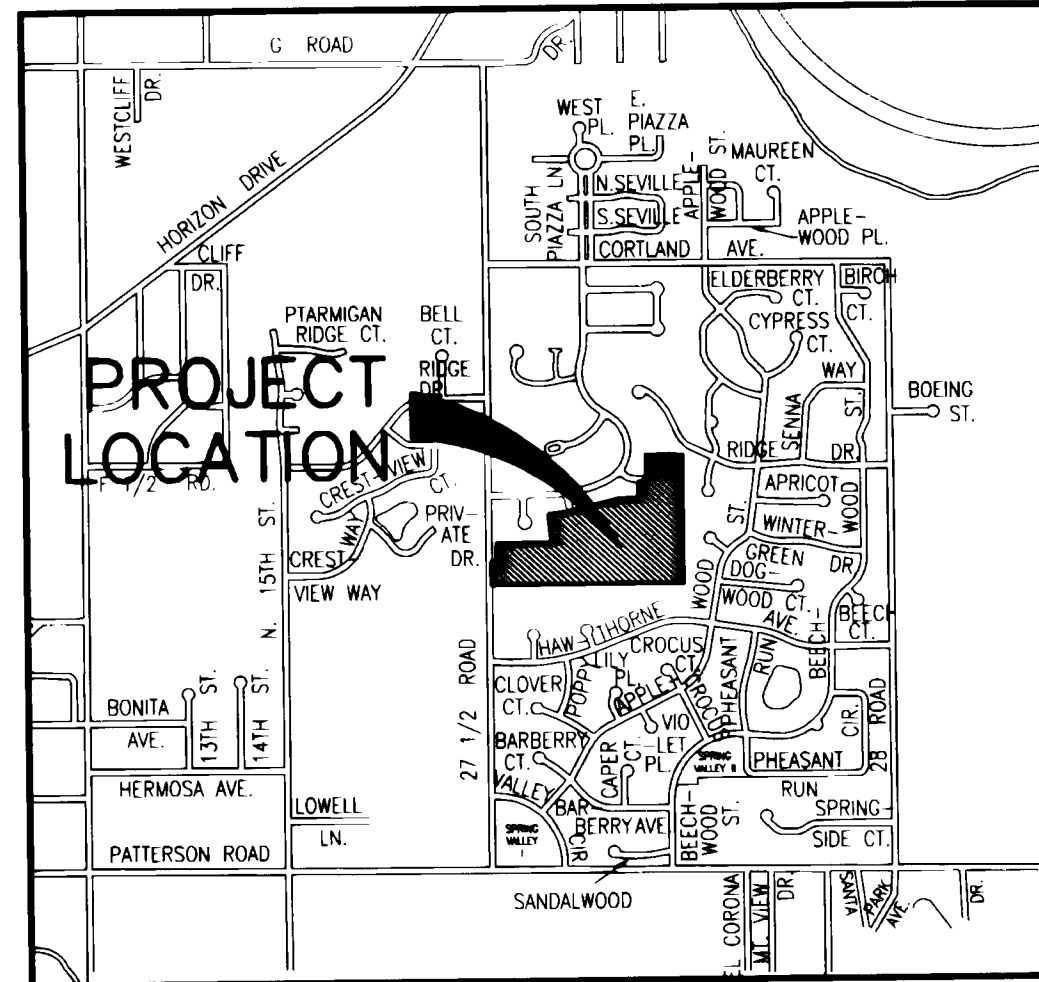
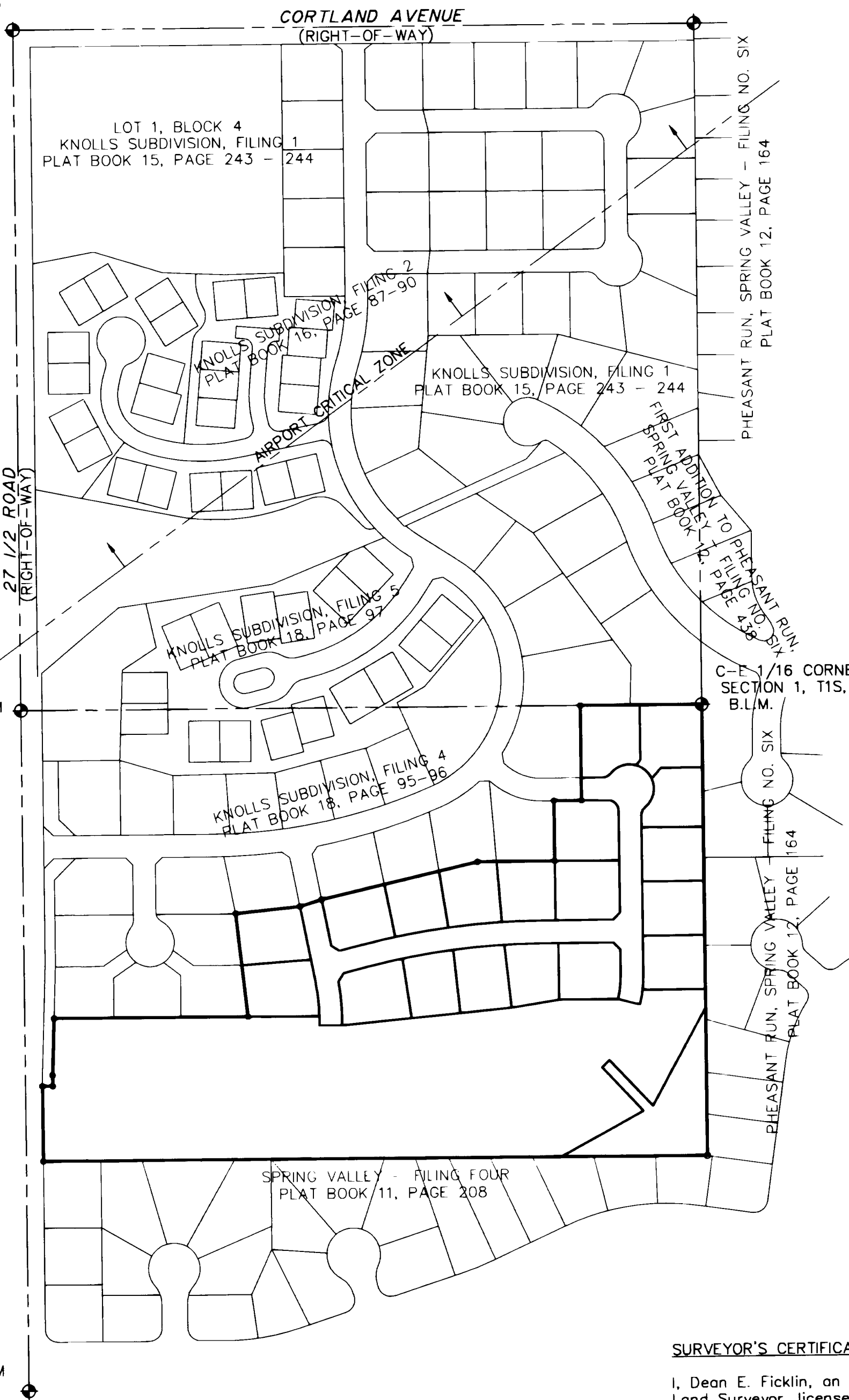


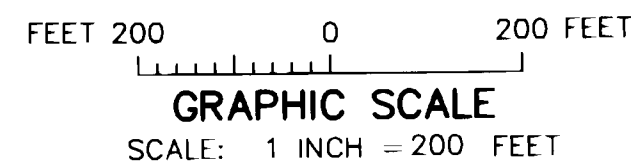
KNOLLS SUBDIVISION, FILING 6
A REPLAT OF BLOCK 6 OF KNOLLS SUBDIVISION, FILING 4.
LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

C-N 1/16 CORNER,
SECTION 1, T1S, R1W, UM
DH SURVEY INC. 24306

NE 1/16 CORNER,
SECTION 1, T1S, R1W, UM
BANNER INC. 19597



VICINITY MAP



LEGEND

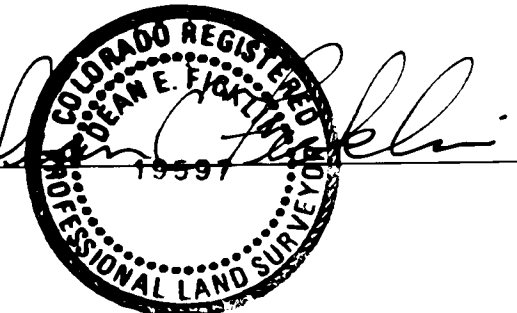
- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED VISTA ENGR., 19597
- FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19597
- FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 9960, IN CONCRETE.
- ⊕ FOUND IN PLACE, MONUMENT AS DESCRIBED.

SURVEYOR'S CERTIFICATE

I, Dean E. Ficklin, an employee of Vista Engineering Corporation, and a Professional Land Surveyor, licensed under the laws of the State of Colorado, do hereby state that this survey and plat of Knolls Subdivision, Filing 6 shown hereon was prepared under my direct supervision and is in compliance with applicable City of Grand Junction Zoning and Development Codes and State of Colorado regulations and is true and accurate to the best of my knowledge and belief.

IN WITNESS WHEREOF, I hereunto affix my hand and seal this 9 day of JANUARY, A.D., 2004.

Dean E. Ficklin
P.L.S., 19597



AREA SUMMARY

LOTS	5.707 AC. ±	36.9%
ROADS	1.395 AC. ±	9.0%
TRACT A	0.719 AC. ±	4.7%
TRACT B	7.643 AC. ±	49.4%
TOTAL	15.464 AC. ±	100%

FOR CITY OF GRAND JUNCTION USE

Book and Page recording information refers to the records of the Mesa County Clerk and Recorders Office.

Declarations
Recorded in Book _____ Pages _____ through _____
Dedication Note 4.
Deed of conveyance recorded in Book _____ Page _____
Dedication Note 5.
Deed of conveyance recorded in Book _____ Page _____
Dedication Note 6.
Deed of conveyance recorded in Book _____ Page _____

NOTES:

- Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon a defect in this survey be commenced more than ten years from the date of certification shown hereon.
- BASIS OF BEARINGS: The line between the C-S 1/16 corner and C 1/4 corner, both of Section 1, Township 1 South, Range 1 West, Ute Meridian having a bearing of N 00° 00' 59" E, as recorded on The Knolls Subdivision, Filing 2 Plat Book 16, at Pages 87 through 90, in the records of the Mesa County Clerk and Recorder.
- Existing property corners which were recovered during this survey which were within 0.25 feet ± of the position of record were accepted as being in the proper location as shown by record.
- Easement and Title Information provided by Abstract and Title Company of Mesa County, Inc., Commitment No. 00909936 C., dated March 17, 2003.
- The boundary of the Airport Critical Zone for Walker Field is shown hereon in accordance with Figure 11 of the Land Use Plan, dated July, 1984 prepared by Isbill Associates, Inc., for Walker Field, Grand Junction, Colorado.

CERTIFICATE OF OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS that O.P. Development Company, LLC being the sole owner in fee simple of Block 6 of Knolls Subdivision, Filing 4, according to the Plat thereof recorded in Plat Book 18, Pages 95 through 96 in the records of the office of the Mesa County Clerk and Recorder, does hereby plat said real property under the name and style of The Knolls Subdivision, Filing 6, a subdivision of part of the City of Grand Junction, County of Mesa, State of Colorado, in accordance with the Plat shown hereon.

DESCRIPTION OF THE KNOLLS, FILING 6

Block 6 of Knolls Subdivision, Filing 4, according to the Plat thereof recorded in Plat Book 18, Pages 95 through 96, in the records of the Mesa County Clerk and Recorder. Located in the NW 1/4 of the SE 1/4 of Section 1, Township 1 South, Range 1 West of the Ute Meridian, City of Grand Junction, County of Mesa, State of Colorado.

Knolls Subdivision, Filing 6 as described above contains 15.464 acres more or less.

SUBJECT to easement rights of the GRAND VALLEY WATER USERS ASSOCIATION AND THE UNITED STATES OF AMERICA as set forth in that agreement dated SEPTEMBER 12, 2003, and recorded in Book 3480, Pages 920 through 939, Mesa County Records.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

- All streets, roads and Right-of-Ways are dedicated to the city of Grand Junction for the use of the public forever. Before acceptance of a dedication of any Street or Right-of-Way, the City may require proof of acceptable environmental condition by e.g. a "phase 1" environmental audit.
- All Multi-purpose Easements to the City of Grand Junction for the use of City approved: utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.
- All Utility Easements to the City of Grand Junction for the use of City approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.
- All Irrigation to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of irrigation systems and to supply and drain irrigation water. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.
- All Drainage Easements to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of drainage facilities for the conveyance of runoff water which originated within the area hereby platted or from upstream areas, through natural or man-made facilities above or below ground. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.
- Tract A (Open Space) to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for: (a) conveying and detaining/retaining runoff water which originates from the area hereby platted, and also for the conveyance of runoff from upstream areas, through natural or man-made facilities above or below ground; (b) use by the public utilities for installation, operation, maintenance and repair of utilities and appurtenances; (c) the use of the Grand Valley Water Users Association, for the purpose of ingress and egress and the operation, maintenance and repair of Grand Valley Water Users Association facilities; (d) usage and aesthetic purposes as determined appropriate by said owners. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.

All easements include the right of ingress and egress on, along, over, under, through, and across by the beneficiaries, their successors, or assigns, together with the right to trim or remove interfering trees and brush, and in Drainage and Detention/Retention easements, the right to Dredge; provided however, that the beneficiaries of said easement shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden or overburden said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

Said owner hereby acknowledge that all lien holders or encumbrances, if any, associated with the interests of this plat have been represented hereon.

IN WITNESS WHEREOF, said owners, O.P. DEVELOPMENT COMPANY, LLC, has caused their names to be hereunto subscribed this 16th day of January, A.D., 2004.

Robert C. Knappie
Robert C. Knappie, Managing Director

ACKNOWLEDGMENT OF OWNERSHIP

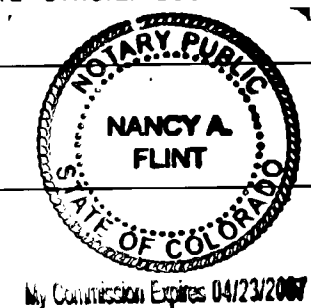
State of Colorado } ss
County of Mesa

On this 16th day of January, A.D., 2004, before me the undersigned officer, personally appeared Robert C. Knappie as Managing Director of O.P. Development Company, LLC., and acknowledged that he executed the foregoing Certificate of Ownership, for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal.

My commission expires 4/23/07

Nancy A. Flint
Notary Public



LIEN HOLDER'S CERTIFICATE

The Wells Fargo Bank West, N.A. having property interests in or encumbrances upon the property involved approve this plat of Knolls Subdivision, Filing 6 this 16th day of February, A.D., 2004.

By: *William F. Rockwood*
William F. Rockwood, Vice President

ACKNOWLEDGMENT OF LIEN HOLDER

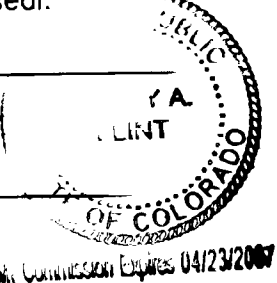
State of Colorado } ss
County of Mesa

On this 16th day of February, A.D., 2004, before me the undersigned officer, personally appeared William F. Rockwood, as Vice President of the Wells Fargo Bank, N.A. and acknowledged that he executed the foregoing Certificate of Lien Holder, for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal.

My commission expires 4/23/07

Nancy A. Flint
Notary Public



CITY APPROVAL

The Knolls Subdivision, Filing 6 is approved and accepted this 20th day of January, A.D., 2004.

Harry A. Butler
City Manager

Harry A. Butler Mayor Pro Tem

COUNTY CLERK AND RECORDER'S CERTIFICATE

State of Colorado } ss
County of Mesa

I hereby certify that this instrument was filed for record in the office of the County Clerk and Recorder of Mesa County at 10:53 A.M., on the 18th day of February, A.D. 2004 in Plat Book No. 3589, Page No. 2474248, Reception No. 2177345, Drawer No. 00-131, Fees 20.00 1.00.

Janice Ward
Mesa County Clerk and Recorder

Ginny Baughman
Deputy

DECLARATIONS

The Declaration of Covenants and Restrictions are recorded as shown in the City of Grand Junction Information Box

TITLE CERTIFICATION

We, First American Title Company, a title insurance company, as duly licensed in the state of Colorado, hereby certify that we have examined the title to the hereon described property, that we find the title to the property is vested to O.P. Development Company, LLC., that the current taxes have been paid, that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record; that all easements, reservations and rights of way of record are shown hereon.

Executed this 16th day of January, A.D., 2004.

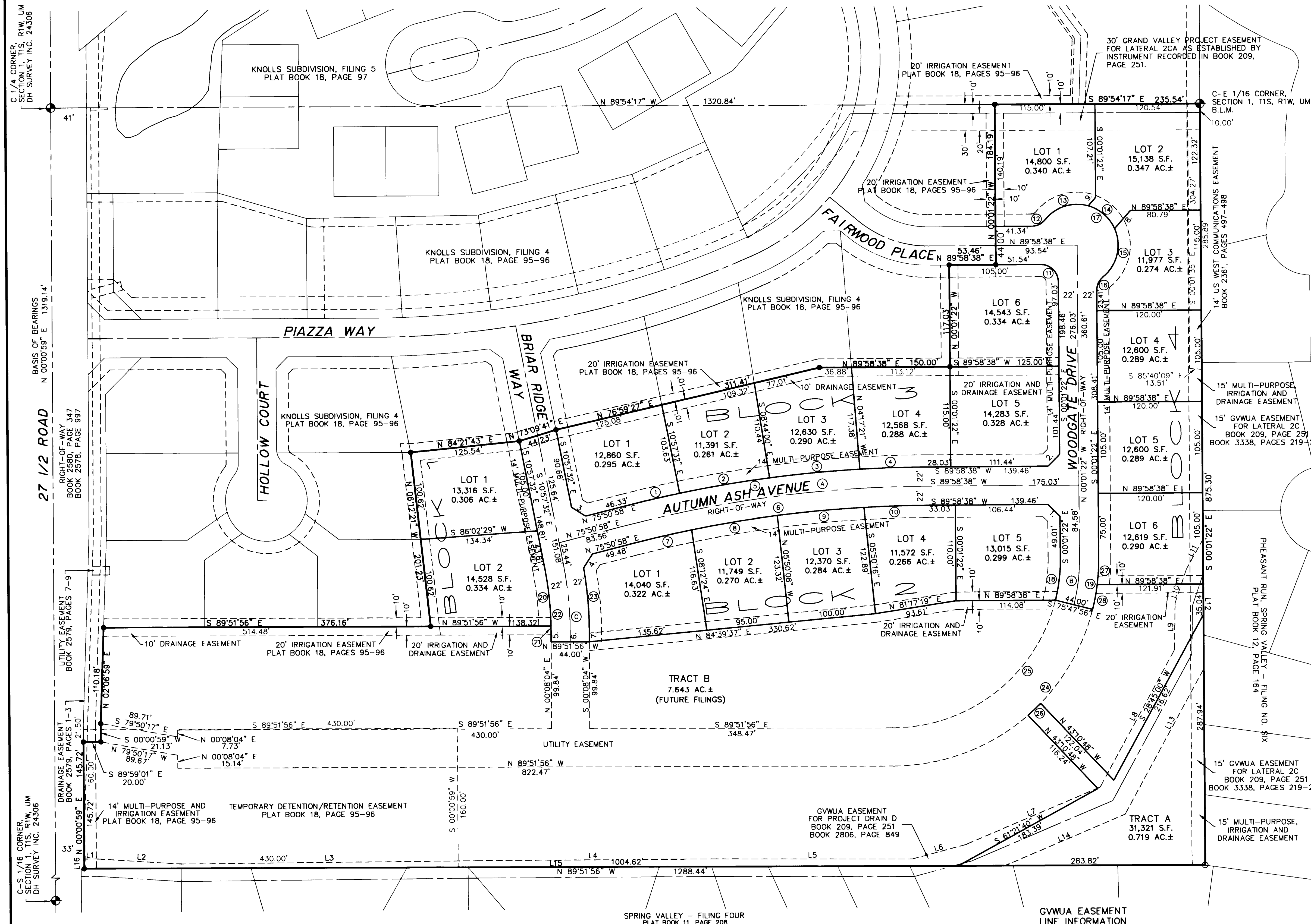
Annette Miller
Title examiner

KNOLLS SUBDIVISION, FILING 6
LOCATED IN THE NW 1/4 OF THE SE 1/4
OF SECTION 1, T.1 S., R.1 W.,
UTE MERIDIAN, MESA COUNTY, COLORADO

VISTA ENGINEERING CORP.
GRAND JUNCTION, COLORADO

SCALE: 1" = 200' JOB NO: 4003.06-02 DATE: 1-9-04 SHEET NO: 1 of 2

KNOLLS SUBDIVISION, FILING 6
 A REPLAT OF BLOCK 6 OF KNOLLS SUBDIVISION, FILING 4.
 LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO



CURVE INFORMATION

CURVE	DELTA	ANGLE	RADIUS	LENGHT	TANGENT	CHORD	CHORD BEARING
1	02°36'44"	1422.00'	64.83'	32.42'	64.83'	S 77°09'20" W	
2	04°13'54"	1422.00'	105.02'	52.54'	105.00'	S 80°34'39" W	
3	04°12'20"	1422.00'	104.38'	52.21'	104.36'	S 84°47'47" W	
4	03°04'41"	1422.00'	76.39'	38.21'	76.39'	S 88°26'18" W	
5	14°07'40"	1422.00'	350.63'	176.21'	349.74'	S 82°54'48" W	
6	14°07'40"	1378.00'	339.78'	170.76'	338.92'	S 82°54'48" W	
7	02°49'01"	1378.00'	67.75'	33.88'	67.75'	S 77°15'29" W	
8	04°09'32"	1378.00'	100.02'	50.03'	100.00'	S 80°44'45" W	
9	04°09'32"	1378.00'	100.02'	50.03'	100.00'	S 84°54'17" W	
10	02°59'35"	1378.00'	71.99'	36.00'	71.98'	S 88°28'51" W	
11	90°00'00"	20.00'	31.42'	20.00'	28.28'	N 45°01'22" W	
12	51°10'51"	20.00'	17.87'	9.58'	17.28'	N 64°23'13" E	
13	67°17'09"	47.00'	55.19'	31.28'	52.08'	S 72°26'22" W	
14	50°22'07"	47.00'	41.32'	22.10'	40.00'	N 48°44'00" W	
15	74°42'25"	47.00'	61.28'	35.87'	57.03'	N 13°48'16" E	
16	51°10'51"	20.00'	17.87'	9.58'	17.28'	S 25°34'04" W	
17	192°21'41"	47.00'	157.80'	434.00'	93.45'	N 45°01'22" W	
18	14°13'26"	193.00'	47.91'	24.08'	47.79'	N 07°05'21" E	
19	14°13'26"	237.00'	58.84'	29.57'	58.68'	N 07°05'21" E	
20	10°09'47"	378.00'	67.05'	33.61'	66.96'	N 05°52'38" W	
21	00°55'48"	378.00'	6.14'	3.07'	6.14'	N 00°19'50" W	
22	11°05'36"	378.00'	73.19'	36.71'	73.07'	N 05°24'44" W	
23	09°56'34"	422.00'	73.23'	36.71'	73.14'	N 04°50'13" W	
24	75°56'00"	237.00'	314.09'	184.94'	291.60'	S 52°10'04" W	
25	75°56'00"	193.00'	255.78'	150.61'	237.47'	N 52°10'04" E	
26	04°50'12"	237.00'	20.01'	10.01'	20.00'	N 46°49'11" E	
27	07°16'20"	237.00'	30.08'	15.06'	30.06'	N 03°36'48" E	
28	06°57'06"	237.00'	28.75'	14.40'	28.74'	N 10°43'31" E	

CENTERLINE CURVE INFORMATION

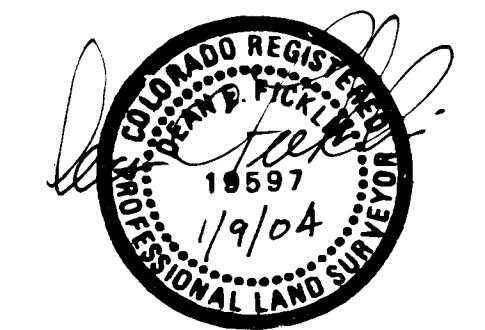
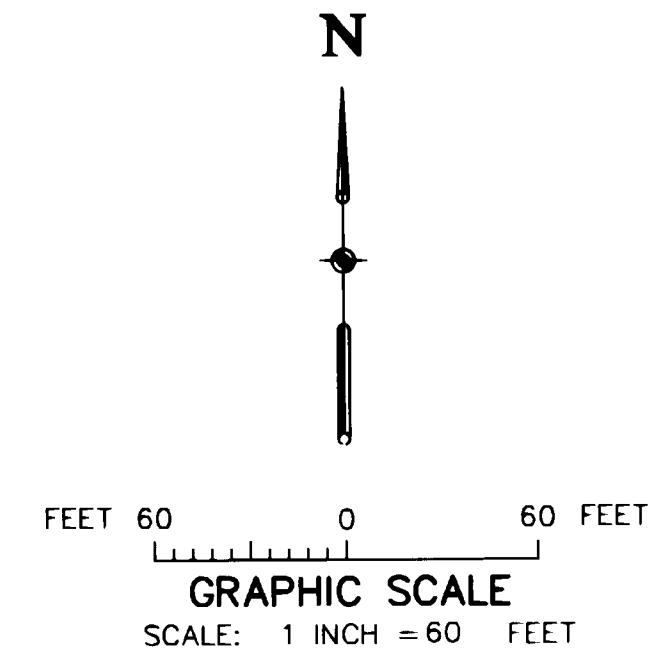
CURVE	DELTA	ANGLE	RADIUS	LENGHT	TANGENT	CHORD	CHORD BEARING
A	14°07'40"	1400.00'	345.21'	173.48'	344.33'	S 82°54'48" W	
B	14°13'26"	215.00'	53.37'	26.82'	53.24'	N 07°05'21" E	
C	11°05'36"	400.00'	77.45'	38.84'	77.32'	N 05°24'44" W	

LINE INFORMATION

NO.	BEARING	DISTANCE
1.	S 45°01'22" E	19.18'
2.	N 44°58'38" E	19.18'
3.	S 57°33'17" E	19.19'
4.	N 32°58'52" E	19.22'
5.	N 00°08'04" E	12.02'
6.	N 00°08'04" E	12.02'
7.	N 00°08'04" E	12.02'
8.	N 41°16'00" E	27.46'
9.	N 41°16'00" E	12.76'

GVJUA EASEMENT LINE INFORMATION

NO.	BEARING	DISTANCE
L1	S 89°57'06" E	17.66'
L2	S 86°03'53" E	94.60'
L3	N 89°40'47" E	339.81'
L4	N 89°52'51" E	273.32'
L5	S 89°40'57" E	226.94'
L6	N 75°10'52" E	63.59'
L7	N 67°10'24" E	168.13'
L8	N 28°45'02" E	179.26'
L9	N 01°04'57" E	53.73'
L10	N 18°48'25" E	40.97'
L11	N 29°32'45" E	39.13'
L12	S 00°01'22" E	148.50'
L13	S 28°45'02" W	190.10'
L14	S 67°10'25" W	150.55'
L15	N 89°51'56" W	1058.15'
L16	N 00°00'59" E	11.19'



KNOLLS SUBDIVISION, FILING 6
 LOCATED IN THE NW 1/4 OF THE SE 1/4
 OF SECTION 1, T.1 S., R.1 W.,
 UTE MERIDIAN, MESA COUNTY, COLORADO

VISTA ENGINEERING CORP.
 GRAND JUNCTION, COLORADO

SCALE: 1" = 60' JOB NO: 4003.06-02 DATE: 1-9-04 SHEET NO: 2 of 2

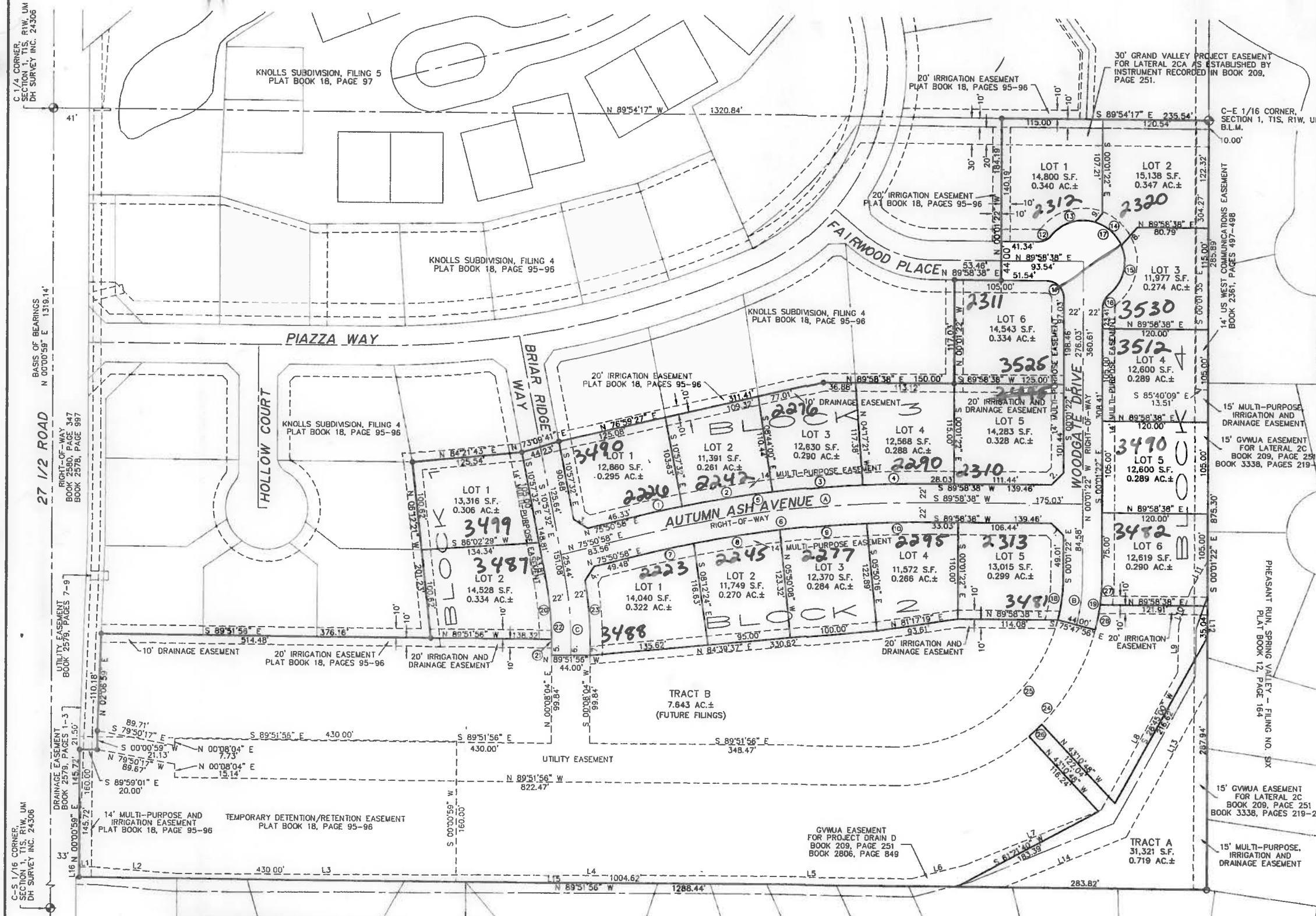
KNOLLS SUBDIVISION, FILING 6
 A REPLAT OF BLOCK 6 OF KNOLLS SUBDIVISION, FILING 4.
 LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

CURVE INFORMATION

CURVE	DELTA ANGLE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
1	02°36'44"	1422.00'	64.83'	32.42'	64.83'	S 77°09'20" W
2	04°13'54"	1422.00'	105.02'	52.54'	105.00'	S 80°34'39" W
3	04°12'20"	1422.00'	104.38'	52.21'	104.36'	S 84°47'47" W
4	03°04'41"	1422.00'	76.39'	38.21'	76.39'	S 88°26'18" W
5	14°07'40"	1422.00'	350.63'	176.21'	349.74'	S 82°54'48" W
6	14°07'40"	1378.00'	339.78'	170.76'	338.92'	S 82°54'48" W
7	02°49'01"	1378.00'	67.75'	33.88'	67.75'	S 77°15'29" W
8	04°09'32"	1378.00'	100.02'	50.03'	100.00'	S 80°44'45" W
9	04°09'32"	1378.00'	100.02'	50.03'	100.00'	S 84°54'17" W
10	02°59'35"	1378.00'	71.99'	36.00'	71.98'	S 88°28'51" W
11	90°00'00"	20.00'	31.42'	20.00'	28.28'	N 45°01'22" W
12	51°10'51"	20.00'	17.87'	9.58'	17.28'	N 64°23'13" E
13	67°17'09"	47.00'	55.19'	31.28'	52.08'	S 72°26'22" W
14	50°22'07"	47.00'	41.32'	22.10'	40.00'	N 48°44'00" W
15	74°42'25"	47.00'	61.28'	35.87'	57.03'	N 13°48'16" E
16	51°10'51"	20.00'	17.87'	9.58'	17.28'	S 25°34'04" W
17	192°21'41"	47.00'	157.80'	434.00'	93.45'	N 45°01'22" W
18	14°13'26"	193.00'	47.91'	24.08'	47.79'	N 07°05'21" E
19	14°13'26"	237.00'	58.84'	29.57'	58.68'	N 07°05'21" E
20	10°09'47"	378.00'	67.05'	33.61'	66.96'	N 05°52'38" W
21	00°55'48"	378.00'	6.14'	3.07'	6.14'	N 00°19'50" W
22	11°05'36"	378.00'	73.19'	36.71'	73.07'	N 05°24'44" W
23	09°56'34"	422.00'	73.23'	36.71'	73.14'	N 04°50'13" W
24	75°56'00"	237.00'	314.09'	184.94'	291.60'	S 52°10'04" W
25	75°56'00"	193.00'	255.78'	150.61'	237.47'	N 52°10'04" E
26	04°50'12"	237.00'	20.01'	10.01'	20.00'	N 46°49'11" E
27	07°16'20"	237.00'	30.08'	15.06'	30.06'	N 03°36'48" E
28	06°57'06"	237.00'	28.75'	14.40'	28.74'	N 10°43'31" E

CENTERLINE CURVE INFORMATION

CURVE	DELTA ANGLE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
A	14°07'40"	1400.00'	345.21'	173.48'	344.33'	S 82°54'48" W
B	14°13'26"	215.00'	53.37'	26.82'	53.24'	N 07°05'21" E
C	11°05'36"	400.00'	77.45'	38.64'	77.32'	N 05°24'44" W



BULK REQUIREMENTS FOR PR-2.5 AT TIME OF APPROVAL

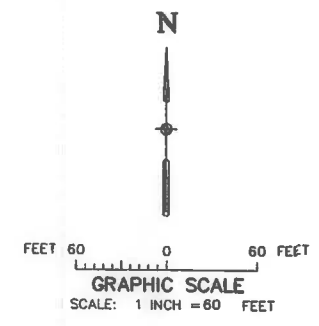
- 1. The following setbacks shall apply:
 - Principal Building - 20' front, 20' rear, 10' side
 - Accessory Building - Limited to rear 1/2 of Lot 5' rear (or easement width, whichever is greater) or side (or easement width, whichever is greater)
- 2. Minimum Street Frontage: 20 feet.
- 3. Maximum Lot Coverage: 35%
- 4. Minimum Building Height: 32 feet.
- 5. Minimum Units per Gross Acre: 2.5
- 6. Minimum Lot Area: 9500 S.F.

LINE INFORMATION

NO.	BEARING	DISTANCE
1.	S 45°01'22" E	19.18'
2.	N 44°58'38" E	19.18'
3.	S 07°33'17" E	19.19'
4.	N 32°58'52" E	19.22'
5.	N 00°08'04" E	12.02'
6.	N 00°08'04" E	12.02'
7.	N 00°08'04" E	12.02'
8.	N 41°16'00" E	27.46'
9.	N 41°16'00" E	12.76'

GVWUA EASEMENT LINE INFORMATION

NO.	BEARING	DISTANCE
L1	S88°57'06"E	17.66'
L2	S86°03'53"E	94.60'
L3	N89°40'47"E	339.81'
L4	N89°52'51"E	273.32'
L5	S89°40'57"E	226.94'
L6	N76°10'52"E	63.13'
L7	N67°10'24"E	168.13'
L8	N28°45'02"E	179.28'
L9	N01°04'57"E	53.73'
L10	N18°48'25"E	40.97'
L11	N29°32'45"E	39.13'
L12	S00°01'22"E	148.50'
L13	S28°45'02"W	190.10'
L14	S67°10'25"W	150.55'
L15	N89°51'56"W	1058.15'
L16	N00°00'59"E	11.19'



KNOLLS SUBDIVISION, FILING 6
 LOCATED IN THE NW 1/4 OF THE SE 1/4
 OF SECTION 1, T.1 S., R.1 W.,
 UTE MERIDIAN, MESA COUNTY, COLORADO

VISTA ENGINEERING CORP.
 GRAND JUNCTION, COLORADO
 SCALE: 1" = 60' JOB NO: 4003.06-02 DATE: 1-9-04 SHEET NO: 2 of 2

O.P. DEVELOPMENT COMPANY, L.L.C.
 GRAND JUNCTION, COLORADO

PLANS FOR
 CONSTRUCTION
 OF

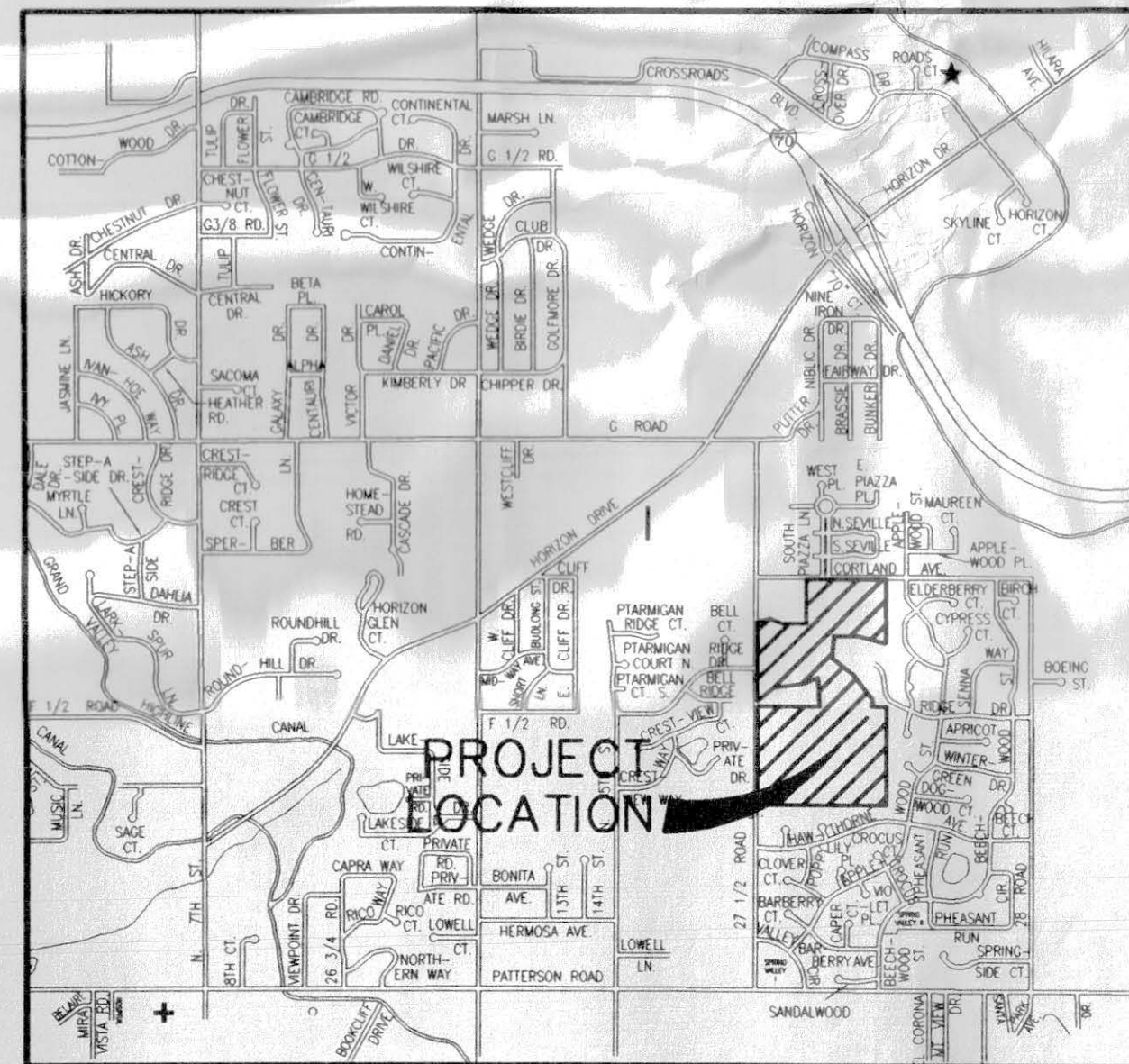
THE KNOLLS SUBDIVISION
 FILING SIX

APRIL 9, 2003

1st REVISION: AUGUST 11, 2003

2nd REVISION: SEPTEMBER 26, 2003

3rd REVISION: DECEMBER 5, 2003



VICINITY MAP

NO.	TITLE
1	COVER SHEET
2-3	FINAL PLAT
4	GENERAL NOTES, SUMMARY OF QUANTITIES
5	UTILITY COMPOSITE
6-10	WATER PLAN, SEWER PLAN AND PROFILE
11-16	ROADWAY PLAN AND PROFILE
17	GRADING PLAN
18	STORMWATER MANAGEMENT PLAN
19	IRRIGATION PLAN
20	POND GRADING DETAILS

VISTA ENGINEERING CORP.

CONSULTING ENGINEERS AND LAND SURVEYORS

605 28 1/4 ROAD, SUITE B • GRAND JUNCTION, CO 81506 • (970) 243-2242

JOB NO. 4003.06-02

O.P. DEVELOPMENT COMPANY, LLC
 3695 RIDGE DRIVE
 GRAND JUNCTION, COLORADO 81506
 (970) 241-2373

APPROVED FOR CONSTRUCTION:

Neil Davis
 CITY OF GRAND JUNCTION

12-11-03
 DATE

ACCEPTED AS CONSTRUCTED:

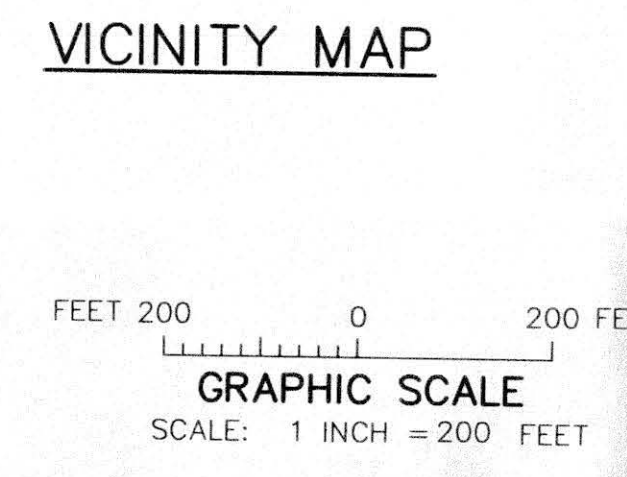
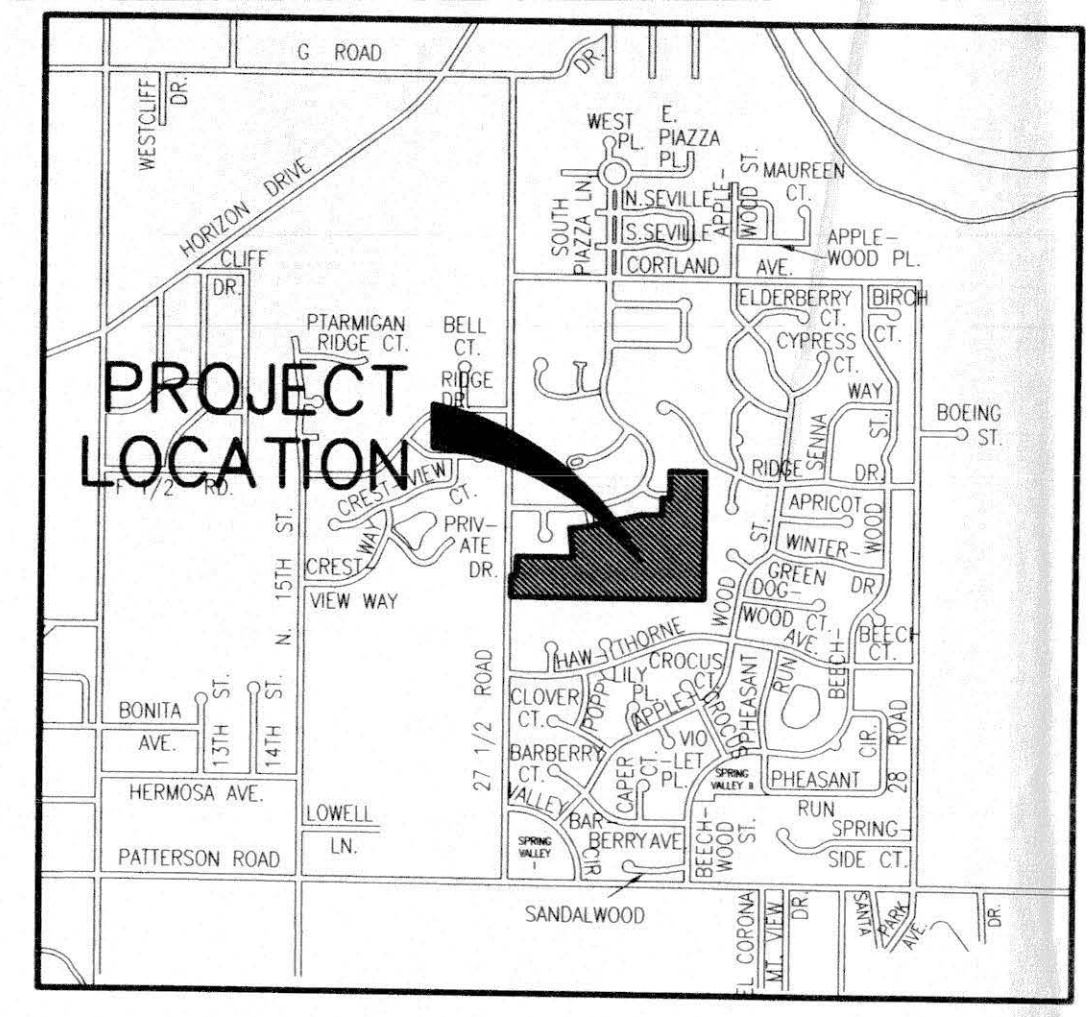
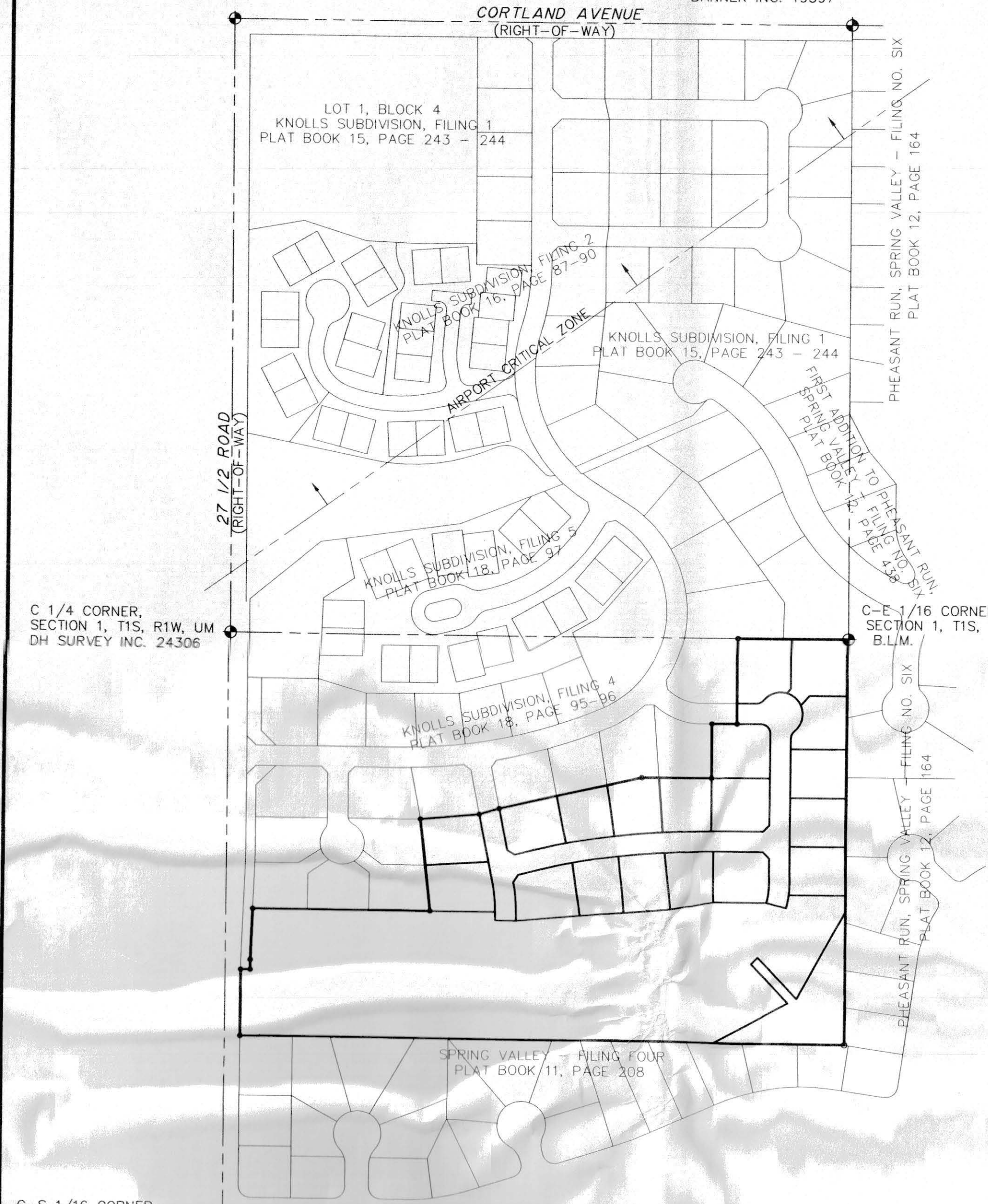
*Final Approved
 Knolls Filing 6
 FPP-2003-078*
 CITY OF GRAND JUNCTION

DATE

KNOLLS SUBDIVISION, FILING 6
 A REPLAT OF BLOCK 6 OF KNOLLS SUBDIVISION, FILING 4.
 LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

C-N 1/16 CORNER,
 SECTION 1, T1S, R1W, UM
 DH SURVEY INC. 24306

NE 1/16 CORNER,
 SECTION 1, T1S, R1W, UM
 BANNER INC. 19597



- LEGEND**
- ▲ SET THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED VISTA ENGR., 19597
 - FOUND THIS SURVEY, 5/8" REBAR WITH 1 1/2" DIAMETER ALUMINUM CAP IN CONCRETE MARKED BANNER, INC., 19597
 - FOUND THIS SURVEY, 5/8" REBAR WITH CAP MARKED L.S. 9960, IN CONCRETE.
 - ⊕ FOUND IN PLACE, MONUMENT AS DESCRIBED.

SURVEYOR'S CERTIFICATE

I, Dean E. Ficklin, an employee of Vista Engineering Corporation, and a Professional Land Surveyor, licensed under the laws of the State of Colorado, do hereby state that this survey and plat of Knolls Subdivision, Filing 6 shown hereon was prepared under my direct supervision and is in compliance with applicable City of Grand Junction Zoning and Development Codes and State of Colorado regulations and is true and accurate to the best of my knowledge and belief.

IN WITNESS WHEREOF, I hereunto affix my hand and seal this _____ day of _____, A.D., 2003.

Dean E. Ficklin
 P.L.S., 19597

NOTES:

1. Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon a defect in this survey be commenced more than ten years from the date of certification shown hereon.
2. BASIS OF BEARINGS: The line between the C-S 1/16 corner and C 1/4 corner, both of Section 1, Township 1 South, Range 1 West, Ute Meridian having a bearing of N 00° 00' 59" E, as recorded on The Knolls Subdivision, Filing 2 Plat Book 16, at Pages 87 through 90, in the records of the Mesa County Clerk and Recorder.
3. Existing property corners which were recovered during this survey which were within 0.25 feet± of the position of record were accepted as being in the proper location as shown by record.
4. Easement and Title Information provided by Abstract and Title Company of Mesa County, Inc., Commitment No. 00909936 C, dated March 17, 2003.
5. The boundary of the Airport Critical Zone for Walker Field is shown hereon in accordance with Figure 11 of the Land Use Plan, dated July, 1984 prepared by Isbill Associates, Inc., for Walker Field, Grand Junction, Colorado.

CERTIFICATE OF OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS that O.P. Development Company, LLC being the sole owner in fee simple of Block 6 of Knolls Subdivision, Filing 4, according to the Plat thereof recorded in Plat Book 18, Pages 95 through 96 in the records of the Mesa County Clerk and Recorder, does hereby plat said real property under the name and style of The Knolls Subdivision, Filing 6, a subdivision of part of the City of Grand Junction, County of Mesa, State of Colorado, in accordance with the Plat shown hereon.

DESCRIPTION OF THE KNOLLS, FILING 6

Block 6 of Knolls Subdivision, Filing 4, according to the Plat thereof recorded in Plat Book 18, Pages 95 through 96, in the records of the Mesa County Clerk and Recorder. Located in the NW 1/4 of the SE 1/4 of Section 1, Township 1 South, Range 1 West of the Ute Meridian, City of Grand Junction, County of Mesa, State of Colorado.

Knolls Subdivision, Filing 6 as described above contains 15.464 acres more or less.

SUBJECT to easement rights of the GRAND VALLEY WATER USERS ASSOCIATION AND THE UNITED STATES OF AMERICA as set forth in that agreement dated _____, 2003, and recorded in Book _____ Pages _____ through _____ Mesa County Records.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompanying plat as follows:

1. All streets, roads and Right-of-Ways are dedicated to the city of Grand Junction for the use of the public forever. Before acceptance of a dedication of any Street or Right-of-Way, the City may require proof of acceptable environmental condition by e.g. a "phase 1" environmental audit.
2. All Multi-purpose Easements to the City of Grand Junction for the use of City approved: utilities and public providers as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, landscaping, trees and grade structures.
3. All Utility Easements to the City of Grand Junction for the use of City approved: public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances including, but not limited to, electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, storm sewers, water lines, telephone lines, equivalent other public providers and appurtenant facilities.
4. All Irrigation to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of irrigation systems and to supply and drain irrigation water. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.
5. All Drainage Easements to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of drainage facilities for the conveyance of runoff water which originated within the area hereby platted or from upstream areas, through natural or man-made facilities above or below ground. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.
6. Tract A (Open Space) to the Owners Association, if formed now or in the future, or if not, to the owner as undivided co-tenants, not subject to partition, of the lots and tracts hereby platted as perpetual easements for: (a) conveying and detaining/retaining runoff water which originates from the area hereby platted, and also for the conveyance of runoff from upstream areas, through natural or man-made facilities above or below ground; (b) use by the public utilities for installation, operation, maintenance and repair of utilities and appurtenances; (c) the use of the Grand Valley Water Users Association, for the purpose of ingress and egress and the operation, maintenance and repair of Grand Valley Water Users Association facilities; (d) usage and aesthetic purposes as determined appropriate by said owners. Deed of conveyance recorded as shown in the City of Grand Junction Information Box, subject to further conditions and restrictions as may be set forth in that instrument.

All easements include the right of ingress and egress on, along, over, under, through, and across by the beneficiaries, their successors, or assigns, together with the right to trim or remove interfering trees and brush, and in Drainage and Detention/Retention easements, the right to Dredge; provided however, that the beneficiaries of said easement shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden or overburden said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

Said owner hereby acknowledge that all lien holders or encumbrances, if any, associated with the interests of this plat have been represented hereon.

IN WITNESS WHEREOF, said owners, O.P. DEVELOPMENT COMPANY, LLC, has caused their names to be hereunto subscribe this _____ day of _____, A.D., 2003.

Robert C. Knapple, Managing Director

ACKNOWLEDGMENT OF OWNERSHIP

State of Colorado)
) ss
 County of Mesa)

On this _____ day of _____, A.D., 2003, before me the undersigned officer, personally appeared Robert C. Knapple as Managing Director of O.P. Development Company, LLC, and acknowledged that he executed the foregoing Certificate of Ownership, for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal.

My commission expires _____

Notary Public

LIEN HOLDER'S CERTIFICATE

The Wells Fargo Bank West, N.A. having property interests in or encumbrances upon the property involved approve this plat of Knolls Subdivision, Filing 6 this _____ day of _____, A.D., 2003.

By: _____
 William F. Rockwood, Vice President

ACKNOWLEDGMENT OF LIEN HOLDER

State of Colorado)
) ss
 County of Mesa)

On this _____ day of _____, A.D., 2003, before me the undersigned officer, personally appeared William F. Rockwood, as Vice President of the Wells Fargo Bank, N.A. and acknowledged that he executed the foregoing Certificate of Lien Holder, for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal.

My commission expires _____

Notary Public

CITY APPROVAL

The Knolls Subdivision, Filing 6 is approved and accepted this _____ day of _____, A.D., 2003.

City Manager

Mayor

COUNTY CLERK AND RECORDER'S CERTIFICATE

State of Colorado)
) ss
 County of Mesa)

I hereby certify that this instrument was filed for record in the office of the

County Clerk and Recorder of Mesa County at _____, M.,

on the _____ day of _____, A.D. 2003 in Plat Book

No. _____, Page No. _____, Reception No. _____

Drawer No. _____ Fees _____

Mesa County Clerk and Recorder

Deputy

DECLARATIONS

The Declaration of Covenants and Restrictions are recorded as shown in the City of Grand Junction Information Box

TITLE CERTIFICATION

We, First American Title Company, a title insurance company, as duly licensed in the state of Colorado, hereby certify that we have examined the title to the herein described property, that we find the title to the property is vested to O.P. Development Company, LLC., that the current taxes have been paid, that all mortgages not satisfied or released of record nor otherwise terminated by law are shown hereon and that there are no other encumbrances of record, that all easements, reservations and rights of way of record are shown hereon.

Executed this _____ day of _____, A.D., 2003.

Title examiner

AREA SUMMARY

LOTS	5.707 AC. ±	36.8%
ROADS	1.395 AC. ±	9.0%
TRACT A	0.719 AC. ±	4.7%
TRACT B	7.643 AC. ±	49.4%
TOTAL	15.464 AC. ±	100%

FOR CITY OF GRAND JUNCTION USE

Book and Page recording information refers to the records of the Mesa County Clerk and Recorders Office.

Declarations
 Recorded in Book _____ Pages _____ through _____

Dedication Note 4.
 Deed of conveyance recorded in Book _____ Page _____

Dedication Note 5.
 Deed of conveyance recorded in Book _____ Page _____

Dedication Note 6.
 Deed of conveyance recorded in Book _____ Page _____

KNOLLS SUBDIVISION, FILING 6
 LOCATED IN THE NW 1/4 OF THE SE 1/4
 OF SECTION 1, T.1 S., R.1 W.,
 UTE MERIDIAN, MESA COUNTY, COLORADO

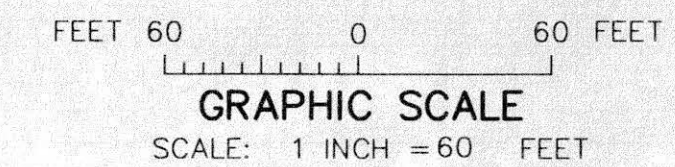
KNOLLS SUBDIVISION, FILING 6
 A REPLAT OF BLOCK 6 OF KNOLLS SUBDIVISION, FILING 4.
 LOCATED IN THE NW 1/4 OF THE SE 1/4 OF SECTION 1,
 T.1 S., R.1 W., U.M., MESA COUNTY, COLORADO

CURVE INFORMATION

CURVE	DELTA	ANGLE	RADIUS	LENGHT	TANGENT	CHORD	CHORD BEARING
1	02°36'44"		1422.00'	64.83'	32.42'	64.83'	S 77°09'20" W
2	04°13'54"		1422.00'	105.02'	52.54'	105.00'	S 80°34'39" W
3	04°12'20"		1422.00'	104.38'	52.21'	104.36'	S 84°47'47" W
4	03°04'41"		1422.00'	76.39'	38.21'	76.39'	S 88°26'18" W
5	14°07'40"		1422.00'	350.63'	176.21'	349.74'	S 82°54'48" W
6	14°07'40"		1378.00'	339.78'	170.76'	338.92'	S 82°54'48" W
7	02°49'01"		1378.00'	67.75'	33.88'	67.75'	S 77°15'29" W
8	04°09'32"		1378.00'	100.02'	50.03'	100.00'	S 80°44'45" W
9	04°09'32"		1378.00'	100.02'	50.03'	100.00'	S 84°54'17" W
10	02°59'35"		1378.00'	71.99'	36.00'	71.98'	S 88°28'51" W
11	90°00'00"		20.00'	31.42'	20.00'	28.28'	N 45°01'22" W
12	51°10'51"		20.00'	17.87'	9.58'	17.28'	N 64°23'13" E
13	67°17'09"		47.00'	55.19'	31.28'	52.08'	S 72°26'22" W
14	50°22'07"		47.00'	41.32'	22.10'	40.00'	N 48°44'00" W
15	74°42'25"		47.00'	61.28'	35.87'	57.03'	N 13°48'16" E
16	51°10'51"		20.00'	17.87'	9.58'	17.28'	S 25°34'04" W
17	192°21'41"		47.00'	157.80'	434.00'	93.45'	N 45°01'22" W
18	14°13'26"		193.00'	47.91'	24.08'	47.79'	N 07°05'21" E
19	14°13'26"		237.00'	58.84'	29.57'	58.68'	N 07°05'21" E
20	10°09'47"		378.00'	67.05'	33.61'	66.96'	N 05°52'38" W
21	00°55'48"		378.00'	6.14'	3.07'	6.14'	N 00°19'50" W
22	11°05'36"		378.00'	73.19'	36.71'	73.07'	N 05°24'44" W
23	09°56'34"		422.00'	73.23'	36.71'	73.14'	N 04°50'13" W
24	75°56'00"		237.00'	314.09'	184.94'	291.60'	S 52°10'04" W
25	75°56'00"		193.00'	255.78'	150.61'	237.47'	N 52°10'04" E
26	04°50'12"		237.00'	20.01'	10.01'	20.00'	N 46°49'11" E
27	07°16'20"		237.00'	30.08'	15.06'	30.06'	N 03°36'48" E
28	06°57'06"		237.00'	28.75'	14.40'	28.74'	N 10°43'31" E

CENTERLINE CURVE INFORMATION

CURVE	DELTA	ANGLE	RADIUS	LENGHT	TANGENT	CHORD	CHORD BEARING
A	14°07'40"		1400.00'	345.21'	173.48'	344.33'	S 82°54'48" W
B	14°13'26"		215.00'	53.37'	26.82'	53.24'	N 07°05'21" E
C	11°05'36"		400.00'	77.45'	38.84'	77.32'	N 05°24'44" W



LINE INFORMATION

NO.	BEARING	DISTANCE
1.	S 45°01'22" E	19.18'
2.	N 44°58'38" E	19.18'
3.	S 57°33'17" E	19.19'
4.	N 32°58'52" E	19.22'
5.	N 00°08'04" E	12.02'
6.	N 00°08'04" E	12.02'
7.	N 00°08'04" E	12.02'
8.	N 41°16'00" E	27.46'
9.	N 41°16'00" E	12.76'

GVWUA EASEMENT LINE INFORMATION

NO.	BEARING	DISTANCE
L1	S89°57'06"E	17.66'
L2	S86°03'53"E	94.60'
L3	N89°40'47"E	339.81'
L4	N89°52'51"E	273.32'
L5	S89°40'57"E	226.94'
L6	N75°10'52"E	63.59'
L7	N67°10'24"E	168.13'
L8	N28°45'02"E	179.26'
L9	N01°04'57"E	53.73'
L10	N18°48'25"E	40.97'
L11	N29°32'45"E	39.13'
L12	S00°01'22"E	148.50'
L13	S28°45'02"W	190.10'
L14	S67°10'25"W	150.55'
L15	N89°51'56"W	1058.15'
L16	N00°00'59"E	11.19'

KNOLLS SUBDIVISION, FILING 6
 LOCATED IN THE NW 1/4 OF THE SE 1/4
 OF SECTION 1, T.1 S., R.1 W.,
 UTE MERIDIAN, MESA COUNTY, COLORADO

VISTA ENGINEERING CORP.
 GRAND JUNCTION, COLORADO

ITEM NO.	DESCRIPTION:	QUANTITY	UNITS
203	Clearing and Grubbing	1	L.S.
203	Unclassified Excavation, including overlot grading	32,500	Cu. Yd.
203	Embankment Material, Complete in place, including overlot grading	26,800	Cu. Yd.
304	8" Aggregate Base Course, import, place and compact (CDOT ABC CL-6)	1,990	Ton
304	Subgrade stabilization, including haul and disposal of unsuitable material	40	Ton
401	3" Bituminous Pavement, import, place, and compact (CDOT HBP Gr-C)	750	Ton
603	15" HDPE Storm drain (from outlet to drain tile)	20	Lin.Ft.
603	15" RCP Storm drain pipe, incl. Excavation, bedding, and backfill	246	Lin.Ft.
603	18" RCP Storm drain pipe, incl. Excavation, bedding, and backfill	176	Lin.Ft.
603	8" SDR-35 PVC Pipe, incl. excavation, bedding and backfill	2,372	Lin.Ft.
603	4" SDR-35 PVC Pipe, incl. excavation, bedding, and backfill	1,589	Lin.Ft.
604	Storm drain outlet structure	1	Ea.
604	Storm drain manhole	2	Ea.
604	Sanitary sewer manhole, standard manhole incl. excavation and backfill	11	Ea.
608	6.5' wide, Monolithic driveover curb and gutter, incl. 6" Base Course (CDOT CL-B, ABC CL-6)	2,540	Lin.Ft.
608	8" Valley pan incl. 6" Base Course (CDOT CL-B, ABC CL-6)	336	Sq.Ft.
608	8" Corner Fillet and Curb Ramp incl. 6" Base Course (CDOT CL-B, ABC CL-6)	1,323	Sq.Ft.
613	Street Light standard	4	Ea.
614	Traffic Signs, incl. steel post, sign panel	3	Ea.
614	Barricade, end of road panels	2	Ea.
614	Mailbox, gang mailbox with concrete base. (mailbox supplied by U.S. Postal service)	1	Ea.
615	Irrigation riser, incl. service pipe, elbows, and valve	14	Ea.
615	4" Plastic irrigation pipe, Class 160	1,570	Lin.Ft.
615	4" Ball Valve	1	Ea.
615	8" C-900 Sleeve	90	Lin.Ft.
619	8" C-900, Class 150, PVC Pipe incl. excavation, bedding and backfill	1,397	Lin.Ft.
619	Waterline encasement	3	Ea.
619	8" Gate Valve installed, incl. thrust restraint, polyethylene, valve box	6	Ea.
619	Fire Hydrant Assembly and valve, installed, incl. polyethylene, thrust restraint	2	Ea.
619	3/4" type K, copper tubing, fittings installed, incl. excavation, bedding, and backfill	737	Lin.Ft.
619	Tie connection to existing 8" waterline, including fittings, and water outage notifications	2	Ea.
619	8" Plug or cap, standard and 2" tapped plug, incl. thrust restraint	2	Ea.

GENERAL NOTES:

ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF GRAND JUNCTION, DEPARTMENT OF PUBLIC WORKS AND UTILITIES, ENGINEERING DIVISION, STANDARD CONTRACT DOCUMENTS FOR CAPITAL IMPROVEMENTS CONSTRUCTION, REVISED MARCH 2000.

ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF GRAND JUNCTION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE CITY OF GRAND JUNCTION'S STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOTIFY THE CITY OF GRAND JUNCTION 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS REQUIRED TO PERFORM CONSTRUCTION WITHIN CITY RIGHT-OF-WAY.

ROADWAY NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF PLANS AND A COPY OF THE CITY OF GRAND JUNCTION STANDARD SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- Subgrade and class 6 base course shall be compacted to 95% (T-180). Contractor shall be required to perform all necessary compaction tests through a certified soils lab at contractor's expense.
- Where proposed pavement is to match existing pavement, existing pavement to be square cut for the full base thickness. Existing surface to be tack coated before new asphalt surface is placed. The new asphalt shall match and be flush with existing asphalt edge. No lip or depression will be allowed as tested with a straight edge and shall be repaired by the contractor if the transition exceeds 1/4 inch per 10 feet tolerance.
- Contractor to protect existing utilities and appurtenances. Manholes, curb inlets, utility lines, etc., damaged, covered or filled with dirt or debris by the contractor shall be cleaned and repaired to the City of Grand Junction's standards.
- The contractor shall protect the surface of all concrete against weather, traffic, graffiti and similar items. Any concrete damaged for any reason shall be repaired by contractor at Contractor's expense to meet the City of Grand Junction specifications.
- Any concrete curb and gutter, sidewalk, or crossspan damaged by roller during or prior to paving, will be removed and replaced by contractor at contractor's expense.
- The finish surface of the asphalt mat must be 1/4" above any adjacent concrete surface.
- Traffic signs, control devices and pavement striping shall comply with manual of uniform traffic control devices. (M.U.T.C.D.)
- Contractor shall verify the location and elevation of all existing utilities prior to any construction and shall report any discrepancies to the design engineer or the City of Grand Junction.
- Contractor to verify all "tie-in" grades prior to any construction and shall report any discrepancies to the design engineer.
- All curve data shown hereon are referenced to roadway center line (c), or flowline of curb and gutter (f).
- Pavement design is based upon geotechnical investigation report prepared by Western Colorado Testing Inc..

SEWER NOTES:

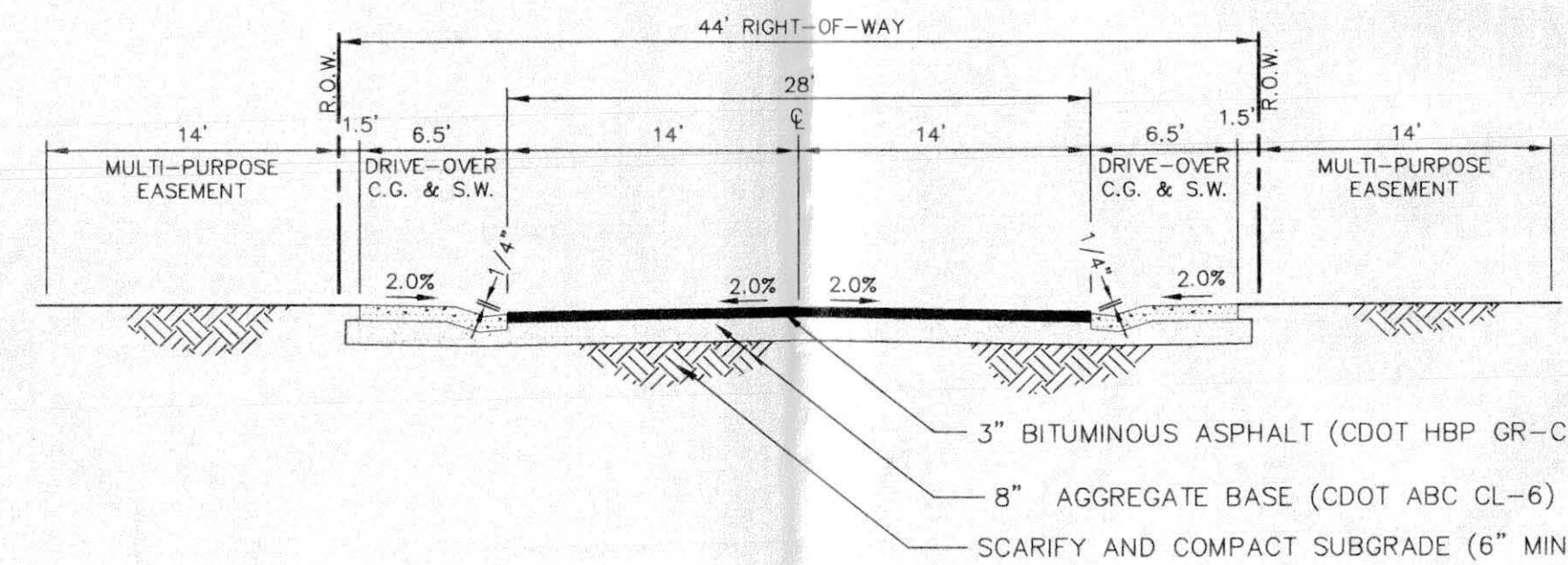
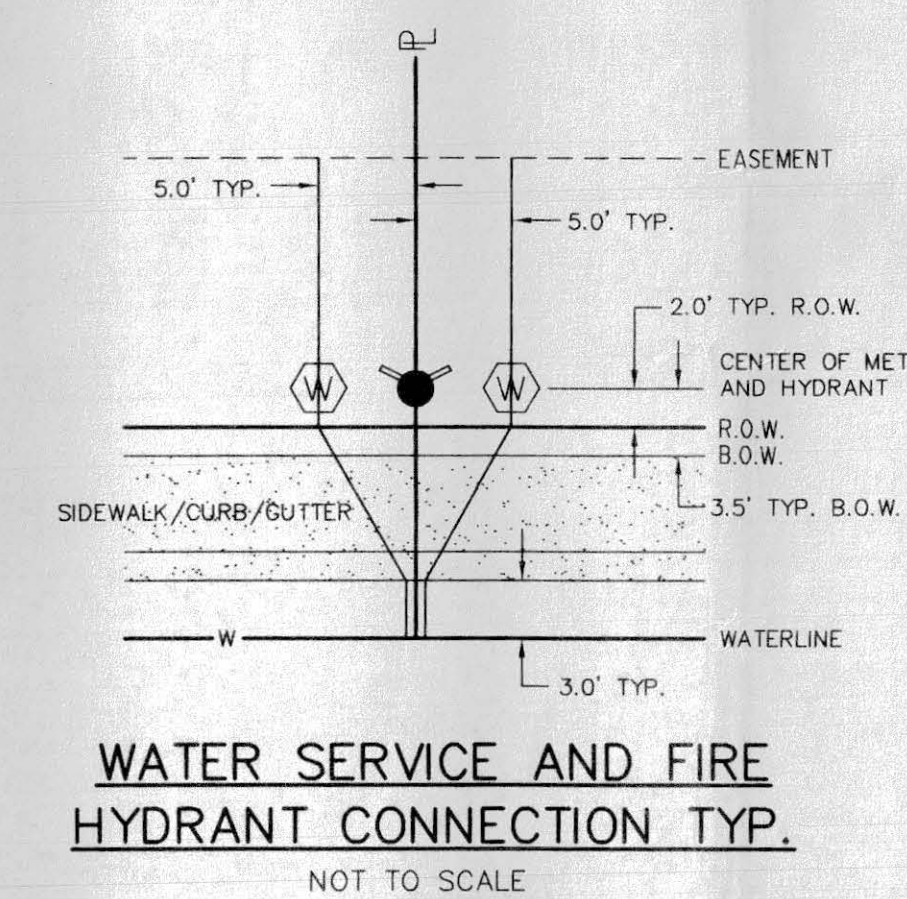
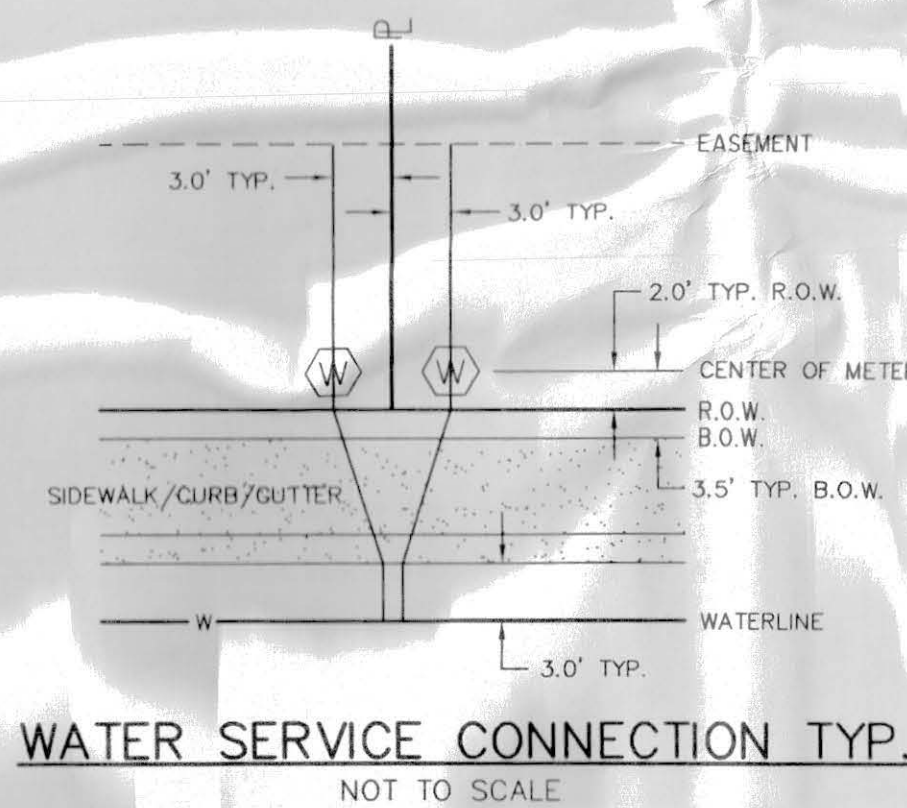
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION OF UNDERGROUND UTILITIES-WATERLINES, SANITARY SEWERS, STORM DRAINS, UNDERDRAINS, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL HAVE ONE SIGNED COPY OF PLANS AND A COPY OF THE CITY OF GRAND JUNCTION STANDARD SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- The Contractor shall obtain City of Grand Junction Street Cut Permit for all work within existing City right-of-way prior to construction.
- The Contractor shall notify the City inspection 48 hours prior to commencement of construction.
- The Contractor is responsible for all required sewer line testing to be completed in the presence of the City Inspector or Project Engineer, as required. Pressure testing will be performed after compaction of street subgrade and installation of dry utilities and prior to street paving. Final lamping will be accomplished after paving is completed. These tests shall be the basis of acceptance of the sewer line extension.
- All sewer mains shall be PVC SDR 35 (ASTM 3034) unless otherwise noted.
- All sewer mains shall be laid to grade utilizing a pipe laser.
- All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
- No 4" services shall be connected directly into manholes.
- A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
- Sewer service stub outs shall be capped and plugged. Stub out marker shall be 4x4 painted green. As-built surveying for vertical grade of stub out required PRIOR to backfill.
- All sewer manholes denoted with a center invert elevation are designed with a continuous grade through the manhole. The sewer line shall be installed through the manhole location, the manhole base cast, and the top of the pipe cut out. A precast base shall not be used in these locations.
- Red line as-builts shall be submitted to the City Development Engineer at least 72 hours PRIOR to paving for review.

WATERLINE NOTES:

- ALL WATERLINE CONSTRUCTION, INSTALLATION OF PIPE, FITTINGS, VALVES, AND SERVICES, INCLUDING TESTING AND DISINFECTION SHALL BE IN ACCORDANCE WITH THE UTE WATER DISTRICT STANDARD SPECIFICATIONS AND DRAWINGS.
- The Contractor shall notify the Ute Water Conservancy District 48 hours prior to beginning construction. If plans are changed the developer must submit a new set of plans.
- All trenches shall be compacted to 95% as determined by AASHTO T-99. Contractor shall be required to perform all necessary compaction tests through a certified soils lab.
- Minimum cover required over top of new waterlines is 4'-6", UNLESS OTHERWISE NOTED.
- All water main pipe shall be PVC, DR18, CLASS 150, and conform to AWWA C-900.
- All domestic water service lines shall be Type K, 3/4" copper tube, soft temper.
- Fire hydrants shall be of the type approved by the City of Grand Junction Fire Department and installed at the locations as shown on the drawings.
- Water service meter pits, center of pit, shall be located 2 feet back of the back of walk. Ute Water will furnish pits and yokes, developer will install pits and yokes.
- Electronic drawings of the utility composite for the subdivision, in autocad format, must be provided prior to final acceptance of water infrastructure.
- Water meters will not be sold until final acceptance of the water infrastructure.
- All fees and policies in effect at time of application will apply.

IRRIGATION NOTES:

- Relocation of GRAND VALLEY PROJECT LATERAL 2A lateral shall be coordinated with the water users.
- Construction of diversion and siphon structures shall conform to the City of Grand Junction storm drain construction requirements and details, and the GRAND VALLEY PROJECT LATERAL 2A water users requirements.



PROJECT BENCHMARK/CONTROL

MCSM C-N 1/16 COR. SEC. 1
27-1/2 ROAD & CORTLAND AVE.
NORTHING 5001.082
EASTING 8679.160
ELEVATION 4733.98

MCSM C 1/4 COR. SEC. 1
27-1/2 ROAD STA. 36+38.90
NORTHING 3680.552
EASTING 8678.783

DRAWN BY: S.G.S.	REVIEWED _____ DATE: _____ FOR _____
DESIGNED BY: P.M.O.	REVIEWED _____ DATE: _____ FOR VISTA ENGINEERING CORP.
CHECKED BY: P.M.O.	

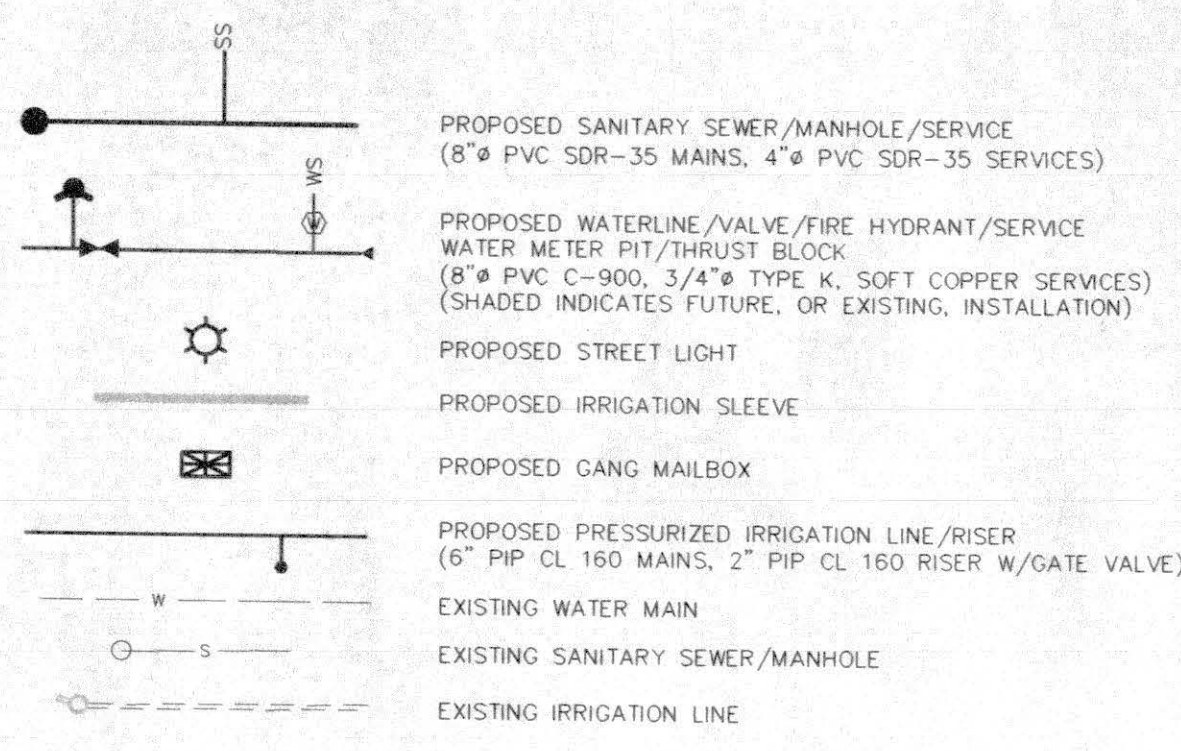
VISTA ENGINEERING CORP.
CONSULTING ENGINEERS AND LAND SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81608 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHKD
1	7-14-03	REVISED AS PER 1ST ROUND REVIEW COMMENTS	FJB	PMO

O.P. DEVELOPMENT CO., LLC	GRAND JUNCTION, COLORADO
GENERAL NOTES, SUMMARY OF QUANTITIES THE KNOLLS, FILING SIX	

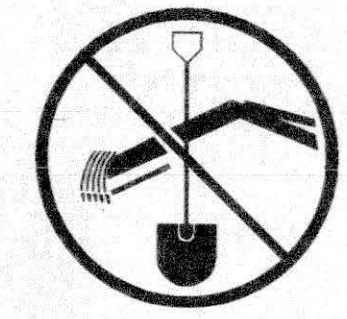
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SHEET NO: 4 of 20		

LEGEND

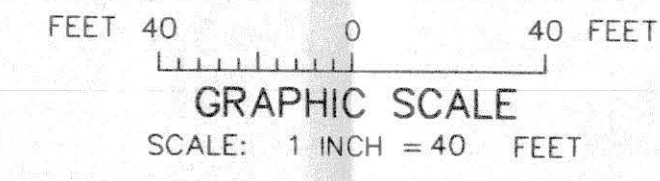


UTILITY VENDORS

- SANITARY SEWER: City of Grand Junction
- DOMESTIC WATER: Ute Water Conservancy District
- NATURAL GAS: Public Service Co. of Colorado
- ELECTRIC: Public Service Co. of Colorado
- TELEPHONE: US West Communications
- TELEVISION: TCI Cablevision
- IRRIGATION: Grand Valley Water Users Assoc.
- DRAINAGE: Grand Valley Water Users Assoc.

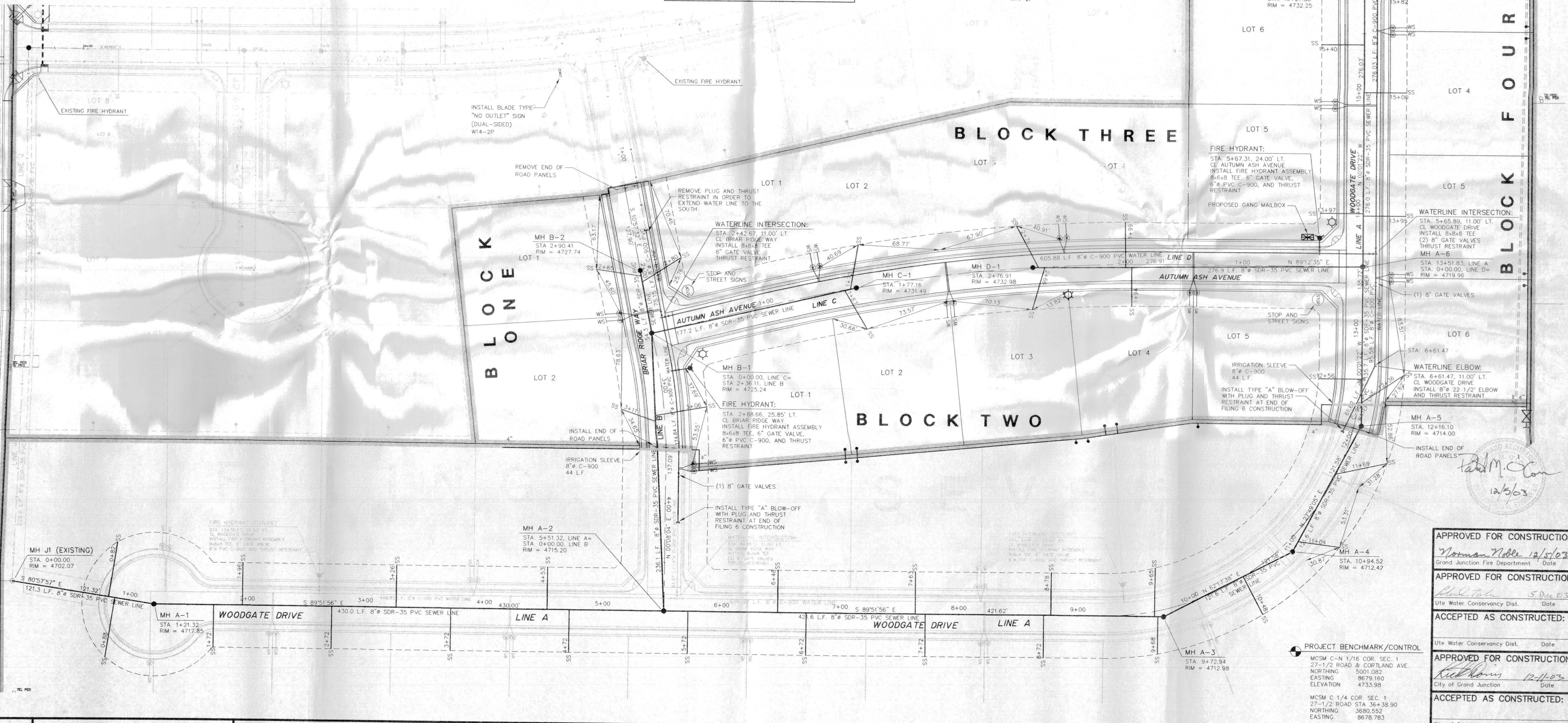


CALL
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO



- NOTE:**
- ALL EXTERIOR LIGHTING MUST BE DOWNWARD DIRECTIONAL AND LIGHTING ELEMENTS MUST BE CHOSEN TO REDUCE OR ELIMINATE ANY POSSIBLE GLARE THAT MIGHT AFFECT AIRCRAFT OPERATIONS.
 - CITY TRAFFIC OPERATIONS SUPERVISOR TO BE CONTACTED (970) 244-1573 PRIOR TO ANY SIGNING MATERIAL ORDER OR INSTALLATION.

NOTE:
CITY TRAFFIC OPERATIONS SUPERVISOR TO BE CONTACTED (970/244-1573) PRIOR TO ANY SIGNING MATERIAL ORDER OR INSTALLATION.



Handwritten signature and date:
12/5/03

APPROVED FOR CONSTRUCTION:	<i>Norman Noble</i> 12/5/03
Grand Junction Fire Department	Date
APPROVED FOR CONSTRUCTION:	<i>Handwritten signature</i> 5 Dec 03
Ute Water Conservancy Dist.	Date
ACCEPTED AS CONSTRUCTED:	Ute Water Conservancy Dist. Date
APPROVED FOR CONSTRUCTION:	<i>Handwritten signature</i> 12/1/03
City of Grand Junction	Date
ACCEPTED AS CONSTRUCTED:	City of Grand Junction Date

PROJECT BENCHMARK/CONTROL

MCSM C-N 1/16 COR. SEC. 1
27-1/2 ROAD & CORTLAND AVE.
NORTHING 5001.082
EASTING 8679.160
ELEVATION 4733.98

MCSM O 1/4 COR. SEC. 1
27-1/2 ROAD STA 36+38.90
NORTHING 3680.552
EASTING 8678.783

DRAWN BY:	S.G.S.
DESIGNED BY:	P.M.O.
CHECKED BY:	P.M.O.
REVIEWED:	FOR
REVIEWED:	FOR VISTA ENGINEERING CORP.

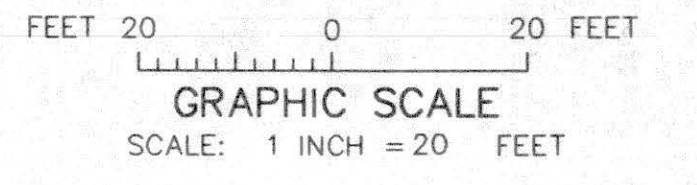
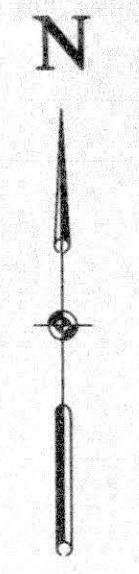
VISTA ENGINEERING CORP.
CONSULTING ENGINEERS AND LAND SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81608 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CH'D
1	7-14-03	REVISED AS PER 1ST ROUND REVIEW COMMENTS	SGS	PMO
2	9-26-03	REVISED AS PER 2ND ROUND REVIEW COMMENTS	FJB	PMO
3	12-5-03	REVISED SEWER SERVICES AND 3RD ROUND REVIEW COMMENTS	SGS	PMO

O.P. DEVELOPMENT CO., LLC
GRAND JUNCTION, COLORADO

UTILITY COMPOSITE
THE KNOLLS, FILING SIX

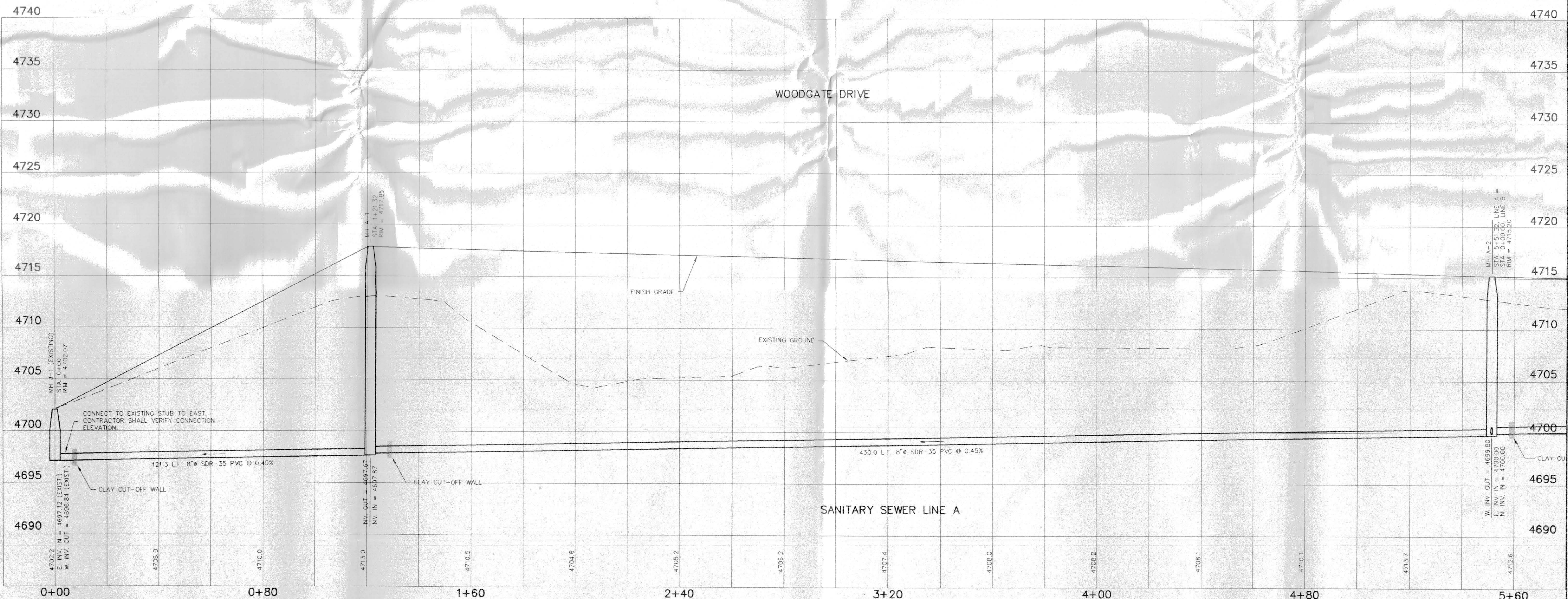
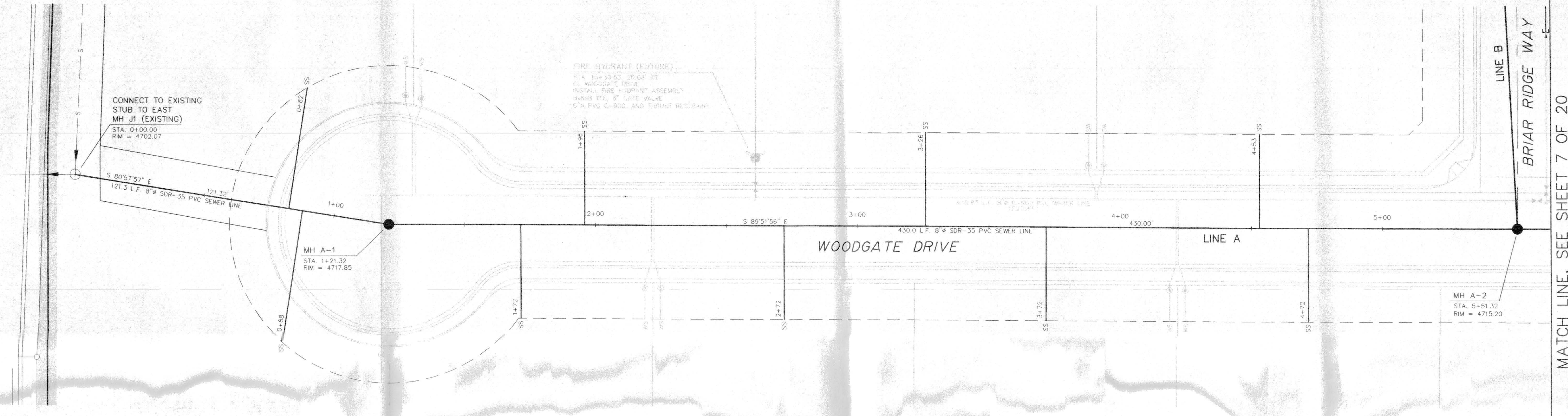
SCALE:	1" = 40'	JOB NO.:	4003.06-02	DATE:	4-09-03
SHEET NO.:	5 of 20				



PROJECT BENCHMARK/CONTROL

MCSM C-N 1/16 COR. SEC. 1
27-1/2 ROAD & CORFLAND AVE
NORTHING 5001.082
EASTING 8679.160
ELEVATION 4733.98

MCSM C 1/4 COR. SEC. 1
27-1/2 ROAD STA 36+38.90
NORTHING 3680.552
EASTING 8678.783



MATCH LINE, SEE SHEET 7 OF 20



CALL
1-800-922-1987
UTILITY NOTIFICATION
CENTER OF COLORADO

APPROVED FOR CONSTRUCTION:	Ute Water Conservancy Dist.	Date
ACCEPTED AS CONSTRUCTED:	Ute Water Conservancy Dist.	Date
APPROVED FOR CONSTRUCTION:	City of Grand Junction	Date 12-11-03
ACCEPTED AS CONSTRUCTED:	City of Grand Junction	Date

DRAWN BY: S.G.S.	REVIEWED _____ DATE _____ FOR _____
CHECKED BY: P.M.O.	REVIEWED _____ DATE _____ FOR VISTA ENGINEERING CORP.

VISTA ENGINEERING CORP.
CONSULTING ENGINEERS AND LAND SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81606 • (970) 243-2242

REVISION	DATE	DESCRIPTION	BY	CHK'D
1	7-14-03	REVISED AS PER 1ST ROUND REVIEW COMMENTS	FJB	PMO
2	12-5-03	LOWERED SEWER AND 3RD ROUND REVIEW COMMENTS	SGS	PMO

O.P. DEVELOPMENT CO., LLC
GRAND JUNCTION, COLORADO

SCALE:
Horiz: 1" = 20'
Vert: 1" = 5'

Project No: 4003.06-02

DATE: 4-09-03

SHEET NO: 6 of 20

WATER PLAN AND SEWER PLAN AND PROFILE
THE KNOLLS SUBDIVISION, FILING SIX