

If to Developer:

Donada, Inc.  
626 Grand View Drive  
Grand Junction, CO 81506

If to City:

City of Grand Junction  
Community Development Director  
250 N. 5th Street  
Grand Junction, Colorado 81501

27. **Recordation:** Developer will pay for all costs to record this Agreement or a Memorandum thereof in the Clerk and Recorder's Office of Mesa County, Colorado.

28. **Immunity:** Nothing contained in this Agreement constitutes a waiver of the City's sovereign or other immunity under any applicable law.

29. **Personal Jurisdiction and Venue:** Personal jurisdiction and venue for any action commenced by either party to this Agreement whether arising out of or relating to the Agreement, letter of credit, improvements disbursements agreement, or cash escrow agreement or any action to collect security will be deemed to be proper only if such action is commenced in Mesa County, Colorado. The Developer expressly waives his right to bring such action in or to remove such action to any other court whether state or federal.

30. a. **Conditions of Acceptance:** The City shall have no responsibility or liability with respect to any street, or other improvement(s), notwithstanding the use of the same by the public, unless the street or other improvements shall have been finally accepted by the City.
- b. **Phased Development:** If the City allows a street to be constructed in stages, the Developer of the first one-half street opened for traffic shall construct the adjacent curb, gutter and sidewalk in the standard location and shall construct the required width of pavement from the edge of gutter on his side of the street to enable an initial two-way traffic operation without on-street parking. That Developer is also responsible for end-transitions, intersection paving, drainage facilities, and adjustments to existing utilities necessary to open the street to traffic.
- c. Prior to requesting final acceptance of any street, storm drainage facility, or other required improvement(s), the Developer shall: (i) furnish to the City engineer as-built drawings in reproducible form, blueline stamped and sealed by a professional engineer and in computer disk form and copies of results of all construction control tests required by City specification; (ii) provide written evidence to the City Engineer under signature of a qualified expert that the earth, soils, lands and surfaces upon, in and under which the improvements have been constructed, or which are necessary for the improvements, are free from toxic, hazardous or other

regulated substances or materials: (iii) provide written evidence to the City Attorney that the title to lands underlying the improvements are free and clear from all liens and encumbrances, except those items and encumbrances which may be approved in writing by the City Attorney.

City of Grand Junction  
250 North Fifth Street  
Grand Junction CO 81501

\_\_\_\_\_  
Director of Community Development date

Attest:

\_\_\_\_\_  
City Clerk date

By: Donald Motte 5-1-01  
Developer date

Name (printed): DON deLa Motte

Its (position): Pres

Attest:

\_\_\_\_\_  
Secretary date

TYPE LEGAL DESCRIPTION BELOW, USING ADDITIONAL SHEETS AS NECESSARY.  
USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

**EXHIBIT A**

**OUTERBOUNDARY  
GRAND VIEW SUBDIVISION  
FILINGS NO. FIVE AND SIX**

**A REPLAT OF LOT 1, BLOCK 6  
GRAND VIEW SUBDIVISION, FILING NO. THREE**

BEING THE PORTIONS OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 1 EAST, UTE MERIDIAN,  
DESCRIBED AS FOLLOWS:

THE NE1/4 SW1/4 NW1/4, SECTION 6,  
THE SE1/4 SW1/4 NW1/4, SECTION 6,  
THE NW1/4 SW1/4, SECTION 6,

THE SW1/4 SW1/4 NW1/4 EXCEPT: BEGINNING AT A POINT BEING THE WEST 1/4, SECTION 6, T1S,  
R1E, UTE MERIDIAN; THENCE NORTH A DISTANCE OF 536.25 FEET; THENCE EAST A DISTANCE OF  
165.00 FEET; THENCE SOUTH A DISTANCE OF 210.25 FEET; THENCE 261.80 FEET ALONG THE ARC  
OF A 50-FOOT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS SOUTH 50.00 FEET;  
THENCE SOUTH A DISTANCE OF 276.00 FEET TO THE SOUTH LINE OF THE NW1/4 OF SECTION 6,  
T1S, R1E, UTE MERIDIAN; THENCE WEST A DISTANCE OF 165.00 FEET TO THE POINT OF  
BEGINNING.

ALSO EXCEPT: BEGINNING AT THE NORTHWEST CORNER OF THE SW1/4 SW1/4 NW1/4, SECTION 6,  
T1S, R1E, UTE MERIDIAN; THENCE EAST A DISTANCE OF 165.00 FEET; THENCE SOUTH A DISTANCE  
OF 125.00 FEET; THENCE WEST A DISTANCE OF 165.00 FEET; THENCE NORTH A DISTANCE OF  
125.00 FEET TO THE POINT OF BEGINNING.

EXCEPT GRAND VIEW SUBDIVISION FILING NO. ONE  
EXCEPT GRAND VIEW SUBDIVISION FILING NO. TWO  
EXCEPT GRAND VIEW SUBDIVISION FILING NO. THREE  
EXCEPT GRAND VIEW SUBDIVISION FILING NO. FOUR

ALL OF THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST ONE-QUARTER CORNER (A 2-INCH ALUMINUM CAP L.S. 16835) OF SAID  
SECTION 6, WHENCE THE SOUTH ONE-SIXTEENTH CORNER (MESA COUNTY SURVEY MARKER) ON  
THE WEST LINE OF SAID SECTION 6, BEARS S 00°03'34" W, A DISTANCE OF 1322.65 FEET FOR A  
BASIS OF BEARINGS, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO; THENCE  
S 89°56'01" E ALONG THE NORTH LINE OF SAID NW1/4 SW1/4 A DISTANCE OF 1271.66 FEET TO THE  
SE CORNER OF NW SW OF SECTION 6 (A 2" ALUMINUM CAP L.S. 16835); THENCE  
N 00° 00'43" E A DISTANCE OF 510.79 FEET TO THE POINT OF BEGINNING WHICH IS A NO. 5 REBAR  
WITH AN ALUMINUM CAP LS 16835 ALONG NORTH BOUNDRY OF "GRAND VIEW SUBDIVISION  
FILING NO. ONE."

THE FOLLOWING COURSES:

THENCE N 00° 00'43" E A DISTANCE OF 811.06 FEET TO THE NE CORNER NW SW OF SECTION 6, A

NO. 5 REBAR; THENCE N 00° 01'41" E A DISTANCE OF 1320.19 FEET TO THE NE CORNER OF NE SW NW OF SECTION 6, A B.L.M. BRASS CAP; THENCE N 89° 51'09" W A DISTANCE OF 262.37 FEET; THENCE S 00° 00'43" W A DISTANCE OF 1071.84 FEET; THENCE S 73° 33'55" W A DISTANCE OF 2.61 FEET; THENCE S 12° 26'19" E A DISTANCE OF 110.54 FEET; THENCE S 11° 00'11" E A DISTANCE OF 52.02 FEET; THENCE S 76° 18'55" W A DISTANCE OF 32.18 FEET; THENCE S 00° 00'43" W A DISTANCE OF 605.31 FEET; THENCE S 04° 21'28" E A DISTANCE OF 139.51 FEET; THENCE S 00° 00'43" W A DISTANCE OF 149.83 FEET; THENCE S 89° 58'12" E A DISTANCE OF 107.38 FEET; THENCE N 87° 48'06" E A DISTANCE 44.03 FEET; THENCE S 89° 56'01" E A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 12.72 ACRES MORE OR LESS.

**EXHIBIT "B"**

**REVISED IMPROVEMENTS LIST/DETAIL**

(Page 1 of 3)

DATE: 3/25/01  
 NAME OF DEVELOPMENT: Grand View Filing 5 and Filing 6  
 LOCATION: 28 Rd. North of F Rd.  
 PRINTED NAME OF PERSON PREPARING: Richard L. Atkins

	UNITS	TOTAL QTY.	UNIT PRICE	TOTAL AMOUNT
<b>I. SANITARY SEWER</b>				
1. Clearing and grubbing				
2. Cut and remove asphalt				
3. PVC sanitary sewer main (incl. trenching, bedding & backfill)	LF	3791	\$ 18.00	\$ 68,238.00
4. Sewer Services (incl. trenching, bedding & backfill)	EA	44	\$ 400.00	\$ 17,600.00
5. Sanitary sewer manhole(s)	EA	10	\$ 1,600.00	\$ 16,000.00
6. Connection to existing manhole(s)	EA	2	\$ 150.00	\$ 300.00
7. Aggregate Base Course				
8. Pavement replacement				
9. Driveway restoration				
10. Utility adjustments				
<b>II. DOMESTIC WATER</b>				
1. Clearing and grubbing				
2. Cut and remove asphalt				
3. Water Main (incl. excavation, bedding, backfill, valves, and appurtenances)	LF	2619	\$ 11.00	\$ 28,809.00
4. Water services (incl. excavation, bedding, backfill, valves, and appurtenances)	EA	49	\$ 400.00	\$ 19,600.00
5. Connect to existing water line	EA	3	\$ 75.00	\$ 225.00
6. Aggregate Base Course				
7. Pavement Replacement				
8. Utility adjustments				
<b>III. STREETS</b>				
1. Clearing and grubbing	AC	12.72	\$ 1,000.00	\$ 12,720.00
2. Earthwork, including excavation and embankment construction	CY	10000	\$ 1.50	\$ 15,000.00
3. Utility relocations				
4. Aggregate sub-base course (square yard)				

5. Aggregate base course CL 6 (Ton)	SY	11940	\$ 7.00	\$ 83,580.00
6. Sub-grade stabilization				
7. Asphalt or concrete pavement (Ton)	SY	8044	\$ 7.50	\$ 60,330.00
8. Curb, gutter, & sidewalk (linear feet)	LF	4708	\$ 15.00	\$ 70,620.00
9. Driveway sections (square yard)				
10. Crosspans & fillets	SY	173	\$ 31.50	\$ 5,449.50
11. Retaining walls/structures				
12. Storm drainage system				
13. Signs and other traffic control devices	EA	9	\$ 150.00	\$ 1,350.00
14. Construction staking	LS	1	\$ 8,500.00	\$ 8,500.00
15. Dust control				
16. Street Lights (each)	EA	6	\$ 1,000.00	\$ 6,000.00
<b>IV. LANDSCAPING</b>				
1. Design/Architecture				
2. Earthwork, (includes top soil, fine grading, & berming)				
3. Hardscape features (includes walls, fencing, and paving)				
4. Plant material and planting				
5. Irrigation system	LS	1	\$ 15,400.00	\$ 15,400.00
6. Other features (incl. statues, water displays, park equipment, and outdoor furniture)				
7. Curbing				
8. Retaining walls and structures				
9. One year maintenance agreement				
<b>V. MISCELLANEOUS</b>				
1. Design/Engineering	LS	1	\$ 16,900.00	\$ 16,900.00
2. Surveying	LS	1	\$ 7,000.00	\$ 7,000.00
3. Developer's inspection costs	LS	1	\$ 5,500.00	\$ 5,500.00
4. Quality control testing	LS	1	\$ 6,000.00	\$ 6,000.00
5. Construction traffic control				
6. Rights-of-way/Easements				
7. City inspection fees @\$45./hr	LS	1	\$ 2,000.00	\$ 2,000.00
8. Permit fees				
9. Recording costs				
10. Bonds				
11. Newsletters				

12. General Construction Supervision

13. Other

14. Other

_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

TOTAL ESTIMATED COST OF IMPROVEMENTS: \$ 467,121.50

SCHEDULE OF IMPROVEMENTS

I. SANITARY SEWER	July 2001
II. DOMESTIC WATER	August 2001
III. STREETS	September 2001
IV. LANDSCAPING	September 2001
V. MISCELLANEOUS	September 2001

I have reviewed the estimated costs and schedule shown above and based on the plans and the current costs of construction agree to construct and install the Improvements as required above.

Ada Della Motte  
 SIGNATURE OF DEVELOPER  
 (If corporation, to be signed by president and attested to by secretary together with the corporate seals.)

5-1-01  
date

attested by:  
Ada Della Motte, Sec.



Reviewed and approved.

\_\_\_\_\_  
CITY ENGINEER date

\_\_\_\_\_  
COMMUNITY DEVELOPMENT date

**STREETS PLANS AND PROFILES (FILINGS 5 & 6)**

1. Show a Type III barricade at the east ends of Ridge Drive and Cortland Avenue.

**SEWER PLANS & PROFILES (FILINGS 5 & 6)**

2. The sewer main between manholes TB-1 and TB-2 has an unacceptable grade break. The portion of the main in Filing 5 has a proposed slope of 1.00%, while the portion of the main in Filing 6 has a proposed slope of 0.87%. Please correct this condition.

**WATER DETAILS**

3. Ute Water has agreed to require that any new water mains installed within City limits be bedded per City Standards. If necessary, verify this requirement with Ute Water (242-7491) and/or the City Utility Engineer (244-1590). Modify the "Trench Detail" to show the pipe bedded per City standards. See the Typical Trench Detail (GU-03) in the Standard Contract Documents for reference.





City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (970)244-1599

September 20, 2002

Donada, Inc.  
626 Grand View Drive  
Grand Junction, CO 81506

RE: Grand View Subdivision, Filings 5 & 6  
FPP-2001-058

Dear Sirs:

A final inspection of the streets and drainage facilities for the referenced project was conducted and a list of outstanding items was given to your engineer, Mr. Richard Atkins, on September 4, 2001. Subsequent inspections revealed that these items have been satisfactorily completed.

At this time, we are also returning a check to Richard Atkins from Elam Construction for \$1000.00 for guarantee of Grand View improvements so that the check may be returned to the appropriate party.

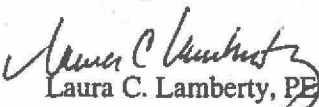
"As Built" record drawings and required test results for the subdivision were received from Atkins and Associates. These documents were reviewed and are acceptable.

The streets and drainage improvements within the public right-of-way are eligible to be accepted for future maintenance by the City of Grand Junction one year after the date of substantial completion. This letter defines the date of substantial completion as September 17, 2002.

Your warranty obligation, for all materials and workmanship, is for a period of one-year beginning with the date of substantial completion. The City will re-inspect the project prior to the end of the warranty period. Any defects discovered during this re-inspection must be corrected. The City will then establish a new acceptance date and an extended warranty period. The warranty period will expire upon acceptance by the City.

Thank you for your cooperation in the completion of the work on this project.

Sincerely,

  
Laura C. Lamberty, PE  
City Development Engineer

cc: Mike McDill  
Doug Cline  
Walt Hoyt  
Jody Kliska  
Trenton Prall

Pat Cecil,  
Community Development File #FPP-2001-058  
Richard Atkins, Atkins & Associates  
Mark Barslund

**GRAND JUNCTION PLANNING COMMISSION  
MAY 14, 2002 MINUTES  
7:05 P.M. to 7:40 P.M.**

The regularly scheduled Planning Commission hearing was called to order at 7:05 P.M. by Chairman Paul Dibble. The public hearing was held in the City Hall Auditorium.

In attendance, representing the Planning Commission, were Paul Dibble (Chairman), Richard Blosser, John Evans, John Redifer, Roland Cole, Bill Pitts and William Putnam. John Paulson (1<sup>st</sup> Alternate) was absent. The 2<sup>nd</sup> Alternate position is vacant.

In attendance, representing the Community Development Department, were Community Development Director Bob Blanchard, Pat Cecil (Development Services Supervisor), Lori Bowers (Associate Planner), Bill Nebeker (Senior Planner), Ronnie Edwards (Associate Planner) and Senta Costello (Associate Planner).

Also present were John Shaver (Asst. City Attorney) and Eric Hahn (Development Engineer).

Terri Troutner was present to record the minutes.

There were approximately 13 interested citizens present during the course of the hearing.

**I. APPROVAL OF MINUTES**

Available for consideration were the minutes of the April 23, 2002 Planning Commission public hearing.

Commissioner Putnam corrected the minutes of March 12 to reflect that he was absent. Those absent from the March 12 meeting included Richard Blosser, William Putnam and Bill Pitts.

**MOTION: (Commissioner Putnam) "I move we approve the minutes as presented and as amended."**

Commissioner Cole seconded the motion. A vote was called and the motion passed by a vote of 4-0, with Commissioners Pitts, Redifer and Cole abstaining.

**II. ANNOUNCEMENTS, PRESENTATIONS AND/OR VISITORS**

Pulled from the agenda was item CUP-2002-059 (Conditional Use Permit/Variance—Maranatha Broadcasting Tower).

**III. CONSENT AGENDA**

Placed on the Consent Agenda were items VR-2002-079 (Vacation of Right-of-Way/Mesa County Public Library), ANX-2002-084 (Zone of Annexation—Beagley Annexation), FP-2001-058 (Final Plat—Grand View Subdivision Filing #6 Recording Extension), and TAC-2002-112 (Text Amendment—Zoning & Development Code Revisions).

Commissioner Putnam said that he'd spoken with legal counsel, John Shaver, about tidying up some of the recommended motions attached to Consent Agenda items. He also wondered if the

fact that planning commissioners hadn't been given the latest update of Text Amendment revisions (TAC-2002-112) was significant.

Mr. Shaver said that he would assist staff to correct the motions; he noted that none of the changes would amend the substance of the action. Mr. Blanchard said that text amendment changes were editorial only; the content hadn't been changed. This satisfactorily addressed Commissioner Putnam's concerns. No further questions were raised by planning commissioners, staff or the citizenry on any of the aforementioned items.

**MOTION: (Commissioner Putnam) "Subject to that discussion, I move that we pass the Consent Agenda."**

Commissioner Blosser seconded the motion. A vote was called and the motion passed unanimously by a vote of 7-0.

QUIT CLAIM DEED

DONADA, INC., a Colorado corporation, whose address is 626 Grand View Drive, Grand Junction, Mesa County, CO 81506 ("Grantor"), for the consideration of Ten Dollars and Other Good and Valuable Consideration, in hand paid, hereby sells and quit claims to GRAND VIEW HOMEOWNERS ASSOCIATION, INC. whose legal address is 626 Grand View Drive, Grand Junction, Mesa County, CO 81506 ("Grantee"), the following real property in the County of Mesa, and State of Colorado, to wit:

A perpetual and non-exclusive easement for the installation, operation and maintenance of an irrigation system serving Grand View Subdivision described as follows:

The West ten (10) feet of Lots 1-9, Block Two and  
The East ten (10) feet of Lots 1-10, Block One,  
Grand View Subdivision, Filing No. Five

The West ten (10) feet of Lot 1, Block Four and  
The East ten (10) feet of Lot 1, Block Three,  
Grand View Subdivision, Filing No. Five

The West ten (10) feet of Lots 2-13, Block Two and  
The East ten (10) feet of Lots 2-12, Block One,  
Grand View Subdivision, Filing No. Six

all in Mesa County, Colorado

with all its appurtenances, and subject to 2001 general taxes, payable in 2002, and all subsequent taxes; easements, rights-of-way, restrictions, covenants, conditions and reservations of record or in use.

Signed this 6th day of September, 2001.

DONADA, INC.

By: Donald D. dela Motte  
Donald D. dela Motte, President

STATE OF COLORADO )  
  )ss.  
COUNTY OF MESA        )

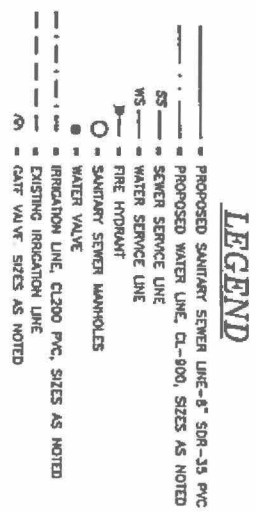
The foregoing instrument was acknowledged before me this 6th day of September, 2001 by Donald D. dela Motte, the President of Donada, Inc., a Colorado corporation.

My commission expires \_\_\_\_\_  
Witness my hand and official seal.

Joan L. Carrico  
Notary Public



CREAGE SUMMARY  
 LOTS 5.16 ACRES  
 ADS 1.23 ACRES  
 TOTAL 6.39 ACRES



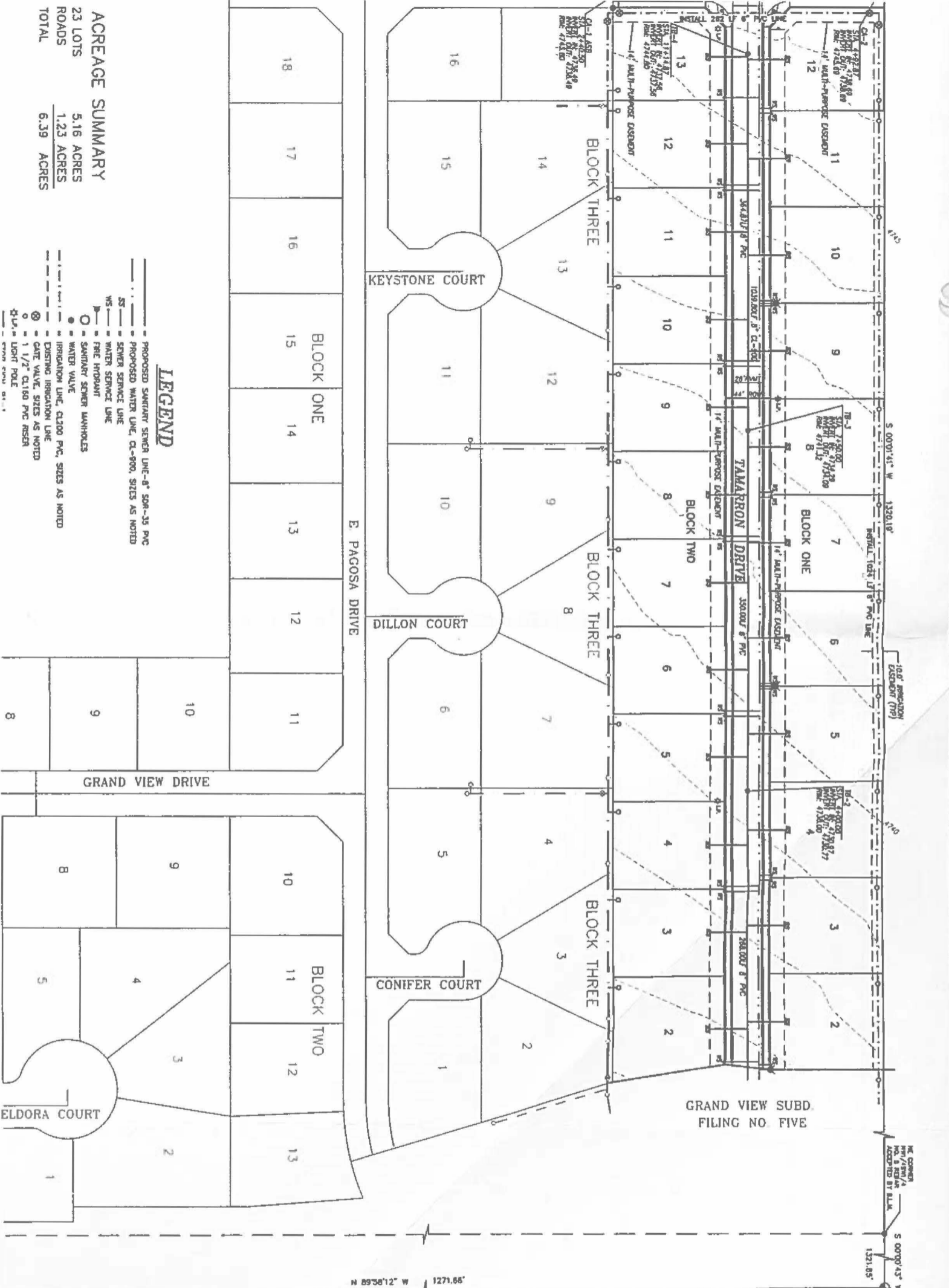
SOCIATES, INC.  
 -105, P.O. BOX 2702  
 COLORADO 81502  
 X 970-245-2355

GRAND VIEW SUBDIVISION,  
 FILING NO. SIX

FILING SIX  
 UTILITY COMPOSITE

DRAWN BY: JAH  
 CHECKED BY: RLA  
 DATE: 02/28/01  
 PROJECT NO.:  
 FILE NAME: TAMARRONPP2

50  
 HORIZ:  
 VERT:



**ACREAGE SUMMARY**

23 LOTS 5.16 ACRES  
 ROADS 1.23 ACRES  
 TOTAL 6.39 ACRES

**LEGEND**

- PROPOSED SANITARY SEWER LINE-8" SDR-35 PVC
- PROPOSED WATER LINE, CL-800, SIZES AS NOTED
- WATER SERVICE LINE
- WATER SERVICE LINE
- WATER SERVICE LINE
- FRIE HYDRANT
- SANITARY SEWER MANHOLES
- WATER VALVE
- IRRIGATION LINE, CL200 PVC, SIZES AS NOTED
- DISTINGUISHING IRRIGATION LINE
- GATE VALVE, SIZES AS NOTED
- 1 1/2" CL150 PVC RISER
- LIGHT POLE

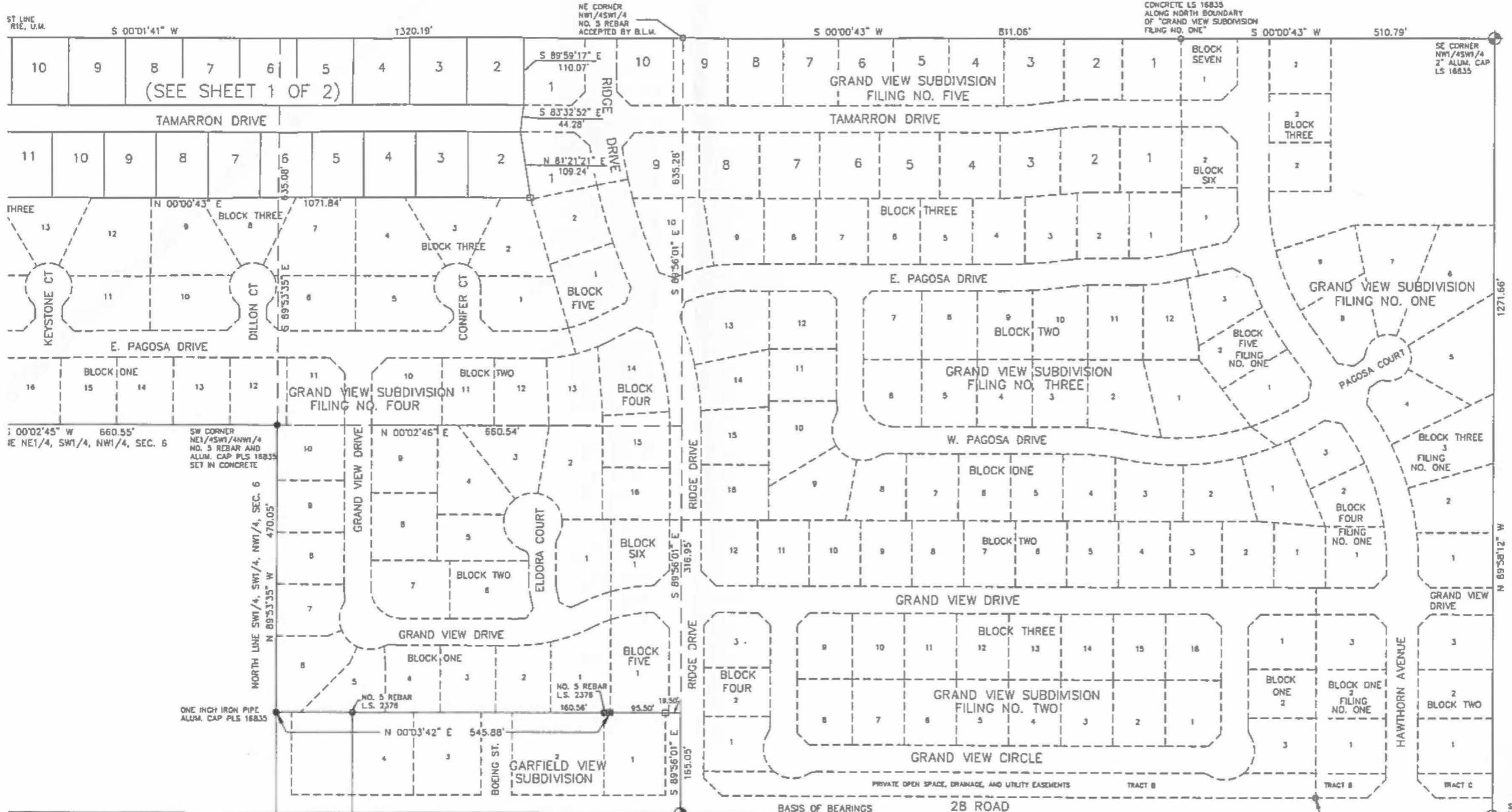
**ASSOCIATES, INC.**  
 E B-105, P.O. BOX 2702  
 DN, COLORADO 81502  
 FAX 970-245-2355

**GRAND VIEW SUBDIVISION,  
 FILING NO. SIX**

DRAWN BY: JAH	50 HORIZ: VERT:
CHECKED BY: RLA	
DATE: 02/28/01	
PROJECT NO.:	
FILE NAME: TAMARRONPP2	

**GRAND VIEW SUBDIVISION**  
**FILING NO. SIX**  
 A REPLAT OF LOT 1, BLOCK 5  
**GRAND VIEW SUBDIVISION FILING NO. FIVE**  
 LOCATED IN SECTION 6, T1S, R1E, UTE MERIDIAN

FOUND ALUMINUM CAPS  
 AND NO. 5 REBAR IN  
 CONCRETE L.S. 16835  
 ALONG NORTH BOUNDARY  
 OF GRAND VIEW SUBDIVISION  
 FILING NO. ONE

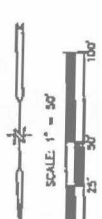
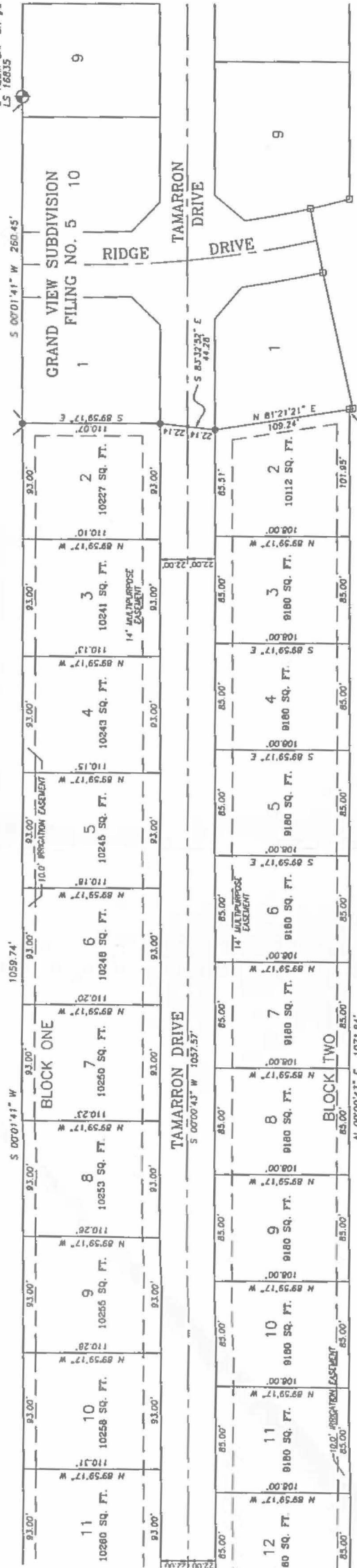


BASIS OF BEARINGS 28 ROAD

SW CORNER

# GRAND VIEW SUBDIVISION FILING NO. SIX A REPLAT OF LOT 1, BLOCK 5 GRAND VIEW SUBDIVISION FILING NO. FIVE

CENTER WEST 1/16 CORNER  
SECTION 6, T15, R1E, U1M  
2" ALUM CAP ON #6 REBAR  
LS 16635



CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO }  
COUNTY OF MESA }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ A.M., \_\_\_\_\_ A.D., 2002 AND WAS DULY RECORDED

IN PLAT BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

CLERK AND RECORDER

CITY OF GRAND JUNCTION APPROVAL

THIS PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, IS APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2002

PRESIDENT OF CITY COUNCIL

BASIS OF BEARINGS

BASES OF BEARING ASSUMES THE WEST LINE OF THE NW/4SW/4 OF SECTION 6, T15, R1E, OF THE UTE MERIDIAN, COUNTY OF COLORADO, TO BE 132285 FEET LONG AND THE WEST LINE OF THE SW/4SW/4 OF SECTION 6 AND THE SOUTHWEST CORNER (MESA COUNTY SURVEY MARKER) OF SAID NW/4SW/4.

THESE PRESENTS:

IC, A COLORADO CORPORATION IS THE OWNER OF THAT REAL PROPERTY LOCATED IN T/4SW/4 (WHICH IS ALSO KNOWN AS GOVERNMENT LOT 6) AND THE SW/4NW/4 OF SHIP 1 SOUTH, RANGE 1 EAST OF THE UTE MERIDIAN, MESA COUNTY, COLORADO, TOGULARLY DESCRIBED AS FOLLOWS: (ORIGINAL WARRANTY DEED BOOK 15, PAGE 1104 P1773043.)

LOT 1, BLOCK 5, GRAND VIEW SUBDIVISION FILING NO FIVE

OWNERS HAVE CAUSED THE REAL PROPERTY TO BE LAD OUT AND PLATTED AS GRAND VIEW SUBDIVISION FILING NO. SIX, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, AND SET APART REAL PROPERTY AS SHOWN AND ACCOMPANYING PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE AS FOLLOWS:

AND RIGHT-OF-WAY TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC PURPOSE EASEMENTS TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC PURPOSE, NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, MAINTENANCE AND REPAIR OF UTILITY LINES, SANITARY SEWER LINES, WATER LINES, GAS LINES, NATURAL GAS PIPELINES, SANITARY SEWER LINES, WATER LINES, AND ALSO FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL LIGHTING, STREET TREES AND GRADE STRUCTURES.

TION EASEMENTS AS SET FORTH ON THIS PLAT TO THE GRAND VIEW HOMEOWNERS' ASSOCIATION, NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, MAINTENANCE AND REPAIR OF UTILITY LINES, SANITARY SEWER LINES, WATER LINES, GAS LINES, AND ALSO FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL LIGHTING, STREET TREES AND GRADE STRUCTURES.

THESE PRESENTS TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC PURPOSE, NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, MAINTENANCE AND REPAIR OF UTILITY LINES, SANITARY SEWER LINES, WATER LINES, GAS LINES, AND ALSO FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL LIGHTING, STREET TREES AND GRADE STRUCTURES.

HEREBY, SAID OWNERS, DONADA, INC. A COLORADO CORPORATION, HAS CAUSED THEIR HERETO SUBSCRIBED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2002

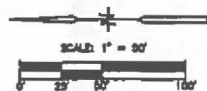
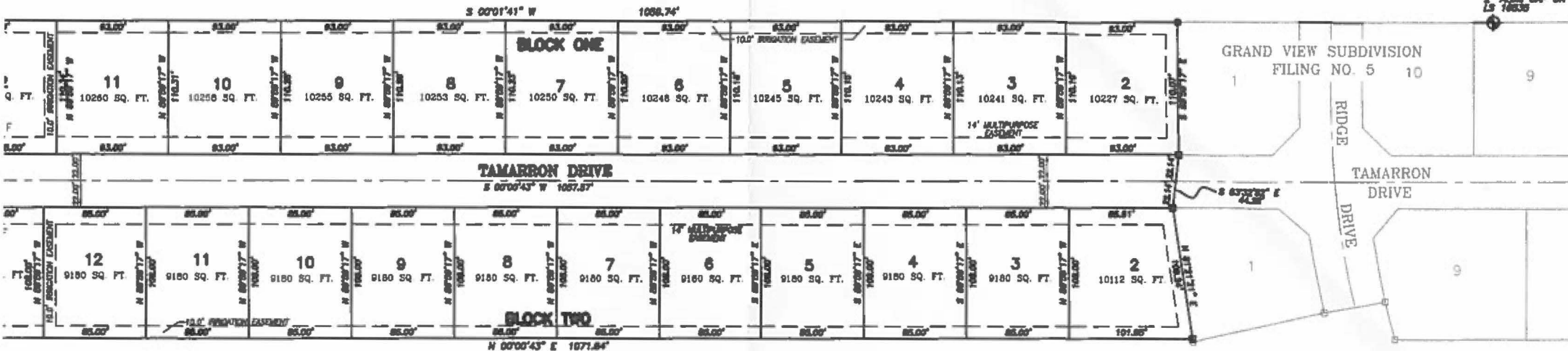
BY: ADA M. DELA MOTTE

- LEGEND:
- MESA COUNTY SURVEY MARKER, BLUE BRASS CAP,
  - OR 2" ALUMINUM MONUMENT,
  - FOUND SURVEY MONUMENT SET BY RLS 18835 OR AS NOTED
  - SET CAP AND NO. 5 REBAR IN CONCRETE
  - PE/MS ALUMINUM CAP AND NO. 5 REBAR IN CONCRETE
  - PE/MS 1/2"Ø



**GRAND VIEW SUBDIVISION  
FILING NO. SIX  
A REPLAT OF LOT 1, BLOCK 5  
GRAND VIEW SUBDIVISION FILING NO. FIVE**

CENTER WEST 1/4 CORNER  
SECTION 6, T1S, R1E, U1M,  
3" ALUM. CAP. ON 1/4 REBAR  
LS 19836



**DEDICATION**

KNOW ALL MEN BY THESE PRESENTS

THAT DOMADA, INC. A COLORADO CORPORATION IS THE OWNER OF THAT REAL PROPERTY LOCATED IN PART OF THE NW1/4SW1/4 (WHICH IS ALSO KNOWN AS SUBDIVISION LOT 5) AND THE SW1/4SW1/4 OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 1 EAST OF THE 10TH MERIDIAN, MESA COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: (ORIGINAL WARRANTY DEED BOOK 15, PAGES 174 & 175 RECEPTION #1773043.)

LOT 1, BLOCK 5, GRAND VIEW SUBDIVISION FILING NO. SIX

THAT SAID OWNERS HAVE CAUSED THE REAL PROPERTY TO BE LAID OUT AND PLATTED AS GRAND VIEW SUBDIVISION FILING NO. SIX, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COLORADO, THAT SAID OWNER DOES HEREBY DEDICATE AND SET APART REAL PROPERTY AS SHOWN AND LABELED AS THE ACCOMPANYING PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE AS FOLLOWS:

ALL STREETS AND RIGHT-OF-WAY TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC FOREVER;

ALL MULTIPURPOSE EASEMENTS TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC UTILITIES AS PERPETUAL NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, MAINTENANCE AND REPAIR OF UTILITIES AND APPURTENANCES THEREON INCLUDING, BUT NOT LIMITED TO ELECTRIC LINES, CABLE TV LINES, NATURAL GAS PIPELINES, SANITARY SEWER LINES, WATER LINES, TELEPHONE LINES, AND ALSO FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL FACILITIES, STREET LIGHTING, STREET TREES AND GRADE STRUCTURES;

ALL EASEMENTS AS SET FORTH ON THIS PLAT TO THE GRAND VIEW HOMEOWNERS ASSOCIATION, AS PERPETUAL NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, MAINTENANCE AND REPAIR OF PRIVATE IRRIGATION SYSTEMS;

ALL EASEMENTS INCLUDE THE RIGHT OF INGRESS AND EGRESS ON, ALONG, OVER, UNDER, AND THROUGH AND ACROSS BY THE BENEFICIARIES, THEIR SUCCESSORS, OR ASSIGNS, TOGETHER WITH THE RIGHT TO TRIM OR REMOVE INTERFERING TREES AND BRUSH, PROVIDED, HOWEVER, THAT THE BENEFICIARIES OF SAID EASEMENTS SHALL UTILIZE THE SAME IN A REASONABLE AND PRUDENT MANNER. FURTHERMORE, THE OWNERS OF LOTS OR TRACTS HEREBY PLATTED SHALL NOT BURDEN NOR OVSERBURDEN SAID EASEMENTS BY ERRECTING OR PLACING ANY IMPROVEMENTS THEREON WHICH MAY PREVENT REASONABLE INGRESS AND EGRESS TO AND FROM THE EASEMENT.

IN WITNESS WHEREOF, SAID OWNERS, DOMADA, INC. A COLORADO CORPORATION, HAS CAUSED THEIR NAMES TO BE HERETO SUBSCRIBED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2001

**CLERK AND RECORDER'S CERTIFICATE**

STATE OF COLORADO )  
COUNTY OF MESA ) ss

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ A.M., \_\_\_\_\_, A.D. 2001 AND WAS DULY RECORDED

IN PLAT BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_

\_\_\_\_\_  
CLERK AND RECORDER

**CITY OF GRAND JUNCTION APPROVAL**

THIS PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, IS APPROVED AND ACCEPTED THIS

\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2001

\_\_\_\_\_  
CITY MANAGER

\_\_\_\_\_  
PRESIDENT OF CITY COUNCIL

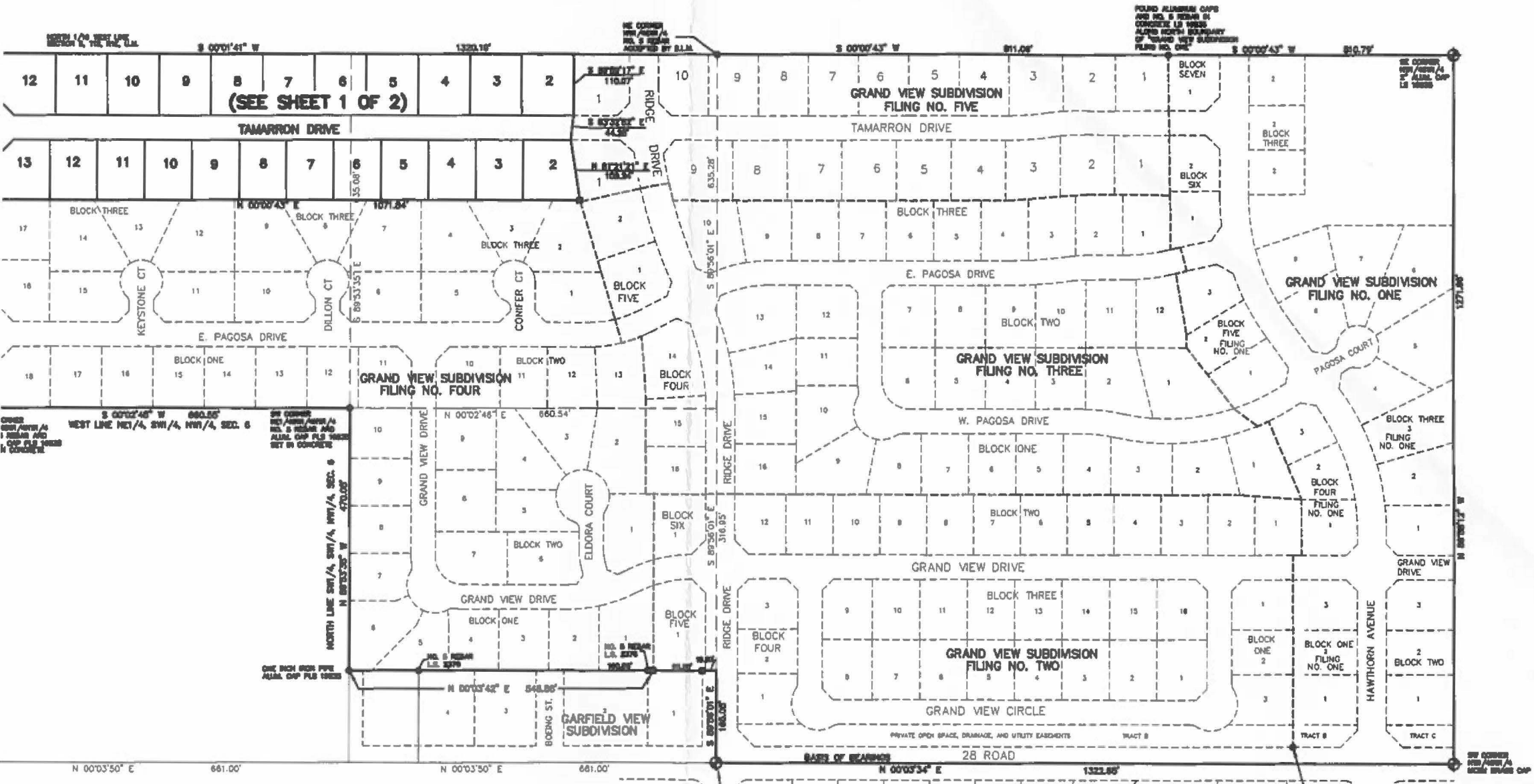
**BASIS OF BEARINGS.**

BASES OF BEARINGS ASSUMED THE WEST LINE OF THE NW1/4SW1/4 OF SECTION 6, T1S, R1E, OF THE 10TH MERIDIAN, COUNTY OF MESA, STATE OF COLORADO, TO BEAR S00°05'34" E, 1322.65 FEET BETWEEN THE WEST 1/4 CORNER (A 3" ALUMINUM CAP L.S.19836) OF SAID SECTION 6 AND THE SOUTHWEST CORNER (MESA COUNTY SURVEY MARKER) OF SAID NW1/4SW1/4.

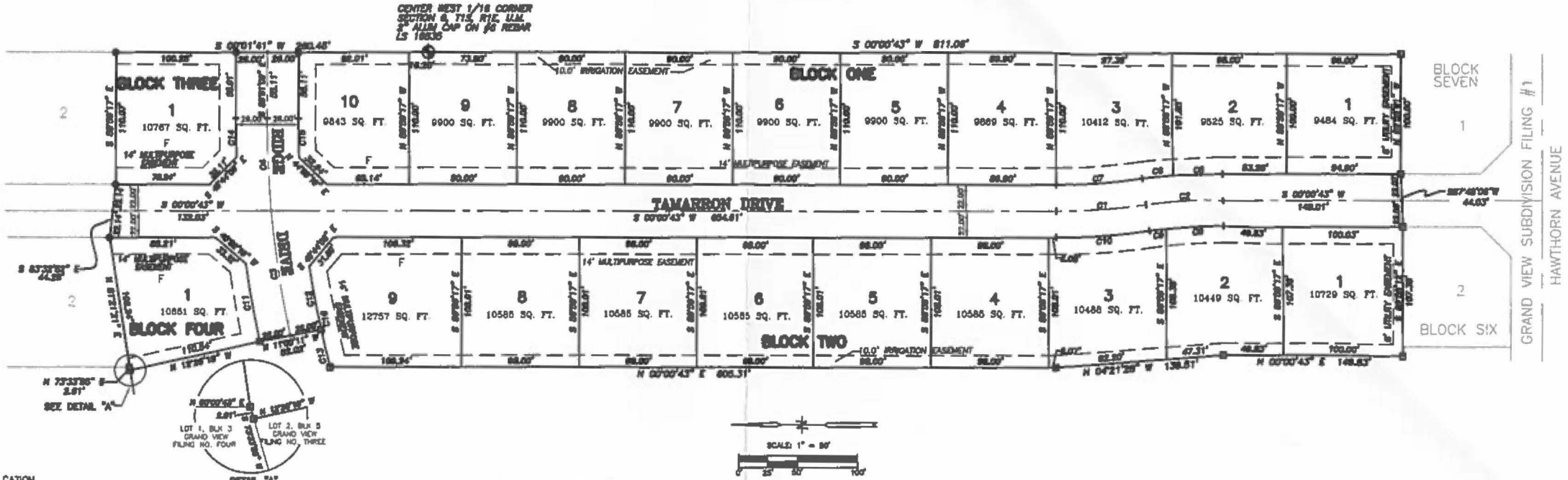
**LEGEND:**

- ◆ MESA COUNTY SURVEY MARKER, 3/4" BRASS CAP, OR 3" ALUMINUM MONUMENT
  - FOUND SURVEY MONUMENT SET BY RLS 19836 OR AS NOTED
  - SET CAP AND NO. 5 REBAR IN CONCRETE PE/RLS 12281
  - FOUND ALUMINUM CAP AND NO. 5 REBAR IN CONCRETE PE/RLS 12281
  - F INDICATES LOCATION OF FRONT YARDS ON CORNER LOTS
- NOTE: NO. 5 REBAR AND ALUMINUM CAP TO BE SET

**GRAND VIEW SUBDIVISION  
FILING NO. SIX  
A REPLAT OF LOT 1, BLOCK 5  
GRAND VIEW SUBDIVISION FILING NO. FIVE  
LOCATED IN SECTION 6, T1S, R1E, UTE MERIDIAN**



**GRAND VIEW SUBDIVISION  
 FILING NO. FIVE  
 A REPLAT OF LOT 1, BLOCK 4  
 GRAND VIEW SUBDIVISION FILING NO. FOUR**



**CATION**  
 ALL MEN BY THESE PRESENTS:  
 DONADA, INC. A COLORADO CORPORATION IS THE OWNER OF THAT REAL PROPERTY LOCATED IN OF THE NW1/4SW1/4 (WHICH IS ALSO KNOWN AS GOVERNMENT LOT 6) AND THE SW1/4SW1/4 OF ON S. TOWNSHIP 1 SOUTH, RANGE 1 EAST OF THE 10TH MERIDIAN, MESA COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: (ORIGINAL WARRANTY DEED BOOK 16, PAGE 1 178 RECEPTION #773043.)  
 LOT 1, BLOCK 4, GRAND VIEW SUBDIVISION FILING NO FOUR  
 THAT SAID OWNERS HAVE CAUSED THE REAL PROPERTY TO BE LAD OUT AND PLATED AS GRAND SUBDIVISION FILING NO FIVE, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, CO, CO, THAT SAID OWNER DOES HEREBY DEDICATE AND SET APART REAL PROPERTY AS SHOWN AND ED AS THE ACCOMPANYING PLAT OF GRAND VIEW SUBDIVISION FILING NO FIVE AS FOLLOWS:  
 ALL STREETS AND RIGHT-OF-WAY TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC HER:  
 ALL MULTIPURPOSE EASEMENTS TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC ED AS PERPETUAL NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, IDANCE AND REPAIR OF UTILITIES AND APPURTENANCES THERE TO INCLUDING, BUT NOT LIMITED CTRIC LINES, CABLE TV LINES, NATURAL GAS PIPELINES, SANITARY SEWER LINES, WATER TELEPHONE LINES, AND ALSO FOR THE INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL TRES, STREET LIGHTING, STREET TREES AND GRADE STRUCTURES.  
 ALL IRRIGATION EASEMENTS AS SET FORTH ON THIS PLAT TO THE GRAND VIEW HOMEOWNERS CATION, AS PERPETUAL NON-EXCLUSIVE EASEMENTS FOR THE INSTALLATION, OPERATION, IDANCE AND REPAIR OF PRIVATE IRRIGATION SYSTEMS:  
 ALL EASEMENTS INCLUDE THE RIGHT OF INGRESS AND EGRESS ON, ALONG, OVER, UNDER, AND UGH AND ACROSS BY THE BENEFOCIARIES, THEIR SUCCESSORS, OR ASSIGNS, TOGETHER WITH THE TO TRIM OR REMOVE INTERFERING TREES AND BRUSH, PROVIDED, HOWEVER, THAT THE EASERS OF SAID EASEMENTS SHALL UTILIZE THE SAME IN A REASONABLE AND PRUDENT MANNER. FURTHER, THE OWNERS OF LOTS OR TRACTS HEREBY PLATTED SHALL NOT BURDEN NOR OVBURDEN EASEMENTS BY ERRECTING OR PLACING ANY IMPROVEMENTS THEREON WHICH MAY PREVENT OUBLE INGRESS AND EGRESS TO AND FROM THE EASEMENT.

**CLERK AND RECORDER'S CERTIFICATE**  
 STATE OF COLORADO )  
 COUNTY OF MESA ) ss  
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., \_\_\_\_\_ A.D., 2001 AND WAS DULY RECORDED  
 IN PLAT BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_  
 \_\_\_\_\_  
 CLERK AND RECORDER

**CITY OF GRAND JUNCTION APPROVAL**  
 THIS PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, IS APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2001  
 \_\_\_\_\_  
 CITY MANAGER  
 \_\_\_\_\_  
 PRESIDENT OF CITY COUNCIL

**BASIS OF BEARINGS**  
 BASIS OF BEARINGS ASSUMED THE WEST LINE OF THE NW1/4SW1/4 OF SECTION 8, T15, R1E, OF THE 10TH MERIDIAN, COUNTY OF MESA, STATE OF COLORADO, TO BEAR S09°53'34" W. 1322.88 FEET BETWEEN THE WEST 1/4 CORNER (A 2" ALUMINUM CAP L.S.18836) OF SAID SECTION 8 AND THE SOUTHWEST CORNER (MESA COUNTY SURVEY MARKED) OF SAID NW1/4SW1/4.

**CURVE TABLE**

CHORD	CHORD BEARING	CHORD LENGTH	CHORD BEARING	CHORD LENGTH	CHORD BEARING
10	N 00°00'45" E	100.00	S 00°00'45" W	100.00	N 00°00'45" E
20	N 00°00'45" E	200.00	S 00°00'45" W	200.00	N 00°00'45" E
30	N 00°00'45" E	300.00	S 00°00'45" W	300.00	N 00°00'45" E
40	N 00°00'45" E	400.00	S 00°00'45" W	400.00	N 00°00'45" E
50	N 00°00'45" E	500.00	S 00°00'45" W	500.00	N 00°00'45" E
60	N 00°00'45" E	600.00	S 00°00'45" W	600.00	N 00°00'45" E
70	N 00°00'45" E	700.00	S 00°00'45" W	700.00	N 00°00'45" E
80	N 00°00'45" E	800.00	S 00°00'45" W	800.00	N 00°00'45" E
90	N 00°00'45" E	900.00	S 00°00'45" W	900.00	N 00°00'45" E
100	N 00°00'45" E	1000.00	S 00°00'45" W	1000.00	N 00°00'45" E

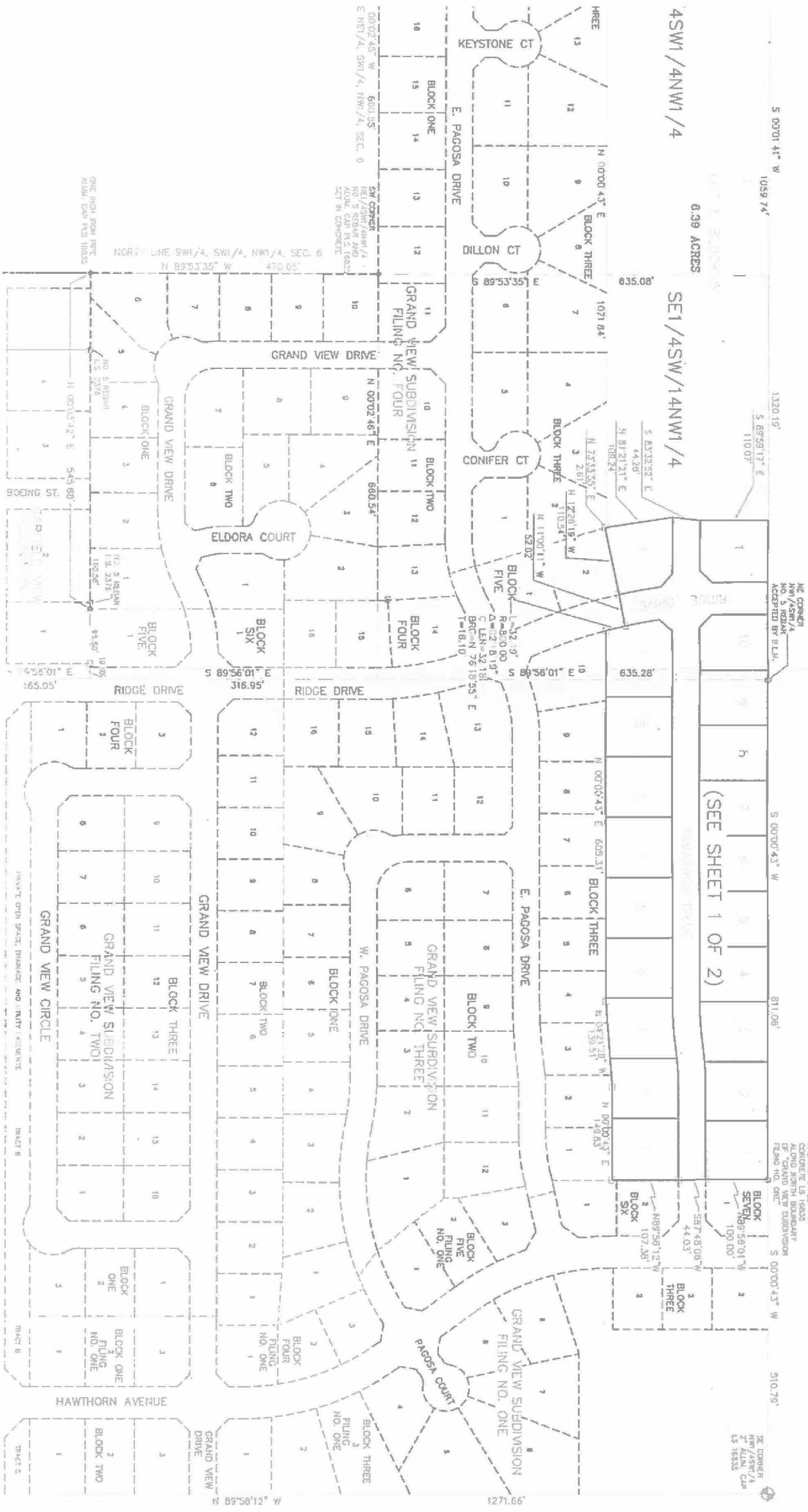
- LEGEND:**
- ⊕ MESA COUNTY SURVEY MARKER, 5/8" BRASS CAP, OR 2" ALUMINUM MONUMENT
  - ⊙ FOUND SURVEY MONUMENT SET BY RLS 18836 OR AS NOTED
  - ⊙ SET ALUMINUM CAP AND NO. 8 REBAR IN CONCRETE PL/RLS 12291
  - ⊙ FOUND ALUMINUM CAP AND NO. 8 REBAR IN CONCRETE PL/RLS 12291
  - ⊙ FOUND ALUMINUM CAP AND NO. 8 REBAR IN CONCRETE PL/RLS 12291
  - F INDICATES LOCATION OF FRONT YARDS ON CORNER LOTS

IN WITNESS WHEREOF, SAID OWNERS, DONADA, INC. A COLORADO CORPORATION, HAS CAUSED THEM TO BE HERETO SUBSCRIBED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2001

# GRAND VIEW SUBDIVISION FILING NO. FIVE

A REPLAT OF LOT 1, BLOCK 4  
GRAND VIEW SUBDIVISION FILING NO. FOUR

LOCATED IN SECTION 6, T11S, R1E, U1E MERIDIAN



4SW1/4NW1/4

SE1/4SW/14NW1/4

0.39 ACRES

S 00°01'41" W 1059.74'

S 89°58'17" E 110.07'

S 00°00'43" W 811.06'

S 00°00'43" W 510.79'

S 89°58'12" W 107.36'

S 89°58'12" W 1271.66'

NE CORNER  
NO. 5 REBAR  
ACCEPTED BY E.L.L.

FOUND ALUMINUM CIPS  
AND NO. 5 REBAR AT  
CORNER OF SECTION 6  
ALONG WESTERLY BOUNDARY  
OF "GRAND VIEW SUBDIVISION"  
FILING NO. ONE.

NE CORNER  
NO. 5 REBAR  
ACCEPTED BY E.L.L.

00°02'45" W 680.05'  
E NE1/4, SW1/4, NW1/4, SEC. 6  
S.W. CORNER  
NE1/4SW1/4NW1/4  
NO. 5 REBAR AND  
ALUM. CIP P.C. 18833  
SET IN CONCRETE

NORTH LINE SW1/4, SW1/4, NW1/4, SEC. 6  
N 89°53'35" W 470.05'

ONE INCH PER FOOT  
ADJUSTED PER 18833

BOILING ST.  
545.68' E

RIDGE DRIVE  
545.91' E

HAWTHORN AVENUE  
545.91' E

TRACT B

TRACT B

TRACT C

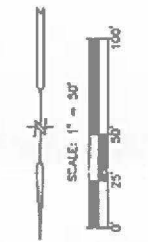
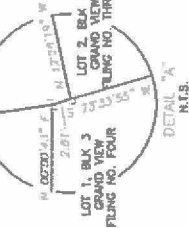
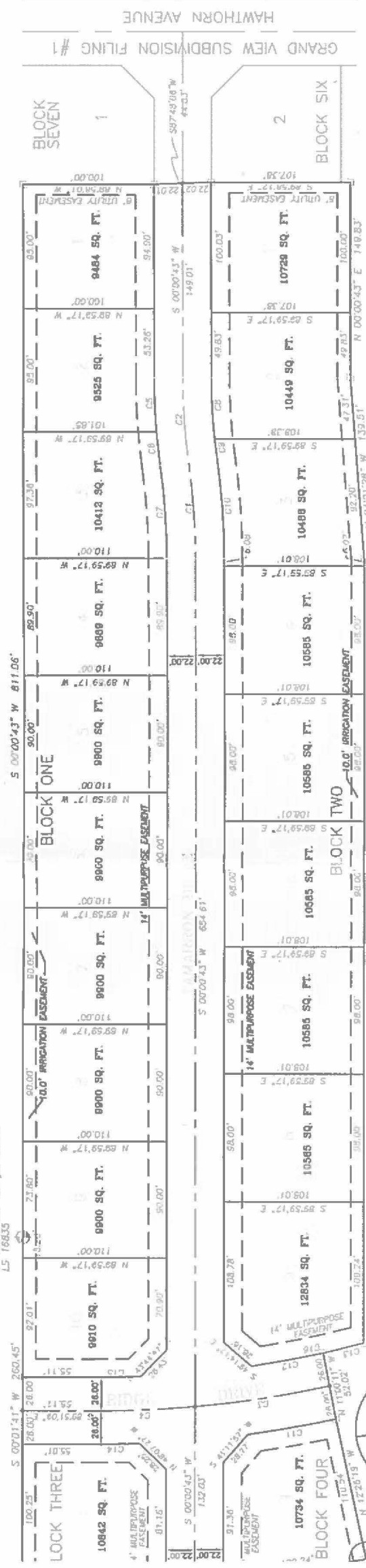
# GRAND VIEW SUBDIVISION

## FILING NO. FIVE

### A REPEAT OF LOT 1, BLOCK 4

## GRAND VIEW SUBDIVISION FILING NO. FOUR

CENTER WEST 1/16 CORNER  
SECTION 6, T1S, R1E, U.M.  
2" ALUM CAP ON #6 REBAR  
L5 16835



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	522.76	74.94	74.87	N 04°06'06" W	087°2'42"
C2	430.54	84.83	84.58	S 04°06'07" E	087°3'11"
C3	576.00	105.03	104.58	N 81°20'31" E	071°17'07"
C4	626.00	79.00	77.00	N 87°20'29" E	05°3'43"
C5	472.54	41.79	41.78	S 07°31'32" E	73°04'01"
C6	472.54	25.00	25.00	S 05°35'28" E	63°59'08"
C7	500.78	71.76	71.75	S 04°08'04" W	087°2'42"
C8	426.54	47.27	47.24	S 03°09'07" E	07°15'11"
C9	426.54	74.71	74.21	S 07°15'43" E	013°4'00"
C10	544.78	78.00	78.03	N 04°06'06" W	087°2'42"
C11	652.00	68.83	68.81	S 70°52'32" W	04°37'42"
C12	800.00	56.35	56.35	S 75°29'11" W	04°02'12"
C13	600.00	37.19	37.18	S 26°10'25" W	02°18'15"
C14	552.00	34.69	34.68	S 58°59'50" W	02°19'55"
C15	800.00	35.27	35.27	S 58°59'50" W	02°19'55"
C16	600.00	88.59	88.51	S 78°20'53" W	05°20'51"

CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO )  
COUNTY OF MESA ) ss  
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.,  
\_\_\_\_\_ A.D. 2001 AND WAS DULY RECORDED  
IN PLAT BOOK NO. \_\_\_\_\_ PAGE NO. \_\_\_\_\_  
CLERK AND RECORDER

CITY OF GRAND JUNCTION APPROVAL

THIS PLAT OF GRAND VIEW SUBDIVISION FILING NO. FIVE, A SUBDIVISION OF A PART OF THE CITY OF GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, IS APPROVED AND ACCEPTED THIS  
DAY OF \_\_\_\_\_, A.D., 2001

CITY MANAGER \_\_\_\_\_ PRESIDENT OF CITY COUNCIL \_\_\_\_\_

BASIS OF BEARINGS

BASED ON BEARINGS ASSUMED THE ANGLE OF THE NW 1/4 SW 1/4 OF SECTION 6, T1S, R1E, OF THE GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, TO BE CORRECT AS SHOWN ON PLAT NO. \_\_\_\_\_, A.D., 2001.

GRAND JUNCTION IS THE OWNER OF THAT REAL PROPERTY LOCATED IN AND AROUND THE CORNER OF THE SW 1/4 NW 1/4 OF SECTION 6, T1S, R1E, OF THE GRAND JUNCTION, COUNTY OF MESA, STATE OF COLORADO, AS SHOWN ON PLAT NO. \_\_\_\_\_, A.D., 2001. THE CITY OF GRAND JUNCTION HEREBY DEDICATE AND SET APART REAL PROPERTY AS SHOWN AND DESCRIBED IN THIS INSTRUMENT TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC.

THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC HEREBY DEDICATE AND SET APART REAL PROPERTY AS SHOWN AND DESCRIBED IN THIS INSTRUMENT TO THE CITY OF GRAND JUNCTION FOR THE USE OF THE PUBLIC.

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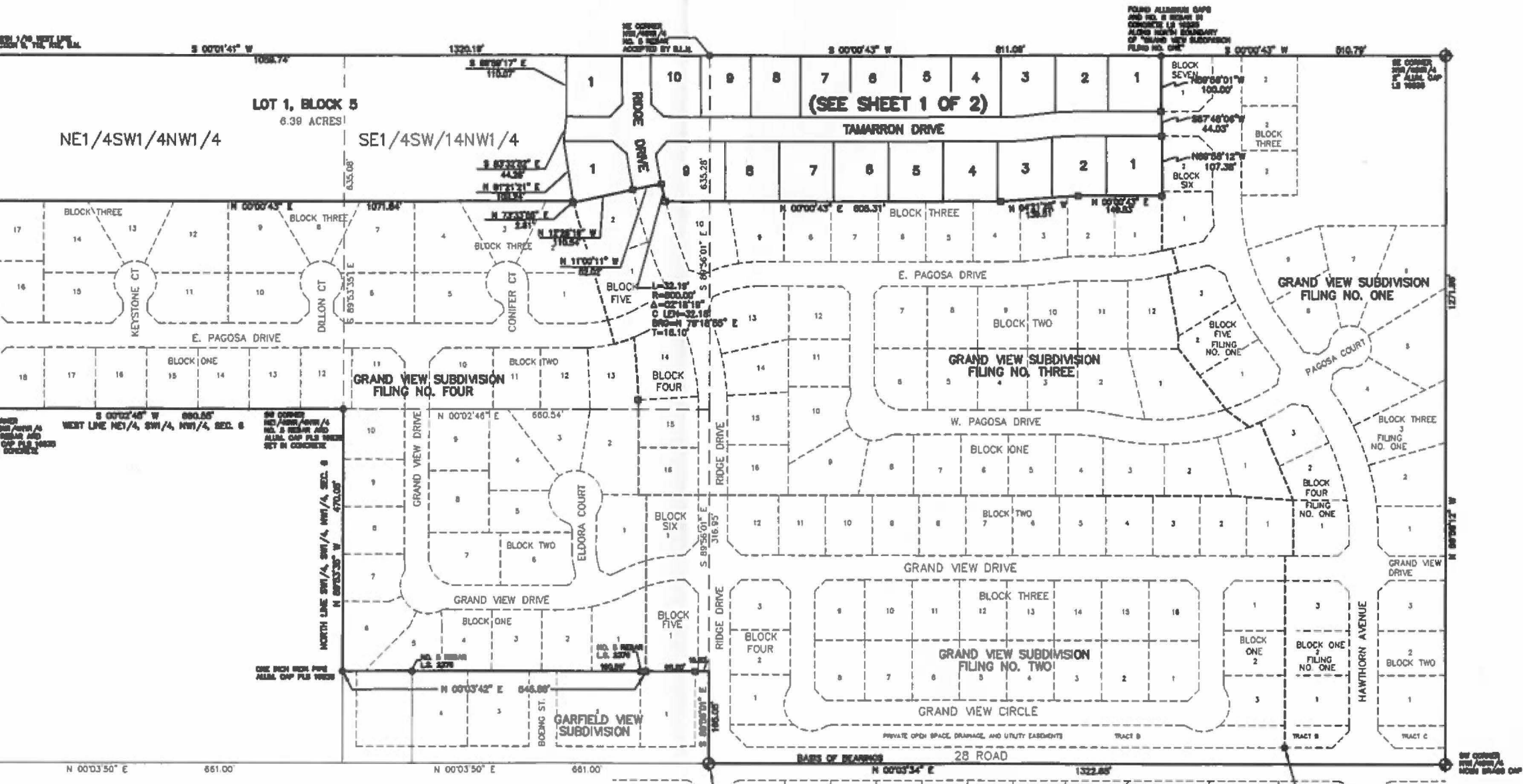
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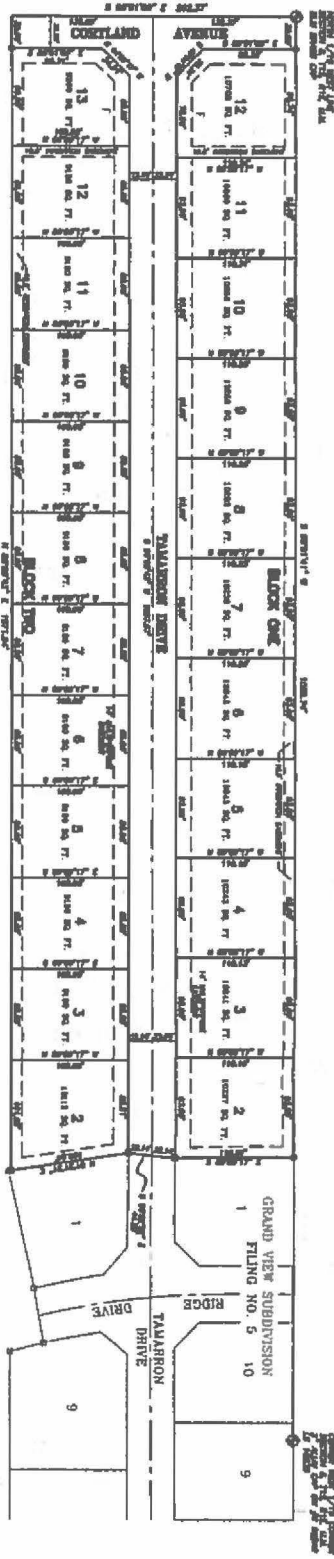
LEGEND

MESA COUNTY SURVEY MARKER, IRON BRASS CAP,  
OR 2" ALUMINUM MONUMENT  
FOUND SURVEY MONUMENT SET BY R15 16835 OR AS NOTED  
GET ATTENTION FOR ANY AND ALL MESS UP BEARS IN PLAT

**GRAND VIEW SUBDIVISION  
 FILING NO. FIVE  
 A REPLAT OF LOT 1, BLOCK 4  
 GRAND VIEW SUBDIVISION FILING NO. FOUR  
 LOCATED IN SECTION 6, T1S, R1E, UTE MERIDIAN**



## GRAND VIEW SUBDIVISION FILING NO. SIX A REPLAT OF LOT 1, BLOCK 5 GRAND VIEW SUBDIVISION FILING NO. FIVE



**NOTICES**

THIS PLAT IS A REPLAT OF LOT 1, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE, AS SHOWN ON PLAT NO. 100-100-0000, FILED FOR RECORD IN THE PUBLIC RECORDS OF THE COUNTY OF COLUMBIA, MISSOURI, ON FEBRUARY 1, 1990. THE ORIGINAL PLAT WAS PREPARED BY THE ARCHITECTURAL FIRM OF [REDACTED], ARCHITECTS, AND THE ENGINEERING FIRM OF [REDACTED], ENGINEERS. THE REPLAT IS BEING MADE TO CORRECT A CLERICAL ERROR IN THE ORIGINAL PLAT WHERE LOT 1 WAS INCORRECTLY SHOWN AS BEING 100 FEET WIDE, WHEN IT IS ACTUALLY 120 FEET WIDE. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS.

THE REPLAT IS BEING MADE TO CORRECT A CLERICAL ERROR IN THE ORIGINAL PLAT WHERE LOT 1 WAS INCORRECTLY SHOWN AS BEING 100 FEET WIDE, WHEN IT IS ACTUALLY 120 FEET WIDE. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS.

**LEGAL DESCRIPTION**

THE PLAT IS BEING MADE TO CORRECT A CLERICAL ERROR IN THE ORIGINAL PLAT WHERE LOT 1 WAS INCORRECTLY SHOWN AS BEING 100 FEET WIDE, WHEN IT IS ACTUALLY 120 FEET WIDE. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS. THE REPLAT IS BEING MADE TO CORRECT THIS ERROR AND TO SHOW THE CORRECT BOUNDARIES OF LOT 1 AND THE ADJACENT LOTS.

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**LEGEND**

- 1. LOT 1, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 2. LOT 2, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 3. LOT 3, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 4. LOT 4, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 5. LOT 5, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 6. LOT 6, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 7. LOT 7, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 8. LOT 8, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 9. LOT 9, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 10. LOT 10, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 11. LOT 11, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 12. LOT 12, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE
- 13. LOT 13, BLOCK 5, GRAND VIEW SUBDIVISION, FILING NO. FIVE

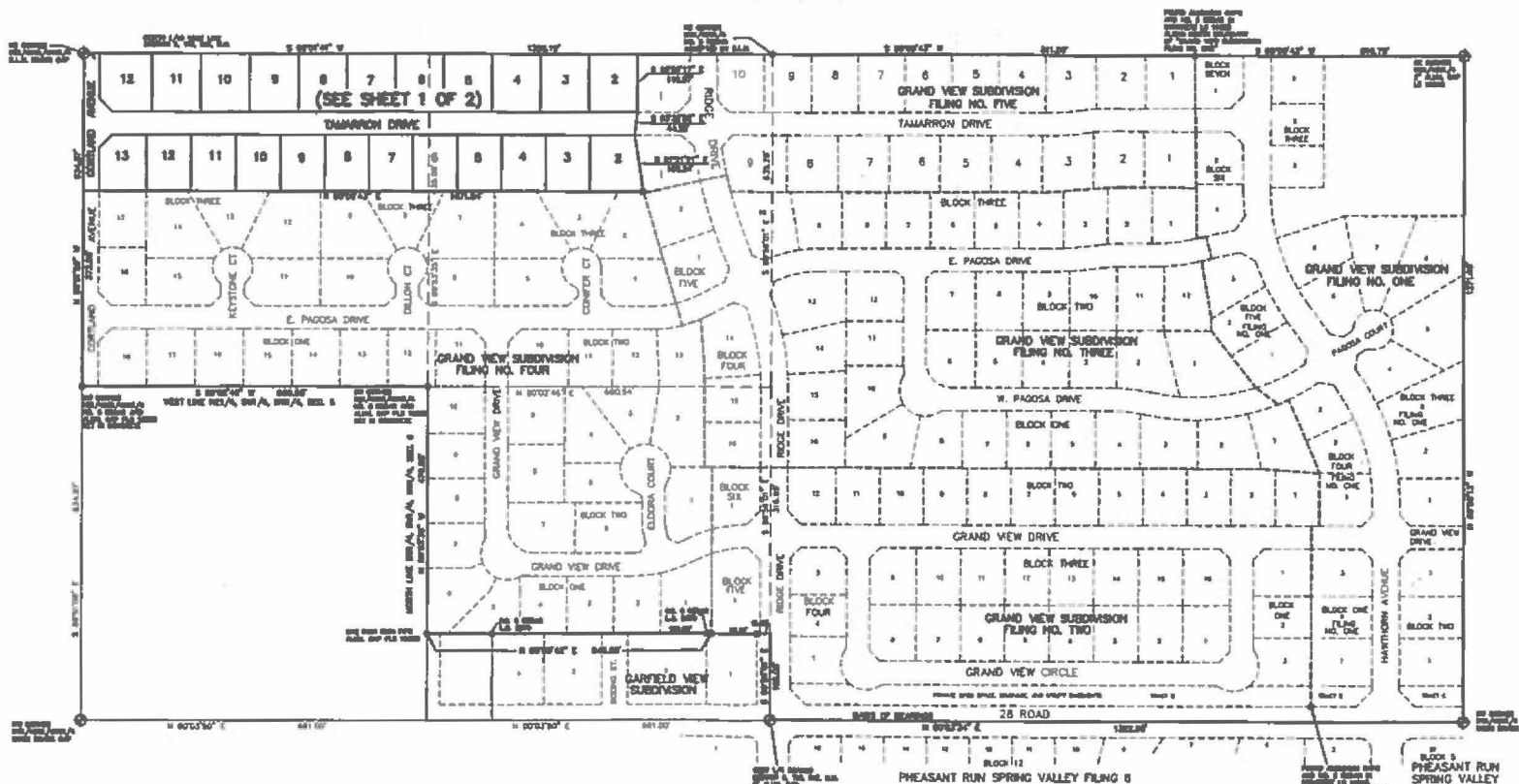
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**GRAND VIEW SUBDIVISION**  
**REPLAT OF LOT 1, BLOCK 5**  
**GRAND VIEW SUBDIVISION**  
**FILING NO. SIX**

**THE REALTORS ASSOCIATION OF MISSOURI**

1000 North Grand Blvd., Suite 1000  
 St. Louis, MO 63103  
 Tel: 314-433-3300  
 Fax: 314-433-3301

**GRAND VIEW SUBDIVISION  
FILING NO. SIX  
A REPLAT OF LOT 1, BLOCK 5  
GRAND VIEW SUBDIVISION FILING NO. FIVE  
LOCATED IN SECTION 6, T1S, R1E, UTE MERIDIAN**



**ACREAGE SUMMARY**

23 LOTS	5.18 ACRES
ROADS	1.23 ACRES
<b>TOTAL</b>	<b>6.39 ACRES</b>

**LEGEND:**

- 1/4" IRON PIPES SET AT 10' INTERVALS
- 1/4" IRON PIPES SET AT 20' INTERVALS
- 1/4" IRON PIPES SET AT 30' INTERVALS
- 1/4" IRON PIPES SET AT 40' INTERVALS
- 1/4" IRON PIPES SET AT 50' INTERVALS
- 1/4" IRON PIPES SET AT 60' INTERVALS
- 1/4" IRON PIPES SET AT 70' INTERVALS
- 1/4" IRON PIPES SET AT 80' INTERVALS
- 1/4" IRON PIPES SET AT 90' INTERVALS
- 1/4" IRON PIPES SET AT 100' INTERVALS
- 1/4" IRON PIPES SET AT 110' INTERVALS
- 1/4" IRON PIPES SET AT 120' INTERVALS
- 1/4" IRON PIPES SET AT 130' INTERVALS
- 1/4" IRON PIPES SET AT 140' INTERVALS
- 1/4" IRON PIPES SET AT 150' INTERVALS
- 1/4" IRON PIPES SET AT 160' INTERVALS
- 1/4" IRON PIPES SET AT 170' INTERVALS
- 1/4" IRON PIPES SET AT 180' INTERVALS
- 1/4" IRON PIPES SET AT 190' INTERVALS
- 1/4" IRON PIPES SET AT 200' INTERVALS



DATE OF SURVEY: 12/15/00. THIS SURVEY WAS CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE SURVEY AND HAS FOUND THEM TO BE CORRECT. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE SURVEY AND HAS FOUND THEM TO BE CORRECT. THE SURVEYOR HAS ALSO REVIEWED THE RECORDS OF THE SURVEY AND HAS FOUND THEM TO BE CORRECT.

<b>GRAND VIEW SUBDIVISION FILING NO. SIX REPLAT OF LOT 1, BLOCK 5 GRAND VIEW SUBDIVISION FILING NO. FIVE</b>	
<b>ATKINS AND ASSOCIATES, INC.</b>	PROJECT NO.
200 S. MAIN, SUITE 200, P.O. BOX 2700	DATE
BOULDER, COLORADO 80502	SCALE
PHONE (303) 440-0000 FAX (303) 440-0000	SHEET
	1 OF 1

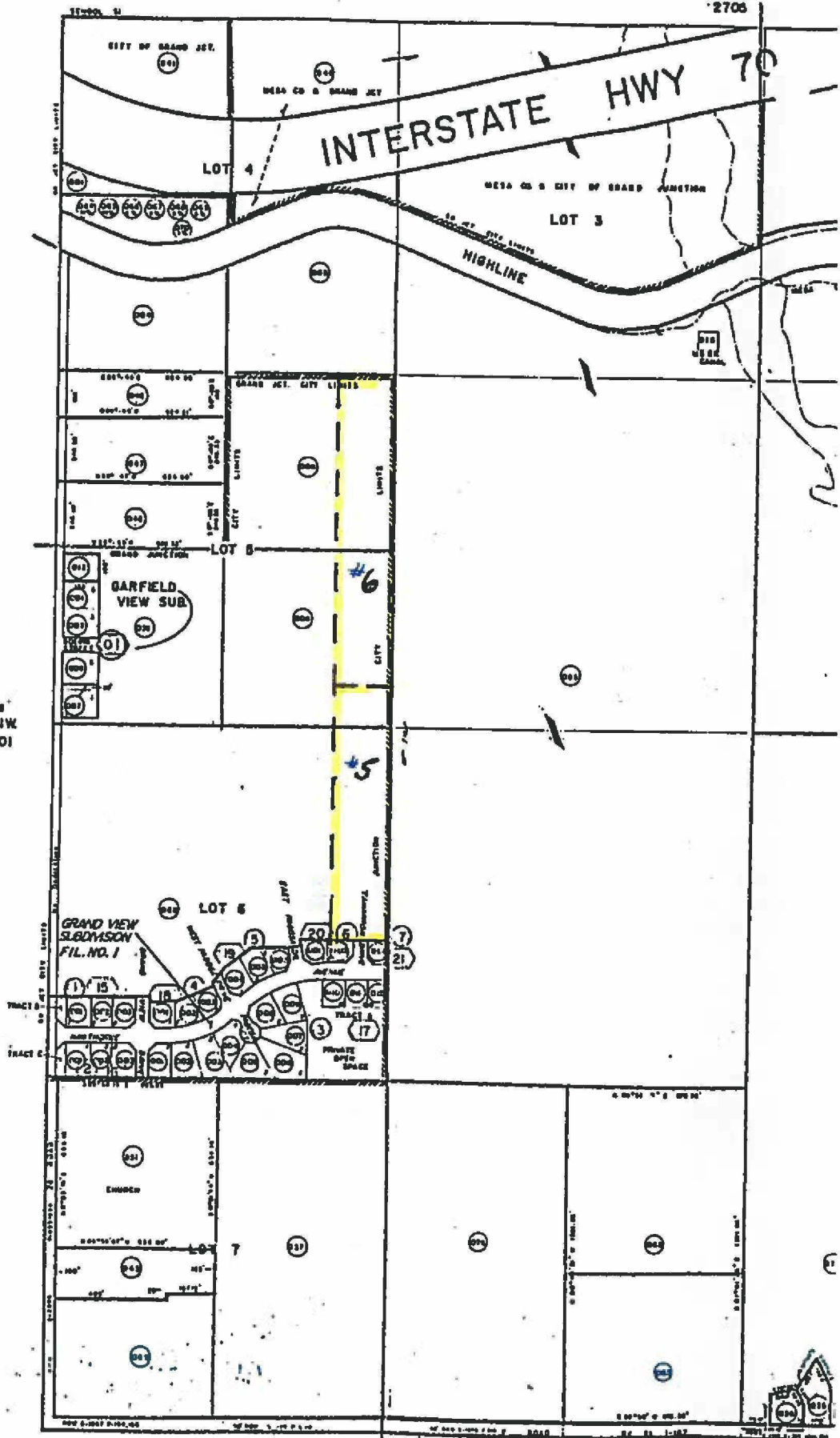
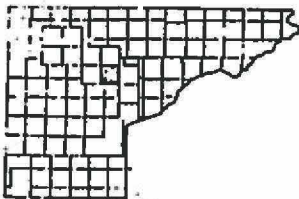
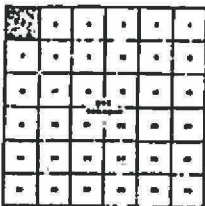


THE CITY ENGINEER'S OFFICE HAS REVIEWED THIS MAP AND FINDS IT TO BE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S REGULATIONS AND ORDINANCES.

DEPARTMENT OF PUBLIC WORKS  
CITY ENGINEER  
CITY OF GRAND JUNCTION  
This map is a subdivision of land in Grand Junction, Colorado, and is subject to the provisions of the City Engineering Department's regulations and ordinances.



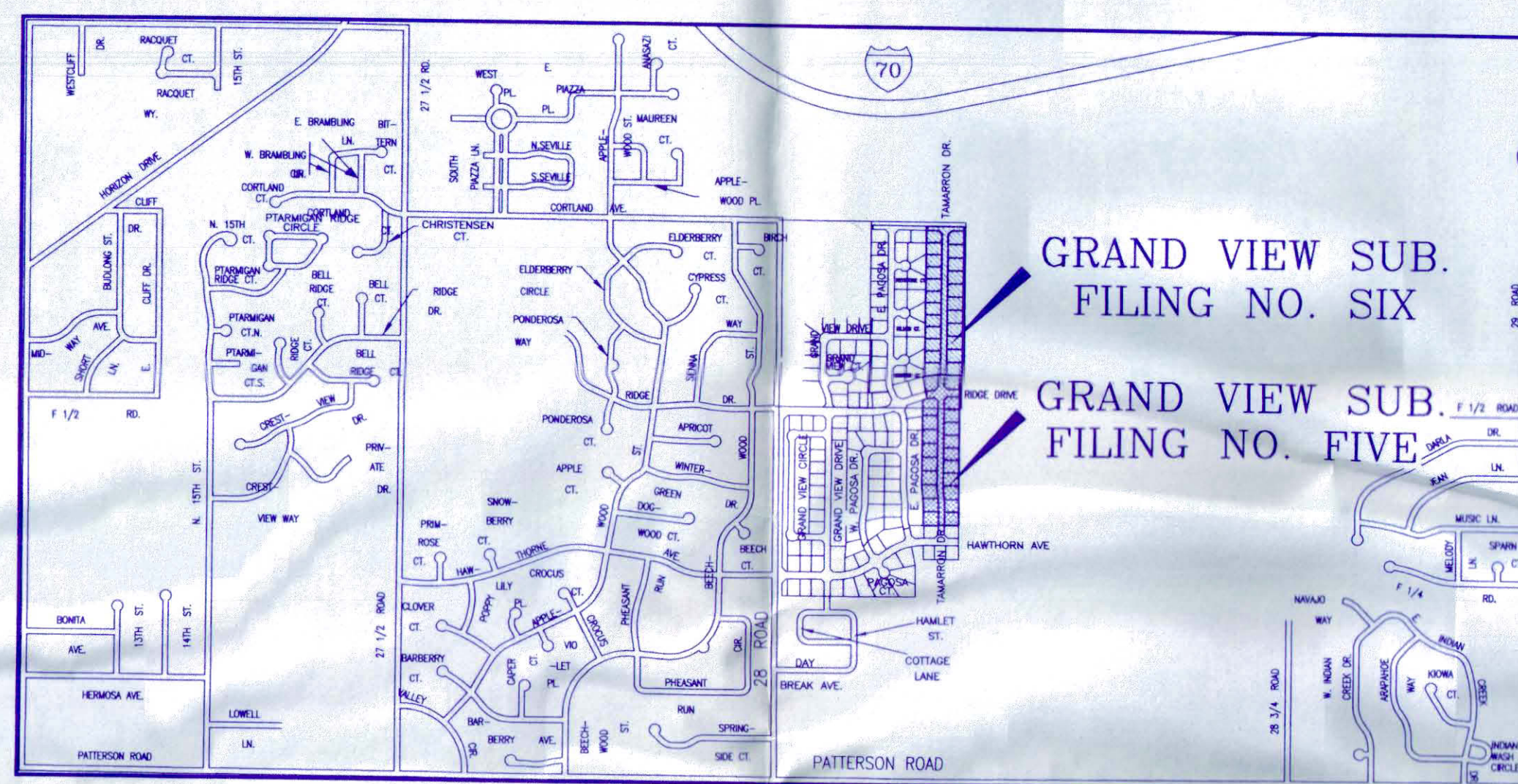
Adjoining  
TIS R1W  
2945-01



**ABBREVIATIONS**

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY OFFICIALS
ABC	AGGREGATE BASE COURSE
AC	ASPHALT CONCRETE
C.G.&S.W.	CURB, GUTTER, AND SIDEWALK
CONC.	CONCRETE
CL	CENTERLINE
CR	CURB RETURN
DR.	DRIVE
E	EAST
EASE.	EASEMENT
ELEV.	ELEVATION
EXIST.	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
GB	GRADE BREAK
GEO.	GEO TECHNICAL
G.V.	GATE VALVE
HBP	HOT BITUMINOUS PAVEMENT
HYD.	HYDRANT
HORIZ.	HORIZONTAL
HW	HIGH WATER
INV.	INVERT
K-VAL	K-VALUE
L	LENGTH
LF	LINEAR FEET
MF	MIRAFI FABRIC
MH	MANHOLE
MIN.	MINIMUM
M.W.	MILL WRAP
N	NORTH
NAVD	NORTH AMERICAN VERTICAL DATUM
NO.	NUMBER
N.T.S. or NTS	NOT TO SCALE
O.C.	ON CENTER
PI	POINT OF INTERSECTION
PC	POINT OF CURVE
PERF.	PERFORATED
PT	POINT OF TANGENT
PVC (PIPE)	POLYVINYLCHLORIDE
PVC	POINT OF VERTICAL CURVE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.O.W. or R.O.W.	RIGHT-OF-WAY
RT.	RIGHT
S	SEWER, SLOPE, or SOUTH
SD	SIGHT DISTANCE
SDR	STANDARD DIMENSIONAL RATIO
SEW	SEWER
SS	SEWER SERVICE
ST.	STREET
STA.	STATION
TYP.	TYPICAL
VERT.	VERTICAL
VC	VERTICAL CURVE
VP	VALLEY PAN
SD	SIGHT DISTANCE
WS	WATER SERVICE

# CONSTRUCTION PLANS FOR GRAND VIEW SUBDIVISION, FILING NO. FIVE AND SIX



SCALE : 1" = 2000'  
VICINITY MAP

**GENERAL NOTES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE CONSTRUCTION DRAWINGS, THE CONTRACT SPECIFICATIONS AND THE CITY OF GRAND JUNCTION STANDARD CONTRACT DOCUMENTS FOR CAPITAL IMPROVEMENTS CONSTRUCTION, REVISED JUNE, 1996.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING WHERE REQUIRED, A CITY OF GRAND JUNCTION ROAD ENCROACHMENT PERMIT. THE CONTRACTOR SHALL PERFORM ALL WORK ORDERED BY SAID PERMITS IN CONFORMANCE THEREWITH, AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE PROPERTY OWNERS AT EACH SITE. CONTRACTOR SHALL PHASE HIS OPERATIONS AT EACH SITE, AS DIRECTED BY THE ENGINEER, SO AS TO MINIMIZE THE DISRUPTION OR INTERFERENCE WITH THE FUNCTIONAL USE OF THE SITE.
- CONTRACTOR SHALL CONTACT "USA" AT 1-800-922-1987 FOR DETERMINATION OF DEPTH AND LOCATION OF UNDERGROUND UTILITIES IN THE PUBLIC STREET RIGHT OF WAY A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
- ALL ROADWAY STATIONING IS TO THE FLOWLINE OF THE GUTTER PAN UNLESS OTHERWISE NOTED. ALL SANITARY SEWER LINE STATIONING IS TO THE CENTERLINE OF MANHOLES UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AT ALL TIMES.
- CONTRACTOR TO KEEP ALL UTILITIES, IRRIGATION AND DRAINAGE DITCHES, ROADS, AND SIDEWALKS OPERATIONAL AT ALL TIMES.
- AT LEAST 5 DAYS PRIOR TO THE PRECONSTRUCTION MEETING THE CONTRACTOR SHALL SUBMIT TO THE CITY ENGINEER A DETAILED TRAFFIC CONTROL PLAN (TCP) FOR REVIEW. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TCP. THE CONTRACTOR'S TRAFFIC CONTROL SUPERVISOR (TCS) SHALL BE CERTIFIED BY THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA). THE TCS SHALL HAVE IN POSSESSION AT ALL TIMES A COPY OF THE MUTCD OR A COPY OF THE ATSSA GUIDE FOR WORK AREA TRAFFIC CONTROL.

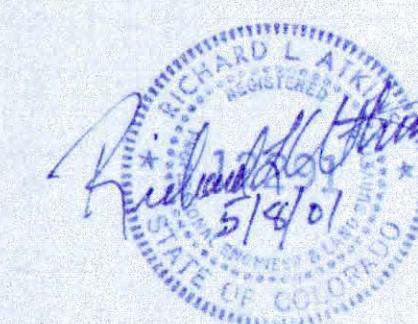
**NOTICE:**  
THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE SITE CONDITIONS NOTED ON THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZATION WITH THE LOCAL LAWS AND REGULATIONS REGARDING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR AND REPRESENTATIVES OF THE CONTRACTOR ARE FURTHER RESPONSIBLE TO REPORT ANY CONFLICTS, ERRORS OR DISCREPANCIES REGARDING THESE PLANS OR CONFLICTS BETWEEN THE PLANS AND SITE CONDITIONS WHICH MAY BE NOTED DURING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS, LOCATING ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES AND PERFORMING ANY REQUIRED TESTS REGARDING THE CONSTRUCTION OF THIS PROJECT.

TABLE OF CONTENTS	
SHEET NUMBER	TITLE
1	COVER SHEET
2	FILING 5 GRADING & STORMWATER MANAGEMENT PLAN
3	FILING 6 GRADING & STORMWATER MANAGEMENT PLAN
4	FILING 5 TAMMARON DRIVE STREET PLAN & PROFILE
5	FILING 5 RIDGE DRIVE STREET PLAN & PROFILE
6	FILING 6 STREET PLAN & PROFILE
6A	FILING 5 AND 6 STREET CENTERLINE PROFILES
7	FILING 5 SANITARY SEWER & WATER PLAN
8	FILING 6 SANITARY SEWER & WATER PLAN
9	FILING 5 IRRIGATION PLAN & DETAILS
10	FILING 6 IRRIGATION PLAN & DETAILS
11	FILING 5 UTILITY COMPOSITE PLAN
12	FILING 6 UTILITY COMPOSITE PLAN
13	STREET DETAILS
14	SEWER DETAILS
15	WATER DETAILS

\*APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.

TCP BY *EWH* DATE *5/2/01*  
CITY UTILITY ENGINEER CITY DEVELOPMENT ENGINEER

DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH



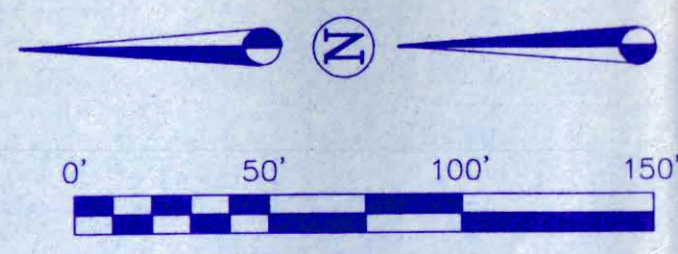
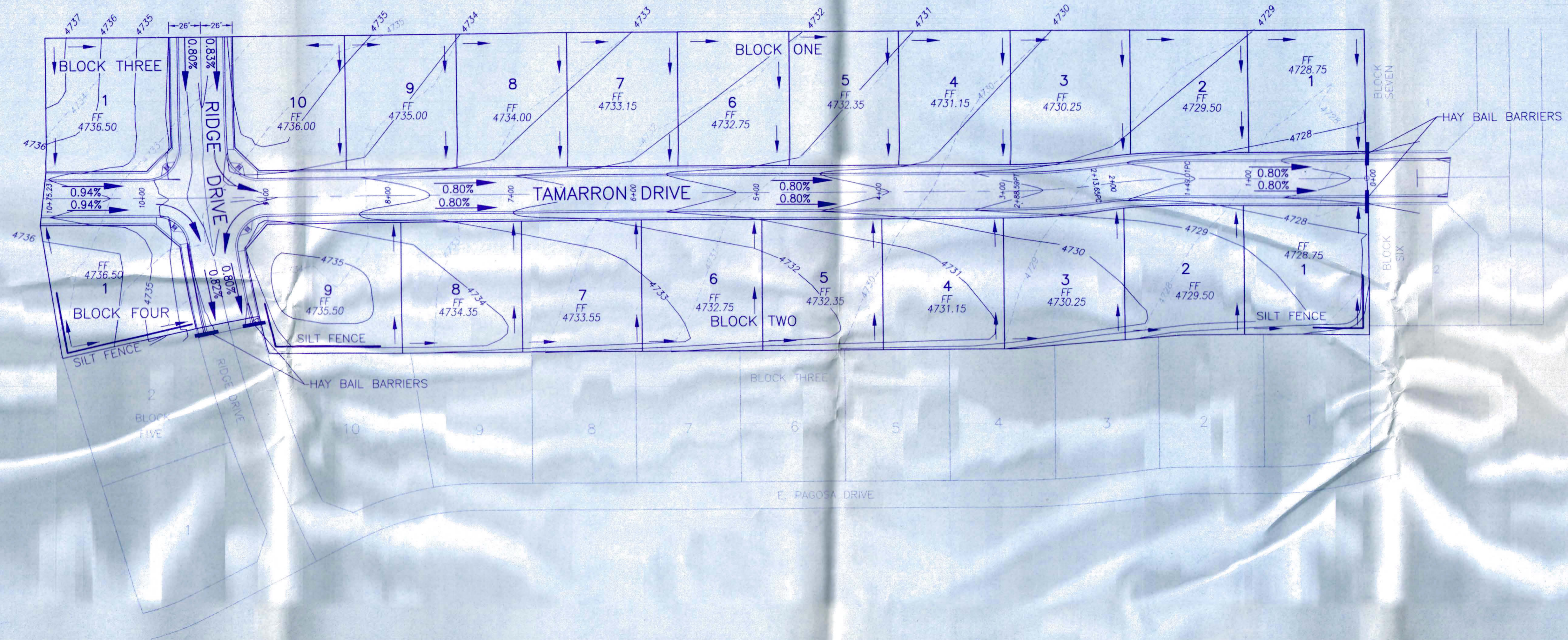
**ATKINS AND ASSOCIATES, INC.**  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

SHEET  
1  
OF  
15

**GRAND VIEW SUBDIVISION,  
FILING NO. FIVE AND SIX  
APPROVED CONSTRUCTION DRAWINGS**  
COVER SHEET

DRAWN BY: DDC  
 CHECKED BY: RLA  
 DATE: 02-28-01  
 PROJECT NO.:  
 FILE NAME: COVER1  
 SCALE: 40  
 HORIZ: NA  
 VERT: NA

# GRADING AND STORM WATER MANAGEMENT PLAN



### LEGEND

- = DRAINAGE FLOW
- = EXISTING CONTOURS
- = FINISH CONTOURS
- HP = HIGH POINT
- FF = FINISH FLOOR ELEVATION

### NOTES:

1. Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
2. All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.

APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.  
ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER,  
CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF  
GRAND JUNCTION STANDARDS AND SPECIFICATIONS

JCP BY SWH  
 CITY UTILITY ENGINEER

JAH  
 CITY DEVELOPMENT ENGINEER DATE 5/16

DATE	REVISIONS	BY
4/19	MINOR REVISIONS	JAH

50  
 HORIZ: 1" = 50'  
 VERT: 1" = 5'  
 DRAWN BY: DDC  
 CHECKED BY: RLA  
 DATE: 02/28/01  
 PROJECT NO.:  
 FILE NAME: RIDEGPP3

FILING FIVE  
 GRADING AND  
 STORMWATER  
 MANAGEMENT PLAN

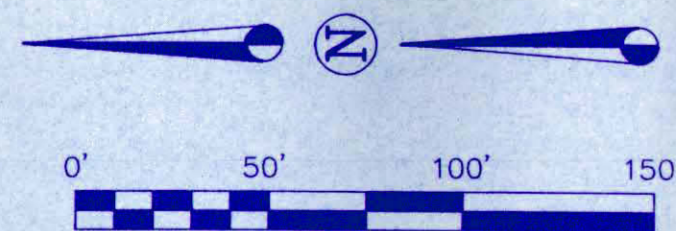
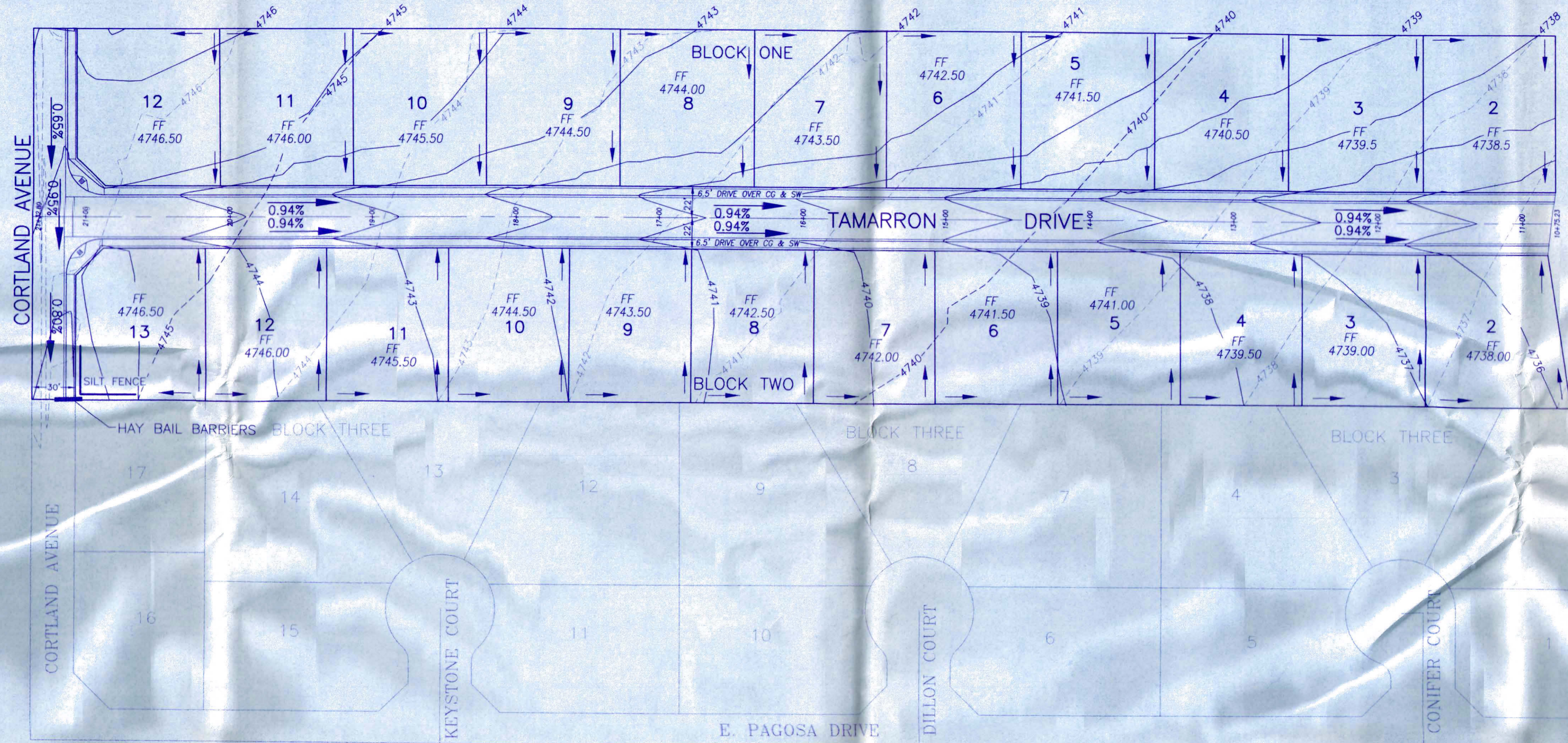
GRAND VIEW SUBDIVISION,  
 FILING NO. FIVE

**ATKINS AND ASSOCIATES, INC.**  
 518 28 ROAD, SUITE B-105, P.O. BOX 2702  
 GRAND JUNCTION, COLORADO 81502  
 970-245-6630 FAX 970-245-2355



SHEET  
 2  
 OF  
 15

# GRADING AND STORM WATER MANAGEMENT PLAN



### LEGEND

- = DRAINAGE FLOW
- = EXISTING CONTOURS
- = FINISH CONTOURS
- HP = HIGH POINT
- FF = FINISH FLOOR ELEVATION

### NOTES:

1. Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
2. All grades are to flowline. Elevation difference between back of walk and flow line of gutter is 0.53' for drive-over curb only.

\*APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.

CITY UTILITY ENGINEER      CITY DEVELOPMENT ENGINEER      DATE: 5/1/01

DATE	REVISIONS	BY
4/19	MINOR REVISIONS	JAH



50  
HORIZ: 1" = 50'  
VERT: 1" = 5'

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.: -  
FILE NAME: RIDEPPP3

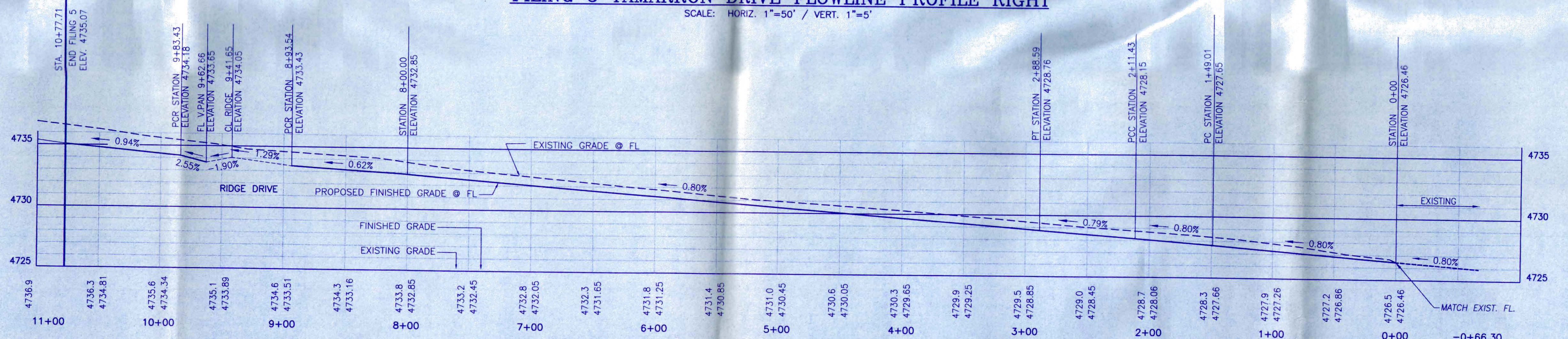
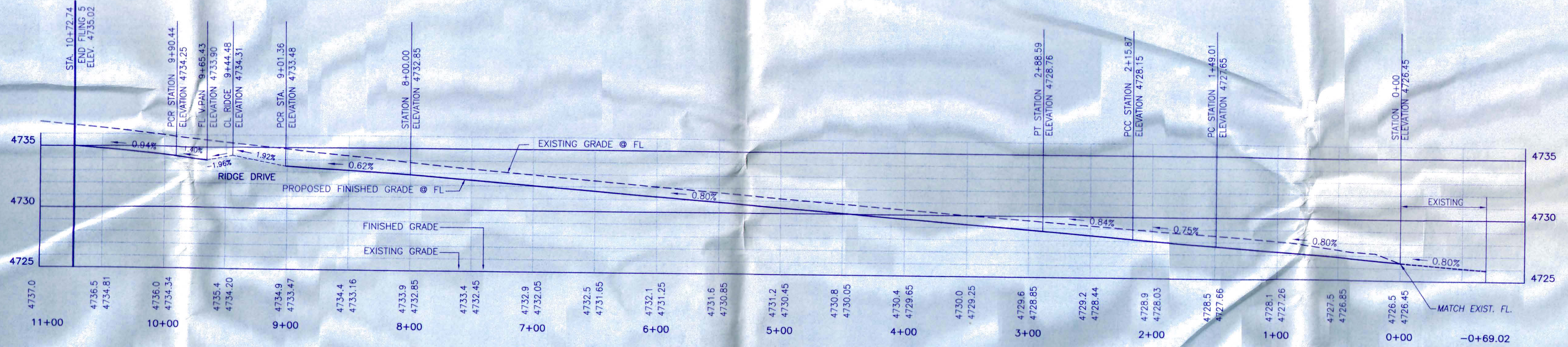
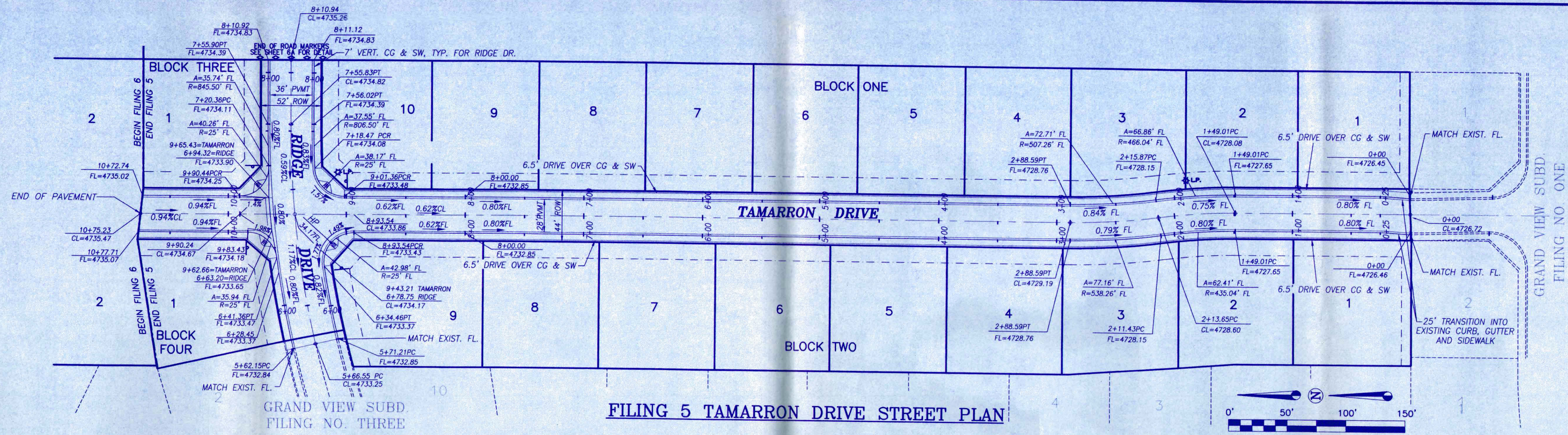
FILING SIX  
GRADING AND  
STORM WATER  
MANAGEMENT PLAN

GRAND VIEW SUBDIVISION,  
FILING NO. SIX

**ATKINS AND ASSOCIATES, INC.**  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

SHEET  
3  
OF  
15

E:\Dwg\Grand View 5\Review 3\04\_TAMARRON\PP1-R3.dwg Tue May 01 10:05:46 2001 Atkins and Associates, Inc. (Gateway)



**NOTES:**

- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
- All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.

NOTE: SEE SHEET 6A FOR CENTERLINE PROFILES

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

CITY UTILITY ENGINEER: *[Signature]* DATE: 5/4/01  
 CITY DEVELOPMENT ENGINEER: *[Signature]* DATE: 5/4/01

DATE	REVISIONS	BY
03/30/01	REVISIONS PER REVIEW COMMENTS	DDC
04/11/01	MISCELLANEOUS REVISIONS	DDC



**ATKINS AND ASSOCIATES, INC.**  
 518 28 ROAD, SUITE B-105, P.O. BOX 2702  
 GRAND JUNCTION, COLORADO 81502  
 970-245-6630 FAX 970-245-2355

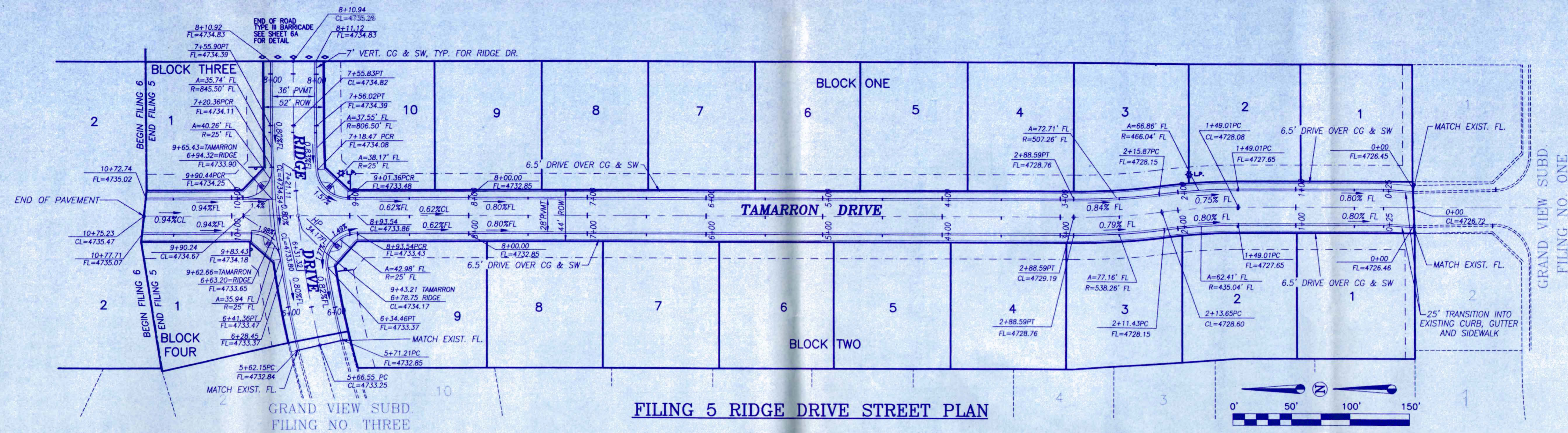
**TAMARRON DRIVE STREET PLAN AND PROFILE**

**GRAND VIEW SUBDIVISION, FILING NO. FIVE**

DRAWN BY: DDC  
 CHECKED BY: RLA  
 DATE: 02/28/01  
 PROJECT NO.:  
 FILE NAME: TAMARRONPP1

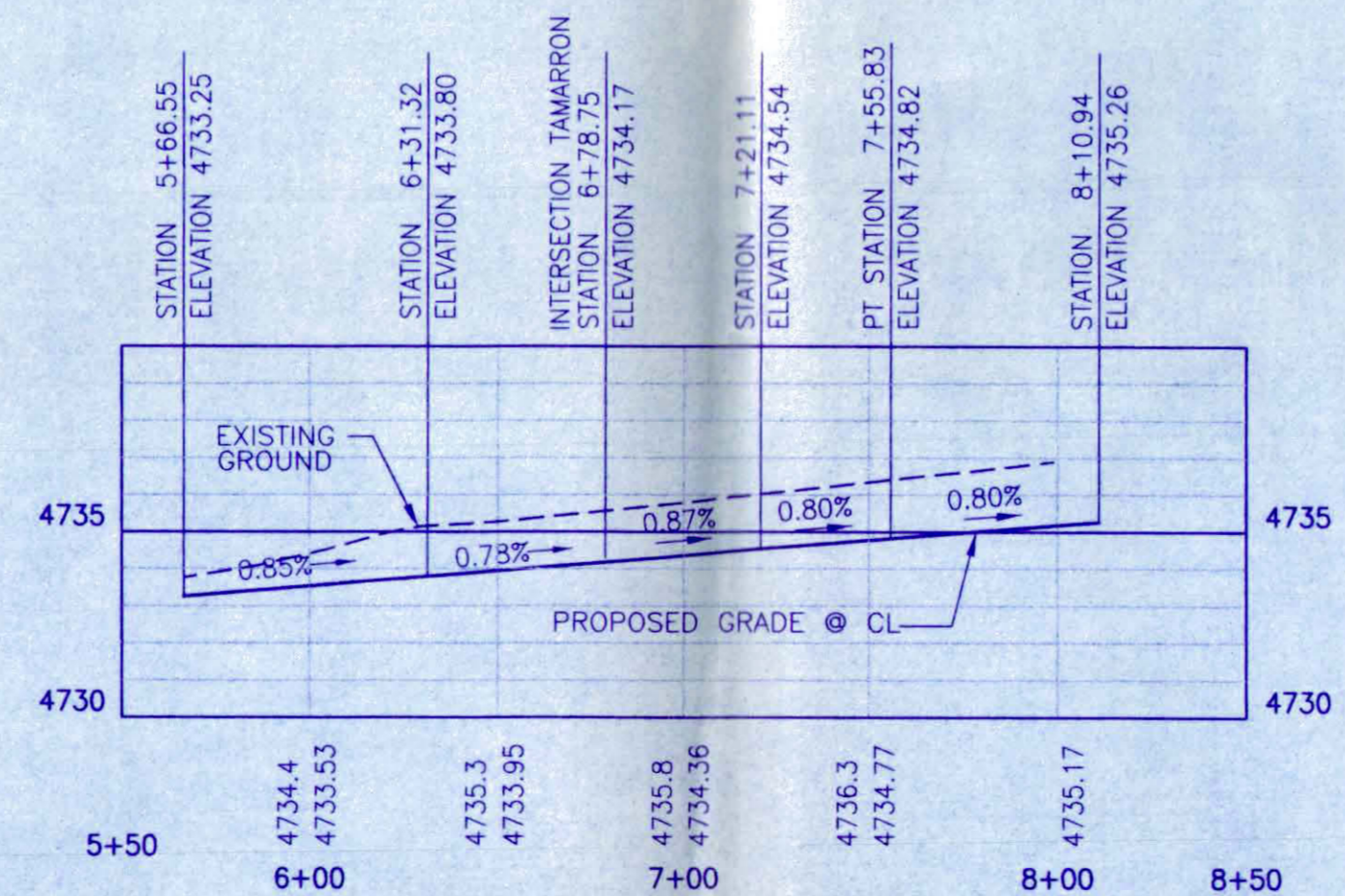
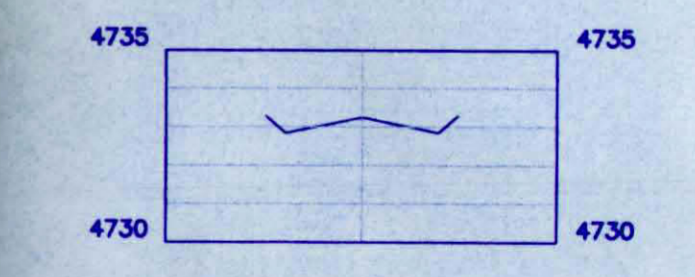
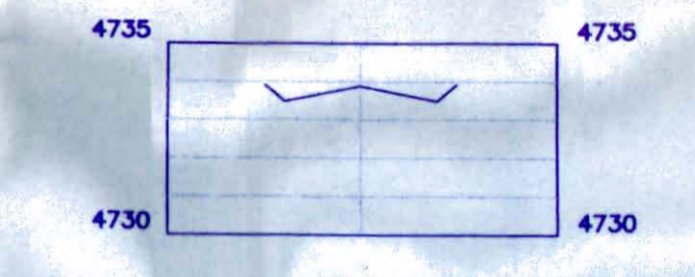
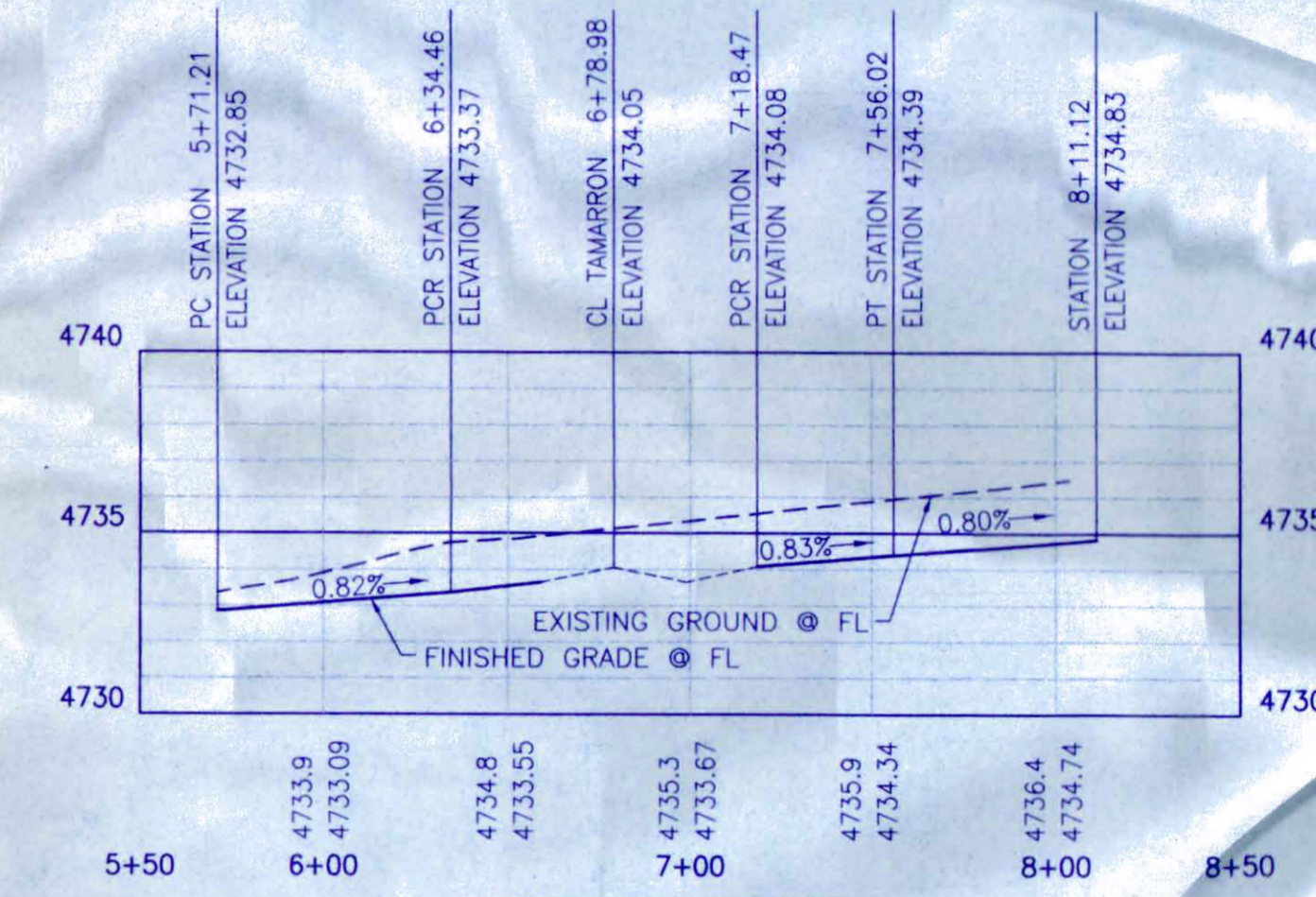
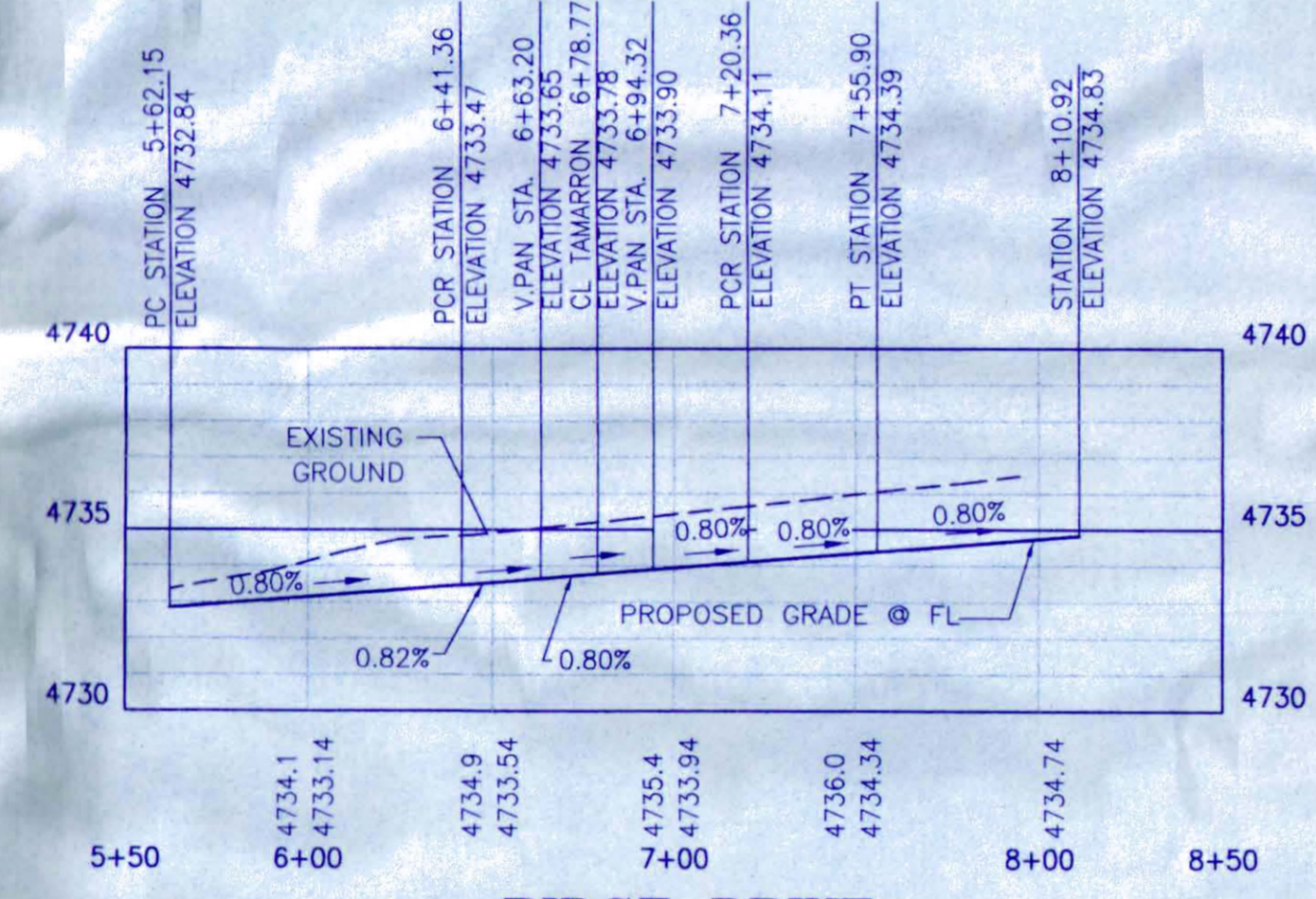
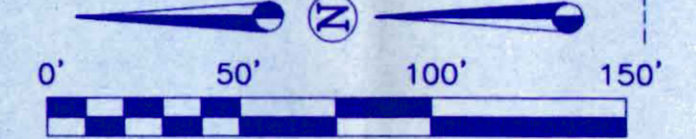
50  
 HORIZ: 1" = 50'  
 VERT: 1" = 5'

SHEET 4 OF 15



GRAND VIEW SUBD. FILING NO. THREE

**FILING 5 RIDGE DRIVE STREET PLAN**



- NOTES:**
- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
  - All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.

\*APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.

CITY UTILITY ENGINEER: *[Signature]* DATE: 5/1/01  
CITY DEVELOPMENT ENGINEER: *[Signature]*

DATE	REVISIONS	BY
03/30/01	REVISIONS PER REVIEW COMMENTS	DDC
04/11/01	MISCELLANEOUS REVISIONS	DDC
05/01/01	PER FINAL REVIEW COMMENTS	JAH



50  
DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.:  
FILE NAME: RIDGPP3

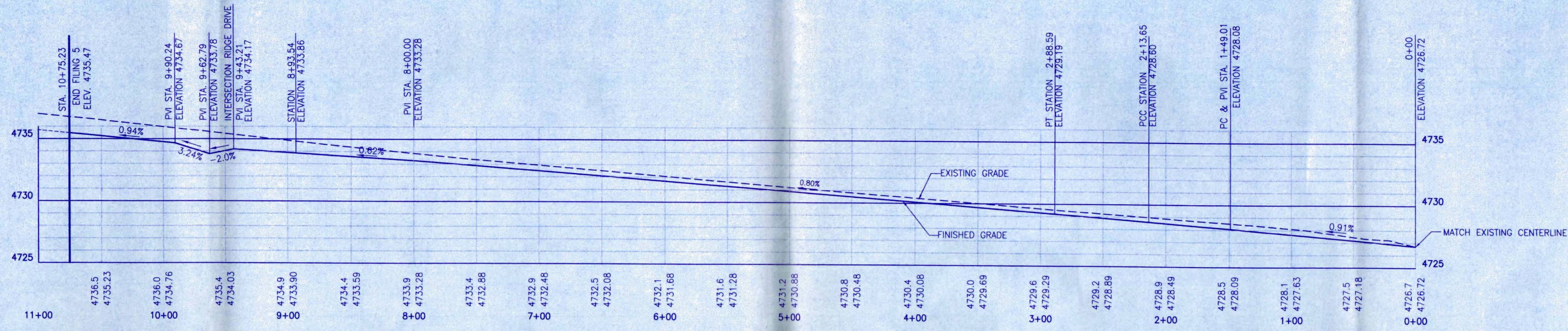
RIDGE DRIVE STREET PLAN AND PROFILE

GRAND VIEW SUBDIVISION, FILING NO. FIVE

ATKINS AND ASSOCIATES, INC.  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

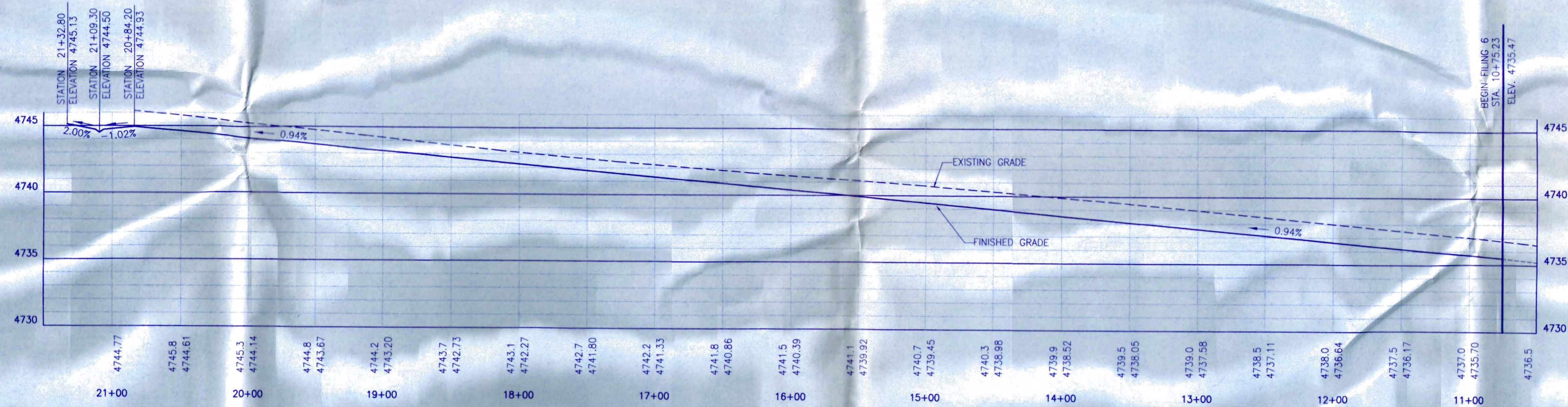
SHEET 5 OF 15

E:\Dgs\Grand View 5\Review 3\06a\_CIPDF-03.DWG Tue May 01 10:16:37 2001 Atkins and Associates, Inc. (Gatewy)



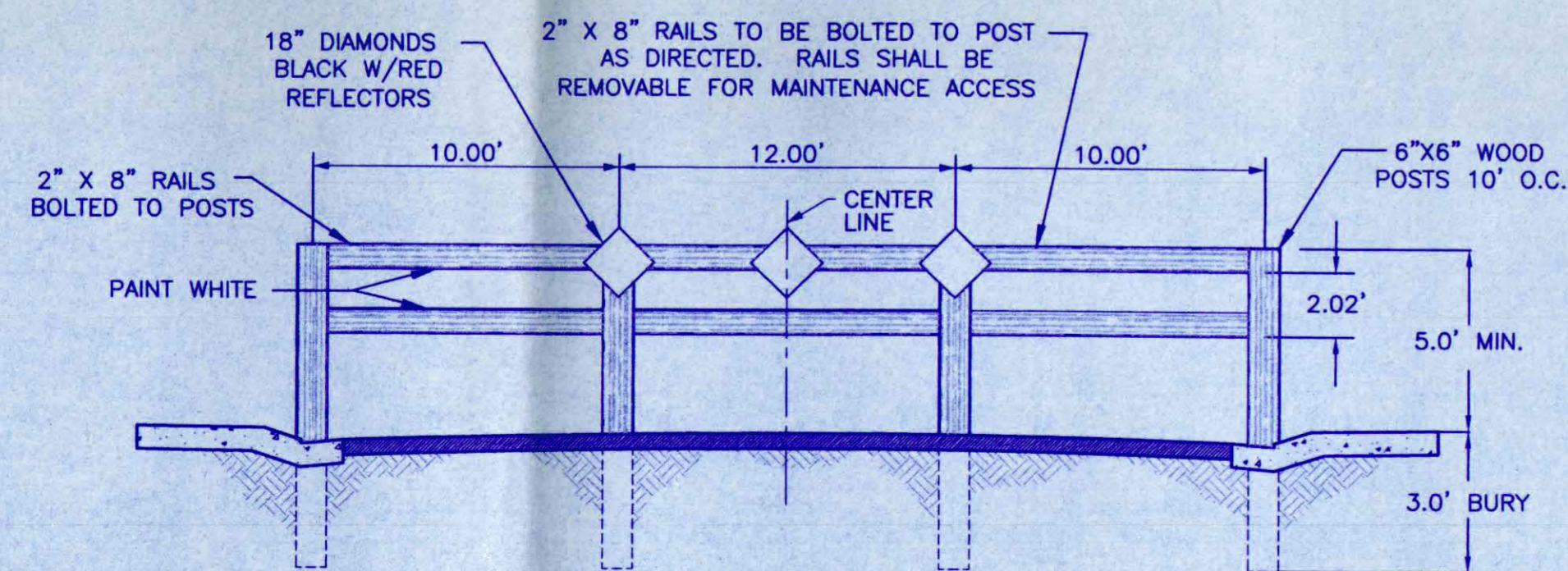
**FILING 5 TAMARRON DRIVE CENTERLINE PROFILE**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'



**FILING 6 TAMARRON DRIVE CENTERLINE PROFILE**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'



**TYPE III BARRICADE  
END OF ROAD MARKER**

\*APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.  
CITY DEVELOPMENT ENGINEER *[Signature]* 5/4/01

DATE	REVISIONS	BY
03/30/01	REVISIONS PER REVIEW COMMENTS	DDC
04/11/2001	MINOR REVISIONS	DDC
05/01/01	PER FINAL REVIEW COMMENTS	JAH



**ATKINS AND ASSOCIATES, INC.**  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

SHEET  
**6A**  
9  
15

**GRAND VIEW SUBDIVISION,  
FILING NO. FIVE AND SIX**

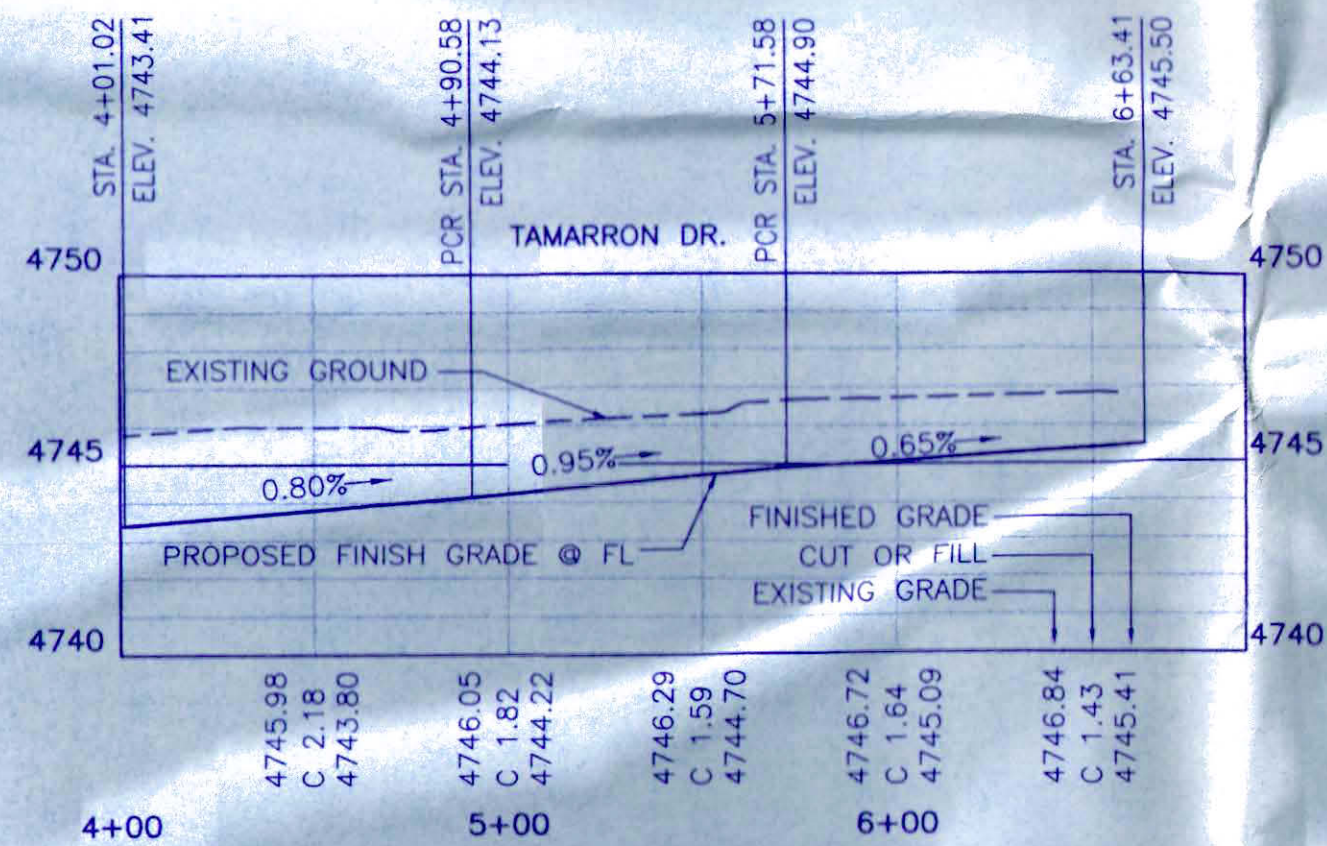
**TAMARRON DRIVE  
CENTERLINE  
PROFILE**

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.: -  
FILE NAME: QSA-CIPROF-R1

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HORIZ: 1" = 50'  
VERT: 1" = 5'

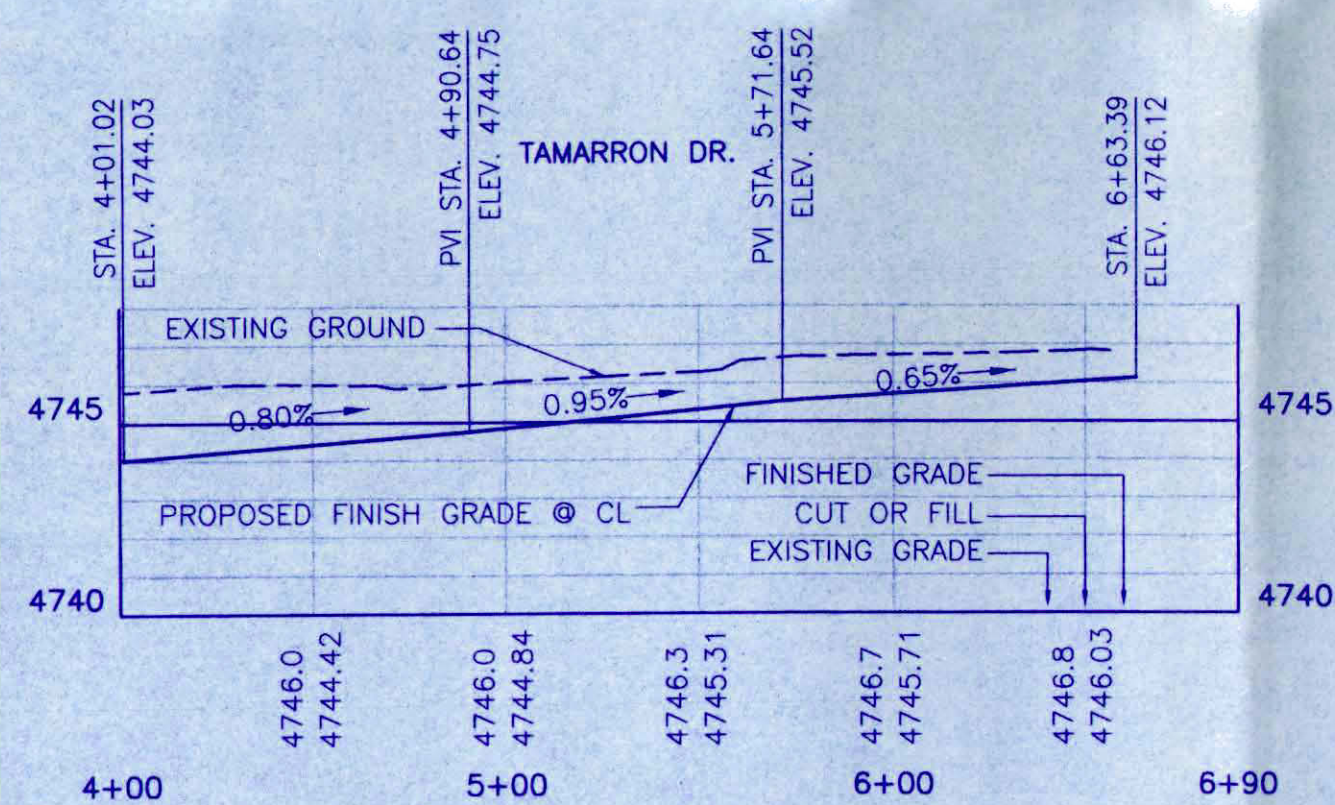
**CORTLAND AVE. 4+01.02**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'



**CORTLAND AVENUE FLOWLINE PROFILE RIGHT**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'

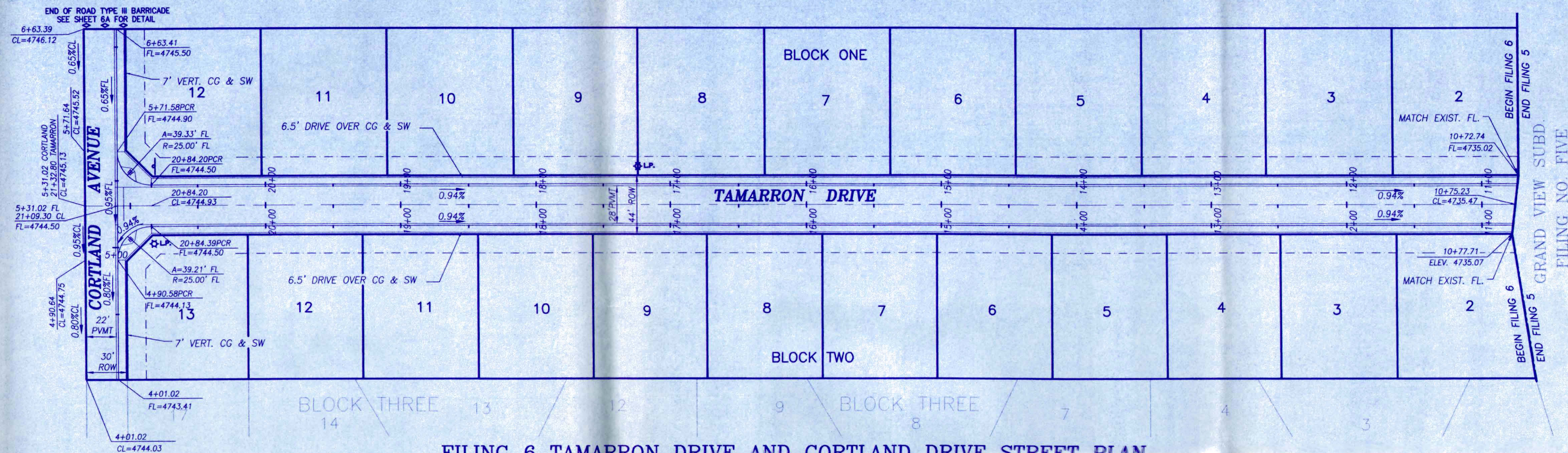


**CORTLAND AVENUE CENTERLINE PROFILE**

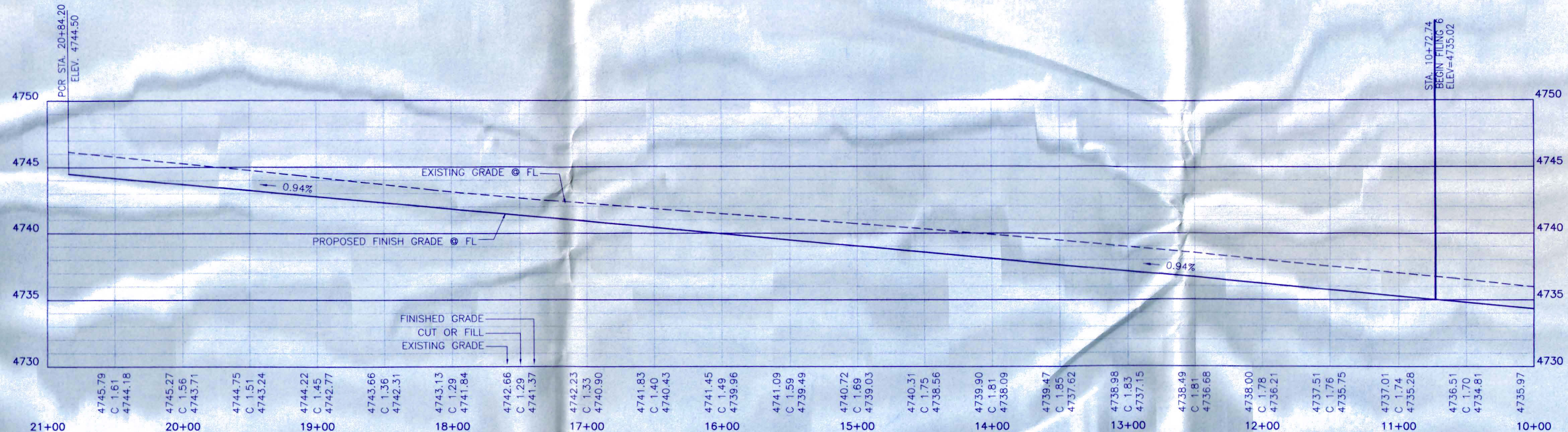
SCALE: HORIZ. 1"=50' / VERT. 1"=5'

**NOTES:**

- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
- All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.

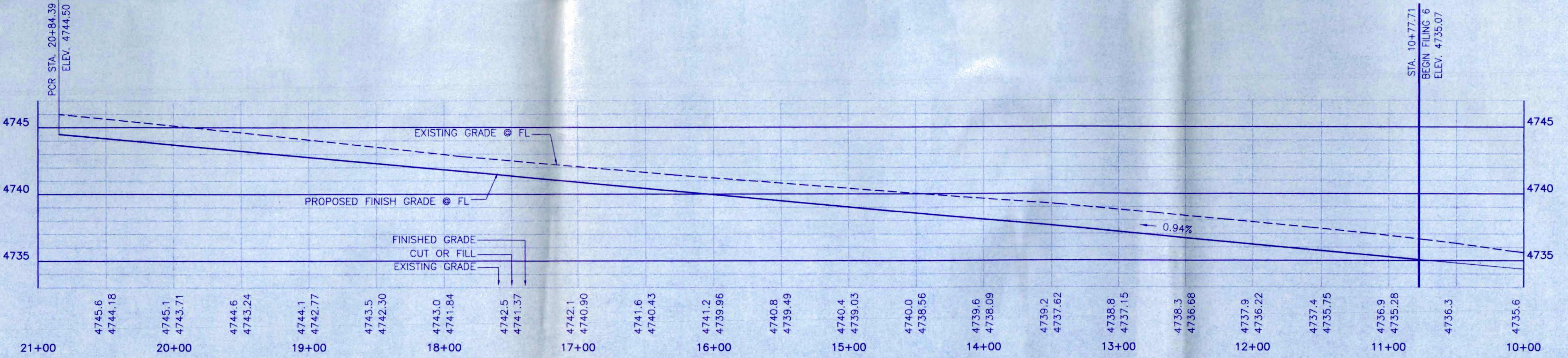


**FILING 6 TAMARRON DRIVE AND CORTLAND DRIVE STREET PLAN**



**FILING 6 TAMARRON DRIVE FLOWLINE PROFILE RIGHT**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'



**FILING 6 TAMARRON DRIVE FLOWLINE PROFILE LEFT**

SCALE: HORIZ. 1"=50' / VERT. 1"=5'

NOTE: SEE SHEET 6A FOR CENTERLINE PROFILES ON TAMARRON DRIVE

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

CITY DEVELOPMENT ENGINEER: *[Signature]* DATE: 5/1/01

DATE	REVISIONS	BY
03/30/01	REVISIONS PER REVIEW COMMENTS	DDC
05/01/01	PER FINAL REVIEW COMMENTS	JAH



DRAWN BY: DDC  
 CHECKED BY: FLA  
 DATE: 02/28/01  
 PROJECT NO.: -  
 FILE NAME: TAMARRONPF2

TAMARRON DRIVE  
 STREET PLAN  
 AND PROFILE

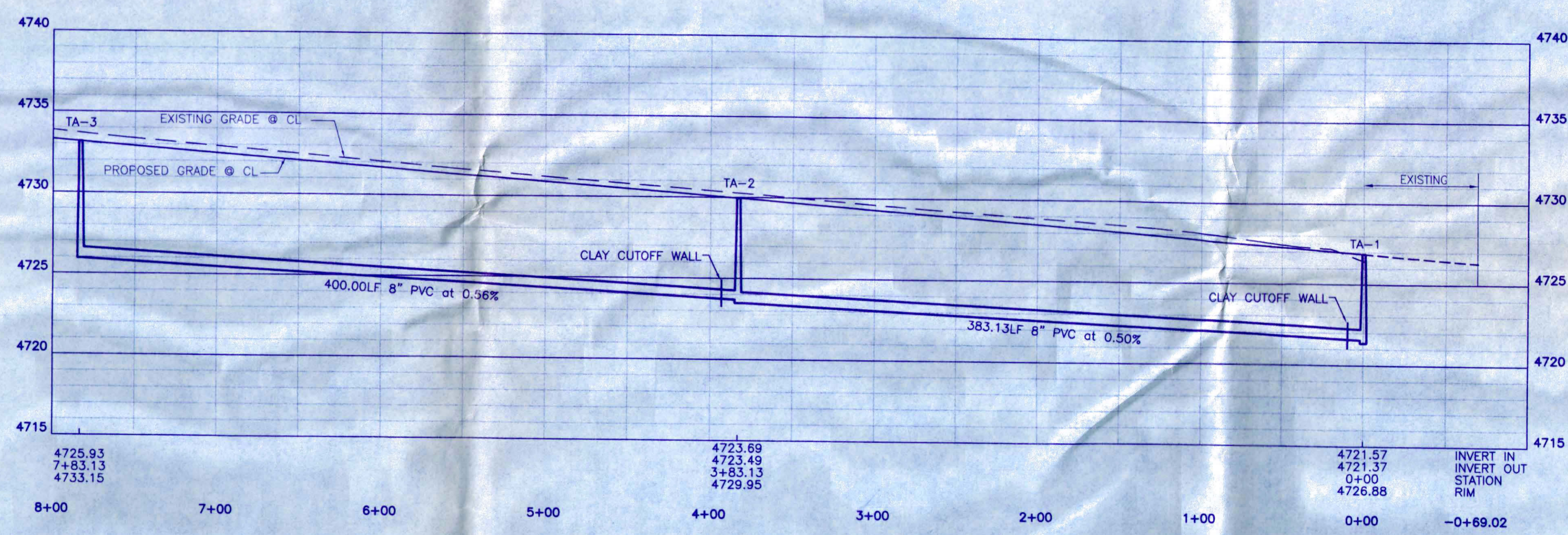
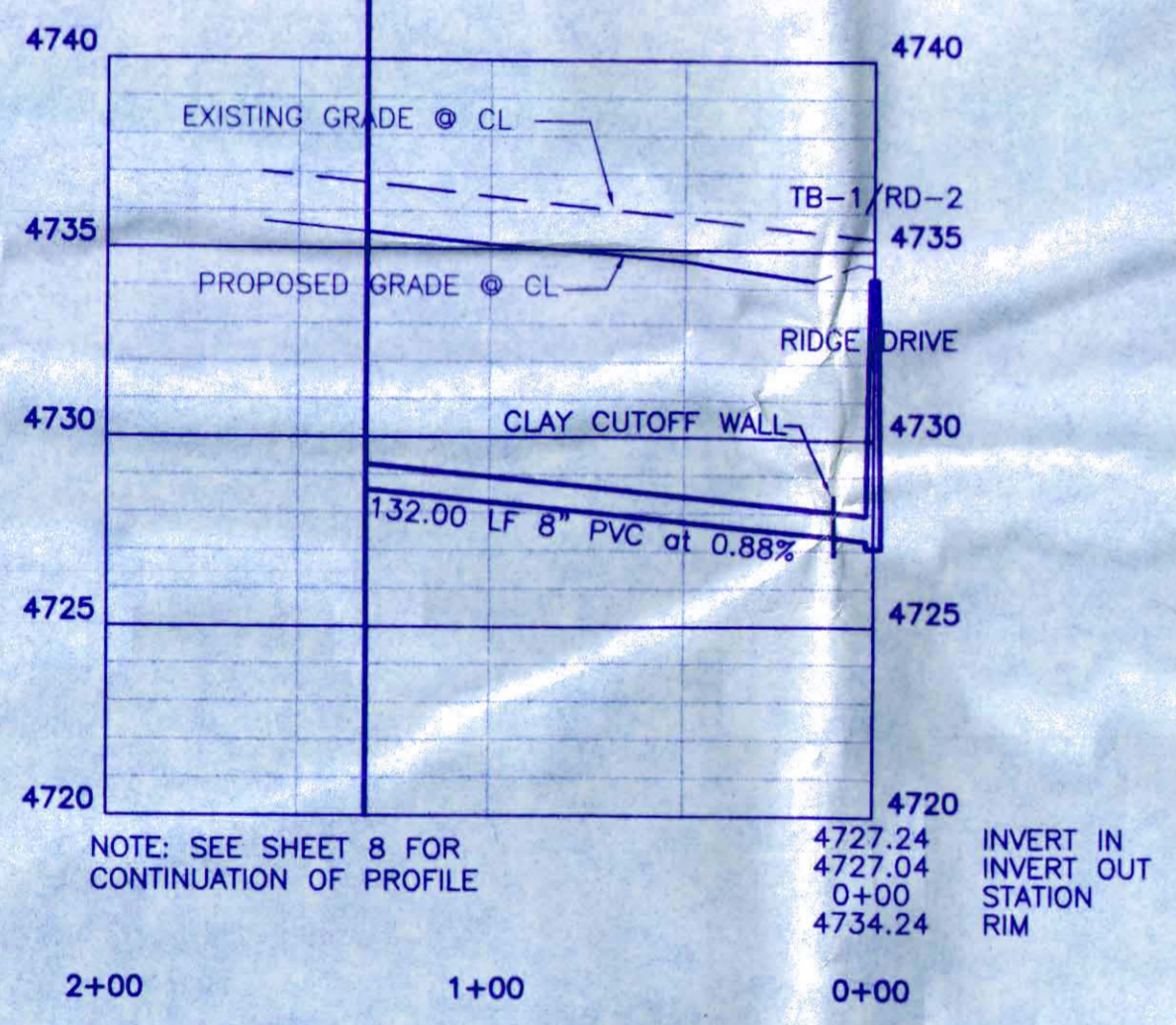
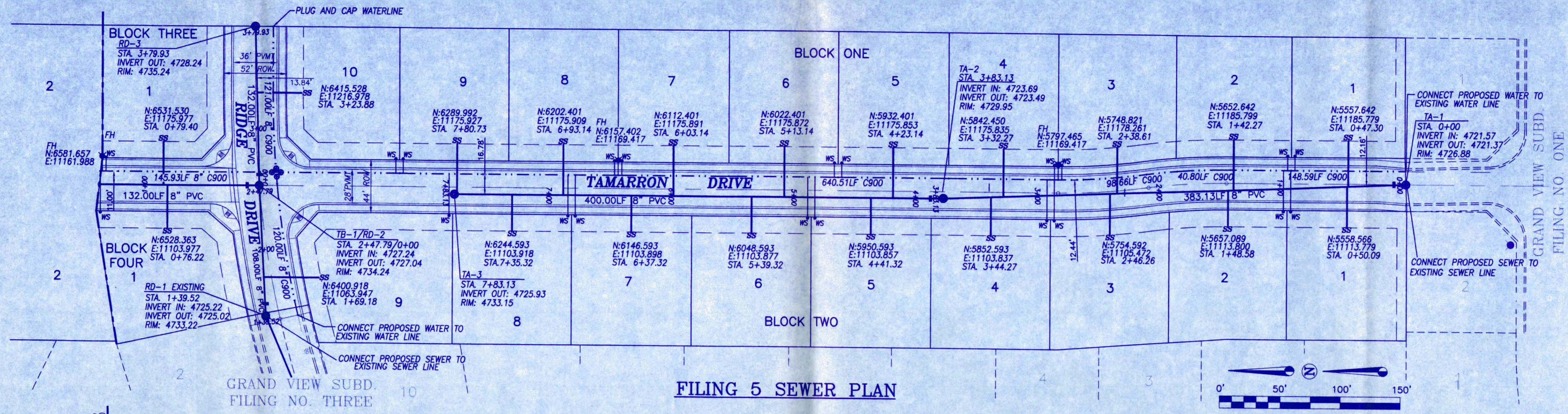
GRAND VIEW SUBDIVISION,  
 FILING NO. SIX

ATKINS AND ASSOCIATES, INC.  
 518 28 ROAD, SUITE B-105, P.O. BOX 2702  
 GRAND JUNCTION, COLORADO 81502  
 970-245-6630 FAX 970-245-2355

SHEET  
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 OF  
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E:\Deps\Grand View 5\Review 3\05\_TamarronPF2.dwg Tue May 01 10:16:15 2001 Atkins and Associates, Inc. (Gateway)





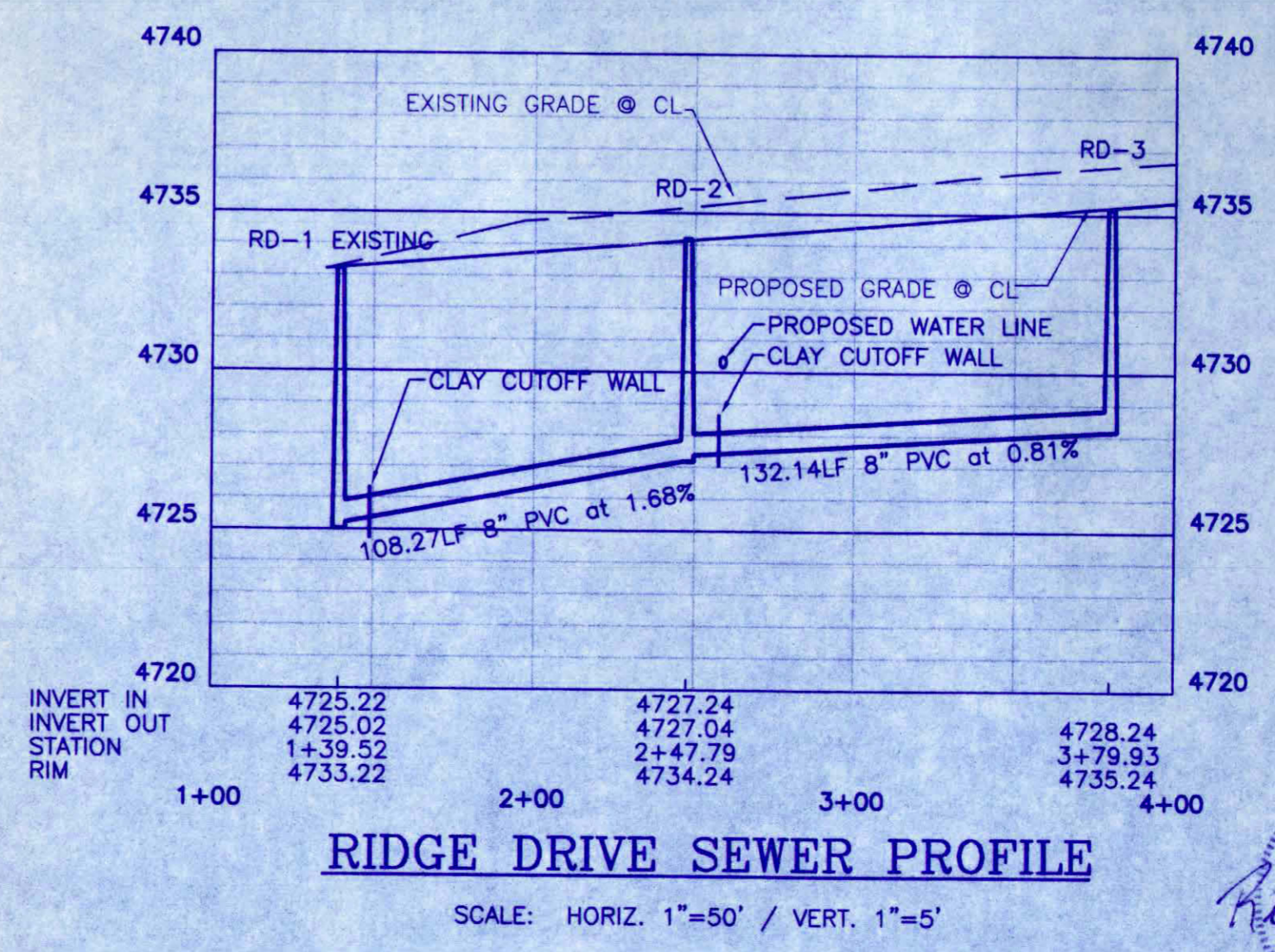
**FILING 5 TAMARRON DRIVE SEWER PROFILE LINE B**  
SCALE: HORIZ. 1"=50' / VERT. 1"=5'

**FILING 5 TAMARRON DRIVE SEWER PROFILE LINE A**  
SCALE: HORIZ. 1"=50' / VERT. 1"=5'

- WATER LINE NOTES**
- Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specification and drawings.
  - All waterlines shall be bedded per City of Grand Junction Standards please see typical trench detail on sheet 15

- SANITARY SEWER NOTES**
- Contractor shall have one signed copy of plans and a copy of the City of Grand Junction's Standard Specifications at the job site at all times.
  - All sewer mains shall be PVC SDR 35 (ASTM 3034) unless otherwise noted.
  - All sewer mains shall be laid to grade utilizing a pipe laser.
  - All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
  - No 4" services shall be connected directly into manholes.
  - The contractor shall notify the City Inspector 48 hours prior to commencement of construction.
  - The Contractor is responsible for all required sewer line testing to be completed in accordance with the City of Grand Junction Standards and Specifications. Final testing is to be accomplished only after all other infrastructure has been installed. This includes water lines, gas lines, electric lines, etc. Testing will be performed after all compaction of street subgrade and prior to street paving. Final lapping will also be accomplished after paving is completed to insure that the line is clean. These test will be the basis for issuing initial acceptance of the sewer line extension.

- The Contractor shall obtain City of Grand Junction Street Cut Permit for all work within existing City right-of-way prior to construction.
- A clay cutoff wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cutoff wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.
- Sewer service stub outs shall be capped and plugged. Each stub out shall be marked by a 2"x4" painted green. As-built surveying for vertical grade of stub out required PRIOR to backfill. PRIOR to backfilling the Contractor shall be responsible for providing the elevation of the top of pipe for the 4" sanitary sewer stub outs. (Accuracy: +/- 2")
- Red line as-builts are required to be submitted to the City Utility Engineer at least 72 hours PRIOR to paving.
- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
- All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.



**LEGEND**

- PROPOSED SANITARY SEWER LINE—8" SDR-35 PVC
- - - PROPOSED WATER LINE, CL-900, SIZES AS NOTED
- CLAY CUTOFF WALL ON SEWER LINE
- SS — SEWER SERVICE LINE
- WS — WATER SERVICE LINE
- FIRE HYDRANT
- — SANITARY SEWER MANHOLES
- — WATER VALVE

APPROVED FOR CONSTRUCTION

*[Signature]* 2/2/01  
UTE WATER CONSERVANCY DISTRICT DATE

\*APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM PERFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.\*

*[Signature]* 5/1/01  
CITY UTILITY ENGINEER CITY DEVELOPMENT ENGINEER / DATE

DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH
4/19	REV. SEWER INVERTS RIDGE AND TAMARRON	JAH
5/1	PER FINAL REVIEW COMMENTS	JAH

50  
HORIZ: 1" = 50'  
VERT: 1" = 5'

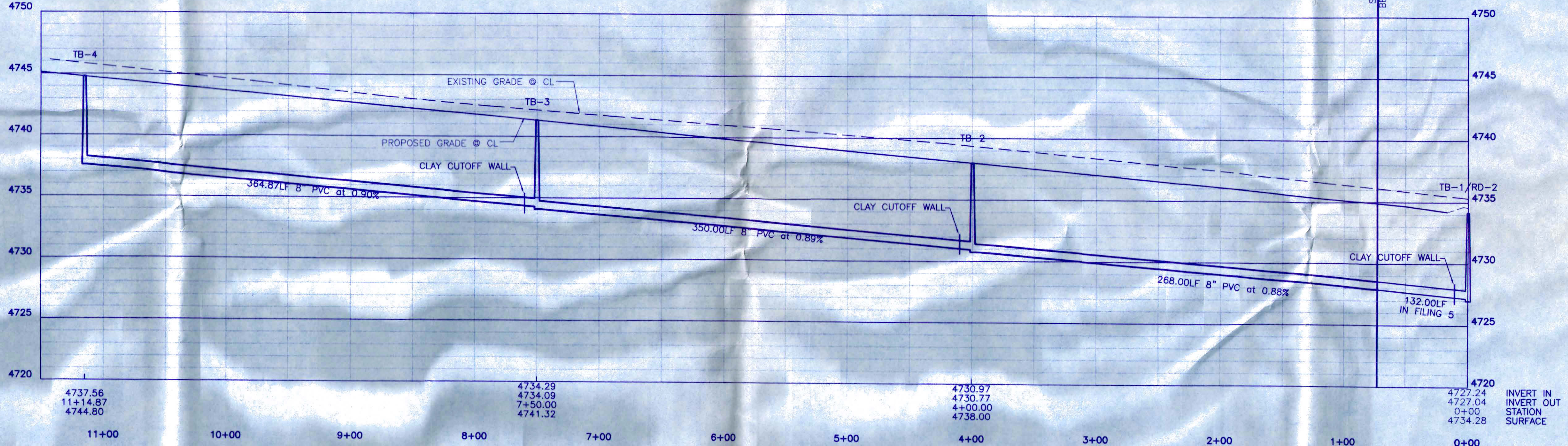
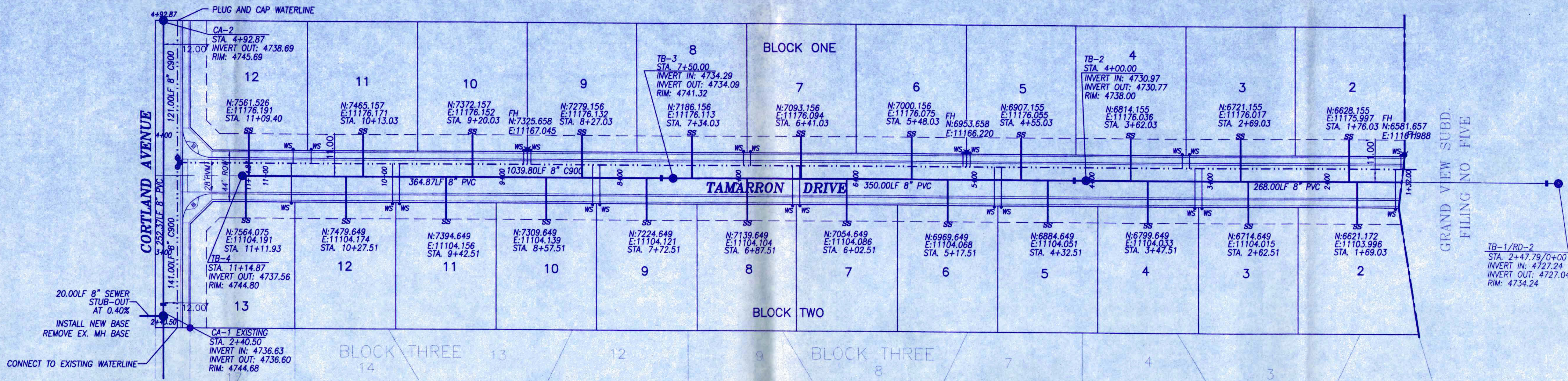
DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.:  
FILE NAME: RIDGEPF3

FILING FIVE  
SEWER PLAN  
AND PROFILE

GRAND VIEW SUBDIVISION,  
FILING NO. FIVE

ATKINS AND ASSOCIATES, INC.  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

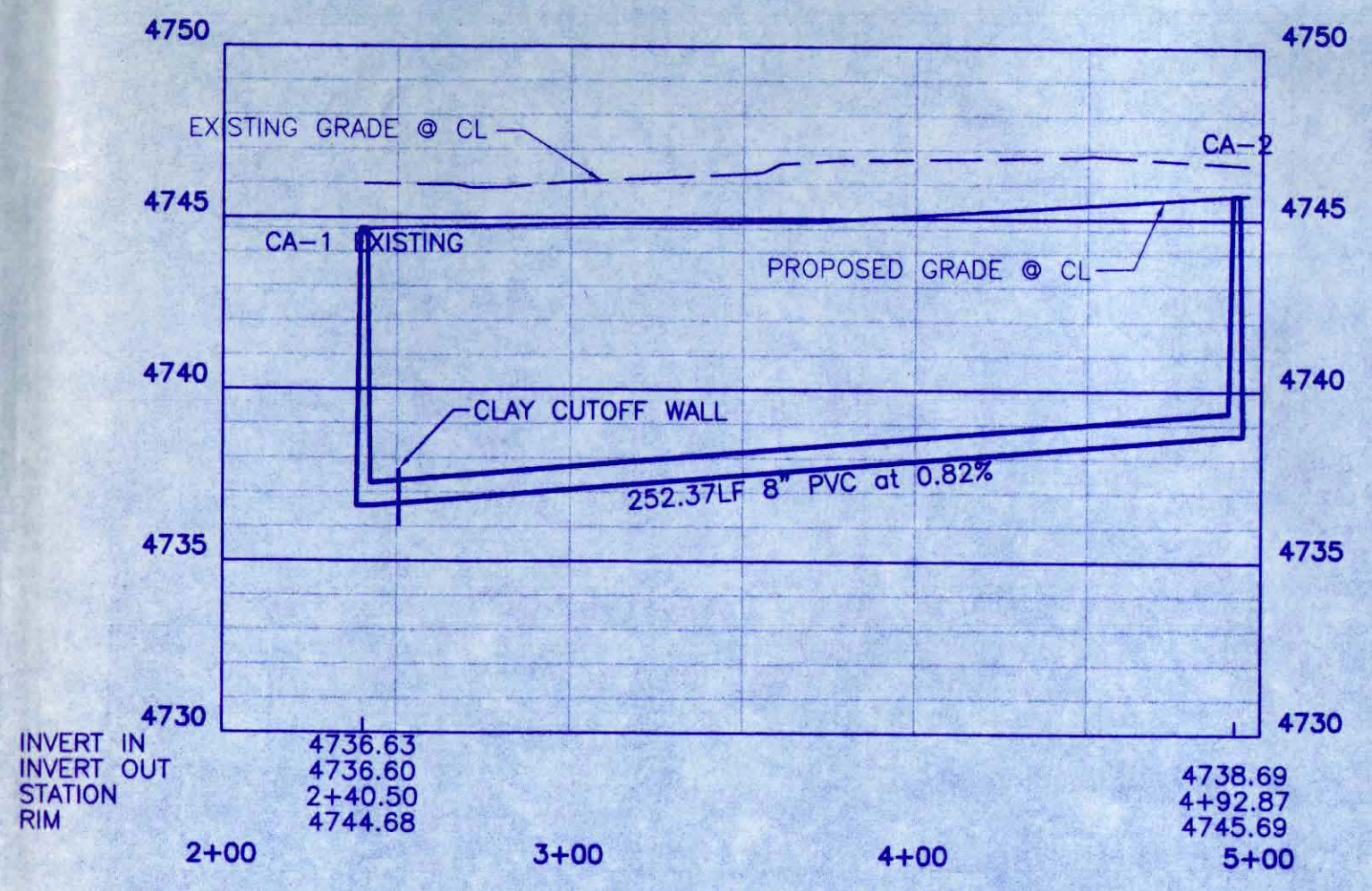
SHEET  
7  
OF  
15



**WATER LINE NOTES**

- Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specification and drawings.
- All waterlines shall be bedded per City of Grand Junction Standards please see typical trench detail on sheet 15

- SANITARY SEWER NOTES**
- Contractor shall have one signed copy of plans and a copy of the City of Grand Junction's Standard Specifications at the job site at all times.
  - All sewer mains shall be PVC SDR 35 (ASTM 3034) unless otherwise noted.
  - All sewer mains shall be laid to grade utilizing a pipe laser.
  - All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
  - No 4" services shall be connected directly into manholes.
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  - Red line as-builts are required to be submitted to the City Utility Engineer at least 72 hours PRIOR to paving.
  - Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cop. Elevation 4726.81
  - All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.



**LEGEND**

- PROPOSED SANITARY SEWER LINE-8" SDR-35 PVC
- PROPOSED WATER LINE, CL-900, SIZES AS NOTED
- CLAY CUTOFF WALL ON SEWER LINE
- SEWER SERVICE LINE
- WATER SERVICE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLES
- WATER VALVE

APPROVED FOR CONSTRUCTION

*Paul Taha* 2 May 01  
UTE WATER CONSERVANCY DISTRICT DATE

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

*JCP BY EWH* 5/1/01  
CITY UTILITY ENGINEER CITY DEVELOPMENT ENGINEER DATE

DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH
4/20	REV. SEWER INVERTS FOR CORTLAND	JAH
5/1	PER FINAL REVIEW COMMENTS	JAH

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.:  
FILE NAME: TAMARRONPP2

50  
HORIZ: 1" = 50'  
VERT: 1" = 5'

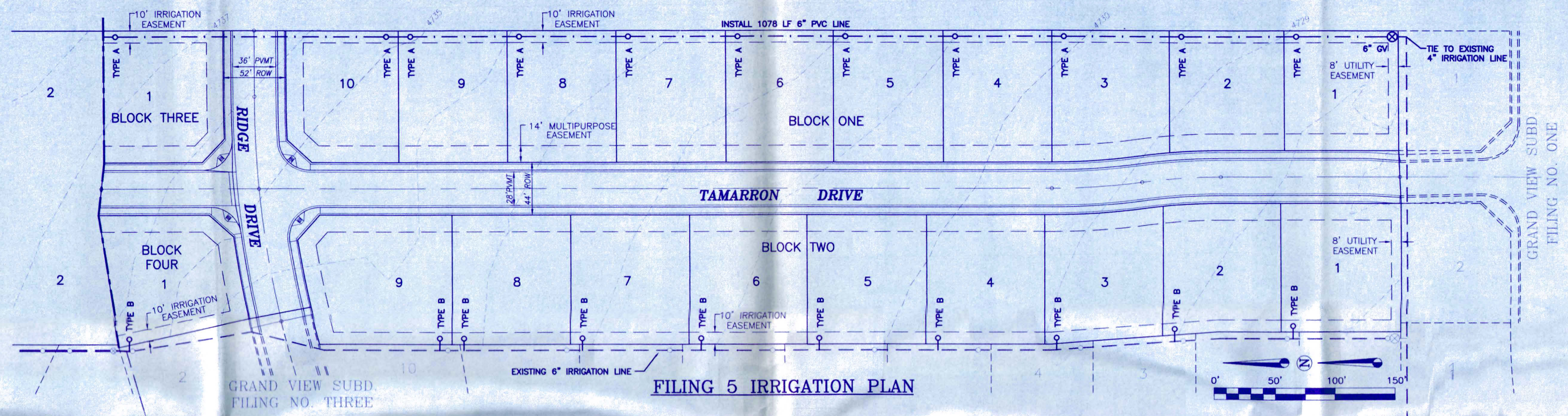
FILING SIX  
SEWER PLAN  
AND PROFILE

GRAND VIEW SUBDIVISION,  
FILING NO. SIX

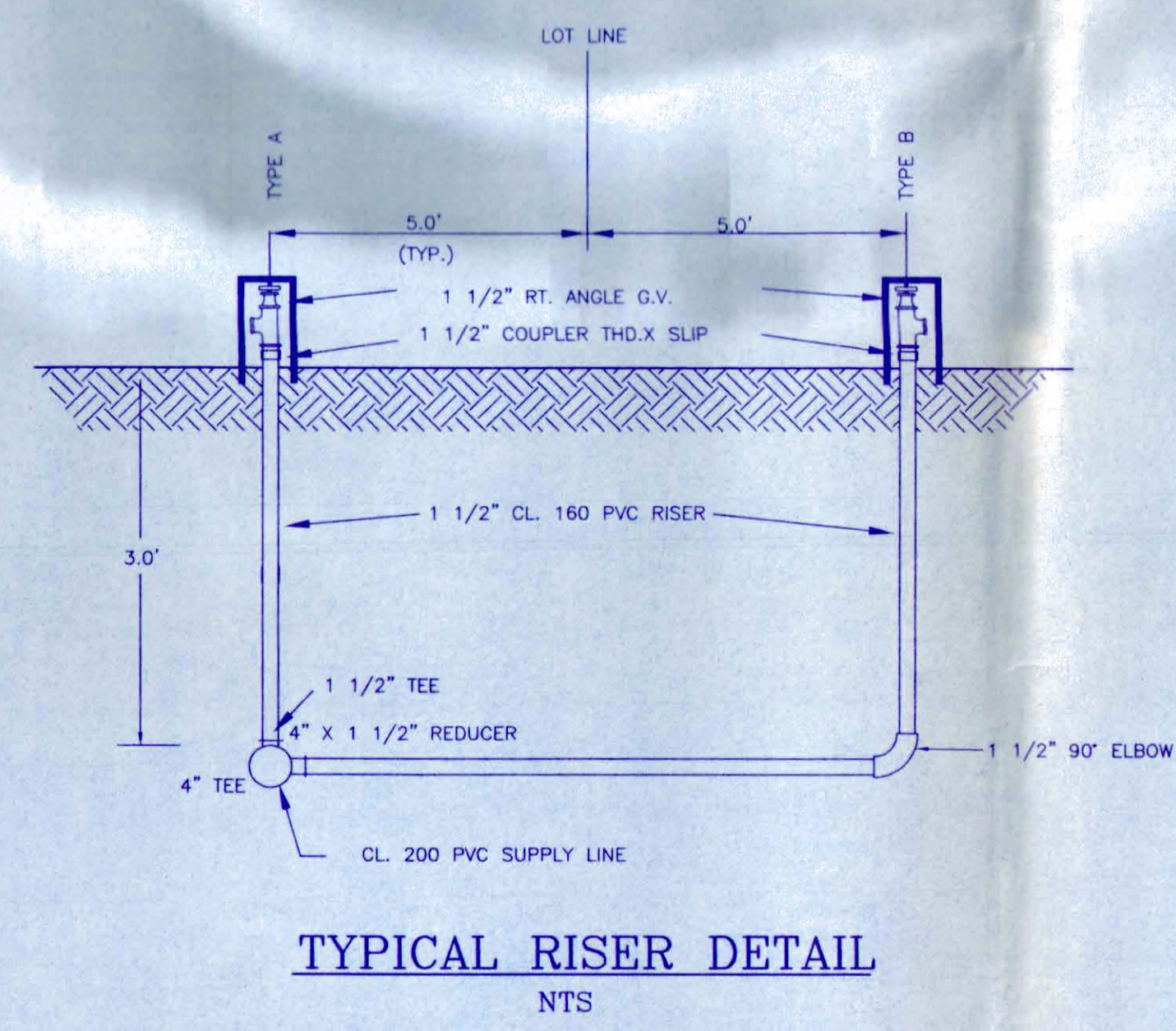
ATKINS AND ASSOCIATES, INC.  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

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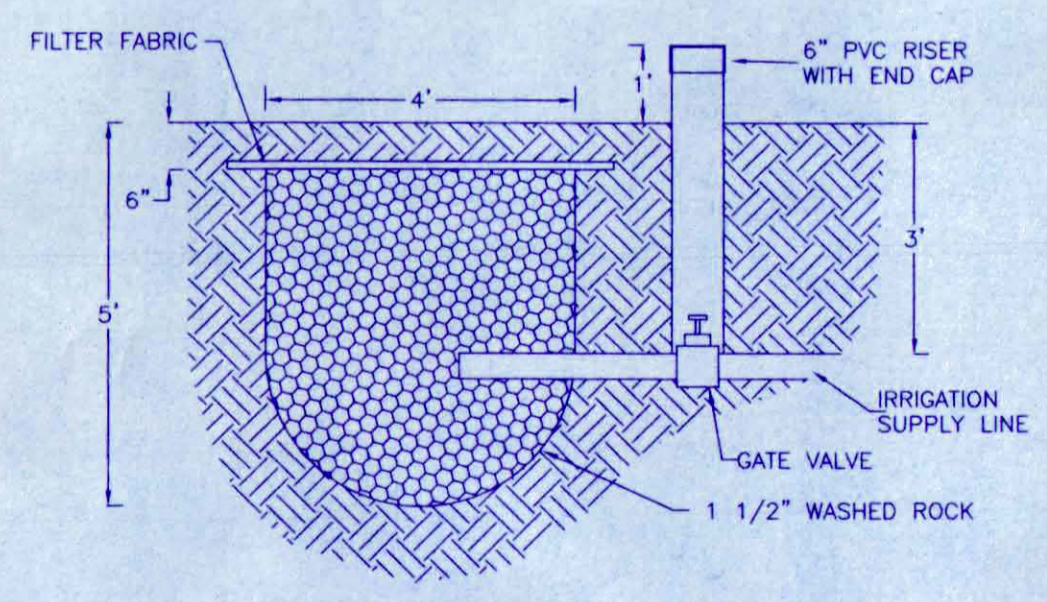
E:\dgs\Grand View 5\Review 3\09\_P5\_P3.dwg Tue May 01 10:29:00 2001 Atkins and Associates, Inc. (gateway)



**FILING 5 IRRIGATION PLAN**



**TYPICAL RISER DETAIL**  
NTS



**DRY HOLE DETAIL**  
**IRRIGATION DRAINS**  
NTS

- LEGEND**
- = IRRIGATION LINE, CL200 PVC, SIZES AS NOTED
  - - - = EXISTING IRRIGATION LINE
  - ⊗ = GATE VALVE, SIZES AS NOTED
  - = 1 1/2" CL160 PVC RISER

**NOTES:**

1. Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
2. All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.



DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH

**ATKINS AND ASSOCIATES, INC.**  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

**GRAND VIEW SUBDIVISION,  
FILING NO. FIVE**

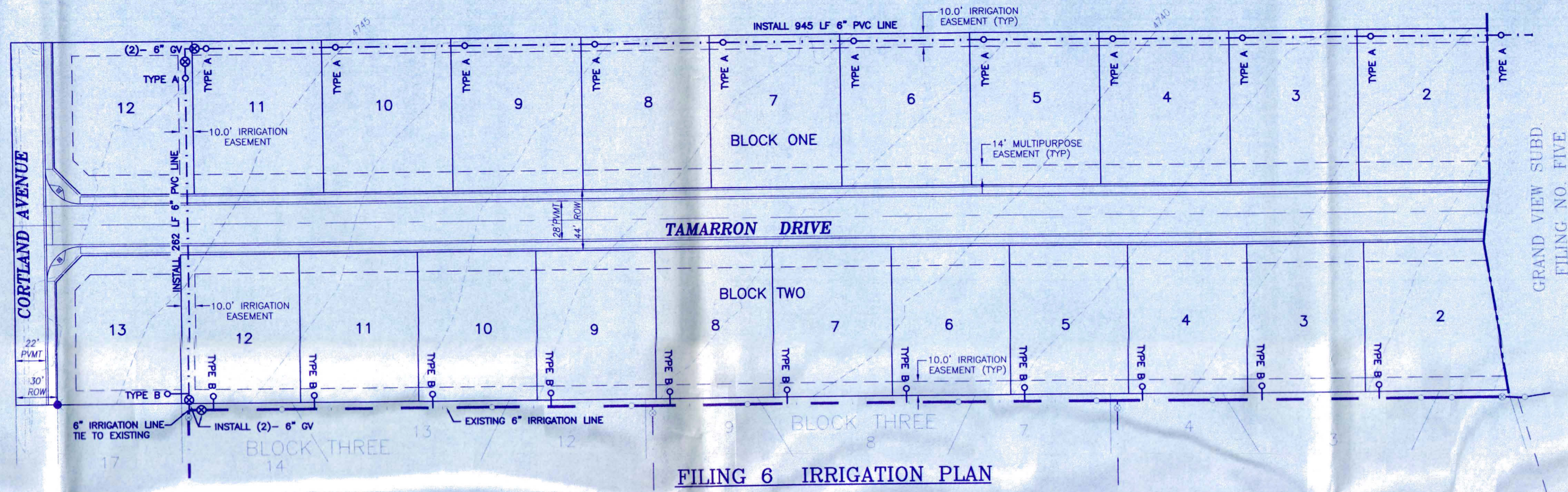
**FILING FIVE  
IRRIGATION PLAN**

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.:  
FILE NAME: RIDGPP3

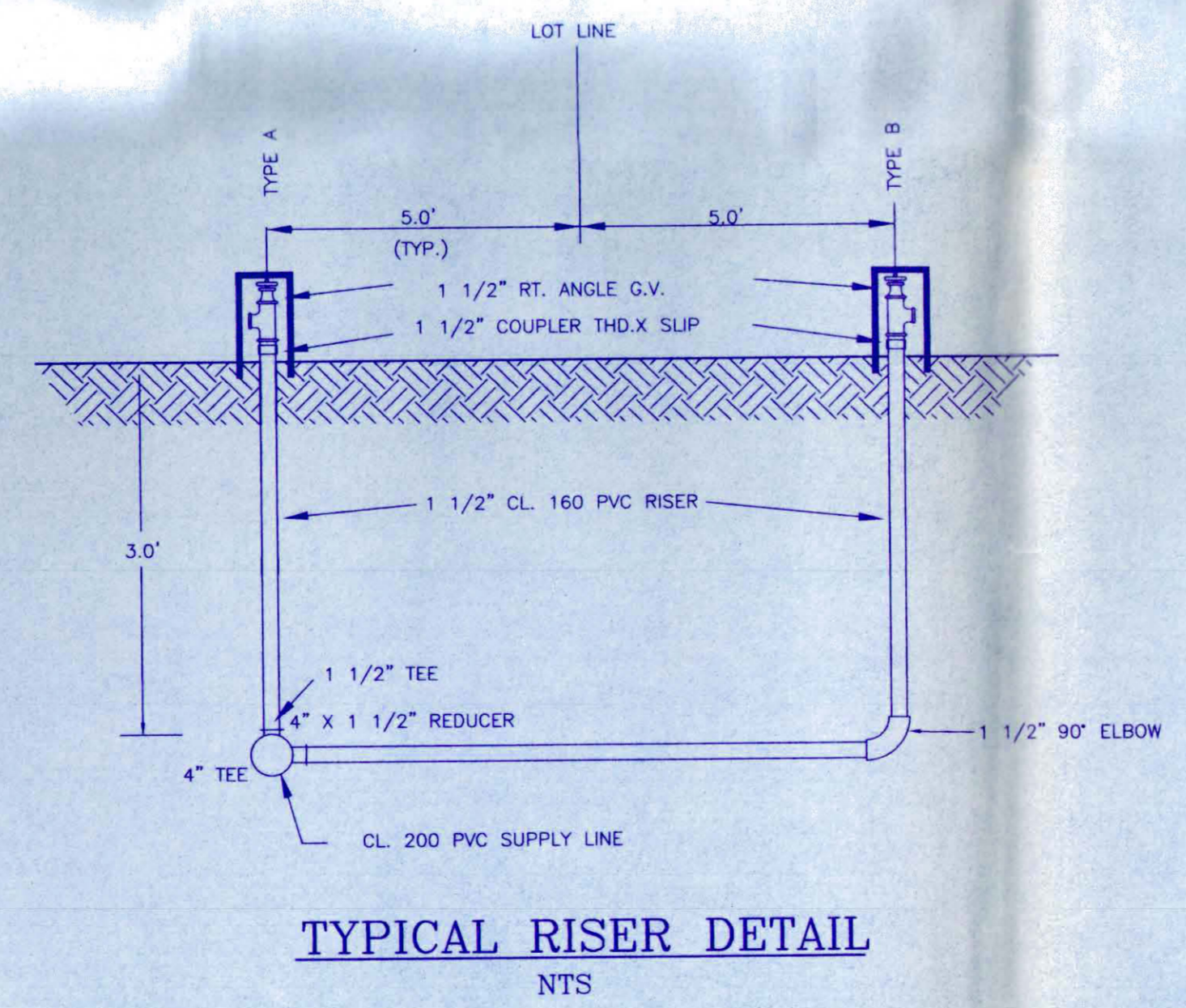
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HORIZ: 1" = 50'  
VERT: 1" = 5'

SHEET  
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OF  
15

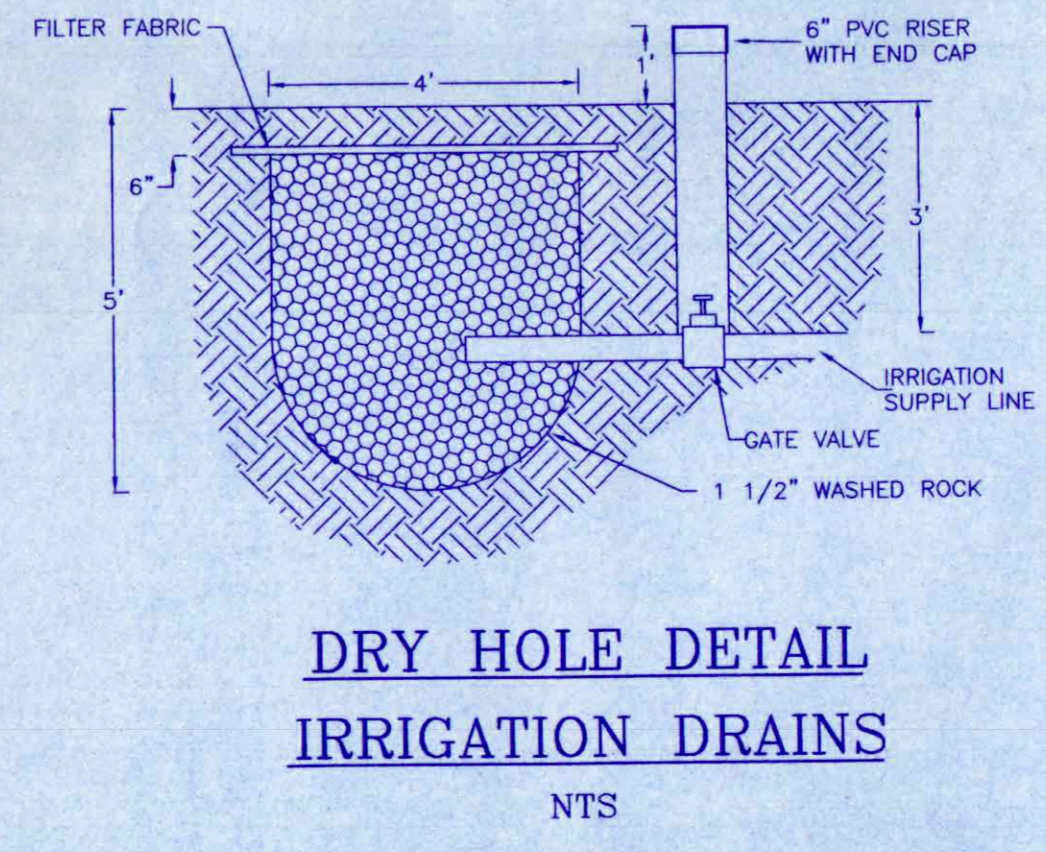
E:\dmg\Grand View 5\Review 3\10\_F6\_IRR\_FG.dwg Tue May 01 10:29:31 2001 Atkins and Associates, Inc. (Gateway)



FILING 6 IRRIGATION PLAN



TYPICAL RISER DETAIL  
NTS



DRY HOLE DETAIL  
IRRIGATION DRAINS  
NTS

- LEGEND**
- = IRRIGATION LINE, CL200 PVC, SIZES AS NOTED
  - - - = EXISTING IRRIGATION LINE
  - ⊗ = GATE VALVE, SIZES AS NOTED
  - = 1 1/2" CL160 PVC RISER

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

CITY UTILITY ENGINEER \_\_\_\_\_ CITY DEVELOPMENT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES:**
- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
  - All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.



DATE	REVISIONS	BY
03/24/01	REVISIONS PER REVIEW COMMENTS	DDC

ATKINS AND ASSOCIATES, INC.  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

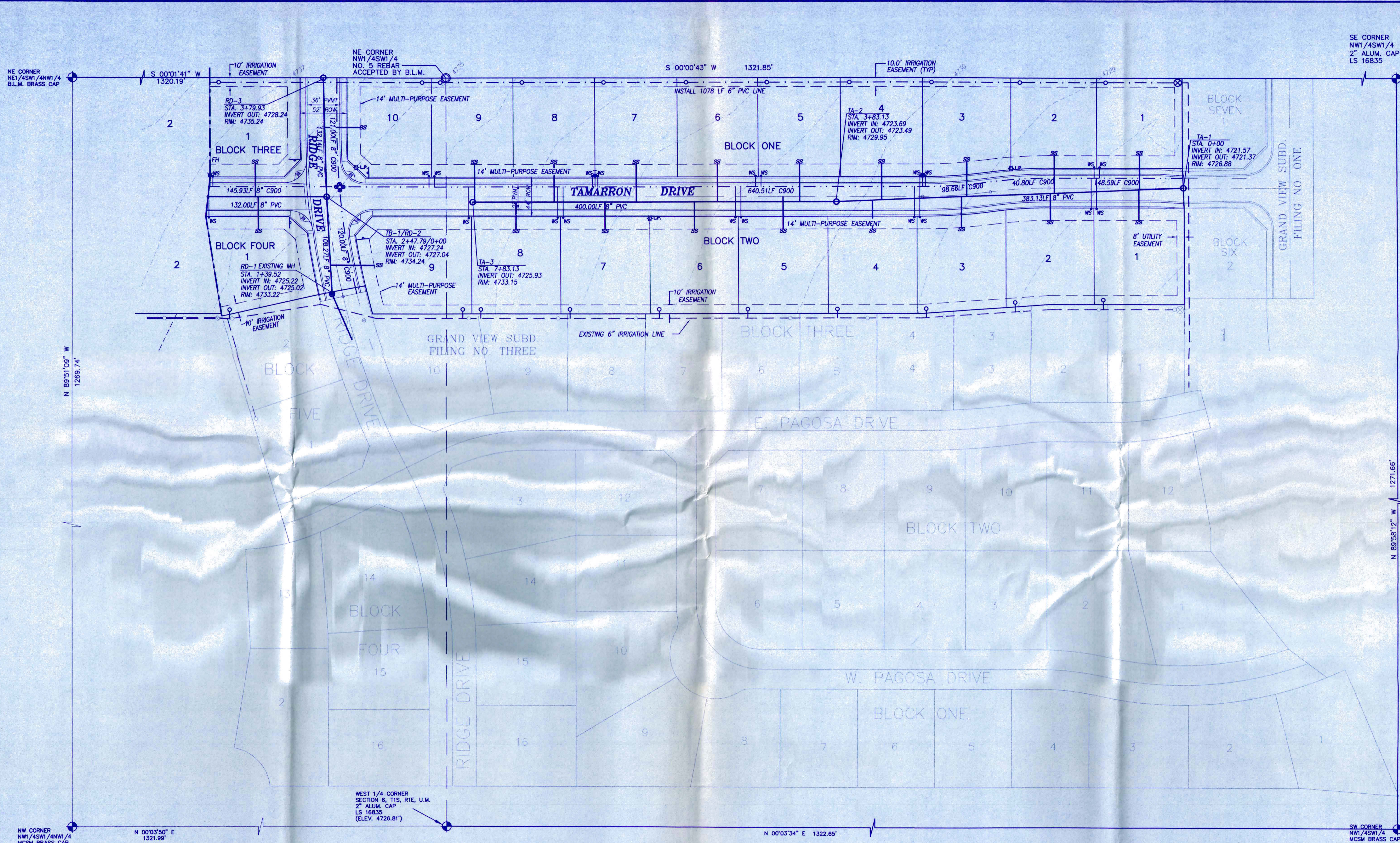
GRAND VIEW SUBDIVISION,  
FILING NO. SIX

FILING SIX  
IRRIGATION PLAN

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 02/28/01  
PROJECT NO.: -  
FILE NAME: 10\_F6\_IRR\_R1-02

50  
HORIZ: 1" = 50'  
VERT: 1" = 5'

SHEET  
10  
OF  
15



NE CORNER  
NW1/4SW1/4  
B.L.M. BRASS CAP

NE CORNER  
NW1/4SW1/4  
NO. 5 REBAR  
ACCEPTED BY B.L.M.

SE CORNER  
NW1/4SW1/4  
2" ALUM. CAP  
LS 16835

NW CORNER  
NW1/4SW1/4NW1/4  
MCSM BRASS CAP

WEST 1/4 CORNER  
SECTION 6, T1S, R1E, U.M.  
2" ALUM. CAP  
LS 16835  
(ELEV. 4726.81')

SW CORNER  
NW1/4SW1/4  
MCSM BRASS CAP

**NOTES:**

- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
- All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.

**UTILITY VENDORS**

- WATER = UTE WATER
- SEWER = CITY OF GRAND JUNCTION
- CATV = AT&T
- PHONE = QWEST
- POWER = EXCEL ENERGY

**ACREAGE SUMMARY**

21 LOTS	5.00 ACRES
ROADS	1.33 ACRES
<b>TOTAL</b>	<b>6.33 ACRES</b>

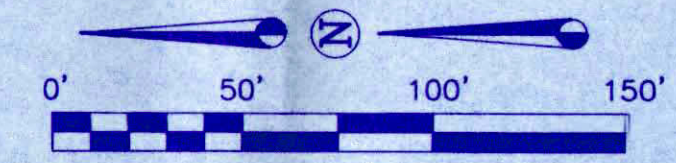
**LEGEND**

- PROPOSED SANITARY SEWER LINE—8" SDR-35 PVC
- PROPOSED WATER LINE, CL-900, SIZES AS NOTED
- SS — SEWER SERVICE LINE
- WS — WATER SERVICE LINE
- FIRE HYDRANT
- — SANITARY SEWER MANHOLES
- — WATER VALVE
- IRRIGATION LINE, CL200 PVC, SIZES AS NOTED
- EXISTING IRRIGATION LINE
- ⊗ — GATE VALVE, SIZES AS NOTED
- — 1 1/2" CL160 PVC RISER
- ⊕ — LIGHT POLE
- STOP SIGN, R1-1



"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS".  
*Jerry Montero* 5-8-01  
 FIRE DEPARTMENT DATE

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS".  
*TCJ BY ENH* *instill* 5/8/01  
 CITY UTILITY ENGINEER CITY DEVELOPMENT ENGINEER DATE



DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH

DRAWN BY: DDC  
 CHECKED BY: RLA  
 DATE: 02/28/01  
 PROJECT NO.:  
 FILE NAME: FSUTILCOMP.R1

FILING FIVE  
 UTILITY COMPOSITE

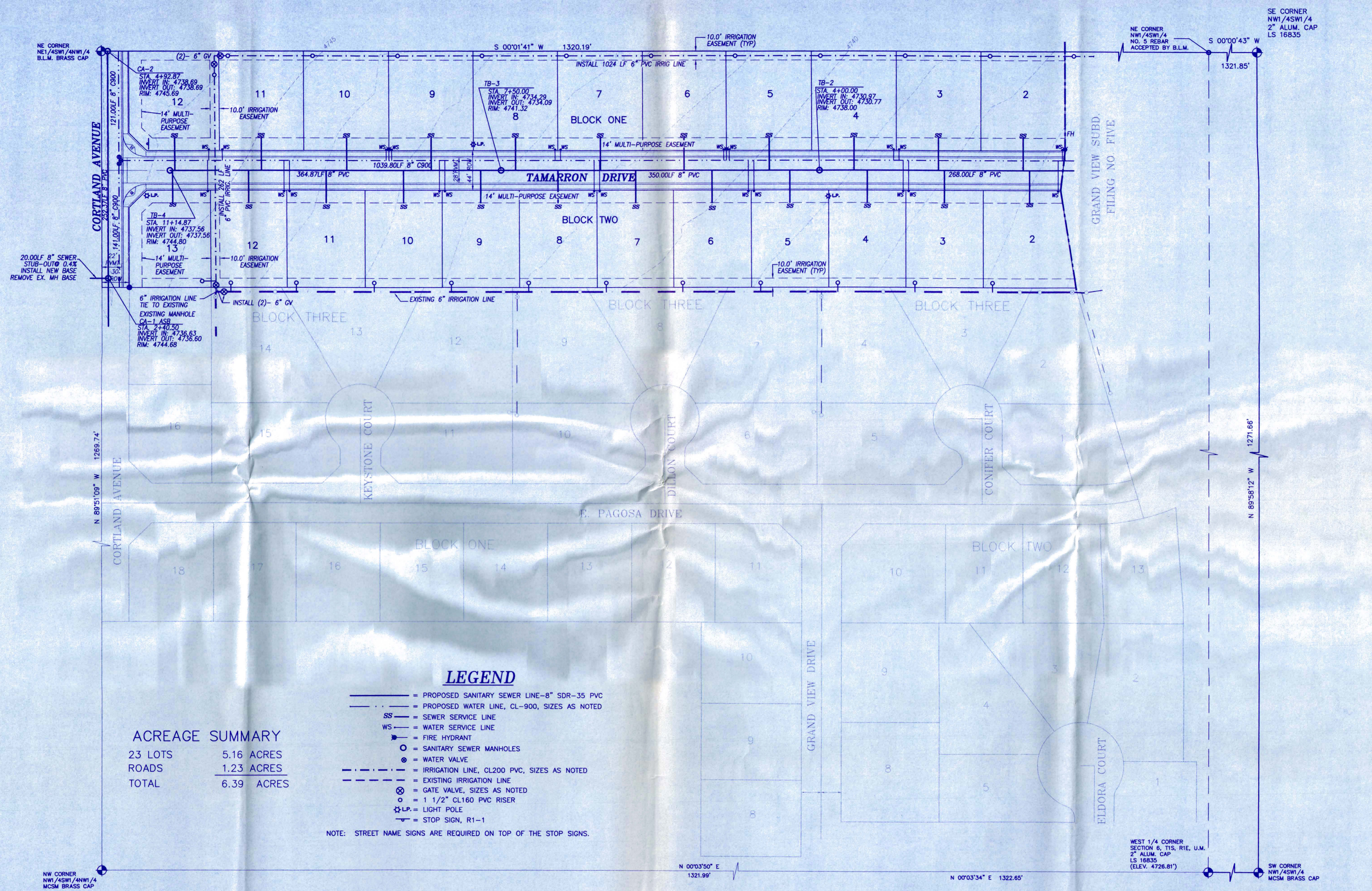
GRAND VIEW SUBDIVISION,  
 FILING NO. FIVE

ATKINS AND ASSOCIATES, INC.  
 518 28 ROAD, SUITE B-105, P.O. BOX 2702  
 GRAND JUNCTION, COLORADO 81502  
 970-245-6630 FAX 970-245-2355

SHEET  
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 OF  
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E:\Draws\Grand View 5\Review 3\11\_FS\_Utl1Comp\_B3.dwg Tue May 01 10:40:22 2001 Atkins and Associates, Inc. (Gateway)

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**ACREAGE SUMMARY**

23 LOTS	5.16 ACRES
ROADS	1.23 ACRES
<b>TOTAL</b>	<b>6.39 ACRES</b>

- LEGEND**
- = PROPOSED SANITARY SEWER LINE—8" SDR-35 PVC
  - - - = PROPOSED WATER LINE, CL-900, SIZES AS NOTED
  - SS = SEWER SERVICE LINE
  - WS = WATER SERVICE LINE
  - = FIRE HYDRANT
  - = SANITARY SEWER MANHOLES
  - ⊙ = WATER VALVE
  - · - · - = IRRIGATION LINE, CL200 PVC, SIZES AS NOTED
  - - - = EXISTING IRRIGATION LINE
  - ⊗ = GATE VALVE, SIZES AS NOTED
  - = 1 1/2" CL160 PVC RISER
  - ⊙ = LIGHT POLE
  - ⊥ = STOP SIGN, R1-1
- NOTE: STREET NAME SIGNS ARE REQUIRED ON TOP OF THE STOP SIGNS.

- NOTES:**
- Benchmark: West 1/4 Corner, Section 6, T1S, R1E, U.M., 2" Alum. Cap, Elevation 4726.81'
  - All grades are to flowline. Elevation difference between back of walk and flowline of gutter is 0.53' for drive-over curb only.



DATE	REVISIONS	BY
3/27	REVISIONS PER REVIEW COMMENTS	JAH

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

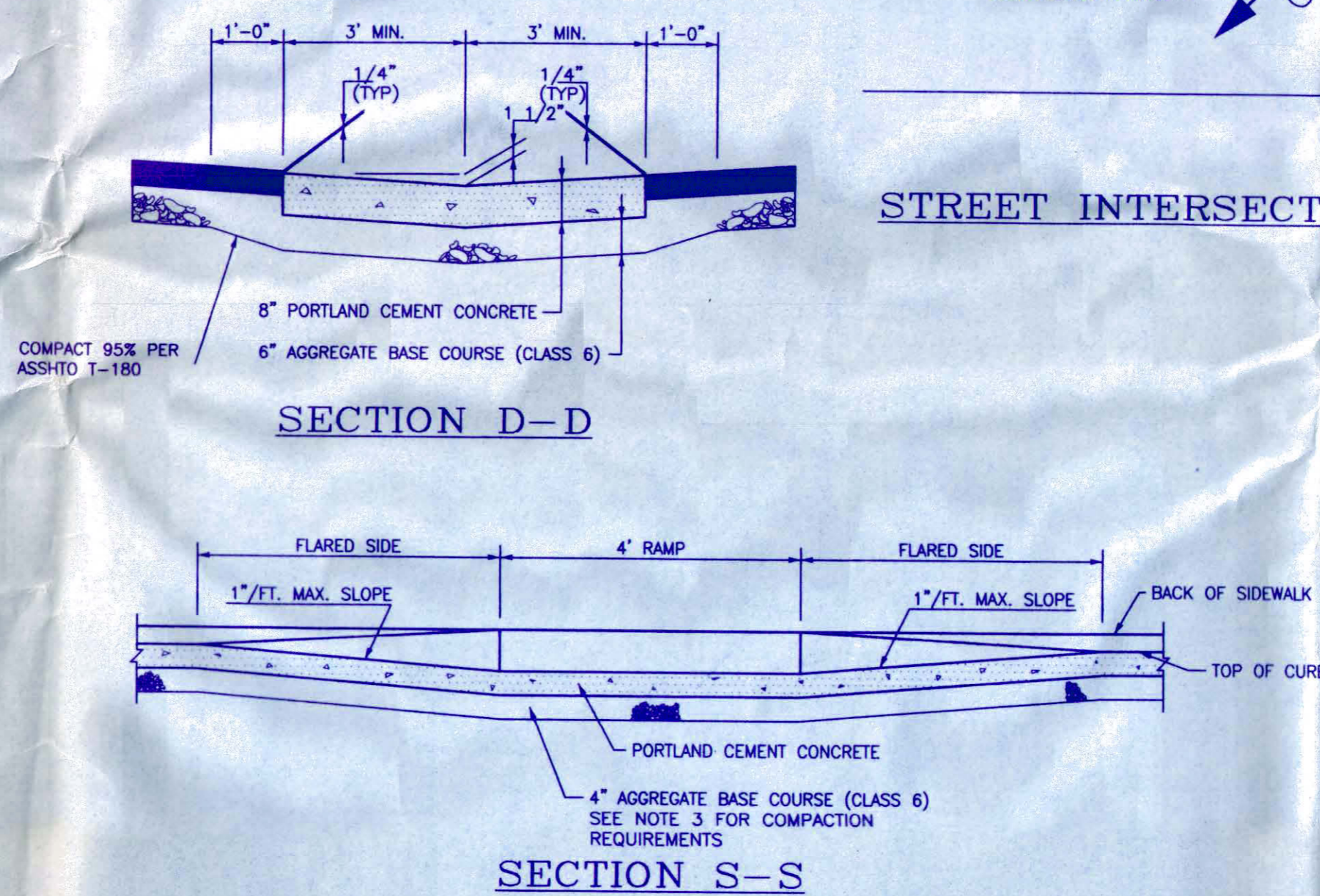
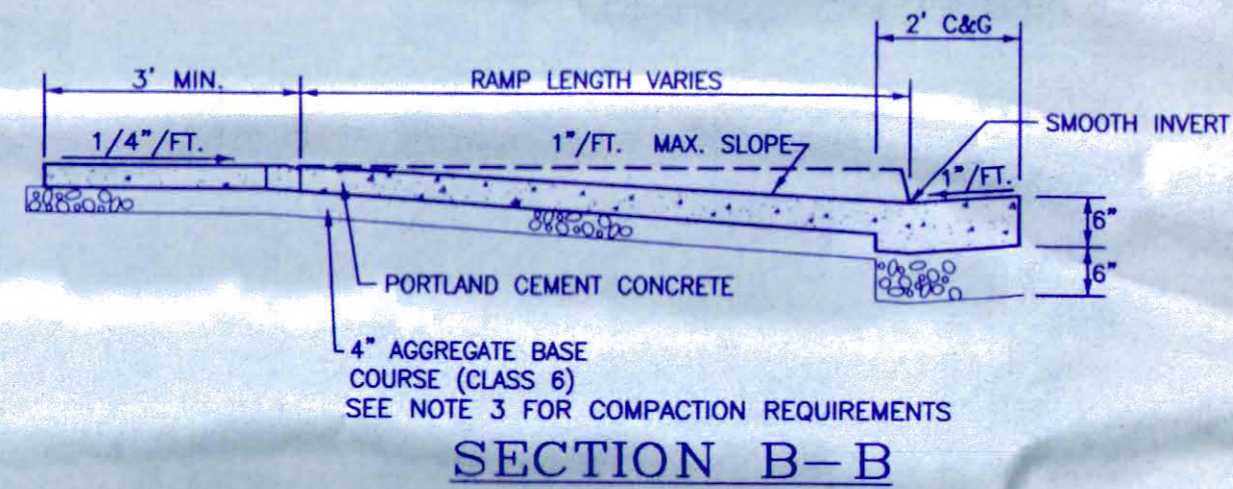
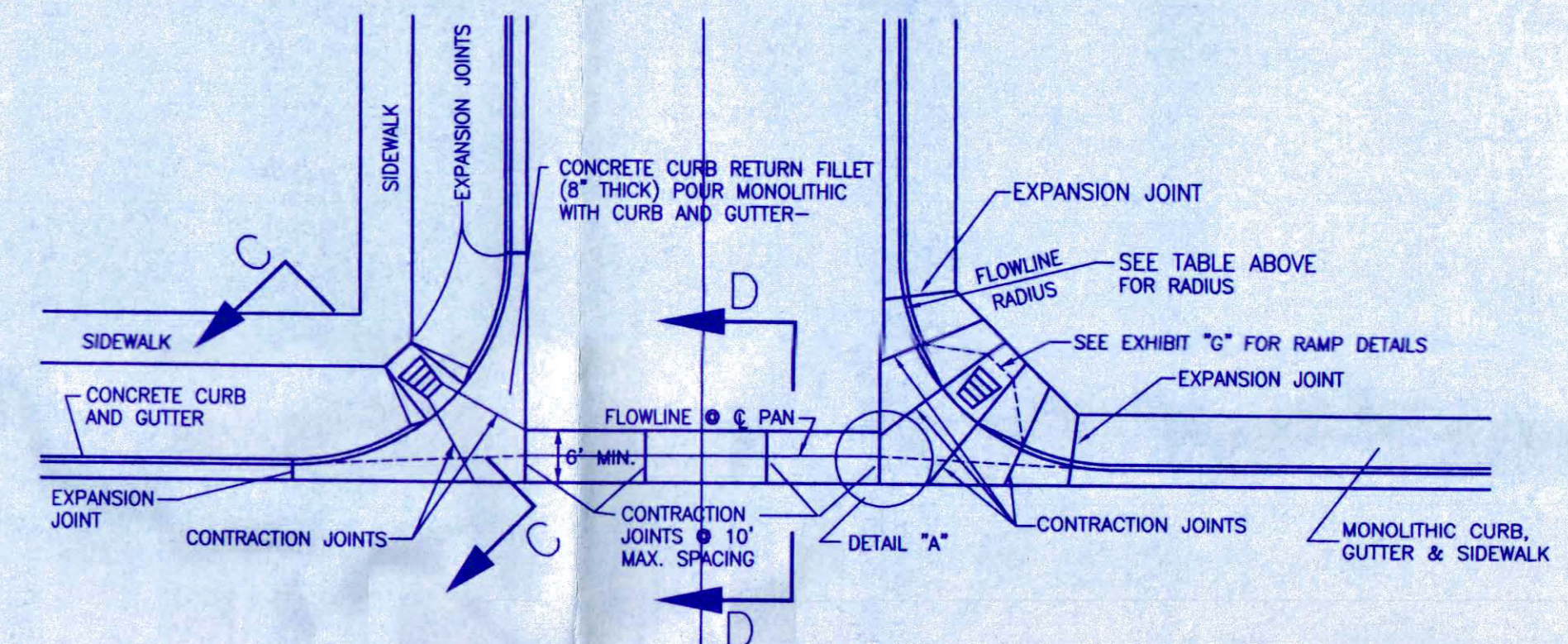
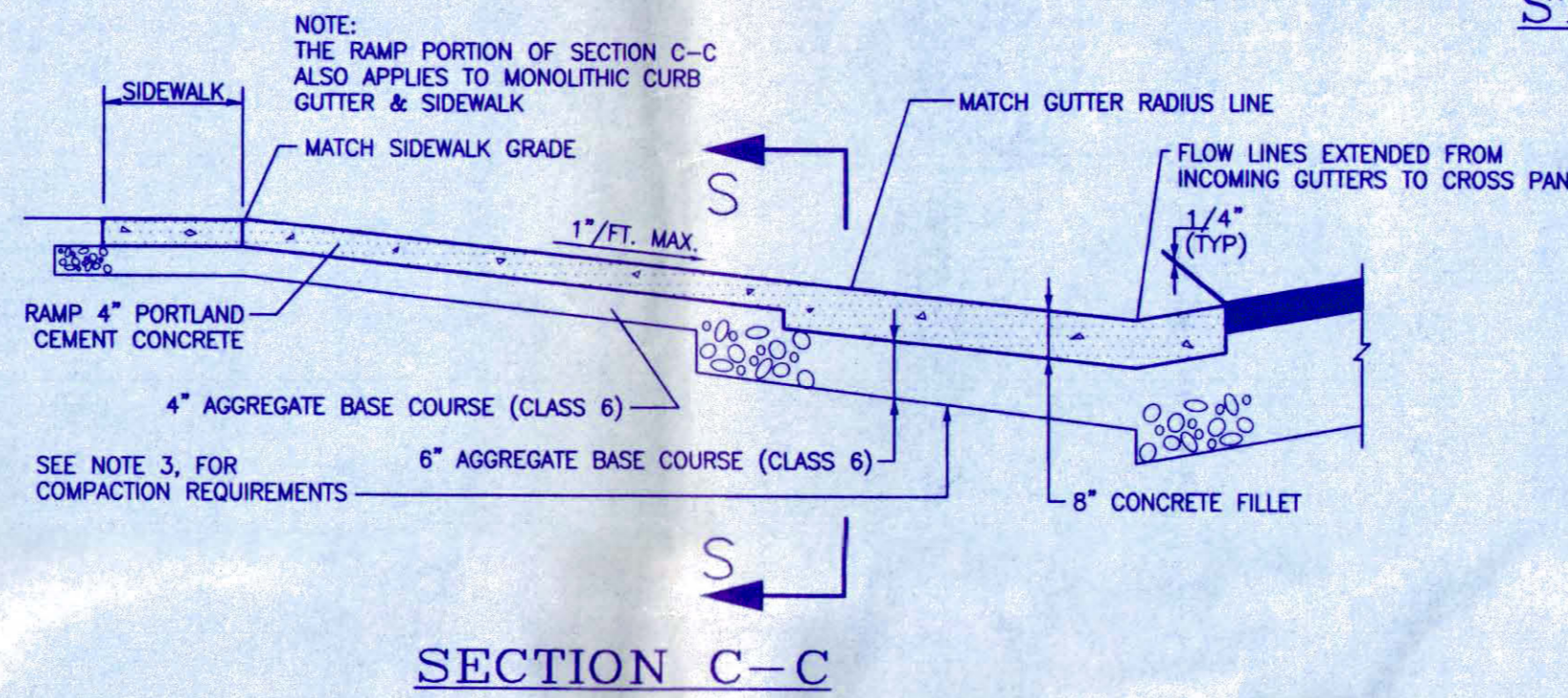
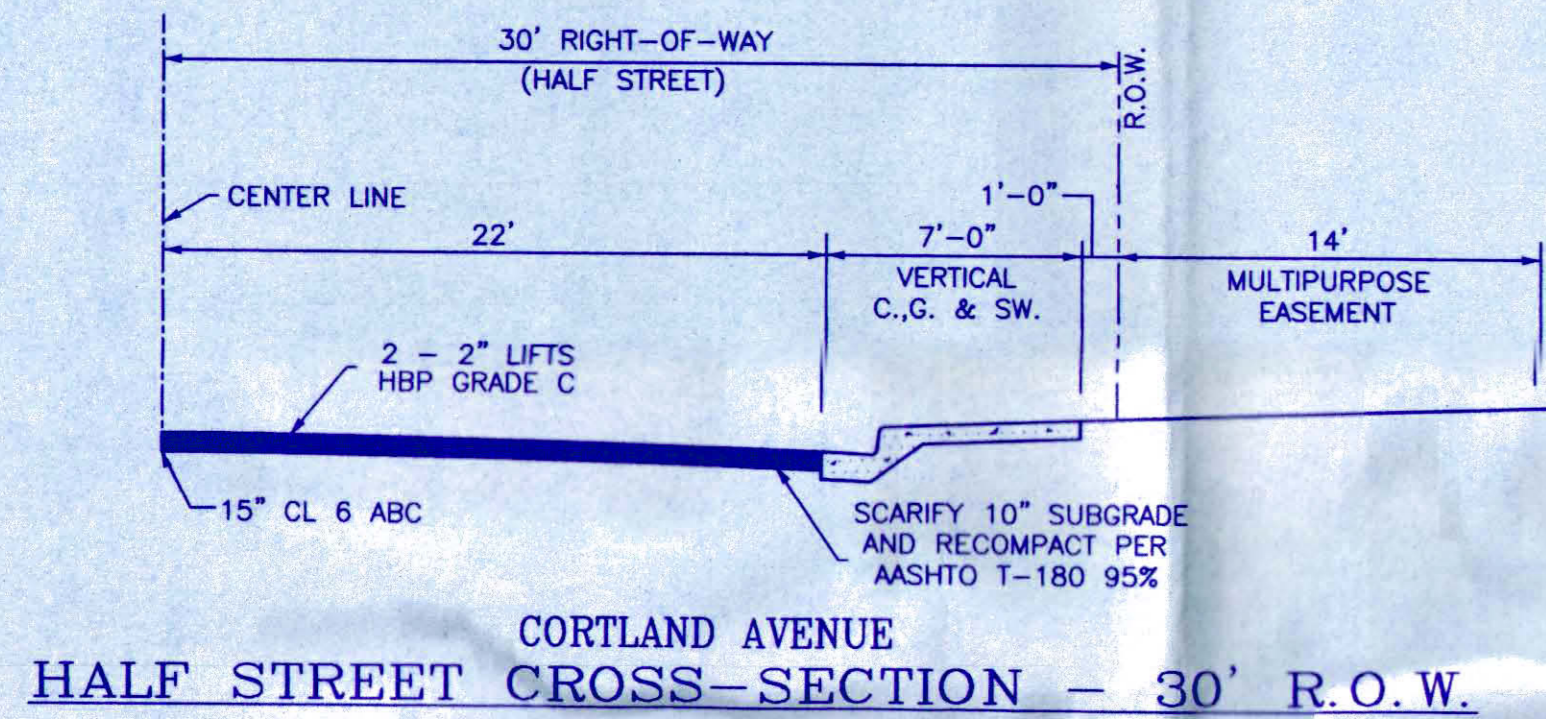
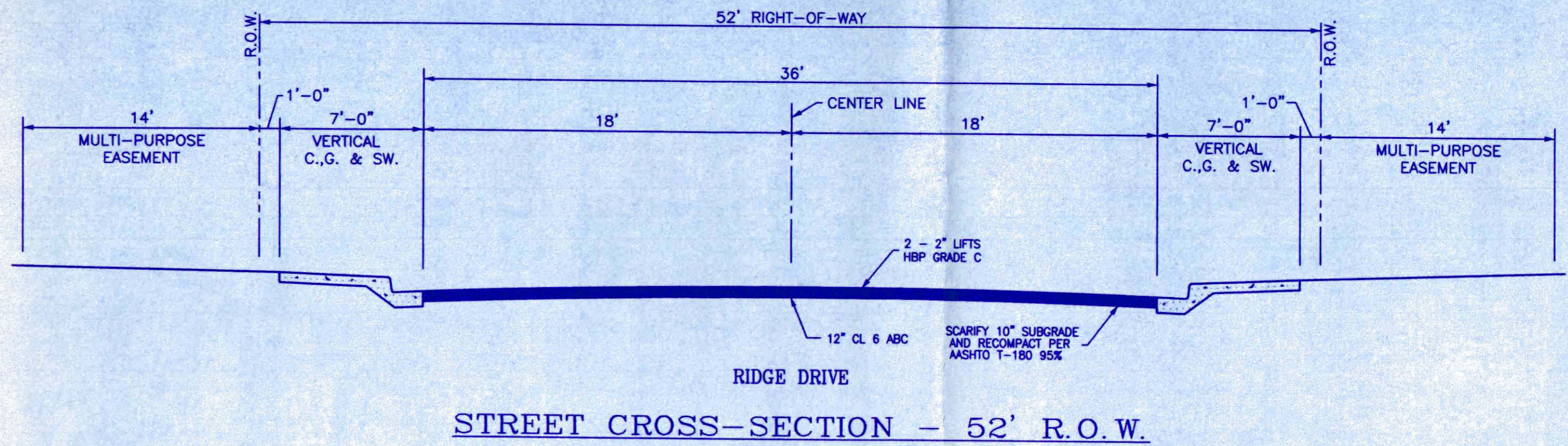
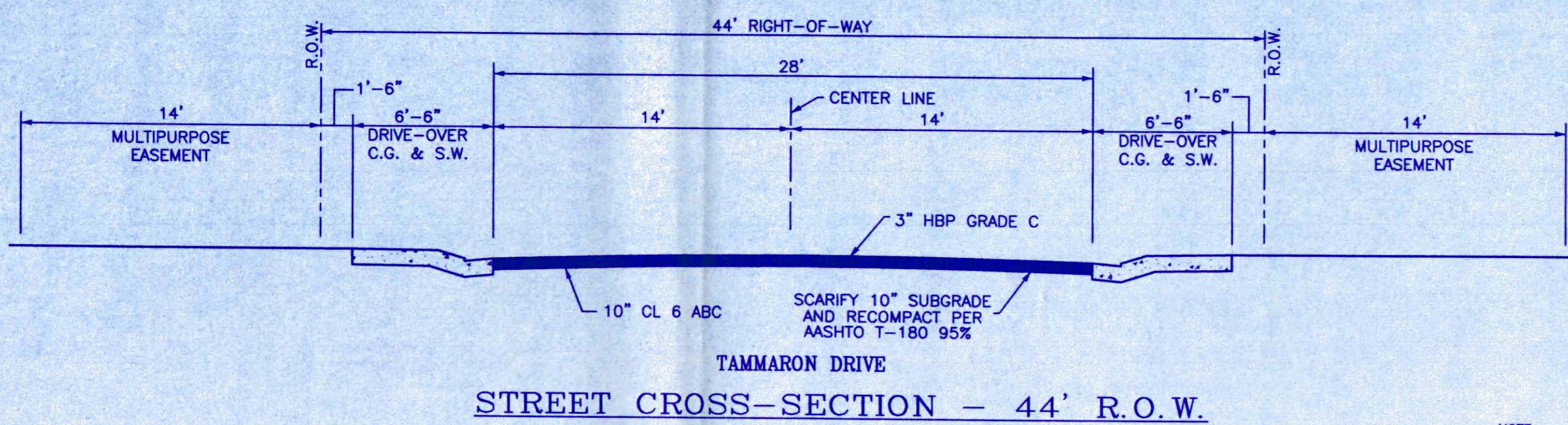
TCP BY EWH  
CITY UTILITY ENGINEER

*[Signature]*  
CITY DEVELOPMENT ENGINEER 5/1/01  
DATE

"APPROVED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE. ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR OR ENGINEER FROM CONFORMANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS."

*[Signature]*  
FIRE DEPARTMENT 5-8-01  
DATE

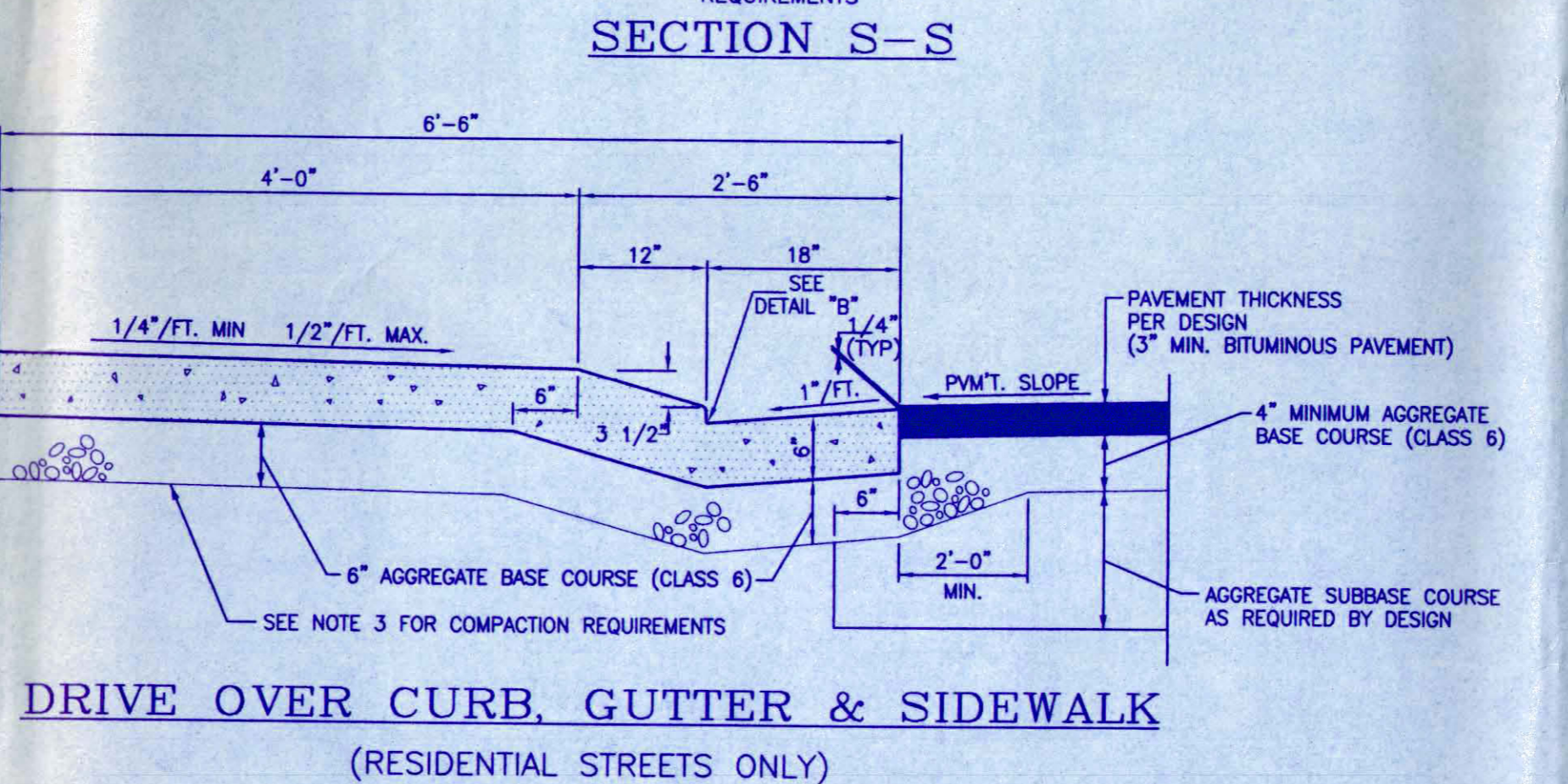
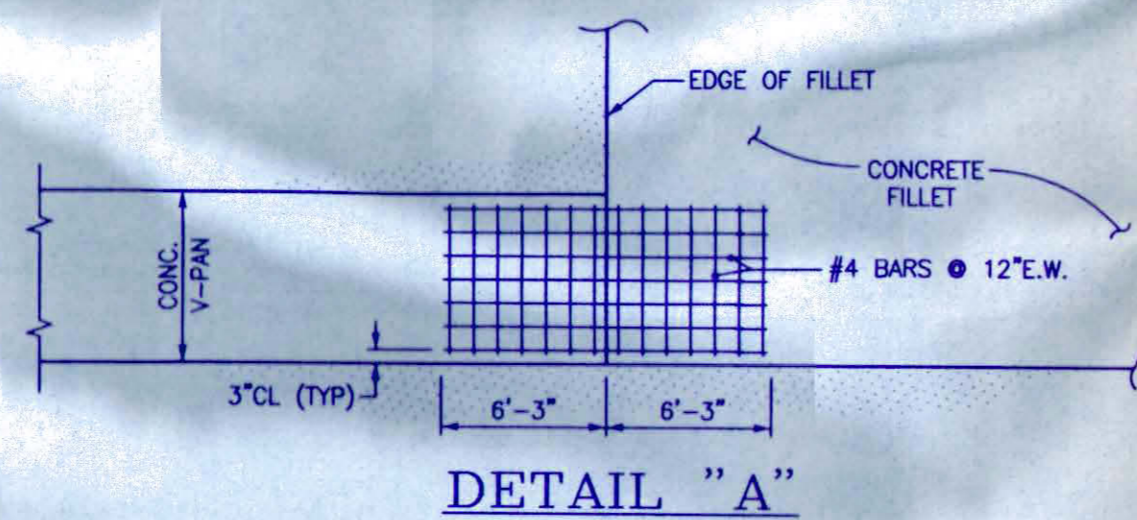
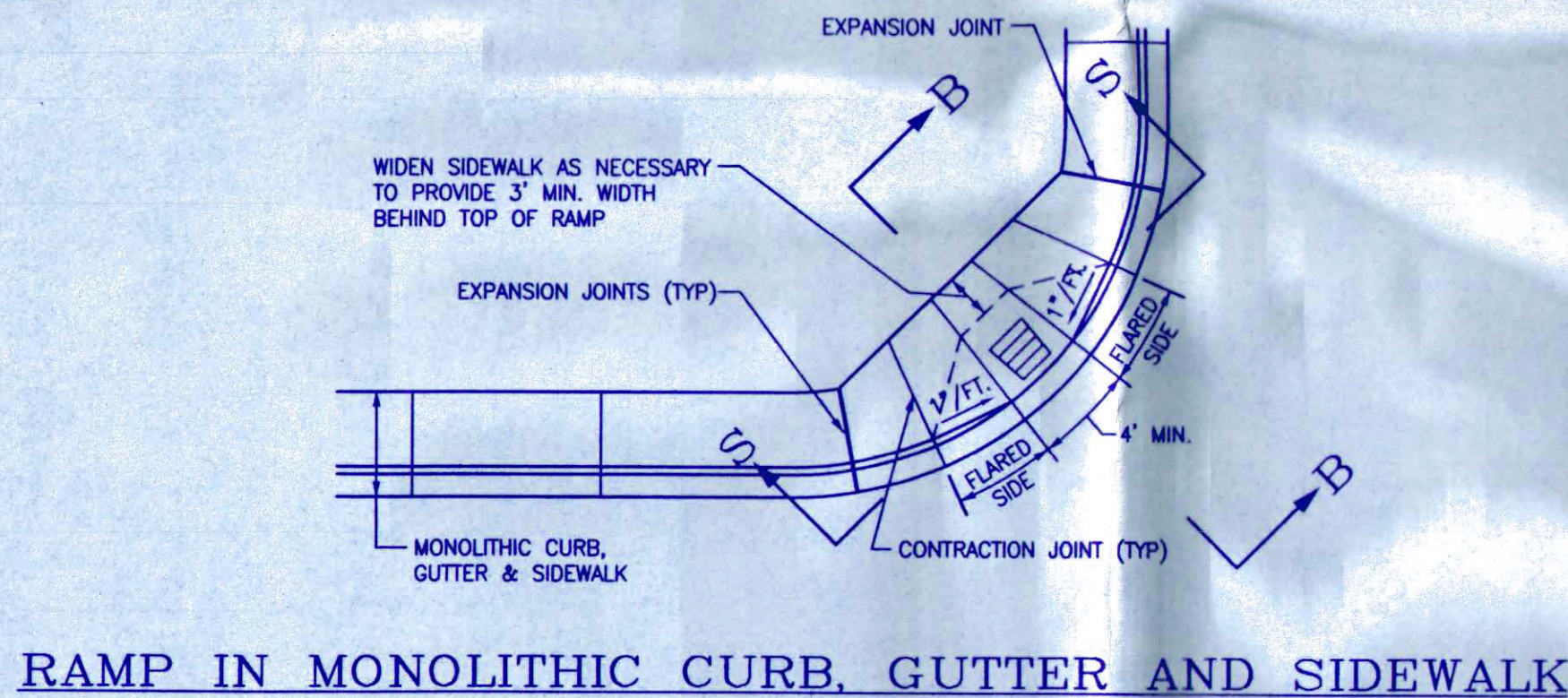
DRAWN BY: JAH CHECKED BY: RLA DATE: 02/28/01 PROJECT NO.: FILE NAME: UTILCOMP_R1	<b>FILING SIX</b> <b>UTILITY COMPOSITE</b>	<b>ATKINS AND ASSOCIATES, INC.</b> <b>GRAND VIEW SUBDIVISION,</b> <b>FILING NO. SIX</b>
SE CORNER NW1/4SW1/4 2" ALUM. CAP LS 16835 NE CORNER NW1/4SW1/4 NO. 5 REBAR ACCEPTED BY B.L.M. NW CORNER NW1/4SW1/4 MCSM BRASS CAP SW CORNER NW1/4SW1/4 MCSM BRASS CAP WEST 1/4 CORNER SECTION 6, T1S, R1E, U.M. 2" ALUM. CAP LS 16835 (ELEV. 4726.81')	50 HORIZ: — VERT: —	SHEET <b>12</b> OF <b>15</b>



**MINIMUM INTERSECTION RADII TO FLOWLINE OF GUTTER INTERSECTING STREET**

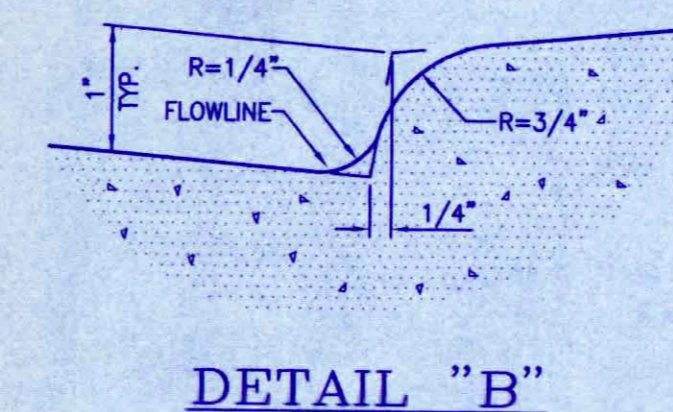
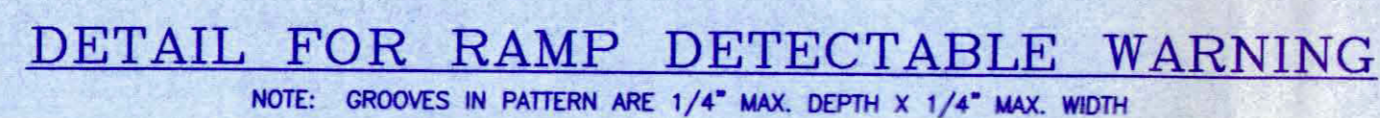
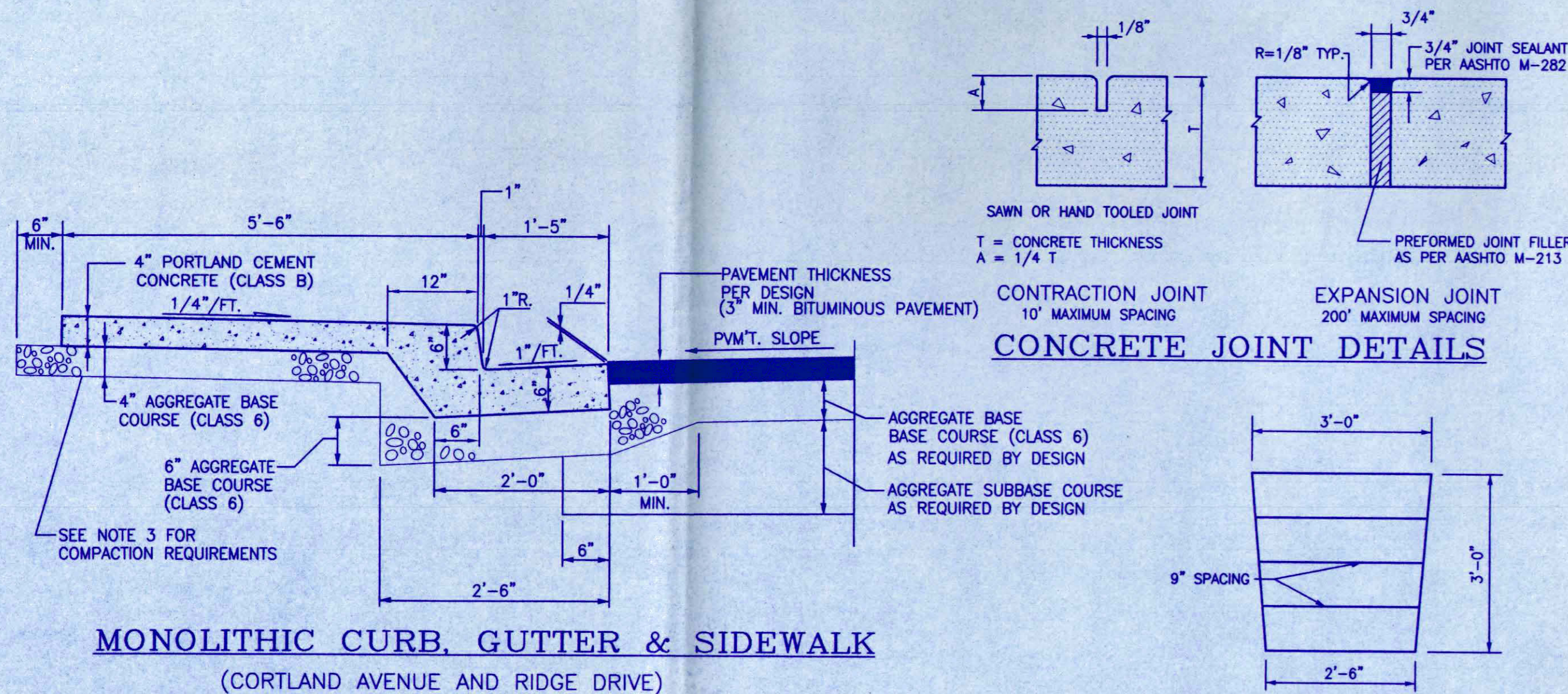
THROUGH STREET	INTERSECTING STREET				
	ARTERIAL	COLLECTOR	LOCAL RESIDENTIAL	LOCAL COMMERCIAL	LOCAL INDUSTRIAL
ARTERIAL	30'	30'	30'	30'	•
COLLECTOR	-	30'	25'	30'	•
LOCAL RESIDENTIAL	-	-	20'	-	-
LOCAL COMMERCIAL	-	-	20'	30'	•
LOCAL INDUSTRIAL	-	-	20'	-	•

\* RADII AT INTERSECTIONS WITH INDUSTRIAL STREETS SHALL BE INDIVIDUALLY DESIGNED BASED ON TURNING REQUIREMENTS FOR WB-50 TRUCKS.



**GENERAL NOTES**

- ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH MESA COUNTY ROAD AND BRIDGE CONSTRUCTION SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
- ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, DRAINAGE PANS AND OTHER CONCRETE WORK SHALL BE UNDERLAID WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
- ALL EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
- ALL DRIVEWAY CONCRETE (APRON AND SIDEWALK CROSSING) SHALL BE 6 INCHES THICK (MIN.) FOR RESIDENTIAL USES AND 8" THICK (MIN.) FOR ALL OTHER USES.
- TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED IN ALL CURBS, GUTTERS, SIDEWALKS, V-PANS, ETC., AT ENDS OF HORIZONTAL CURVES, AT EDGES OF DRIVEWAY SECTIONS AND AT MAXIMUM SPACING OF 100'. TRANSVERSE CONTRACTION JOINTS SHALL BE PROVIDED AT 10' SPACING.
- VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF FIVE DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE IMMEDIATELY AFTER FINISHING.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
- HANDICAP RAMPS SHALL BE INSTALLED AT EACH CORNER OF ALL STREET INTERSECTIONS.



ROADWAY STRUCTURAL SECTION FOR MODERATELY UNSTABLE SUBGRADE PER RECOMMENDATIONS BY LINCOLN DEVORE, INC. SEE SOILS REPORT

SCALE: NA  
HORIZ: NA  
VERT: NA  
DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 04/21/99  
PROJECT NO.: 99008  
FILE NAME: GRVSTRD

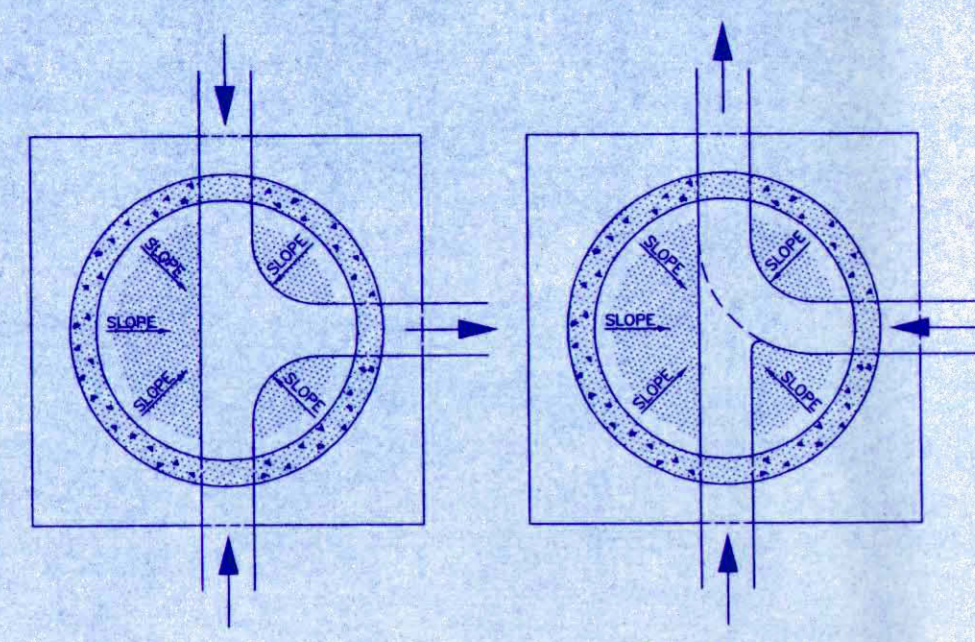
STREET DETAILS

ATKINS AND ASSOCIATES, INC.  
GRAND VIEW SUBDIVISION,  
FILING NO. FIVE AND SIX

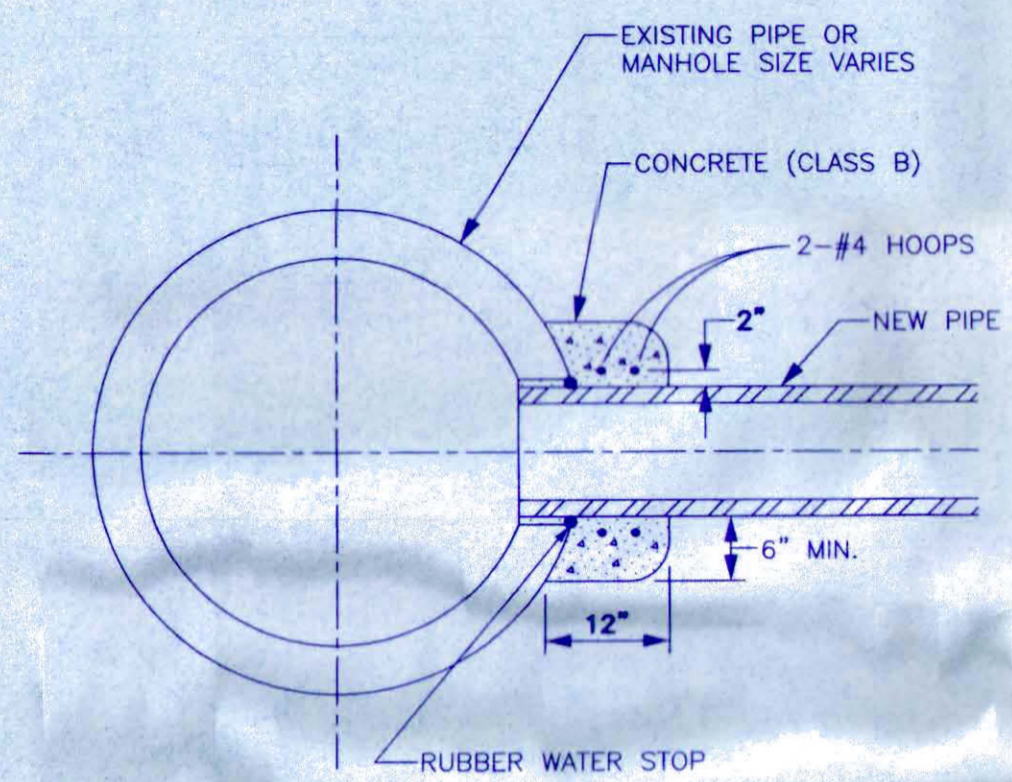
ATKINS AND ASSOCIATES, INC.  
518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

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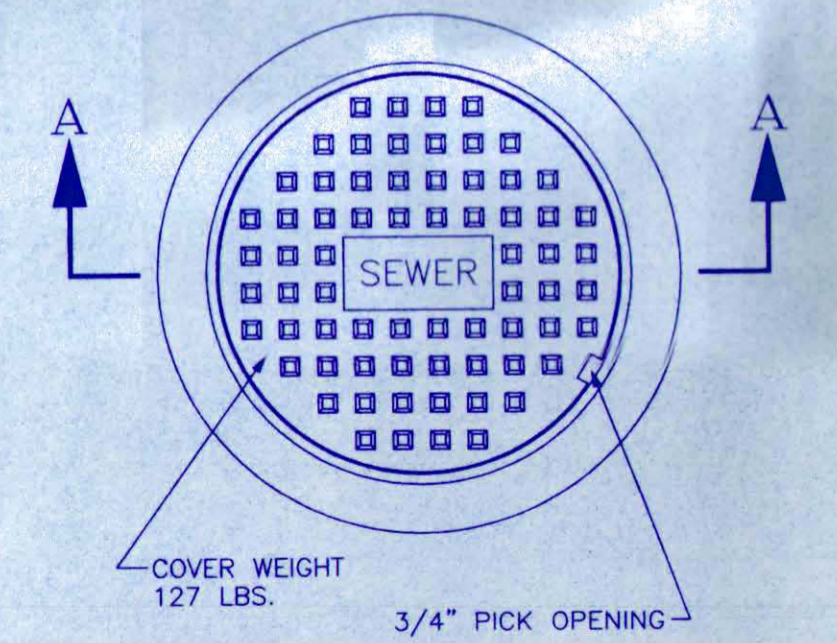


**SECTION B-B**

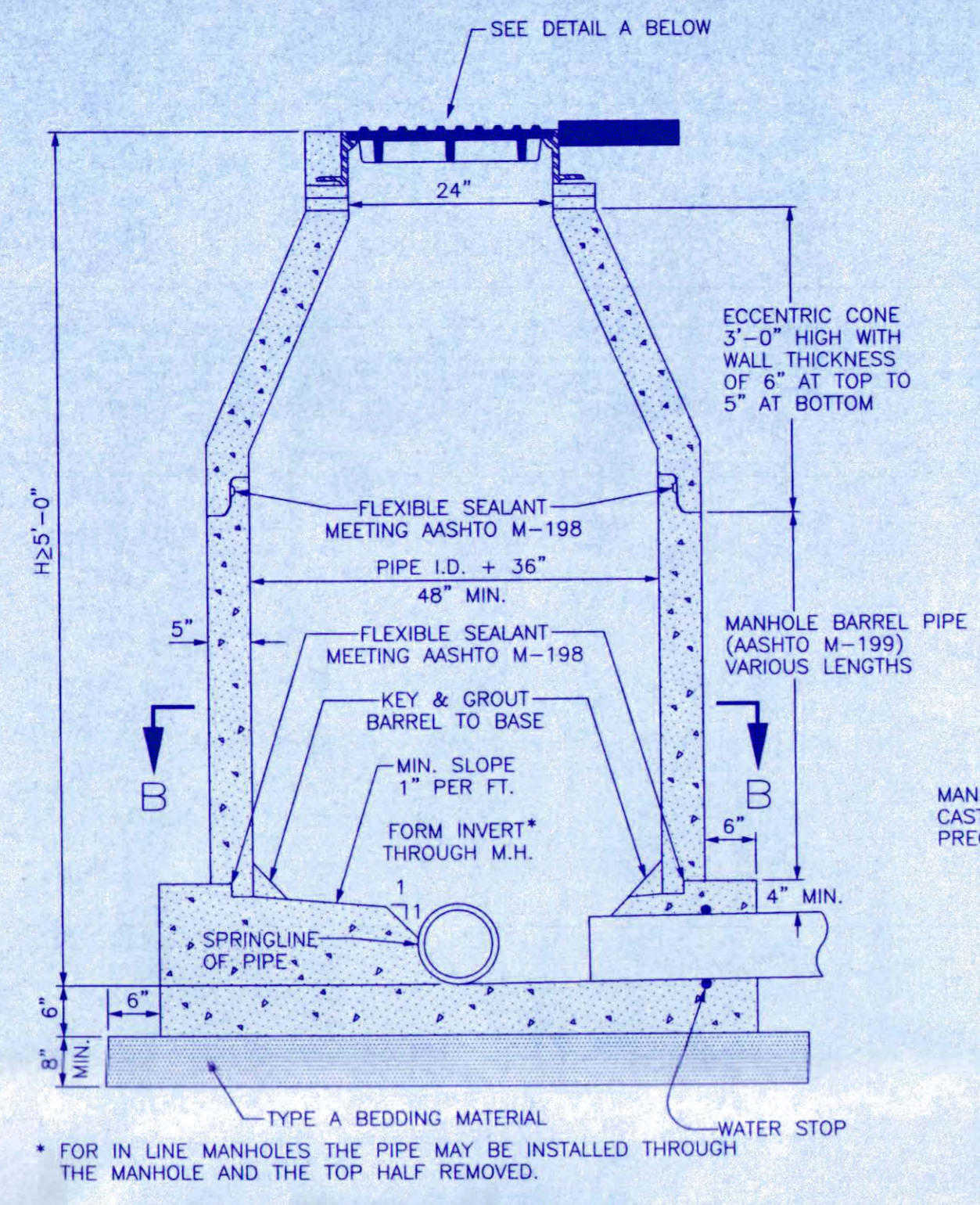


NOTE: IF THE HOLE IN THE EXISTING PIPE OR MANHOLE IS CORED, THE CONNECTION CAN BE MADE BY INSTALLING A FLEXIBLE PIPE TO MANHOLE CONNECTOR ("BOOT") AND THE CONCRETE ENCASEMENT ELIMINATED.

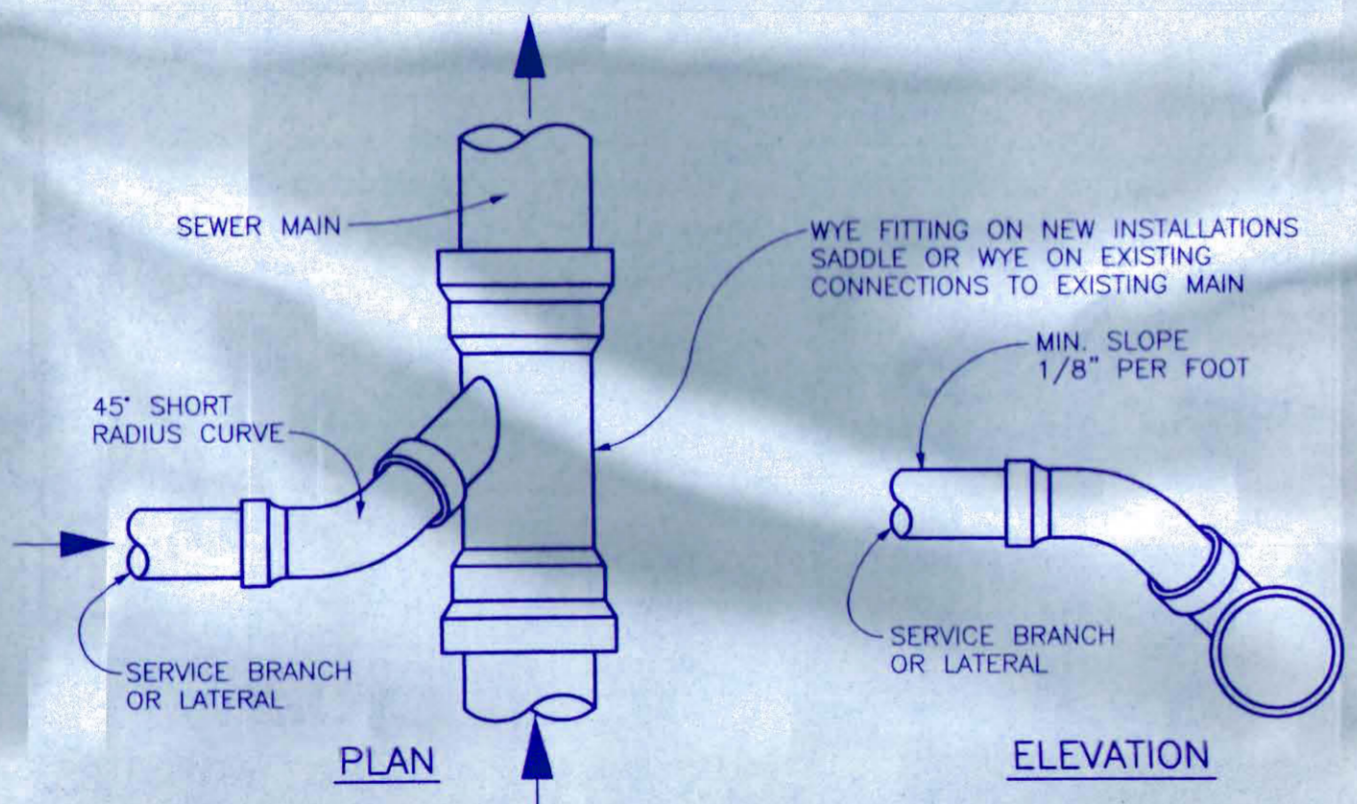
**CONNECTION TO EXISTING MANHOLE OR INLET BOX**



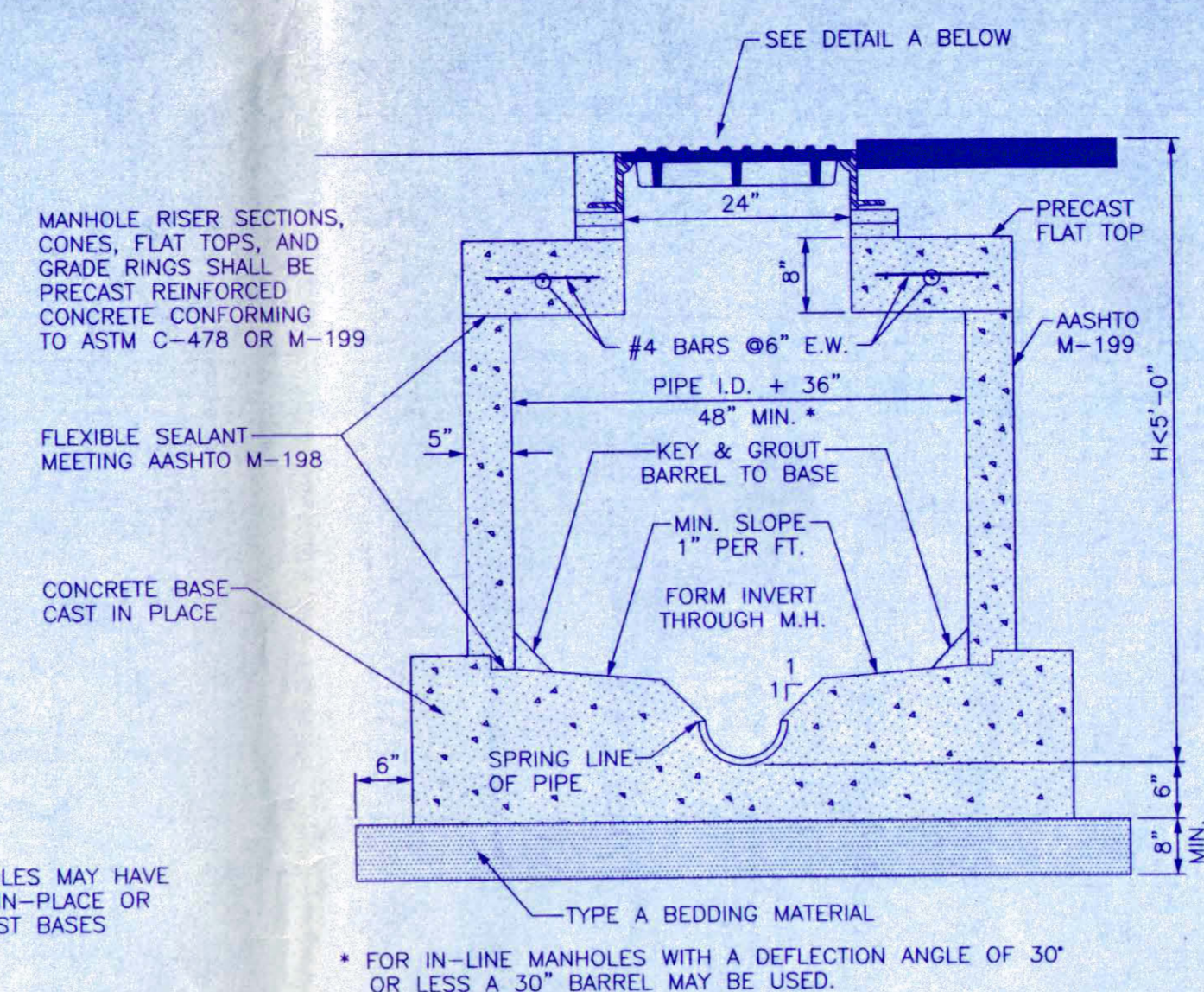
**STANDARD CAST IRON MANHOLE RING & COVER**



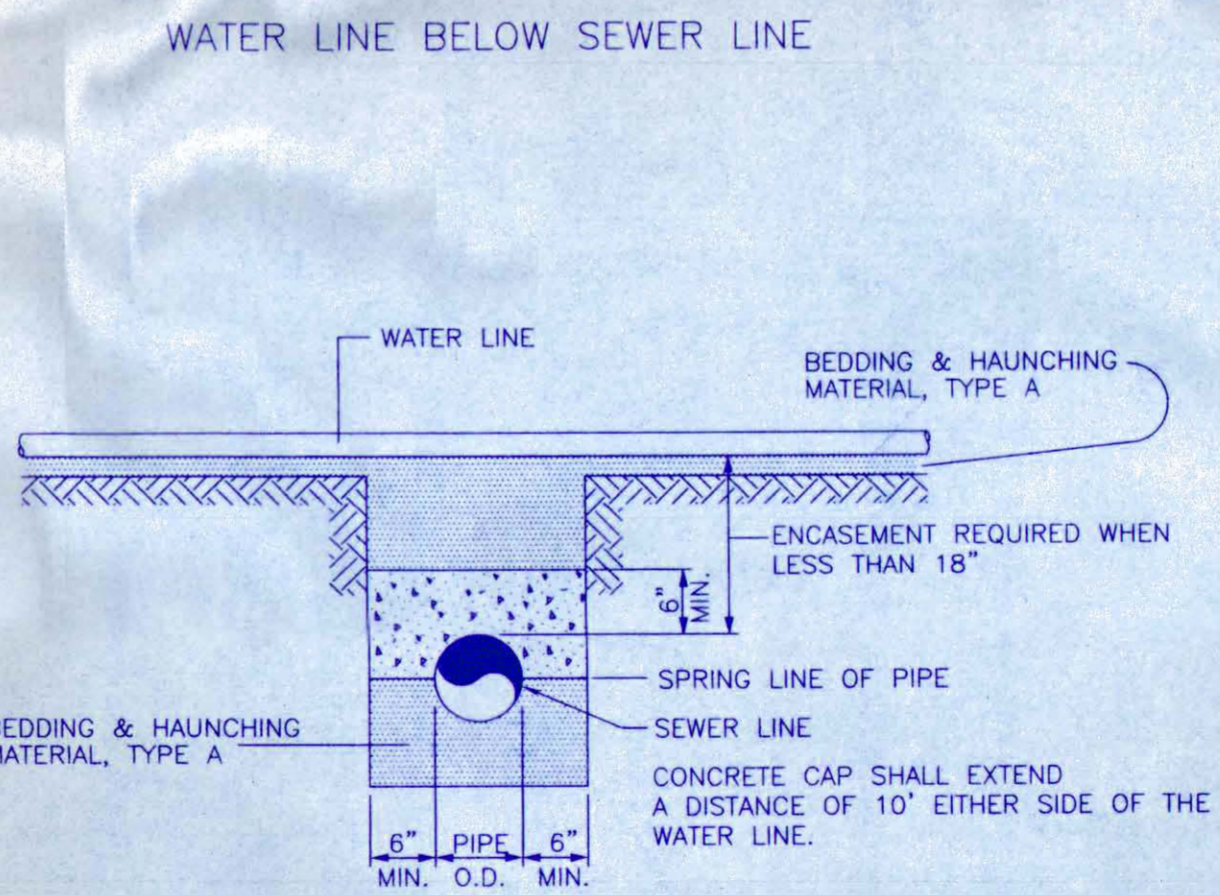
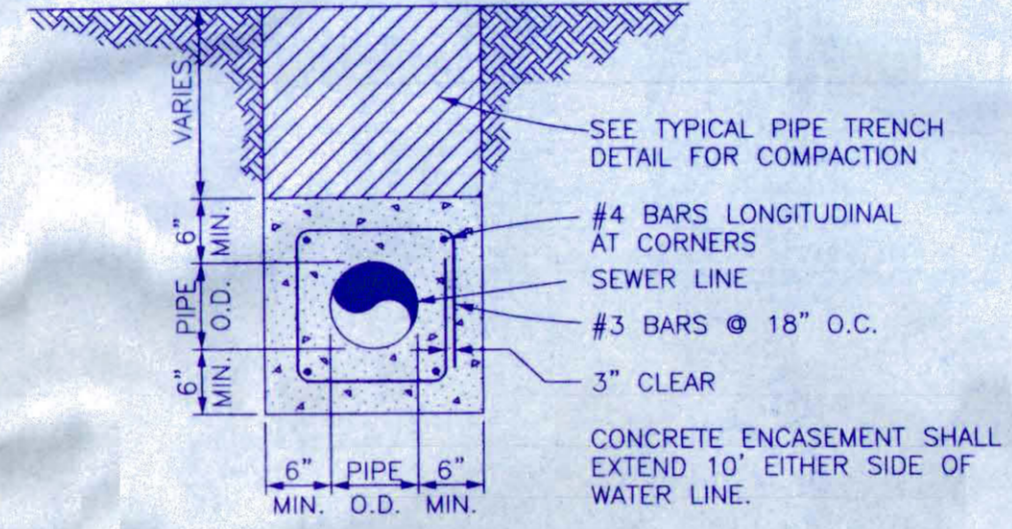
**STANDARD MANHOLE CAST-IN-PLACE BASE**



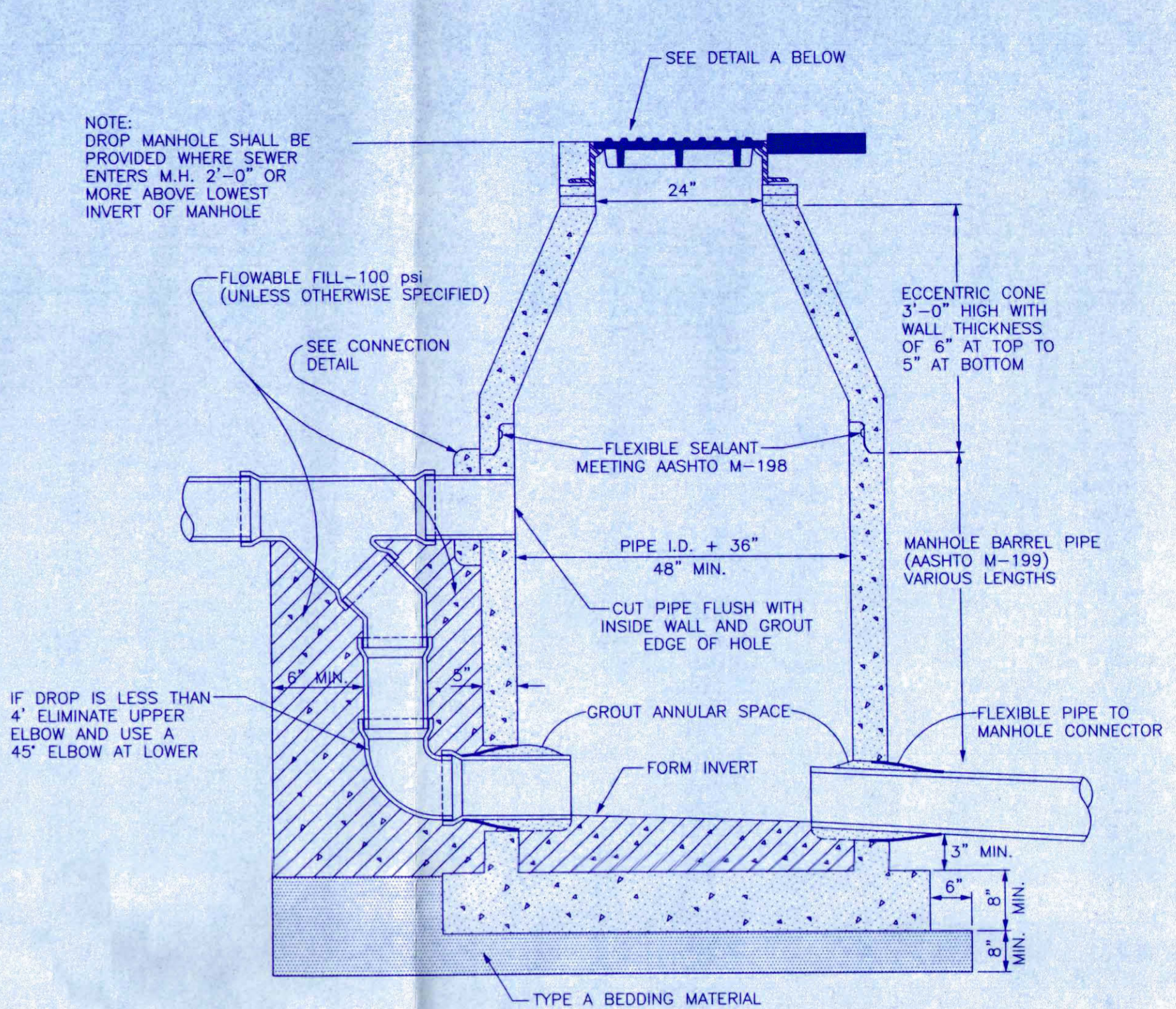
**TYPICAL SERVICE "Y" CONNECTION**



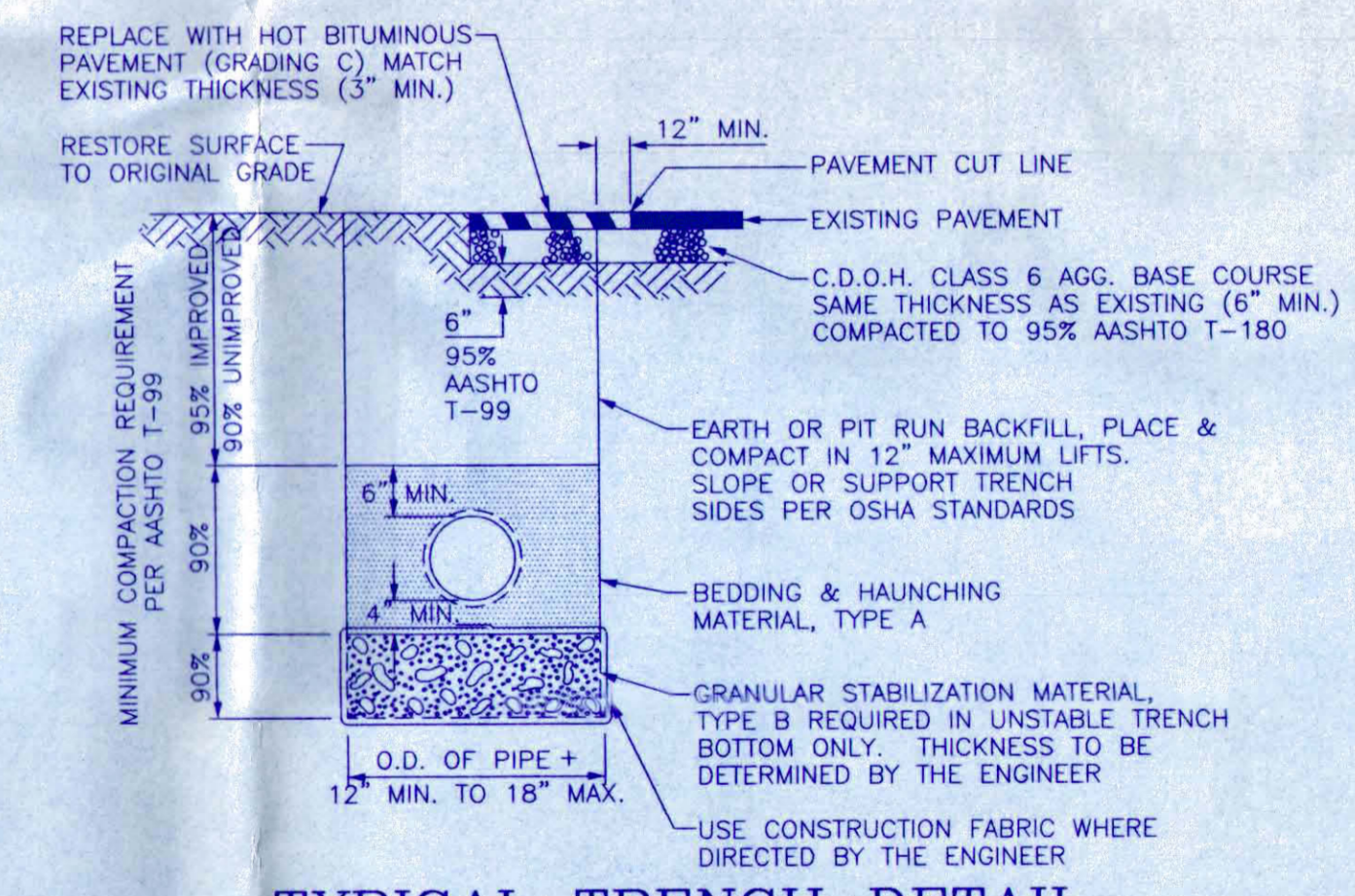
**STANDARD SHALLOW MANHOLE CAST-IN-PLACE BASE**



**CONCRETE ENCASEMENT DETAILS**

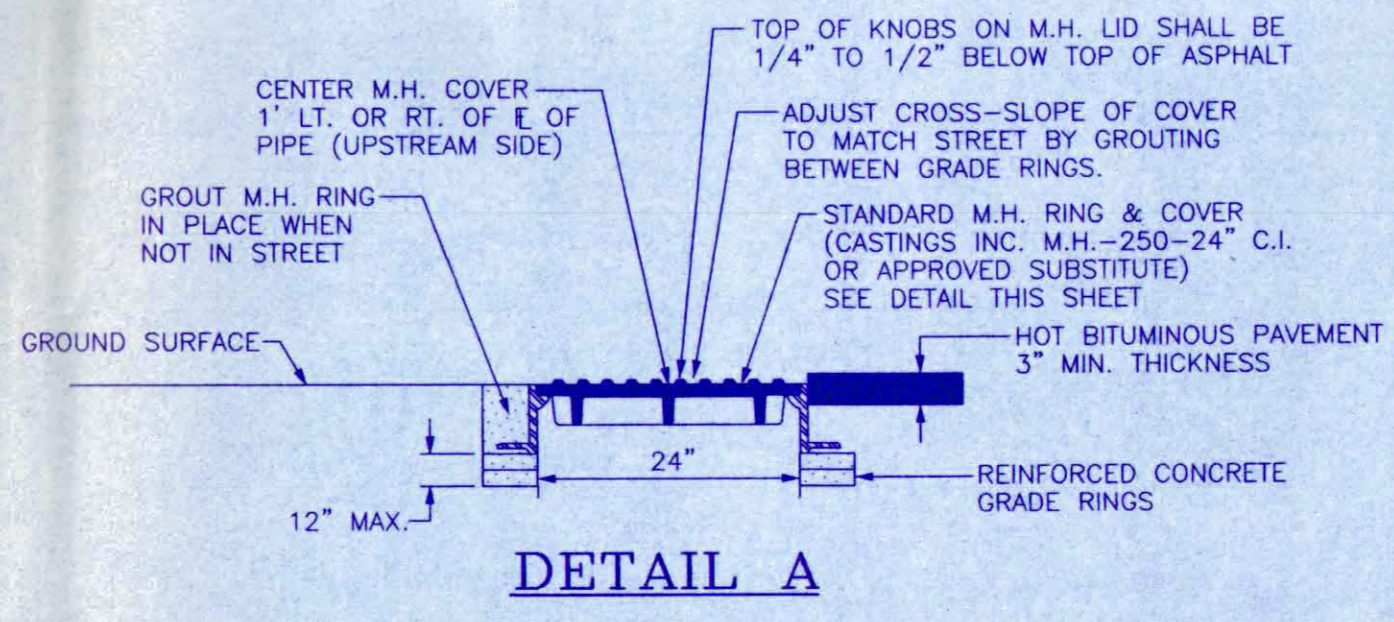


**DROP MANHOLE PRECAST BASE**



**TYPICAL TRENCH DETAIL**

- GENERAL NOTES:**
- CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B" (SECTION 601.02)
  - ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES, AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE TYPE V OR MODIFIED TYPE II PORTLAND CEMENT WITH LESS THAN 5% TRICALCIUM ALUMINATE.
  - MANHOLE RISER SECTIONS, CONES, FLAT TOPS, AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-478 OR AASHTO M-199.
  - BACKFILL AROUND MANHOLES AND OTHER STRUCTURES SHALL BE PLACED IN 8" MAX. LIFTS AND COMPACTED TO 95% AASHTO T-99.
  - ALL WORK SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND CITY SPECIFICATION.
  - MANHOLE CONE AND FLAT TOP SECTIONS SHALL BE POSITIONED SUCH THAT THE MANHOLE RING AND COVER IS CENTERED 1' LEFT OR RIGHT OF THE UPSTREAM FLOW LINE.
  - IF THE MANHOLE SECTIONS ARE FURNISHED WITH STEPS THEY SHALL BE INSTALLED IN VERTICAL ALIGNMENT WITH THE RING AND COVER.



**DETAIL A**

SIEVE SIZE	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES		
	PIPE BEDDING & HAUNCHING MATERIAL (TYPE A)	GRANULAR STABILIZATION MATERIAL (SCREENED OR CRUSHED ROCK TYPE B)	PIT RUN AGGREGATE (TO BE USED WHERE SPECIFIED OR DIRECTED BY THE ENGINEER)
8 INCH	---	---	100
2 INCH	---	100	---
1 INCH	100	---	---
NO 4	---	15 MAX	30 MAX
NO 200	20 MAX	---	---

ALL BACKFILL MATERIAL SHALL BE PLACED FULL WIDTH IN 12" MAX. LIFTS AND COMPACTED TO THE MIN. RELATIVE DENSITIES SHOWN

NOTE: NATIVE MATERIAL MAY BE USED IN LIEU OF GRANULAR BEDDING & HAUNCHING MATERIAL IF APPROVED BY THE CITY ENGINEER AND THE NATIVE MATERIAL IS IN COMPLIANCE WITH SIZE REQUIREMENTS FOR "TYPE A".

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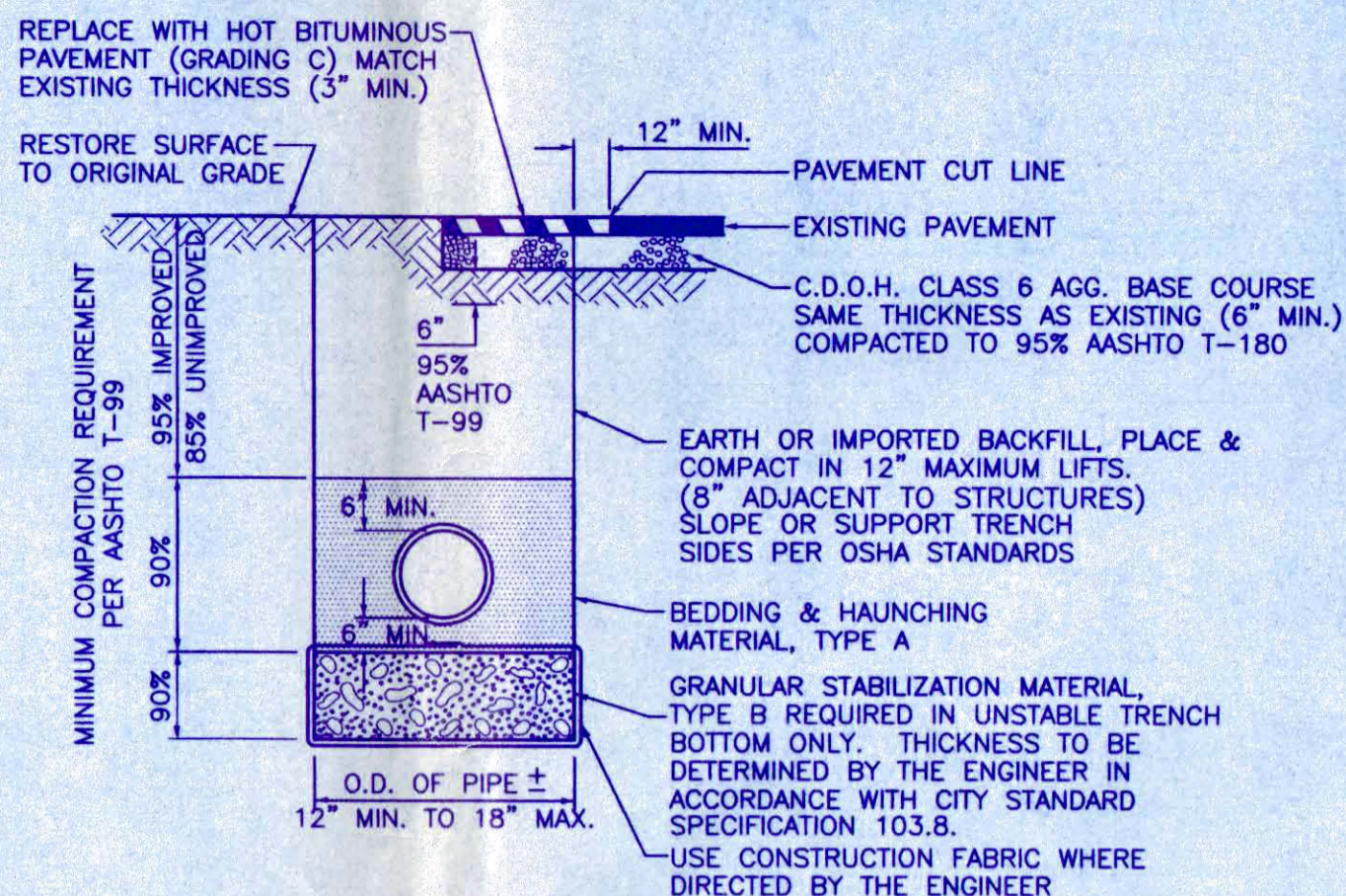
DRAWN BY: DDC CHECKED BY: RLA DATE: 04/05/99	PROJECT NO.: 9900B FILE NAME: GRWYND	SCALE: NA HORIZ: NA VERT: NA	<b>SANITARY SEWER DETAILS</b>
<b>GRAND VIEW SUBDIVISION, FILING NO. FIVE AND SIX</b>			<b>ATKINS AND ASSOCIATES, INC.</b> 518 28 ROAD, SUITE B-105, P.O. BOX 2702 GRAND JUNCTION, COLORADO 81502 970-245-6630 FAX 970-245-2355
SHEET <b>14</b> OF <b>15</b>			



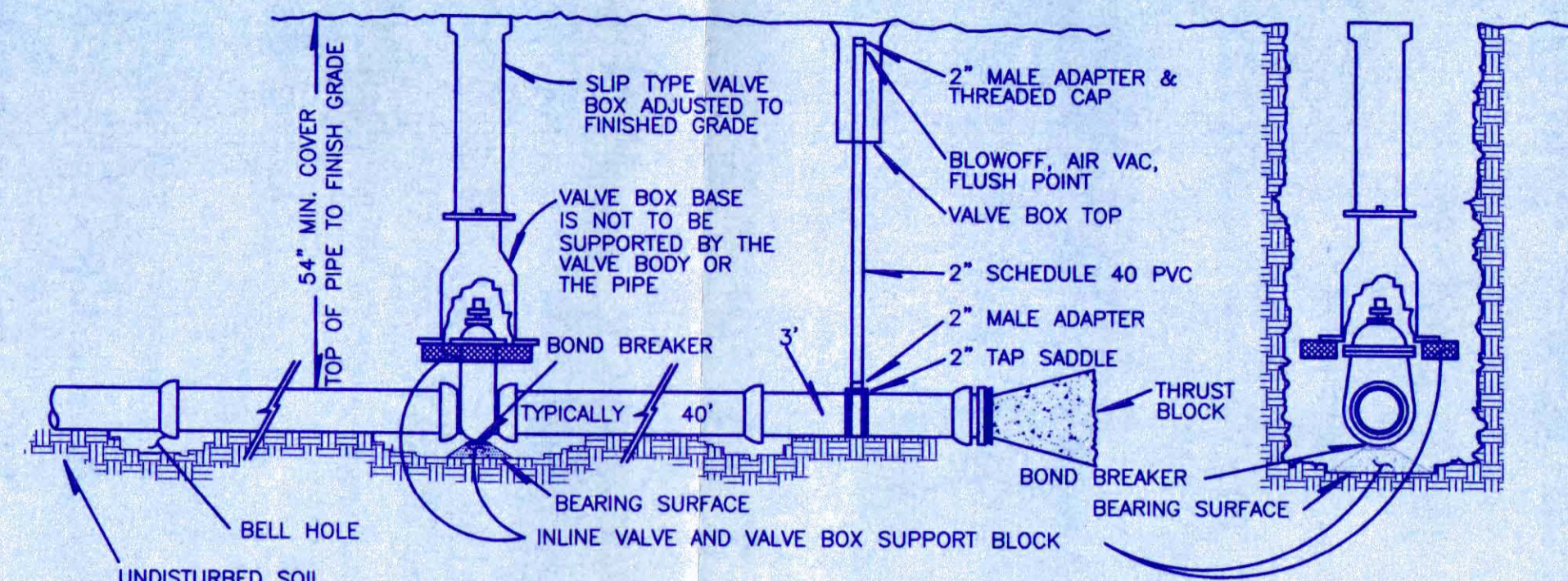
WATER LINES ARE TO BE INSTALLED ON THE NORTH OR EAST SIDE OF THE R.O.W., NO LESS THAN 2' NOR MORE THAN 3' FROM LIP OF CURB UNLESS OTHERWISE SHOWN.

ALL FERROUS METAL PIPE, VALVES, FITTINGS, AND APPURTENANCES SHALL BE WRAPPED WITH MINIMUM 4 MIL HIGH DENSITY POLYETHYLENE MATERIAL PRIOR TO BACKFILLING.

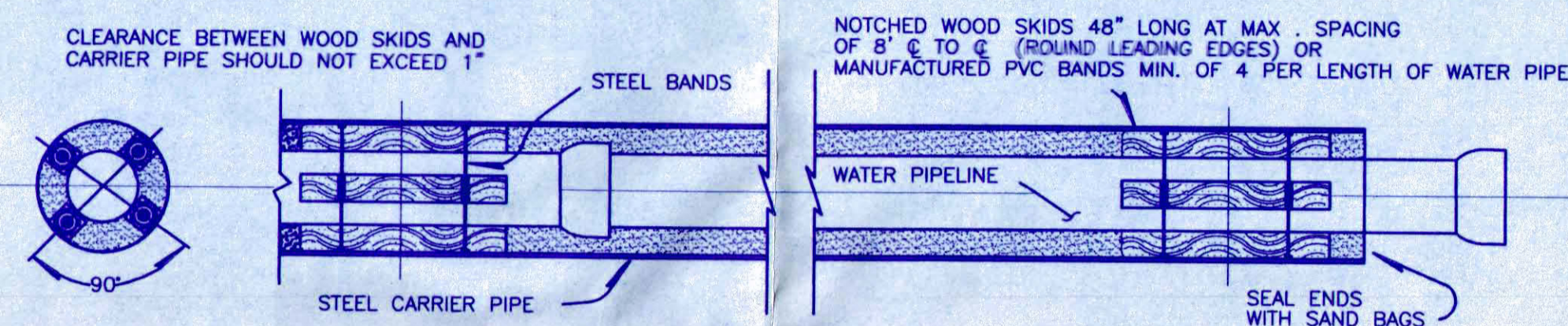
DIRECTIONAL CHANGES OF 11 1/4° OR MORE IN PIPE DIAMETERS 4" OR GREATER SHALL BE DUCTILE IRON FITTINGS WITH CONCRETE THRUST BLOCKING.



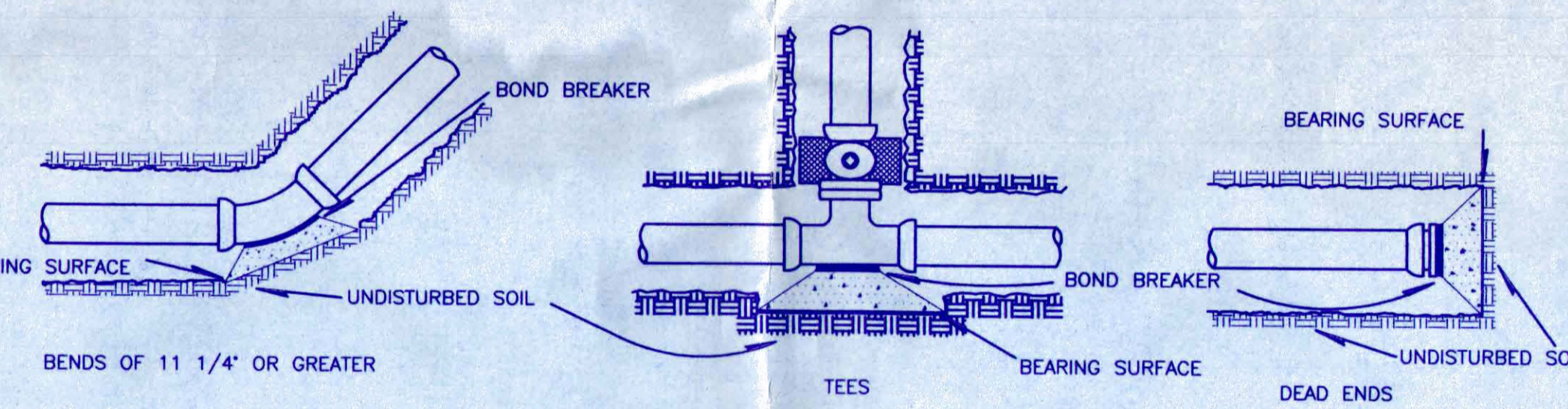
TRENCH DETAIL (FROM CITY OF GRAND JUNCTION STANDARD CONTRACT DOCUMENTS)



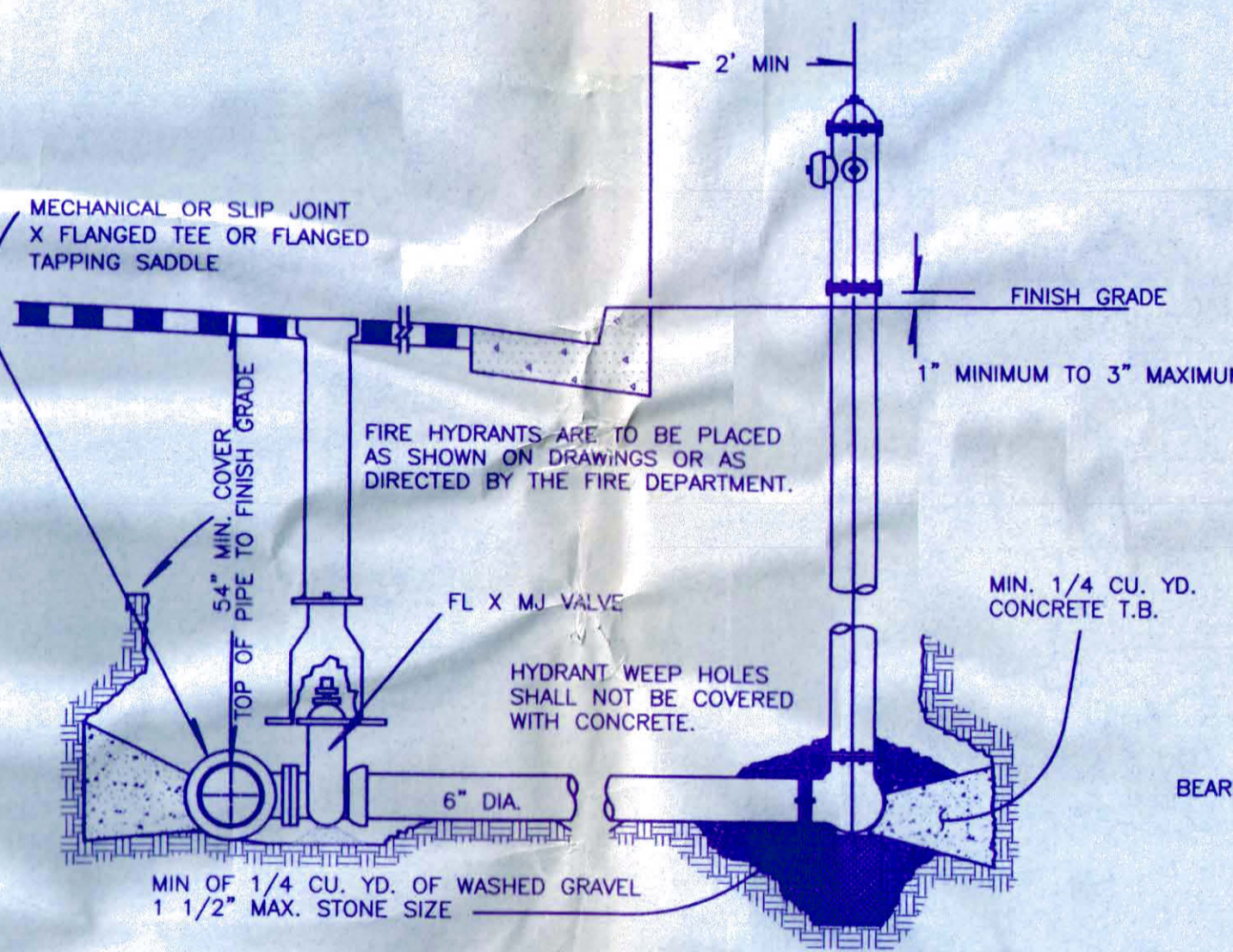
VALVE INSTALLATION & LINE TERMINATION



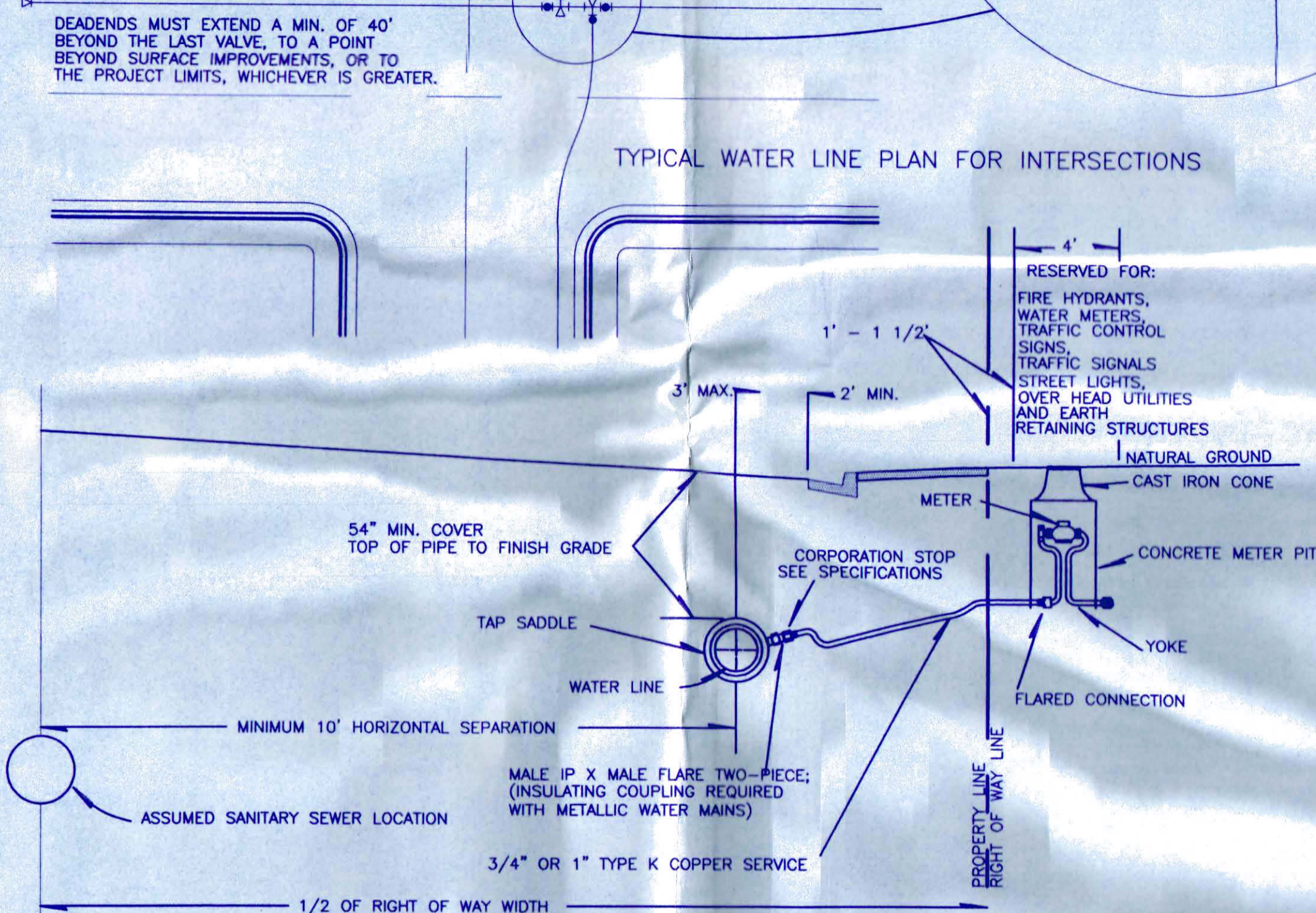
PIPELINE ENCASEMENT DETAIL



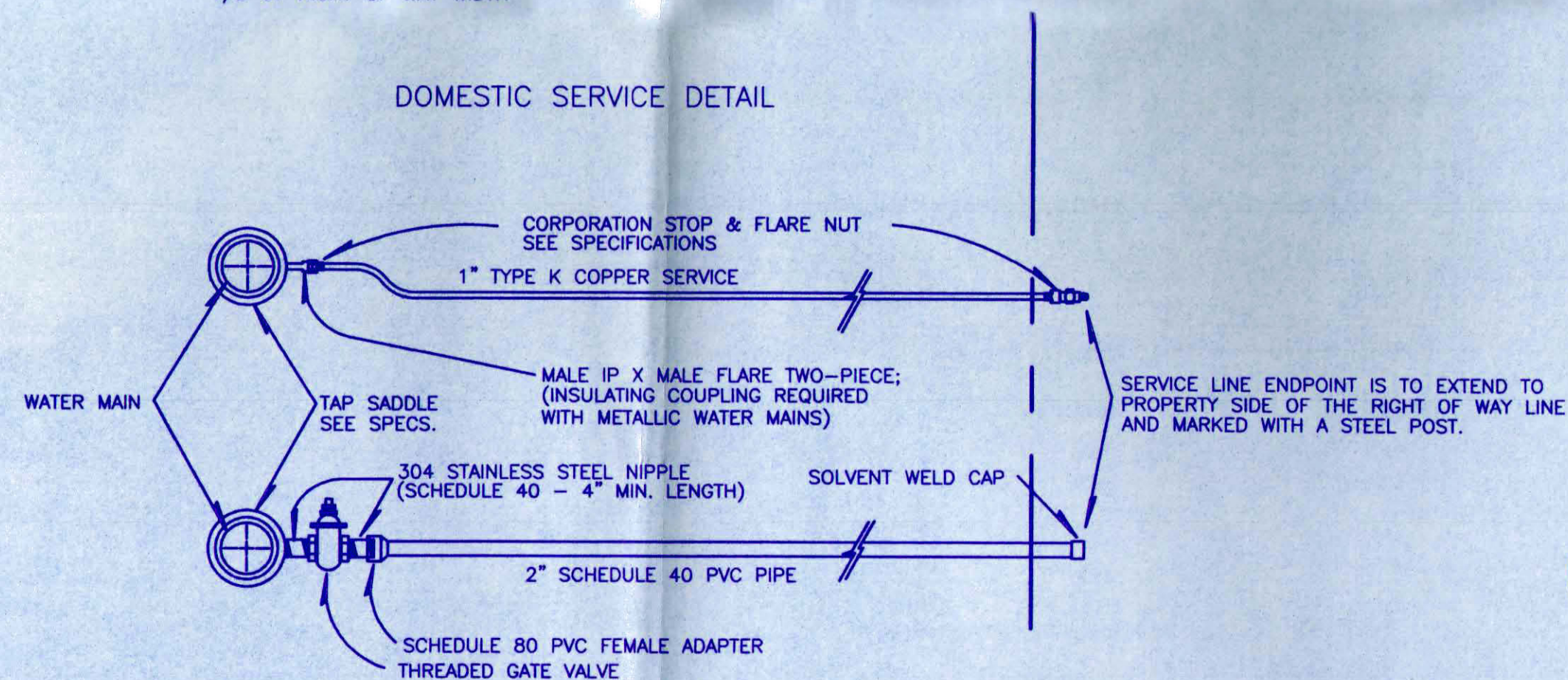
THRUST BLOCK DETAILS



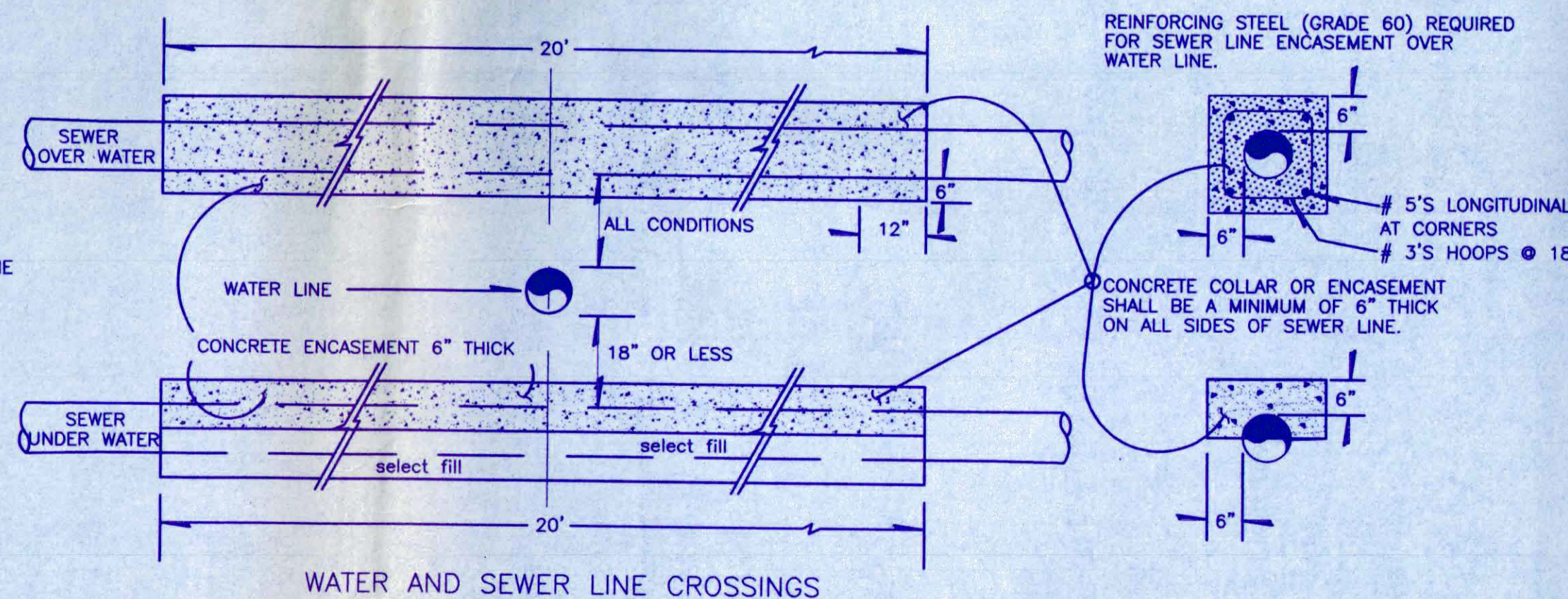
FIRE HYDRANT DETAIL



DOMESTIC SERVICE DETAIL



COMMERCIAL SERVICE DETAIL



WATER AND SEWER LINE CROSSINGS

TABLE FOR CONCRETE THRUST BLOCKING

SIZE	BEARING AREAS (IN SQ. FT.)				TEE BRANCH SIZE AND DEAD ENDS
	BENDS				
	90°	45°	22 1/2°	11 1/4°	
6	4.0	2.2	1.1	0	2.8
8	7.1	3.8	2.0	1.0	5.0
10	11.1	6.0	3.0	1.5	7.8
12	16.0	8.6	4.4	2.2	11.3
14	21.7	11.8	6.0	3.0	15.4
16	28.4	15.3	8.0	4.0	20.0

F.H. THRUST BLOCKS SHALL BE A MIN. OF 1/4 CU. YD. IN MASS AND HAVE A MIN. BEARING AREA OF 5 SQ. FT.

AREAS GIVEN ARE BASED ON INTERNAL STATIC PRESSURE OF 100 P.S.I. AND SOIL BEARING CAPACITY OF 1,000 LBS. PER SQ. FT.  
AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F"  
F = ACTUAL SPECIFIED TEST PRESSURE IN HUNDREDS OF LBS.  
F = ACTUAL SOIL BEARING CAPACITY IN THOUSANDS OF LBS.

DESCRIPTION	DATE	DRAWING LAST MODIFIED	DATE	SCALE
REVISION		CHECKED BY R. TOOKER	DATE 3-9-95	PLAN
REVISION		APPROVED BY R. OHM	DATE 3-9-95	PROFILE
REVISION		FILED BOOK NO.	PAGE	HORIZ. N/A

UTE WATER CONSERVANCY DISTRICT  
STANDARD DETAIL SHEET

WATER DETAILS ACQUIRED FROM  
UTE WATER CONSERVANCY DISTRICT

DRAWN BY: DDC  
CHECKED BY: RLA  
DATE: 04/21/99  
PROJECT NO.: 99008  
FILE NAME: GRWATD

WATER DETAILS

GRAND VIEW SUBDIVISION,  
FILING NO. FIVE AND SIX

ATKINS AND ASSOCIATES, INC.

518 28 ROAD, SUITE B-105, P.O. BOX 2702  
GRAND JUNCTION, COLORADO 81502  
970-245-6630 FAX 970-245-2355

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