading and Exercise Land Use Jurisdiction					
<b>Meeting Date</b>	June 4, 2003					
<b>Date Prepared</b>	May 27, 2003			<b>File #</b> ANX-2003-090		
<b>Author</b>	Lori V. Bowers		Senior Planner			
<b>Presenter Name</b>	Lori V. Bowers		Senior Planner			
<b>Report results back to Council</b>	<input checked="" type="checkbox"/>	<b>No</b>	<input type="checkbox"/>	<b>Yes</b>	<b>When</b>	
<b>Citizen Presentation</b>	<input type="checkbox"/>	<b>Yes</b>	<input checked="" type="checkbox"/>	<b>No</b>	<b>Name</b>	
<b>Workshop</b>	<input checked="" type="checkbox"/>	<b>Formal Agenda</b>		<input checked="" type="checkbox"/>	<b>Consent</b>	<b>Individual Consideration</b>

**Summary:** Sonrise Acres Annexation, a serial annexation comprised of 9.847 acres, located at 3068 F Road, has presented a petition for annexation as part of a preliminary plan. The applicants request approval of the Resolution referring the annexation petition, first reading of the Annexation Ordinance, and requesting Land Use Jurisdiction immediately.

**Budget:** N/A

**Action Requested/Recommendation:** Approval of the Resolution referring the annexation petition, first reading of the Annexation Ordinance and exercise Land Use Jurisdiction immediately, and setting a hearing for July 16, 2003.

**Attachments:**

- Staff Report
- Annexation Map
- Resolution
- Annexation Ordinance

**Background Information:** Please see attached Staff Report



- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

The following annexation and zoning schedule is being proposed:

<b><i>ANNEXATION SCHEDULE</i></b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), First Reading, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 10<sup>th</sup></b>	First Reading on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public hearing on Annexation and Zoning by City Council
<b>August 17</b>	Effective date of Annexation and Zoning

**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed:</b>	<b>= \$ 12,130</b>
	<b>Actual:</b>	<b>= \$ 132,590</b>
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>



**NOTICE OF HEARING  
ON PROPOSED ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO**

**NOTICE IS HEREBY GIVEN** that at a regular meeting of the City Council of the City of Grand Junction, Colorado, held on the 4<sup>th</sup> day of June, 2003, the following Resolution was adopted:

**CITY OF GRAND JUNCTION, COLORADO**

**RESOLUTION NO.**

**A RESOLUTION  
REFERRING A PETITION TO THE CITY COUNCIL  
FOR THE ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO,  
SETTING A HEARING ON SUCH ANNEXATION,**

**SONRISE ACRES ANNEXATION**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, a petition was referred to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**SONRISE ANNEXATION**

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

**SONRISE ACRES**  
**ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a

distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

**WHEREAS**, the Council has found and determined that the petition complies substantially with the provisions of the Municipal Annexation Act and a hearing should be held to determine whether or not the lands should be annexed to the City by Ordinance;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION:**

1. That a hearing will be held on the 16<sup>th</sup> day of July, 2003, in the City Hall auditorium, located at 250 N 5<sup>th</sup> Street, City of Grand Junction, Colorado, at 7:30 p.m. to determine whether one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; whether a community of interest exists between the territory and the City; whether the territory proposed to be annexed is urban or will be urbanized in the near future; whether the territory is integrated or is capable of being integrated with said City; whether any land in single ownership has been divided by the proposed annexation without the consent of the landowner; whether any land held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; whether any of the land is now subject to other annexation proceedings; and whether an election is required under the Municipal Annexation Act of 1965.
  
2. Pursuant to the State's Annexation Act, the City Council determines that the City may now, and hereby does, exercise jurisdiction over land use issues in the said territory. Requests for building permits, subdivision approvals and zoning approvals shall, as of this date, be submitted to the Community Development Department of the City.

**ADOPTED** this \_\_\_ day of \_\_\_\_\_, 2002.

Attest:

\_\_\_\_\_  
President of the Council

City Clerk



**NOTICE IS FURTHER GIVEN** that a hearing will be held in accordance with the Resolution on the date and at the time and place set forth in the Resolution.

City Clerk \_\_\_\_\_

Published:

June 13, 2003

June 20, 2003

June 27, 2003

July 4, 2003

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 1**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 0.0666 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

SONRISE ACRES

ANNEXATION NO. 1

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North

right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 2nd day of July, 2003.

**ADOPTED** and ordered published this \_\_\_ day of \_\_\_\_\_, 2003.

Attest:

President of the Council

\_\_\_\_\_

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 2**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 0.2378 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for

Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the \_\_\_ day of \_\_\_\_\_, 2003.

**ADOPTED** and ordered published this \_\_\_ day of \_\_\_\_\_, 2003.

Attest:

\_\_\_\_\_  
President of the Council

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 3**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 5.0956 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet

to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the 2<sup>nd</sup> day of July, 2003.

ADOPTED and ordered published this      day of     , 2003.

Attest:

President of the Council

\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO.**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 4**

**A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise  
Annexation No. 3 and Sonrise Annexation No. 4**

**APPROXIMATELY 4.3572 ACRES  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW



1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

be and is hereby annexed to the City of Grand Junction, Colorado.

INTRODUCED on first reading on the      day of \_\_\_\_ , 2003.

ADOPTED and ordered published this      day of      , 2003.

Attest:

President of the Council

\_\_\_\_\_  
City Clerk

*Planning  
Love*

**NOTICE OF HEARING  
ON PROPOSED ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO**

**NOTICE IS HEREBY GIVEN** that at a regular meeting of the City Council of the City of Grand Junction, Colorado, held on the 4<sup>th</sup> day of June, 2003, the following Resolution was adopted:

**CITY OF GRAND JUNCTION, COLORADO**

**RESOLUTION NO. 49-03**

**A RESOLUTION  
REFERRING A PETITION TO THE CITY COUNCIL  
FOR THE ANNEXATION OF LANDS  
TO THE CITY OF GRAND JUNCTION, COLORADO,  
SETTING A HEARING ON SUCH ANNEXATION, AND EXERCISING LAND  
USE CONTROL, AND EXERCISING LAND USE CONTROL**

**SONRISE ACRES ANNEXATION  
LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, a petition was referred to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**PERIMETER BOUNDARY LEGAL DESCRIPTION**

**PERIMETER BOUNDARY LEGAL DESCRIPTION  
SONRISE ANNEXATION**

A Serial Annexation Comprising Sonrise Annexation No. 1, Sonrise Annexation No.2, Sonrise Annexation No. 3 and Sonrise Annexation No. 4

**SONRISE ACRES ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a

line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.


**WHEREAS**, the Council has found and determined that the petition complies substantially with the provisions of the Municipal Annexation Act and a hearing should be held to determine whether or not the lands should be annexed to the City by Ordinance;

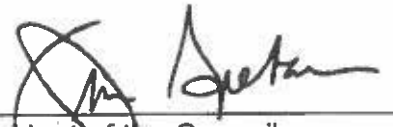
**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION:**

1. That a hearing will be held on the 16<sup>th</sup> day of July, 2003, in the City Hall auditorium, located at 250 N 5<sup>th</sup> Street, City of Grand Junction, Colorado, at 7:30 p.m. to determine whether one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; whether a community of interest exists between the territory and the City; whether the territory proposed to be annexed is urban or will be urbanized in the near future; whether the territory is integrated or is capable of being integrated with said City; whether any land in single ownership has been divided by the proposed annexation without the consent of the landowner; whether any land held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; whether any of the land is now subject to other annexation proceedings; and whether an election is required under the Municipal Annexation Act of 1965.
2. Pursuant to the State's Annexation Act, the City Council determines that the City may now, and hereby does, exercise jurisdiction over land use issues in the said territory. Requests for building permits, subdivision approvals and zoning approvals shall, as of this date, be submitted to the Community Development Department of the City.

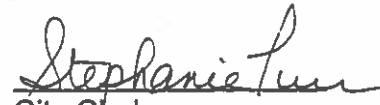
**ADOPTED** this 4<sup>th</sup> day of June, 2003.

Attest:

  
City Clerk

  
\_\_\_\_\_  
President of the Council

**NOTICE IS FURTHER GIVEN** that a hearing will be held in accordance with the Resolution on the date and at the time and place set forth in the Resolution.

  
City Clerk

**AGENDA TOPIC:** Zoning the Sunrise Acres Annexation (ANX-2003-090). The requested zoning is RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre). The physical address is 3068 F Road. A request for Preliminary Plan approval will be forthcoming.

**SUMMARY:** The 6.288-acre Sunrise Acres Annexation area consists of one parcel of land. The property currently has one house on the site. The applicants are in the Preliminary Plan review process.

<b>BACKGROUND INFORMATION</b>					
<b>Location:</b>		3068 F Road			
<b>Applicant:</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative			
<b>Existing Land Use:</b>		Single family residence with vacant land			
<b>Proposed Land Use:</b>		Residential			
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary			
	<b>South</b>	Museum of Western Colorado			
	<b>East</b>	Single Family residential			
	<b>West</b>	Single Family residential			
<b>Existing Zoning:</b>		RSF-4 (Mesa County)			
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)			
<b>Surrounding Zoning:</b>	North	RSF-4 (Mesa County)			
	South	RSF-4 (Mesa County)			
	East	RSF-4 (Mesa County)			
	West	RSF-4 (Mesa County)			
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre			
<b>Zoning within density range?</b>		X	Yes		No

**RELATIONSHIP TO COMPREHENSIVE PLAN:** The City of Grand Junction's Growth Plan identifies the subject parcels as "residential medium low", 2 to 4 dwelling units per acre. The proposed future development will be compatible with adjacent land uses. There is no commercial development associated with this plan.

**STAFF ANALYSIS:** Due to the Persigo Agreement, the property owner is required to annex into the City for the purpose of a Major Subdivision. The



Preliminary Plan is currently under review and will be presented to the Planning Commission when the review is complete.

**Zoning-** the applicant requests the zoning designation of RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre). The zoning is consistent with the Growth Plan for this area, and is consistent with the current County zoning of RSF-4. The minimum density for the RSF-4 zoning designation is 2 units per acre. This zoning district allows for attached and detached single-family and duplex dwelling units.

In order for the rezoning to occur, the following questions must be answered and a finding of consistency with the Zoning and Development Code must be made per Section 2.6 as follows:

1. The existing zoning was in error at the time of adoption;  
*Not applicable, this is a rezone from a county RSF-4 zoning to City RSF-4.*
2. There has been a change of character in the neighborhood due to installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.;  
*The area is experiencing a change from rural to urban residential. There are existing residential developments in the vicinity. The Growth Plan supports the requested density.*
3. The proposed rezone is compatible with the neighborhood and will not create adverse impacts such as: capacity or safety of the street network, parking problems, storm water or drainage problems, water, air or noise pollution, excessive nighttime lighting, or nuisances;  
*The rezone is compatible with the Growth Plan and will not adversely affect utilities or street capacities.*
4. The proposal conforms with and furthers the goals and policies of the Growth Plan, other adopted plans, and policies, the requirements of this Code, and other City regulations and guidelines;  
*This proposal is consistent with the growth plan's land use goals and policies. It is the intent to conform to all other applicable codes and regulations.*
5. Adequate public facilities and services are available or will be made available concurrent with the projected impacts of the proposed development;  
*All facilities and services are available in this area.*
6. There is not an adequate supply of land available in the neighborhood and surrounding area to accommodate the zoning and community needs; and  
*(Not applicable to annexation)*
7. The community or neighborhood will benefit from the proposed zone.

*The benefits as derived by the area will primarily consist of the infill of a parcel surrounded by developed area. The development plan will be consistent with the existing street and utility circulation plans.*

Growth Plan Goals and Policies are as identified in Policy 1.7 state: "The City and County will use zoning to establish the appropriate scale, type, location and intensity for development..." and Goal 11: To promote stable neighborhood and land use compatibility throughout the community."

**RECOMMENDATION:**

1). Staff recommends approval of the zone of RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre) finding that the proposal is consistent with the Growth Plan, the Persigo Agreement and Section 2.6 of the Zoning and Development Code.

**PLANNING COMMISSION RECOMMENDATION:**

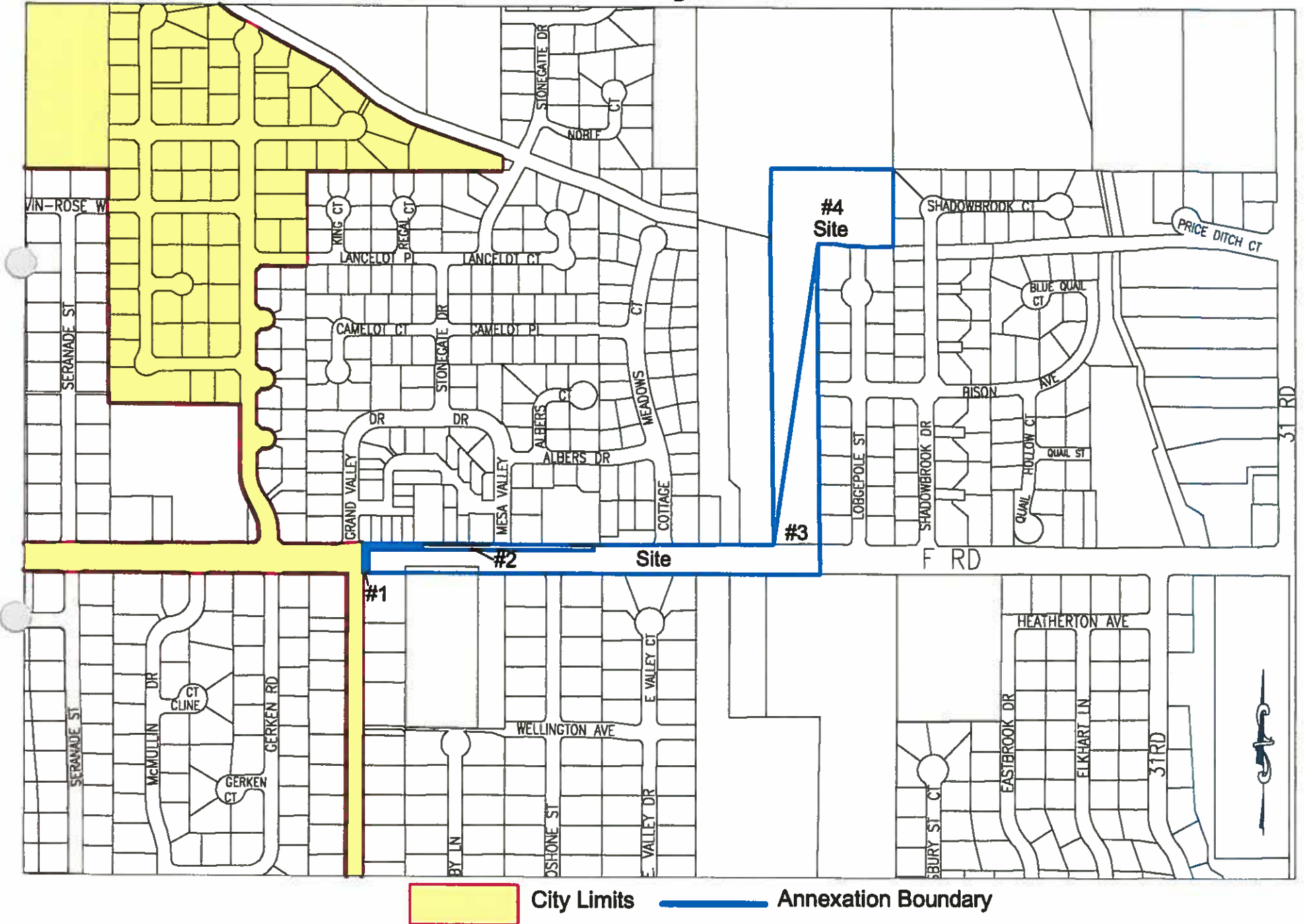
Mr. Chairman, on item number ANX-2003-090, I move that the Planning Commission recommend to the City Council the zoning designation of RSF-4 (Residential Single-family, not to exceed 4 units per acre) for the Zone of Annexation of the Sunrise Acres Annexation, located at 3068 F Road, finding that the project is consistent with the Growth Plan, the Persigo Agreement and Section 2.6 of the Zoning and Development Code.

**Attachments:**

Annexation map  
Location Map  
Aerial Map  
Future Land Use Map  
Zoning Map

# Sonrise Acres Annexations #1, #2, #3, & #4

Figure 5





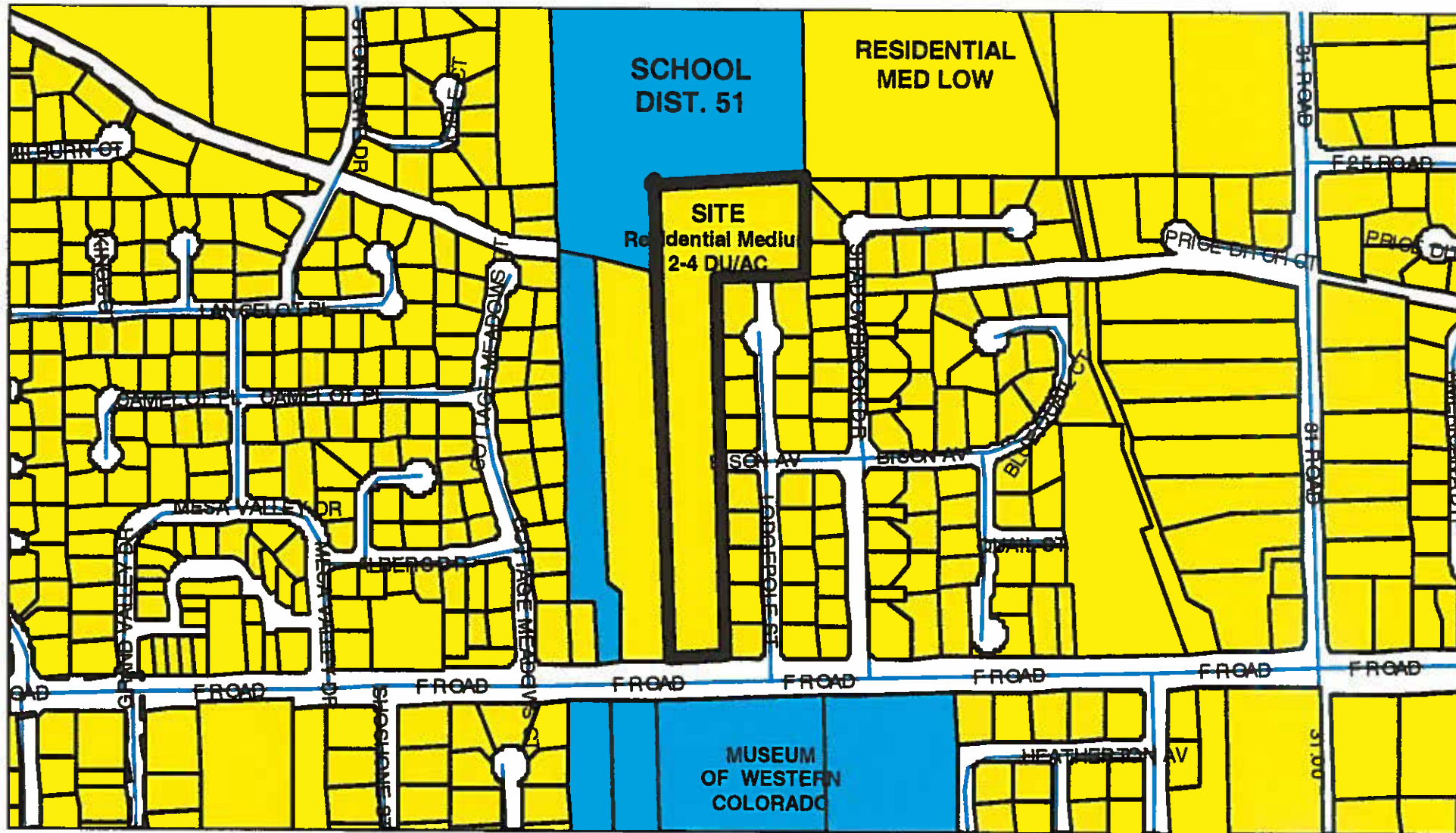
# Aerial Photo Map

Figure 2



# Future Land Use Map

Figure 3



**GRAND JUNCTION PLANNING COMMISSION  
JUNE 10, 2003 MINUTES  
7:00 P.M. to 8:30 P.M.**

The regularly scheduled Planning Commission hearing was called to order at 7:00 P.M. by Chairman Paul Dibble. The public hearing was held in the City Hall Auditorium.

In attendance, representing the City Planning Commission, were Dr. Paul Dibble (Chairman), Roland Cole, John Evans, John Redifer, John Paulson, Bill Pitts and Richard Blosser. William Putnam was absent.

In attendance, representing the City's Community Development Department, were Bob Blanchard (Community Development Director), Pat Cecil (Development Services Supervisor), Senta Costello (Associate Planner), Scott Peterson (Associate Planner), Lori Bowers (Senior Planner) and Ronnie Edwards (Associate Planner).

Also present were John Shaver (Assistant City Attorney) and Rick Dorris and Eric Hahn (City Development Engineers).

Terri Troutner was present to record the minutes.

There were approximately 17 interested citizens present during the course of the hearing.

**I. APPROVAL OF MINUTES**

Available for consideration were the minutes from the April 22 and May 13, 2003 Planning Commission public hearings.

**MOTION: (Commissioner Cole) "Mr. Chairman, I move approval [of the April 22, 2003 minutes as submitted]."**

Commissioner Blosser seconded the motion. A vote was called and the motion passed by a vote of 6-0, with Commissioner Paulson abstaining.

**MOTION: (Commissioner Cole) "Mr. Chairman, I move approval [of the May 13, 2003 minutes as submitted]."**

Commissioner Pitts seconded the motion. A vote was called and the motion passed by a vote of 5-0, with Chairman Dibble and Commissioner Paulson abstaining.

**II. ANNOUNCEMENTS, PRESENTATIONS AND/OR VISITORS**

There were no announcements, presentations and/or visitors.

**III. CONSENT AGENDA**

Offered for placement on the Consent Agenda were items VE-2003-054 (Vacation of Easement--Cox Easement Vacation); ANX-2003-080 (Zone of Annexation--Rold Annexation); ANX-2003-022 (Zone of Annexation--Unawep Heights Subdivision); ANX-2003-090 (Zone of Annexation--Sonrise Acres Subdivision); VE-2002-205 (Vacation of Easement--Cimarron Mesa Filing #1); and ANX-2003-068 (Zone of Annexation--O'Connor Subdivision). At citizen request, item ANX-2003-022 was pulled and placed on the Full Hearing Agenda.

**MOTION: (Commissioner Blosser) "Mr. Chairman, I move that we approve the Consent Agenda as modified."**

Commissioner Evans seconded the motion. A vote was called and the motion passed unanimously by a vote of 7-0.

#### IV. FULL HEARING

##### **ANX-2003-022 ZONE OF ANNEXATION--UNAWEEP HEIGHTS SUBDIVISION**

A request for approval to zone the UnawEEP Heights Subdivision, consisting of 30.33 acres, to RSF-4 (Residential Single-Family with a density not to exceed 4 units per acre).

Petitioner: UnawEEP Heights, LLC

Location: 2857 UnawEEP Avenue

##### **PETITIONER'S PRESENTATION**

Doug Theis, representing the petitioner, briefly reviewed the request. He said that because the property is currently zoned County RSF-4, the City's RSF-4 zoning would be compatible. The requested zone is consistent with Growth Plan recommendations and Code requirements. Mr. Theis said that the Planning Commission would soon consider a Preliminary Plan consisting of 108 lots; however, he noted that the only item under current consideration tonight is the Zone of Annexation.

##### **STAFF'S PRESENTATION**

Lori Bowers reviewed the request as outlined in her June 10, 2003 staff report. Referencing an overhead map of the site, she noted that UnawEEP Avenue is undergoing realignment. The petitioner had delayed his request for annexation until the realignment was underway. Staff determined that the request met Growth Plan requirements and Code criteria and the RSF-4 land use designation would be consistent with the one previously applied by the County. Ms. Bowers also presented an aerial photo of the site, the City/County Zoning Map and the Future Land Use Map.

##### **QUESTIONS**

Chairman Dibble asked if the zoning on all sides of the subject parcel was RSF-4, to which Ms. Bowers responded affirmatively. She noted that the subject parcel was the only one in the immediate area that, once annexation was completed, would be situated within City limits.

Commissioner Cole asked how contiguity was established. Ms. Bowers pointed out an adjacent parcel and said that contiguity would be ensured from that parcel to B 3/4 Road.

Commissioner Blosser asked about the zoning to the north of the subject property; Ms. Bowers replied that the area to the north was zoned AFT.

##### **PUBLIC COMMENTS**

###### **FOR:**

There were no comments for the request.

###### **AGAINST:**

Carlo Godel (2873 C Road, Grand Junction) said that actual densities of the surrounding area were closer to 1-2 units/acre. An increase in density to 4 units per acre would be incompatible; however, a zoning designation allowing 2-3 units per acre would be more acceptable. Mr. Godel indicated the location of his property on the aerial photo. Chairman Dibble reminded citizens that the only matter being considered was the Zone of Annexation. The Planning Commission had not seen any plan submitted for the property, so it was unclear at this point what the actual density of the proposed subdivision would be. The RSF-4, he continued, allowed for densities anywhere between 2 and 4 units per acre.

John Denison (2858 C Road, Grand Junction) noted a small portion of land located at the juncture of the "realigned" UnawEEP Avenue and C Road. He wondered what would become of that piece of ground. He





**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Zoning Sonrise Acres Annexation No. 1, 2, 3 and 4, located at 3068 F Road					
<b>Meeting Date</b>	July 16, 2003					
<b>Date Prepared</b>	July 10, 2003			File #ANX-2003-090		
<b>Author</b>	Lori V. Bowers		Senior Planner			
<b>Presenter Name</b>	Lori V. Bowers		Senior Planner			
<b>Report results back to Council</b>	X	No		Yes	When	
<b>Citizen Presentation</b>		Yes	X	No	Name	
	<b>Workshop</b>	X	<b>Formal Agenda</b>		<b>Consent</b>	X <b>Individual Consideration</b>

**Summary:** Hold a Public Hearing and Consider Final Passage reading of the zoning ordinance to zone the Sonrise annexation RSF-4, located at 3068 F Road; Residential Single Family, not to exceed 4 dwelling units per acre.

**Budget:** N/A

**Action Requested/Recommendation:** Approve Final Passage of the zoning ordinance.

**Background Information:** See attached Staff Report/Background Information

**Attachments:**

1. Staff report/Background information
2. General Location Map
3. Aerial Photo
4. Growth Plan Map
5. Zoning Map
6. Annexation map
7. Zoning Ordinance

STAFF REPORT / BACKGROUND INFORMATION				
<b>Location:</b>		3068 F Road		
<b>Applicants: &lt; Prop owner, developer, representative&gt;</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative		
<b>Existing Land Use:</b>		Vacant land and house		
<b>Proposed Land Use:</b>		Residential		
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary		
	<b>South</b>	Museum of Western Colorado		
	<b>East</b>	Single Family residential		
	<b>West</b>	Single Family residential		
<b>Existing Zoning:</b>		RSF-4 (Mesa County)		
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)		
<b>Surrounding Zoning:</b>	<b>North</b>	RSF-4 (Mesa County)		
	<b>South</b>	RSF-4 (Mesa County)		
	<b>East</b>	RSF-4 (Mesa County)		
	<b>West</b>	RSF-4 (Mesa County)		
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre		
<b>Zoning within density range?</b>		X	<b>Yes</b>	<b>No</b>

**Staff Analysis:**

**Rezoning:** The requested zone of annexation to the RSF-4 district is consistent with the Growth Plan density of "residential medium low", 2 to 4 dwelling units per acre. The existing County zoning is RSF-4. Section 2.14 of the Zoning and Development Code states that the zoning of an annexation area shall be consistent with either the Growth Plan or the existing County zoning.

In order for the rezoning to occur, the following questions must be answered and a finding of consistency with the Zoning and Development Code must be made per Section 2.6 as follows:

1. The existing zoning was in error at the time of adoption;

Response: The requested zoning is to place the property into an appropriate City zoning designation due to the annexation request. Therefore, this criteria is not applicable.

2. There has been a change of character in the neighborhood due to installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.;

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

3. The proposed rezone is compatible with the neighborhood and will not create adverse impacts such as: capacity or safety of the street network, parking problems, storm water or drainage problems, water, air or noise pollution, excessive nighttime lighting, or nuisances;

Response: The zoning request is compatible with the neighborhood and adjacent zoning. Future improvements to facilities will occur if the preliminary plan goes forward.

4. The proposal conforms with and furthers the goals and policies of the Growth Plan, other adopted plans, and policies, the requirements of this Code, and other City regulations and guidelines;

Response: The proposed zoning is consistent with the Goals and polices of the Growth Plan, the requirements of the Zoning and Development Code and other City regulations and guidelines.

5. Adequate public facilities and services are available or will be made available concurrent with the projected impacts of the proposed development;

Response: Adequate public facilities are available or will be supplied at the time of further development of the property.

6. There is not an adequate supply of land available in the neighborhood and surrounding area to accommodate the zoning and community needs; and

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

7. The community or neighborhood will benefit from the proposed zone.

Response: The zoning request is in conjunction with an annexation request. Therefore this criteria is not applicable.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the RSF-4 zone district, with the finding that the proposed zone district is consistent with the Growth Plan and with Sections 2.6 and 2.14 of the Zoning and Development Code.

**PLANNING COMMISSION RECOMMENDATION:** At their regularly scheduled meeting of June 10, 2003, the Planning Commission recommended approval of the requested zone of annexation to the City Council, finding the zoning to the RSF-4 district to be consistent with the Growth Plan, the existing County Zoning and Sections 2.6 and 2.14 of the Zoning and Development Code.



STU

City of Grand Junction, Colorado  
Office of the City Clerk  
250 North Fifth Street  
81501-2668  
(970) 244-1509  
FAX: (970) 244-1599

June 5, 2003

Board of County Commissioners  
P.O. Box 20,000-5010  
Grand Junction, Colorado 81502

Commissioners:

Subject: Sonrise Acres Annexation – Notice of Hearing,  
Resolution No. 49-03, and Petition

In compliance with Title 31, Article 12, C.R.S., Part 1, entitled "Municipal Annexation Act of 1965", Section 31-12-108(2), I have enclosed a copy of the petition as filed and Resolution No. 49-03 adopted by the City Council of the City of Grand Junction, Colorado, at its regular meeting June 4, 2003, giving notice of hearing on the proposed Sonrise Annexation on July 16, 2003.

By this resolution the City of Grand Junction has assumed jurisdiction of all land use proceedings within the area to be annexed. Accordingly, the processing of all development reviews, including but not necessarily limited to, planning clearances for building permits, fence permits, sign permits, subdivisions, planned developments, rezonings, conditional use permits, right-of-way vacations, and similar applications or proceedings, by the County, for lands within this annexation should be discontinued. Applicants, their agents or representatives, should be referred to the City Community Development Department. Please compile forthwith all documents, maps, plans, plats and files relating to current or pending applications, reviews or approvals in the annexation area. A Community Development Department representative will be in to pick up these items one week from the date of this letter.

If you have questions or need additional information on development issues, please contact Bob Blanchard, Director of the Community Development Department, at 244-1430.

Sincerely,



Stephanie Tuin, MMC  
City Clerk

ST:jsp

Enclosures

- c: Mr. Lyle Dechant, County Attorney  
Mesa County Building Inspection Division  
Mesa County Planning Division  
Dan Wilson, City Attorney  
Bob Blanchard, Community Development Director  
School District #51  
Clifton Water District  
Ute Water  
Clifton Fire District  
Grand Junction Drainage District  
Central Grand Valley Sanitation District



City of Grand Junction, Colorado  
Office of the City Clerk  
250 North Fifth Street  
81501-2668  
(970) 244-1509  
FAX: (970) 244-1599

July 28, 2003

Mesa County Clerk and Recorder  
Mesa County Court House  
P.O. Box 20,000  
Grand Junction, Colorado 81502-5009

Madam:

Re: Annexation – Sunrise Annexations No. 1, No. 2, No. 3 and No. 4

Enclosed herewith is Ordinance No's. 3542, 3543, 3544 and 3545 annexing the Sunrise Annexations located at 3068 F Road and right-of-way located along F Road.

The annexations shall become effective on August 17, 2003.

A duplicate copy is enclosed for you to forward to the State.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Tuin".

Stephanie Tuin, MMC  
City Clerk

Enclosures

cc: Michael Gallegos, Public Service Company  
Wm. Byers/Jarrett Broughton, Grand Valley Rural Power  
Frank Gallik, AT & T Broadband  
Pam Cronkhite, Qwest Communications, Omaha, NB  
Sgt. Greg Bailey, Colorado State Patrol  
Diane Schwenke, Grand Junction Area Chamber of Commerce  
Charlie Unseld, Division of Local Government  
Ute Water, (Charles E. Stockton)  
County Assessor (Mary Anne Fleetwood)  
Mesa County Elections (Amy Storm-Farley)  
County Engineering Department (Pete Baier)  
County Planning Department (Kurt Larson)  
County Road Department (Bob Carman)  
County Sheriff (Undersheriff Dave Wooley)  
County Traffic (Steve Enos-Martinez)  
City Community Development, Planning Division  
City Community Development, Code Enforcement Division

City Engineering  
City Sanitation (Darren Starr)  
City Streets (Doug Cline)  
City Traffic (Rick Ripley)  
City Transportation Engineer (Jody Kliska)  
City Utilities (Jodi Romero - electronic only)  
City Parks & Recreation (Don Hobbs)  
City Police Department (Bob Knight)  
City Fire Department (Rick Beaty)  
Greater Grand Valley Communications Center (Paula Creasy)  
City Accounting (Jay Valentine)



**CITY OF GRAND JUNCTION**

CITY COUNCIL AGENDA						
<b>Subject</b>	Public hearing for acceptance of petition and annexation ordinance for the Sunrise Acres 1, 2, 3 & 4 Annexation, located at 3069 F Road.					
<b>Meeting Date</b>	July 18, 2003					
<b>Date Prepared</b>	July 10, 2003				<b>File #</b> ANX-2003-090	
<b>Author</b>	Lori V. Bowers			Senior Planner		
<b>Presenter Name</b>	Lori V. Bowers			Senior Planner		
<b>Report results back to Council</b>	X	No		Yes	<b>When</b>	
<b>Citizen Presentation</b>	X	Yes		No	<b>Name</b>	Vista Engineering, Patrick O'Connor
	<b>Workshop</b>	X		<b>Formal Agenda</b>		<b>Consent</b> X <b>Individual Consideration</b>

**Summary:** Resolution for acceptance of petition to annex and to hold a public hearing and consider final passage of the annexation ordinance for the Sunrise Acres 1, 2, 3, and 4 Annexation, located at 3068 F Road.

**Budget:** N/A

**Action Requested/Recommendation:** Public hearing on the annexation and acceptance of the petition. Approve resolution accepting a petition for annexation and hold a Public Hearing and Consider Final Passage of the annexation ordinance.

**Background Information:** See attached Staff Report/Background Information

**Attachments:**

1. Staff report/Background information
2. General Location Map
3. Aerial Photo
4. Growth Plan Map
5. Zoning Map
6. Annexation map
7. Acceptance Resolution
8. Annexation Ordinance

STAFF REPORT/BACKGROUND INFORMATION					
<b>Location:</b>		3068 F Road			
<b>Applicants:</b>		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative			
<b>Existing Land Use:</b>		Vacant land and house			
<b>Proposed Land Use:</b>		Residential			
<b>Surrounding Land Use:</b>	<b>North</b>	Thunder Mountain Elementary			
	<b>South</b>	Museum of Western Colorado			
	<b>East</b>	Single Family residential			
	<b>West</b>	Single Family residential			
<b>Existing Zoning:</b>		RSF-4 (Mesa County)			
<b>Proposed Zoning:</b>		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)			
<b>Surrounding Zoning:</b>	<b>North</b>	RSF-4 (Mesa County)			
	<b>South</b>	RSF-4 (Mesa County)			
	<b>East</b>	RSF-4 (Mesa County)			
	<b>West</b>	RSF-4 (Mesa County)			
<b>Growth Plan Designation:</b>		Residential Medium Low – 2 to 4 dwelling units per acre			
<b>Zoning within density range?</b>		X	Yes		No

**Staff Analysis:**

**ANNEXATION:**

This annexation area consists of 9.8472 acres, leaving 6.28 acres for development. The annexation area is comprised of 1 parcel of land; the remaining area is comprised of annexed right-of-way. The property owners have requested annexation into the City as the result of wishing to subdivide their property in the County. Under the 1998 Persigo Agreement all subdivisions require annexation and processing in the City.

It is staff's professional opinion, based on review of the petition and knowledge of applicable state law, including the Municipal Annexation Act Pursuant to C.R.S. 31-12-104, that the Sunrise Acres Annexation is eligible to be annexed because of compliance with the following:

- a) A proper petition has been signed by more than 50% of the owners and more than 50% of the property described;
- b) Not less than one-sixth of the perimeter of the area to be annexed is contiguous with the existing City limits;
- c) A community of interest exists between the area to be annexed and the

City. This is so in part because the Central Grand Valley is essentially a single demographic and economic unit and occupants of the area can be expected to, and regularly do, use City streets, parks and other urban facilities;

- d) The area is or will be urbanized in the near future;
- e) The area is capable of being integrated with the City;
- f) No land held in identical ownership is being divided by the proposed annexation;
- g) No land held in identical ownership comprising 20 contiguous acres or more with an assessed valuation of \$200,000 or more for tax purposes is included without the owners consent.

The following annexation and zoning schedule was proposed.

<b><i>ANNEXATION SCHEDULE</i></b>	
<b>June 4<sup>th</sup></b>	Referral of Petition (30 Day Notice), Introduction Of A Proposed Ordinance, Exercising Land Use
<b>June 10<sup>th</sup></b>	Planning Commission considers Zone of Annexation
<b>July 2<sup>nd</sup></b>	Introduction Of A Proposed Ordinance on Zoning by City Council
<b>July 16<sup>th</sup></b>	Acceptance of Petition and Public Hearing on Annexation and Zoning by City Council
<b>August 17</b>	Effective date of Annexation and Zoning

**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>1</b>	
<b>Estimated Population:</b>	<b>2</b>	
<b># of Parcels (owner occupied):</b>	<b>0</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>6.28 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed: = \$ 12,130</b>	
	<b>Actual: = \$ 132,590</b>	
<b>Address Ranges:</b>		
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
		<b>Grand Junction Drainage District</b>
	<b>Drainage:</b>	
	<b>School:</b>	<b>District 51</b>
<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>	

*Luri*

**RESOLUTION NO. 68-03**

**A RESOLUTION ACCEPTING A  
PETITION FOR ANNEXATION, MAKING CERTAIN  
FINDINGS, DETERMINING THAT PROPERTY KNOWN AS THE**

**SONRISE ACRES ANNEXATION  
A SERIAL ANNEXATION COMPRISING OF SONRISE ANNEXATION NO. 1,  
SONRISE ANNEXATION NO. 2, SONRISE ANNEXATION NO. 3 AND SONRISE  
ANNEXATION NO. 4**

**LOCATED AT 3068 F ROAD**

**IS ELIGIBLE FOR ANNEXATION**

WHEREAS, on the 4th day of June, 2003, a petition was submitted to the City Council of the City of Grand Junction, Colorado, for annexation to said City of the following property situate in Mesa County, Colorado, and described as follows:

**SONRISE ACRES ANNEXATION**

A Serial Annexation Comprising OF Sonrise Acres Annexation No.1, Sonrise Acres Annexation No. 2, Sonrise Acres Annexation No. 3 and Sonrise Acres Annexation No. 4

**SONRISE ACRES  
ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

SONRISE ACRES ANNEXATION NO. 2

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

SONRISE ACRES ANNEXATION NO. 3

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a

distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

#### SONRISE ACRES ANNEXATION NO. 4

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

WHEREAS, a hearing on the petition was duly held after proper notice on the 16th day of July, 2003; and

WHEREAS, the Council has found and determined and does hereby find and determine that said petition is in substantial compliance with statutory requirements therefore, that one-sixth of the perimeter of the area proposed to be annexed is contiguous with the City; that a community of interest exists between the territory and the City; that the territory proposed to be annexed is urban or will be urbanized in the near future; that the said territory is integrated or is capable of being integrated with said City; that no land held in identical ownership has been divided without the consent of the landowner; that no land

held in identical ownership comprising more than twenty acres which, together with the buildings and improvements thereon, has an assessed valuation in excess of two hundred thousand dollars is included without the landowner's consent; and that no election is required under the Municipal Annexation Act of 1965.


**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT;**

The said territory is eligible for annexation to the City of Grand Junction, Colorado, and should be so annexed by Ordinance.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk



**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3542**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 1  
APPROXIMATELY 0.0666 ACRES**

**RIGHT-OF WAY LOCATED ALONG F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES**  
**ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING;

thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

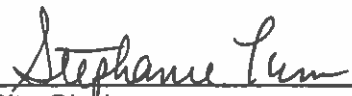
Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3543**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 2**

**APPROXIMATELY 0.3278 ACRES**

**RIGHT-OF-WAY LOCATED ALONG F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W a

distance of 90.00 feet; thence S 89°55'23" E along a line 10.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 189.97 feet; thence N 00°04'37" E a distance of 10.00 feet to a point on the North right of way for Patterson Road; thence S 89°55'23" E, along said North right of way, a distance of 282.68 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E, along the North right of way for Patterson Road, a distance of 296.32 feet; thence S 00°05'15" W a distance of 20.00 feet; thence N 89°54'45" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet, more or less, to a point on the East line of the SW 1/4 of said Section 4; thence N 89°55'23" W along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 462.62 feet; thence S 00°06'22" E a distance of 30.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

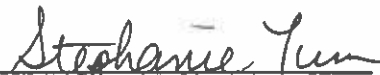
Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3544**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 3**

**APPROXIMATELY 5.0956 ACRES**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North

right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.


Be and is hereby annexed to the City of Grand Junction, Colorado.

**INTRODUCED** on first reading on the 4<sup>th</sup> day of June, 2003 and ordered published.

**ADOPTED** this 16<sup>th</sup> day of July, 2003.

Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk

**CITY OF GRAND JUNCTION, COLORADO**

**ORDINANCE NO. 3545**

**AN ORDINANCE ANNEXING TERRITORY TO THE  
CITY OF GRAND JUNCTION, COLORADO**

**SONRISE ACRES ANNEXATION NO. 4**

**APPROXIMATELY 4.3572 ACRES**

**LOCATED AT 3068 F ROAD**

**WHEREAS**, on the 4<sup>th</sup> day of June, 2003, the City Council of the City of Grand Junction considered a petition for the annexation of the following described territory to the City of Grand Junction; and

**WHEREAS**, a hearing on the petition was duly held after proper notice on the 16<sup>th</sup> day of July, 2003; and

**WHEREAS**, the City Council determined that said territory was eligible for annexation and that no election was necessary to determine whether such territory should be annexed;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE  
CITY OF GRAND JUNCTION, COLORADO:**

That the property situate in Mesa County, Colorado, and described to wit:

**SONRISE ACRES ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a

point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.


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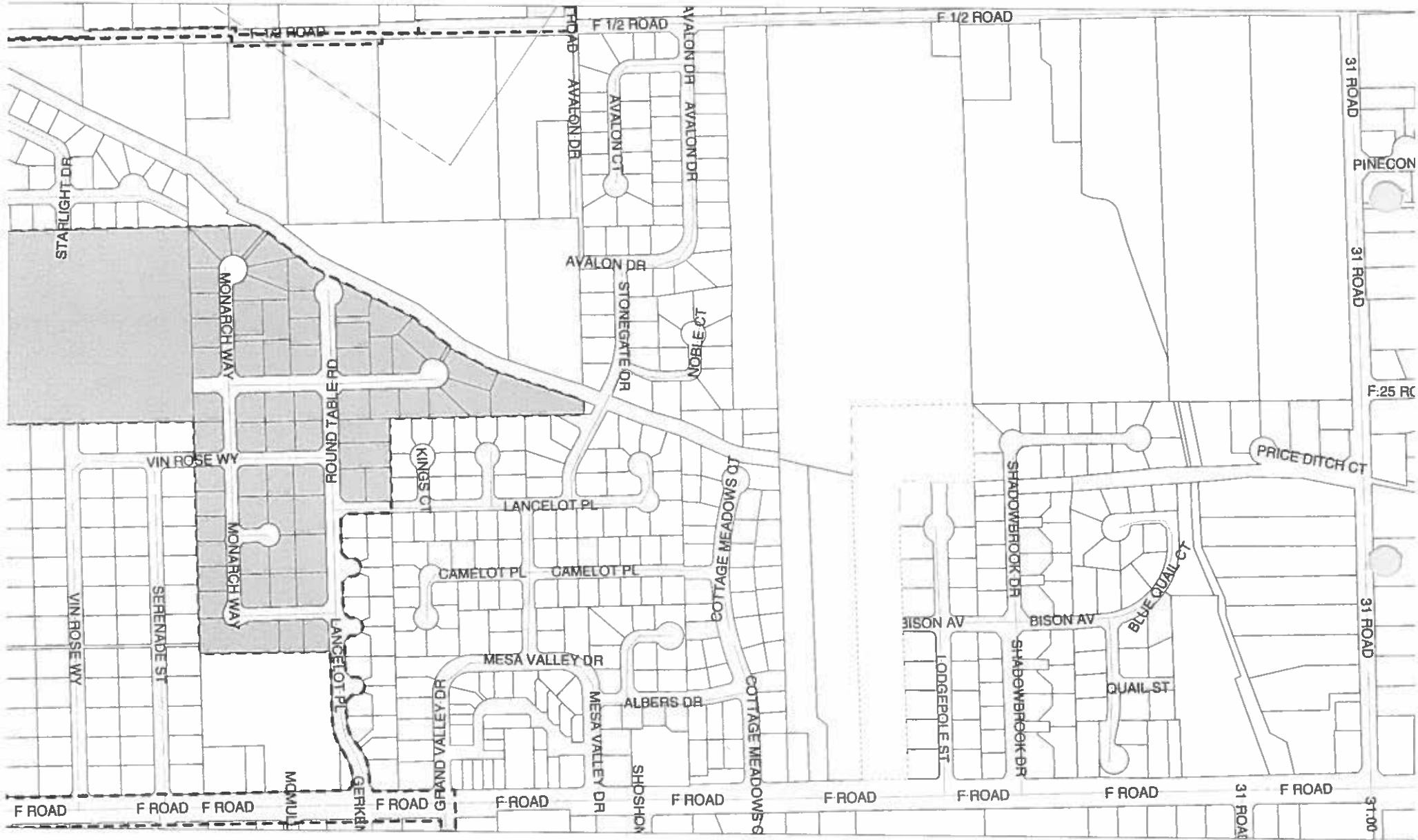
Attest:

  
\_\_\_\_\_  
President of the Council

  
\_\_\_\_\_  
City Clerk



# Sonrise Acres Area Zoning Map





**SONRISE ACRES ANNEXATION**

<b>File Number:</b>	<b>ANX-2003-090</b>	
<b>Location:</b>	<b>3069 F Road</b>	
<b>Tax ID Numbers:</b>	<b>2943-044-00-130</b>	
<b>Parcels:</b>	<b>20</b>	
<b>Estimated Population:</b>	<b>54</b>	
<b># of Parcels (owner occupied):</b>	<b>1</b>	
<b># of Dwelling Units:</b>	<b>1</b>	
<b>Acres land annexed:</b>	<b>9.8472 acres for annexation area</b>	
<b>Developable Acres Remaining:</b>	<b>0 acres</b>	
<b>Right-of-way in Annexation:</b>	<b>1,049 linear feet along F Road</b>	
<b>Previous County Zoning:</b>	<b>RSF-4 (County)</b>	
<b>Proposed City Zoning:</b>	<b>(RSF-4) Residential Single Family not to exceed 4 units per acre</b>	
<b>Current Land Use:</b>	<b>Single residence / vacant land</b>	
<b>Future Land Use:</b>	<b>Residential</b>	
<b>Values:</b>	<b>Assessed:</b> = \$ 12,130	
	<b>Actual:</b> = \$ 132,590	
<b>Address Ranges:</b>	<b>None</b>	
<b>Special Districts:</b>	<b>Water:</b>	<b>Clifton Water &amp; Ute Water</b>
	<b>Sewer:</b>	<b>Central Grand Valley Sanitation</b>
	<b>Fire:</b>	<b>Clifton Fire</b>
	<b>Drainage:</b>	<b>Grand Junction Drainage District</b>
	<b>School:</b>	<b>District 51</b>
	<b>Pest:</b>	<b>Upper Grand Valley Pest Control</b>

## Tax Information

<b>2003</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$74,040	\$58,550	\$132,590
	Assessed	\$6,770	\$5,360	\$12,130
	Mill Levy			0.07268
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$986.57
<b>2002</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$52,060	\$3,040	\$55,100
	Assessed	\$4,930	\$880	\$5,810
	Mill Levy			0.07268
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$527.23
<b>2001</b>	<b>Tac 16112</b>	<b>Improvements</b>	<b>Land</b>	<b>Total</b>
	Actual	\$52,060	\$3,040	\$55,100
	Assessed	\$4,930	\$880	\$5,810
	Mill Levy			0.068557
	Special Asmt			\$104.96
	Property Taxes + Special Asmt			\$503.28

Sales Activity *(if any)*

Date	Amount	Book	Page	Instrument Type
6/18/2001	\$199,900	2881	127	WDJT

Click on Image(s) to Enlarge



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[\[Assessor Main Page\]](#)

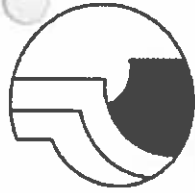


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# Mesa County

## Property Search Results *(Continued)*

The Mesa County Assessor's Office makes every effort to collect and maintain accurate data. However, the Mesa County Assessor's Office is unable to warrant any of the information contained herein.

<b>Owner's Name:</b>	GOLLIHER, GRANT and JANE GOLLIHER
<b>Mailing Address:</b>	PO BOX 315 MORAN, WY 83013-0315
<b>Parcel Identifier:</b>	2943-044-00-130
<b>Associated Par:</b>	
<b>Legal Description:</b>	E 12.5A OF SW4 SE4 SEC 4 1S 1E EXC E 248FT LYING S OFN LI PRICE DITCH SAID PARCEL DESC IN B-1019 P-747 +ALSO EXC S 50FT FOR CO ROAD
<b>Property Address:</b>	3068 F RD
<b>NeighborHood:</b>	Econ 30 M+B Nbhd 1
<b>Land Unit 1:</b>	
<b>Schedule Type:</b>	Single Family Resi
<b>Units:</b>	3.0
<b>Unit Type:</b>	Acres
<b>Land Unit 2:</b>	
<b>Schedule Type:</b>	Single Family Resi
<b>Units:</b>	3.31
<b>Unit Type:</b>	Acres
	<b>Building Characteristics</b> (Including Drawings and Information)

**SONRISE ACRES**  
**ANNEXATION NO. 1**

A certain parcel of land lying in the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 4 and the Northeast Quarter of the Northwest Quarter (NE 1/4 NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 472.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 00°06'22" E a distance of 50.00 feet to a point on the South right of way for Patterson Road (F Road); thence N 89°55'23" W along said South right of way a distance of 10.00 feet; thence N 00°06'22" W, along the East line of Beagley Annexation No. 3, Ordinance No. 3434, City of Grand Junction, a distance of 100.00 feet to a point on the North right of way for said Patterson Road; thence S 89°55'23" E along said North right of way, a distance of 200.00 feet; thence S 00°04'37" W a distance of 10.00 feet; thence N 89°55'23" W along a line 10.00 feet South of and parallel to, the North right of way for said Patterson Road, a distance of 189.97 feet; thence S 00°06'22" E a distance of 40.00 feet, more or less, to the Point of Beginning.

CONTAINING 0.0666 Acres (2,899.84 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**SONRISE ACRES**  
**ANNEXATION NO. 2**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

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CONTAINING 0.3278 Acres (14,279.42 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction



**SONRISE ACRES**  
**ANNEXATION NO. 3**

A certain parcel of land lying in the Southwest Quarter (SW 1/4) and the Southeast Quarter (SE 1/4) of Section 4 and the Northwest Quarter (NW 1/4) and the Northeast Quarter (NE 1/4) of Section 9, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SE 1/4 SW 1/4 of said Section 4 bears N 89°55'23" W with all other bearings contained herein being relative thereto; thence from said Point of Commencement, N 89°55'23" W along the South line of the SE 1/4 SW 1/4 of said Section 4 a distance of 462.52 feet to the POINT OF BEGINNING; thence from said Point of Beginning, N 00°06'22" W a distance of 30.00 feet; thence N 89°55'23" W along a line 20.00 feet South of and parallel to, the North right of way for Patterson Road (F Road) a distance of 462.62 feet to a point on the East line of the SW 1/4 of said Section 4; thence S 89°54'45" E along a line 20.00 feet South of and parallel to the North right of way for Patterson Road, a distance of 296.31 feet; thence N 00°05'31" E a distance of 20.00 feet to a point on the North right of way for Patterson Road; thence S 89°54'45" E along said North right of way, a distance of 612.33 feet; thence N 09°00'56" E a distance of 1027.87 feet; thence S 00°11'49" E a distance of 1115.43 feet, more or less, to a point on the South right of way for Patterson Road; thence N 89°54'45" W, along said South right of way, a distance of 1073.54 feet, more or less, to a point on the East line of the NW 1/4 of said Section 9; thence N 89°55'23" W along the South right of way for Patterson Road, a distance of 462.51 feet; thence N 00°06'22" W a distance of 50.00 feet, more or less, to the Point of Beginning.

CONTAINING 5.0956 Acres (221,965.94 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

**SONRISE ACRES**  
**ANNEXATION NO. 4**

A certain parcel of land lying in the Southwest Quarter of the Southeast Quarter (SW 1/4 SE 1/4) of Section 4, Township 1 South, Range 1 East of the Ute Principal Meridian, County of Mesa, State of Colorado, being more particularly described as follows:

COMMENCING at the South Quarter (S 1/4) Corner of said Section 4 and assuming the South line of the SW 1/4 SE 1/4 of said Section 4 bears S 89°54'45" E with all other bearings contained herein being relative thereto; thence from said Point of Commencement, S 89°54'45" E along the South line of the SW 1/4 SE 1/4 of said Section 4, a distance of 1073.43 feet; thence N 00°11'49" W a distance of 1065.43 feet to the POINT OF BEGINNING; thence from said Point of Beginning, S 09°00'56" W a distance of 1027.87 feet to a point on the North right of way for Patterson Road (F Road); thence N 00°10'11" W a distance of 1268.33 feet to a point on the North line of the SW 1/4 SE 1/4 of said Section 4; thence S 89°57'45" E along the North line of the SW 1/4 SE 1/4 of said Section 4, a distance of 412.09 feet to a point being the Northeast corner of the SW 1/4 SE 1/4 of said Section 4; thence S 00°13'12" E along the East line of the SW 1/4 SE 1/4 of said Section 4, a distance of 272.68 feet; thence N 85°39'45" W a distance of 229.89 feet; thence N 77°00'45" W a distance of 19.59 feet, more or less, to the Point of Beginning.

CONTAINING 4.3572 Acres (189,797.69 Sq. Ft.) more or less, as described.

By: Peter T. Krick  
City of Grand Junction

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

\*\*\*\*\*

**DESCRIPTION OF A TRACT OF LAND**

A tract of land generally described as being a portion of the East 12.5 acres of the SW ¼ SE ¼ of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW ¼ SE ¼ of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North 00° 13' West 1316.33 feet to the North boundary of the SW ¼ SE ¼ of said Section 4; thence North 89° 57' East 412.09 feet along the North boundary of the SW ¼ SE ¼ of said Section 4 to the East boundary of the SW ¼ SE ¼ of said Section 4; thence South 00° 17' East 272.67 feet along the East boundary of the SW ¼ SE ¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85° 45' West 229.77 feet, thence North 77° 06' West 19.59 feet; thence South 00° 17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado

<u>#</u>	<u>Annexation Name</u>	<u>Address</u>	<u>Planner</u>	<u>Schedule</u>	<u>Status</u>	<u>Land Use</u>	
15.	O'Connor	531 31 Road	Ronnie	Ref/1 <sup>st</sup> Read/LU – May 21 <sup>st</sup>		C-1	ANX-2003-068
16.	Rold	524 30 Road	Senta	PC Zone - May 27 <sup>th</sup> or June 10 <sup>th</sup> CC Zone 1 <sup>st</sup> - June 16 <sup>th</sup> CC Acpt/2 <sup>nd</sup> Read – July 2 <sup>nd</sup> Effective August 3, 2003		RSF-4	ANX-2003-080

17.	Sonrise Acres	3068 F Road	Lori	Ref/1 <sup>st</sup> Read/LU – June 4 <sup>th</sup>			ANX-2003-090
18.	Unawep Heights	2857 Unawep Avenue	Lori	PC Zone - June 10 <sup>th</sup> or June 24 <sup>th</sup> CC Zone 1 <sup>st</sup> - July 2 <sup>nd</sup> CC Acpt/2 <sup>nd</sup> Read – July 16 <sup>th</sup> Effective August 17, 2003			ANX-2003-022

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29  
St 98

Impact Report due ?????? for Unawep Heights & ?????????????? Annexation

19.	Marchun	2925 F 1/2 Road	Lisa	Ref/1 <sup>st</sup> Read/LU – June 16 <sup>th</sup> PC Zone - June 24 <sup>th</sup> or July 8 <sup>th</sup> CC Zone 1 <sup>st</sup> - July 16 <sup>th</sup> CC Acpt/2 <sup>nd</sup> Read – August 6 <sup>th</sup> Effective September 7, 2003		RMF-5	ANX-2003-093
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Impact Report due ?????? for Marchun Anenxation

# NOTICE OF DEVELOPMENT APPLICATION

An application for the development proposal described below, located near property you own, has been received by the Grand Junction Community Development Department. The Department encourages public review of proposed development prior to public hearings. The application, including plans, reports and supporting documentation, is available for review during normal business hours (7:30 A.M. - 5:30 P.M. Monday-Thursday and 7:30 A.M. - 5:00 P.M. on Friday) at City Hall, 250 North 5<sup>th</sup> Street. City Planning staff is also available to answer questions and explain the development review process.

**ANX/PP-2003-090 – SONRISE ACRES SUBDIVISION  
– 3068 F Road**

Request approval to annex and develop 20 single family lots on 6.288 acres in a RSF-4 (Residential Single Family-4 units/acre) zone.

Planner **Lori Bowers**

Courtesy notification cards will be mailed to adjoining property owners prior to a public hearing on this item. However, we encourage you to also verify scheduling in one of the following ways:

- ◆ call the Community Development Department at (970) 244-1430
- ◆ look for a display ad in the Daily Sentinel one day prior to the public hearing (held on the second and sometimes the third Tuesday of each month)
- ◆ You may receive a FAX copy of the Planning Commission agendas by calling CITY DIAL at (970) 244-1500 ext. 211.
- ◆ Agendas for Planning Commission, City Council, and Board of Appeals items are available prior to the hearing at City Hall, 250 North 5<sup>th</sup> Street.

Please do not hesitate to contact the Community Development Department at (970) 244-1430 if you have any questions.

# **PRELIMINARY DRAINAGE REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

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**PREPARED FOR:**

**CPS ENTERPRISES, LLC**  
P.O. Box 561  
Telluride, CO 81435  
(970) 728-9909

**PREPARED BY:**

**VISTA ENGINEERING CORP.**  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242

April 23, 2003  
VEC # 4117.00-03

# **PRELIMINARY DRAINAGE REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

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**PREPARED FOR:**

**CPS ENTERPRISES, LLC**  
P.O. Box 561  
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**PREPARED BY:**

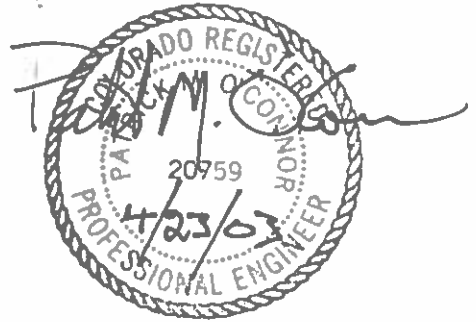
**VISTA ENGINEERING CORP.**  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242

April 23, 2003  
VEC # 4117.00-03

# CERTIFICATION

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I hereby certify that this Preliminary Drainage Report for Sunrise Acres Subdivision was prepared under my direct supervision.



---

Patrick M. O'Connor  
Registered Professional Engineer  
State of Colorado, # 20759



# TABLE OF CONTENTS

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# PRELIMINARY DRAINAGE REPORT

## SONRISE ACRES SUBDIVISION

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### I. LOCATION AND DESCRIPTION OF PROPERTY

Sonrise Acres Subdivision contains approximately 6.288 acres (including 0.208 acres of open space) and is located near the City of Grand Junction, Colorado, at 3068 F Road (west of Lodge Pole Street). Proposed development of the site shall consist of one Filing containing 20 lots for a finished density of 3.18 units per acre. It is currently zoned "County RSF-4" with a similar future land use designation of "Residential Medium", having a dwelling density of 4 to 8 units per acre. The site plan shows the location of the property in relationship to the surrounding vicinity. One tax parcel, numbered 2943-044-00-130, is contained within the site.

Existing streets in the vicinity include Bison Avenue in the center of the site, Lodge Pole Street to the east, and F Road to the south. Bison Avenue, an existing urban residential street, is proposed to extend into the project from the east and terminate at proposed Sonrise Way, a residential street with a cul-de-sac on the south end. Sonrise Way will have a modified cross-section with the typical 14' asphalt mat, a 6.5' curb, gutter, and walkway on the east side of centerline, but only a 6' asphalt mat on the west side of the centerline (given that the remaining roadway is located west of the property boundary and will be completed at a future date when the adjacent parcel develops). A section of the Price Ditch (buried pipeline) runs east to west near the northern end of the site.

The surrounding area consists primarily of residential housing zoned "County RSF-4". Thunder Mountain Elementary School is located immediately north of the property. The site is currently vacant except for a single family residence in the southeast corner adjacent to F Road. This residence will remain and be incorporated into the proposed lot geometry, but will continue to utilize the existing driveway onto F Road. All other lots will be accessed by the internal streets proposed within the subdivision. Existing outbuildings will be removed or relocated to conform with setback requirements for the new lot lines.

Existing ground cover over most of the site consists of a sparse covering of pasture grasses and weeds, with many bare areas resulting from recent boarding of livestock. Landscaping of the proposed open space tract will consist of a low-maintenance native grass with temporary irrigation provided by the existing residence to establish growth and shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan and are typical sandy silts found in the area and the Valley. The soils generally consist of Billings Silty Clay and Billings Silty Clay Loam. These soils are categorized as hydrologic soils group "C" which have low infiltration capability and moderate to high runoff potential. This should not pose an adverse impact to development of the site. There are no known geological hazards at this location.

## II. EXISTING DRAINAGE CONDITIONS

### MAJOR BASIN

Sonrise Acres Subdivision is located within the Indian Wash Watershed which is one of the major basins of the Grand Valley and consists of several square miles of basin beginning to the northeast in the "Bookcliffs Plateau". Indian Wash flows south, crossing F Road near the intersection with 29 Road where it generally travels south and west, eventually emptying into the Colorado River. Lewis Wash, another major watershed, flows south just a few hundred feet east of the site, but is located above and outside of the drainage impacts from this site.

Sonrise Acres Subdivision does not exist within the 100 year floodplain of the Indian Wash Basin or any other basin as delineated by the July 15, 1992 Flood Insurance Rate Maps produced by FEMA (partial copy enclosed in the Appendix - Panel Number 080115 0480 C).

### SITE

Topography of the property is relatively "flat" in nature, sloping generally south at an average rate of less than one percent. Open ditches on the east and west property lines intercept flows which would enter or leave the site. Currently, surface runoff from the site flows south onto F Road where it is collected by existing storm inlets, enters the existing 12" RCP storm drain in the street, and flows west to Indian Wash. This storm sewer expands to 18" diameter approximately 200' to the west.

### OFF-SITE IMPACTS TO THE SITE

Offsite surface runoff in the vicinity is collected and diverted away from the site by the existing developments surrounding the project. Playgrounds and vacant areas of Thunder Mountain Elementary School exist directly north of the site. There is no evidence of runoff from these school grounds onto this site. Runoff from the school is apparently managed on-site and discharged to the west.

## III. PROPOSED DRAINAGE CONDITIONS

### CHANGES IN DRAINAGE PATTERNS

No change in the released drainage pattern is proposed for the site. Drainage patterns within the site will be modified to accommodate development and to better control surface flows to designated collection areas. Upon development, runoff will flow south to be collected, detained, and released at a controlled rate from the detention facility proposed within the Open-Space designated in the southwest corner of the site. This facility will consist of a detention pond and concrete release structure which will empty into the existing 12" storm drain located in F Road. Preliminary calculations indicate that developed rates of release will be reduced from the runoff flowrates historically generated.

## MAINTENANCE

Access to the stormwater management facility will be by platted streets and easements as required. A Home Owners Association will be formed to provide maintenance responsibility for the surface improvements related to the facility. Operation and maintenance of the underground storm sewers will be the responsibility of the City of Grand Junction.

## IV. DRAINAGE DESIGN CRITERIA AND APPROACH

### REGULATIONS

The City of Grand Junction and Mesa County Stormwater Management (SWM) Manual (May 1996) will be used as the basis for analysis and facility design criteria. No master drainage plan has been completed for the area, to our knowledge. This development will be designed and constructed within the guidelines of the SWM manual to assure minimal impacts to downstream properties.

### HYDROLOGIC CRITERIA

Because the project is a residential development containing sub-basins less than 25 acres, the "Rational Method" will be used to calculate the historic and developed flow rates. As required by the "Stormwater Management (SWM) Manual", the minor storm event is considered to be the 2 year frequency storm and the major storm event is considered to be the 100 year frequency event.

Runoff Coefficients and intensity-duration-frequency data used in the computations will be based on the most recent SWM Manual criteria defined above. Coefficients will be assigned based on land use and hydrologic soils group. Haestad Methods software ("Pondpack") will be used to perform the calculations.

### HYDRAULIC CRITERIA

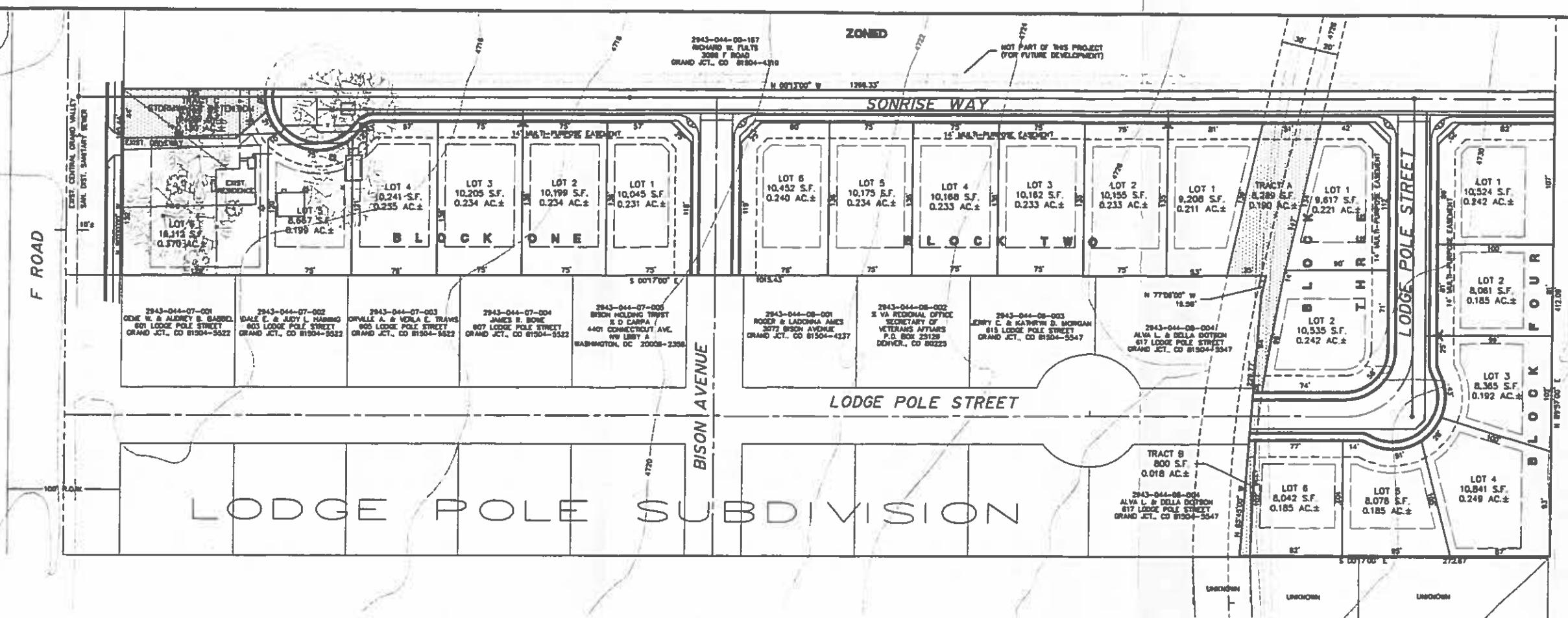
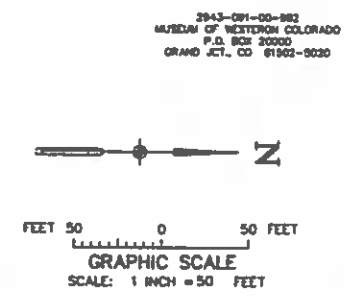
All site facilities and conveyance elements will be designed in accordance with the City of Grand Junction SWM Manual and the City of Grand Junction Design Standards and Construction Specifications.

Open channels and pipelines will be analyzed using Manning's Equation and roughness coefficients found in the SWM Manual. Haestad Flowmaster Software will be used to perform the calculations. Copies of these calculations will be included in the final report.

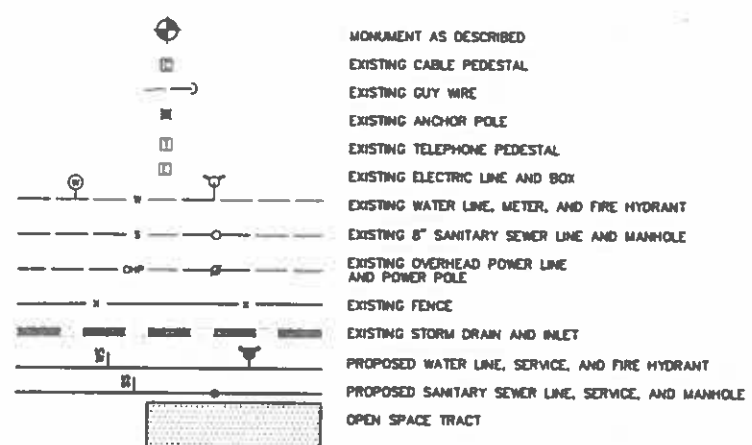
## APPENDIX

1. **PRELIMINARY PLAN**  
SHEET 1 OF 1 - PRELIMINARY PLAN  
VICINITY TOPO MAP
2. **MAJOR BASIN MAP**  
VICINITY MAP - U.S.G.S. QUAD SHEET
3. **FLOODPLAIN MAP**  
F.E.M.A. Flood Insurance Rate Map - Partial Copy  
Mesa County, Colorado: Panel 480 (080115 0480 C - July 15, 1992)
4. **SOILS INFORMATION**  
S.C.S. SOILS MAP
5. **PRELIMINARY HYDROLOGIC CALCULATIONS**  
Historic and Developed Runoff, Stage-Discharge, and Pond-Routing

**SECTION 1  
PRELIMINARY PLAN**



**LEGEND**

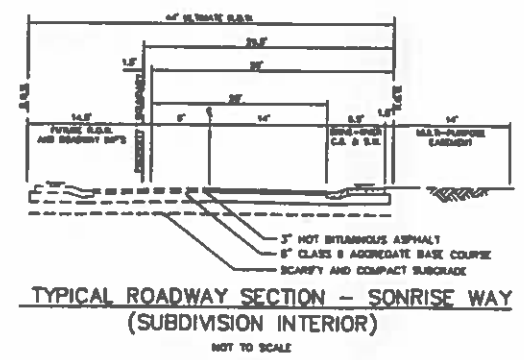
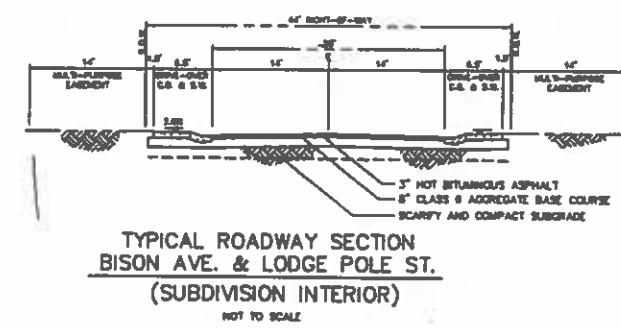


**PUBLIC FACILITIES**

SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Clifton Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Owest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palladeo Irrigation District

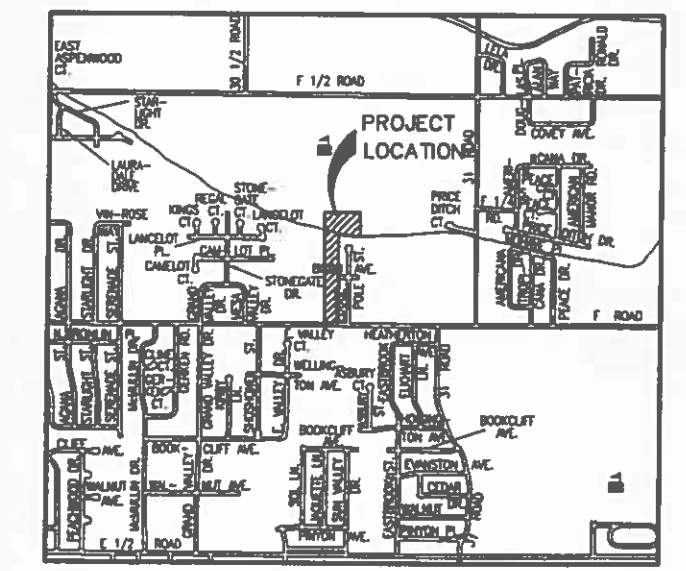
**BULK REQUIREMENTS FOR RSF-4 ZONE**

MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	7 FEET
PRINCIPAL STRUCTURE	3 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	
MINIMUM REAR YARD SETBACK	25 FEET
PRINCIPAL STRUCTURE	5 FEET
ACCESSORY STRUCTURE	
MINIMUM FRONT YARD SETBACK	20 FEET
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4



**AREA BREAKDOWN**

RESIDENTIAL LOTS (20)	4.589 ACRES	73.0%
OPEN SPACE	0.328 ACRES	5.2%
INTERIOR ROADS	1.371 ACRES	21.8%
TOTAL	6.288 ACRES	100.0%

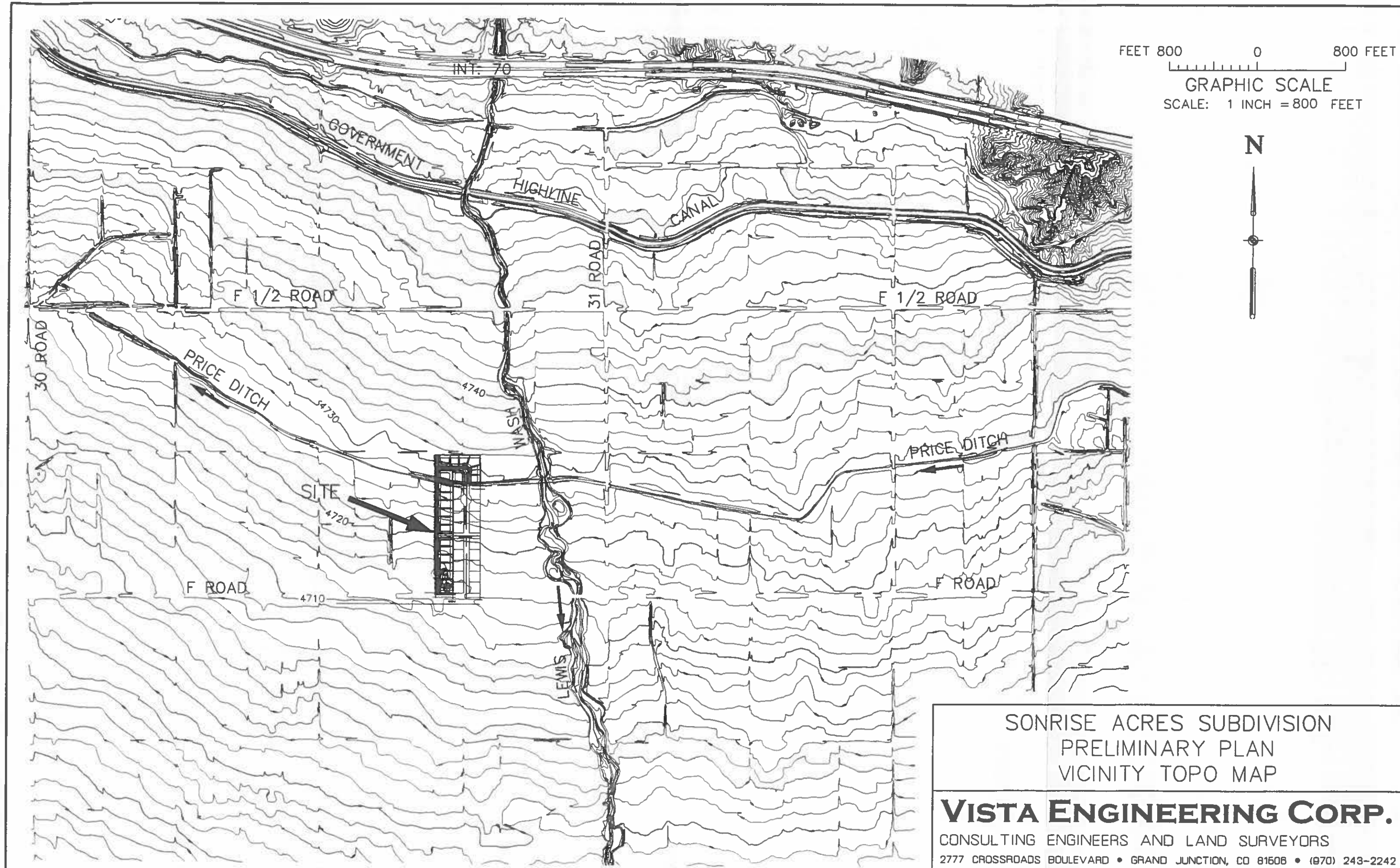


DRAWN BY: F.J.B.	REVIEWED _____ DATE _____ FOR _____
DESIGNED BY: P.M.O.	REVIEWED _____ DATE _____ FOR VISTA ENGINEERING CORP.

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	DD

GRAND JUNCTION, COLORADO  
SCALE: 1" = 80'  
JOB NO: 47.00-02  
DATE: 4-8-03  
SHEET NO:  
PRELIMINARY PLAN  
SONRISE ACRES



FEET 800 0 800 FEET  
GRAPHIC SCALE  
SCALE: 1 INCH = 800 FEET

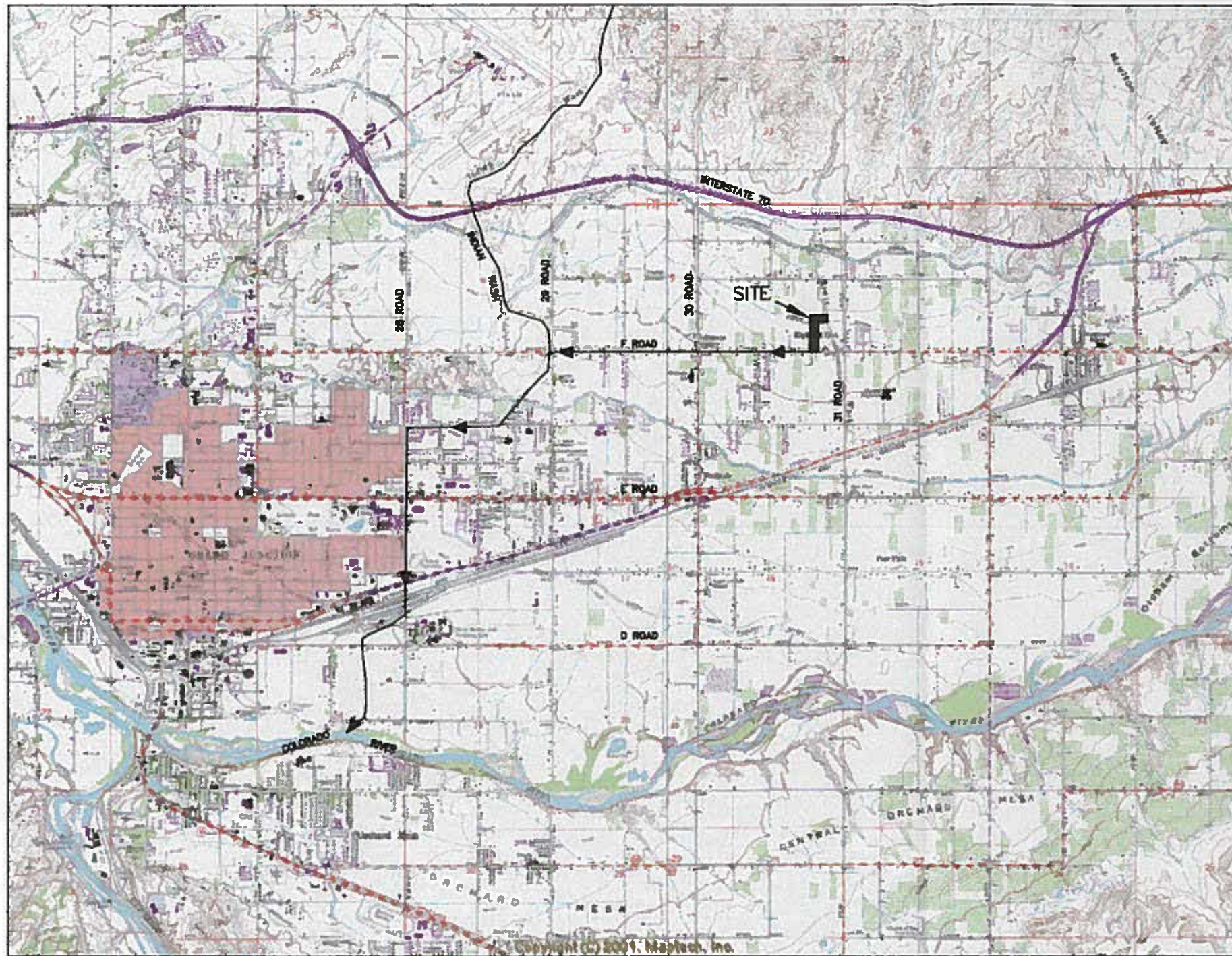


SONRISE ACRES SUBDIVISION  
PRELIMINARY PLAN  
VICINITY TOPO MAP

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**SECTION 2**  
**MAJOR BASIN MAP**



NOT TO SCALE

SONRISE ACRES SUBDIVISION  
PRELIMINARY PLAN  
MAJOR BASIN MAP

**VISTA ENGINEERING CORP.**

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**SECTION 3  
FLOODPLAIN MAP**



HIGHLINE

Ditch

GOVERNMENT

31 ROAD

F ROAD

Lewis

Walsh

PROJECT LOCATION

F 1/2 ROAD

Price

Highland Park

NORTH

1" = 1000'

F ROAD

Johnsons Corner

30 ROAD

PARTIAL COPY: FEMA FLOOD MAP  
MESA COUNTY, COLORADO  
PANEL 480 OF 1000  
(080115 0480 C)

**SECTION 4**  
**SOILS INFORMATION**



**Billings silty clay loam, 0 to 2 percent slopes (Bc).**—This soil, locally called adobe, is one of the most important and extensive in the Grand Valley. It covers nearly one-fifth of the Grand Junction Area. The areas occur on the broad flood plains and very gently sloping coalescing alluvial fans along streams. Many large areas are north of the Colorado River.

The soil is derived from deep alluvial deposits that came mainly from Mancos shale but in a few places from fine-grained sandstone materials. The deposits ordinarily range from 4 to 40 feet deep but in places exceed 40 feet. The deposits have been built up from thin sediments brought in by the streams that have formed the coalescing alluvial fans or have been dropped by the broad washes that have no drainage channel. The thickest deposit, near Grand Junction, was built up by Indian Wash.

The color and texture of the soil profile vary from place to place. The 8- to 10-inch surface soil normally consists of gray, light-gray, light olive-gray, or light brownish-gray silty clay loam. This layer grades into material of similar color and texture that extends to depths of 3 or 4 feet. Below this depth the successive depositional layers show more variation. Although the dominant texture is silty clay loam, the profile may have a loam, clay loam, fine sandy loam, or a very fine sandy loam texture.

Where there are fairly uniform beds of Mancos shale and where the soil is not influenced by materials deposited by adjoining drainage courses, the profile varies only slightly within the upper 3 or 4 feet. In areas bordering drainage courses, however, the soil varies more in texture and color from the surface downward.

One small area about 1½ miles southeast of Loma consists of light grayish-brown or pale-brown heavy silty clay loam that shows only slight variation in texture to depths of 4 to 6 feet. The underlying soil material is more variable. Below depths of 6 to 10 feet the layers generally are somewhat thicker and have a higher percentage of coarse soil material.

Also included with this soil are several small areas totaling about 3 square miles that are dominantly pale yellow. These are located 2½ to 3½ miles northeast of Fruita, 5 miles north of Fruita, 2½ miles northeast of Loma, 3 to 5 miles north of Loma, 1½ miles northwest of Loma, and 4 miles northwest of Muck. In these areas the 8- or 10-inch surface soil is pale-yellow silty clay loam, and the subsoil is a relatively uniform pale-yellow silty clay loam to depths of 4 to 8 feet. The accumulated alluvial layers are difficult to distinguish, but in a few places transitional to Fruita soils there are small areas having a pale-brown to light-yellowish brown color. These transitional areas are included with Billings silty clay loam because they have a finer textured subsoil than is characteristic of the Ravola soils.

Although moderately fine textured, this Billings soil permits successful growth of deep-rooted crops such as alfalfa and tree fruits. Its permeability is normally not so favorable as that of the Mesa, Fruita, and Ravola soils. Its tilth and workability are fair, but it puddles so quickly when wet and bakes so hard when dry that good tilth can be maintained only by proper irrigation and special cultural practices. Runoff is slow and internal drainage is very slow.

Like all other soils in the area, this one has a low organic-matter content. Under natural conditions it contains a moderate concen-

tration of salts derived from the parent rock (Mancos shale). In places, however, it contains so much salt that good yields cannot be obtained. Some large areas are so strongly saline they cannot be used for crops. Generally, this soil is without visible lime, but it is calcareous. In many places small white flecks or indistinct light-colored streaks or seams indicate that lime, gypsum, or salts are present.

*Use and management.*—About 80 percent of this soil is cultivated. The chief irrigated crops are alfalfa, corn, dry beans, sugar beets, small grains, and tomatoes and other truck crops. Where the soil is located so as to avoid frost damage, tree fruits are grown.

Most of the field crops are grown in the central and western parts of the valley, or from Grand Junction westward. The entire acreage in tree fruits—approximately 3 square miles—lies between Grand Junction and Palisade. Because the climate is more favorable near Palisade, the acreage in orchard fruits is greater there. A few small orchards are located northeast of Grand Junction in the direction of Clifton. The main fruit acreage is between Clifton and Palisade. Peach orchards predominate, but a considerable acreage is in pears, especially near Clifton. Yields depend on the age of the trees and other factors, including management, but the estimated potential yield is somewhat less on this soil than on Mesa soils. This takes into account the slower internal drainage of this soil and its susceptibility to salinity if overirrigated. Yields of other crops vary according to the length of time the land has been irrigated, internal drainage or subdrainage, salt content of the soil, management practices, and local climate.

The uncultivated areas of this soil are mostly inaccessible places adjoining the larger washes, which occur mainly in the western part of the area, and those places that cannot be cropped profitably because they have inadequate drainage and a harmful concentration of salts. The uncultivated land supports a sparse growth of greasewood, saltbush, shadscale, rabbitbrush, ryegrass, peppergrass, and saltgrass. From 70 to 90 acres are required to pasture one animal during a season.

A number of places shown on the map by small marsh symbols are low and seepy. They could be ditched, but their acreage is likely too small to justify the expense. Left as they are, their salt content makes them worthless for any use except pasture.

Sizeable acreages of this soil apparently were overirrigated in the past. Irrigation water applied at higher levels to the north seeps upward in this soil where it occurs in low areas toward the river. Even now, new saline areas are appearing, and existing areas are getting larger. The total acreage affected by salts has remained more or less the same for the last two decades, but affected areas will continue to change in size and shape because of seepage.

Most fields are ditched where necessary. Some uncultivated areas require both leveling and ditching. In places subdrainage is inadequate because irregularities in the underlying shale tend to create pockets and prevent underground water from flowing into the drainage ditches. Also, in some areas where the alluvial mantle is 30 to 40 feet thick, the ditches are not always deep enough to drain the soil. Some areas are seepy because there are no ditches running in an east-west direction to intercept lateral flow of ground water from the over-

irrigated, permeable, medium-textured, stratified soils on the upper parts of the fan to the north. After being leveled, uncultivated areas would have to be cropped for 3 years before their salt content would be reduced enough to permit good yields.

Farmers can increase the organic-matter content of this soil by applying manure liberally and by growing alfalfa or clovers at least part of the time. A combination field crop and livestock type of farming favors improvement of this soil. Many of the small imperfectly drained areas may be kept in pasture. Strawberry clover and sweetclover are well suited, and mixtures of pasture grasses grow well.

**Billings silty clay loam, 2 to 5 percent slopes (Bd).**—This soil covers a relatively small acreage in the Grand Valley. The areas are widely scattered. Except for its stronger slope, the soil is almost the same as Billings silty clay loam, 0 to 2 percent slopes. In a few places, notably north of Loma, there are areas having a pale-yellow color rather than the gray typical of the Billings soils.

*Use and management.*—Only about 15 percent of this soil is cultivated. Many of the areas lie along large drainageways or washes where they are difficult to reach. Even a larger number have such an uneven surface that considerable leveling would have to be done before they could be cropped. The cost of leveling, together with the expense of controlling erosion and gullying, discourages farmers from using them.

Many of the uncultivated areas have moderate concentrations of salts, but they are not particularly difficult to reclaim because they border natural ditches or washes which afford free disposal of irrigation water. Furthermore, for the most part, they have a porous substratum.

About the same crops are grown on this soil as on Billings silty clay loam, 0 to 2 percent slopes. The average yields are approximately the same.

**Billings silty clay, 0 to 2 percent slopes (Ba).**—This soil, locally called heavy adobe, occurs well toward the Colorado River. It is on alluvial materials—4 to about 40 feet thick—that largely came from Mancos shale. Most of this soil lies east and southeast of Grand Junction and along the railroad between Grand Junction and Fruita.

The 8- or 10-inch surface soil consists of light brownish-gray, gray, or olive-gray silty clay. The layer is similar to the surface layer of Billings silty clay loam soils but it is harder and, in many places, darker. The subsoil consists of similarly colored layers of silty clay loam, silt loam, and silty clay. In places the soil is silty clay to depths exceeding 4 feet.

The entire profile is firm when moist and has a massive structure. The subsoil has many small irregularly shaped light-gray specks or indistinct mottles. Poorly defined light-colored streaks indicate the presence of lime, gypsum, or salts. The surface soil and subsoil are calcareous, the lime being well distributed. The fine texture of the soil greatly retards penetration of roots, moisture, and air.

Surface runoff is very slow to slow where the slope is less than 1 percent. Internal drainage is very slow because the subsoil is massive and very slowly permeable. Even with ample drainage ditches, the discharge of irrigation water is slow.

Tilth and workability are not good, because the soil has a fine texture and a low content of organic matter. Moreover, some fields contain areas 20 to 60 feet across that have excessive amounts of salts. Slick spots also occur. These salty areas and slick spots produce low or negligible yields of most crops and are extremely difficult to eliminate.

*Use and management.*—About 75 percent of this soil is cultivated. Most of the rest is affected by salts. Small grains, beans, sugar beets, and alfalfa are the chief crops. They yield less than on Billings silty clay loam, 0 to 2 percent slopes. Ordinarily, newly broken fields are cropped to oats or other small grains the first few seasons so that excess salts can be removed. Afterwards, if drainage is adequate, they may be planted to pinto beans, sugar beets, corn, or alfalfa. The very slow permeability of this soil makes it unsuitable for orchard crops. Also, it is located mainly in areas where the frost hazard is great. Probably the greater part of the irrigable acreage is used for sugar beets. Small grains, alfalfa, and pinto beans usually follow in the order named.

**Billings silty clay, 2 to 5 percent slopes (Bu).**—This soil is similar to Billings silty clay, 0 to 2 percent slopes. It differs mainly in having greater slopes and a slightly finer textured and darker gray surface soil. In places, below depths of 3 or 4 feet, the silty clay or clay material is light olive gray.

The tilth and workability are poor. Surface runoff is medium, and internal drainage is very slow. The soil is better suited to irrigation than most of the larger nearly level areas of Billings silty clay, 0 to 2 percent slopes, many of which are affected by salts. Approximately 12 acres of this soil is in peach orchards. All the rest is normally used for cultivated crops, principally corn, pinto beans, and alfalfa. This soil is suited to about the same crops as Billings silty clay, 0 to 2 percent slopes, but it generally produces better yields.

**Billings silty clay, moderately deep over Green River soil material, 0 to 2 percent slopes (Be).**—This soil occurs on the outer margin of coalescing alluvial fans where 1 to 4½ feet of fine-textured deposits derived from shale overlies Green River soil materials.

Except for a few strips only a few rods wide that adjoin low-lying areas of Green River soils, this soil has not been altered by high overflows from the Colorado River. It is not likely that the main part of the soil will be covered by floodwaters from the Colorado River, as it lies well above the level of normal overflow.

*Use and management.*—About 85 percent of this soil is cultivated. The principal crops are alfalfa, corn, sugar beets, and pinto beans. A few peach orchards are on this soil near Clifton. Because the underlying strata are coarser, crops produce better on this soil than on most areas of the other Billings silty clay soils. Drainage and saline conditions have to be corrected before the soil will produce well.

Uncultivated acreages of this soil northwest of Grand Junction are saline, imperfectly drained, or both. Their tilth and workability are poor because they have a fine texture and a low content of organic matter.



**SECTION 5**  
**PRELIMINARY HYDROLOGIC CALCULATIONS**

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:10:39 10-25-2002

SONRISE ACRES SUBDIVISION  
 HISTORIC RUNOFF - BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 2 years  
 'C' adjustment, k = 1  
 Adj. 'C' = Wtd.'C' x 1

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.220	6.30	30.00	0.220	0.220	0.540	6.30	0.75

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:10:39 10-25-2002

SONRISE ACRES SUBDIVISION  
 HISTORIC RUNOFF - BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 100 years  
 'C' adjustment, k = 1.2727  
 Adj. 'C' = Wtd.'C' x 1.2727

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.220	6.30	30.00	0.220	0.280	2.150	6.30	3.79

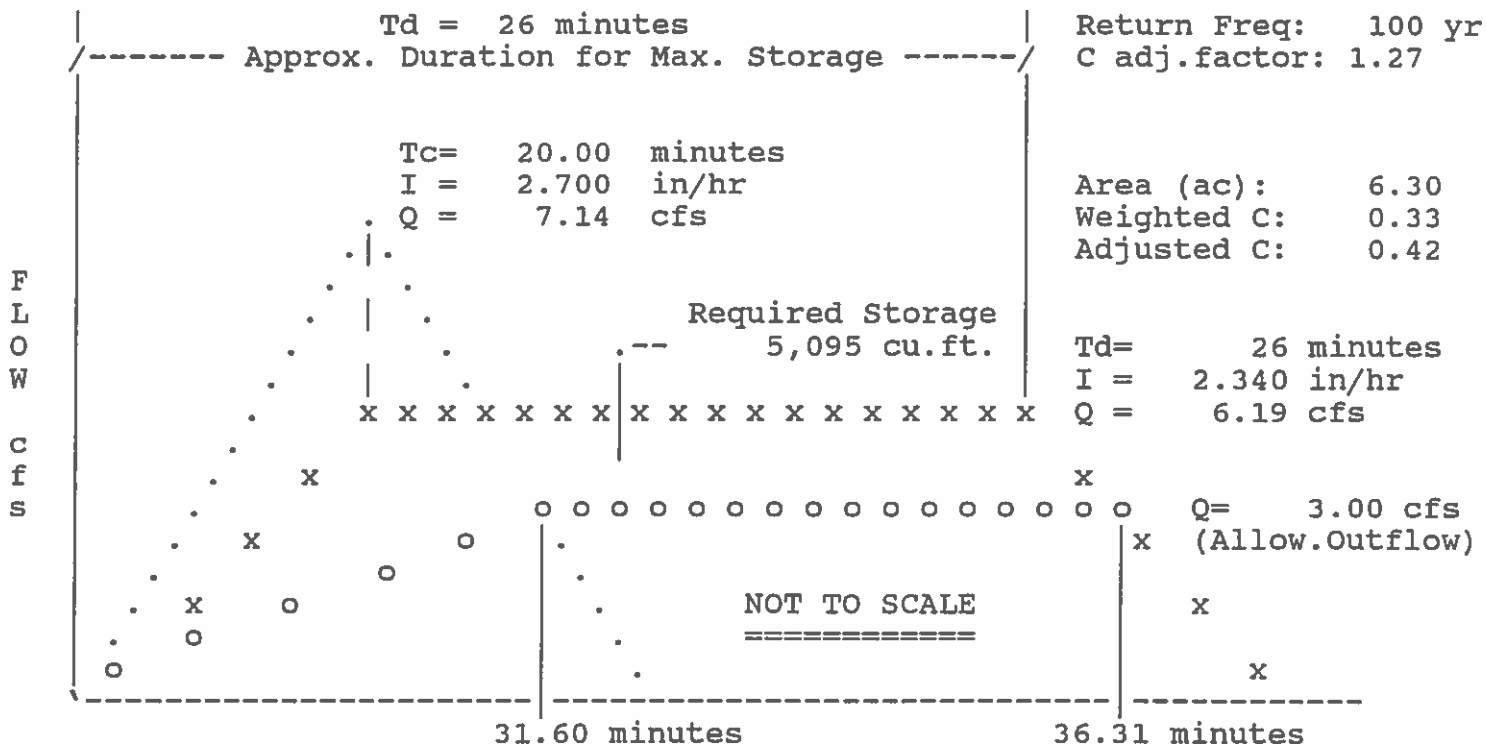


MODIFIED RATIONAL METHOD  
 ---- Graphical Summary for Maximum Required Storage ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\*\*\*\*\*  
 \* RETURN FREQUENCY: 100 yr | Allowable Outflow: 3.00 cfs \*  
 \* 'C' Adjustment: 1.273 | Required Storage: 5,095 cu.ft. \*  
 \*-----\*  
 \* Peak Inflow: 6.19 cfs | Inflow .HYD stored: NONE STORED \*  
 \*\*\*\*\*



Quick TR-55 Ver.5.46 S/N:  
Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
DEVELOPED RUNOFF, BASIN=TOTAL SITE  
10/25/02

\*\*\*\* Modified Rational Hydrograph \*\*\*\*

Weighted C = 0.330 Area= 6.300 acres Tc = 20.00 minutes

Adjusted C = 0.330 Td= 29.00 min. I= 0.56 in/hr Qp= 1.16 cfs

RETURN FREQUENCY: 2 year storm Adj.factor = 1.00

Output file: NONE STORED

HYDROGRAPH FOR MAXIMUM STORAGE  
For the 2 Year Storm

Time Hours	Time increment = 0.017 Hours						
	Time on left represents time for first Q in each row.						
0.000	0.00	0.06	0.12	0.17	0.23	0.29	0.35
0.117	0.41	0.47	0.52	0.58	0.64	0.70	0.76
0.233	0.81	0.87	0.93	0.99	1.05	1.11	1.16
0.350	1.16	1.16	1.16	1.16	1.16	1.16	1.16
0.467	1.16	1.16	1.11	1.05	0.99	0.93	0.87
0.583	0.81	0.76	0.70	0.64	0.58	0.52	0.47
0.700	0.41	0.35	0.29	0.23	0.17	0.12	0.06
0.817	0.00						

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\*\*\*\* Modified Rational Hydrograph \*\*\*\*

Weighted C = 0.330 Area= 6.300 acres Tc = 20.00 minutes

Adjusted C = 0.420 Td= 26.00 min. I= 2.34 in/hr Qp= 6.19 cfs

RETURN FREQUENCY: 100 year storm Adj.factor = 1.27  
 Output file: NONE STORED

HYDROGRAPH FOR MAXIMUM STORAGE  
 For the 100 Year Storm

Time Hours	Time increment = 0.017 Hours						
	Time on left represents time for first Q in each row.						
0.000	0.00	0.31	0.62	0.93	1.24	1.55	1.86
0.117	2.17	2.48	2.79	3.10	3.41	3.71	4.02
0.233	4.33	4.64	4.95	5.26	5.57	5.88	6.19
0.350	6.19	6.19	6.19	6.19	6.19	6.19	5.88
0.467	5.57	5.26	4.95	4.64	4.33	4.02	3.71
0.583	3.41	3.10	2.79	2.48	2.17	1.86	1.55
0.700	1.24	0.93	0.62	0.31	0.00		

Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 2 years  
 'C' adjustment, k = 1  
 Adj. 'C' = Wtd.'C' x 1

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.330	6.30	20.00	0.330	0.330	0.680	6.30	1.41



Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

\* \* \* \* \* SUMMARY OF RATIONAL METHOD PEAK DISCHARGES \* \* \* \* \*

$$Q = \text{adj} * C * I * A$$

Where: Q=cfs, C=Weighted Runoff Coefficient, I=in/hour, A=acres  
 adj = 'C' adjustment factor for each return frequency

RETURN FREQUENCY = 100 years  
 'C' adjustment, k = 1.2727  
 Adj. 'C' = Wtd.'C' x 1.2727

Subarea Descr.	Runoff 'C'	Area acres	Tc (min)	Wtd. 'C'	Adj. 'C'	I in/hr	Total acres	Peak Q (cfs)
SITE	0.330	6.30						
			20.00	0.330	0.420	2.700	6.30	7.14



Quick TR-55 Ver.5.46 S/N:  
 Executed: 13:13:17 10-25-2002

MODIFIED RATIONAL METHOD  
 ---- Summary for Single Storm Frequency ----

First peak outflow point assumed to occur at Tc hydrograph recession leg.

SONRISE ACRES SUBDIVISION  
 DEVELOPED RUNOFF, BASIN=TOTAL SITE  
 10/25/02

RETURN FREQUENCY: 2 yr 'C' Adjustment = 1.000 Allowable Q = 0.50 cfs

Hydrograph file: NONE STORED Tc = 20.00 minutes  
 ::

						VOLUMES	
Weighted 'C'	Adjusted 'C'	Duration minutes	Intens. in/hr	Areas acres	Qpeak cfs	Inflow (cu.ft.)	Storage (cu.ft.)
0.330	0.330	20	0.680	6.30	1.41	1,696	1,096
***** Storage Maximum							
0.330	0.330	29	0.560	6.30	1.16	2,026	1,178
*****							
0.330	0.330	30	0.540	6.30	1.12	2,021	1,148
0.330	0.330	40	0.450	6.30	0.94	2,245	1,099
0.330	0.330	50	0.390	6.30	0.81	2,432	1,011
0.330	0.330	60	0.340	6.30	0.71	2,545	851



POND-2 Version: 5.21  
S/N:

SONRISE ACRRES  
DETENTION POND -PRELIMINARY  
10/25/02

CALCULATED 10-25-2002 14:42:10  
DISK FILE: SONRACRE.VOL

Planimeter scale: 1 inch = 10 ft.

Elevation (ft)	Planimeter (sq.in.)	Area (sq.ft)	A1+A2+sqr(A1*A2) (sq.ft)	* Volume (cubic-ft)	Volume Sum (cubic-ft)
97.00	18.04	1,804	0	0	0
98.00	24.64	2,464	6,376	2,125	2,125
99.00	31.96	3,196	8,466	2,822	4,948
100.00	40.00	4,000	10,771	3,590	8,538

\* Incremental volume computed by the Conic Method for Reservoir Volumes.

$$\text{Volume} = (1/3) * (\text{EL2}-\text{EL1}) * (\text{Area1} + \text{Area2} + \text{sq.rt.}(\text{Area1}*\text{Area2}))$$

where: EL1, EL2 = Lower and upper elevations of the increment  
Area1, Area2 = Areas computed for EL1, EL2, respectively  
Volume = Incremental volume between EL1 and EL2

Weir Calculator

Given Input Data:

Weir Type ..... Triangular  
Solving for ..... Angle  
Flowrate ..... 3.0000 cfs  
Depth of Flow ..... 24.0000 in  
Coefficient ..... 0.5830  
Height ..... 30.0000 in

Computed Results:

Angle ..... 24.0073 deg  
Full Flow ..... 5.2408 cfs  
Velocity ..... 3.5274 fps  
Crest length ..... 10.2059 in  
Area ..... 1.0631 ft2  
Perimeter ..... 61.3413 in  
Wet Perimeter ..... 49.0730 in  
Wet Area ..... 0.8505 ft2  
Percent Full ..... 80.0000 %

#Units=Structural Dimensions,in,Flowrate,cfs

#Rating Curve Rating Curve Data

#Depth - in Flowrate - cfs

#-----

0.00000000,	0.00000000 -
1.20000000,	0.00167705
2.40000000,	0.00948681
3.60000000,	0.02614258
4.80000000,	0.05366552
6.00000000,	0.09374980 -
7.20000000,	0.14788478
8.40000000,	0.21741547
9.60000000,	0.30357801
10.80000000,	0.40752253
12.00000000,	0.53032896 -
13.20000000,	0.67301859
14.40000000,	0.83656263
15.60000000,	1.02188901
16.80000000,	1.22988764
18.00000000,	1.46141478 -
19.20000000,	1.71729658
20.40000000,	1.99833204
21.60000000,	2.30529554
22.80000000,	2.63893899
24.00000000,	2.99999366 -
25.20000000,	3.38917180
26.40000000,	3.80716807
27.60000000,	4.25466076
28.80000000,	4.73231289

```

*****
*
*      SONRISE ACRES - 3068 F ROAD      *
*      DETENTION POND - PRELIMINARY    *
*              10/25/02                *
*      10 1/4 INCH V-NOTCH WEIR (@ 2' DEPTH) *
*
*****
  
```

Inflow Hydrograph: SA D-100.HYD  
 Rating Table file: SONRACRE.PND

----INITIAL CONDITIONS----  
 Elevation = 97.00 ft  
 Outflow = 0.00 cfs  
 Storage = 0 cu-ft

GIVEN POND DATA			INTERMEDIATE ROUTING COMPUTATIONS	
ELEVATION (ft)	OUTFLOW (cfs)	STORAGE (cu-ft)	2S/t (cfs)	2S/t + 0 (cfs)
97.00	0.0	0	0.0	0.0
97.50	0.1	1,000	33.3	33.4
98.00	0.5	2,125	70.8	71.3
98.50	1.5	4,200	140.0	141.4
99.00	3.0	4,948	164.9	167.9
100.00	5.0	8,538	284.5	289.5

Time increment (t) = 0.017 hrs.

Pond File: SONRACRE.PND  
 Inflow Hydrograph: SA D-100.HYD  
 Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.000	0.00	----	0.0	0.0	0.00	97.00
0.017	0.31	0.3	0.3	0.3	0.00	97.00
0.033	0.62	0.9	1.2	1.2	0.00	97.02
0.050	0.93	1.6	2.8	2.8	0.01	97.04
0.067	1.24	2.2	4.9	4.9	0.01	97.07
0.083	1.55	2.8	7.7	7.7	0.02	97.12
0.100	1.86	3.4	11.0	11.1	0.03	97.17
0.117	2.17	4.0	15.0	15.0	0.04	97.22
0.133	2.48	4.7	19.5	19.6	0.05	97.29
0.150	2.79	5.3	24.6	24.8	0.07	97.37
0.167	3.10	5.9	30.4	30.5	0.08	97.46
0.183	3.41	6.5	36.6	36.9	0.13	97.55
0.200	3.71	7.1	43.3	43.7	0.21	97.64
0.217	4.02	7.7	50.5	51.0	0.29	97.73
0.233	4.33	8.4	58.0	58.8	0.38	97.83
0.250	4.64	9.0	66.0	67.0	0.48	97.94
0.267	4.95	9.6	74.5	75.6	0.59	98.03
0.283	5.26	10.2	83.3	84.7	0.71	98.10
0.300	5.57	10.8	92.4	94.1	0.83	98.16
0.317	5.88	11.5	102.0	103.9	0.96	98.23
0.333	6.19	12.1	111.8	114.0	1.10	98.30
0.350	6.19	12.4	121.7	124.2	1.23	98.38
0.367	6.19	12.4	131.4	134.1	1.36	98.45
0.383	6.19	12.4	140.6	143.8	1.60	98.54
0.400	6.19	12.4	148.7	153.0	2.13	98.72
0.417	6.19	12.4	155.9	161.1	2.60	98.87
0.433	6.19	12.4	162.2	168.3	3.01	99.00
0.450	5.88	12.1	168.1	174.3	3.11	99.05
0.467	5.57	11.5	173.2	179.6	3.19	99.10
0.483	5.26	10.8	177.5	184.0	3.26	99.13
0.500	4.95	10.2	181.0	187.7	3.33	99.16
0.517	4.64	9.6	183.9	190.6	3.37	99.19
0.533	4.33	9.0	186.0	192.8	3.41	99.21
0.550	4.02	8.4	187.5	194.4	3.44	99.22
0.567	3.71	7.7	188.3	195.2	3.45	99.22
0.583	3.41	7.1	188.5	195.5	3.45	99.23
0.600	3.10	6.5	188.2	195.1	3.45	99.22
0.617	2.79	5.9	187.2	194.1	3.43	99.22
0.633	2.48	5.3	185.7	192.5	3.40	99.20
0.650	2.17	4.7	183.6	190.3	3.37	99.18
0.667	1.86	4.0	181.0	187.6	3.32	99.16
0.683	1.55	3.4	177.8	184.4	3.27	99.14
0.700	1.24	2.8	174.2	180.6	3.21	99.10
0.717	0.93	2.2	170.1	176.4	3.14	99.07
0.733	0.62	1.6	165.5	171.6	3.06	99.03



POND-2 Version: 5.21 S/N:  
EXECUTED: 10-25-2002 14:57:37

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-100.HYD  
Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.750	0.31	0.9	160.6	166.4	2.92	98.97
0.767	0.00	0.3	155.7	160.9	2.59	98.87

\*\*\*\*\* SUMMARY OF ROUTING COMPUTATIONS \*\*\*\*\*

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-100.HYD  
Outflow Hydrograph: SONRAC .HYD

Starting Pond W.S. Elevation = 97.00 ft

\*\*\*\*\* Summary of Peak Outflow and Peak Elevation \*\*\*\*\*

Peak Inflow	=	6.19 cfs
Peak Outflow	=	3.45 cfs
Peak Elevation	=	99.23 ft

\*\*\*\*\* Summary of Approximate Peak Storage \*\*\*\*\*

Initial Storage	=	0 cu-ft
Peak Storage From Storm	=	5,761 cu-ft
		-----
Total Storage in Pond	=	5,761 cu-ft

```

*****
*
*      SONRISE ACRES - 3068 F ROAD      *
*      DETENTION POND - PRELIMINARY    *
*              10/25/02                *
* 10 1/4 INCH V-NOTCH      2 YEAR STORM *
*
*****
  
```

Inflow Hydrograph: SA D-2 .HYD  
 Rating Table file: SONRACRE.PND

----INITIAL CONDITIONS----  
 Elevation = 97.00 ft  
 Outflow = 0.00 cfs  
 Storage = 0 cu-ft

GIVEN POND DATA

ELEVATION (ft)	OUTFLOW (cfs)	STORAGE (cu-ft)
97.00	0.0	0
97.50	0.1	1,000
98.00	0.5	2,125
98.50	1.5	4,200
99.00	3.0	4,948
100.00	5.0	8,538

INTERMEDIATE ROUTING  
 COMPUTATIONS

2S/t (cfs)	2S/t + 0 (cfs)
0.0	0.0
33.3	33.4
70.8	71.3
140.0	141.4
164.9	167.9
284.5	289.5

Time increment (t) = 0.017 hrs.

Pond File: SONRACRE.PND  
 Inflow Hydrograph: SA D-2 .HYD  
 Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.000	0.00	----	0.0	0.0	0.00	97.00
0.017	0.06	0.1	0.1	0.1	0.00	97.00
0.033	0.12	0.2	0.2	0.2	0.00	97.00
0.050	0.17	0.3	0.5	0.5	0.00	97.01
0.067	0.23	0.4	0.9	0.9	0.00	97.01
0.083	0.29	0.5	1.4	1.4	0.00	97.02
0.100	0.35	0.6	2.1	2.1	0.01	97.03
0.117	0.41	0.8	2.8	2.8	0.01	97.04
0.133	0.47	0.9	3.7	3.7	0.01	97.06
0.150	0.52	1.0	4.6	4.7	0.01	97.07
0.167	0.58	1.1	5.7	5.7	0.02	97.09
0.183	0.64	1.2	6.9	6.9	0.02	97.10
0.200	0.70	1.3	8.2	8.2	0.02	97.12
0.217	0.76	1.5	9.6	9.6	0.03	97.14
0.233	0.81	1.6	11.1	11.2	0.03	97.17
0.250	0.87	1.7	12.7	12.8	0.03	97.19
0.267	0.93	1.8	14.4	14.5	0.04	97.22
0.283	0.99	1.9	16.3	16.4	0.04	97.24
0.300	1.05	2.0	18.2	18.3	0.05	97.27
0.317	1.11	2.2	20.3	20.4	0.05	97.30
0.333	1.16	2.3	22.4	22.5	0.06	97.34
0.350	1.16	2.3	24.6	24.7	0.07	97.37
0.367	1.16	2.3	26.8	26.9	0.07	97.40
0.383	1.16	2.3	28.9	29.1	0.08	97.44
0.400	1.16	2.3	31.1	31.2	0.08	97.47
0.417	1.16	2.3	33.2	33.4	0.09	97.50
0.433	1.16	2.3	35.3	35.5	0.11	97.53
0.450	1.16	2.3	37.4	37.6	0.14	97.56
0.467	1.16	2.3	39.3	39.7	0.16	97.58
0.483	1.16	2.3	41.3	41.7	0.19	97.61
0.500	1.11	2.3	43.2	43.6	0.21	97.63
0.517	1.05	2.2	44.9	45.3	0.23	97.66
0.533	0.99	2.0	46.4	46.9	0.25	97.68
0.550	0.93	1.9	47.8	48.3	0.26	97.70
0.567	0.87	1.8	49.0	49.6	0.28	97.71
0.583	0.81	1.7	50.1	50.7	0.29	97.73
0.600	0.76	1.6	51.1	51.7	0.30	97.74
0.617	0.70	1.5	51.9	52.6	0.31	97.75
0.633	0.64	1.3	52.6	53.3	0.32	97.76
0.650	0.58	1.2	53.2	53.9	0.33	97.77
0.667	0.52	1.1	53.6	54.3	0.33	97.78
0.683	0.47	1.0	54.0	54.6	0.34	97.78
0.700	0.41	0.9	54.2	54.8	0.34	97.78
0.717	0.35	0.8	54.2	54.9	0.34	97.78
0.733	0.29	0.6	54.2	54.9	0.34	97.78

POND-2 Version: 5.21 S/N:  
EXECUTED: 10-25-2002 15:05:40

Pond File: SONRACRE.PND  
Inflow Hydrograph: SA D-2 .HYD  
Outflow Hydrograph: SONRAC .HYD

INFLOW HYDROGRAPH

ROUTING COMPUTATIONS

TIME (hrs)	INFLOW (cfs)	I1+I2 (cfs)	2S/t - 0 (cfs)	2S/t + 0 (cfs)	OUTFLOW (cfs)	ELEVATION (ft)
0.750	0.23	0.5	54.1	54.7	0.34	97.78
0.767	0.17	0.4	53.8	54.5	0.33	97.78
0.783	0.12	0.3	53.4	54.1	0.33	97.77
0.800	0.06	0.2	52.9	53.6	0.32	97.77
0.817	0.00	0.1	52.4	53.0	0.32	97.76

# RECEIPT OF APPLICATION

DATE BROUGHT IN: 4-23-03

CHECK #: 13538 AMOUNT: \$ 735.00

DATE TO BE CHECKED IN BY: 4-29-03

PROJECT/LOCATION: 3068 F Rd

Items to be checked for on application form at time of submittal:

- Application type(s)
- Acreage
- Zoning
- Location
- Tax #(s)
- Project description
- Property owner w/ contact person, address & phone #
- Developer w/ contact person, address & phone #
- Representative w/ contact person, address & phone #
- Signatures of property owner(s) & person completing application

8/1

Pre-application Meeting  
Development Engineer Notes

Date: 1/23/02  
Time: 3:00

Project: MAJOR SUB

Location: 3068 F ROAD Tax ID no. \_\_\_\_\_

Applicant, representative: DAVE CHASS, TERRY

Planner(s): BILL N.

Engineer: ERIC H.

Site visit (date:     ): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Issues: water _____	sewer <u>W. PROP. LINE</u>	storm drainage <u>DETAIN</u>
flood plain <u>    </u>	wetlands <u>    </u>	access <u>FROM EAST, NONE FROM PATTERSON</u>
site circulation <u>    </u>	TCP <u>YES</u>	CDOT permit <u>    </u>
street class <u>RES.</u>	street impr. <u>NO</u>	other _____

Pre-application meeting notes: DETAIN PER SWMM, CHECK FOR THE EXISTENCE OF STORMDRAIN IN F ROAD.

STUB STREET TO NORTH IF THERE IS ANY INDICATION FROM SD51 THAT THE PARCEL MAY BE SOLD/DEVELOPED. MUST TIE-IN TO BISON AVE AND LODGEPOLE ST. PROPOSED STREET ALONG THE WEST PROP LINE MUST HAVE C, G+W AND 20' OF PAVED SURFACE AT A MINIMUM. MAY HAVE TO BUILD ENTIRE PAVEMENT WIDTH OF RES STREET. MUST ABANDON EXISTING PRIVATE DRIVE ON F ROAD, ACCESS EXISTING RESIDENCE FROM THE PROPOSED STREET.

Follow-up items: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*[Handwritten signature]*



**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS & LAND SURVEYORS

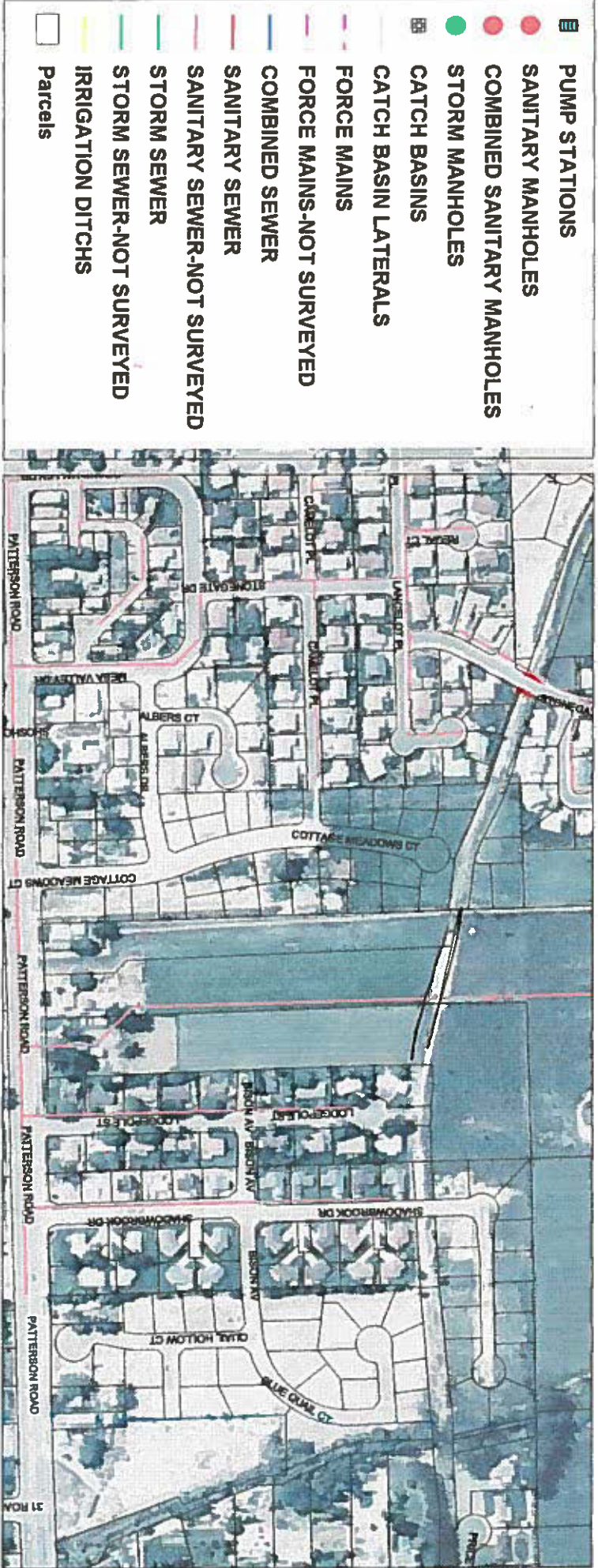
**David E. Chase, P.E.**  
*President/Office Manager*

2777 CROSSROADS BOULEVARD  
GRAND JUNCTION, CO 81506

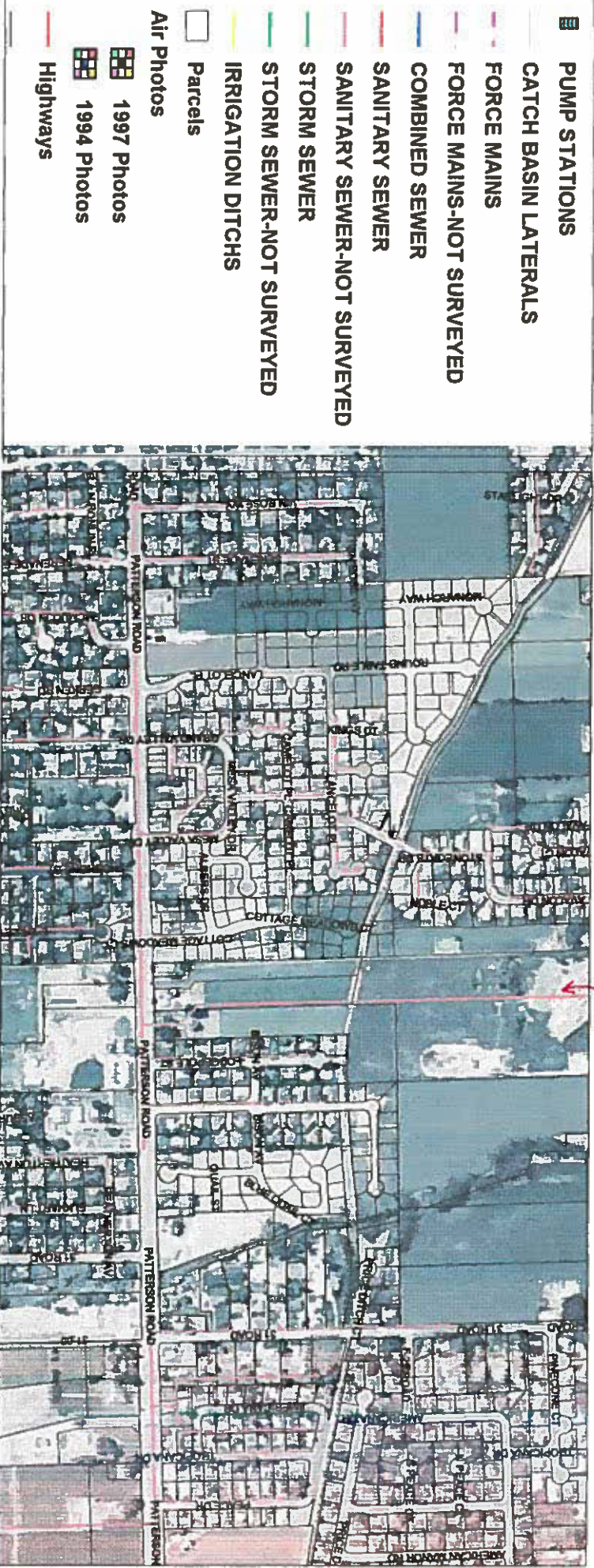
(970) 243-2242  
FAX: (970) 243-3810



# City of Grand Junction GIS Map



# City of Grand Junction GIS Map





# General Meeting/Pre-Application Conference Checklist

Date 1.23.02

Applicant DAVID CHASE Phone 243.2242 Tax Parcel # 2943-044-00-130

Location 3068 F RD Proposal ANNEX PERONE, Premium Plan

Meeting Attendees DAVID CHASE, TERRY LAWRENCE, ERIC BILL

While all factors in a development proposal require careful thought, preparation and design, the following circled items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General meetings and pre-application conference notes/standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

Grant Collier - owner

12 acres

## ZONING & LAND USE

- a. Zoning: CO RSF-4
- b. Future Land Use Designation: 2-4 DU/AC
- c. Growth Plan, Corridor & Area Plans Applicability:

## OFF-SITE IMPACTS

- a. access/right-of-way required
- b. traffic impact
- c. street improvements
- d.** drainage/stormwater management
- e. availability of utilities

## SITE DEVELOPMENT

- a. bulk requirements
- b. traffic circulation
- c. parking (off-street: handicap, bicycle, lighting)
- d. landscaping (street frontages, parking areas)
- e. screening & buffering
- f. lighting & noise
- g. signage

## MISCELLANEOUS

- a. revocable permit
- b. State Highway Access Permit
- c. floodplain, wetlands, geologic hazard, soils
- d. proximity to airport (clear or critical zone)

## OTHER

- a. related files
- b.** neighborhood meeting — NOT REQUIRED

## FEES

- a. application fee: \$630 + 15act + \$50-USELS  
Due at submittal. Checks payable to City of GJ
- b.** Transportation Capacity Payment (TCP):
- c. Drainage fee:
- d.** Parks Impact Fee:
- e.** Open Space Fee or Dedication:
- f.** School Impact Fee:
- g. Recording Fee:
- h. Plant Investment Fee (PIF) (Sewer Impact):

## PROCESSING REQUIREMENTS

- a. Documents — ZDC, SSID, TEDS, SWMM
- b. Submittal Requirements/Review Process
- c.** Annexation (Persigo Agreement)

## PLANNER'S NOTES

- TRAIL REQUIRED ALONG (IRRIGATION) DRAINAGE DITCH
- CONTACT SCHOOL TO SEE IF THEY HAVE PLANS FOR THE SOUTH 1/2 OF THEIR PROPERTY
- PARKS DEPT — PARKS OR OPEN SPACE
- SEE ATTACHED COMMENTS FROM CITY DEV. ENGINEER
- \* THUNDER MOUNTAIN MIDDLE SCHOOL HAS INDICATED TO US THAT THEY WANT TO SELL THE SOUTH PORTION OF THEIR PROPERTY. MAKE SURE YOU TALK WITH THEM BEFORE SUBMITTING.
- IF PROPERTY FROM SCHOOL, WHICH IS ZONED RSF-2, IS INCLUDED IN APPLICATION A NEIGHBORHOOD MEETING IS REQUIRED.

AT FINAL

Planners Name: **BILL**

**SUBMITTAL CHECKLIST**

MAJOR SUBDIVISION: PRELIMINARY

Date: **7-23-02**

Expiration Date: 6 months from above date

Location: **3068 F ROAD**

Project Name:

ITEMS	DISTRIBUTION																													
	SSID Reference	City Community Development	City Development Engineer	City Utility Engineer	City Real Estate Manager	City Parks/Recreation	City Attorney	City Police Dept	City Transportation Engineer	City Downtown Dev. Authority	City Addressing	City G.J. Planning Commission	Walker Field	County Planning	School District #51	Qwest	Excel	GVRP	Cable	Water District CLIFTON	Sewer District CGN	Palisade District MESA CO	Irrigation District PALISADE	CDOT	RTPO	Corps of Engineers	Urban Trails	Colorado Geologic Survey Fees - 595	NRCS	Other CO PUBLIC WORKS
Date Received:																														
Receipt #:																														
File #:																														
DESCRIPTION																														
Application Fee \$630 + 15% Ad	VII-1	1																												
• Development Application Form*	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Submittal Checklist*	VII-4	1																												
• Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Location Map	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Names & Addresses* Fee \$50	VII-3	1																												
• General Project Report	X-08	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Site Analysis (over 50 acres or by Director)	IX-30	1	1																											
• Preliminary Plan	IX-27	1	2	1	1	1	1	1	1				1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• 11" x 17" Reduction of Prelim. Plan	IX-27	1								1	1	1	1		1				1											
• Evidence of Title/Lease Agreement	VII-2	1			1		1																							
• Legal Description*	VII-3	1			1																									
○ CDOT Access Permit	VII-4	1	1																											
○ Traffic Impact Study	X-15	1	2						1				1																	
○ Water System Design Report	X-17	1	1	1																										
○ Sewer System Design Report	X-13	1	1	1																										
○ Drainage & Irrigation Checksheet*	XI-02																													
• Preliminary Drainage Report	X-11	1	2																											
• Transaction Screen Process/ Phase II Environmental (circle one)	X-10,16	1	1																											
• Preliminary Geotechnical Report (fee and form required) 595	X-12	1	1																											
• ANNEXATION POSITION		1																												

Notes: \* An asterisk in the item description column indicates that a form is supplied by the City.

BILL 1.23-02

SUBMITTAL CHECKLIST

EXPIRES 7.23.02

ANNEX-  
2 ZONE

MAJOR SUBDIVISION: PRELIMINARY

Location: 3068 F RD

Project Name:

ITEMS		DISTRIBUTION																										
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent	● City Parks/Recreation	● City Fire Department	● City Attorney	● City G.J.P.C. (Agenda)	○ City Downtown Dev. Auth.	● City Police	● County Planning	● Walker Field	● School District #51	● Irrigation District ALI SADE	● <del>Business District MESA CO.</del>	● Water District CLIFTON	● Sewer District CGV	● U.S. West	● Public Service	● GVRP	● <del>CLIFTON FIRE</del>	○ Corps of Engineers	● Colorado Geological Survey	○ U.S. Postal Service	● <del>PERMITS</del> CITY ADDRESS	● TCI Cable	TOTAL REQ'D.
		● Application Fee \$630 #15/AL	VII-1	1																								
● Submittal Checklist*	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	2	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Application Form*	VII-1	1	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Reduction of Assessor's Map	VII-1	1	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			1			1																				
● Names and Addresses \$50	VII-2	1																										
● Legal Description	VII-2	1			1																							
● General Project Report	X-7	1	1	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<del>XXXXXXXXXX</del>	IX-21	1																										
● Preliminary Plan	IX-26	1	2	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● 11"x17" Reduction of Prelim. Plan	IX-26	1				2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Preliminary Drainage Report	X-12	1	2																									
● GEOTECHNICAL REPORT			1	1																				1				
● PHASE I ENVIRONMENTAL			1	1				1																				
● ANNEXATION PERMITS			1																									

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.

General Meeting/Pre-Application Conference Check List

Date 1.23.02

Applicant DAVID CHASE Phone 243.2242 Tax Parcel # 2943-044-00-130

Location 3068 FRD Proposal ANNEX REZONE PRELIM PLAN

Meeting Attendees DAVID CHASE, TERRY LINDSEY, ERIC BILL

While all factors in a development proposal require careful thought, preparation and design, the following circled items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process. General meetings and pre-application conference notes/standards are valid for only six months following the meeting/conference date shown above. Incomplete submittals will not be accepted. Submittals with insufficient information identified during the review process, which have not been addressed by the applicant will not be scheduled for a public hearing. Failure to meet any deadlines for the review process may result in the project not being scheduled for hearing or being pulled from the agenda. Any changes to the approved plan will require re-review and approval prior to those changes being accepted.

Grant Goullitzer - OWNER

12 ACRES

ZONING & LAND USE

- a. Zoning: CO RS F-4
b. Future Land Use Designation: 2-4 DU/AC
c. Growth Plan, Corridor & Area Plans Applicability:

OFF-SITE IMPACTS

- a. access/right-of-way required
b. traffic impact
c. street improvements
d. drainage/stormwater management
e. availability of utilities

SITE DEVELOPMENT

- a. bulk requirements
b. traffic circulation
c. parking (off-street: handicap, bicycle, lighting)
d. landscaping (street frontages, parking areas)
e. screening & buffering
f. lighting & noise
g. signage

MISCELLANEOUS

- a. revocable permit
b. State Highway Access Permit
c. floodplain, wetlands, geologic hazard, soils
d. proximity to airport (clear or critical zone)

OTHER

- a. related files
b. neighborhood meeting - NOT REQUIRED

FEES

- a. application fee: \$630 + 15AC + 50-UNITS
Due at submittal. Checks payable to City of GJ
b. Transportation Capacity Payment (TCP)
c. Drainage fee:
d. Parks Impact Fee:
e. Open Space Fee or Dedication:
f. School Impact Fee:
g. Recording Fee:
h. Plant Investment Fee (PIF) (Sewer Impact):

PROCESSING REQUIREMENTS

- a. Documents - ZDC, SSID, TEDS, SWMM
b. Submittal Requirements/Review Process
c. Annexation (Persigo Agreement)

PLANNER'S NOTES

TRAIL REQUIRED ALONG (IRRIGATION) DRAINAGE DITCH
CONTACT SCHOOL TO SEE IF THEY HAVE PLANS FOR THE SOUTH 1/2 OF THEIR PROPERTY
PARKS DEPT - PARKS OR OPEN SPACE
SEE ATTACHED COMMENTS FROM CITY DEPT. ENGINEER
\* THUNDER MOUNTAIN MIDDLE SCHOOL HAS INDICATED TO US THAT THEY WANT TO SELL THE SOUTH PORTION OF THEIR PROPERTY. MAKE SURE YOU TALK WITH THEM BEFORE SUBMITTING.
IF PROPERTY FROM SCHOOL, WHICH IS ZONED RSF-2, IS INCLUDED IN APPLICATION A NEIGHBORHOOD MEETING IS REQUIRED.

AT FINAL



# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 5th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision Plat/Plan - Simple                       | <input type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan          |
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change          |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final                  | <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Change of Use         |
| <input type="checkbox"/> Planned Development - ODP                            | <input type="checkbox"/> Vacation, Right-of-Way   | <input type="checkbox"/> Revocable Permit      |
| <input type="checkbox"/> Planned Development - Preliminary                    | <input type="checkbox"/> Vacation, Easement       | <input type="checkbox"/> Variance              |
| <input type="checkbox"/> Planned Development - Final                          | <input type="checkbox"/> Extension of Time        |  |
| <input checked="" type="checkbox"/> Annexation/Zone of Annexation             | <input type="checkbox"/> Rezone                   | <input type="checkbox"/> Growth Plan Amendment |

From: CO RSF-4

From: \_\_\_\_\_

From: \_\_\_\_\_

To: CITY

To: \_\_\_\_\_

To: \_\_\_\_\_

Site Location:

Site Tax No.(s):

Site Acreage/Square footage:

Site Zoning:

Project Description:

Property Owner Name	Developer Name	Representative Name
Address	Address	Address
City/State/Zip	City/State/Zip	City/State/Zip
Business Phone No.	Business Phone No.	Business Phone No.
E-Mail	E-Mail	E-Mail
Fax Number	Fax Number	Fax Number
Contact Person	Contact Person	Contact Person
Contact Phone No.	Contact Phone No.	Contact Phone No.

Note Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing Application

Date

Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

Date



Pre-application Meeting  
Development Engineer Notes

Date: 1/23/02  
Time: 3:00

Project: MAJOR SUB

Location: 3068 F ROAD Tax ID no. \_\_\_\_\_

Applicant, representative: DAVE CHASE, TERRY

Planner(s): BILL N.

Engineer: ERIC H.

Site visit (date:     ): \_\_\_\_\_

Issues: water _____	sewer <u>W. PROP. LINE</u>	storm drainage <u>DETAIN</u>
flood plain _____	wetlands _____	access <u>FROM EAST, NONE FROM PATTERSON</u>
site circulation _____	TCP <u>YES</u>	CDOT permit _____
street class <u>RES.</u>	street impr. <u>NO</u>	other _____

Pre-application meeting notes: DETAIN PER SWMM, CHECK FOR THE EXISTENCE OF STORMDRAIN IN F ROAD.

STUB STREET TO NORTH IF THERE IS ANY INDICATION FROM SDS1 THAT THE PARCEL MAY BE SOLD/DEVELOPED. MUST TIE-IN TO BISON AVE AND LODGEPOLE ST. PROPOSED STREET ALONG THE WEST PROP LINE MUST HAVE C, G+W AND 20' OF PAVED SURFACE AT A MINIMUM. MAY HAVE TO BUILD ENTIRE PAVEMENT WIDTH OF RES STREET. MUST ABANDON EXISTING PRIVATE DRIVE ON F ROAD, ACCESS EXISTING RESIDENCE FROM THE PROPOSED STREET.

Follow-up items: \_\_\_\_\_

# Map1

**Cell Towers**

- Floodway
- ▨ 100-Year Floodplain
- 500-Year Floodplain
- Outside 500-Year Flood...
- ▨ Between 100 & 500-yr, o...
- Minimal flooding
- ▨ Deleted

**ZONING**

- RSF-R
- RSF-E
- RSF-1
- RSF-2
- RSF-4
- RMF-5
- RMF-8

ZOOM IN FOR ZONING



SCALE 1 : 10,865



**GENERAL MEETING INFORMATION**

In order for City development review staff to provide you adequate information regarding application(s) and approval(s) required to implement your proposal, the following information must be supplied:

- 1. Name of Applicant: Grace Hornes - Bob Fuller
- Address: 786 Valley Ct  
29, Co 81505 fax 523-0103
- Telephone: 523-5555
- 2. Site Address: 3068 F Rd
- 3. Assessor's Parcel #: 2943-044-00-130
- 4. Lot/Parcel Size: 12 ±
- 5. Current Use: \_\_\_\_\_
- 6. Existing Structures on Site: single family home
- 7. General Description of the proposal: current owner wants to retain  
lot and subdivide remaining into about 15 lots  
Annexation to City

**OFFICE USE ONLY**

General Meeting Date/Time: Wed 1-23-02 3 PM

Assigned Planner: Bill Nebeker

Site Zoning: RSF-4 Mass County

Land Use Map Designation: North: Public East: Res. Med. Low  
South: Public West: Res. Med. Low

Related Files/Projects: \_\_\_\_\_

Comments: \_\_\_\_\_

The following additional information would be helpful to have at the General Meeting in order for the City development review staff to identify potential issues and development improvements that may be associated with your proposal:

- 1. A sketch plan showing the following:
  - a. The general configuration of the property.
  - b. The location of driveways (existing and/or proposed).
  - c. Existing and/or proposed structures.
  - d. Any on-site drainage facilities.
  - e. Existing and/or proposed paved or graveled areas.
  - f. Any existing landscaping improvements.
  - g. The location of any easements on the property.

2-4 RSF-4  
ANNEX  
REZONE  
PP

- 2. Identification of providers of the following utility services to the property:

- a. Water: Clifton Water
- b. Sewer: Central Grand Valley Sanitation Dist
- c. Drainage District: \_\_\_\_\_
- d. Irrigation District: Palmside Irrigation Dist

# Map1

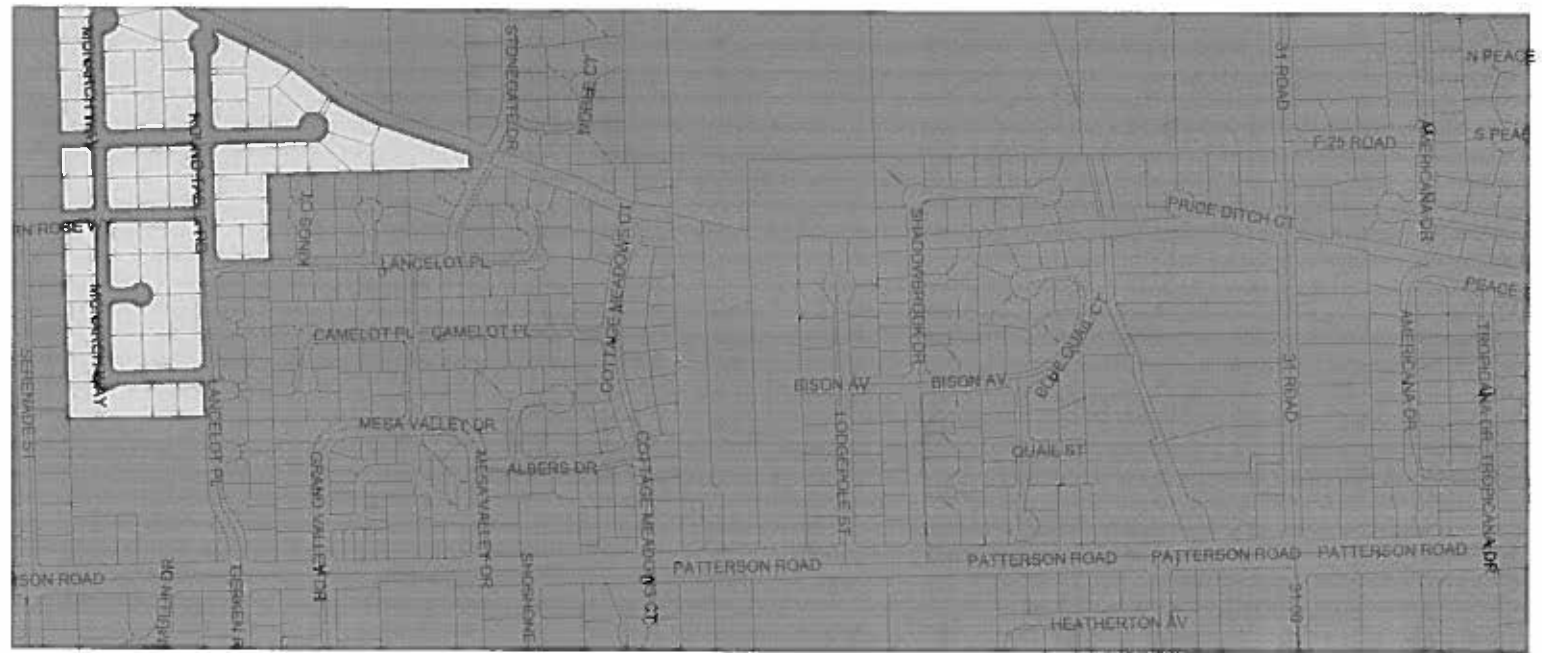
**Cell Towers**

**Flood Plain Information**

- Floodway
- 100-Year Floodplain
- 500-Year Floodplain
- Outside 500-Year Flood...
- Between 100 & 500-yr, o...
- Minimal flooding
- Deleted

**ZONING**

- RSF-R
- RSF-E
- RSF-1
- RSF-2
- RSF-4
- RMF-5
- RMF-8



SCALE 1 : 7,493





# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003 To Review Agency: City Community Develop.

File No: \_\_\_\_\_ Staff Planner: \_\_\_\_\_  
*(To be filled in by City Staff)* *(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: \_\_\_\_\_  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

**All comments must be returned to the  
Community Development Department no later than**

*(To be filled in by City Staff)*

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Review By

Date

Email Address

Telephone

# APPLICATION COMPLETENESS REVIEW

Use "N/A" for items which are not applicable

Date: 5/5/03

Project Name: Sonrise Acres (if applicable)

Project Location: 3068 F Rd. (address or cross-streets)

Check-In Staff Community Development: PC initials of check-in  
Development Engineer: \_\_\_\_\_ staff members

APPLICATION TYPE(S): Amend/Rezone PP  
(e.g. Site Plan Review) two files

FEE PAID: Application: 630.00 BALANCE DUE: \_\_\_\_\_  
Acreage: 105.00  Yes amount \$ \_\_\_\_\_  
Public Works: \_\_\_\_\_  No

## COMPLETENESS REVIEW:

Originals of all forms received w/signatures?  Yes  No, list is missing items below

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Missing drawings, reports, other materials:  No  Yes, list missing items below  
Note: use SSID checklist

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Incomplete drawings, reports, other materials?  No  Yes, list missing items below  
Note: Attach SSID checklist(s) w/incomplete information identified

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

# Review Agency Comment Sheet

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: City Real Estate Man.

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments *(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

*SEE ATTACHED COMMENTS*

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Review By

PETER T. KRICK

Date

5/19/2003

Email Address

Telephone



May 19, 2003

Re: PP-2003-090  
**SONRISE ACRES SUBDIVISION**

**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

Lot 1

**From:** Service Planners <serviceplanners@gvp.org>  
**To:** City Grand Junction <CommDev@ci.grandjct.co.us>  
**Date:** Fri, May 9, 2003 4:56 PM  
**Subject:** PP-2003-090

AP  
5/12/03

North of Bison Ave., is in the Grand Valley Power Service Area.  
Thank you.  
Perry Rupp/ GVP

# Review Agency Comment Sheet

AP  
5/15/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: AT & T Broadband

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

**City Review Agencies:** Please type your comments in Impact AP.

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Chuck Wiedman  
Review By

5-13-03  
Date

Email Address

263-2313  
Telephone

May 14, 2003

Sonrise Acres Subdivision  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Dear, James Hughs

We are in receipt of the plat map for your new subdivision, **Sonrise Acres Subdivision**. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish to have available to the new home purchasers. These items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, the developer too must provide that. The trench may be the same one used by other utilities however; **the road-bore must have a 2" conduit for the sole use of cable TV.**
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossings will be in the same location as power and telephone crossing. **If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.**
4. Should your subdivision contain cul-de-sac's the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.
5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.

Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with our office and I will get back in contact with you as soon as I can.

Sincerely,



Chuck Wiedman,  
Construction Supervisor Phone: 263-2313

AP  
5/19/03

May 19, 2003

Re: PP-2003-090  
**SONRISE ACRES SUBDIVISION**

**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

By: Peter T. Krick  
Professional Land Surveyor for  
The City of Grand Junction

**From:** Dave Reinertsen <dreinertsen@cliftonwaterdistrict.com>  
**To:** "GJ Community Development Department" <CommDev@ci.grandjct.co.us>  
**Date:** Tue, May 20, 2003 11:13 AM  
**Subject:** Sonrise Acres Subdivision PD-2003-090

Lori,

Following are the Clifton Water District comments regarding the Preliminary Plan submitted by Vista Engineering:

- \* The Clifton Water District can provide potable domestic water for this proposal.
- \* The Clifton Water District can provide fire flows through the existing 6" main lines in the Lodgepole Subdivision.
- \* The developer will be required to install a 6" line through the stormwater detention area to dead end at the back of the walk on F Road for future connection to new transmission line on F Road.
- \* Fire hydrant spacing shall be calculated off a hydrant to be located on Lot 5, Block 1. An in-line valve will be required just past this fire hydrant.
- \* Developer will be required to find the end of line at the north end of Lodge Pole Street to connect the new 6" main line.
- \* Three way valves will be required in all intersections (including Sonrise Way and Bison Avenue).
- \* Meter pits shall be configured for radio read assemblies and shall have curb stop shut-off valves on the customer side of the meter pits.
- \* Water services shall be located on the opposite property corner from dry utility pedestals and transformers to minimize future conflicts during repair activities.

David Reinertsen  
Clifton Water District

AP  
5/20/03



# Review Agency Comment Sheet

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

AP  
5/23/03

Date: April 23, 2003

To Review Agency: Urban Trails

File No: PP-2003-0910  
(To be filled in by City Staff)

Staff Planner: Lori Bowers  
(To be filled in by City Staff)

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
(To be filled in by City Staff)

## Comments

(For Review Agency Use)

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

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Community Development Department no later than

(To be filled in by City Staff)

6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

URBAN TRAILS COMM.

Rout Tracy

5-23-03

Review By

Date

rst@grandjunctionlaw.com

242-2636

Email Address

Telephone



**From:** Robert Traylor  
**To:** CommDev@ci.grandjct.co.us  
**Date:** 5/23/03 9:41AM  
**Subject:** Review comment for PP-2003-090

Lori: The following comments are submitted by the Urban Trails Committee for the above referenced project (Sonrise Acres).

A trail easement and path (pedestrian and bike) is suggested from the cul-de-sac at the south end of Sonrise Way to F. Road which is a major bike and pedestrian route. Since Thunder Mountain Elementary school is immediately north of Sonrise Acres, a grant of a pedestrian and bike easement is requested through Tract A, along the Price Ditch.

# Review Agency Comment Sheet

AP  
5/22/03

(Petitioner: Please fill in blanks in this section only unless otherwise indicated)

Date: April 23, 2003

To Review Agency: Palisade Irrigation Dist.

File No: PP-2003-090  
(To be filled in by City Staff)

Staff Planner: Lori Bowers  
(To be filled in by City Staff)

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
(To be filled in by City Staff)

RECEIVED  
MAY 23 2003  
COMMUNITY DEVELOPMENT  
DEPT.

## Comments

(For Review Agency Use)

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All comments must be returned to the  
Community Development Department no later than

(To be filled in by City Staff) 6/2/03

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Palisade Irrigation District

Wayne Bain

5-21-03

Review By

Date

Email Address

970-243-6246  
Telephone

## THE PALISADE IRRIGATION DISTRICT

May 21, 2003

P.O. BOX 1281  
CLIFTON, COLORADO 81520

Comments: Sonrise Acres Subdivision

Palisade Irrigation District recommends the following standard procedures for subdivisions within our service boundaries. It is recommended that a storage reservoir of appropriate size be placed in the subdivision to reduce the impact of residential water users competing for water at the same time as all other water users of the entire canal system. The water right is insufficient to serve all users at the same time.

Failure to construct such storage reservoir may result in the subdivision being provided with an opening sized to the actual water right which is 1/3 to 1/2 a miners inch of continuous flow per acre. This equates to approximately 5.6 gallons per minute per acre in the subdivision at the 1/2 inch maximum rate. The average lawn pump output ranges from 30 GPM to 50 GPM.

Some subdivisions find it beneficial to install a automated system which utilizes a timer box central control which would water one property at a setting, then move in series to the next until the programmed cycle is completed. This or any other method would still be subject to the maximum rate of water as previously explained.

The "Open Space Tract" encroaches upon portions of Palisade Irrigation Districts easement and the Homeowners Association should be aware that any proposed landscaping that is placed on the easement area will be subject to traffic and possible damage by operations of the canal system. Also, such landscaping cannot interfere with or impede the operations of the canal. A easement provision states that no permanent structure shall be placed on the easement, i.e. plants, shrubs and trees, etceteras, and we recommend that a letter of notice be given at closing to any subsequent home buyer in order that they do not cause distress to our District because equipment and/or vehicles are running over their "homeowner plantings". This helps to avoid confrontation and problems, hopefully.

Operations Manager Bob Arterburn, cell #250-2404, has not been sent a irrigation review sheet for his completion as the City Planning and Palisade Irrigation agreed upon. Please send to Bob by FAX 464-4700.

Also, Bob Arterburn should be notified and be present if and when any water tap is made into the valve box and/or lateral line which serves this property.

Thank you for your attention to these matters.

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**

7000 1670 0010 0684 6806

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$</b>

Postmark  
Here

Sent To Vista Engineering, Pat O'Connell  
Street, Apt. No. or P.O. Box No. 2777 Crossroads Blvd # H  
City, State, ZIP+4 Grand Junction, CO 81506

PS Form 3800, May 2000 See Reverse for Instructions



# CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

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Date: May 27, 2003

Applicant: James Hughes  
Representative: Vista Engineering Corp – Pat O'Connor

The following item (Sonrise Acres Subdivision – ANX-2003-090) has been scheduled for Planning Commission on June 10, 2003.

A sign(s) advertising the Public Hearing will be required to be posted no later than this Friday, 5/30/03. The signs are available at the Community Development Department. A \$50.00 deposit is required for a Public Hearing sign. The deposit will be refunded, in full, if the sign(s) is/are returned within 5 working days after the final meeting. A sign is required to be placed facing each road(s) that abuts the project site.

The Staff Report for the project will be available for pick-up after 4 P.M. on Thursday, May 29, 2003.

Please contact the project planner, Lori Bowers, at (256-4033, [lorib@ci.grandjct.co.us](mailto:lorib@ci.grandjct.co.us)) if you have any questions relating to this notice.

cc: ANX-2003-090

# Review Agency Comment Sheet

AP 6/10/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: Colorado Geologic Sur.

File No: PR 2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

**Outside Review Agencies:** Please email comments to: CommDev@ci.grandjct.co.us, FAX comments to (970) 256-4031 or mail written comments to the above address. **NOTE:** If this form is not returned, additional review information will not be provided.

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Community Development Department no later than

*(To be filled in by City Staff)*

6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

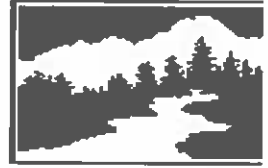
Sean Gaffney Colorado Geological Survey 6-9-03  
Review By Date

Sean.gaffney@state.co.us (303) 866-3350  
Email Address Telephone

# STATE OF COLORADO

## COLORADO GEOLOGICAL SURVEY

Department of Natural Resources  
1313 Sherman Street, Room 715  
Denver, Colorado 80203  
Phone (303) 866-2611  
FAX (303) 866-2461



DEPARTMENT OF  
**NATURAL**  
**RESOURCES**

June 9, 2003

**Legal Location: SE ¼ , SE ¼ , S4, T1S, R1E**  
**CGS Case No. MA-03-0072**

Ms. Lori Bowers  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Re: Sonrise Acres, Mesa County, Colorado

Bill Owens  
Governor

Greg E. Walcher  
Executive Director

Ron Cattany  
Division Director

Ron Cattany  
Acting State Geologist  
and Director

Dear Ms. Bowers:

In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late - Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) **Soils.** I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) **Site Drainage.** Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction

on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

  
Sean P. Gaffney  
Geologist





# CITY OF GRAND JUNCTION

Community Development Dept. • 250 N. 5<sup>th</sup> Street • Grand Junction, CO 81501

---

May 8, 2003

## **ACCEPTANCE LETTER**

A submittal for the Sonrise Acres Subdivision (ANX/PP-2003-090) has been accepted for review.

If you have any questions regarding the status of this project review, please contact Lori Bowers, the project planner, at 256-4033 or [lorib@ci.grandjct.co.us](mailto:lorib@ci.grandjct.co.us).

Review comments for the project will be available on 6/10/03 after 4:00 P.M., approximately 5 weeks from the application submittal date.

If this project requires a public hearing, a sign must be posted on the property a minimum of ten (10) days in advanced of the hearing. There will be a \$50.00 refundable deposit required at the time the sign is picked up from Community Development.

cc: ANX/PP-2003-090

Lori

**From:** <LGrassojr@aol.com>  
**To:** <CommDev@ci.grandjct.co.us>  
**Date:** Sun, Jun 1, 2003 10:21 PM  
**Subject:** (no subject)

AP  
6/2/03

Following are estimated student impacts for two developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools. Please contact me at 242-8500 if you have questions or need additional information.

Sonrise Acres: Thunder Mt. ele:562/615/5 Bookcliff MS:475/520/2  
CHS:1470/1652/3

Crista Lee: MesaViewEle: 380/444/5 OM MS: 598/604/2 CHS: 1470/1652/3

**GENERAL COMMENTS**

1. The Colorado Department of Public Health & Environment (CDPH&E), Water Quality Control Division, requires that a General Stormwater Discharge Permit be obtained for any construction site that will disturb 1 acre or more. At Final, the applicant must submit a copy of the signed permit application and, once it is approved and issued, a copy of the signed permit.
2. At Final Plan submittal, please note: per Section 2.19-C of the City of Grand Junction Zoning and Development Code, the amount guaranteed by the DIA must reflect “120 percent of the cost of improvements.”
3. At Final Plan submittal, after all Development Engineering comments have been addressed, the developers engineer must submit a copy of the final grading and drainage plan along with a table of Top of Foundation Elevations to the Mesa County Building Dept. This information must be accompanied by a letter to the City Development Engineer stating that the plan and TOF data has been received by the Building Dept. This letter must include a co-signature block for Bob Lee, Mesa County Building Dept. After the letter has been signed by the design engineer and Mr. Lee, the letter must be provided to the City Development Engineer at which time final plans will be signed and released.
4. How will drainage be handled along the west side of the partial street section of Sonrise Way?
5. Due to the restricted width of pavement along Sonrise Way, the Fire Dept. will not allow parking along either side of the street. Signs must be posted along both sides that prohibit any parking along the street. Because of this, the developer may wish to slightly widen this partial street section to allow parking on one side of the street.
6. The typical roadway section (Sonrise Way) only shows 14’ of pavement width.
7. The cul-de-sac must be “skewed” to the east to provide enough room for emergency vehicle turn-around movements. As an alternative, the developer may add a temporary turnaround easement that provides the same turnaround area as a “skewed” cul-de-sac.
8. Show the length of pavement that will need to be constructed within the existing Lodge Pole right-of-way in order to extend the street to the existing property line.
9. At time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk.
10. At Final Plan, the detention pond should have enough freeboard to accommodate the runoff from an eventual development along the west side of Sonrise Way. Such a future development would have the responsibility to modify the pond in order to accommodate their runoff.

**GEOTECH REPORT**

11. It is suggested that the final geotech report include an analysis of a road/parking section that utilizes geogrid products. The use of such products may be more cost effective by allowing a shallower depth of aggregate base course or subgrade.

REVIEW COMMENTS FOR SONRISE ACRES SUBDIVISION PRELIMINARY PLAN -  
CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-090), 4/20/03.

PP  
6/3/03

The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Sonrise Acres Subdivision.

1. There is some question regarding the sewerline location in Sonrise Way that appears to be proposed as a half road improvement. If the City allows the half road improvement it will most likely be necessary to obtain a temporary construction easement from the abutting property owner(s) to the west to install the sewerline at its proposed location. If the abutting property owner(s) are in agreement with the proposed development plan, that would ultimately construct a portion of the street on their property, we would recommend that the street improvements be completed and some coordinated effort for land planning to be completed in conjunction with the Preliminary Plan so that sewer services can be installed to potential lots to the west. The District requires that full body wye fittings be used for all tap connections in new subdivisions. This can not be met if the parcel to the west develops at a later date. We realize that this may not be possible but some land planning coordination between the two parcels should be completed since it is obviously envisioned by the proposed street layout of Sonrise Way.
2. The District's preferred method of providing sewer service to lots in Block 1 of the proposed subdivision is to install a sewerline along Bison Avenue from Lodge Pole Street that would extend to Sonrise Way. The grades should be investigated by the Petitioner to see if this is a viable alignment. If feasible, this would avoid having to install a new sewerline in F Road as presently proposed.
3. There is some question how Lot 6 of Block 4 is to be serviced. It may be feasible to extend the Lodge Pole Street sewerline to the north and west rather than providing sewer service along Sonrise Way as proposed. This option should be evaluated to determine if it is feasible to cross the Price Ditch canal.
4. The sewer service to the existing residence on Lot 6 of Block 1 should be shown on the Plan, that we assume will remain in place and connects to the District's existing sewerline in F Road.
5. The maximum spacing between manholes should be maintained at 400-feet if possible. Presently the manholes are spaced approximately 500-feet apart along Sonrise Way.
6. The sewerline along Sonrise Way should be stubbed to the north property boundary with an end of line manhole provided. The stubout is for the possible future extension of the sewerline to the north.

Please make the Petitioner aware of the District's comments regarding the proposed sewerline layout for the proposed Sonrise Acres Subdivision. If the Preliminary Plan is approved by the City, all of the District's requirements for sewerline extensions in new developments will need to be met.

# Review Agency Comment Sheet

AP  
6/3/03

*(Petitioner: Please fill in blanks in this section only unless otherwise indicated)*

Date: April 23, 2003

To Review Agency: Central Grand Valley

File No: PP-2003-090  
*(To be filled in by City Staff)*

Staff Planner: Lori Bowers  
*(To be filled in by City Staff)*

Project Name: Sonrise Acres

Location: 3068 F Road

Development Review Meeting Date: 6/3/03  
*(To be filled in by City Staff)*

## Comments

*(For Review Agency Use)*

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See Attached Comments.

All comments must be returned to the  
Community Development Department no later than

*(To be filled in by City Staff)* 6/2/03

**NOTE:** Please identify your review comments on plan sets by printing the date, your name and company/agency for future reference.

Stephen T. LaBonde  
Review By

June 2, 2003  
Date

Email Address  
cc: Anne Fees, CGVSD

Telephone

**REVIEW COMMENTS FOR SONRISE ACRES SUBDIVISION PRELIMINARY PLAN -  
CENTRAL GRAND VALLEY SANITATION DISTRICT (FILE #PP-2003-090), 4/20/03.**

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# REVIEW COMMENTS

Page 1 of 8  
June 10, 2003

FILE #PP-2003-090

TITLE HEADING: Sonrise Acres Subdivision

LOCATION: 3068 F Road

PETITIONER: CPS, LLC – James Hughes

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 561  
Telluride, CO 81435  
970-728-9909

PETITIONER'S REPRESENTATIVE: Vista Engineering Corp – Pat O'Connor  
243-2242

STAFF REPRESENTATIVE: Lori Bowers

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 10, 2003.**

## CITY COMMUNITY DEVELOPMENT

6/4/03

Lori Bowers

256-4033

1. A temporary easement on the property to the west will be needed for the Cul-de-sac on Sonrise Way, if built as shown, or re-design the cul-de-sac to be entirely on the property. A possibility would be to enlarge a temporary easement on this property, and when the adjacent property re-develops the alignment for the cul-de-sac will be there.
2. The Price Ditch "Tract A", should be dedicated to the HOA with a public access easement placed on it. The mater trails plan shows the Price Ditch as a future pedestrian path/trail.

## CITY COMMUNITY DEVELOPMENT ENGINEER

6/6/03

Eric Hahn

244-1443

## GENERAL COMMENTS

1. The Colorado Department of Public Health & Environment (CDPH&E), Water Quality Control Division, requires that a General Stormwater Discharge Permit be obtained for any construction site that will disturb 1 acre or more. At Final, the applicant must submit a copy of the signed permit application and, once it is approved and issued, a copy of the signed permit.
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**REVIEW COMMENTS / FPP-2003-090 / PAGE 2 of 8**

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10. At Final Plan, the detention pond should have enough freeboard to accommodate the runoff from an eventual development along the west side of Sunrise Way. Such a future development would have the responsibility to modify the pond in order to accommodate their runoff.

**GEOTECH REPORT**

11. It is suggested that the final geotech report include an analysis of a road/parking section that utilizes geogrid products. The use of such products may be more cost effective by allowing a shallower depth of aggregate base course or subgrade.

**CITY PROPERTY AGENT**

5/19/03

**Peter Krick**

256-4003

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**REVIEW COMMENTS**

There are no comments for this preliminary submittal. Comments will be issued upon the application of the Plat and signed/sealed boundary survey.

**CITY TRANSPORTATION ENGINEER**

6/1/03

**George Miller**

256-4123

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The proposal is to develop an infill project of 20 lots, with connections to an existing subdivision to its east.

Comments:



**REVIEW COMMENTS / FPP-2003-090 / PAGE 3 of 8**

1. This is a good infill project, and seems to meet all of TEDS needs for connectivity, maximum length of a dead end road, intersection spacing, etc.
2. As this project will only develop 20' of usable road width on Sonrise Wy., all of Sonrise must be posted for "No Parking Any Time". Also, because part of Sonrise will be completed in the future, the cul de sac must be completed entirely with this project, to ensure adequate turn around room for fire and trash vehicles.
3. Though it seems evident on the plan view, a note must be added specifying that the existing F Rd accessed structure will take access from the future cul de sac on Sonrise, when it's completed, and that the F Rd access point will be closed.
4. Future plan sets will need to show a street light and street names at each intersection. Also, Westbound Bison, and Westbound Lodge Pole St will need to have stop signs.
5. Future plan sets will need to include the note, "Contact City Traffic Operations Supervisor at 970 / 244-1573 prior to any signing material order or placement."
6. As Sonrise is shown to extend to the north beyond this site, a traffic calming device will need to be placed midway between Lodge Pole and Bison, when this road is widened to a typical residential width.

**CITY ADDRESSING**

6/6/03

**Faye Gibson**

256-4043

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Subdivision name is okay, however the street name of Sonrise Way needs to be changed. There is already a street with the name of Sunrise and although they are spelled differently, they sound exactly the same. A different variation of the name might help. Please submit a new name back for approval. Thank you.

**CENTRAL GRAND VALLEY SANITATION**

6/3/03

**Stephen LaBonde**

434-2276

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The following are the Central Grand Valley Sanitation District's review comments on the Preliminary Plan for the proposed Sonrise Acres Subdivision.

1. There is some question regarding the sewerline location in Sonrise Way that appears to be proposed as a half road improvement. If the City allows the half road improvement it will most likely be necessary to obtain a temporary construction easement from the abutting property owner(s) to the west to install the sewerline at its proposed location. If the abutting property owner(s) are in agreement with the proposed development plan, that would ultimately construct a portion of the street on their property, we would recommend that the street improvements be completed and some coordinated effort for land planning to completed in conjunction with the Preliminary Plan so that sewer services can be installed to potential lots to the west. The District requires that full body wye fittings be used for all tap connections in new subdivisions. This can not be met if the parcel to the west develops at a later date. We realize that this may not be possible but some land planning coordination between the two parcels should be completed since it is obviously envisioned by the proposed street layout of Sonrise Way.
2. The District's preferred method of providing sewer service to lots in Block 1 of the proposed subdivision is to install a sewerline along Bison Avenue from Lodge Pole Street that would extend to Sonrise Way. The grades should be investigated by the Petitioner to

see if this is a viable alignment. If feasible, this would avoid having to install a new sewerline in F Road as presently proposed.

3. There is some question how Lot 6 of Block 4 is to be serviced. It may be feasible to extend the Lodge Pole Street sewerline to the north and west rather than providing sewer service along Sunrise Way as proposed. This option should be evaluated to determine if it is feasible to cross the Price Ditch canal.
4. The sewer service to the existing residence on Lot 6 of Block 1 should be shown on the Plan, that we assume will remain in place and connects to the District's existing sewerline in F Road.
5. The maximum spacing between manholes should be maintained at 400-feet if possible. Presently the manholes are spaced approximately 500-feet apart along Sunrise Way.
6. The sewerline along Sunrise Way should be stubbed to the north property boundary with an end of line manhole provided. The stubout is for the possible future extension of the sewerline to the north.

Please make the Petitioner aware of the District's comments regarding the proposed sewerline layout for the proposed Sunrise Acres Subdivision. If the Preliminary Plan is approved by the City, all of the District's requirements for sewerline extensions in new developments will need to be met.

**BRESNAN COMMUNICATIONS**

5/15/03

**Chuck Wiedman**

263-2313

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We are in receipt of the plat map for your new subdivision, Sunrise Acres Subdivision. I would like to notify you that we will be working with the other utilities to provide service to this subdivision in a timely manner.

I would like to take this opportunity to bring to your attention a few details that will help both of us provide the services you wish available to the new home purchasers. There items are as follows:

1. We require the developers to provide, at no charge to Bresnan Communications, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be provided by the developer. The trench may be the same one used by other utilities, however the roadbore must provide a 2" conduit for the sole use of cable TV.
2. We require developers to provide, at no charge to Bresnan Communications, fill-in of the trench once cable has been installed in the trench.
3. We require developers to provide, at no charge to Bresnan Communications, a 4" PVC conduit at all utility road crossings where cable TV will be installed. The cable TV crossing will be in the same location as power and telephone crossings. If the conduit is not installed, we will be unable to place our lines until one is installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs, the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. Any need to relocate pedestals or lines will be billed directly back to your company.

5. Bresnan Communications will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to Bresnan Communications in order to extend the cable TV service to that subdivision.
  6. Should Bresnan Communications be required to perform work on any existing aerial or underground cable TV lines to provide service to the subdivision, Bresnan Communications may require a construction assist charge, to be paid by the developer.
- Should you have any other questions or concerns please feel free to contact me at any time. If I am out of the office when you call please leave your name and phone number with out office and I will get back in contact with you as soon as I can.

**COLORADO GEOLOGIC SURVEY**

6/10/03

**Sean Gaffney**

303-866-2811

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In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late - Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property are designed based on lot-specific geotechnical investigations,

**REVIEW COMMENTS / FPP-2003-090 / PAGE 6 of 8**

standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

**CLIFTON FIRE DEPARTMENT**

5/23/03

**Dave Austin**

434-5448

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NO CONCERNS. FIRE FLOWS AND HYDRANT LOCATIONS ARE ADEQUATE

**CLIFTON WATER DISTRICT**

5/20/03

**Dave Reinertson**

434-7328

- 
- \* The Clifton Water District can provide potable domestic water for this proposal.
  - \* The Clifton Water District can provide fire flows through the existing 6" main lines in the Lodgepole Subdivision.
  - \* The developer will be required to install a 6" line through the stormwater detention area to dead end at the back of the walk on F Road for future connection to new transmission line on F Road.
  - \* Fire hydrant spacing shall be calculated off a hydrant to be located on Lot 5, Block 1. An in-line valve will be required just past this fire hydrant.
  - \* Developer will be required to find the end of line at the north end of Lodge Pole Street to connect the new 6" main line.
  - \* Three way valves will be required in all intersections (including Sonrise Way and Bison Avenue).
  - \* Meter pits shall be configured for radio read assemblies and shall have curb stop shut-off valves on the customer side of the meter pits.
  - \* Water services shall be located on the opposite property corner from dry utility pedestals and transformers to minimize future conflicts during repair activities.

**GRAND VALLEY RURAL POWER**

5/12/03

**Perry Rupp**

242-0040

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North of Bison Ave. is in the Grand Valley Power Service Area, Thank you.

**MESA COUNTY SCHOOL DISTRICT #51**

6/2/03

**Lou Grasso**

242-8500

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Following are estimated student impacts for two developments. I have identified the development and then listed the Program/Schedule Capacity, 2/03 enrollment and estimated student impact at the attendance area schools. Please contact me at 242-8500 if you have questions or need additional information.

Sonrise Acres: Thunder Mt. ele:562/615/5 Bookcliff MS:475/520/2  
CHS:1470/1652/3

**PALISADE IRRIGATION**

5/23/03

**Wayne Bain**

243-6246

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Palisade Irrigation District recommends the following standard procedures for subdivision within

our service boundaries. It is recommended that storage reservoir of appropriate size be placed in the subdivision to reduce the impact of residential water users competing for water at the same time as all other water users of the entire canal system. The water right is insufficient to serve all users at the same time.

Failure to construct such storage reservoir may result in the subdivision being provided with an opening sized to the actual water right which is 1/3 to 1/2 a miners inch of continuous flow per acre. This equates to approximately 5.6 gallons per minute per acre in the subdivision at the 1/2 inch maximum rate. The average lawn pump output ranges from 30 GPM to 50 GPM.

Some subdivisions find it beneficial to install a automated system which utilizes timer box central control which would water one property at a setting, then move in series to the next until the programmed cycle is completed. This or any other method would still be subject to the maximum rate of water a previously explained.

The "Open Space Tract" encroaches upon portions of Palisade Irrigation District's easement and the Homeowners Association should be aware that any proposed landscaping that is placed on the easement area will be subject to traffic and possible damage by operations of the canal system. Also, such landscaping cannot interfere with or impede the operations of the canal. An easement provision states that no permanent structure shall be placed on the easement, i.e., plants, shrubs and trees, etceteras, and we recommend that a letter of notice be given at closing to any subsequent home buyer in order that they do not cause distress to our District because equipment and/or vehicles are running over their "homeowner plantings". This helps to avoid confrontation and problems, hopefully.

Operations Manager Bob Arterburn, cell #250-2404, has not been sent an irrigation review sheet for his completion as the City Planning and Palisade Irrigation agreed upon. Please send to Bob by FAX 464-4700.

Also Bob Arterburn should be notified and be present before any water tap is made into the lateral line which serves this property.

Thank you for your attention to these matters.

**URBAN TRAIL COMMITTEE**

**5/23/03**

**Robert Traylor**

**245-0045**

A trail easement and path (pedestrian and bike) is suggested from the cul-de-sac at the south end of Sunrise Way to F. Road which is a major bike and pedestrian route. Since Thunder Mountain Elementary school is immediately north of Sunrise Acres, a grant of a pedestrian and bike easement is requested through Tract A, along the Price Ditch.

Comments not available as of 6/10/03:

City Attorney

Parks & Recreation

**REVIEW COMMENTS / FPP-2003-090 / PAGE 8 of 8**

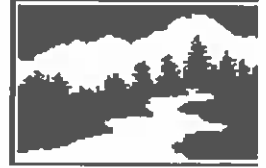
City Police Department  
City Utility Engineer  
Mesa County Irrigation  
Mesa County Planning  
Mesa County Public Works  
Qwest  
RTPO  
Walker Field Airport  
Xcel

# STATE OF COLORADO

## COLORADO GEOLOGICAL SURVEY

Department of Natural Resources  
1313 Sherman Street, Room 715  
Denver, Colorado 80203  
Phone (303) 866-1611  
Fax (303) 866-2461

AP  
6/10/03



DEPARTMENT OF  
**NATURAL  
RESOURCES**

June 10, 2003

**Legal Location: SE ¼ , SE ¼ , S4, T1S, R1E  
CGS Case No. MA-03-0072**

Bill Owens  
Governor

Greg E. Walcher  
Executive Director

Ron Cottary  
Division Director

Ron Cottary  
Acting State Geologist  
and Director

Ms. Lori Bowers  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501

Re: Sunrise Acres, Mesa County, Colorado

Dear Ms. Bowers:

In response to your request, I visited this property to review the plat. A General Project Report (4-23-03), prepared by Vista Engineering Corp.; a Subsurface Soils Exploration (10-11-02), prepared by Grand Junction Lincoln DeVore; a Preliminary Drainage Report (4-23-03), prepared by Vista Engineering Corp.; and a Preliminary Plan (4-21-03), prepared by Vista Engineering Corp.; were included in the referral.

The proposed twenty-lot, residential subdivision is located on approximately six acres of topographically flat, undeveloped land. The referral indicates that the local district will provide water and sanitary sewer service. The site geology consists of Holocene and late – Pleistocene alluvium and colluvium.

The following conditions were described in the referral and observed during the site visit:

- 1) Soils. I am in general agreement with the observations contained in the Grand Junction Lincoln DeVore report, regarding the soil conditions on this property. Due to the possibility for property damage associated with these soil conditions, CGS recommends lot-specific geotechnical investigations be completed within the building envelopes at the time of building permit, to determine the engineering properties of these soils. In soils of this type, properly engineered foundation systems are necessary for adequate foundation performance.
- 2) Site Drainage. Consolidating and/or swelling soils are generally poor performers in excessively wet conditions. Considering that, an effort should be made to maintain positive drainage away from the proposed structures by elevating the building pads. Foundation perimeter drains should be considered with subgrade construction to prevent excessive wetting and resulting failure of foundation subsoils.

As noted in the Grand Junction Lincoln DeVore report, full basement construction may not be possible on this site due to shallow groundwater. The groundwater elevations should be verified at the time of construction.

In summary, the existing soil conditions on this site will constrain the designs for site development, but should not preclude the approval of the project. Provided that the foundations constructed on this property

are designed based on lot-specific geotechnical investigations, standard mitigation designs for construction on soft soils should accommodate the site conditions. Please feel free to contact me at (303) 866-2611 if you have any questions or concerns.

Sincerely,

Sean P. Gaffney  
Geologist



**From:** Dave Reinertsen <dreinertsen@cliftonwaterdistrict.com>  
**To:** <chris@sun-king.com>  
**Date:** Tue, Jul 15, 2003 2:10 PM  
**Subject:** RE: Sonrise Acres Subdivision

AP  
7/16/03

Loxi

Chris,

As you have identified below, unfortunately, adding taps for future use to the west would be speculation and could end up being a situation where the new pavement would require cutting anyway to relocate the service lines based on whatever final plan is approved. "Best laid plans". From the Water District's standpoint, any future new development on the west will have to abide by the requirements set forth by the District to connect to the existing distribution system as well as requirements set forth by the various city departments regarding pavement cutting and repair/replacement.

We look forward to working with you on this upcoming project, Sonrise Acres Subdivision.

David Reinertsen  
Clifton Water District

-----Original Message-----

**From:** chris@sun-king.com [mailto:chris@sun-king.com]  
**Sent:** Tuesday, July 15, 2003 11:11 AM  
**To:** dreinertsen@cliftonwaterdistrict.com  
**Subject:** Sonrise Acres Subdivision

Dave,

In regards to our conversation of yesterday about stubbing water service lines to the west property line, in case of future development on the west side of the street. The property owners to the west said they have no plans for development in the foreseeable future. It was probably a good idea to install the stubs to avoid cutting the asphalt in the future in the event the property was to be developed, but as you pointed out, it would be only speculation on what the lot layout would be (if and when it ever develops), and the services would probably be in the wrong locations. I would assume if the property owners to the west ever decide to develop, they would have to overlay the entire street.

Please let me know if you have any further thoughts on this issue.

Thanks  
Chris

**CC:** "GJ Community Development Department" <CommDev@ci.grandjct.co.us>

## City of Grand Junction

Community Development Department  
Planning • Zoning • Code Enforcement  
250 North 5th Street  
Grand Junction, CO 81501-2668

Phone: (970) 244-1430  
FAX: (970) 256-4031



July 22, 2003

Anne Fees  
Central Grand Valley Sanitation District  
541 Hoover Drive  
Grand Junction, CO 81504

RE: Sonrise Acres

Dear Anne,

Thank you for your letter of July 17, 2003. We have and do regularly receive the review comments from Central Grand Valley Sanitation District. However, the meeting on July 16<sup>th</sup> was for the zoning of the property, not the subdivision itself; therefore you were correct in your assumption that I was not prepared to answer any sewer questions, since the topic was to be on the zoning of the property only.

The applicant has received the review comments from CGVSD and has not yet responded to those concerns. The applicants have until September 10<sup>th</sup> to respond to the Review Comments. CGVSD will receive a response to the comments when the applicants re-submit their revised plans. No date has yet been set for the Public Hearing before the Planning Commission for their approval. Thank you for your concern.

Sincerely,

City of Grand Junction

A handwritten signature in cursive script that reads "Lori V. Bowers".

Lori V. Bowers, Senior Planner  
Community Development Department



adjacent property to the west (based on your statement to assign expansion responsibility to the new contributors) should that project determine a need to drain to the southeast. Freeboard would be a function of the surface area required to be provided on the adjacent property for the given pond depth.

#### **GEOTECH REPORT**

11. We may ask for a geogrid option from the geotechnical engineer should the standard roadway sections indicate significant thicknesses.

#### **Peter Krick - City Property Agent**

Informational comment, no response required.

#### **George Miller - City Transportation Engineer**

1. Informational comment, no response required.
2. "No Parking" signs will be posted as described and the requested cu-de-sac revisions are now shown on the revised drawings.
3. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
4. Street lighting and signing will be designated on future plans, as requested.
5. Future roadway plans will include the requested note.
6. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

#### **Faye Gibson - City Addressing**

A new name for both the project and the street are intended to be submitted during final plan stage.

#### **Stephen LaBonde - Central Grand Valley Sanitation**

1. No agreements currently exist with the adjacent property owner to the west, but the final plan will provide sanitary sewer services with full-body wye fittings in the same general locations as the services proposed for this project. It is likely that this would provide an adequate number of service connections given that the project under design is based on a minimum lot-width.

2. We agree with your preferred routing of mainline sewer, but preliminary research indicates that the existing sewer will be too shallow to allow this. Final design data collection will ultimately determine the ability to accomplish the preferred route.

3. Final alignments of sanitary sewer will be determined at final-plan stage, including the feasibility of crossing the Price Ditch.

4. Service for the existing residence is proposed to remain in-place along F Road and will be shown on the final plan.

5. Allowable manhole spacing was assumed to be 500' which would obviously allow fewer manholes than a 400' spacing, but we will certainly accommodate your standards. We will contact you to determine the absolute maximum spacing.

6. The sewer has been revised to stub to the north, which is currently school property.

#### **Chuck Wiedman - Bresnan Communications**

Informational, no response required. Your comments have been forwarded to the petitioner.

#### **Sean Gaffney - Colorado Geologic Survey**

Notes will be added to the plat and final plans during that stage to attempt to draw attention to your concerns.

#### **Dave Reinertson - Clifton Water District**

We will comply with your requests, to the best of our ability. We do not have knowledge of the locations of pedestals and transformers, and typically do not have this information even at final design stage. We believe it should be the utility company's responsibility to insure that they avoid the conflicts given that they typically do their layout after production of the other utilities.

#### **Perry Rupp - Grand Valley Power**

1. Informational comment, no response required.

#### **Lou Grasso - Mesa County School District #51**

1. Informational comment, no response required.

**Wayne Bain - Palisade Irrigation**

The petitioner proposes to provide only domestic water as a source of irrigation.

*6.2 Infrastructure Standards / 6.5.B.6.a. Non-potable irrigation water  
A.I.F. shall be used unless the Director allows  
the use of potable water.*

We can provide the easement dedications, if there are no objections from the Price Ditch organization, but Tract C is a stormwater detention facility which may impede access at times.

## REVIEW COMMENT RESPONSES

July 24, 2003

### SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated June 10, 2003.

#### Lori Bowers - City Community Development

1. The cul-de-sac has been relocated to exist within the proposed project boundary.
2. Tract "A" will be dedicated as requested on the Final Plat.

#### Eric Hahn - City Community Development Engineer

##### GENERAL COMMENTS

- ✗ 1. A signed copy of the Stormwater Discharge Permit will be included with the final plan submittal.
- ✗ 2. The DIA will reflect 120% of the estimated costs at final plan stage.
- ✗ 3. Top-of-concrete elevations, acknowledged by the Building Department, will be provided at final plan stage.
- ✗ 4. Drainage from the western portion of the partial street section of Sunrise Way will be negligible, but will flow south along the edge of pavement and natural swale (created by the road-cut) into the detention area.
- ✗ 5. "No-Parking" signs will be posted on both sides of the street, as requested.
- ✗ 6. The street section has been corrected to reflect the 20' of proposed asphalt.
- ✗ 7. The cul-de-sac has been relocated to exist within the proposed project boundary.
- ✗ 8. The length of the Lodge Pole extension is shown on the revised drawings.
- ✗ 9. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
- ✗ 10. Detention has been designed for the project site with no anticipation of storage from the western property (due to the southwest direction of natural grade). Given the location of the detention pond, it would be available for expansion to accept and manage runoff from the

No! →

adjacent property to the west (based on your statement to assign expansion responsibility to the new contributors) should that project determine a need to drain to the southeast. Freeboard would be a function of the surface area required to be provided on the adjacent property for the given pond depth.

#### **GEOTECH REPORT**

- X 11. We may ask for a geogrid option from the geotechnical engineer should the standard roadway sections indicate significant thicknesses.

#### **Peter Krick - City Property Agent**

Informational comment, no response required.

#### **George Miller - City Transportation Engineer**

1. Informational comment, no response required.
2. "No Parking" signs will be posted as described and the requested cu-de-sac revisions are now shown on the revised drawings.
3. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
4. Street lighting and signing will be designated on future plans, as requested.
5. Future roadway plans will include the requested note.
6. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

#### **Faye Gibson - City Addressing**

A new name for both the project and the street are intended to be submitted during final plan stage.

#### **Stephen LaBonde - Central Grand Valley Sanitation**

1. No agreements currently exist with the adjacent property owner to the west, but the final plan will provide sanitary sewer services with full-body wye fittings in the same general locations as the services proposed for this project. It is likely that this would provide an adequate number of service connections given that the project under design is based on a minimum lot-width.

2. We agree with your preferred routing of mainline sewer, but preliminary research indicates that the existing sewer will be too shallow to allow this. Final design data collection will ultimately determine the ability to accomplish the preferred route.

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6. The sewer has been revised to stub to the north, which is currently school property.

#### **Chuck Wiedman - Bresnan Communications**

Informational, no response required. Your comments have been forwarded to the petitioner.

#### **Sean Gaffney - Colorado Geologic Survey**

Notes will be added to the plat and final plans during that stage to attempt to draw attention to your concerns.

#### **Dave Reinertson - Clifton Water District**

We will comply with your requests, to the best of our ability. We do not have knowledge of the locations of pedestals and transformers, and typically do not have this information even at final design stage. We believe it should be the utility company's responsibility to insure that they avoid the conflicts given that they typically do their layout after production of the other utilities.

#### **Perry Rupp - Grand Valley Power**

1. Informational comment, no response required.

#### **Lou Grasso - Mesa County School District #51**

1. Informational comment, no response required.



**Wayne Bain - Palisade Irrigation**

The petitioner proposes to provide only domestic water as a source of irrigation.

**Robert Traylor - Urban Trail Committee**

We can provide the easement dedications, if there are no objections from the Price Ditch organization, but Tract C is a stormwater detention facility which may impede access at times.

## Memorandum

**DATE:** July 28, 2003

**TO:** Eric Hahn, Community Development Engineer  
Faye Gibson, City Addressing  
George Miller, City Transportation Engineer  
Celia Greenman, Colorado Geologic Survey  
Stephen LaBonde, Central Grand Valley Sanitation  
Dave Reinertson, Clifton Water District  
Wayne Bain, Palisade Irrigation  
Robert Traylor, Urban Trails Committee

**FROM:** Lori Bowers, Senior Planner

**SUBJECT:** Response to Comments – Sonrise Acres  
Subdivision (PP-2003-090).

Attached are the revised comments for this project. Please review and return any further comments you have to me by Monday, August 11, 2003.

If you have any questions please contact me at:

Phone #: 244-1439

Fax #: 256-4031

E-mail: [patc@ci.grandjct.co.us](mailto:patc@ci.grandjct.co.us)

**RECEIVED**  
JUL 25 2003  
COMMUNITY DEVELOPMENT  
DEPT.

**RESPONSE TO REVIEW COMMENTS**

# **SONRISE ACRES SUBDIVISION**

**CPS, LLC – JAMES HUGHES**

City Community Development

Lori Bowers

#### GENERAL COMMENTS

The first submittal indicated that the lot created for the existing residence (Lot 6, Block 1) would have frontage on the proposed cul-de-sac. The latest submittal (response to comments) shows that this lot no longer has frontage on the cul-de-sac. There are two significant problems created by this change. First, this is a significant change, and forces the reviewers to analyze the entire submittal again to check for other changes that were made after the initial review comments, and it makes City staff assume that other changes to the plans may be “slipped in” between each round of review. **IF CHANGES ARE MADE BETWEEN ROUNDS OF REVIEW THAT ARE NOT REQUIRED BY A SPECIFIC REVIEW COMMENT, THE APPLICANT MUST CLEARLY INDICATE THE CHANGE, AND EXPLAIN THE REASON FOR THE CHANGE. OTHERWISE, THE SUBMITTAL WILL BE ASSUMED TO BE A COMPLETELY NEW SUBMITTAL, THE REVIEW PROCESS WILL START FROM THE BEGINNING AND THE APPLICANT MUST SUBMIT THE ENTIRE SUBMITTAL PACKET TYPICALLY REQUIRED OF A NEW SUBMITTAL.** Second, at time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk. The existing home must take access from the proposed cul-de-sac, and the existing F Road access must be abandoned.

There is an existing storm drain in F Road that carries runoff west to Indian Wash. Developed runoff will flow south to be collected and detained within Tract C. The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence.

**d. The Zoning standards contained in Chapter 3.**

The zoning designation of RSF-4 allows for medium-low density single family uses. The proposed subdivision has provided lots in excess of 8,000 square feet, the minimum lot size for this zoning district. The average lot size is 10,000 square feet.

**e. Other standards and requirements of the Zoning and Development Code and all other City policies and regulations.**

All standards for the preliminary plan have been addressed.

**f. Adequate public facilities and services will be available concurrent with the subdivision.**

The property is located within the Palisade Irrigation District. Sewer will be connected to the Central Grand Valley Sanitation District. Water is to be provided by Clifton Water. All services will meet <sup>and</sup> each district's standards as provided in their review comments. *the applicant's*

**g. The project will have little or no adverse or negative impacts upon the natural or social environment.**

There should be little impact upon the natural environment. In regards to the social environment, the neighbor to the west is concerned with potential impacts to their property (please see attached letters). Calls received by this department from the neighbors to the east, have been generally positive.

**h. Compatibility with existing and proposed development on adjacent properties.**

Compatibility exists with the neighborhood to the east as it has been developed with lots of similar size. Two large lots exist to the

west. One is 3.4 acres and the other is 2.3 acres. Further to the west is another subdivision of smaller size lots.

- i. Adjacent agricultural property and land uses will not be harmed.**

The adjacent property to the west is currently zoned RSF-4 in the County. It is 3.4 acres in size and is agricultural in nature. Drainage and fencing concerns will be provided in detail at the Final development stage to address the concerns of the adjacent property owner.

*Other concerns are fencing - Code does not require fencing between similar zone districts*

- j. Is neither piecemeal development nor premature development of agricultural land or other unique areas.**

The proposal is an infill project and not unique to this area.

- k. There is adequate land to dedicate for provision of public services.**

There is adequate land available for public services and their easements. Provisions have been made for adequate future connections to these services.

- l. This project will not cause an undue burden on the City for maintenance or improvement of land and/or facilities.**

Proof of the formation of an HOA will be required at the final development stage and the conditions in the covenants will require the HOA to maintain any facilities or land improvements that are specific to the subdivision.

**FINDINGS OF FACT/CONCLUSIONS:** After reviewing the Sunrise Acres Subdivision application, file number PP-2003-090, for preliminary plat approval, staff makes the following findings of fact and conclusions:

1. The proposed preliminary plat is consistent with the Growth Plan.
2. The review criteria in Section 2.8.B.2 of the Zoning and Development Code have all been met.

**STAFF RECOMMENDATION:** Staff recommends that the Planning Commission approve the proposed preliminary plat, file number PP-2003-090 with the findings and conclusions listed above.

*as just stated*

RECOMMENDED PLANNING COMMISSION MOTION: Mr. Chairman, on item number PP-2003-090, the preliminary plan for the Sunrise Acres Subdivision, I move that we find the project consistent with the Growth Plan, Section 2.8 of the Zoning and Development Code and adjacent property usage, and approve the preliminary plan, subject to the recommended conditions included in this staff report.

Attachments:

- Vicinity Map
- Aerial Photo
- Growth Plan Map
- Zoning Map
- Subdivision Preliminary Plan
- Letters from adjacent neighbor with pictures
  - June 6, 2003
  - September 3, 2003

*Applicant will provide fencing along E. edge of Lodgepole sub. (backyards)*

*617 Dotson, Aldo*

*Lodgepole st.*

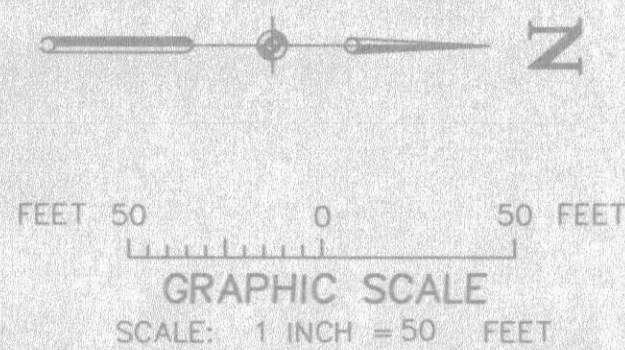
*Faults - property to the west - Drainage taken care of. Concerned w/ their pond + location of the cul-de-sac 50-60' of fencing. Keep backyard 1/2 way private (not parking)*

*Palisade irrigation + Prairie Ditch ?*

*Object to trail on Prairie Ditch - cover*

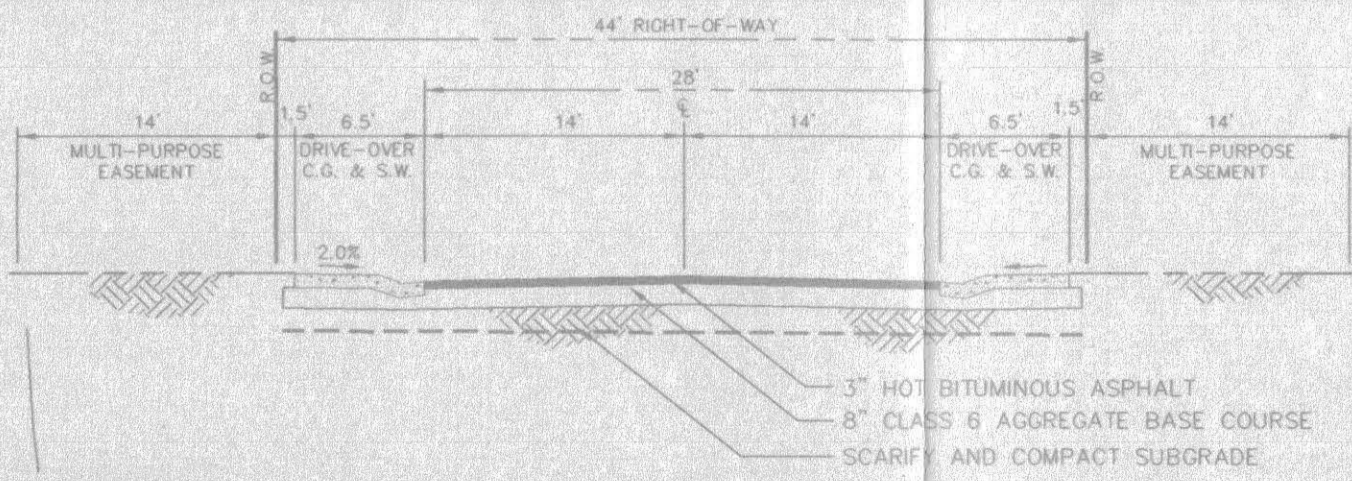
NOTE:  
CONTACT CITY TRAFFIC OPERATIONS SUPERVISOR AT 970-244-1573 PRIOR TO AND SIGNING MATERIAL ORDER OR PLACEMENT.

2943-091-00-992  
MUSEUM OF WESTERN COLORADO  
P.O. BOX 20000  
GRAND JCT., CO 81502-5020



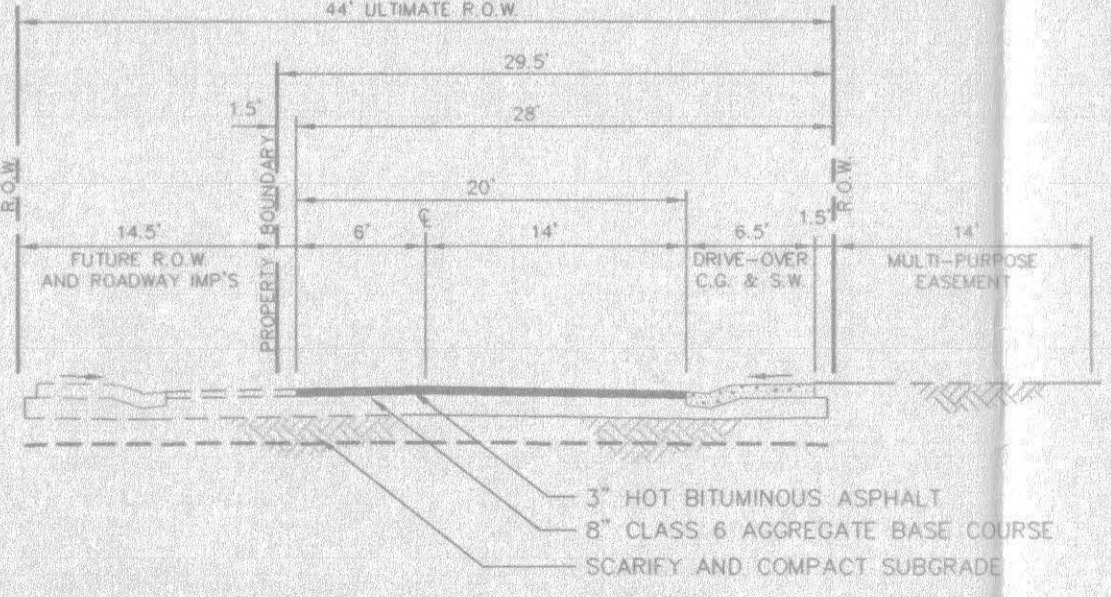
**LEGEND**

- MONUMENT AS DESCRIBED
- EXISTING CABLE PEDESTAL
- EXISTING GUY WIRE
- EXISTING ANCHOR POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING ELECTRIC LINE AND BOX
- EXISTING WATER LINE, METER, AND FIRE HYDRANT
- EXISTING 8" SANITARY SEWER LINE AND MANHOLE
- EXISTING OVERHEAD POWER LINE AND POWER POLE
- EXISTING FENCE
- EXISTING STORM DRAIN AND INLET
- PROPOSED 6" WATER LINE, SERVICE, AND FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE, SERVICE, AND MANHOLE
- OPEN SPACE TRACT



**PUBLIC FACILITIES**

- SANITARY SEWER: Central Grand Valley Sanitation District
- DOMESTIC WATER: Clifton Water
- GAS: Xcel Energy
- ELECTRIC: Grand Valley Rural Power
- TELEPHONE: Owest
- CABLE TV: AT & T Broadband
- STORM SEWER: Grand Junction Drainage District
- IRRIGATION: Palisade Irrigation District

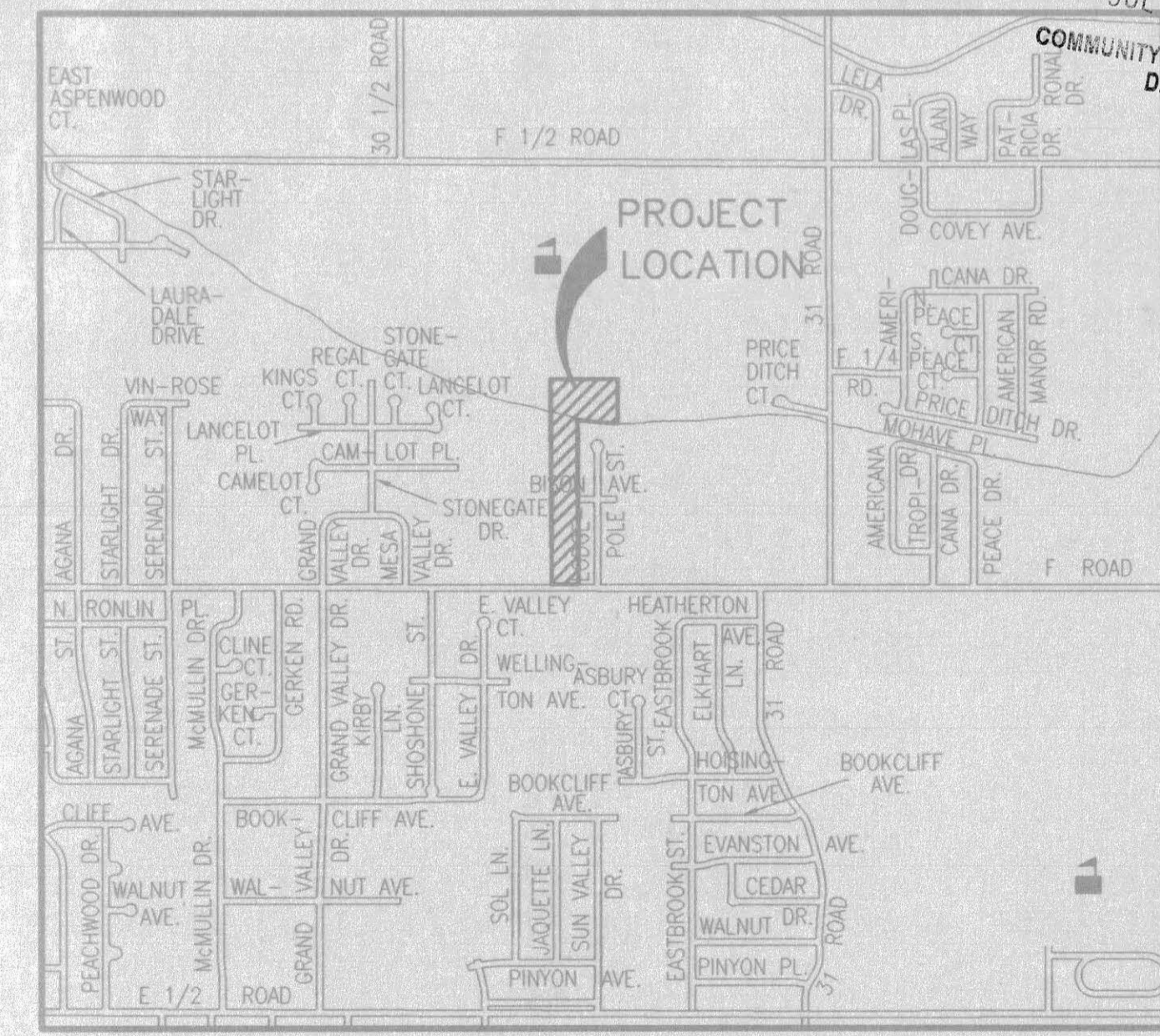


**BULK REQUIREMENTS FOR RSF-4 ZONE**

MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	7 FEET
PRINCIPAL STRUCTURE	3 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	
MINIMUM REAR YARD SETBACK	25 FEET
PRINCIPAL STRUCTURE	5 FEET
ACCESSORY STRUCTURE	
MINIMUM FRONT YARD SETBACK	20 FEET
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

RESIDENTIAL LOTS (20)	4.516 ACRES ±	71.8%
OPEN SPACE	0.368 ACRES ±	5.9%
INTERIOR ROADS	1.404 ACRES ±	22.3%
TOTAL	6.288 ACRES ±	100.0%



RECEIVED  
JUL 2 5 2003  
COMMUNITY DEVELOPMENT DEPT.

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81606 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	7-26-03	REVISED AS PER 1ST ROUND REVIEW COMMENTS	FJB	PMO

DRAWN BY: F.J.B.		REVIEWED: _____	JAMES HUGHES	GRAND JUNCTION, COLORADO	SCALE: 1" = 50'	JOB NO: 417.00-03	DATE: 4-21-03
DESIGNED BY: P.M.O.		DATE: _____ FOR _____					
CHECKED BY: P.M.O.		DATE: _____ FOR VISTA ENGINEERING CORP.					
PRELIMINARY PLAN SONRISE ACRES				SHEET NO: 1 of 1			

PP. 2003-090 Response to Comments 7-25-03



# REVIEW COMMENTS

2<sup>nd</sup> Round

Page 1 of 3  
August 11, 2003

FILE #PP-2003-090(2)

TITLE HEADING: Sonrise Acres Subdivision

LOCATION: 3068 F Road

PETITIONER: CPS, LLC – James Hughes

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 561  
Telluride, CO 81435  
970-728-9909

PETITIONER'S REPRESENTATIVE: Vista Engineering Corp – Pat O'Connor  
243-2242

STAFF REPRESENTATIVE: Lori Bowers

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT AND LABEL A RESPONSE TO COMMENT FOR EACH AGENCY OR INDIVIDUAL WHO HAS REQUESTED ADDITIONAL INFORMATION OR REVISED PLANS, INCLUDING THE CITY, ON OR BEFORE 5:00 P.M., SEPTEMBER 11, 2003.**

## CITY COMMUNITY DEVELOPMENT

8/4/03

Lori Bowers

256-4033

1. Lot 5, Block One, does not meet the minimum lot size of 8,000 square feet.
2. The minimum rear yard setback in an RSF-4 zoning district is 25 feet. Placing the proposed lot line on the north end of Lot 6, Block One, creates a non-conforming lot; Please revise.
3. Section 6.2.A.1.f. Infrastructure Standards and Section 6.5.B.6.a. of the Zoning and Development Code requires that non-potable irrigation water shall be used for residential subdivisions where irrigation water is available. This property is located within the Palisade Irrigation District. Domestic water should not be used for irrigation of landscaping.

## CITY COMMUNITY DEVELOPMENT ENGINEER

8/8/03

Eric Hahn

244-1443

The first submittal indicated that the lot created for the existing residence (Lot 6, Block 1) would have frontage on the proposed cul-de-sac. The latest submittal (response to comments) shows that this lot no longer has frontage on the cul-de-sac. There are two significant problems created by this change. First, this is a significant change, and forces the reviewers to analyze the entire submittal again to check for other changes that were made after the initial review comments, and it makes City staff assume that other changes to the plans may be "slipped in" between each round of review. **IF CHANGES ARE MADE BETWEEN ROUNDS OF REVIEW THAT ARE**

NOT REQUIRED BY A SPECIFIC REVIEW COMMENT, THE APPLICANT MUST CLEARLY INDICATE THE CHANGE, AND EXPLAIN THE REASON FOR THE CHANGE. OTHERWISE, THE SUBMITTAL WILL BE ASSUMED TO BE A COMPLETELY NEW SUBMITTAL, THE REVIEW PROCESS WILL START FROM THE BEGINNING AND THE APPLICANT MUST SUBMIT THE ENTIRE SUBMITTAL PACKET TYPICALLY REQUIRED OF A NEW SUBMITTAL. Second, at time of Final Plan submittal, the driveway cut onto F Road for the existing residence must be removed and replaced with curb, gutter and walk to match the existing curb, gutter and walk. The existing home must take access from the proposed cul-de-sac, and the existing F Road access must be abandoned.

**CITY TRANSPORTATION ENGINEER**

8/5/03

**George Miller**

256-4123

---

The proposal is to develop an infill project of 20 lots, with connections to an existing subdivisions to its east.

Comments pertain to a Response dated 7-24-03 and a plan sheet dated 7-26-03.

Comments:

1. "No Parking Any Time" signs have been provided in the submittal. To be effective and enforceable, it is important that the signs are posted in such a way that the boundaries of the restricted zone are clear, and that signs are always visible to all locations within the restricted zone. Signs should be R7-1 (12x18) and be posted from Lodge Pole south the entrance of the cul de sac, and should be posted at every other property line. The signs at the ends will be single arrows, and the internal signs will be double arrows.
2. The applicant has stated that it is wished that the existing home on the Patterson frontage be allowed to keep its Patterson access. In order to maintain good flow on Patterson, and reduce future accident potential, this existing access will need to be redirected to access via Sunrise. The Response states that the present driveway only will align to Patterson, but the aerial shows the drive alignment does extend to the future cul de sac placement.
3. Street lights need to be provided at a minimum of 1/2 of the Sunrise Wy intersections, and at the 90 degree bend of Lodge Pole.
4. The applicant has stated that traffic calming should not be required with the first phase of development of Sunrise, as it will only be 20' wide. As this roadway will still accommodate two directions of traffic, and is of considerable length, calming will still be required. However, it is only necessary that a width restriction be provided on the developed side of Sunrise. Call 256-4123 to discuss design options.

**CITY ADDRESSING**

7/31/03

**Faye Gibson**

256-4043

---

For Clarification the Subdivision name was fine, it was the street name that needed to be changed. No other comments

**CLIFTON WATER DISTRICT**

**7/16/03**

**Dave Reinertson**

**434-7328**

As you have identified below, unfortunately, adding taps for future use to the west would be speculation and could end up being a situation where the new pavement would require cutting anyway to relocate the service lines based on whatever final plan is approved. "Best laid plans". From the Water District's standpoint, any future new development on the west will have to abide by the requirements set forth by the District to connect to the existing distribution system as well as requirements set forth by the various city departments regarding pavement cutting and repair/replacement.

We look forward to working with you on this upcoming project, Sunrise Acres Subdivision.

# LETTER OF TRANSMITTAL

## VISTA ENGINEERING CORP.

CONSULTING ENGINEERS & LAND SURVEYORS

2777 CROSSROADS BOULEVARD  
 GRAND JUNCTION, COLORADO 81506  
 (970) 243-2242  
 FAX: (970) 243-3810

TO: CITY OF GRAND JUNCTION  
COMMUNITY DEVELOPMENT

ATTENTION: LORI BOWERS

SUBJECT: SONRISSE ACRES SUBDIVISION  
PRELIMINARY PLAN

DATE: 10-2-03  
~~OCTOBER 1, 2003~~  
 JOB NO. 4117.00-03

TRANSMITTED ARE:

- For Approval
- For Your Use
- As Requested
- For Review and Comment
- Submittal Accepted
- Submittal Accepted as Noted (Resubmit)
- Submittal Returned for Revisions (Resubmit)

### RECEIVED

OCT 02 2003

COMMUNITY DEVELOPMENT  
 DEPT.

- Submittal Not Accepted (Submit Anew)
- Preliminary Submittal
- For Reference Only
- Distribution Copy (Previously Accepted)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
5	10/1/03	1	REVIEW COMMENT RESPONSES } FOR ALL 5 REVIEWERS
5	10/1/03	1	REVISED PRELIM. PLAN }
	10/2/03		

REMARKS LORI - THANK YOU VERY MUCH FOR EXTENDING THE DEADLINE FOR RESPONSES  
ON THIS PROJECT. THE REVISIONS WERE PREPARED EARLIER, BUT APPARENTLY "LOST  
IN THE SHUFFLE" DURING OUR RECENT OFFICE RELOCATION. I APPRECIATE  
YOUR CONSIDERATION.

LET ME KNOW IF YOU NEED ADDITIONAL INFORMATION FOR THIS PROJECT AND  
WHEN WE WILL BE SCHEDULED FOR PUBLIC HEARING.

COPY TO JIM HUGHES - CPS, LLC

SIGNED Palm O'Connell

**RESPONSE TO 2<sup>ND</sup> ROUND REVIEW COMMENTS**

# **SONRISE ACRES SUBDIVISION**

**CPS, LLC**

City Community Development

Lori Bowers

**RECEIVED**  
OCT 02 2003  
COMMUNITY DEVELOPMENT  
DEPT.

## REVIEW COMMENT RESPONSES

October 1, 2003

### SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated August 11, 2003.

#### **Lori Bowers - City Community Development**

1. Lot 5, Block 1 has been revised to contain more than 8,000 square-feet.
2. Lot 6, Block 1 will now access from the cul-de-sac and conform with setback standards.
3. Irrigation water will be provided from the existing sources (canals and ditches).

#### **Eric Hahn - City Community Development Engineer**

##### GENERAL COMMENTS

1. The access for Lot 6, Block 1 has been relocated to come from the cul-de-sac. A note regarding removal of the existing driveway cut on F Road has been added.

#### **George Miller - City Transportation Engineer**

1. "No Parking" signs have been clarified and located, as directed.
2. The access for Lot 6, Block 1 has been relocated to come from the cul-de-sac. A note regarding removal of the existing driveway cut on F Road has been added.
3. Street lights have been added, as directed.
4. Traffic-calming would seem to be the responsibility of the adjacent parcel, when it develops, given the ability to provide only 20' of asphalt roadway at this time.

#### **Faye Gibson - City Addressing**

A new name for the street is shown on the revised drawing.

**Dave Reinertson - Clifton Water District**  
Informational, no response necessary.

**RECEIVED**

OCT 02 2003

COMMUNITY DEVELOPMENT  
DEPT.

File!



City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (970)244-1599

September 24, 2003

Patrick O'Connor  
Vista Engineering, Corp.  
2777 Crossroads Blvd.  
Grand Junction, CO 81506

RE: SONRISE ACRES SUBDIVISION – file # FP-2003-090

Dear Patrick:

Just a reminder that your response to our review comments was due on Thursday, September 11, 2003, for the Sonrise Acres Subdivision, located at 3068 F Road. We will extend that deadline for 30 days, to October 13<sup>th</sup>. If we have not received your response by then we will consider the application closed. If you do not wish to continue with your application for subdivision at this time, please let me know and I will note the file and close it out. Should you have any further questions regarding this matter, please contact me at 256-4033.

Sincerely,

City of Grand Junction

A handwritten signature in cursive script that reads "Lori V. Bowers".

Lori V. Bowers, Senior Planner  
Community Development Department

Cc: James Hughes, CPS Enterprises, LLC

**GENERAL COMMENTS**

The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.



**From:** Eric Hahn  
**To:** Bowers, Lori  
**Date:** 10/14/03 7:52PM  
**Subject:** Sonrise Acres Prelim (PP-2003-090)

Lori, I have entered one additional comment regarding Sonrise Acres Preliminary Plan. Please note that it is informational only, the applicant has adequately addressed all my concerns and those of the City Transportation Engineer. Here is the comment that I have entered into Impact:Comment: The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.

**CC:** Spurr, Wendy

## Memorandum

**DATE:** October 2, 2003

**TO:** Eric Hahn, Community Development Engineer  
George Miller, Transportation Engineer  
Faye Gibson, Addressing  
Dave Reinertson, Clifton Water

**FROM:** Lori Bowers, Senior Planner

**SUBJECT:** Response to Comments – Sonrise Acres  
Subdivision (PP-2003-090).

Attached is the Response to Comments for this project. Please review and return any further comments you have to me by Thursday, October 16, 2003.

If you have any questions please contact me at:  
Phone #: 256-4033  
Fax #: 256-4031  
E-mail: lorib@grandjct.co.us

Next P.C. is Oct 28, 2003  
maps to Wendy on 13<sup>th</sup>/16<sup>th</sup>

## Eric Hahn - Sonrise Acres Prelim (PP-2003-090)

---

**From:** Eric Hahn  
**To:** Bowers, Lori  
**Date:** 10/14/2003 7:52 PM  
**Subject:** Sonrise Acres Prelim (PP-2003-090)  
**CC:** Spurr, Wendy

---

Lori,

I have entered one additional comment regarding Sonrise Acres Preliminary Plan. Please note that it is informational only, the applicant has adequately addressed all my concerns and those of the City Transportation Engineer. Here is the comment that I have entered into Impact:

Comment: The neighbors to the west of this site have expressed concern regarding the fencing and drainage along the shared property line. At Final, the applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed (i.e.: riprap reinforcement, minimum longitudinal grade, exact swale dimensions and cross-slopes) without impacting the adjacent property or the shared fence. Other than this concern, the applicant has adequately addressed all my comments and Traffic Engineering comments regarding the Preliminary Plan.

AGENDA TOPIC: Sonrise Acres Subdivision, PP-2003-090.

ACTION REQUESTED: Preliminary Plat Approval

BACKGROUND INFORMATION				
Location:		3068 F Road		
Applicants:		CPS Enterprises, LLC, owner; Vista Engineering Corporation, representative		
Existing Land Use:		Vacant land and house		
Proposed Land Use:		Residential		
Surrounding Land Use:	North	Thunder Mountain Elementary		
	South	Museum of Western Colorado		
	East	Single Family residential		
	West	Single Family residential		
Existing Zoning:		RSF-4 (Residential Single-Family, not to exceed 4 dwelling units per acre)		
Proposed Zoning:		RSF-4		
Surrounding Zoning:	North	RSF-4 (Mesa County)		
	South	RSF-4 (Mesa County)		
	East	RSF-4 (Mesa County)		
	West	RSF-4 (Mesa County)		
Growth Plan Designation:		Residential Medium Low – 2 to 4 dwelling units per acre		
Zoning within density range?		X	Yes	No

PROJECT DESCRIPTION: Located at 3068 F Road, Sonrise Acres Subdivision is a request for approval for 20 single family residential lots, and 2 tracts on 6.288 acres in an RSF-4 zoning district. The tracts are for irrigation and open space. There is an existing house and garage on this parcel

RECOMMENDATION: Approval of the Preliminary Plan.

## ANALYSIS:

1. Background: The property was annexed into the City and became effective on August 17<sup>th</sup>, 2003. It was annexed as the Sunrise Acres Annexation. The property received the zoning designation of RSF-4 during the annexation process. The property is located at 3068 F Road.

2. Consistency with the Growth Plan: The City of Grand Junction's Growth Plan identifies the subject parcel as "residential medium low", 2 to 4 dwelling units per acre. The proposed 20 lots on 6.288 acres calculates to a density of 3.18 dwelling units per acre, meeting the requirements of the RSF-4 zoning district. The proposed future development will be compatible with adjacent land uses. There is no commercial development associated with this plan.

3. Section 2.8.B.2 of the Zoning and Development Code:

A preliminary plat can only be approved when it is in compliance with all of the following:

**a. The Growth Plan, Grand Valley Circulation Plan, Urban Trails Plan and other adopted plans.**

The proposed plat is consistent with the Growth Plan, as mentioned above. It is consistent with the Grand Valley Circulation Plan by reducing the number of driveway accesses on F Road and connecting to the existing right-of-ways of Bison Avenue and Lodge Pole Street. The Urban Trails Plan shows a canal path over the section of the buried Price Ditch. This area has been placed in a tract for future pedestrian access.

**b. The purposes of this Section 2.8.B.**

The purpose of this section is to provide general graphic information and text to indicate property boundaries, easements, streets, utilities, drainage, open space determination and other information to ensure that compliance with these requirements can be met at the Final Development stage. Staff feels that adequate information has been provided at this time.

**c. The Subdivision standards of Section 6.7.**

The subdivision standards are being met by providing interconnectivity with existing subdivisions. Primary access is obtained from F Road on Lodge Pole Street. Bison Avenue is an existing stub that will intersect Barnwood Way. Lodge Pole Street continues north and then turns to also connect to Barnwood Way.



City of Grand Junction, Colorado  
Community Development Department  
**RECORD OF DECISION / FINDINGS OF FACT**

**PROJECT:** Preliminary Plan for Sunrise Acres Subdivision  
**LOCATION:** 3068 F Road  
**FILE #:** PP-2003-090  
**DATE:** November 17, 2003  
**PLANNER:** Lori V. Bowers  
**PROJECT IS:** **APPROVED**

---

On Tuesday, October 28, 2003 a Public Hearing was held by the City of Grand Junction Planning Commission for approval of the Sunrise Acres Subdivision Preliminary Plan. The request was for approval to develop in one phase, a total of 20 single-family lots on 6.288 acres, zoned RSF-4. Concerns from the public hearing are listed below and should be considered in preparation of the Final Plat. The time period for appeal of this decision has passed and no appeals have been filed.

After reviewing the Sunrise Acres application, file number PP-2003-090, for preliminary plat approval, the Planning Commission made the following findings of fact and conclusions:


1. The proposed preliminary plat is consistent with the Growth Plan.
2. The review criteria in Section 2.8.B.2 of the Zoning and Development Code have all been met.

Concerns from the public and comments from the Planning Commission are as follows:

1. While the Planning Commission did not require privacy fencing along the western edge of the right-of-way near Barnwood Way, the Commission encouraged the applicant to look at some privacy screening/fencing options for the benefit of the property owner to the west.

2. The applicant must provide detailed plans, including road cross-sections, that specify exactly how the drainage swale will be constructed.
3. Look at options to control motor vehicle traffic across the Price Ditch until fill pedestrian trail is acquired in this area.

Attached is the checklist for the Final Plat for the project. If you should have any further questions regarding this project, please feel free to contact me at 256-4033.



**Environmental Transaction  
Screen  
Proposed Sunshine Acres  
Subdivision  
Grand Junction, Colorado**

WALSH Project Number: 5078-010  
October 21, 2002



---

Environmental Scientists and Engineers, Inc.



# Environmental Transaction Screen Proposed Sunshine Acres Subdivision Grand Junction, Colorado

October 21, 2002

Prepared for:

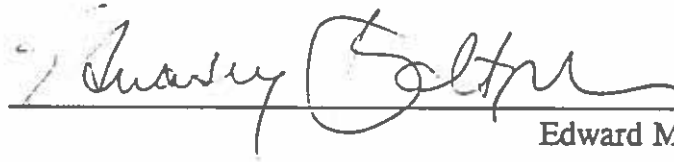
Bob Fuller  
Darter, LLC  
786 Valley Court  
Grand Junction, Colorado 81505

Prepared by:



Robert A. Stockton  
Environmental Scientist

Reviewed by:



Edward M. Baltzer, CPG  
District Manager

*Submitted by*  
**WALSH ENVIRONMENTAL SCIENTISTS AND ENGINEERS, LLC**  
255 Main Street  
Grand Junction, Colorado

WALSH Project Number: 5078-010

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## EXECUTIVE SUMMARY

The subject property for this Environmental Transaction Screen (ETS) is located at 3068 F Road, Grand Junction, Colorado (the Site). It is a 6.31-acre irregularly-shaped parcel located next to residential and agricultural lands.

Walsh Environmental Scientists and Engineers, LLC (WALSH) has performed this ETS for the Site in conformance with the scope and limitations of ASTM Practice E-1528-00. This assessment has revealed evidence that uranium mill tailings were identified at the Site. A summary of the findings of the report follows:

- Review of available federal records indicates that there are no regulated facilities or releases located within one mile of the Site.
- Review of CDPHE records reveal that indications of mill tailings were found at the Site during a radiation survey in 1971. The mill tailings were indicated greater than ten feet from the residence, near a haystack and a clothesline pole. The Site was excluded from the Uranium Mill Tailings Remedial Action Program in 1986 with the recommendation that if the land use should change a corrective action or control should be considered.
- No documented landfills are located within one-half mile of the Site. No Voluntary Clean Up and Redevelopment Act sites are located within one mile of the Site. No properties with environmental covenants are located within one-quarter mile of the Site.
- No documented registered or leaking underground storage tanks within one-half mile of the Site were located in Division of Oil and Public Safety records.
- Historical records and documents indicated that the Site and surrounding properties have been agricultural and residential lands since at least 1937.
- A site inspection revealed the Site to be largely vacant agricultural land a vacant residence. The residence located at 3068 F Road appears to be constructed of materials that may contain asbestos. There are three outbuildings, a house, and indications that horses have been kept at the Site. A cistern is located north of the house that has been filled in. A small debris pile is located on the west property boundary north of the house that appears to be native materials. Household debris was found on the north portion of the Site.
- An interview with the current owner of the Site properties indicated that his land has been used as a residence and pasture for the past two years and that no environmental concerns were brought to his attention when he purchased the property.

Based on the results of this ETS, WALSH recommends performing a radiation survey of the Site. WALSH also recommends performing an asbestos inspection if the residence is to be remodeled or demolished.

# ENVIRONMENTAL TRANSACTION SCREEN PROPOSED SONSHINE ACRES SUBDIVISION GRAND JUNCTION, COLORADO

## 1 INTRODUCTION

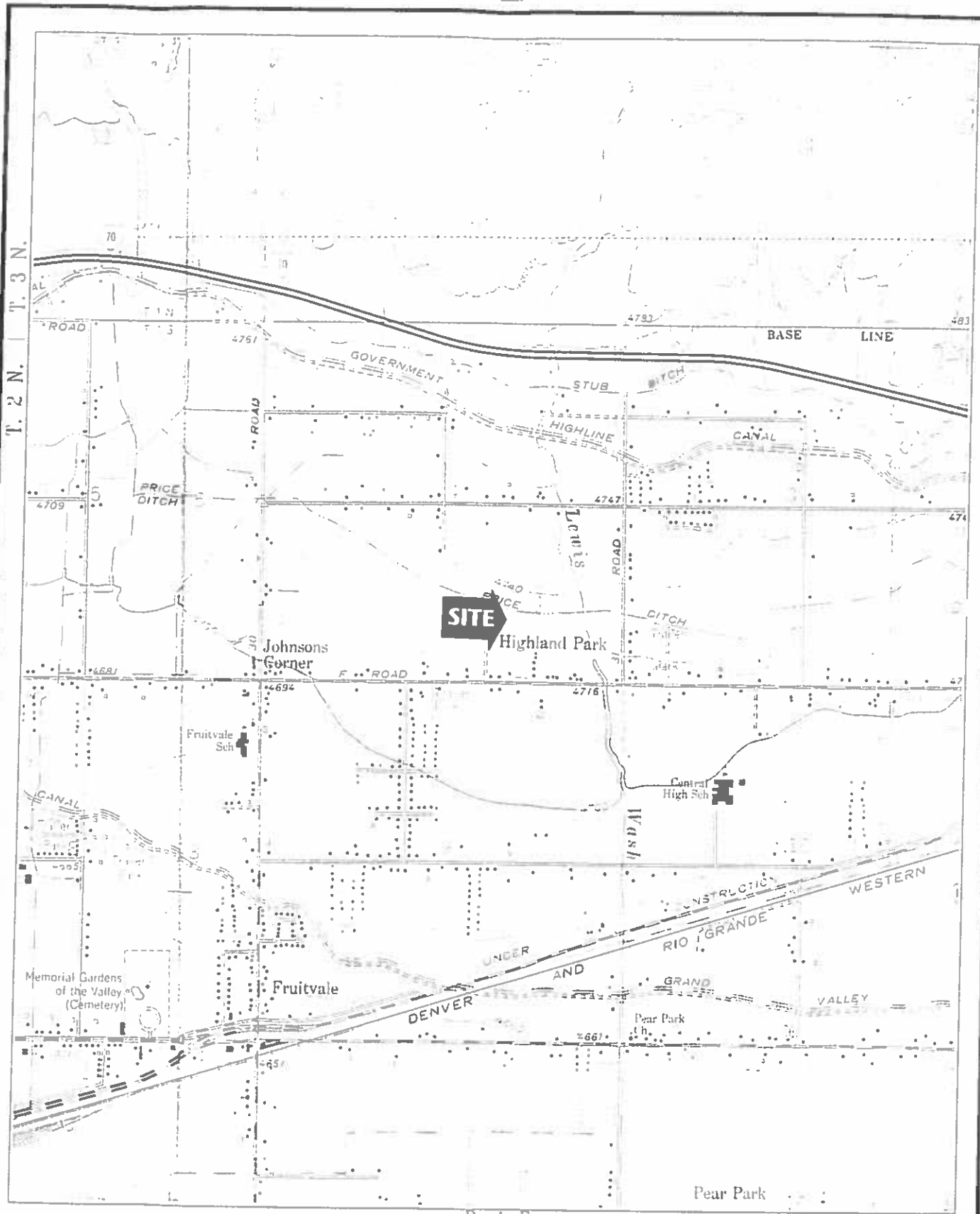
This report presents the findings of an Environmental Transaction Screen (ETS) conducted at the proposed site of Sonshine Acres Subdivision 3068 F Road, Grand Junction, Mesa County, Colorado (the Site). It was requested by Mr. Pat O'Connor of Vista Engineering and was prepared for Bob Fuller of Darter, LLC the prospective purchaser and developer. The Site consists of 6.31 acres of agricultural land, a residence, and three outbuildings. Mesa County Assessor's Office lists the current owner as Golliher, Grant and Jane Golliher. A parcel map showing the Site is included in Appendix B.

This ETS consisted of a review of available city, county, state, and federal documents; examination of historical aerial photographs, Sanborn fire insurance maps, and city directories; interviews; and a visual inspection of the Site. Sampling of suspect soils, waters, or building materials was not included in this assessment.

The procedures used in conducting this ETS meet or exceed the American Society of Testing and Materials (ASTM) standard E-1528-00 for performing ETSs as adopted on March 15, 1993 and modified in 2000 (ASTM, 2000).

## 2 SITE LOCATION AND DESCRIPTION

The Site is located at 3068 F Road approximately four miles northeast of Grand Junction, Colorado. The Site is situated in Section 4, Township 1 South, Range 1 East, of the Ute Principal Meridian (Figure 1). According to the Mesa County Assessor's office, the legal description of the Site is included in parcel # 2943-044-00-130. Information from the Mesa County Assessor's office is located in Appendix B.



**MAP SOURCE:**  
 USGS Grand Junction, CO Quadrangle  
 Date: 1962, Photorevised in 1973  
 USGS Clifton, CO Quadrangle  
 Date: 1962, Photorevised in 1973  
 USGS 7.5 minute series, topographic maps  
 Approximate Map Scale: 1" = 2,000'

R. 1 E.



Environmental Scientists and Engineers, LLC  
 Vicinity Map  
 3068 F Road  
 Grand Junction, Colorado

Job 5078-010 | Date 10/02 | Figure 1

## 2.1 Physical Setting

Information on the physical setting was obtained from published sources and a Site visit.

### 2.1.1 Regional and Site Geology

The Site is located within the Grand Valley geomorphic province. The Grand Valley is located north of the Uncompahgre Plateau and south of the Piceance Basin (Tweto, 1979). The Uncompahgre Plateau is an uplift of primarily Mesozoic sedimentary bedrock forming an anticline that plunges northward into the Grand Valley. The Piceance Basin is composed of relatively flat-lying Tertiary Uintah, Green River, and Wasatch Formations. These formations contain sandstones, siltstones, and shales including oil-bearing shales. Bedrock within the Grand Valley is predominantly the Cretaceous Mancos Shale, a dark-gray to black soft shale with intermittent thin sandstone beds. The upper portion of the Mancos shale grades into the cliff-forming Cretaceous Mount Garfield Formation and Sego Sandstone which grade into the Cretaceous Hunter Canyon Formation north of the Grand Valley (Cashion, 1973). The Mancos Shale overlies the Burro Canyon formation, composed of sandstone and conglomerate.

### 2.1.2 Soils

Surficial soil at the Site is listed as Billings silty clay loam, 0-2% slopes. The Billings silty clay loam is a gray, hard, massive and calcareous soil with high salinity and very slow internal drainage. This soil is typically difficult to work and has a very low erosion hazard associated with it (U.S. SCS, 1939).

### 2.1.3 Hydrology

Surface water flow in the area of the site is directed into storm drainages that flow into the Colorado River (Figure 1). Price Ditch runs through the north portion of the Site and the Government Highline Canal is located approximately one-half mile north of the Site. Lewis Wash is located approximately 1,000 feet east of the Site. The Colorado River is located about two and a half miles south Site. The Colorado River is a perennial drainage that ultimately flows into the Pacific Ocean.

Ground-water flow in the vicinity is likely to flow perpendicularly to surface contours, or towards the south. The actual ground-water flow at the Site has not been determined in the study area, and is likely to vary depending on the season and other factors such as agricultural practices.

### 2.1.4 Current Land Use

The Site is currently vacant agricultural land with the exception of the southern most portion where an older residence and three out buildings are located. The Site is located in unincorporated Mesa County.

### 3 PUBLIC RECORDS REVIEW

An environmental record search of pertinent agency records was conducted. The search focused on records pertaining to properties within one mile of the Site. Table 1 lists the agency records searched. A summary of key findings is presented below.

**TABLE 1 LIST OF AGENCY SOURCES**

Source Category	Specific Source	Search Distance	Updated by Source
National Priority List	CERCLIS Site Event List	1 mile	10/02
CERCLIS	CERCLIS Site Event List	1 mile	10/02
VCRA	CDPHE list of private cleanup sites	1 mile	10/02
RCRIS Generators	Facility List	¼ mile	10/02
RCRA Corrective Action	Corrective Action List	1 mile	10/02
RCRA TSDs	TSD Notifiers List	1 mile	10/02
Underground Storage Tank (USTs) Leaks	CDPHE Old List (leaks listed through 9/30/90)	½ mile	10/90
	OPS Updated List	½ mile	10/02
	OPS Open & Closed Leaking USTs	½ mile	10/02
	OPS Trust Fund List	½ mile	10/02
Registered USTs	OPS State UST List	¼ mile	10/02
Landfills	CDPHE Current Landfills Data-base	½ mile	10/02
	CDPHE Historic Landfills	½ mile	10/02
ERNS Spills	Federal ERNS List	Site only	10/02
Environmental Covenants	CDPHE database	¼ mile	10/02

Notes: CERCLIS = Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) Information System

VCRA = Voluntary Clean-up Remedial Act

CDPHE = Colorado Department of Public Health and Environment

RCRIS = Resource Conservation and Recovery Act (RCRA) Inventory System

ERNS = Emergency Response Notification System

TSD = Treatment, storage, and disposal

OPS = Colorado Oil and Public Safety Division



### **3.1 Federal Records**

Federal records were obtained from databases provided by the EPA and the CDPHE. These records are maintained by WALSH and updated quarterly.

#### **3.1.1 CERCLA Sites and Superfund Sites (NPL)**

CERCLA provides a system for ranking areas of known contamination for remediation. The EPA ranks the CERCLIS sites according to risk based on the Hazard Ranking Score. Higher-risk sites are placed on the National Priority List, and these sites are then considered Superfund Sites. A review of CERCLIS dated October 2002 revealed no CERCLA listings within one mile of the Site.

#### **3.1.2 RCRA/Hazardous Waste Notifiers**

The RCRA Notifiers List is an inventory of transporters; burner/blenders; and large, small, and very small quantity generators of hazardous wastes. Large quantity generators (LQGs) dispose of more than 1,000 kilograms (2,205 pounds) of hazardous waste per month. Small quantity generators (SQGs) generate less than 1,000 kilograms (2,205 pounds) per month, and conditionally exempt small quantity generators (CESQGs) generate less than 100 kilograms (220 pounds) per month. The list was searched for LQG or incinerator facilities within one mile and other facilities located within one-quarter mile of the subject property. No RCRA regulated facilities was found to be located within the search distance.

#### **3.1.3 Emergency Response Notification System (ERNS)**

Calls received by the EPA regarding hazardous materials incidents are maintained in an on-line database (ERNS). When a reportable quantity of a hazardous substance is released, the National Response Center must be notified within 24 hours. No ERNS listings were found within one-quarter mile of the Site. Several ERNS sites were not locatable based on the provided information.

#### **3.1.4 Other Environmental Records**

Other EPA sources that were reviewed for this report include the National Pollution Discharge Elimination System (NPDES), air pollution emission permit holders (AIRS/AFS program), and the Toxic Release Inventory (TRI), a list of entities that emit more than threshold levels of certain toxic chemicals into the air. There are no NPDES or TRI facilities, and no air permits listed within one mile of the Site. None of these emissions are likely to have impacted the subject property. A map showing the Site location and lack of EPA sources is included in Appendix B.

### **3.2 State Agency Records**

State records were obtained from the CDPHE and the Oil Inspection. These records are maintained by WALSH and updated quarterly.

### **3.2.1 Colorado Department of Public Health and Environment (CDPHE)**

A radiation report was requested from the Colorado Department of Public Health and Environment (CDPHE). The CDPHE provided a survey and supporting documents that indicated that the Site was excluded from the Uranium Mill Tailings Remedial Act (UMTRA) even though uranium mill tailings were indicated at two locations at the Site. The locations were given as "near the hay stack" and "by clothesline pole" which were said to be greater than ten feet from the residence. The Site was excluded because no immediate risk was identified, however, corrective action was recommended if the affected areas use should change. Copies of the uranium mill tailings report and selected documents are located in Appendix B.

### **3.2.2 Landfill/Solid Waste Activities**

CDPHE records were searched for active and closed landfill locations within one mile. No active or historic landfills were located in either database within one mile of the Site.

### **3.2.3 Leaking Underground Storage Tanks**

Three lists compiled by the Colorado Division of Oil and Public Safety (OPS) were searched for leaking USTs located within one-half mile of the site; these are the Reported Leaking and Closed UST lists and the Trust Fund List. The first two lists identify locations where releases have been reported; where closures were conducted; or where spills, overfills, or upgrades have occurred; and where contamination or tank leaks have been reported. The Trust Fund List includes sites proposed for site evaluations and possible clean up funded by the State Leaking UST Trust Fund. Sites are placed onto the Closed UST List when the site is no longer considered contaminated.

There are no leaking UST locations within approximately one-half mile of the Site listed on any of the OPS inventory lists.

### **3.2.4 Registered Underground Storage Tanks**

A database obtained from the Colorado Division of Oil and Public Safety inventory for the State of Colorado indicate that there are no documented USTs located within approximately one-quarter mile of the Site.

## **4 Local Agency Records**

Local records are obtained by WALSH as needed for each site investigation.

### **4.1 Mesa County Health Department**

The Mesa County Health Department was contacted in order to determine if they had records of hazardous materials releases, USTs, landfills, or other environmental concerns with the property. They had no files pertaining to the Site and reported that hazardous waste records, spills, and other incidents are maintained by the Fire Department.

## 4.2 City of Grand Junction Fire Department

Environmental Specialist Drew Reekie was contacted to determine if hazardous materials, incidents, spills, or fires had occurred on or near the subject area, (letter dated October 15, 2001). At the time of this report Mr. Reekie had not responded to the letter. If further information is revealed at a later time, it will be made available to the client.

## 4.3 Historical Use Information

Several sources of historical information were consulted to develop a history of previous uses or occupancies of the property and vicinity. This information is used to identify potential adverse environmental conditions associated with such uses or occupancies.

WALSH consulted Sanborn fire insurance maps, local zoning codes, city street directories, and aerial photographs to develop a use history for this property. Although none of these sources alone provide coverage from earliest usage through the present, the combined sources provide a synopsis from approximately the 1930's.

### 4.3.1 Sanborn Fire Insurance Maps

The Sanborn Company prepared maps for fire insurance companies during the latter part of the eighteenth and early nineteenth centuries. These maps often indicate locations of USTs, ASTs, building construction, and business names. Sanborn Insurance map coverage did not extend beyond historic Grand Junction, Colorado for this area.

### 4.3.2 Aerial Photograph Review

Available historical aerial photographs were reviewed from 1937 at a scale of 1 inch = 1300, the 1959 at an unknown scale, 1983 at a scale of 1 inch = 400 feet, and 1996 at unknown scale.

The 1937 photo shows the surrounding properties as undeveloped, agricultural land. The Site has a residence fronting on F Road and what appears to be a small outbuilding located north of the residence. The scale of the photo does not allow for greatly detailed observations.

The 1959 photo shows the Site much the same as the 1937 aerial photo. There is no significant development increase at or surrounding the Site.

The 1994 photograph shows the Site with three structures located on the southernmost portion of near F Road. Large trees obscure much of the structures, and the remainder of the Site appears to be agricultural. There is significant development on all sides of the Site except for those lands furthest from major roads.

No environmentally significant findings were made during the aerial photograph review.

### 4.3.3 City Directories

A review of available city directories from 1941 to 1997 were examined at approximately five-year intervals for the subject and surrounding properties. The Site address was not found to be listed in any year prior to 1966. The Site and nearby address have been predominantly residential from the 1966 listing to the present except for Cross Orchard (3073 F Road) south of the Site.

## 5 VISUAL SITE INSPECTION AND INTERVIEWS

The subject and surrounding properties were inspected on October 18, 2001. The inspection included visual observations of the Site and surrounding land.

### 5.1 Subject Property

The Site consists of agricultural land and a residence. The residence appeared to be a single story with a loft or attic. The interior of the residence was not inspected due to its being locked. The residence has three outbuilding associated with it. The clothesline (likely the one referred to in section 3.2.1) was found to be located approximately ten feet from the house's east side. Several areas with residual hay were found throughout the south quarter of the property. An abandoned cistern is located north of the house in between the outbuildings. A steel shop building is located northwest of the house and has a floor drain in the south half of the shop's concrete slab. The drain was found to discharge into a waste irrigation ditch behind the shop. Some of the materials used in the construction of the outbuildings and house may be asbestos containing materials.

The north three quarters of the Site are vacant pasture and agricultural lands. The portion of the Site immediately north of the house shows signs consistent with horse boarding. A pile of what appears to be native dirt is located in the southwest portion of the pasture. Vacant agricultural lands lie north of Price Ditch, which is covered, and has various household materials dumped there. Most of the materials are small tree limbs and grass clippings. No other significant findings were made during the Site inspection.

### 5.2 Adjacent Properties

Residences and agricultural lands surround the Site on the north portion of the Site. Cross Orchards (3073 F Road) living history farm is located south of the Site. Residential developments are located east and west of the Site.

### 5.3 Interview

The current owners, Grant and Jane Gollhofer, were contacted on October 21, 2002 by WALSH personnel. Mr. Gollhofer stated that they have owned the Site for about one and a half years, and they purchased it from Imogene Doll (deceased). Mr. Gollhofer further stated that they rented the house and pasture. Mr. Gollhofer said that the cistern was filled in when he purchased the property. Mr. Gollhofer reported that he has no knowledge of spills, releases, or other known causes of environmental concern at that property.

## 6 TRANSACTION SCREEN QUESTIONNAIRE

Mr. Grant Gollhofer of Moran, Wyoming was contacted by phone on October 21, 2002. WALSH personnel read the questions from the transaction screen questionnaire to him and filled it out accordingly. The results of the questionnaire indicated no environmental concerns with the Site. A copy of the transaction screen questionnaire is located in Appendix C.

## 7 CONCLUSIONS AND RECOMMENDATIONS

WALSH's conclusions for this ETS are based on information provided by available public records, discussions with selected personnel and government agencies, and site conditions determined by a visual inspection. Procedures followed the American Standard for Testing and Materials (ASTM) standard E-1528-00 for performing environmental assessments. Information thus obtained indicates that activities at and near the Site may have impacted the Site. Relevant observations include:

- Review of available federal records indicates that there are no regulated facilities or releases located within one mile of the Site.
- Review of CDPHE records reveal that indications of mill tailings were found at the Site during a radiation survey in 1971. The mill tailings were indicated greater than ten feet from the residence, near a haystack and a clothesline pole. The Site was excluded from the Uranium Mill Tailings Remedial Action Program in 1986 with the recommendation that if the land use should change a corrective action or control should be considered.
- No documented landfills are located within one-half mile of the Site. No Voluntary Clean Up and Redevelopment Act sites are located within one mile of the Site. No properties with environmental covenants are located within one-quarter mile of the Site.
- No documented registered or leaking underground storage tanks within one-half mile of the Site were located in Division of Oil and Public Safety records.
- Historical records and documents indicated that the Site and surrounding properties have been agricultural and residential lands since at least 1937.
- A site inspection revealed the Site to be largely vacant agricultural land a vacant residence. The residence located at 3068 F Road appears to be constructed of materials that may contain asbestos. There are three outbuildings, a house, and indications that horses have been kept at the Site. A cistern is located north of the house that has been filled in. A small debris pile is located on the west property boundary north of the house that appears to be native materials. Household debris was found on the north portion of the Site.
- An interview with the current owner of the Site properties indicated that his land has been used as a residence and pasture for the past two years and that no environmental concerns were brought to his attention when he purchased the property.

Based on the results of this ETS, WALSH recommends performing a radiation survey of the Site to identify the locations of the previously discovered uranium mill tailings. Furthermore, WALSH recommends performing an asbestos inspection if the residence is to be remodeled or demolished.

## 9 REFERENCES

- American Society for Testing and Materials (ASTM). 1997. *Standard Practice for ESAs: Environmental Site Assessment Process*. Designation: E 1527-97.
- Cashion, W. B. 1973. Geologic and Structure Map of the Grand Junction Quadrangle, Colorado and Utah. U.S. Geological Survey Map I-736.
- Lohman, S.W. 1963. *Geologic Map of the Grand Junction Area, Colorado*. Miscellaneous Investigations Map I-404, U.S. Geological Survey.
- Tweto, Ogden. 1979. Geologic Map of Colorado.
- U. S. Soil Conservation Service. 1939. *Soil Survey of the Grand Valley, Mesa County, Colorado*.
- Whitney, J. W. 1981. Surficial Geologic Map of the Grand Junction 1 X 2 Quadrangle, Colorado and Utah. U.S. Geological Survey Map I-1289.



Environmental Scientists and Engineers, LLC

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**APPENDIX A**  
**AGENCY/PERSONAL CONTACT LIST**





APPENDIX A

AGENCY/PERSONAL CONTACT LIST

The following agencies/people have been contacted for this ETS conducted at 3068 F Road, Grand Junction, Colorado:

CDPHE  
HMWMD  
222 S. 6<sup>th</sup> Street, Rm. 232  
Grand Junction, Colorado  
(303) 248-7164

Mr. Drew Reekie  
Environmental Specialist  
Grand Junction Fire District  
330 South 6th Street  
Grand Junction, Colorado 81501

City of Grand Junction  
Community Development  
250 N. 5th Street  
Grand Junction, Colorado 81501

Grant Gollieher  
PO Box 315  
Moran, Wyoming 83013  
(307) 543-2015

Mr. Bob Fuller  
Grace Homes/Darter, LLC  
786 Valley Court  
Grand Junction Colorado 81505  
(970) 523-5555

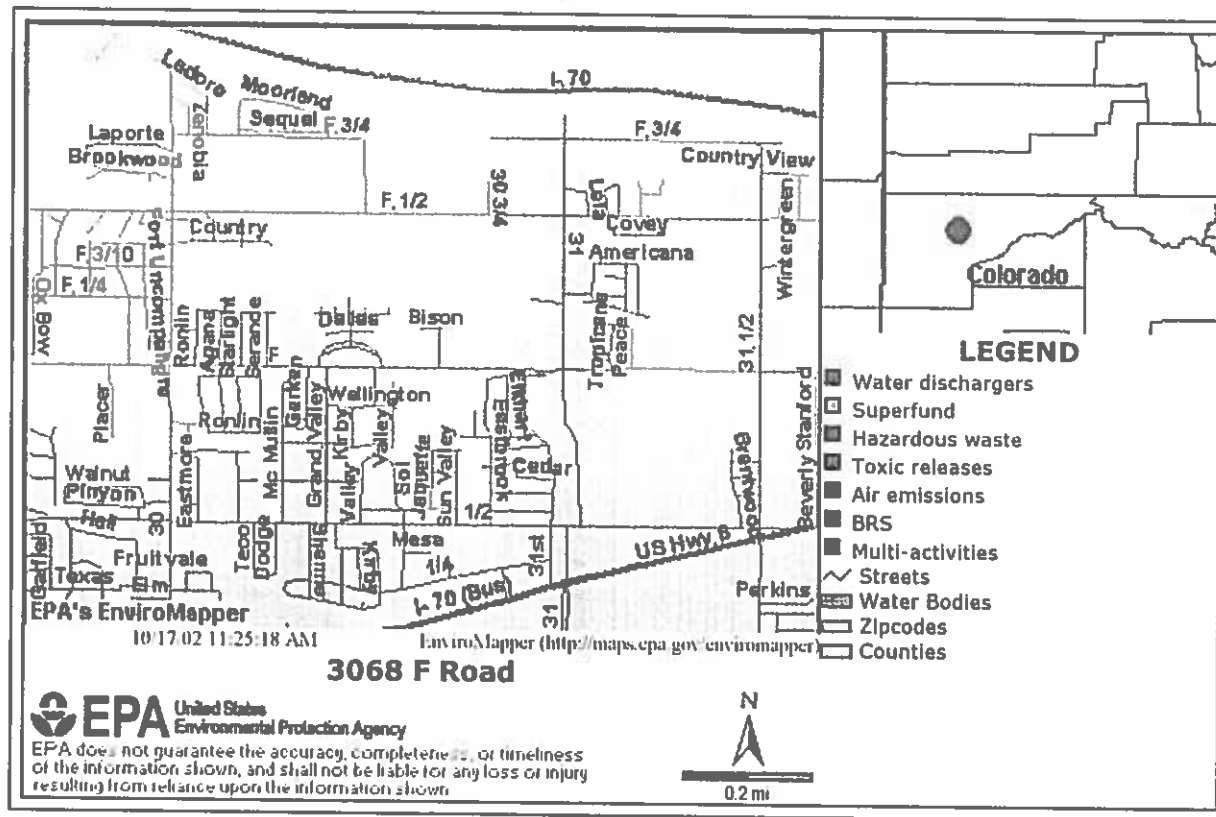
Mesa County Health Department  
515 Paterson  
Grand Junction, Colorado 81501  
(303) 248-6960

Mesa State Tomlinson Library  
1200 College Place  
Grand Junction, Colorado (970) 248-1244

Mesa County Assessor's Office  
Mesa County Surveyor's Office  
Box 20000  
Grand Junction, Colorado 81502-5003  
(970) 244-1610

Mesa County Public Library  
Main Branch  
530 Grand Avenue  
Grand Junction, CO (970) 243-4442

**APPENDIX B**  
**AGENCY CORRESPONDENCE**



**COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT**  
Hazardous Materials and Waste Management Division  
222 S. 6th St., Rm 232, Grand Junction CO 81501-2768  
(970)-248-7164

Page 1 of 1

Date: 10/17/02

**Mill Tailings Report for**

**Address:** 03068 F RD  
2943-044-00-130  
Grand Junction, Mesa County, Colorado

Location No.: 12946

**Requested By:** STOCKTON BOB  
WALSH ENVIRONMENTAL

**ORIGINAL SURVEY/SCREENING INFORMATION**

8/1/71 Date of survey (or screening form date)

Occupant: WISEMAN OK

Owner: WISEMAN OK

Tailings Use Tailings are Indicated Greater Than 10 Feet Away From the Structure

Comment: T BY CLOTHES LINE POLE+HAY STCK

**Uranium Mill Tailings Remedial Action Program (UMTRAP)**

12/31/91 Date Excluded from the Program. For further information regarding the exclusion, contact John Elmer at Mactec-ers at 248-6356

COLORADO DEPARTMENT OF HEALTH

OFFICIAL SURVEY REPORT

Property Address 125 Franklin St  
Property Owner John Nelson  
Owner Address (if different than above) \_\_\_\_\_  
Date of Report 12-1-51

I.  No indication of uranium mill tailings has been found on this property. See Item III below.

Uranium Mill tailings are indicated to be on this property and are located:

- In yard only (by clothesline pole + hay stack)
- under or around garage or patio only
- under or around the house
- under or around the house and in yard
- under or around the building (business, church, etc.)

II. RESULTS OF THE RADIATION SURVEY IN THE STRUCTURE INDICATE:

Average gamma radiation exposure rate of \_\_\_\_\_ mR/hr. This compares with the Surgeon General's recommendation for corrective action at 0.05 mR/hr.

Average radon daughter concentration of \_\_\_\_\_ WL. This compares with the Surgeon General's recommendation for corrective action at 0.010 WL.

or

The presence of uranium tailings under occupied areas necessitating corrective action.

III. RECOMMENDATION:

You are advised to remove tailings if feasible or take other means of corrective action to reduce the radiation exposure.

Location of identified tailings and radiation levels do not warrant immediate action. However, if use of the identified area is changed in the future, removal if feasible by other corrective action or control should be considered.

Recommendations will be provided to you when measurements of radon daughter concentration have been completed.

Other radiation sources (non-tailings) have been identified on your property, such as instrument dials, ore samples, etc. Removal is suggested, if practical.

# 12 176

107

We are pleased to report to you that no indication of uranium mill tailings was found either under or against the structure in our survey of your property.

We would like, however, to inform you that tailings have been located on your property as indicated on the attached survey report. This location does not present any problem of radiation exposure to you at this time. If, at a later date, construction is considered over the indicated area, we recommend corrective action be considered.

Our survey in Grand Junction is continuing. Because of the time-consuming nature of this evaluation, we are not able to notify all property owners simultaneously of our findings. Thus, some of your friends and neighbors whose homes we have evaluated may not receive notification letters, indicating either the presence or absence of tailings, for some months.

We appreciate your cooperation in this survey. If you have any questions, please feel free to call our Grand Junction office at 243-7830.

Sincerely,

*Roy L. Cleere*

Roy L. Cleere, M.D., M.P.H.  
Executive Director

July 15, 2001

Mr. Drew Reekie  
Environmental Specialist  
City of Grand Junction Fire Department  
330 S. 6th Street  
Grand Junction, Colorado 81501

Re: Environmental Transaction Screen  
3068 F Road  
WALSH Project Number 5078-010

Dear Mr. Reekie:

Walsh Environmental Scientists and Engineers, LLC (WALSH) is conducting an Environmental Transaction Screen (ETS) for Vista Engineering of Grand Junction, Colorado. The property is located at 3068 F Road and the legal description is included in parcel number 2943-044-00-130. The property is currently agricultural and residential land. I would appreciate it if you would research your records for any indications of hazardous materials, incidents/spills, or fires at this property.

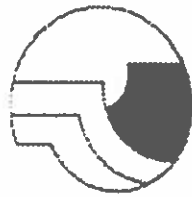
Thanks for your assistance in this matter. If you have any questions, please don't hesitate to contact me at (970) 241-4636.

Sincerely,



Robert A. Stockton  
Environmental Scientist

Copy to: files



# Mesa County

## Property Search Results *(Continued)*

The Mesa County Assessor's Office makes every effort to collect and maintain accurate data. However, the Mesa County Assessor's Office is unable to warrant any of the information contained herein.

<b>Owner's Name:</b>	GOLLIHER, GRANT and JANE GOLLIHER
<b>Mailing Address:</b>	PO BOX 315 MORAN, WY 83013-0315
<b>Parcel Identifier:</b>	2943-044-00-130
<b>Associated Par:</b>	
<b>Legal Description:</b>	E 12.5A OF SW4 SE4 SEC 4 1S 1E EXC E 248FT LYING S OFN LI PRICE DITCH SAID PARCEL DESC IN B-1019 P-747 +ALSO EXC S 50FT FOR CO ROAD
<b>Property Address:</b>	3068 F RD
<b>NeighborHood:</b>	Econ 30 M+B Nbhd 1
<b>Land Unit 1:</b>	
<b>Schedule Type:</b>	IRRIGATED LAND
<b>Units:</b>	6.31
<b>Unit Type:</b>	Acres
	<b>Building Characteristics</b> (Including Drawings and Information)

---

## Tax Information



Select one and then click on an area of the map

Zoom In Zoom Out Pan Identify Parcel Refresh

**Incorporated Areas**  
Select Items to Draw:

- Roads
- Road Names
- BLM Lands
- State Lands
- Parcel Lines
- Township
- Sections

New Search

Enter a Parcel Number to view detailed information

**Parcel Number:**  
**Address:**



# DEVELOPMENT APPLICATION

Community Development Dept  
280 North 5th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

<input type="checkbox"/> Subdivision Plat/Plan - Simple	<input type="checkbox"/> Site Plan Review - Major	<input type="checkbox"/> Concept Plan
<input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary	<input type="checkbox"/> Site Plan Review - Minor	<input type="checkbox"/> Minor Change
<input type="checkbox"/> Subdivision Plat/Plan - Major Final	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Planned Development - ODP	<input type="checkbox"/> Vacation, Right-of-Way	<input type="checkbox"/> Revocable Permit
<input type="checkbox"/> Planned Development - Preliminary	<input type="checkbox"/> Vacation, Easement	<input type="checkbox"/> Variance
<input type="checkbox"/> Planned Development - Final	<input type="checkbox"/> Extension of Time	
<input checked="" type="checkbox"/> Annexation/Zone of Annexation	<input type="checkbox"/> Rezone	<input type="checkbox"/> Growth Plan Amendment

From: CO RSE-4 From: \_\_\_\_\_ From: \_\_\_\_\_  
To: CITY To: \_\_\_\_\_ To: \_\_\_\_\_

Site Location: 3068 F Road

Site Tax No.(s): <u>2943-044-00-130</u>	Site Acreage/Square footage:	Site Zoning:
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Project Description:

Grant Gollither Jane Gollither	Darter, LLC	Vista Engineering Corp.
Property Owner Name	Developer Name	Representative Name
P.O. Box 315	786 Valley Court	2777 Crossroads Blvd.
Address	Address	Address
Moran, WY 83013-0315	Grand Jct., CO 81505	Grand Jct., CO 81506
City/State/Zip	City/State/Zip	City/State/Zip
Business Phone No.	(970) 523-5555	(970) 243-2242
	Business Phone No.	Business Phone No.
E-Mail		banner@wic.net
	E-Mail	E-Mail
Fax Number	523-0103	(970) 243-3810
307 543-2015	Fax Number	Fax Number
Contact Person	Bob Fuller	David Chase
	Contact Person	Contact Person
Contact Phone No.		(970) 243-2242, ext. 202
	Contact Phone No.	Contact Phone No.

Note Legal property owner is owner of record on date of submittal. We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

David Chase Vista Engineering 10-10-02  
Jane Gollither jane.gollither 10-4-02  
Signature of Person Completing Application Date

Jane Gollither jane.gollither 10-4-02  
Required Signature of Legal Property Owner(s) - attach additional sheets if necessary Date

**APPENDIX C**

**TRANSACTION SCREEN QUESTIONNAIRE**

**WALSH ENVIRONMENTAL TRANSACTION SCREEN QUESTIONNAIRE** DATE: \_\_\_\_\_  
 (to be completed by Owner or Tenant of the Property)

Description of Site: Address including zip code and county.

**THIS QUESTIONNAIRE WAS COMPLETED BY:**

Name: Grant Golliver  
 Firm (Title): -  
 Address: PO Box 315 Moran, WY 83013  
 Phone No.: (307) 543-2015

QUESTION	OWNER	OCCUPANT (if applicable)	Observed During Site Visit	Notes/Comments
1. Is the Property or any Adjoining Property used for any industrial use?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
2. To the best of your knowledge, has the Property or any Adjoining Property been used for any industrial use in the past?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
3. Is the Property or any Adjoining Property used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
4. To the best of your knowledge, has the Property or any Adjoining Property been used as a gasoline station, motor repair facility, commercial printing facility, dry cleaners, photo developing laboratory, junkyard or landfill, or as a waste treatment, storage, disposal, processing, or recycling facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	
5. Are there currently, or to the best of your knowledge have there been previously, any damaged or discarded automotive or industrial batteries, pesticides, paints, or other chemicals in individual containers of greater than 5 gallons in volume or 50 gallons in the aggregate, stored on or used at the Property or at the facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No <input checked="" type="radio"/> Unknown <input type="radio"/>	

QUESTION	OWNER	OCCUPANT (if applicable)	Observed During Site Visit	Notes/Comments
6. Are there currently, or to the best of your knowledge have been previously, any industrial drums (typically 55-gallon) or sacks of chemicals located on the Property or at the facility?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No Unknown	One empty 55-gallon drum near building, looks like it was used for... small amount of soil waste during... ... ... ...
7. Has Fill Dirt been brought onto the Property which originated from a contaminated site or which is of an unknown origin?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No Unknown	...
8. Are there currently, or to the best of your knowledge have there been previously, any pits, ponds, or lagoons located on the Property in connection with waste treatment or waste disposal?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...
9. Is there currently, or to the best of your knowledge has there been previously, any stained soil on the Property?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No Unknown	... ... ... ...
10. Are there currently, or to the best of your knowledge have there been previously, any registered or unregistered storage tanks (above or underground) located on the Property?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...
11. Are there currently, or to the best of your knowledge have there been previously, any vent pipes, fill pipes, or access ways indicating a fill pipe protruding from the ground on the Property or adjacent to any structure located on the Property?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...
12. Are there currently, or to the best of your knowledge have there been previously, any flooring, drains, or walls located within the facility that are stained by substances other than water or are emitting foul odors?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...
13. If the Property is served by a private well or non-public water system, have contaminants been identified in the well or system that exceed guidelines applicable to the water system or has the well been designated as contaminated by any government environmental/ health agency?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes No <input checked="" type="radio"/> Unknown <input type="radio"/>	...
14. Does the Owner or Occupant of the Property have any knowledge of environmental liens or governmental notification relating to past or current violations of environmental laws with respect to the Property or any facility located on the Property?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...
15. Has the Owner or Occupant of the Property been informed of the past or current existence of hazardous substances or petroleum products or environmental violations with respect to the Property or any facility located on the Property?	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	Yes No Unknown	Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/>	...

QUESTION	OWNER			OCCUPANT (if applicable)			Observed During Site Visit			Notes/Comments
16. Does the Owner or Occupant of the Property have any knowledge of any environmental site assessment of the Property or facility that indicates the presence of hazardous substances or petroleum products on, or contamination of, the Property or recommended further assessment of the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
17. Does the Owner or Occupant of the Property know of any past, threatened, or pending lawsuits or administrative proceedings concerning a release or threatened release of any hazardous substance or petroleum products involving the Property by any Owner or Occupant of the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
18. Does the Property, or land adjacent to the property, discharge wastewater other than storm water or into a sanitary sewer system?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
19. To the best of your knowledge, have any hazardous substances or petroleum products, unidentified waste materials, tires, automotive or industrial batteries, or any other waste materials been dumped above grade, buried, and/or burned on the Property?	Yes	<input checked="" type="radio"/> No	Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
20. Is there a transformer, capacitor, or any hydraulic equipment for which there are any records indicating the presence of PCBs?	Yes	No	<input checked="" type="radio"/> Unknown	Yes	No	Unknown	Yes	<input checked="" type="radio"/> No	Unknown	
21. If there are transformers or hydraulic equipment, have they ever leaked onto the Property or adjacent properties?	Yes	No	<input checked="" type="radio"/> Unknown	Yes	No	Unknown	Yes	No	<input checked="" type="radio"/> Unknown	

Copies of the completed questionnaire have been mailed or delivered to:

Included in WALSH report # 5078-010

Preparer represents that to the best of the preparer's knowledge, the above statements and facts are true and correct and to the best of the preparer's actual knowledge no material facts have been suppressed or misstated.

Signature: R/S FOR: GRANT Golliver Date: 10/21/2002

## **APPENDIX D**

# **QUALIFICATIONS OF REPORT PREPARERS**

## **CORPORATE CREDENTIALS**

Walsh Environmental Scientists and Engineers, Inc. (WALSH) is a full-service, multi-disciplinary environmental consulting firm providing environmental and analytical services nationwide. Founded in 1979 by James P. Walsh, the firm presently employs more than 60 scientists and engineers, including professionals with Masters Degrees and Ph.D. Degrees. With three offices in two states, WALSH has established a reputation for quality and innovation by successfully completing complex environmental projects.

WALSH consists of a diverse group of highly-qualified and experienced professional personnel with advanced expertise in environmental engineering, geology, geochemistry, analytical chemistry, hydrology, soil science, water science, industrial hygiene and safety, and computer technology.

With more than 1,000 satisfied clients in 21 states, and 30 foreign nations, from small business owners to major oil companies, WALSH emphasizes personalized service provided by a highly motivated senior professional staff.

### **Environmental Science and Engineering**

WALSH is dedicated to accurately assessing and resolving complex environmental problems in an efficient and cost-effective manner. Our practical approach to managing the application of remediation technologies maximizes the company's ability to accomplish the goals of its clients.

The company's environmental services include:

- Phase I and Phase II Environmental Site Assessments
- "Superfund" and Hazardous Waste Site Investigations
- Underground Storage Tank Removal and Remediation
- Soil Boring, Logging, and Sampling
- Installation of Ground-Water Monitoring Systems
- Ground-Water and Surface Water Sampling
- Laboratory Testing of Soil and Ground-Water Samples
- Contaminant Characterization
- Solid Waste Landfill Permitting and Closure
- Computer Modeling of Environmental Systems
- Environmental Impact Assessments/Statements
- Expert Witness and Litigation Support



#### KEY EXPERTISE

- ✓ Environmental Site Assessments
- ✓ Soil, Ground-Water, and Asbestos Investigations and Remediation
- ✓ Industrial Hygiene
- ✓ Hazardous Waste Handling and Disposal
- ✓ Permitting

#### EDUCATION AND CERTIFICATIONS

M.A., Geology and Environmental Sciences  
B.A., Environmental Engineering  
Certified Hazardous Materials Manager (IHMM)  
Certified Asbestos Inspector  
Certified Professional Geologist #8861  
Wyoming Registered Professional Geologist #3325  
Colorado Oil & Public Safety Reg. Cons. #5078  
OSHA 40-hour Supervisor

#### EXPERIENCE SUMMARY

Mr. Baltzer has 21 years of professional experience including 10 as a soil geologist and Quaternary tectonics specialist, and 11 as an environmental consultant. He has performed environmental and geologic investigations on hundreds of sites, has prepared written reports for most of these, and has delivered oral presentations on several dozen projects. In addition, Mr. Baltzer has been a guest and substitute lecturer for the Mesa State College Environmental Restoration Program since 1993.

airborne lead, dust, sulfuric acid, radon, mold, VOCs, asbestos and other agents. He also has performed exhaust gas measurements at manufacturing facilities.

#### KEY PROJECTS

*Environmental Site Assessments.* Mr. Baltzer has produced over 200 ESAs on industrial, multi-family, retail, warehouse, vacant, and other properties.

These ESAs, which follow the American Standards for Testing and Materials guideline, have revealed hidden contamination of various types. He performs level two site assessments and accurately quantifies environmental contamination.

*Voluntary Cleanup.* Mr. Baltzer has cleaned up abandoned mines, spill sites, and a salvage yard under Colorado's Voluntary Cleanup Program (VCUP). The VCUPs defined remediation that was cost-effective, thorough, and approved by the State and EPA.

#### *Hazardous and Special Waste Management.*

Mr. Baltzer arranges and ensures proper remediation, handling, and disposal of hazardous wastes. Waste removal projects have included wastes of unknown origin and content.

*Permitting.* Mr. Baltzer has prepared environmental permits for storm water discharge, dewatering, demolition, mine reclamation, and landfills.

*Asbestos Inspections.* Mr. Baltzer has performed dozens of asbestos inspections of structures strictly following state and AHERA protocols. He has managed all types of asbestos-containing materials, focusing on identifying hazards, yet eliminating some suspect materials from abatement. Mr. Baltzer has worked with CDPHE to minimize abatement costs, and made recommendations for handling asbestos-containing materials resulting in substantial cost savings for his clients.

*Other Environmental Projects.* Other projects Mr. Baltzer has performed involve the application of environmental regulations, geologic site investigations, groundwater monitoring, and remote sensing interpretations. He also conducts subsurface investigations using exploratory excavations, drilling, and geophysical techniques; and has operated and maintained groundwater and soil remediation facilities. He performs asbestos inspections and is an industrial hygienist. He designs and installs radon mitigation systems. He has operated and maintained numerous remediation systems including soil vapor extraction, air stripping, and other technologies.

#### *Industrial Hygiene and Health and Safety.*

Mr. Baltzer has performed numerous health and safety functions. In addition to preparing dozens of site-specific Health and Safety Plans, he has performed or managed health and safety projects. He performed a sound survey at an UMTRA disposal cell, and performs air-monitoring studies using personal and ambient air monitors. These tests have measured

#### EMPLOYMENT HISTORY

District Manager, WALSH, 1993-present;  
Environmental Scientist 1991-1993  
Engineer, Enpro Consulting Group, Inc., 1990-1991  
Geologist, State University of New York, 1988-1990  
Geologist, Michael W. West and Assoc., 1986-1988  
Geologist, U.S. Bureau of Reclamation, 1981-1985

#### PROFESSIONAL ASSOCIATIONS

American Institute for Professional Geologists  
(AIPG) Associate Editor  
Vice Chair, Mesa County Local Emergency Planning  
Committee  
Member, Mesa State College Environmental  
Restoration Education Advisory Committee

#### KEY EXPERTISE

- ✓ Remediation Systems Installation
- ✓ Soil, Ground-Water Investigations and Remediation
- ✓ Data Collection and Interpretation
- ✓ Environmental Site Assessments

#### EDUCATION AND CERTIFICATIONS

B.S., Environmental Restoration and Hazardous Waste Management, Mesa State College, 2000  
OSHA Health and Safety Training

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#### EXPERIENCE SUMMARY

Mr. Stockton has eighteen months of experience as an environmental consultant. He can perform all phases of environmental site investigations, remediation, and waste disposal. He has installed remediation wells and systems for the clean up of petroleum products. In addition, he has overseen subcontractors for the completion of various remediation and monitoring projects. He has supervised and managed the environmental, health, and safety issues during a petroleum remediation project.

Mr. Stockton's primary responsibility at WALSH is the installation of a complex air sparge-soil vapor extraction system for the remediation of petroleum products in soil and ground water.

#### Key Projects

*Environmental Site Remediations.* Mr. Stockton is installing an air sparging and soil vapor extraction system for the remediation of petroleum contaminated soil and groundwater in a high profile location. He has also assisted on another petroleum contaminated site with the maintenance and operation of a soil vapor extraction and thermal oxidation remediation system.

*Environmental Site Investigations.* Mr. Stockton has performed numerous environmental site investigations and remediation projects, including obtaining ground water, air, surface water, soil, and waste samples.

*Site Clean-up.* Mr. Stockton has supervised and managed the environmental, health, and safety issues during a hazardous spill project. Successful completion of the project required that Mr. Stockton determine transportation methods and determine proper testing and disposal practices for potentially-hazardous wastes.

Additional skills that Mr. Stockton posses include:

- surveying and mapping
- field documentation and instrumentation
- hazardous waste profiling and manifesting
- historical record searches
- data interpretation.

#### EMPLOYMENT HISTORY

WALSH, May 2000 to present.  
Office Depot, June 1998 to January 2000.  
Sprint Express, 1993 to 1998.  
US Army, 1987 to 1993.

Kori

Pam Fults  
434-9675

Please call  
when you have  
received revised  
plans for  
Surprise Acres  
subdivision

Thanks



# DEVELOPMENT APPLICATION

Community Development Dept  
250 North 6th Street  
Grand Junction CO 81501  
(970) 244-1430

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do hereby petition this:

**Petition for (check all appropriate boxes):**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Subdivision Plat/Plan - Simple                       | <input type="checkbox"/> Site Plan Review - Major | <input type="checkbox"/> Concept Plan          |
| <input checked="" type="checkbox"/> Subdivision Plat/Plan - Major Preliminary | <input type="checkbox"/> Site Plan Review - Minor | <input type="checkbox"/> Minor Change          |
| <input type="checkbox"/> Subdivision Plat/Plan - Major Final                  | <input type="checkbox"/> Conditional Use Permit   | <input type="checkbox"/> Change of Use         |
| <input type="checkbox"/> Planned Development - ODP                            | <input type="checkbox"/> Vacation, Right-of-Way   | <input type="checkbox"/> Revocable Permit      |
| <input type="checkbox"/> Planned Development - Preliminary                    | <input type="checkbox"/> Vacation, Easement       | <input type="checkbox"/> Variance              |
| <input type="checkbox"/> Planned Development - Final                          | <input type="checkbox"/> Extension of Time        |  |
| <input checked="" type="checkbox"/> Annexation/Zone of Annexation             | <input checked="" type="checkbox"/> Rezone        | <input type="checkbox"/> Growth Plan Amendment |
- From: \_\_\_\_\_ County From: RSF-4 From: \_\_\_\_\_  
To: \_\_\_\_\_ To: City RSF-4 To: \_\_\_\_\_

**Site Location:**

3068 F Road

**Site Tax No.(s):**

2943-044-00-130

**Site Acreage/Square footage:**

6.288 AC. +/-

**Site Zoning:**

Rezone to City RSF-4

**Project Description:**

20 Single-family lots

CPS Enterprises, LLC

Property Owner Name

CPS Enterprises, LLC

Developer Name

Vista Engineering, Corp.

Representative Name

P.O. Box 561

Address

P.O. Box 561

Address

2777 Crossroads Blvd.

Address

Telluride, CO 81435

City/State/Zip

Telluride, CO 81435

City/State/Zip

Grand Jct., CO 81506

City/State/Zip

(970) 728-9909

Business Phone No.

(970) 728-9909

Business Phone No.

(970) 243-2242

Business Phone No.

jhconst@rmi.net

E-Mail

jhconst@rmi.net

E-Mail

banner@wic.net

E-Mail

(970) 728-9865

Fax Number

(970) 728-9865

Fax Number

(970) 243-3810

Fax Number

James Hughes

Contact Person

James Hughes

Contact Person

Patrick O'Connor

Contact Person

(970) 728-9909

Contact Phone No.

(970) 728-9909

Contact Phone No.

(970) 243-2242, ex. 204

Contact Phone No.

**Note** Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing Application

Date

Required Signature of Legal Property Owner(s) - attach additional sheets if necessary

4-23-03

CITY OF GRAND JUNCTION  
COMMUNITY DEVELOP  
250 NORTH 5TH STREET  
GRAND JUNCTION, CO 81501

VISTA ENGINEERING, CORP.  
PATRICK O'CONNOR  
2777 CROSSROADS BLVD  
GRAND JUNCTION, CO 81506

DIANA L WHALEN  
AMY J LAMBERT  
3061 F 1/2 RD  
GRAND JUNCTION, CO 81504-5546

GENE W BABEL  
AUDREY B BABEL  
601 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

JAMES R BOWE  
607 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

WESLEY J BARCUS  
KAREN A BARCUS & B A  
613 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

JOAN HALEY  
602 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

RODNEY A DURAN  
SANDRA K DURAN  
608 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

SHAWN PAUL MOORE  
NADYA A  
614 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

JAMES O DIDIER  
PAULA L LYNCH  
3077 F 1/2 RD  
GRAND JUNCTION, CO 81504-5546

CITY OF GRAND JUNCTION  
WENDY - COMM DEV  
250 NORTH 5TH STREET  
GRAND JUNCTION, CO 81501

MAX STERLING  
3064 F RD  
GRAND JUNCTION, CO 81504-4210

RICHARD W FULTS  
3066 F RD  
GRAND JUNCTION, CO 81504-4210

DANIEL A SITES  
JANELL M SITES  
603 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

BISON HOLDING TRUST % D  
CARPA  
4401 CONNECTICUT AVE NW LBBY  
A  
WASHINGTON, DC 20008-2358

JERRY C MORGAN  
KATHRYN D  
615 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

LEONARD I TURNER  
RUTH E  
604 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

ELSIE E SPEER  
610 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

ARTHUR D EDWARDS  
MARGARET E EDWARDS  
616 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

MARY T CARTER  
JAMES J CARTER JR  
630 NOBLE CT  
GRAND JUNCTION, CO 81504-6987

CPS ENTERPRISES, LLC  
JAMES HUGHES  
P.O. BOX 561  
TELLURIDE, CO 81435

GRANT GOLLIHER  
JANE GOLLIHER  
PO BOX 315  
MORAN, WY 83013-0315

MESA COUNTY VALLEY SCHOOL  
DIST  
2115 GRAND AVE  
GRAND JUNCTION, CO 81501-8007

ORVILLE A TRAVIS  
VERLA E  
605 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5522

ROGER AMES  
LADONNA AMES  
3072 BISON AVE  
GRAND JUNCTION, CO 81504-4237

ALVA L DOTSON  
DELLA A  
617 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5547

RONALD D STANFIELD  
VALERIE B STANFIELD  
606 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5523

JERRY L MILLER  
JOANN H  
612 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

ERIC TODD PETERSEN  
618 LODGE POLE ST  
GRAND JUNCTION, CO 81504-5548

REZA A SHAHNOOSHI  
TRUDI L HOFFMAN  
628 NOBLE CT  
GRAND JUNCTION, CO 81504-6987

DONALD R ALLERHEILIGEN  
JUDITH HUMPHRIES ALL  
3061 NOBLE CT  
GRAND JUNCTION, CO 81504

DIANE F CARLSON  
3059 NOBLE CT  
GRAND JUNCTION, CO 81504-6983

JOE L DAVIS  
ELIZABETH J DAVIS  
602 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

ROBERT E GANT  
PEARL E GANT -TRUSTE  
PO BOX 57  
GRAND JUNCTION, CO 81502-0057

CARL M KERNS  
ROSITA M KERNS  
606 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

PATRICIA M BRADSHAW  
HERBERT J PAVLISICK  
658 E PAGOSA DR  
GRAND JUNCTION, CO 81506-6015

ELLEN LAVERNE PENBERTHY  
610 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

ROBERT R JENKINS  
GLADYS L JENKINS  
612 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

KATHLEEN R MCGIRR  
MAUREEN K BEYER  
614 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

VERA WELLS  
616 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

BEATRICE KAYDEN  
MICHAEL L & DEBRA K  
618 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

RITA D'AMICO  
LIVING TRUST  
618 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

BRUCE J MERTES  
LILLIAN A & G MERTES  
620 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

ROBERTS FAMILY TRUST  
620 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

BETTY LOU GOWING  
622 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

FRANK M WALLACE  
LA VERA R WALLACE  
622 1/2 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

LOIS M WILLIAMS  
624 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

ALAN GILLIDETTE  
PATRICIA A GILLIDETT  
2873 KATHY JO LN  
GRAND JUNCTION, CO 81503-2976

ALBERT M STASSEN  
MARITA J STASSEN  
3193 F 1/2 RD  
GRAND JUNCTION, CO 81504-4018

MARGIE L KIRKHUFF  
REV TR & D V KIRKHUF  
615 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4235

LESLIE E SPROD  
SUE ANN & ANGELA J S  
617 SHADOW BROOK DR  
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URQUHART REVOCABLE TRUST  
619 SHADOW BROOK DR  
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DUANE E REICH  
PATRICIA L REICH  
621 SHADOW BROOK DR  
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SHAWN S HILL  
KJERSTIN C HILL  
601 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4369

MELISSA RAE WYMAN  
601 1/2 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4369

RICHARD R WILLIAMS  
AUDRA WILLIAMS  
603 1/2 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4369

DOMENIC DISCUILLO  
603 COTTAGE MEADOWS CT  
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WISEMAN FAMILY TRUST  
605 COTTAGE MEADOWS CT  
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SEAN P MCGINLEY  
NATASHA J CADEZ-MCGI  
607 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4369

LISA ANN NASSOUR  
609 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4370

LONNIE L GIROUX  
609 1/2 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4370

DAVID M CHEATHEAM  
STEPHANIE D CHEATHEA  
611 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4370

THOMAS E KASHAWLIC  
LAURA L KASHAWLIC  
601 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

PATRICIA A SANDEFUR  
LIVING TRUST  
603 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

CAMERON D PATERSON  
DONNA L PATERSON  
605 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

ROBERT P WIGENT  
BEATRICE A WIGENT  
607 SHADOW BROOK DR  
GRAND JUNCTION, CO 81504-4257

LLOYD A GREVE  
JOHNNIE G GREVE FAMI  
609 SHADOW BROOK DR  
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JAMES T LOGUE  
VIVIAN J LOGUE  
611 SHADOW BROOK DR  
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JULIUS F HOEFLING  
MOBY F HOEFLING  
3080 BISON AVE  
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BERNARD M HOWARTH  
3083 BLUE QUAIL CT  
GRAND JUNCTION, CO 81504-4238

GREAT REAL ESTATE INC  
3032 I-70 BUSINESS LOOP  
GRAND JUNCTION, CO 81504-5722

BING F LEE  
TERI L LEE  
3082 BLUE QUAIL CT  
GRAND JUNCTION, CO 81504-4238

RON L CHOATE  
ROSS M CHOATE  
3084 BLUE QUAIL CT  
GRAND JUNCTION, CO 81504-4238

THOMAS B HENDRICKS  
EDYTHE M HENDRICKS  
604 COTTAGE MEADOWS CT  
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606 COTTAGE MEADOWS CT  
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SHIRLEY ANN CROCKER  
3076 SHADOW BROOK CT  
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LORETTA JEANE ADAMS  
3078 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

ROBERT SNYDER  
ADA M SNYDER  
3080 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

ALFRED M ROOT  
BEVERLY J ROOT  
3082 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

FLORENCE BALBIER  
3084 SHADOW BROOK CT  
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CHARLES D THIRLWALL  
3086 SHADOW BROOK CT  
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CAROL ANN LAMBERT  
3085 SHADOW BROOK CT  
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3083 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

JOHNSON FAMILY TRUST  
% R W & R J JOHNSON-  
3081 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

DENTON A DOVE  
MARY V DOVE  
3079 SHADOW BROOK CT  
GRAND JUNCTION, CO 81504-4259

EMMA J VAGNEUR  
3077 SHADOW BROOK CT  
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613 COTTAGE MEADOWS CT  
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596 E VALLEY CT  
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LINDA L LOVISONNE  
594 E VALLEY CT  
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**GRAND JUNCTION  
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GEOTECHNICAL ENGINEERS – GEOLOGISTS

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October 11, 2002

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Darter, LLC  
786 Valley Ct.  
Grand Junction, CO 81505

Re: Subsurface Soils Exploration  
Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

Project Description: This report presents the results of our geotechnical evaluation performed to determine the general subsurface conditions of the site applicable to construction of a small residential subdivision containing approximately 18 lots. A vicinity map is included in the Appendix of this report.

We understand that the proposed structures will probably consist of single story and possibly two story, framed structures with the possibility of half basement with concrete floor slabs on grade and crawl space or slab on grade type construction. Grand Junction Lincoln DeVore has not seen a full set of building plans, but structures of this type typically develop wall loads on the order of 600 to 2000 plf and column loads on the order of 4 to 15 kips.

The characteristics of the subsurface materials encountered were evaluated with regard to the type of construction described above. Recommendations are included herein to match the described construction to the soil characteristics found. The information contained herein may or may not be valid for other purposes. If the proposed site use is changed or types of construction proposed, other than noted herein, Grand Junction Lincoln DeVore should be contacted to determine if the information in this report can be used for the new construction without further field evaluations.

Project Scope: The purpose of our exploration was to evaluate the surface and subsurface soil and geologic conditions of the site and, based on the conditions encountered, to provide recommendations pertaining to the geotechnical aspects of the site development as previously described. The conclusions and recommendations included herein are based on an analysis of the data obtained from our field explorations, laboratory testing program, and on our experience with similar soil and geologic conditions in the area.

Field Exploration and Laboratory Testing: A field evaluation was performed on 9-24-02 and 9-25-02, and consisted of a site reconnaissance by our geotechnical personnel and the drilling of 3 shallow exploration borings. These 3 exploration borings were drilled within the proposed building envelopes near the locations indicated on the Boring Location Plan. The exploration borings were located to obtain a reasonably good profile of the subsurface soil conditions. All exploration borings were drilled using a CME 45-B, truck mounted drill rig with continuous flight auger to depths of approximately 13 to 15 feet. Samples were taken with a standard split spoon sampler, thin-wall Shelby Tubes and by bulk methods. Logs describing the subsurface conditions are presented in the attached figures.

The following laboratory tests were performed on representative soil samples to determine their relative engineering properties.

- ASTM D-2487 Soil Classification
- ASTM D-2435 One Dimensional Consolidation
- ASTM D-4546 One Dimensional Swell or Settlement Potential for Cohesive Soils
- ASTM D-2937 In-Place Soil Density
- ASTM D-2216 Moisture Content of Soil
- ASTM D-2844 R-Value of Soils (Hveem-Carmany)

Darter, LLC

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Tests were performed in accordance with test methods of the American Society for Testing and Materials or other accepted standards. The results of our laboratory tests are included in this report. The in-place soil density, moisture content and the standard penetration test values are presented on the attached drilling logs.

This letter contains general recommendations for construction of a residential foundation, but is not a foundation design and cannot be used as such. Our conclusions and recommendations for this site are presented below.

Excavation Observation: Grand Junction Lincoln DeVore personnel should be contacted to observe the foundation soils after the excavation has been completed, and prior to placing forms or concrete. The purpose of this is to observe the type and condition of the foundation soils throughout the excavation. If the soils are found to differ from those encountered in our exploration borings or appear to be unstable, additional recommendations may be required, prior to construction of the foundations.

Soil Classification: The surface soils on this site consist of a series of silty clay and sandy clay soils which are a product of mud flow/debris flow features which originate on the south-facing slopes of the Bookcliffs. These mud flow/debris flow features are a small part of a very extensive mud flow/debris flow complex along the base of the Bookcliffs and extending to the Colorado River. Utilizing recent events and standard evaluation techniques, this tract is not considered to be within with an active debris flow hazard area.

The surface soils are an erosional product of the upper Mancos Shale and the Mount Garfield Formations which are exposed on the slopes of the Bookcliffs. The soils contained within these mud flow/debris flow features normally exhibit a metastable condition which can range from very slight to severe. Metastable soil is subject to internal collapse and is very sensitive to changes in the soil moisture content. Based on the field and laboratory testing of the soils on this site, the severity of the metastable soils can be described as slight to occasionally moderate.

The principle Soil Type encountered on this site was classified as a sandy silt (ML) under the Unified Classification System. These soils are actually very stratified, with some thin strata of silty sand, low plastic silt and very silty, sandy clay. The majority of these strata are less than 1/2 inch thick. The Standard Penetration Tests ranged from 26 blows per foot to less than 1 blow per 18 inches. Penetration tests of this magnitude indicate that the soil ranges from stiff to very soft and of medium to low density. The moisture content varied from 4.2% to 24.3%, indicating a damp to dry soil in the upper strata to a wet to saturated soil at and near the water table. This soil contains strata which are slightly plastic and the soil profile, as a whole, is sensitive to changes in moisture content. Some strata of these soils will tend to expand upon small moisture increases. Expansion/Consolidation tests using the Consolidation Apparatus, ASTM D-4546, Method C, were performed on relatively undisturbed samples of the soil, using slightly damp porous stones. Expansive pressures on the order of 420 psf, at constant volume were found to be typical, prior to sample inundation. With subsequent decreased moisture, these soils will tend to shrink, with some cracking upon desiccation. This material will also consolidate upon saturation or excessive loading. Upon test saturation, collapse of .05% to .5 % was measured, with 1.75% consolidation occurring at an applied load of 4100 psf. Upon further test loading, 2.94% consolidation occurred at an applied load of 8200 psf. If recommended bearing values are not exceeded, such settlement will remain within tolerable limits. The allowable maximum bearing value was found to be on the order of 4000 psf by the consolidation test. In our experience, we recommend that a maximum bearing value of 3000 psf be utilized, due to the possible presence of unstable soils when wet or saturated. A minimum dead load of 400 psf will be required.

These very stratified soils may be quite sensitive to excessive reworking or traffic loads during the construction phase if wetted. Such wetting may occur during periods of precipitation or may be the result of ground water conditions. These soils typically exhibit excessive 'pumping' during excavation or other periods of heavy or repeated construction traffic.

The thickness of these alluvial soils is believed to be in excess of 25 feet. These alluvial soils are underlain by the Mancos Shale Formation, which is considered to be bedrock in this area. Some thin deposits of sandy gravels and cobbles of the Ancient Colorado River Terrace have been encountered immediately beneath these fine grained alluvial soils and on top of the Mancos Shale. The presence of these coarse grained sandy gravels and cobbles has not been confirmed on this site.

Man-made Fill:

The soils encountered in our test borings appear to be native to the site. All building foundations must penetrate any man-made fills which are present at the site at this time, as well as any fills which result from the excavation process. Careful examination of the open excavation will be necessary to determine the presence or absence of man-made fills. The open excavation must be examined prior to the placement of concrete to establish that materials of proper design bearing capacity have been exposed and that no soft spots or debris are present in the foundation area. A 24 hour notice is required for all field examinations to enable Grand Junction Lincoln DeVore to schedule personnel and provide service when needed.

Soil Moisture Conditions:

A free water table came to equilibrium during drilling at 10 to 12 feet below the present ground surface in two of the exploration borings. This is probably very close to the true phreatic surface rather than a perched water table. In our opinion the subsurface water conditions shown are a permanent feature on this site. The depth to free water would be subject to fluctuation on this site depending upon external environmental effects.

Because of capillary rise, the soil zone within a few feet above the free water level identified in the borings will be quite wet. Pumping and rutting may occur during the excavation process, particularly if the bottom of the foundations are near the capillary fringe. Pumping is a temporary, quick condition caused by vibration of excavating equipment on the site. If pumping occurs, it can often be stopped by removal of the equipment and greater care exercised in the excavation process. In other cases, geotextile fabric layers can be designed or cobble sized material can be introduced into the bottom of the excavation and worked into the soft soils. Such a geotextile or cobble raft is designed to stabilize the bottom of the excavation and to provide a firm base for equipment.

Our experience in this area of the Fruitvale indicates the free water surface may rise to a seasonal level of 5 to 10 feet below the present ground surface. Due to the relatively high rise of ground water, it is common in this area (and recommended) to minimize the depth of excavation for utilities, street improvements and foundations to 6 to 10 feet. **The use of basements is not recommended within this subdivision, however, half basement type construction may be feasible in portions of this subdivision.**

Foundation Type Recommended:

Assuming that some amount of differential movement can be tolerated, then a conventional shallow foundation system, underlain by up to 12 inches of structural fill (possible reworked native soils), placed in accordance with the recommendations contained within this report may be utilized. The foundation would consist of continuous spread footings beneath all bearing walls and isolated spread footings beneath all columns and other points of concentrated load. Such a shallow foundation system, resting on the properly constructed structural fill, may be designed on the basis of an allowable bearing capacity of 3000 psf maximum. A minimum bearing of 400 psf may be required.

Recommendations pertaining to balancing, reinforcing, drainage, and inspection are considered extremely important and must be followed. Contact stresses beneath all continuous walls should be balanced to within + or - 200 psf at all points. Isolated interior column footings should be designed for contact stresses of about 150 psf less than the average used to balance the continuous walls. The criteria for balancing will depend somewhat on the nature of the structure.

Single-story, slab-on-grade structures may be balanced on the basis of dead load only. Multi story structures may be balanced on the basis of dead load plus one half live load, for up to three stories.

If the design of the upper structure is such that loads can be balanced reasonably well or if minor amounts of differential settlement can be tolerated, a floating structural slab or raft type of foundation could be used on this site. If the slab is to be a floating structural slab, similar in appearance to the "monolithic" slab used in the Grand Junction area, the slab should be underlain by a minimum of 2 feet of structural fill, placed in accordance with recommendations contained in this report. Such a slab would require heavy reinforcing to resist differential bending. This structural slab, using the granular structural fill as part of the foundation system, could be designed assuming the top of the structural fill has a modulus of subgrade reaction of  $k=250$  pci. If large concentrated loads are located in the interior of this fill or if minor construction problems are encountered in the placement of the fill, the use of geosynthetic fabric or geogrid as part of the fill construction would significantly improve the performance of the fill and foundation system.

It is possible to design either the floating structural slab or the raft type of slab either as a solid or ribbed slab, but in either case a rimwall must be used for confinement. Any such slab must be specifically designed for the anticipated loading. Such a foundation system will settle to some degree as the softer, underlying soils consolidate, but differential movement is held to a minimum. Because the soils may settle in varying amounts, some minor cracking and heave are possible unless the slabs are specifically designed with the movement in mind.

Assuming that the low to medium density alluvial sandy silt soils are utilized for foundation bearing, the type of foundation system for individual sites in this subdivision will be dependent upon the individual building plans, structural loading and the amount of soil reworking/improvement which is undertaken. For sites in which the subgrade soils have been either reworked or over excavated, water conditioned/soaked and compacted under the supervision of a geotechnical engineer and will probably support relatively light weight residential structures, the Minimum House Foundation Standards of Mesa County will probably be adequate. Building plans which indicate that no large building loads, either distributed or concentrated, are present, are often times properly supported utilizing the Minimum House Foundation Standards. It is important the relevant tables of wall reactions, foundation wall loads and footings and piers must be used to size the foundation elements when the Minimum House Foundation Standards are utilized. It will be appropriate for a geotechnical engineer to evaluate the individual building sites either by site specific Subsurface Soils Exploration or possibly utilizing the results of an Open Excavation Observation.

Structural Fill/Soil Improvement:

For use in conjunction with a shallow foundation system, a structural fill may be recommended to replace the upper variable density soils. This structural fill may be placed in conjunction with structural fill beneath concrete slabs on grade. The existing native soils may require removed for a depth of 1 foot to 2 feet below the proposed bottom footing elevation, depending upon the site conditions and the foundation type. *The excavation/fill width is to extend at least 20 inches from the interior and exterior of the proposed foundation wall or bearing pad in contact with the fill.* Once it is felt that adequate soil removal has been achieved, it is recommended that the excavation be closely examined by a representative of Grand Junction Lincoln-DeVore to ensure that an adequate over excavation depth has indeed occurred and that the exposed soils are suitable to support the proposed structural man-made fill.

At the specific direction of the Geotechnical Engineer, it may be appropriate to extensively water soak the over-excavated portion of the site for at least 1 day, prior to the installation of any required perimeter drain and the structural fill. The purpose of this wetting or soaking is to provide initial settlement/collapse of the subgrade soils and to allow proper subgrade. This wetting or soaking must be controlled and not allowed to adversely affect nearby structures.

After any required soaking has been accomplished, the subgrade soils are to be mechanically compacted to a minimum of 86% of the soils maximum Modified Proctor dry density (ASTM D-1557) for a depth of at least 6 inches.

Once this examination has been completed, it is recommended that a coarse-grained, non-expansive, non-free draining man-made structural fill be imported to the site and placed on the properly prepared subgrade soils. Non-Expansive, Native soils may be utilized as structural fill, if specifically approved by the Geotechnical Engineer. The upper 6" to 12"(minimum) of the fill is to be a sandy gravel (minus 3/4" & GM/GW) or a gravelly sand (minus 3/4" & SM/SW). The structural fill should be placed in the overexcavated portion of this site in lifts not to exceed 6 inches after compaction. A minimum of 90% of the soils maximum Modified Proctor dry density (ASTM D-1557) must be maintained during the soil placement. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum moisture content  $\pm$  2%).

Very low expansive to non-expansive, native soils may be utilized as structural fill, if specifically approved by the Geotechnical Engineer. If these native soils have a slight expansive potential, the soils should be placed as structural fill in lifts not to exceed 6 inches after compaction. These soils must not be over compacted but, compacted wet of the soils 'optimum' moisture content. These soils should be placed at a minimum of 86% and a maximum of 92% of the soils maximum modified proctor dry density, ASTM D-1557. These soils must be placed at a moisture content conducive to the required compaction while being wet of the 'optimum' moisture content. These soils must be placed at 'optimum' moisture content or up to 4% over 'optimum' moisture content.

The granular material must be brought to the required density by mechanical means. No soaking, jetting or puddling techniques of any type should be used in placement of fill on this site. To confirm the quality of the compacted fill product, it is recommended that surface density tests be taken at maximum 2 foot vertical intervals.

It is recommended that any required perimeter drain be placed in the exterior portion of the structural fill, at the base of the fill, in order to prevent or at least minimize the collection of water in the soils and fill beneath the structure.

**Reinforcing:** All foundation stem walls should be designed as "grade beams" capable of spanning at least 10 feet. Where the foundation stem walls are relatively shallow in height, vertical reinforcing will not be necessary. However, in the walls retaining soil in excess of 4 feet in height, vertical reinforcing may be necessary to resist the lateral pressures (restrained case) of the soils along the wall exterior. To aid in designing such vertical reinforcing, an equivalent fluid pressure (E.F.P) on the order of 45 pcf would be appropriate for the native soils.

**Floor Slabs:** Non-Structural floor slabs on grade, if any, should be positively separated from all structural portions of this building and allowed to float freely. Frequent scoring (control joints) of the slabs should be provided to allow for possible shrinkage cracking of the slab. These control joints should be placed to provide maximum slab areas of approximately 200 to 360 square feet. Any man-made fill placed below floor slabs on grade should be compacted to a minimum of 90% of its maximum Modified Proctor dry density, ASTM D-1557. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum moisture content  $\pm$ 2%).

Due to the expansive nature of some strata of the underlying soils, the most desirable type of floor system to use at this site in an attempt to minimize any structural or cosmetic damage related to floor slab movement, would be a structural floor. It must be noted the slightly expansive strata are relatively dry and located in the upper portion of these soil profile. However, if it is decided to utilize a concrete slab on grade system, the following recommendations are made.

If the recommendations for structural fill in the foundation section of this report are followed beneath those areas requiring concrete slabs on grade, the majority of slight expansive properties will probably be mitigated. The use of 1 foot to 2 feet of structural fill beneath concrete slabs on grade is an acceptable mitigation.

If structural fill is not placed beneath concrete slabs on grade then, the magnitude of expansion measured of the soils on this site is such that some floor slab movement should be expected. Non-bearing partitions resting on slabs should be constructed with a minimum 1 ½ inch void space, preferably at the bottom, to allow for freedom of movement without affecting the roof or floor above (see attached suggested detail). All bearing partitions should have their own foundations. If this is a basement or multi-level type construction, stairways between floors should not be constructed as a rigid connection, but should allow for vertical movement of the floor slab. The partition wall void space is not intended to allow for all potential slab movement, but is intended to serve as an indicator of slab movement. The void space should be maintained for the life of the structure.

Where floor slabs are cast on expansive clay soils, no known method of construction will prevent all future slab movement. If the builder and future owner are willing to risk the possibility of some damage due to concrete floor slab movement, the recommendations contained herein should be carefully followed and can help minimize such damage. Any subsequent owner should be advised of the soil conditions and advised to maintain the surface and subsurface drainage, framing of partitions above floor slabs, drywall and finish work above floor slabs, etc.

Drainage and Grading:

Adequate site drainage should be provided in the foundation area both during and after construction to prevent the ponding of water and the wetting or saturation of the subsurface soils. We recommend that the ground surface around the structure be graded so that surface water will be carried quickly away from the building. The minimum gradient within 10 feet of the building will depend on surface landscaping. We recommend that paved areas maintain a minimum gradient of 2%, and that landscaped areas maintain a minimum gradient of 8%. It is further recommended that roof drain downspouts be carried at least 5 feet beyond all backfilled areas and discharged a minimum 10 feet away from the structure. **Proper discharge of roof drain downspouts may require the use of subsurface piping in some areas.** Under no circumstances should a 'dry well discharge' be used on this site, unless specifically sited by a Geotechnical Engineer. Planters, if any, should be so constructed that moisture is not allowed to seep into foundation areas or beneath slabs or pavements.

The existing drainage on the site must either be maintained carefully or improved. We recommend that water be drained away from structures as rapidly as possible and not be allowed to stand or pond near the building. We recommend that water removed from one building not be directed onto the backfill areas of adjacent buildings. We recommend that a hydrologist or drainage engineer experienced in this area be retained to complete a drainage plan for this site.

Should an automatic lawn irrigation system be used on this site, we recommend that the sprinkler heads, irrigation piping and valves be installed no less than 5 feet from the building. In addition, these heads should be adjusted so that spray from the system does not fall onto the walls of the building and that such water does not excessively wet the backfill soils.

It is recommended that lawn and landscaping irrigation be reasonably limited, so as to prevent undesirable saturation of subsurface soils or backfilled areas. Several methods of irrigation water control are possible, to include, but not limited to:

- \* Metering the Irrigation water.
- \* Sizing the irrigation distribution service piping to limit on-site water usage.
- \* Encourage efficient landscaping practices.

Darter, LLC

Subsurface Soils Exploration, Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

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- \* Enforcing reasonable limits on the size of high water usage landscaping for each lot and any park areas.
- \* Incorporating 'xeriscaping' landscaping and irrigation techniques.

A plastic membrane placed on any Crawlspace ground surfaces may retain/trap excessive amounts of water beneath the membrane. If future moisture problems develop or are anticipated, the Foundation Design Engineer or the Geotechnical Engineer may require that the membrane be partially or completely removed from the crawlspace area.

Provided all recommendations found herein pertaining to site surface drainage, grading and soil compaction are closely followed, a perimeter foundation drain would not be required for structures with the living area above the finished ground surface around the individual structure. For fully finished basements or half basements, the use of a perimeter foundation drain would significantly reduce potential moisture related problems which can arise from subsequent area development.

Backfill: To reduce settlement and aid in keeping water from reaching beneath this building, all backfill around this building should be mechanically compacted to a minimum of 90% of its maximum Modified Proctor dry density ASTM D-1557. The only exception to this would be the components of the perimeter foundation drain, if any. All backfill should be composed of the native soils and should not be placed by soaking, jetting or puddling. All backfill placed in utility trenches around this structure or below foundation walls should be mechanically compacted to a minimum of 90% of its maximum Modified Proctor dry density ASTM D-1557. These soils should be placed at a moisture content conducive to the required compaction (usually Proctor optimum content  $\pm 2\%$ ).

Cement Type: Type II, Type I-II or Type II-V cement is recommended for all concrete which is in contact with the soils on this site. Calcium chloride should not be added to a Type II, Type I-II or Type II-V cement under any circumstances.

Remarks: We recommend that the bottom of all foundation components rest a minimum of 1-1/2 feet below finished grade or as required by the local building codes. Foundation components must not be placed on frozen soils.

Structural slab-on-grade (Monolithic) foundation systems typically have an effective soil cover of less than 12 inches. Under normal use, the building and foundation system radiates sufficient heat that frost heave from the underlying soils is not normally a problem. However, additional protection can be provided by applying an insulation board to the exterior of the foundation and extending this board to approximately 18 inches below the final ground surface grade. This board may be applied either prior to or after the concrete is cast and it is very important that all areas of soil backfill be compacted. Local building officials should be consulted for regulatory frost protection depths.

Seismic Data: Utilizing the criteria of the 2000 International Building Code, Section 1615 and our interpretation of figures 1615(1) and 1615(2), Structures in Grand Junction and Clifton, Colorado should be designed with **Special Response Acceleration factors**,  $S_s=0.35$  &  $S_1 = 0.08$ . Based upon our analysis of the soils which are expected to be present beneath the building foundations, the **Site Classification** is **C**. These values can be used to determine the **Values of Site Coefficient,  $F_s$  &  $F_d$** , from Tables 1615.1.2(1) & 1615.1.1(2), to calculate  **$S_{ms}$ ,  $S_{m1}$ ,  $S_{ps}$  &  $S_{p1}$**  and to determine the **Seismic Design Categories** from Tables 1616.3(1) and 1616.3(2).

Pavements: Samples of the surficial native soils that may be required to support pavements have been evaluated using the Hveem-Carmany method (ASTM D-2844) to determine their support characteristics. The results of the laboratory testing are as follows:

AASHTO Classification - A-4(4) Unified Classification - ML, silt with thin sand and silty clay strata  
 Soil Type # 1

R	=	20
Expansion @ 300 psi	=	82 psf
Displacement @ 300 psi	=	4.75

Displacement values higher than 4.00 generally indicate the soil is unstable and may require confinement for proper performance.

Traffic Counts or anticipated volumes have not been provided to Grand Junction Lincoln DeVore. We have assumed an EAL=5 for the interior, Low Volume, Residential Streets.

The 1986/94 AASHTO design procedure, recognized by the Colorado Department of Transportation, with a design life of 30 years was used, with an annual growth rate of 3%. Based upon the existing topography, the anticipated final road grades and subsurface soils conditions encountered during the drilling program, a Drainage Factor of 0.8 (1986/94 AASHTO procedure) has been utilized for the section analysis.

**Calculated Pavement Sections**

18K EAL = 5 Low Volume Residential

AC	3" or 4"
ABC	4" or use 6"
Subbase	0" or 0"
	12" Compacted Subgrade

Full Depth	AC	4"
		12" Compacted Subgrade

**PAVEMENT SECTIONS, Possible Unstable Subgrade Soils**

*Very Minor Instability, Less than 2 inch Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" of aggregate base course ABC
- on Geotextile for separation and minor reinforcement (minimum Grab Strength of 120 lbs.)
- on Reworked, Compacted Subgrade Soil

*Minor Instability, 2 to 4 inches of Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" (minimum) of aggregate base course ABC
- on Geotextile or Biaxial Geogrid for reinforcement (req. If subbase/structural fill is rutting)
- on 12" of subbase/structural fill
- on Geotextile for separation and reinforcement (minimum Grab Strength of 180 lbs.)
- on Reworked, Compacted Subgrade Soil



*Moderately Severe Instability, Over 4 inches of Rutting during Proof Rolling*

- 3" asphaltic concrete AC
- on 6" (minimum) of aggregate base course ABC
- on Geotextile or Biaxial Geogrid for reinforcement  
(product use will depend on degree of instability)
- on 18" (minimum) of subbase/structural fill
- on Geotextile for separation and reinforcement (minimum Grab Strength of 180 lbs.)
- on Slightly Reworked, Leveled Subgrade Soil

The additional materials and effort expended in subgrade stabilization is to provide a construction platform, so the actual Road Section can be placed and compacted. The specific areas which will require placement of the Geotextile Fabric will depend on the actual conditions encountered during construction. The subgrade and road section construction should be monitored by representatives of the Geotechnical Engineer.

Geotextile Fabric for separation and minor reinforcement should be either a woven with a minimum Grab Strength of 180 lb., in the weakest direction (such as Amoco 2002 or Contech C-180 or Mirafi 500-X). If free water is encountered, Equivalent Reinforcement Strength ( minimum Grab Strength of 180 lb., in the weakest direction) can be obtained by using Amoco 4552 or Contech C-70NW or Mirafi 180N may be used for better constructability. In instances requiring only separation properties, a non-woven/needle punched Geotextile with a minimum Grab Strength of 120 lbs., in the weakest direction (such as Amoco 4506, Contech C-50NW or Mirafi 140N) may be utilized, even though it is a weaker fabric.

Biaxial Geogrid for reinforcement shall have a minimum Tensile strength @ 5% Strain of 550 lb/ft., in the weakest direction (such as Tensar BX 1100).

The imported structural Fill (Hveem-Carmany R>70 , swell not critical) is to be Granular, Medium to Coarse Grained, Very low plastic (PI<4), Non Freedraining, Compactable and within the following Gradation:

Maximum size, by screening	<u>8"</u>
Passing the #4 screen	20% - 85%
Passing the #40 screen	10% - 60%
Passing the #200 screen	3% - 15%

The maximum aggregates size may be exceeded if the contractor can provide evidence of proper compaction of the matrix material while avoiding excessive particle size segregation of the fill material or avoiding excessive overworking of the subgrade soils.

Imported Structural Fill and Aggregate Base Course (ABC) to be compacted to 90% of its maximum Modified Proctor dry density (ASTM-D-1557) at a moisture content within  $\pm 2\%$  of optimum moisture. The use of light weight tracked equipment will minimize subgrade degradation, vibratory compaction equipment is not recommended.

During the placement of any structural fill, it is recommended that a sufficient amount of field tests and observation be performed under the direction of the Geotechnical Engineer. The Geotechnical Engineer should determine the amount of observation time and field density tests required to determine substantial conformance with these recommendations.

Any areas of Fill or Subgrade instability encountered during construction are to be immediately brought to the attention of the Geotechnical Engineer, so recommendations for stabilization can be given.

The Subgrade Stabilization is normally considered effective if the imported structural fill materials are confined, if specified imported fill and specified asphalt densities are obtained and the final traffic surface is stable according to local practices. Some 'pumping and rolling' of the finish Base Course (ABC) surface is anticipated but, rutting should not occur.

## **PAVEMENT SECTION CONSTRUCTION**

### **FLEXIBLE PAVEMENT**

We recommend that the asphaltic concrete pavement meet the State of Colorado requirements for a Grade C mix. In addition, the asphaltic concrete pavement should be compacted to a minimum of 95% of its maximum Hveem density. The aggregate base coarse should meet the requirements of State of Colorado Class 5 or Class 6 material, and have a minimum R value of 78. We recommend that the base coarse be compacted to a minimum of 95% of its maximum Modified Proctor dry density (ASTM D-1557), at a moisture content within + or -2% of optimum moisture. The native subgrade shall be scarified and recompacted to a minimum of 90% of their maximum Modified Proctor day density (ASTM D-1557) at a moisture content within + or -2% of optimum moisture.

All pavement should be protected from moisture migrating beneath the pavement structure. If surface drainage is allowed to pond behind curbs, islands or other areas of the site and allowed to seep beneath pavement, premature deterioration or possibly pavement failure could result.

### **Limitations:**

This report is issued with the understanding that it is the responsibility of the owner, or his representative to ensure that the information and recommendations contained herein are brought to the attention of the individual lot purchasers for the subdivision. In addition, it is the responsibility of the individual lot owners that the information and recommendations contained herein are brought to the attention of the architect and engineer for the individual projects and the necessary steps are taken to see that the contractor and his subcontractors carry out the appropriate recommendations during construction.

The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or the works of man on this or adjacent properties. In addition, changes in acceptable or appropriate standards may occur or may result from legislation or the broadening of engineering knowledge. Accordingly, the findings of this report may be invalid, wholly or partially, by changes outside our control. Therefore, this report is subject to review and should not be relied upon after a period of 3 years.

The recommendations of this report pertain only to the site investigated and are based on the assumption that the soil conditions do not deviate from those described in this report. If any variations or undesirable conditions are encountered during construction or the proposed construction will differ from that planned on the day of this report, Grand Junction Lincoln DeVore should be notified so that supplemental recommendations can be provided, if appropriate.

Darter, LLC

Subsurface Soils Exploration, Gallagher Residential Subdivision ,30 3/4 & F Roads, Grand Junction, CO

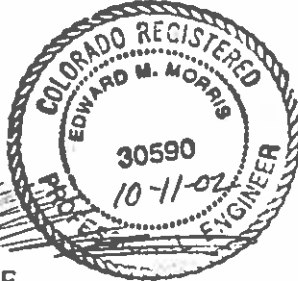
October 11, 2002

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Grand Junction Lincoln DeVore makes no warranty, either expressed or implied, as to the findings, recommendations, specifications or professional advice, except that they were prepared in accordance with generally accepted professional engineering practice in the field of geotechnical engineering.

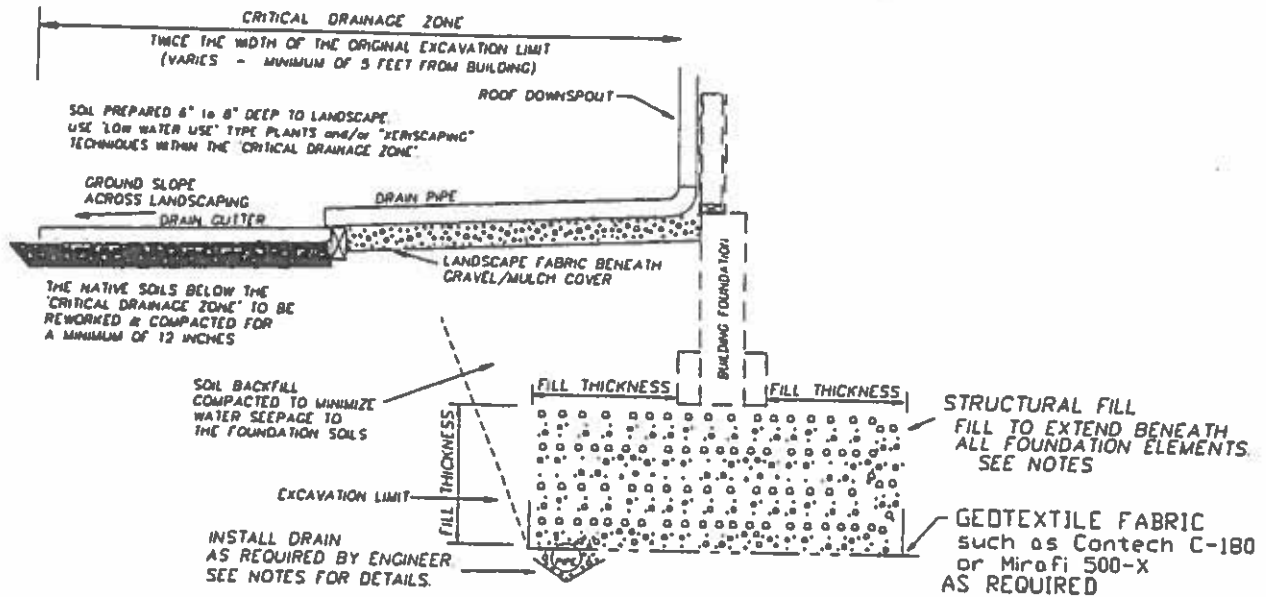
Respectfully submitted,

GRAND JUNCTION  
LINCOLN-DeVORE, INC.

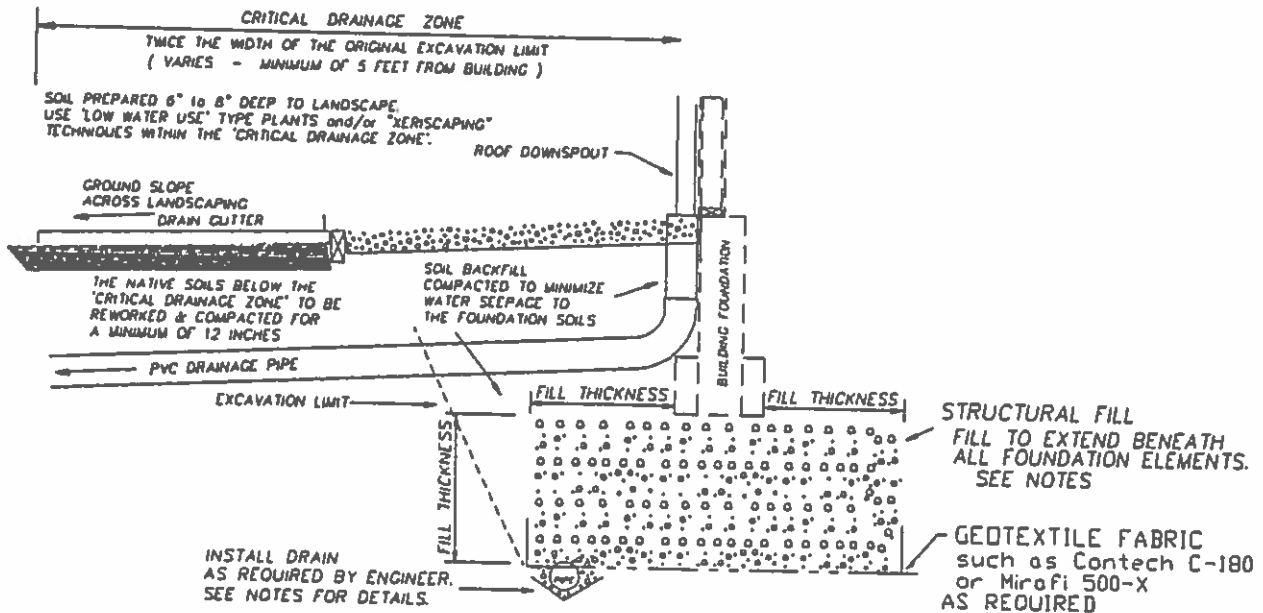


By: Edward M. Morris, PE  
Principal Engineer

GJLD Job # 89649-GJ



DRAINAGE / LANDSCAPING CONCEPT  
'NO WATER ZONE' BY FOUNDATION



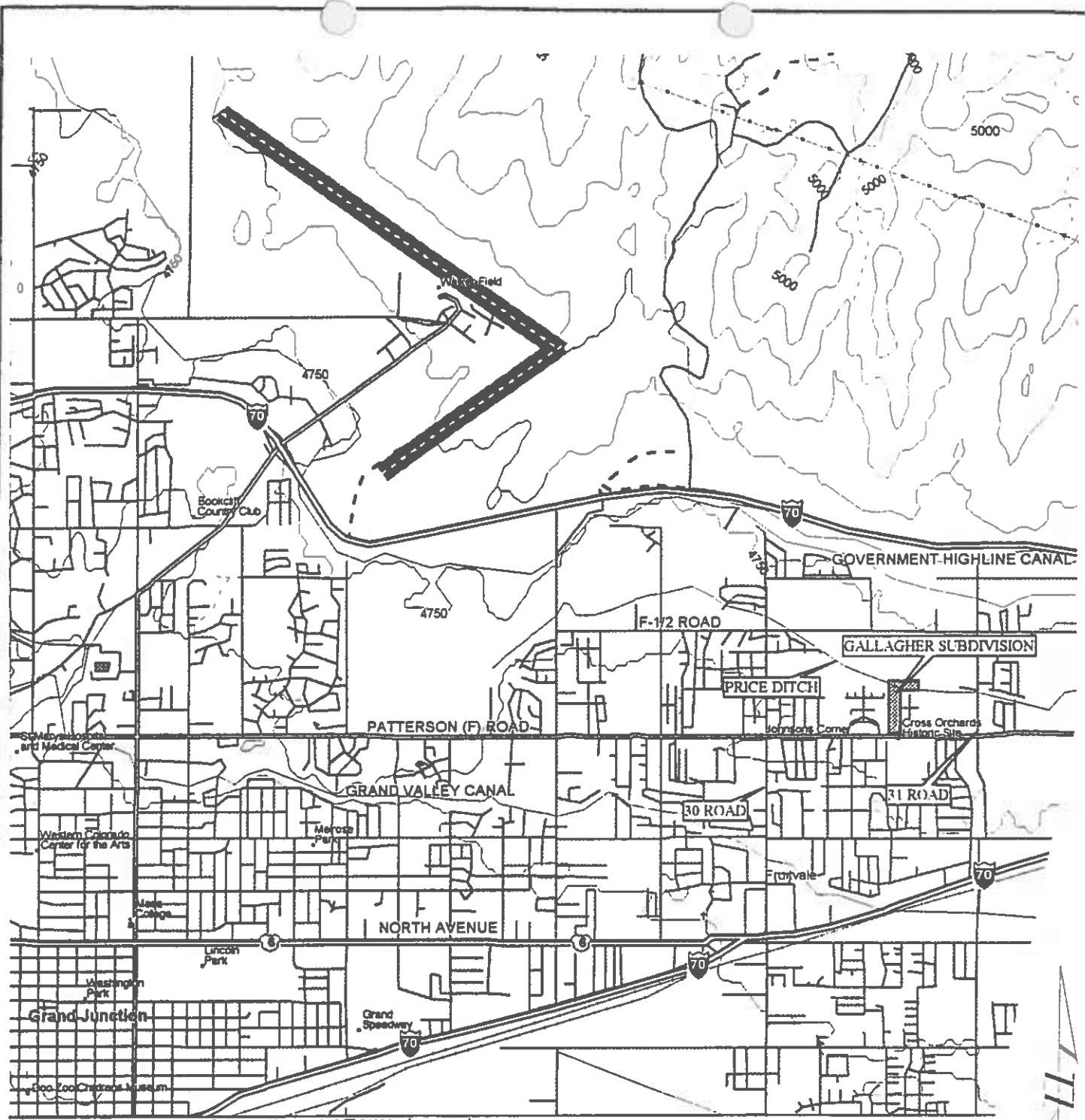
DRAINAGE / LANDSCAPING CONCEPT  
'NO WATER ZONE' BY FOUNDATION



GRAND JUNCTION  
LINCOLN-DEVORE, Inc.  
GEOTECHNICAL ENGINEERS-GEOLOGISTS

EXTERIOR DRAINAGE / LANDSCAPING CONCEPT

SCALE		DATE:
NONE	LD #	4-18-2002
		FIG #
		D-DRAIN2



3-D TopoQuads Copyright © 1999 DeLorme Yarmouth, ME 04096 | 1500 ft Scale: 1 : 43,750 Detail: 12-0 Datum: WGS84

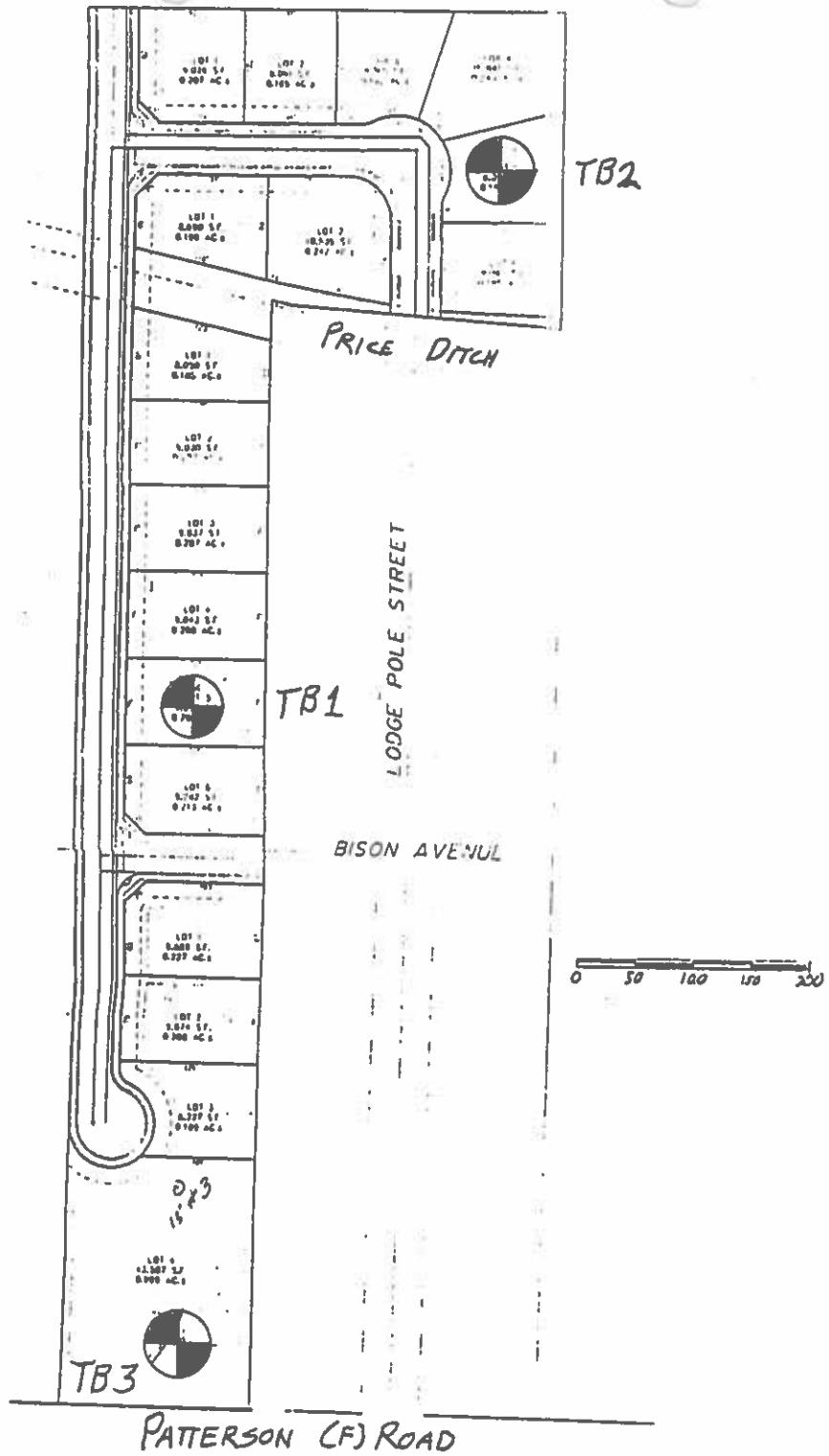
**SITE LOCATION DIAGRAM**

**GALLAGHER SUBDIVISION**  
**30-3/4 & F Road, Grand Junction**

<b>DARTER, LLC</b>		Date
Grand Junction, Colorado		10-10-2002
Job No.	Drawn	
89649-GJ	EMM	



**GRAND JUNCTION  
 LINCOLN - DeVORE, Inc.**  
 Geotechnical Consultants  
 Grand Junction, Colorado



**BORING LOCATION DIAGRAM**

**GALLAGHER SUBDIVISION**  
 30-3/4 & F Road, Grand Junction

**DARTER, LLC**  
 Grand Junction, Colorado

Date  
 10-10-2002

Job No.  
 89649-GJ

Drawn  
 EMM



**GRAND JUNCTION  
 LINCOLN - DeVORE, Inc.**  
 Geotechnical Consultants  
 Grand Junction, Colorado

		BORING NO. 1		DRILL: GJLD CME-46B					
		CENTRAL PORTION of TRACT				BLOW COUNT		SOIL DENSITY	
DEPTH (FT.)		BORING ELEVATION:		AUGER/TOOLS: 4" od, SOLID		/inch		pcf	
SOIL LOG		DESCRIPTION						%	
		SURFACE REWORKED by AGRICULTURAL ACTIVITIES							
	ML	SANDY SILT	THIN LEAN CLAY STRATA	DRY					
	I	SI. COLLAPSIBLE	MEDIUM DENSITY		ST		96.6	5.3%	
5		SI. EXPANSIVE STRATA			5	6/6	94.8	4.3%	
		FRAGMENTS of SILTSTONE		DRY	SPT	7/6		6.4%	
		ALLUVIAL/DEBRIS FAN DEPOSITS				7/6			
	ML	SANDY SILT	Occ. SAND STRATA	DAMP					
	I	SI. COMPRESSIBLE		SULFATES	ST		104.1	13.0%	
10			MEDIUM DENSITY	WET	10		98.5	20.0%	
			SOFT to DRILL						
		FREE WATER							
	ML	SANDY SILT							
	I	COMPRESSIBLE	LOW DENSITY		SPT	1/18		24.3%	
15					15				
			TD @ 15'						
20					20				
25					25				
30					30				
35					35				
40					40				

Blow Counts are counted for each  
6 inches of sampler penetration.

Free Water @ 12'  
During Drilling 9-24-02

**LOG OF SUBSURFACE EXPLORATION**



**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado

GALLAGHER SUBDIVISION 30-3/4 & F Road, Grand Junction		
DARTER, LLC Grand Junction, Colorado		Date 10-10-2002
Job No. 89649-GJ	Drawn EMM	

		BORING NO. 2		DRILL: GJLD CME-46B				BLOW	SOIL		
		NORTHEAST PORTION of TRACT						COUNT	DENSITY	WATER	
DEPTH (FT.)	SOIL LOG	BORING ELEVATION:		AUGER/TOOLS: 4" od, SOLID				/inch	pcf	%	
		DESCRIPTION									
		SURFACE REWORKED by AGRICULTURAL ACTIVITIES									
		HIGH ORGANIC in SOME STRATA									
		ALLUVIAL/DEBRIS FAN DEPOSITS									
		DRY									
5	ML I	SANDY SILT	MEDIUM DENSITY			ST			96.1	4.2%	
		SI. EXPANSIVE STRATA						DAMP	5	6/6	
		SI. COLLAPSIBLE									
		Occ. SAND STRATA						SPT	7/6		5.9%
		THIN LEAN CLAY STRATA							8/6		
								DAMP			
10	ML I	SANDY SILT	MEDIUM DENSITY			SPT	7/6			6.0%	
		SI. EXPANSIVE STRATA						SULFATES	10	7/6	
									9/6		
								DAMP			
15	ML I	SANDY SILT	MEDIUM DENSITY			ST			108.7	7.5%	
		SI. EXPANSIVE STRATA									
		FRAGMENTS of SILTSTONE						15			
20		TD @ 14'						20			
25								25			
30								30			
35								35			
40								40			

Blow Counts are counted for each  
6 inches of sampler penetration.  
NO Free Water  
During Drilling 9-24-02


**LOG OF SUBSURFACE EXPLORATION**



**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado


GALLAGHER SUBDIVISION		
30-3/4 & F Road, Grand Junction		
DARTER, LLC		Date
Grand Junction, Colorado		10-10-2002
Job No.	Drawn	
89649-GJ	EMM	



		BORING NO. <b>3</b>	DRILL: GJLD CME-46B				
		SOUTHWEST PORTION of TRACT			BLOW COUNT	SOIL DENSITY	WATER
DEPTH (FT.)	SOIL LOG	BORING ELEVATION:	AUGER/TOOLS: 4" od, SOLID		/inch	pcf	%
		DESCRIPTION					
		SURFACE REWORKED by AGRICULTURAL ACTIVITIES					
	ML SANDY SILT		HIGH SULFATES				
		VERY SANDY STRATA					
			DAMP				
5	ML SANDY SILT		FRAGMENTS of SILTSTONE	ST		95.8	7.1%
	I SI. COMPRESSIBLE		LOW DENSITY	5	4/6		
		ALLUVIAL/DEBRIS FAN DEPOSITS			SPT	4/6	8.9%
			SOFT to DRILL		4/6		
	ML SANDY SILT						
	I SI. COMPRESSIBLE		WET	ST		95.1	17.4%
10	FREE WATER 		SOFT to DRILL	10			
		SOME SAND STRATA ARE 'FLOWING'					
	ML SANDY SILT		ALLUVIAL/DEBRIS FAN DEPOSITS				
	I COMPRESSIBLE						
15				15			
		HOLE COLLAPSED BACK TO 10'					
20				20			
	TD @ 13'						
25				25			
30				30			
35				35			
40				40			

Blow Counts are counted for each  
6 inches of sampler penetration.  
Free Water @ 10'  
During Drilling 9-25-02

**LOG OF SUBSURFACE EXPLORATION**

 <p><b>GRAND JUNCTION LINCOLN - DeVORE, Inc.</b> Geotechnical Consultants Grand Junction, Colorado</p>	<p><b>GALLAGHER SUBDIVISION</b> 30-3/4 &amp; F Road, Grand Junction</p>	
	<p><b>DARTER, LLC</b> Grand Junction, Colorado</p>	<p>Date 10-10-2002</p>
	<p>Job No. 89649-GJ</p>	<p>Drawn EMM</p>

Soil Sample: SANDY SILT (M)

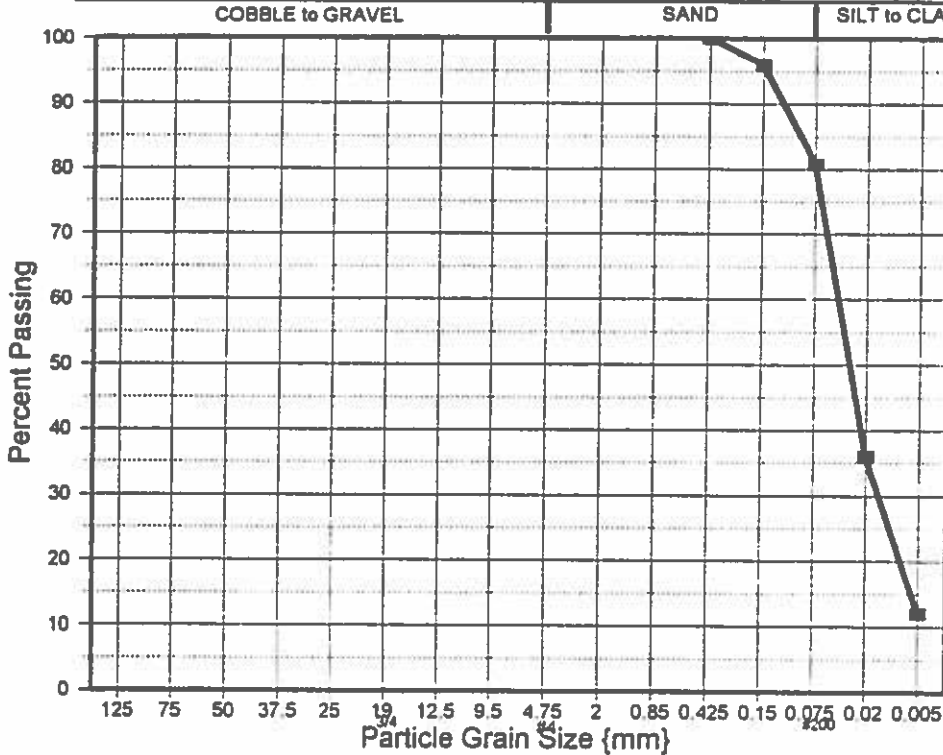
Sample No.: 1 (Typical)

Geologic Origin: ALLUVIAL/DEBRIS FAN DEPOSITS

Test by: DC

Natural Water Content (w): 7.1% Boring No.: 1 Depth: 3'

In-Place Density (pcf): 95.8 Soil Specific Gravity (Gs):



Effective size mm

Cu

Cc

Plastic Limit (PL) 18%

Liquid Limit (LL) 21%

Plasticity Index (PI) 3%

Skempton's Activity 0.1

Shrinkage Limit (SL)

Shrinkage Ratio

DIRECT SHEAR: CD

Ult. Res.

Shear Angle: deg.

Tan Shear:

Cohesion: psf

Sieve (mm)	% Passing
5" 125	
3" 75	
2" 50	
1-1/2" 37.5	
1" 25	
3/4" 19	
1/2" 12.5	
3/8" 9.5	
#4 4.75	
#10 2	
#20 0.85	
#40 0.425	100
#100 0.15	96
#200 0.075	80.7
0.02	36
0.005	12

Maximum Size Allowed By Sampler 2-1/2"

MOISTURE / DENSITY RELATIONSHIP:

ASTM Method: D-698 A D 4718 - 30% Rock Correction

Max. Dry Density : pcf

Optimum Moisture :

HVEEM-CARMANY:

'R' Value @ 300 psi: 20

Displacement 300 psi: 4.74

Expansion @ 300 psi: 82 psf

FHA Soil Swell:

% Swell

psf

Remolded Sample

ALLOWABLE BEARING (net): psf by Consolidometer

Standard Penetration (SPT): psf by Penetrometer

Unconfined Compression (qu): psf

CONSTANT VOLUME SWELL: 420 psf

COLLAPSE OF 0.07% DURING SWELL PHASE

CONSOLIDATION: 1.63% @ 4100 psf

CONSOLIDATION: 2.30% @ 8200 psf

SULFATE SALTS: 50 ppm

PERMEABILITY:

K (20 C) Remolded cm/sec @ pcf

SOIL ANALYSIS and SUMMARY

GALLAGHER SUBDIVISION

30-3/4 & F Road, Grand Junction

DARTER, LLC

Grand Junction, Colorado

Date

10-10-2002

Job No.

89649-GJ

Drawn

EMM



GRAND JUNCTION LINCOLN - DeVORE, Inc.

Geotechnical Consultants Grand Junction, Colorado

Soil Sample: SANDY SILT (M)

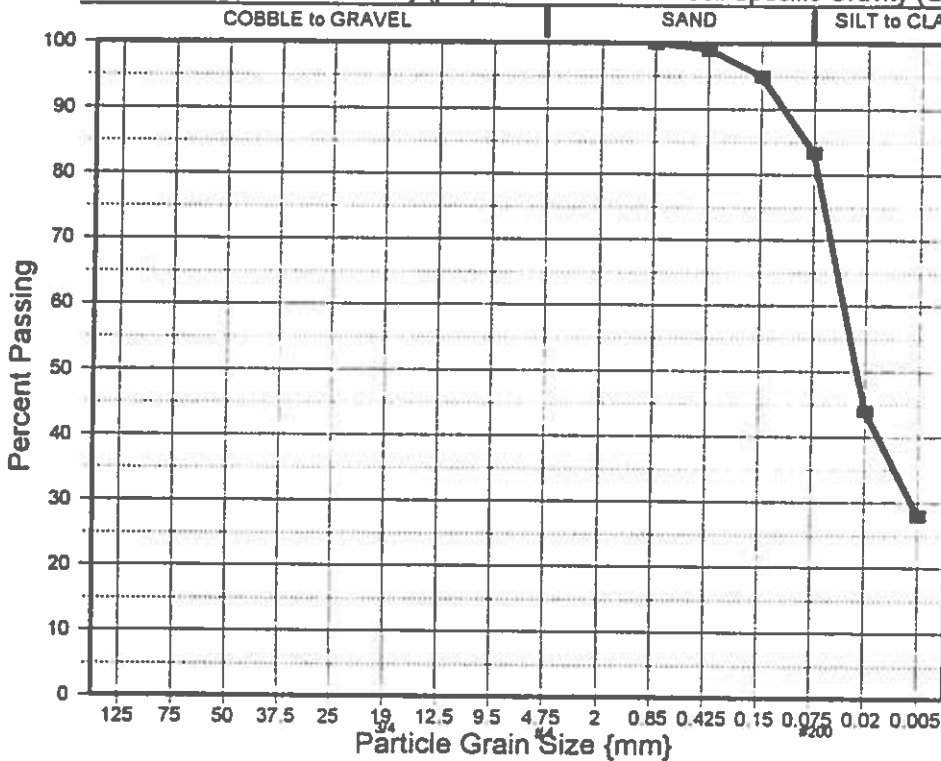
Sample No.: 1 (Typical)

Geologic Origin: ALLUVIAL/DEBRIS FAN DEPOSITS

Test by: DC

Natural Water Content (w): 20.1% Boring No.: 1 Depth: 8'

In-Place Density (pcf): 98.0 Soil Specific Gravity (Gs):



Effective size mm

Cu

Cc

Plastic Limit (PL) 19%

Liquid Limit (LL) 22%

Plasticity Index (PI) 3%

Skempton's Activity 0.1

Shrinkage Limit (SL)

Shrinkage Ratio

DIRECT SHEAR: CD

Ult. Res.

Shear Angle: deg.

Tan Shear:

Cohesion: psf

Sieve (mm)	% Passing	
5"	125	
3"	75	
2"	50	
1-1/2"	37.5	
1"	25	
3/4"	19	
1/2"	12.5	
3/8"	9.5	
#4	4.75	
#10	2	
#20	0.85	100
#40	0.425	99
#100	0.15	95
#200	0.075	83.4
	0.02	44
	0.005	28

Maximum  
Size Allowed  
By Sampler  
2-1/2"

MOISTURE / DENSITY RELATIONSHIP:

ASTM Method: D-698 A D-4718 - 30% Rock Correction

Max. Dry Density : pcf

Optimum Moisture :

HVEEM-CARMANY:

'R' Value @ 300 psi:

Displacement 300 psi:

Expansion @ 300 psi: psf

ALLOWABLE BEARING (net): psf by Consolidometer

Standard Penetration (SPT): psf by Penetrometer

Unconfined Compression (qu): psf

COLLAPSE @ Wetting 0.03% @ psf

CONSOLIDATION: 1.75% @ 4100 psf

CONSOLIDATION: 2.94% @ 8200 psf

SULFATE SALTS: 2000 ppm

PERMEABILITY:

K (20 C) Remolded cm/sec @ pcf

FHA Soil Swell:

% Swell

psf

Remolded Sample

SOIL ANALYSIS and SUMMARY



GRAND JUNCTION  
LINCOLN - DeVORE, Inc.

Geotechnical Consultants  
Grand Junction, Colorado

GALLAGHER SUBDIVISION

30-3/4 & F Road, Grand Junction

DARTER, LLC

Grand Junction, Colorado

Date

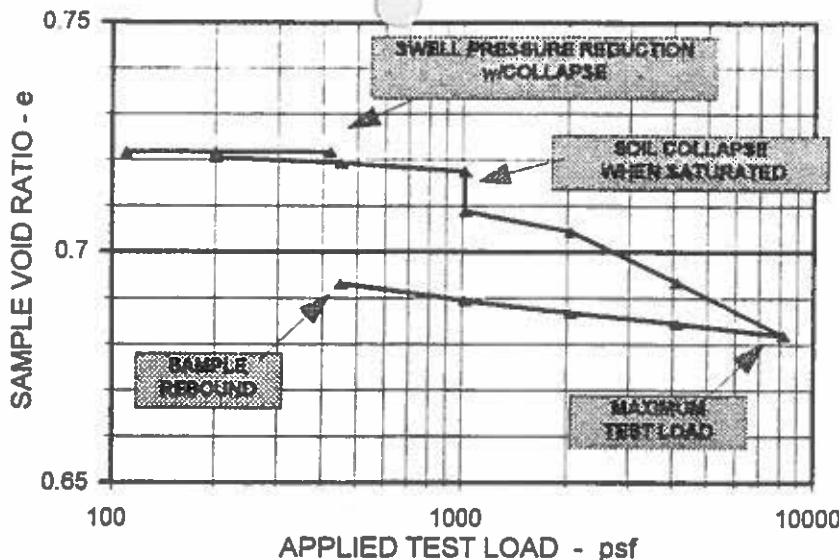
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Job No.

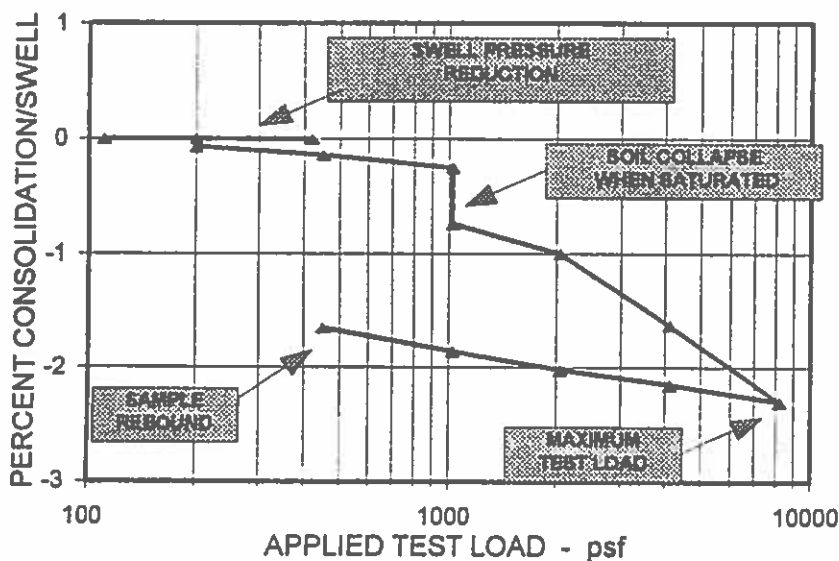
89649-GJ

Drawn

EMM



The Swell/Settlement Test (ASTM D-4546 Method C) Was Run By Subjecting The Soil Specimen To A Small Load And The Sample Volume Is Held Constant While The Specimen Attempts To Swell, Increasing In Pressure. The Test Begins With The Specimen At Approximate Natural Moisture Content But, The Porous Stones Are Very Moist To Detect Soil Expansion Characteristics At Constant Sample Volume, Prior To Inundation. The Apparatus Automatically Increases The Load Until The Specimen Is Exerting A Constant 'Swell Pressure'. After Achieving a Constant 'Swell Pressure', The Sample Is Inundated With Water. Any Additional Swell Or Collapse Of The Specimen Is Allowed To Occur And The Loading Is Continued. After The Maximum Test Load, The Soil Specimen Is Unloaded To Measure Rebound And Develop The Data For Calculating The Soil 'Heave' Potential.



**LOAD SUMMARY**

110	psf SEATING LOAD
1025	psf SAMPLE SATURATED
0.49	% SOIL COLLAPSE UPON SATURATION
0.65	% SAMPLE REBOUND @ UNLOAD
2.30	% MAXIMUM CONSOLIDATION
8200	psf MAXIMUM TEST LOAD

COLLAPSE of 0.49%, DURING SWELL PHASE  
 MAXIMUM 'CONSTANT VOLUME' SWELL TO 420 psf.  
 SWELL PRESSURE 'FELL BACK' TO 200 psf.

	INITIAL	MAXIMUM LOAD	FINAL LOAD
SOIL DENSITY (pcf)	94.8	97.4	96.9
SOIL MOISTURE (%)	4.3%	25.1%	25.5%
CONSOLIDATION (%)	-0-	2.30%	1.65%
VOID RATIO (e)	0.730	0.684	0.693
SATURATION (%)	15%	97%	97%

SOIL #: 1
SOIL TYPE: ML, Qdf
TEST HOLE #: 1 @ 3'
SAMPLE Gs: 2.63
DIAMETER: 2.5"
AREA (inches): .03409

SAMPLE Gs WAS ESTIMATED

**SOIL SWELL/SETTLEMENT ASTM D-4546 C**



**GRAND JUNCTION  
 LINCOLN - DeVORE, Inc.**  
 Geotechnical Consultants  
 Grand Junction, Colorado

**GALLAGHER SUBDIVISION**

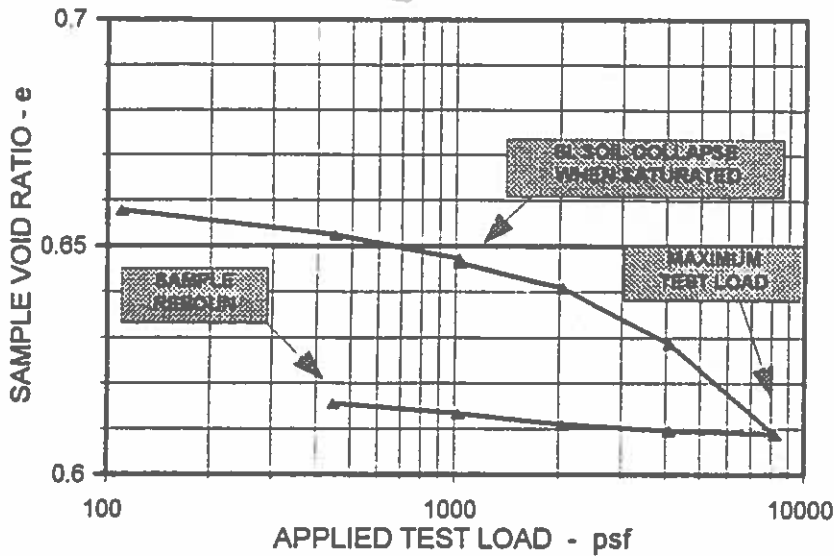
**30-3/4 & F Road, Grand Junction**

**DARTER, LLC**  
 Grand Junction, Colorado

Date  
**10-10-2002**

Job No.  
**89649-GJ**

Drawn  
**EMM**

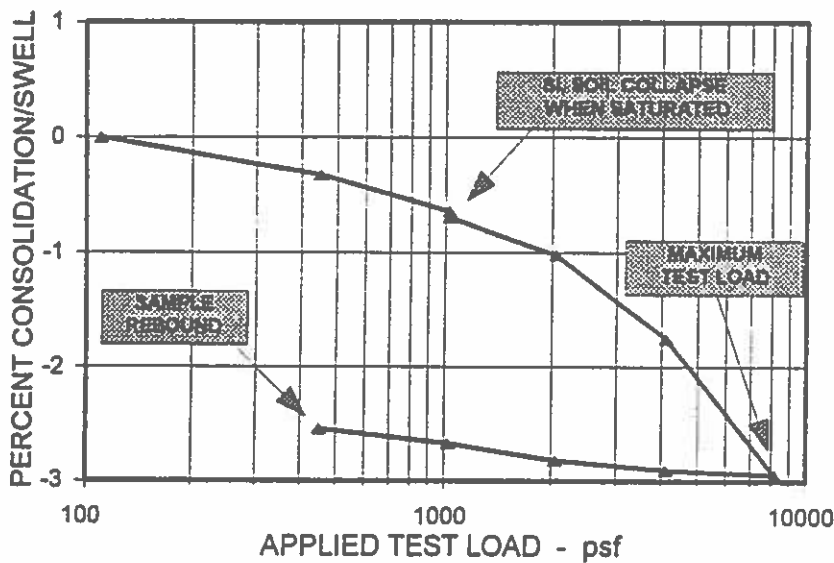


The Consolidation Test (ASTM D-2435) Was Run By Subjecting The Soil Specimen To A 'Seating' Load To Remove Slack From The Apparatus And To Provide An Accurate Point Of Beginning.

The Test Begins With The Specimen At Approximate Natural Moisture Content But, The Porous Stones Are Very Moist To Detect Soil Expansion Characteristics At The Light Test Loads, Prior To Inundation.

The Sample Is Loaded To Approximately 1025 psf Or Overburden Pressure And Then Inundated With Water. Any Swell Or Collapse Of The Specimen Is Allowed To Occur And The Loading Is Continued.

After The Maximum Test Load, The Soil Specimen Is Unloaded To Measure Rebound And Any Swelling Potential After Consolidation.



#### LOAD SUMMARY

110	psf SEATING LOAD
1025	psf SAMPLE SATURATED
0.05	% SOIL COLLAPSE
0.00	% SOIL EXPANSION / SWELL D-4546 B
0.40	% SAMPLE REBOUND @ UNLOAD
2.94	% MAXIMUM CONSOLIDATION
8200	psf MAXIMUM TEST LOAD

	INITIAL	MAXIMUM LOAD	FINAL LOAD
SOIL DENSITY (pcf)	98.5	101.7	101.6
SOIL MOISTURE (%)	20.8%	21.3%	21.4%
CONSOLIDATION (%)	-0-	2.94%	2.54%
VOID RATIO (e)	0.666	0.613	0.616
SATURATION (%)	82%	91%	91%

SOIL #: II
SOIL TYPE: ML, Qdf
TEST HOLE #: 1 @ 8'
SAMPLE Gs: 2.63
DIAMETER: 2.5"
AREA (inches): .03409

SAMPLE Gs WAS ESTIMATED

#### SOIL CONSOLIDATION ASTM D-2435



**GRAND JUNCTION  
LINCOLN - DeVORE, Inc.**  
Geotechnical Consultants  
Grand Junction, Colorado

**GALLAGHER SUBDIVISION**  
30-3/4 & F Road, Grand Junction

<b>DARTER, LLC</b> Grand Junction, Colorado		Date 10-10-2002
Job No. 89649-GJ	Drawn EMM	



COMMITMENT FOR TITLE INSURANCE

SECURITY UNION TITLE INSURANCE COMPANY

a California corporation, herein called the Company, for a valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A, upon payment of the premiums and charges therefor; all subject to the provisions of Schedules A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate six months after the effective date hereof or when the policy or policies committed for shall issue, whichever occurs first, provided that the failure to issue such policy or policies is not the fault of the Company.

Issued by:  
MERIDIAN LAND TITLE, LLC  
2454 Patterson, Suite 100  
Grand Junction, CO 81505  
Phone (970) 245-0550 Fax (970) 241-1593

SECURITY UNION TITLE INSURANCE COMPANY

*[Handwritten Signature]*



By:

*[Handwritten Signature]*

President

ATTEST

*[Handwritten Signature]*

Secretary

Authorized Signature

## STANDARD EXCEPTIONS FOR OWNER'S POLICY

The owner's policy will be subject to the mortgage, if any, noted under item one of Section 1 of Schedule B hereof and to the following exceptions: (1) rights or claims of parties in possession not shown by the public records; (2) encroachments, overlaps, boundary line disputes, and any matters which would be disclosed by an accurate survey and inspection of the premises; (3) easements, or claims of easements, not shown by the public records; (4) any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records; (5) water rights, claims or title to water; (6) taxes or special assessments which are not shown as existing liens by the public records.

## CONDITIONS AND STIPULATIONS

1. The term "mortgage," when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to Paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions, the Exclusions from Coverage and the Conditions and Stipulations of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

NOTE: The language contained in the printed Exclusions from Coverage and Conditions and Stipulations of the policy committed for may be examined by reference to forms on file in the office of the Department of Insurance or by inquiry at the office which issued this Commitment.

**COMMITMENT FOR TITLE INSURANCE  
SCHEDULE A**

**FILE NUMBER: 62073            AMENDED I**

**1. Effective date: February 11, 2003 at 8:00 AM**

<b>2. Policy or Policies to be issued:</b>	<b>Amount of Insurance</b>
<b>A. ALTA Owner's Policy</b>	<b>\$275,000.00</b>
<b>Proposed Insured:</b>	
<b>CPS ENTERPRISES</b>	
<b>B. ALTA Loan Policy</b>	<b>\$220,000.00</b>
<b>Proposed Insured:</b>	
<b>COMMUNITY FIRST MORTGAGE, LLC</b>	
<b>its successors and/or assigns</b>	
<b>C. Not Applicable</b>	<b>\$0.00</b>
<b>Proposed Insured:</b>	
<b>NONE</b>	

**3. The estate or interest in the land described or referred to in this Commitment and covered herein is:**

**Fee Simple**

**4. Title to the above described estate or interest in said land is at the effective date hereof vested in:**

**GRANT GOLLIHER AND JANE GOLLIHER, as Joint Tenants**

**5. The land referred to in this Commitment is described as follows:**

A tract of land generally described as being a portion of the East 12.5 acres of the SW¼ SE¼ of Section 4, Township 1 South, Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW¼ SE¼ of said Section 4, thence West 165.58 feet along the South boundary of said Section 4; thence North 00°13' West 1316.33 feet to the North boundary of the SW¼ SE¼ of said Section 4; thence North 89°57' East 412.09 feet along the North boundary of the SW¼ SE¼ of said Section 4 to the East boundary of the SW¼ SE¼ of said Section 4; thence South 00°17' East 272.67 feet along the East boundary of the SW¼ SE¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85°45' West 229.77 feet, thence North 77°06' West 19.59 feet; thence South 00°17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,

Mesa County, Colorado.



**COMMITMENT FOR TITLE INSURANCE**  
**SCHEDULE B - Section 1**  
**Requirements**

FILE NUMBER: 62073      AMENDED I

The following are the requirements to be complied with:

A. Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

B. Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

1. NOTE: Before issuing its policy of title insurance, this Company will require evidence, satisfactory to the Company, that CPS Enterprises:

- (a) Is validly formed on the date when documents in this transaction are to be signed; and
- (b) Is in good standing and authorized to do business in the state or county where the said corporation was formed.

2. Deed sufficient to convey the fee simple estate or interest in the land described herein, to the proposed insured, Schedule A, Item 2(A).

NOTE: Colorado Law requires that a Real Property Transfer Declaration accompany document conveying title to real property when such documents are presented for recording. Failure to provide such Declaration may result in monetary penalties being added to property taxes.

3. Deed of Trust sufficient to mortgage the fee simple estate or interest in the land described herein, to the proposed insured, Schedule A, Item 2(B).

\* 4. NOTE: Upon receipt of appropriate additional premium, Endorsement Forms ALTA 8.1, 100.29 and 110.2 will be included with the Loan Policy to be issued.

NOTE: Upon receipt of an acceptable Improvement Location Certificate and upon receipt of the appropriate premium, items numbered 1,2 and 3 of Schedule B-Section 2 herein will be deleted from the Loan Policy to be issued and Endorsement Form 100 will be included with said Policy.

NOTE: Upon receipt of acceptable Final Lien Affidavit, item number 4 of Schedule B-Section 2 herein will be deleted from the Loan Policy to be issued.

\* Item(s) may require special attention.

C. Payment of all taxes, charges, assessments, levied and assessed against the subject premises which are due and payable.

**COMMITMENT FOR TITLE INSURANCE**  
**SCHEDULE B - Section 2**  
**Exceptions**

FILE NUMBER: 62073      AMENDED I

The policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records, or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.

**B. General Exceptions:**

1. Rights or claims of parties in possession not shown by the public records.
2. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises including, but not limited to, insufficient or impaired access or matters contradictory to any survey plat shown by the public records.
3. Easements, or claims of easements, not shown shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a.) Unpatented mining claims; (b.) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c.) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.

Paragraphs 1, 2, 3, 4, 5 and 6 above will not appear as printed exceptions on extended coverage policies, except as to such parts thereof which may be shown as a Special Exception in Schedule B-Section 2.

**C. Special Exceptions:**

7. Any and all unpaid taxes, assessments and unredeemed tax sales, if any.
8. Right of way for ditches or canals constructed by the Authority of the United States together with the right of proprietor of a vein of lode to extract and remove his ore therefrom should the same be found to intersect said premises as reserved in United States Patent recorded December 21, 1891 in Book 11 at Page 135.
9. An easement for irrigation ditch for the Price Ditch and rights incidental thereto, as set forth in instrument recorded July 23, 1974 in Book 1020 at Page 639.
10. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Palisade Irrigation District, recorded April 16, 1993 in Book 1968 at Page 924.
11. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Mesa County Irrigation District, recorded November 14, 1994 in Book 2110 at Page 809. Location Map and Survey Description was recorded April 29, 1999 in Book 2580 at Page 693.

## JOINT NOTICE OF PRIVACY POLICY

### Fidelity National Financial Group of Companies/Security Union Title Insurance Company and Meridian Land Title, LLC

We recognize and respect the privacy expectations of today's consumers and the requirements of applicable federal and state privacy laws. We believe that making you aware of how we use your non-public personal information ("Personal Information"), and to whom it is disclosed, will form the basis for a relationship of trust between us and the public that we serve. This Privacy Statement provides that explanation. We reserve the right to change this Privacy Statement from time to time consistent with applicable privacy laws.

In the course of our business, we may collect Personal Information about you from the following sources:

- ❖ From applications or other forms we receive from you or your authorized representative;
- ❖ From your transactions with, or from the services being performed by us, our affiliates, or others;
- ❖ From our internet web sites;
- ❖ From the public records maintained by governmental entities that we either obtain directly from those entities, or from our affiliates or others; and
- ❖ From consumer or other reporting agencies.

#### Our Policies Regarding the Protection of the Confidentiality and Security of Your Personal Information

We maintain physical, electronic and procedural safeguards to protect your Personal Information from unauthorized access or intrusion. We limit access to the Personal Information only to those employees who need such access in connection with providing products or services to you or for other legitimate business purposes.

#### Our Policies and Practices Regarding the Sharing of Your Personal Information

We may share your Personal Information with our affiliates, such as insurance companies, agents, and other real estate settlement service providers. We also may disclose your Personal Information:

- ❖ To agents, brokers or representatives to provide you with services you have requested;
- ❖ To third-party contractors or service providers who provide services or perform marketing or other functions on our behalf; and
- ❖ To others with whom we enter into joint marketing agreements for products or services that we believe you may find of interest.

In addition, we will disclose your Personal Information when you direct or give us permission, when we are required by law to do so, or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

One of the important responsibilities of some of our affiliated companies is to record documents in the public domain. Such documents may contain your Personal Information.

#### Right to Access your Personal Information and Ability to Correct Errors Or Request Changes Or Deletion

Certain states afford you the right to access your Personal Information and, under certain circumstances, to find out to whom your Personal Information has been disclosed. Also, certain states afford you the right to request correction, amendment or deletion of your Personal Information. We reserve the right, where permitted by law, to charge a reasonable fee to cover costs incurred in responding to such requests.

All requests submitted to the Fidelity National Financial Group of Companies/Security Union Title Insurance Company shall be in writing, and delivered to the following address:

Privacy Compliance Officer  
Fidelity National Financial, Inc.  
4050 Calle Real, Suite 220  
Santa Barbara, CA 93110

#### Multiple Products or Services

If we provide you with more than one financial product or service, you may receive more than one privacy notice from us. We apologize for any inconvenience this may cause you.

## MERIDIAN LAND TITLE, LLC

### DISCLOSURE STATEMENT

Note: pursuant to CRS 10-11-122, notice is hereby given that:

- A) The subject real property may be located in a special taxing district.
- B) A Certificate of Taxes Due listing each taxing jurisdiction may be obtained from the County Treasurer's authorized agent.
- C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 3-5-1, paragraph C of Article VII requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Meridian Land Title, LLC conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically be deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- A) The land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
- B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- D) The Company must receive payment of the appropriate premium.
- E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of the Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium; fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

- A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal That energy in the property; and
- B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

This notice applies to owner's policy commitments containing a mineral severance instrument exception or exceptions, in Schedule B, Section 2.

Nothing herein contained will be deemed to obligate the company to provide any of the coverages referred to herein unless the above conditions are fully satisfied.

# **GENERAL PROJECT REPORT**

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**SONRISE ACRES SUBDIVISION**

**GRAND JUNCTION, COLORADO**

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**PREPARED FOR:**

**CPS Enterprises, LLC  
P.O. Box 561  
Telluride, CO 81435  
(970) 728-9909**

**PREPARED BY:**

**VISTA ENGINEERING CORP.  
2777 Crossroads Blvd.  
Grand Junction, CO 81506  
(970) 243-2242**

April 23, 2003  
VEC # 4117.00-03

# GENERAL PROJECT REPORT

## SONRISE ACRES SUBDIVISION

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### A. LOCATION AND DESCRIPTION OF PROPERTY

Sonrise Acres Subdivision contains approximately 6.288 acres (including 0.328 acres of open space) and is located near the City of Grand Junction, Colorado, at 3068 F Road (west of Lodge Pole Street). Proposed development of the site shall consist of one Filing containing 20 lots for a finished density of 3.18 units per acre. It is currently zoned "County RSF-4" with a similar future land use designation of "Residential Medium-Low", having a dwelling density of 2 to 4 units per acre. The site plan shows the location of the property in relationship to the surrounding vicinity. One tax parcel, numbered 2943-044-00-130, is contained within the site.

Existing streets in the vicinity include Bison Avenue in the center of the site, Lodge Pole Street to the east, and F Road to the south. Bison Avenue, an existing urban residential street, is proposed to extend into the project from the east and terminate at proposed Sonrise Way, a residential street with a cul-de-sac on the south end. Sonrise Way will have a modified cross-section with the typical 14' asphalt mat, a 6.5' curb, gutter, and walkway on the east side of centerline, but only a 6' asphalt mat on the west side of the centerline (given that the remaining roadway is located west of the property boundary and will be completed at a future date when the adjacent parcel develops). A section of the Price Ditch (in buried pipeline) runs east to west near the northern end of the site.

The surrounding area consists primarily of residential housing zoned "County RSF-4". Thunder Mountain Elementary School is located immediately north of the property. The site is currently vacant except for a single family residence in the southeast corner adjacent to F Road. This residence will remain and be incorporated into the proposed lot geometry, but will continue to utilize the existing driveway onto F Road. All other lots will be accessed by the internal streets proposed within the subdivision. Existing outbuildings will be removed or relocated to conform with setback requirements for the new lot lines.

Existing ground cover over most of the site consists of a sparse covering of pasture grasses and weeds, with many bare areas resulting from recent boarding of livestock. Landscaping of the proposed open space tract will consist of a low-maintenance native grass with temporary irrigation provided by the existing residence to establish growth and shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan and are typical sandy silts found in the area and the Valley. The soils generally consist of Billings Silty Clay and Billings Silty Clay Loam. These soils are categorized as hydrologic soils group "C" which have low infiltration capability and moderate to high runoff potential. This should not pose an adverse impact to development of the site. There are no known geological hazards at this location.

## B. PUBLIC BENEFIT

This site provides an opportunity for "in-fill" development within an area of similarly sized homes which have existed in the vicinity for several years. This is a proposal which provides new construction of moderately priced homes and extension of utilities in an area attractive to buyers due to the proximity of schools, shopping, recreation, parks, and medical facilities.

Development of this site will provide improvements to drainage conditions which have existed in the area for many years. Elimination of flood-irrigation practices and creation of a stormwater management facility will reduce peak flows exiting the property and improve runoff conditions downstream.

Existing streets in the vicinity include F Road adjacent immediately to the south, East Valley Drive to the west, and Lodge Pole Street to the east. Urban residential streets are proposed to extend into the adjacent parcels to the north, east, and west to provide neighborhood connectivity.

## C. PROJECT COMPLIANCE, COMPATIBILITY AND IMPACT

All streets and utilities will be constructed in conformance with current City of Grand Junction Standards and Specifications. The project will be designed to comply with the standards listed in the current City of Grand Junction Zoning and Development Code for an "RSF-4" zoning. The proposed density is consistent with the with the "Growth-Plan" and with existing development in the surrounding area which consists primarily of residential housing zoned "RSF-4".

Topography of the property is relatively "flat" in nature, sloping generally south at an average rate of less than one percent. Offsite surface runoff in the vicinity is collected and diverted away from the site by the existing developments surrounding the project. An existing storm drain in F Road carries runoff west to Indian Wash. Developed runoff will flow south to be collected, detained, and released at a controlled rate from the detention facility proposed within the Open-Space designated in the southwest corner of the site.

All utilities are available to the site, with sanitary and storm sewer existing in F Road. Domestic water is proposed to connect to the existing water line in Lodge Pole Street to the east. Fire protection will be provided by the hydrants proposed and located in conformance with Fire Codes. Locations of the proposed utilities are shown on the site plan. The impact on public facilities will be minimal given the size of this development and considering that the project is proposed to develop within the density range provided in the Growth Plan.

Landscaping of the open space tract shall be installed by the developer per Landscape Plans prepared during final design. Surface maintenance of this open space tract will ultimately become the responsibility of the Homeowners Association. The landscaping, and maintenance, of all single family lots will be the responsibility of the individual lot owners. Setback requirements are shown on the preliminary plan.

The soils at the site have been evaluated by a geotechnical analysis included within the Preliminary Plan submittal. In addition, an "environmental transaction screen" was performed. There are no known geological or environmental hazards at this location.

**D. DEVELOPMENT SCHEDULE AND PHASING**

It is proposed to develop Sunrise Acres Subdivision in one filing. Construction of the infrastructure is anticipated to begin in late 2003, as soon as possible after final approval of the project.





Date: May 2, 2003

CPS ENTERPRISES II, LLC  
P.O. BOX 561  
TELLURIDE, CO 81435

Re: Our File #: 62073  
3068 F Road

Policy #: 7510624115

Policy Date: April 22, 2003 at 11:23 AM

Dear Customer:

Enclosed please find your Owner's Policy of Title Insurance which should be kept with your permanent records.

The premium for this policy was paid for at the time of closing.

We have opened and will maintain a personal file on your property which will enable us to give you fast and accurate service in the future. You may be eligible for a discounted title premium if you decide to sell or refinance your property within the next five years.

Please feel free to contact our office if you should have any questions in connection with this policy or the actual transaction. Do not hesitate to let us know if we may be of further service. Thank you!

Sincerely,

MERIDIAN LAND TITLE, LLC

By:

*Karen Crespin*

enc.

Agent for SECURITY UNION TITLE INSURANCE COMPANY and LAND TITLE INSURANCE CORPORATION

2454 Patterson, Suite 100, Grand Junction, CO 81505 Phone: (970)245-0550 Fax: (970)241-1593 Cel: (970)260-3064

**OWNER'S POLICY OF TITLE INSURANCE  
SCHEDULE A****FILE NUMBER:** 62073      **AGENT NUMBER:** 06 3093      **POLICY NUMBER:** 75106 24115**Date of Policy:** April 22, 2003 at 11:23 AM      **Amount of Insurance:** \$295,000.00  
**At Reception Number:** 2117851**1. Name of Insured:**

CPS ENTERPRISES II, LLC

**2. The estate or interest in the land described or referred to in this Policy and covered herein is:**

Fee Simple

**3. Title to the above described estate or interest in said land is at the effective date hereof vested in:**

CPS ENTERPRISES II, LLC

**4. The land herein described is encumbered by the following mortgage or trust deed, and assignments:**

Deed of Trust executed by CPS ENTERPRISES II, LLC, to the Public Trustee of Mesa County, in favor of COMMUNITY FIRST NATIONAL BANK, to secure \$157,500.00 and any other obligations secured thereby, dated April 3, 2003, and recorded April 22, 2003 in Book 3336 at Page 514.

and the mortgages or trust deeds, if any, shown in Schedule B hereof.

**5. The land referred to in this Policy is described as follows:**

A tract of land generally described as being a portion of the East 12.5 acres of the SW¼ SE¼ of Section 4, Township 1 South, Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW¼ SE¼ of said Section 4, thence West 165.58 feet along the South boundary of said Section 4; thence North 00°13' West 1316.33 feet to the North boundary of the SW¼ SE¼ of said Section 4; thence North 89°57' East 412.09 feet along the North boundary of the SW¼ SE¼ of said Section 4 to the East boundary of the SW¼ SE¼ of said Section 4; thence South 00°17' East 272.67 feet along the East boundary of the SW¼ SE¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85°45' West 229.77 feet, thence North 77°06' West 19.59 feet; thence South 00°17' East 1065.34 feet to the true point of beginning.

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado.

**OWNER'S POLICY OF TITLE INSURANCE**  
**SCHEDULE B**  
**Exceptions**

FILE NUMBER: 62073

POLICY NUMBER: 75106 24115

This policy does not insure against loss or damage which may arise by reason of:

**A. General Exceptions:**

1. Rights or claims of parties in possession not shown by the public records.
2. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey or inspection of the premises including, but not limited to, insufficient or impaired access or matters contradictory to any survey plat shown by the public records.
3. Easements, or claims of easements, not shown shown by the public records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a.) Unpatented mining claims; (b.) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c.) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.

**B. Special Exceptions:**

7. Taxes for the year 2003, a lien not yet due or payable.
8. Right of way for ditches or canals constructed by the Authority of the United States together with the right of proprietor of a vein of lode to extract and remove his ore therefrom should the same be found to intersect said premises as reserved in United States Patent recorded December 21, 1891 in Book 11 at Page 135.
9. An easement for irrigation ditch for the Price Ditch and rights incidental thereto, as set forth in instrument recorded July 23, 1974 in Book 1020 at Page 639.
10. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Palisade Irrigation District, recorded April 16, 1993 in Book 1968 at Page 924.
11. Terms, conditions and provisions of Agreement And Grant Of Easement in favor of Mesa County Irrigation District, recorded November 14, 1994 in Book 2110 at Page 809. Location Map and Survey Description was recorded April 29, 1999 in Book 2580 at Page 693.

# POSTING OF PUBLIC NOTICE SIGNS

The posting of the Public Notice Sign is to make the public aware of development proposals. The requirement and procedure for public notice sign posting is required by the City of Grand Junction Zoning and Development Code.

To expedite the posting of public notice signs the following procedure list has been prepared to help the petitioner in posting the required signs on their properties;

1. All petitioners/representatives will receive a copy of the Development Review Schedule for the month advising them of the date by which the sign needs to be posted. **IF THE SIGN HAS NOT BEEN PICKED UP AND POSTED BY THE REQUIRED DATE, THE PROJECT WILL NOT BE SCHEDULED FOR THE PUBLIC HEARING.**
2. A deposit of \$50.00 per sign is required at the time the sign is picked up.
3. You must call for utility locates before posting the sign. Mark the location where you wish to place the sign and call 1-800-922-1987. You must allow two (2) full working days after the call is placed for the locates to be performed.
4. Sign(s) shall be posted in a location, position and direction so that:
  - a. It is accessible and readable, and
  - b. It may be easily seen by passing motorists and pedestrians.
5. Sign(s) MUST be posted at least 10 days before the Planning Commission hearing date and, if applicable, shall stay posted until after the City Council Hearing(s).
6. **After the Public Hearing(s) the sign(s) must be taken down and returned to the Community Development Department within FIVE (5) working days to receive a full refund of the sign deposit.** For each working day thereafter the petitioner will be charged a \$5.00 late fee. After eight working days Community Development Department staff will retrieve the sign and the sign deposit will be forfeited in its' entirety.

The Community Development Department staff will field check the property to ensure proper posting of the sign. If the sign is not posted, or is not in an appropriate place, the item will be pulled from the public hearing agenda.

I have read the above information and agree to its terms and conditions.

SIGNATURE

*Paul J. King*

DATE

5-29-03

FILE # & NAME

ANX-2003-090 Sunrise Acres Subd

RECEIPT # 19018

LOCATION:

3068 F Rd

PETITIONER/REPRESENTATIVE:

Vista Engineering

PHONE # 243-2242

DATE OF HEARING:

6-10-03

POST SIGN(S) BY:

5-30-03

DATE SIGN(S) PICKED-UP:

5-29-03

RETURN SIGN(S) BY:

DATE SIGN(S) RETURNED

RECEIVED BY:

Friday June 6, 2003

Richard and Pamela Fults  
3066 F. Rd.  
Grand Jct. 81504  
434-9675

**RECEIVED**  
JUN 10 2003  
COMMUNITY DEVELOPMENT  
DEPT.

RE:ANX/PP-2003-090

Ladies and Gentlemen:

We are writing this letter in regards to the "Notice of Development Application" we received, concerning the construction of ANX/PP-2003-090-SONRISE ACRES SUBDIVISION-3068 F. RD. We are not opposed to growth but, are opposed to the increase of LIGHT and NOISE POLLUTION, which has been associated with the construction of NEW TRADITIONS SUBDIVISION to the west of us. We feel that these are very important to us and to the well being of Our Family, Our Animals and, the Wildlife. We were hoping that a third generation of Fults' would be able to enjoy what Grandpa had started over 40 yrs. ago.

One way to prevent these concerns, is to not build the Subdivision. Since that is unlikely. The following items are what we have come up with, that might help alleviate some of our concerns, so that we may continue to enjoy what is left of our wide open area and, OUR LITTLE SANCTUARY.

1. The plans show a Cul-de-sac adjacent to our Backyard, Pond and, Waterfall, which provides a peaceful getaway for our family. Especially, during the Waterfowl Migration, when the Ducks and, Heron visit. Thus the Cul-de-sac will increase the LIGHT and NOISE POLLUTION from the Cars turning around in our Backyard and, at our Bedrooms.

**SOLUTION:** Have Developer build a Vinyl Privacy Fence at least 6 ft. tall. Preferably 8 ft., from the front of our home extending north 300 ft.

2. a. Block One; Lots 2-5: Restrict the height of structures, not to exceed One Story.  
b. Restrict the type of outdoor Lights for Structures and Street Lights to help control Light Pollution.

**SOLUTION:** Build a Vinyl Privacy Fence.

3. If possible, please notify us by phone about the Development Hearings.

This is what we request to address our concerns. Thank you for giving us the opportunity to do so.

Respectfully yours,  
RICHARD FULTS/PAMELA FULTS  
RASHELL FULTS-HUSEMAN

See Attached

## REVIEW COMMENT RESPONSES

July 24, 2003

### SONRISE ACRES SUBDIVISION - PRELIMINARY PLAN

File # PP-2003-090

These responses correspond with review comments provided by the City of Grand Junction for the above-referenced project dated June 10, 2003.

#### Lori Bowers - City Community Development

1. The cul-de-sac has been relocated to exist within the proposed project boundary.  
*Lot 5, does not meet minimum 2,000 ft*
2. Tract "A" will be dedicated as requested on the Final Plat.

#### Eric Hahn - City Community Development Engineer

##### GENERAL COMMENTS

1. A signed copy of the Stormwater Discharge Permit will be included with the final plan submittal.
2. The DIA will reflect 120% of the estimated costs at final plan stage.
3. Top-of-concrete elevations, acknowledged by the Building Department, will be provided at final plan stage.
4. Drainage from the western portion of the partial street section of Sunrise Way will be negligible, but will flow south along the edge of pavement and natural swale (created by the road-cut) into the detention area.
5. "No-Parking" signs will be posted on both sides of the street, as requested.
6. The street section has been corrected to reflect the 20' of proposed asphalt.
7. The cul-de-sac has been relocated to exist within the proposed project boundary.
8. The length of the Lodge Pole extension is shown on the revised drawings.
9. It is the petitioner's desire to allow the existing F Road driveway to remain. The existing driveway, carports, and outbuildings are configured for the current entrance off of F Road.
10. Detention has been designed for the project site with no anticipation of storage from the western property (due to the southwest direction of natural grade). Given the location of the detention pond, it would be available for expansion to accept and manage runoff from the

2943-04  
L.I.C. & I.C.

REPLAT OF LOTS 9-16, BLK. 1 PALMYRA SUB.

COUNTY OF MESA

SECTION	TRACT	DATE	REMARKS
1	1	1-1-50	...
2	1	1-1-50	...
3	1	1-1-50	...
4	1	1-1-50	...
5	1	1-1-50	...
6	1	1-1-50	...
7	1	1-1-50	...
8	1	1-1-50	...
9	1	1-1-50	...
10	1	1-1-50	...
11	1	1-1-50	...
12	1	1-1-50	...
13	1	1-1-50	...
14	1	1-1-50	...
15	1	1-1-50	...
16	1	1-1-50	...

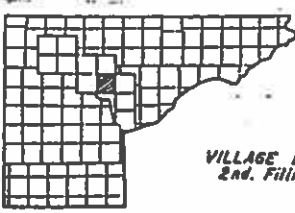
Lauradale Sub. Flg. No. Two

Adjoining T.I.S. R.I.E. 2943-05

Lauradale Sub. Fil. No. 1

SCALE - 1" = 100'

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100



Village East 2nd Filing

Village East 1st Filing

Village East 4th Filing

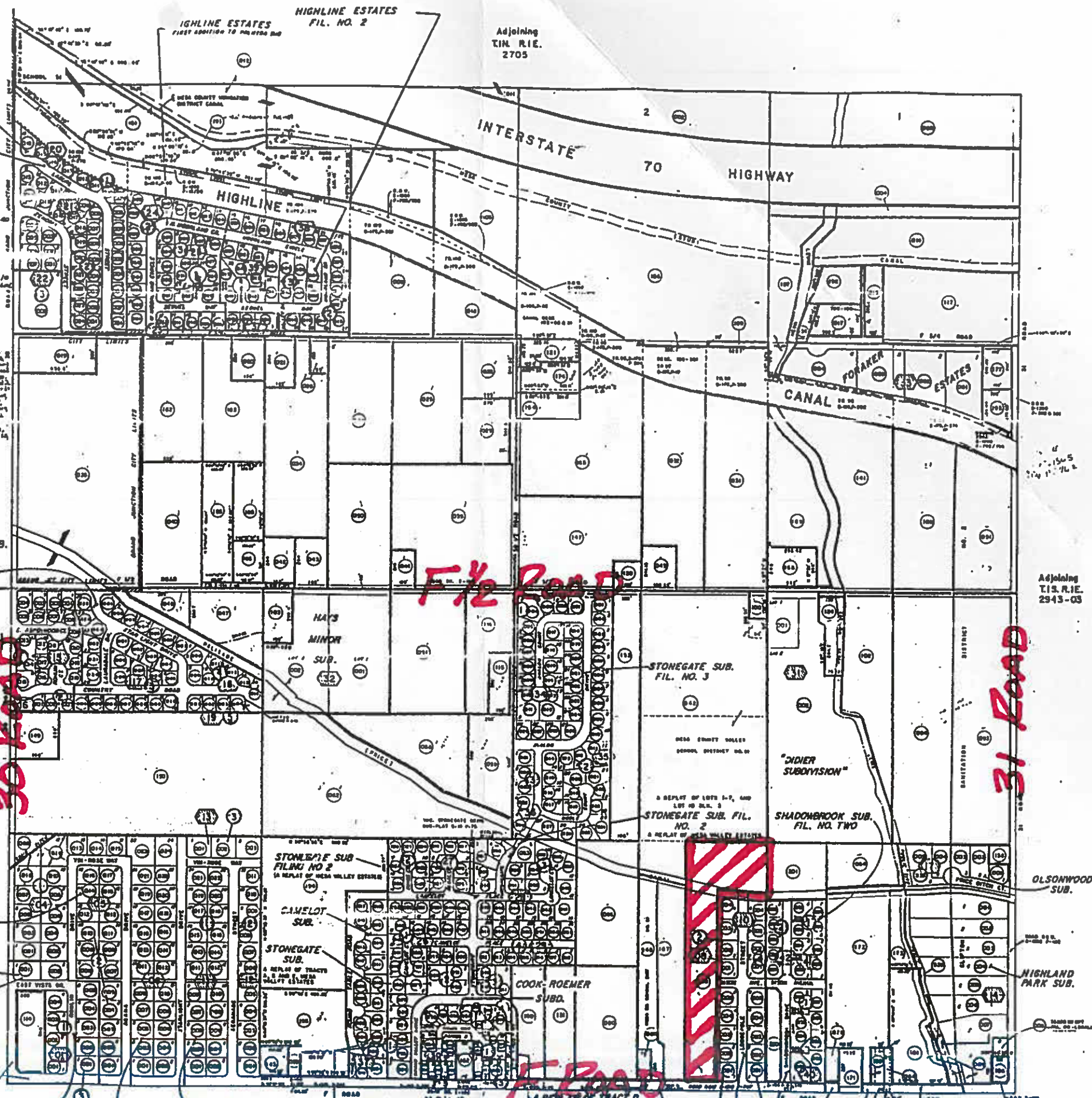
Village East 3rd Filing

REPLAT OF PARCELS B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

Adjoining T.I.S. R.I.E. 2943-09

REPLAT OF TRACT B MESA VALLEY ESTATES

T.I.S. R.I.E. SEC. 4  
2943-04



Adjoining T.I.S. R.I.E. 2705

Adjoining T.I.S. R.I.E. 2943-03

Sonri~

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

\*\*\*\*\*

**DESCRIPTION OF A TRACT OF LAND**

A tract of land generally described as being a portion of the East 12.5 acres of the SW ¼ SE ¼ of Section 4, Township 1 South Range 1 East of the Ute Meridian, and more specifically described as follows:

Beginning at a point which bears West 248.00 feet from the SE corner SW ¼ SE ¼ of said Section 4, thence West 1653.58 feet along the South boundary of said Section 4; thence North 00° 13' West 1316.33 feet to the North boundary of the SW ¼ SE ¼ of said Section 4; thence North 89° 57' East 412.09 feet along the North boundary of the SW ¼ SE ¼ of said Section 4 to the East boundary of the SW ¼ SE ¼ of said Section 4; thence South 00° 17' East 272.67 feet along the East boundary of the SW ¼ SE ¼ of said Section 4 to the North side of Price Ditch; thence West along the North side of Price Ditch the following two courses: North 85° 45' West 229.77 feet, thence North 77° 06' West 19.59 feet; thence South 00° 17' East 1065.34 feet to the true point of beginning,

EXCEPT the South 50 feet thereof as conveyed to County of Mesa by instrument recorded June 20, 1974 in Book 1018 at Page 812,  
Mesa County, Colorado



# B&G Excavation & Concrete. LLC

2482 Commerce Blvd.  
Grand Junction, Co 81505  
Phone (970) 255-6520  
Fax (970) 255-1017

## FAX COVER PAGE

DATE 05/07/07

TO: Ken Fischer

FAX # 256 4031

NUMBER OF PAGES: 2

MESSAGE: Orange Grove Punch List, PP-2003-090

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**James Hughes Construction**

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**From:** Laura Lamberty [laural@ci.grandjct.co.us]  
**Sent:** Friday, September 22, 2006 2:58 PM  
**To:** jhconst@rmi.net  
**Subject:** Fwd: Orange Grove Correction List



Header.dat (751  
B)

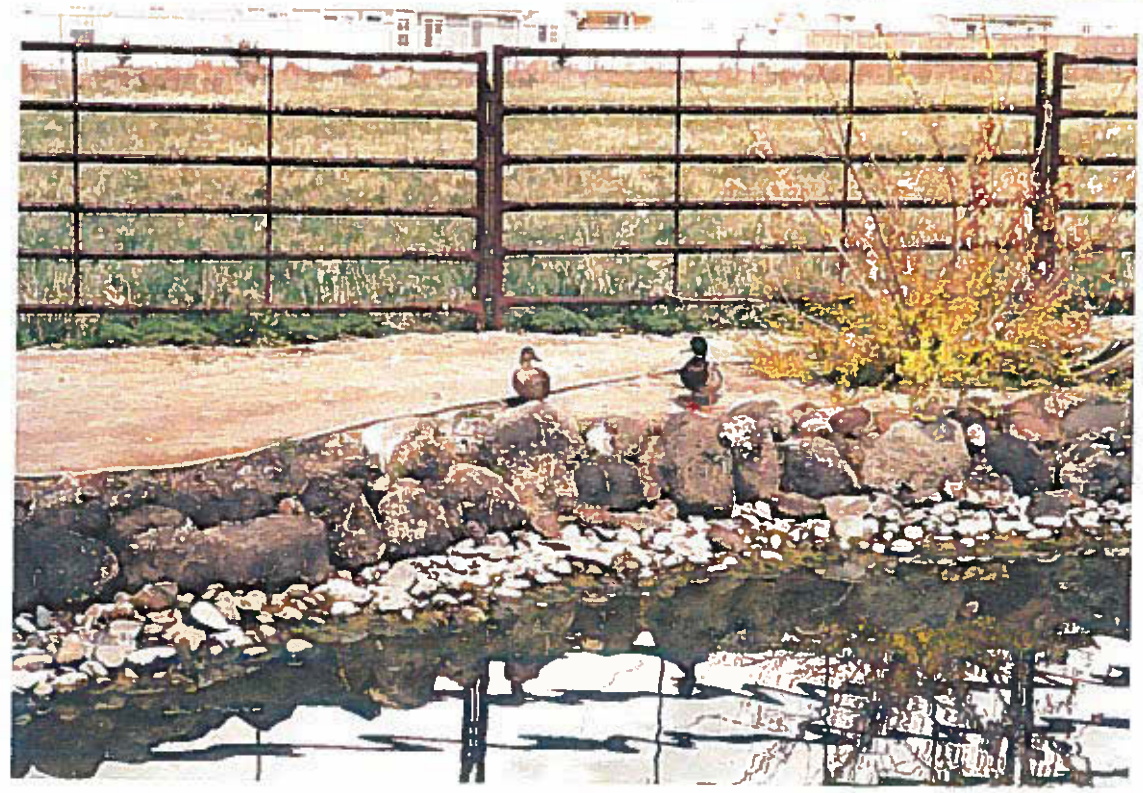
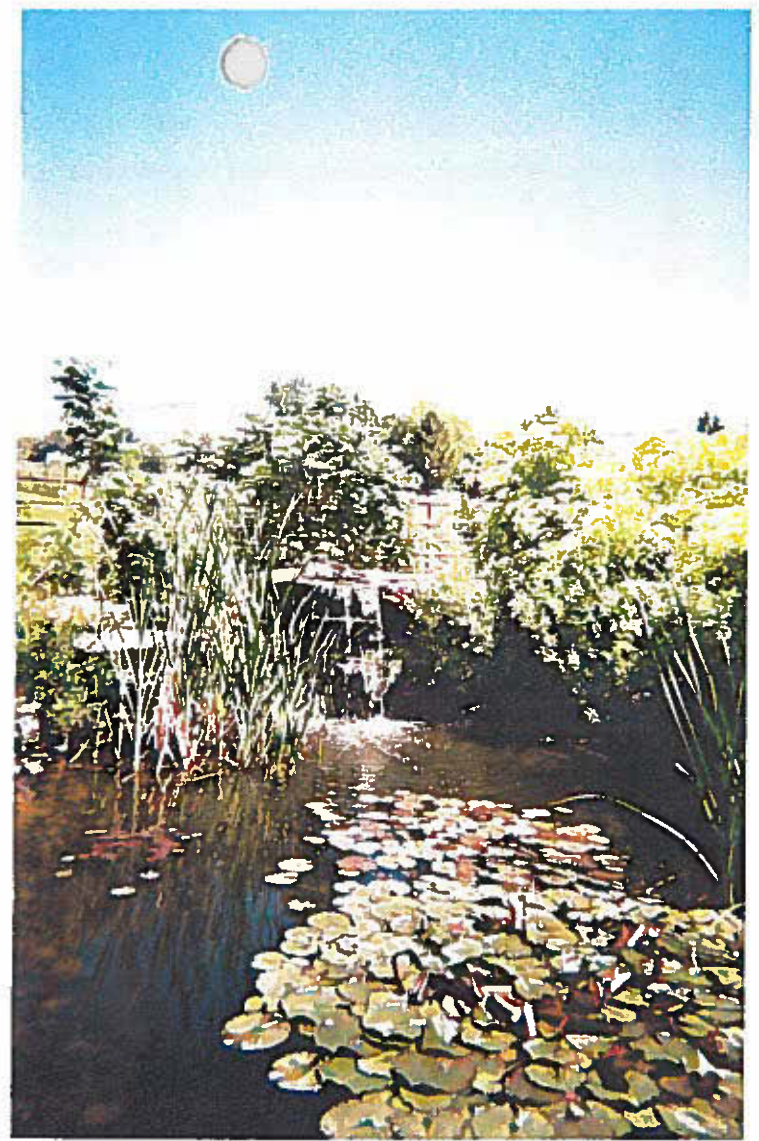
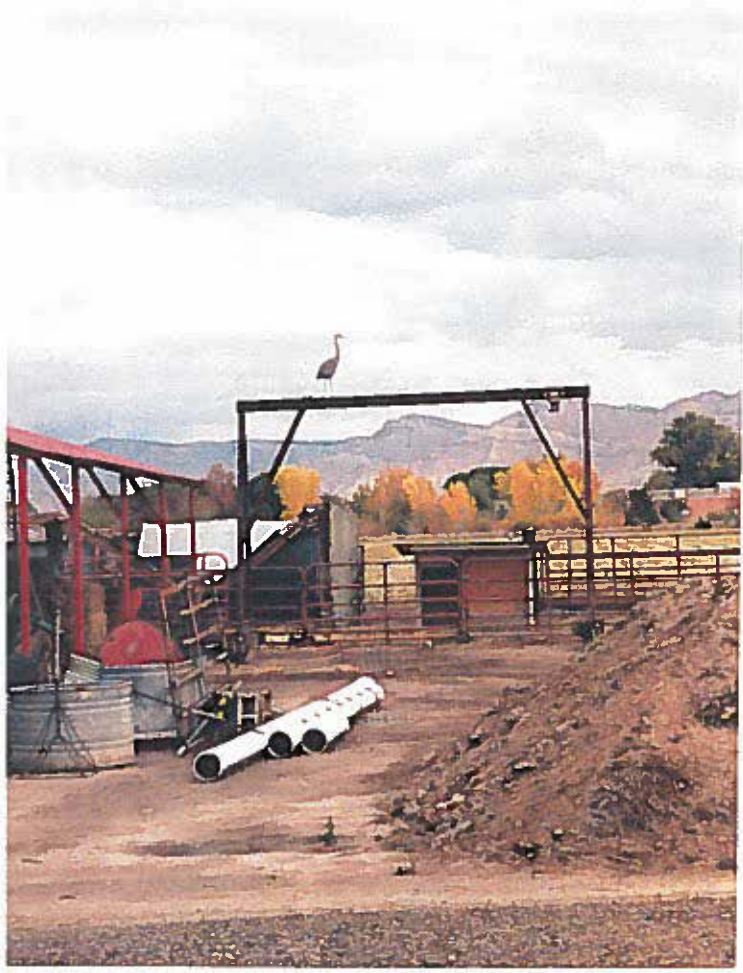
**FAXED**

9-25-06

>>> "Laura Lamberty" <laural@ci.grandjct.co.us> 9/22/2006 10:50 AM >>>  
Punch List for Orange Grove Final Acceptance

1. Clean V-pan in Detention pond of cat tails, mud, etc. The detention pond is routinely holding water. 2. Replace dead landscaping - all trees in detention pond are dead. 3. Straighten all parking signs 4. Repair spalled concrete on south of intersection. 5. Chip spilled concrete out of gutter at 808 Orange Grove 6. Repair 1 joint of cracked v-pan Orange Grove Court/Orange Grove Way 7. Fill in sunken spots of shoulder on west side of Orange Grove. 8. Clean Gutter where holding water/ move cars. 9. Replace cracked thermoplastic truncated dome mats. 10. Replace previously repaired gutter at Lot 4 where patch has come loose.

Laura C. Lamberty, PE  
Development Engineer  
City of Grand Junction  
250 N 5th Street  
Grand Junction, CO 81501  
(970) 256-4155  
(970) 256-4031 Fax



Richard and Pamela Fults  
3066 F. Rd.  
Grand Junction, CO 81504  
434-9675

RECEIVED  
SEP 04 2003  
COMMUNITY DEVELOPMENT  
DEPT.

September 3, 2003

RE: Review Comments Responses-July 24, 2003

Sonrise Acres Subdivision – Preliminary Plans

File # PP-2003-090

Ladies and Gentlemen:

We are writing this letter in reference Eric Hahn's General Comments item # 4.

If our fence line ends up higher than the natural swale, ( that is 1300 feet long ) the amount of rain water that will accumulate at the lower end of our property will be substantial enough which will create an erosion problem along our fence line.

Also; If the natural swale is, lower than our fence line (as Eric has stated). When we irrigate our pasture, through no fault of ours, water will flow onto Sonrise Way. We have never had a problem with this in the past because; the property to the east is higher than we are.

We feel that the accumulation of water (which cannot soak in) from the 7 feet of asphalt will be substantial enough to cause erosion on the lower end of our fence line. If in fact, the roadway is lower than our property.

We were not as concerned about this erosion or drainage problem until we reviewed the revised plans, showing the 7 feet of asphalt instead of the 7 feet of gravel the first set of plans showed.

On the other hand, if their roadway ends up higher than our property, the 7 feet of roadway west of the centerline will drain onto us.

**THIS IS NOT ACCEPTABLE!**

We feel that to alleviate this problem (which is more than negligible, as Eric has stated). Build a windrow within the 1 ½ ft. area, and not bury the fence. We believe if the windrow is built first, it can be processed, rolled in and, compacted so it will hold water from either side.

**THIS WOULD BE ACCEPTABLE!**

Without seeing the plans, it is impossible to know what problems we are going to incur. The Developer or his Representatives to address our concerns on this matter have not contacted us.

Sincerely,  
Richard and Pamela Fults  
Enclosure (1)

# Site Location Map

Figure 1



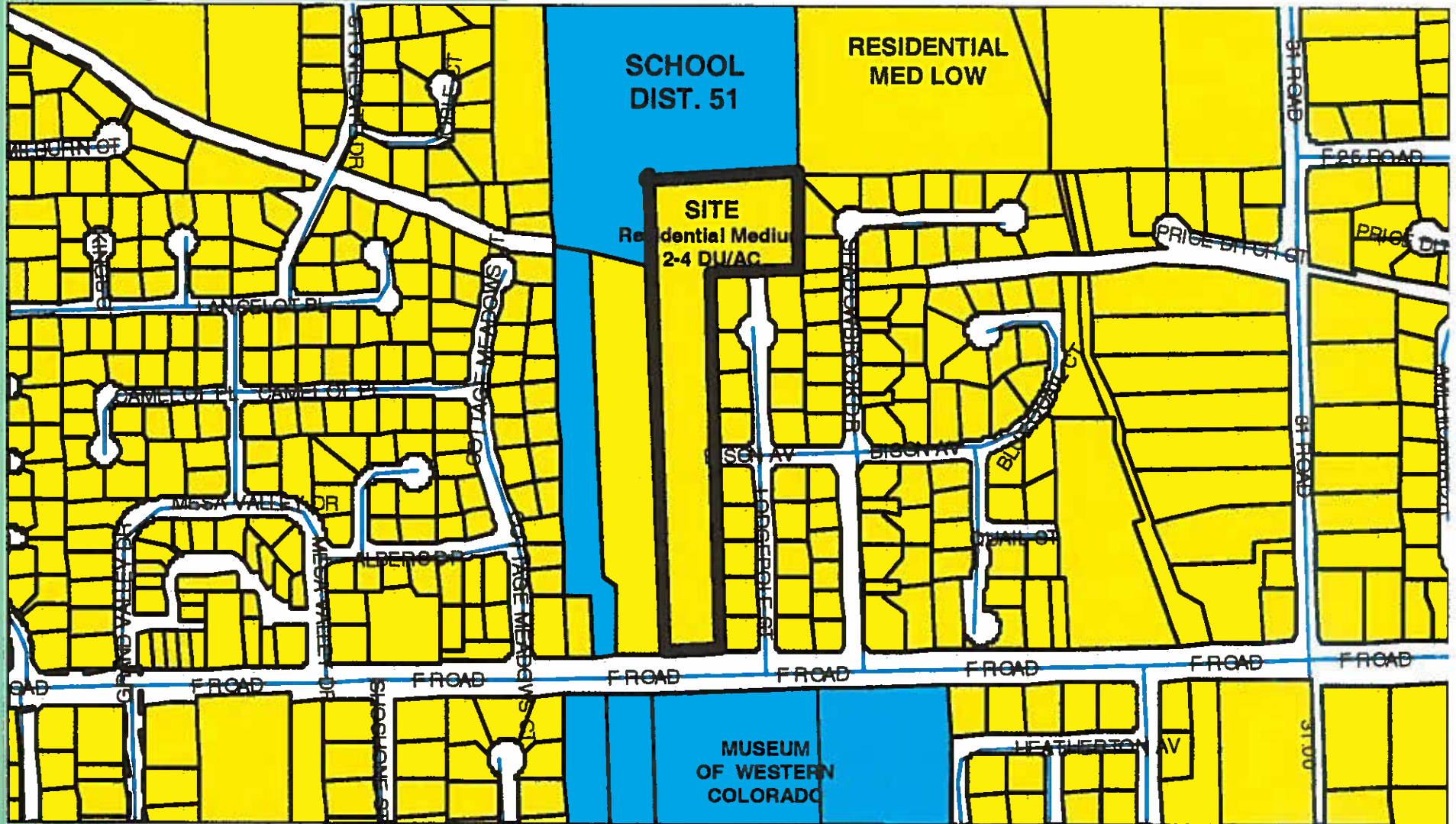
# Aerial Photo Map

Figure 2



# Future Land Use Map

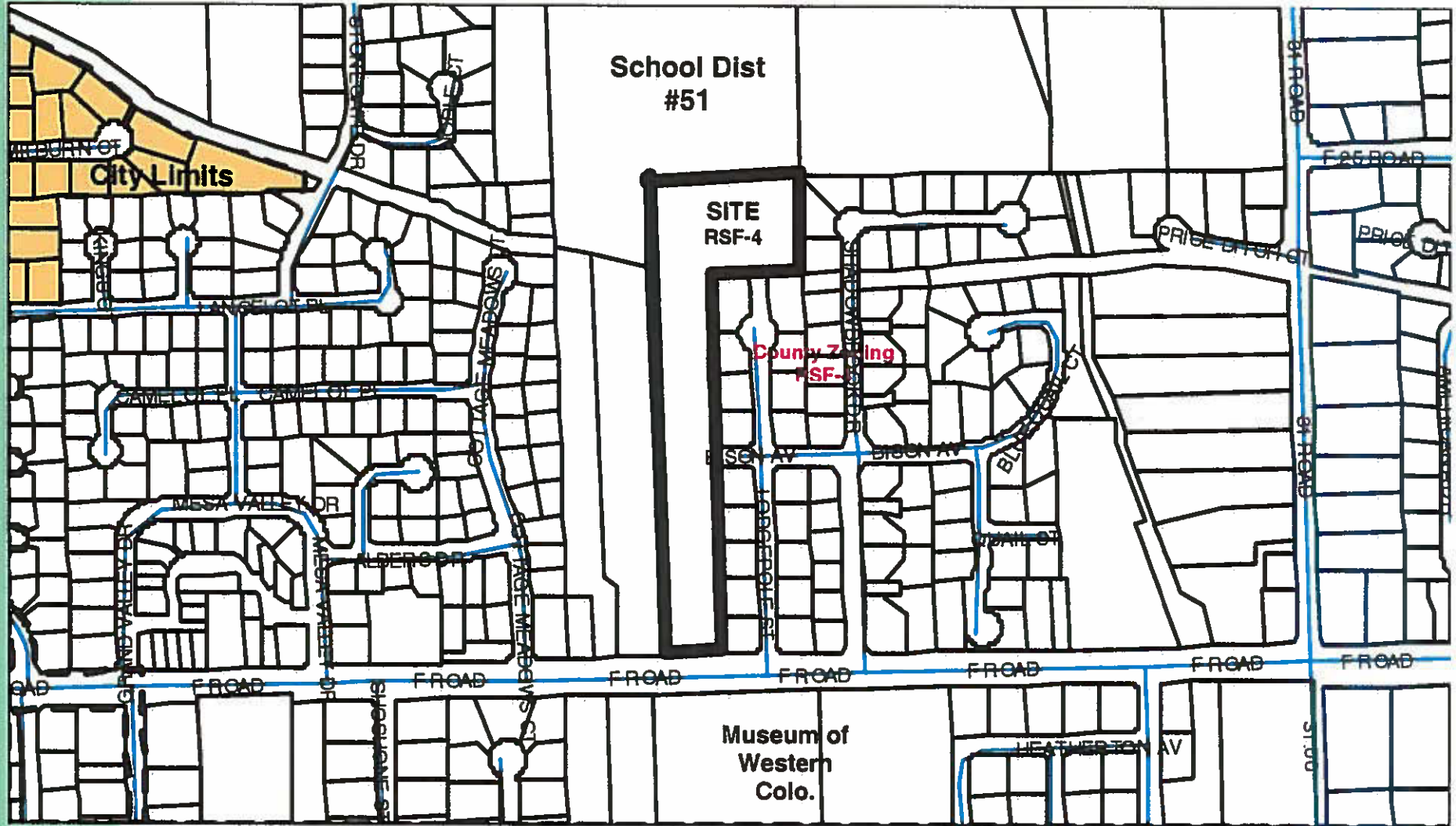
Figure 3



# Existing City and County Zoning

City Limits

Figure 4



NOTE: Mesa County is currently in the process of updating their zoning map. Please contact Mesa County directly to determine parcels and the zoning thereof."

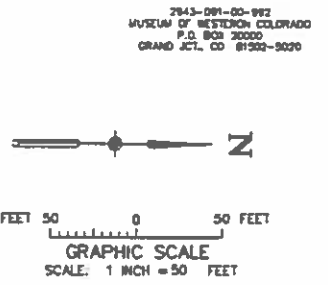
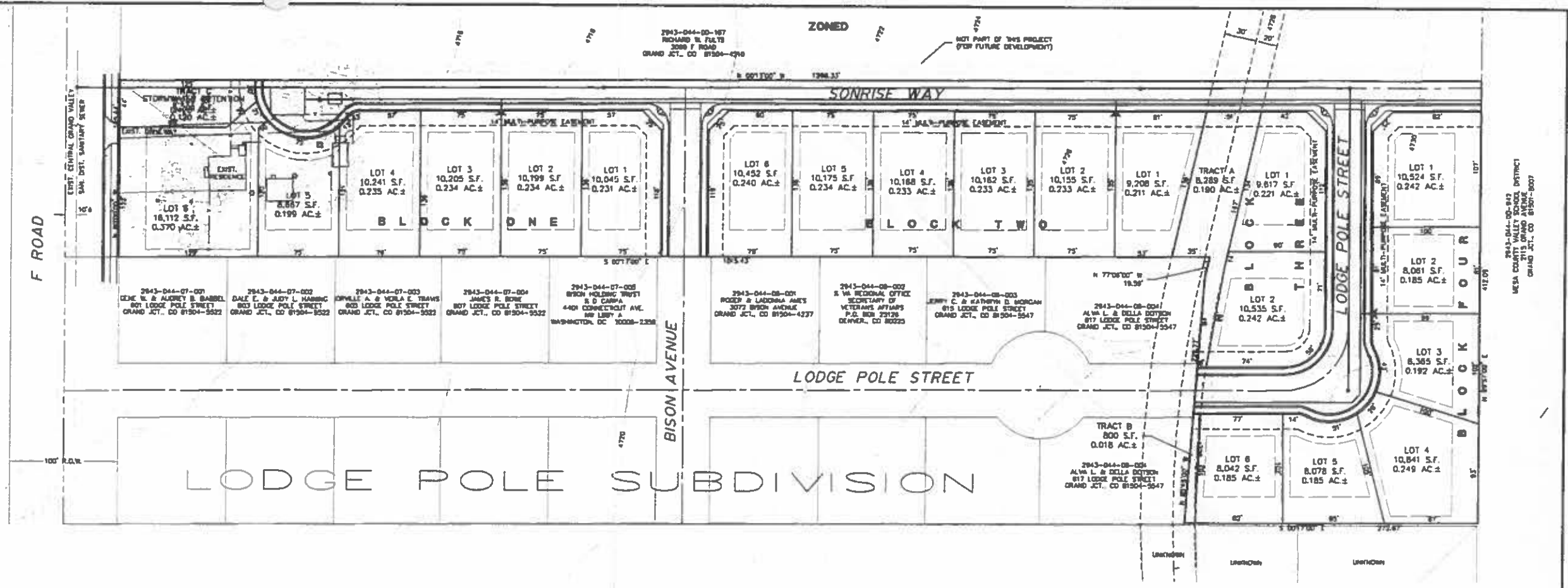




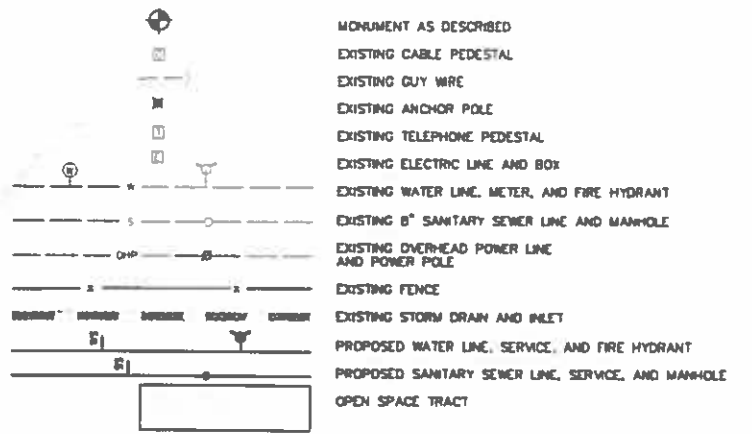
Zoning Map



C:\SDSKPRO\117.00-02\dwg\prelim2.dwg, 04/22/03 08:39:55 AM, FRANCES



**LEGEND**



**PUBLIC FACILITIES**

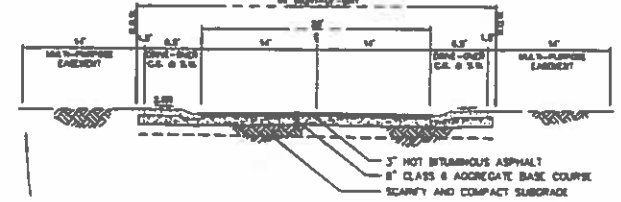
SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Citizen Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Owest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palisade Irrigation District

**BULK REQUIREMENTS FOR RSF-4 ZONE**

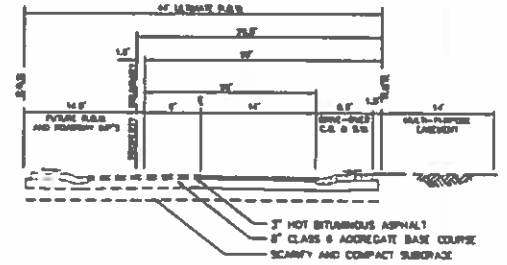
MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	7 FEET
PRINCIPAL STRUCTURE	3 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	
MINIMUM REAR YARD SETBACK	25 FEET
PRINCIPAL STRUCTURE	5 FEET
ACCESSORY STRUCTURE	
MINIMUM FRONT YARD SETBACK	20 FEET
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

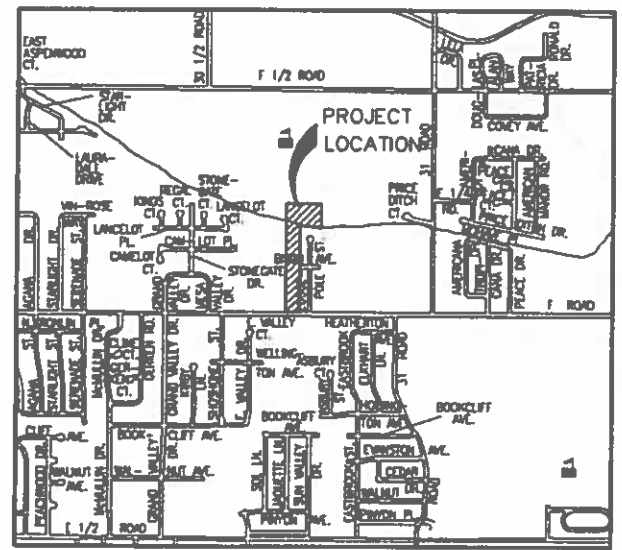
RESIDENTIAL LOTS (20)	4.589 ACRES	73.0%
OPEN SPACE	0.328 ACRES	5.2%
INTERIOR ROADS	1.371 ACRES	21.8%
<b>TOTAL</b>	<b>6.288 ACRES</b>	<b>100.0%</b>



TYPICAL ROADWAY SECTION  
BISON AVE. & LODGE POLE ST.  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



TYPICAL ROADWAY SECTION - SONRISE WAY  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



VICINITY MAP

DRAWN BY:	F.J.B.	REVIEWED:	
DESIGNED BY:	P.M.O.	DATE:	FOR
CHECKED BY:	P.M.O.	DATE:	FOR VISTA ENGINEERING CORP.

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD

PRELIMINARY PLAN  
SONRISE ACRES

GRAND JUNCTION, COLORADO	SCALE:	SHEET NO.	DATE:
	1" = 50'	41700-02	4-8-03
		1 of 1	

# PLANNING COMMISSION NOTICE OF PUBLIC HEARING

DATE: OCT 28 2003 TIME: 7:00 p.m.

PLACE: City Hall Auditorium, 250 North 5<sup>th</sup> Street

A petition for the following request has been received and tentatively scheduled for a public hearing on the date indicated above.

If you have any questions regarding this request or to confirm the hearing date, please contact the Grand Junction Community Development Department at (970) 244-1430 or stop in our office at 250 North 5<sup>th</sup> Street.

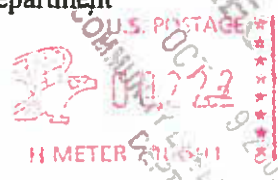
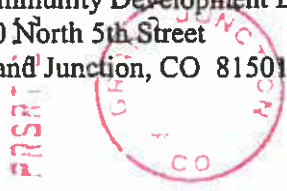
## PP-2003-090 – SONRISE ACRES SUBDIVISION - 3068 F Road

Request approval to develop 20 single family lots on 6.288 acres in a RSF-4 (Residential Single Family-4 units/acre) zone.

Planner **Lori Bowers**



City of Grand Junction  
Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501



5/30

MELINDA PARKER  
616 1/2 COTTAGE MEADOWS CT  
GRAND JUNCTION, CO 81504-4371

PARK616 815042010 1A03 04 10/29/03  
RETURN TO SENDER  
PARKER, MELINDA COLLEEN  
MOVED LEFT NO ADDRESS  
UNABLE TO FORWARD  
RETURN TO SENDER





CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501



00.222  
 H METER 704822

CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOP  
 250 NORTH 5TH STREET  
 GRAND JUNCTION, CO 81501



CITY OF GRAND JUNCTION  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 250 NORTH 5TH STREET  
 GRAND JUNCTION CO 81501



00.222  
 H METER 704822

*ANK  
 C-16*

KATHLEEN R MCGIRR  
 MAUREEN K BEYER  
 614 SHADOW BROOK DR  
 GRAND JUNCTION, CO 81501 4257



NIXIE 2007 1 03 06/12/03

RETURN TO SENDER  
 ATTEMPTED - NOT KNOWN  
 UNABLE TO FORWARD



**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:-

Vista Engineering Corp  
 Pat O'Connor  
 2777 Crossroads Blvd  
 # 11  
 Grand Junction, CO  
 81506

2. Article Number 7000-1670-0010-0684-6806  
 (Transfer from service label)

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature  Agent  Addressee  
 X D. Stratton

B. Received by (Printed Name) C. Date of Delivery  
 D. Stratton 5/28/02

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type  
 Certified Mail  Express Mail  
 Registered  Return Receipt for Merchandise  
 Insured Mail  C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

UNITED STATES POSTAL SERVICE



First-Class Mail  
Postage & Fees Paid  
JSPS  
Permit No. G-10

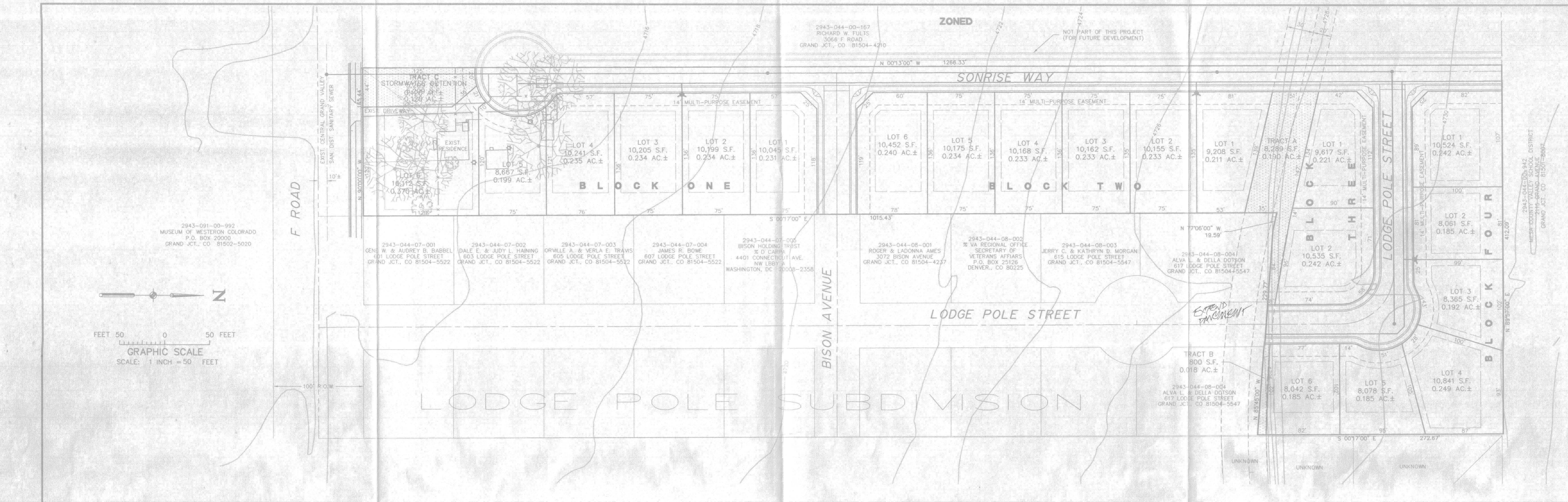
*Lori Bowers*

• Sender: Please print your name, address, and ZIP+4 in this box •

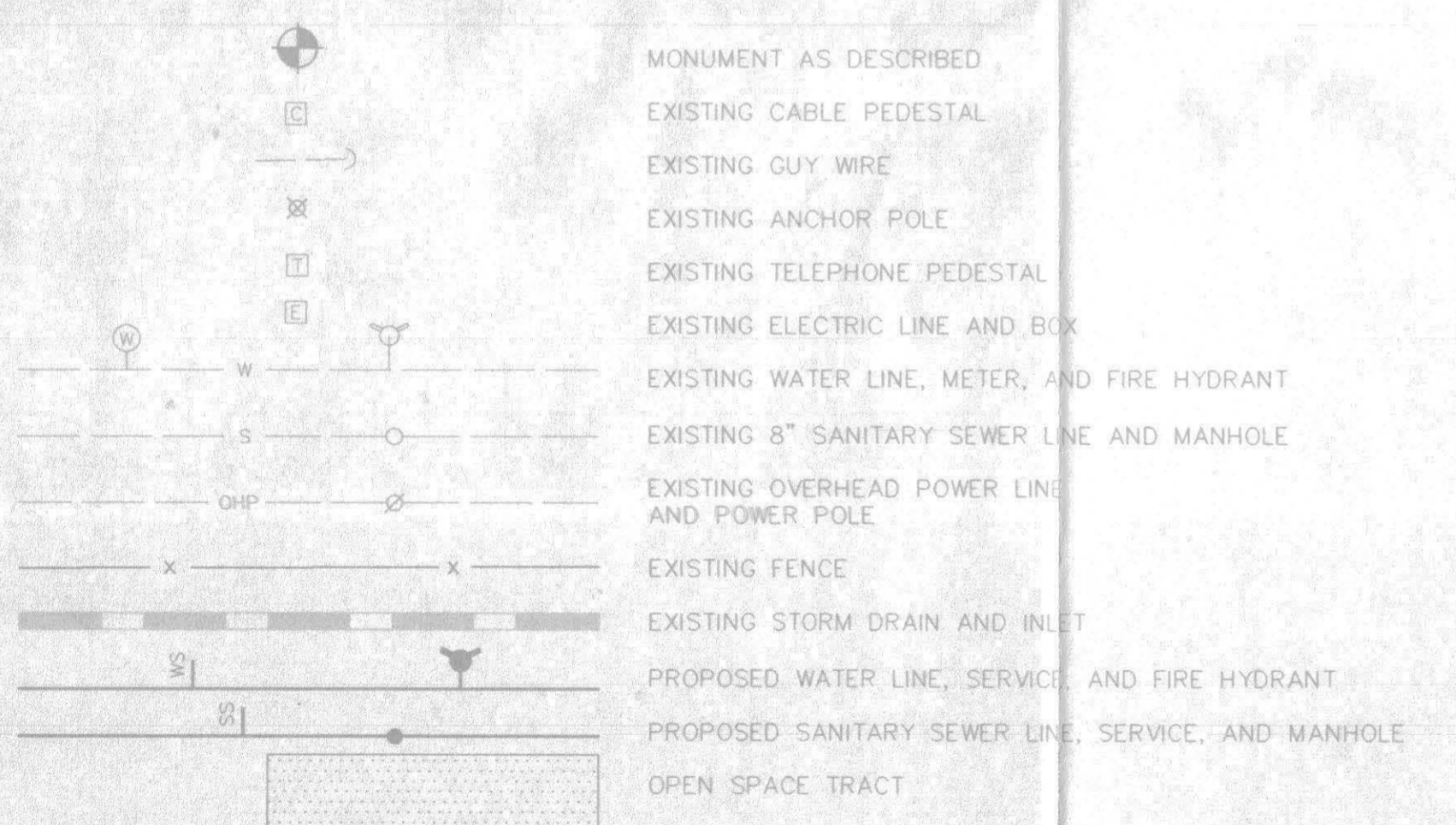
Community Development Dept.  
250 North 5th Street  
Grand Junction, CO 81501

**RECEIVED**  
MAY 29 2003  
COMMUNITY DEVELOPMENT  
DEPT.





**LEGEND**



**PUBLIC FACILITIES**

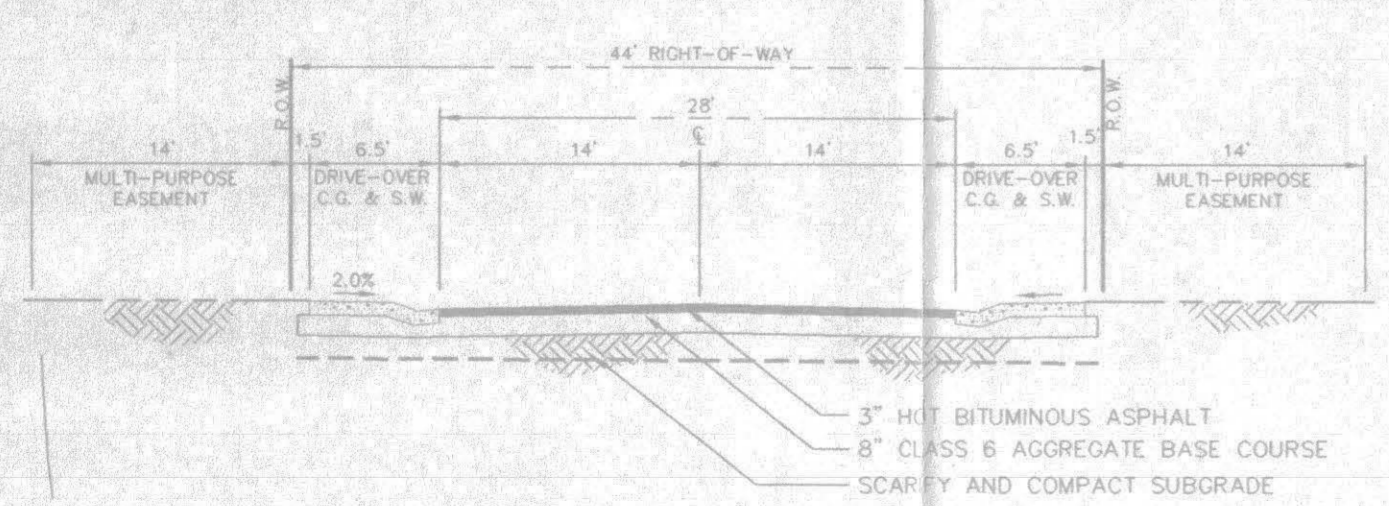
SANITARY SEWER	Central Grand Valley Sanitation District
DOMESTIC WATER	Clifton Water
GAS	Xcel Energy
ELECTRIC	Grand Valley Rural Power
TELEPHONE	Qwest
CABLE TV	AT & T Broadband
STORM SEWER	Grand Junction Drainage District
IRRIGATION	Palisade Irrigation District

**BULK REQUIREMENTS FOR RSF-4 ZONE**

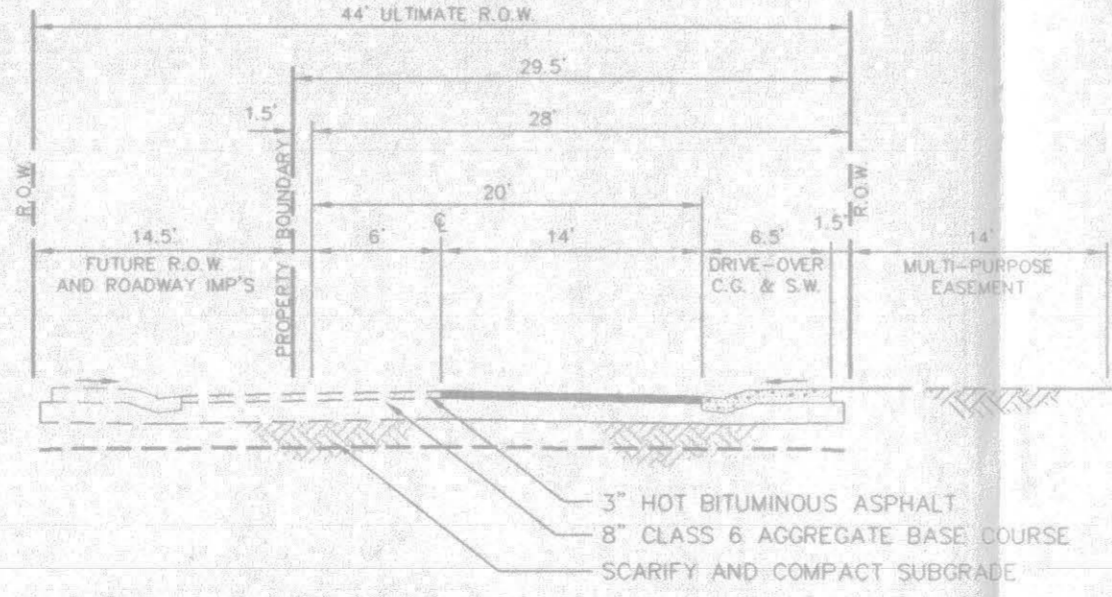
MINIMUM LOT AREA	8,000 S.F.
MINIMUM STREET FRONTAGE	20 FEET
MAXIMUM HEIGHT OF STRUCTURES	35 FEET
MINIMUM LOT WIDTH	75 FEET
MINIMUM SIDE YARD SETBACK	
PRINCIPAL STRUCTURE	7 FEET
ACCESSORY STRUCTURE (ON REAR HALF OF PARCEL)	3 FEET
MINIMUM REAR YARD SETBACK	
PRINCIPAL STRUCTURE	25 FEET
ACCESSORY STRUCTURE	5 FEET
MINIMUM FRONT YARD SETBACK	
PRINCIPAL STRUCTURE	20 FEET
ACCESSORY STRUCTURE	25 FEET
MAXIMUM COVERAGE OF LOT BY STRUCTURES	50%
MAXIMUM UNITS PER GROSS ACRE	4

**AREA BREAKDOWN**

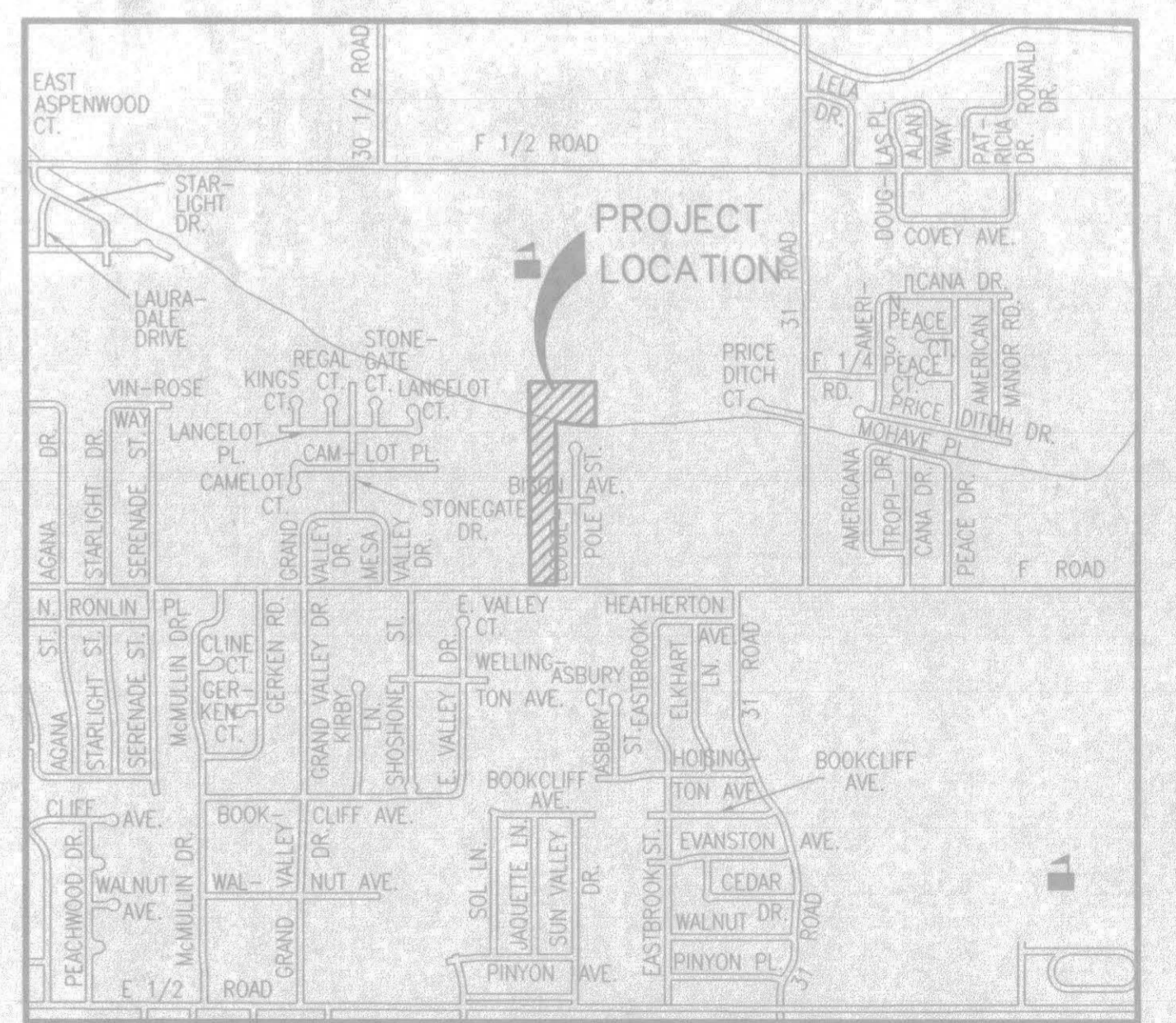
RESIDENTIAL LOTS (201)	4.589 ACRES±	73.0%
OPEN SPACE	0.328 ACRES±	5.2%
INTERIOR ROADS	1.371 ACRES±	21.8%
TOTAL	6.288 ACRES±	100.0%



TYPICAL ROADWAY SECTION  
BISON AVE. & LODGE POLE ST.  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



TYPICAL ROADWAY SECTION - SONRISE WAY  
(SUBDIVISION INTERIOR)  
NOT TO SCALE



VICINITY MAP

DRAWN BY:	F.J.B.	REVIEWED	DATE	FOR
DESIGNED BY:	P.M.O.	REVIEWED	DATE	FOR
CHECKED BY:	P.M.O.	REVIEWED	DATE	FOR

**VISTA ENGINEERING CORP.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81608 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHD	7

PRELIMINARY PLAN  
SONRISE ACRES

GRAND JUNCTION, COLORADO	SCALE: 1" = 50'	JOB NO: 417.00-02	DATE: 4-20-03
SHEET NO.		1 of 1	

C:\SDSKPRO\14117-002\dwg\prelimz.dwg, 04/21/03 09:39:16 AM, FRANCES

03-090