



**PLANNING COMMISSION AGENDA
CITY HALL AUDITORIUM, 250 NORTH 5TH STREET
TUESDAY, FEBRUARY 14, 2012, 6:00 PM**

Call to Order

Welcome. Items listed on this agenda will be given consideration by the City of Grand Junction Planning Commission. Please turn off all cell phones during the meeting.

If you wish to speak, please sign in prior to coming up to the podium. Sign in sheets are located at the back of the auditorium. In an effort to give everyone who would like to speak an opportunity to provide their testimony, we ask that you try to limit your comments to 3-5 minutes. If someone else has already stated your comments, you may simply state that you agree with the previous statements made. Please do not repeat testimony that has already been provided. Inappropriate behavior, such as booing, cheering, personal attacks, applause, verbal outbursts or other inappropriate behavior, will not be permitted.

Copies of the agenda and staff reports are located at the back of the Auditorium.

Announcements, Presentations and/or Prescheduled Visitors

Consent Agenda

Items on the consent agenda are items perceived to be non-controversial in nature and meet all requirements of the Codes and regulations and/or the applicant has acknowledged complete agreement with the recommended conditions.

The consent agenda will be acted upon in one motion, unless the applicant, a member of the public, a Planning Commissioner or staff requests that the item be removed from the consent agenda. Items removed from the consent agenda will be reviewed as a part of the regular agenda. Consent agenda items must be removed from the consent agenda for a full hearing to be eligible for appeal or rehearing.

1. Minutes of Previous Meetings

Approve the minutes of the January 10, 2012 regular meeting.

Attach 1

2. Brookwillow Village Planned Development – Request for Extension [Attach 2](#)

Request a two year extension of the approved Preliminary Planned Development Plan to develop the final phase consisting of 5.116 acres in a Planned Development (PD) zone district.

FILE #: PP-2004-130

PETITIONER: Darin Carei

LOCATION: 650 24 1/2 Road

STAFF: Lori Bowers

3. Red Rocks Valley Planned Development – Request for Extension [Attach 3](#)

Request a recommendation of approval to City Council to amend the approved Phasing Schedule in the Planned Development Ordinance for Red Rocks Valley Planned Development (PD) zone district.

FILE #: PP-2006-217

PETITIONER: Kirk Rider – Rider & Quesenberry, LLP

LOCATION: South Camp Road & Monument Road

STAFF: Lori Bowers

4. Mobility Auto Center CUP – Conditional Use Permit [Attach 4](#)

Request approval of a CUP to allow outdoor storage and display in the front half of the property on 0.314 acres in a C-1 (General Commercial) zone district.

FILE #: CUP-2011-1290

PETITIONER: Paul Harmon – Mobility Auto Center LLC

LOCATION: 215 South 15th Street

STAFF: Senta Costello

*** END OF CONSENT CALENDAR ***

*** ITEMS NEEDING INDIVIDUAL CONSIDERATION ***

Public Hearing Items

On the following items the Grand Junction Planning Commission will make the final decision or a recommendation to City Council. If you have an interest in one of these items or wish to appeal an action taken by the Planning Commission, please call the Planning Division (244-1430) after this hearing to inquire about City Council scheduling.

5. North Seventh Street Historic Residential District – Planned Development – Amendment; and

Text amendment to Section 21.07.040 – Zoning Code Amendment [**Attach 5**](#)

Request a recommendation of approval to City Council to (1) amend Ordinance No. 4403 to establish a new Plan for the North Seventh Street Historic Residential District Planned Development, including the North Seventh Street Historic Residential District Guidelines and Standards, to maintain and enhance the historic character of those properties and to apply those same Guidelines and Standards in an advisory manner to properties located at 327, 337 and 310 North 7th Street; and (2) amend the Zoning and Development Code to authorize the Grand Junction Historic Preservation Board to review and approve applications for construction/alteration to sites and/or structures within the entire District, located on North 7th Street between Hill Avenue and White Avenue.

FILE #: PLD-2012-80 and ZCA-2012-107

PETITIONER: Seventh Street Historic Residential District Neighborhood

LOCATION: North 7th Street between Hill Avenue and White Avenue

STAFF: Kristen Ashbeck

6. Future Land Use Map Amendments #2 – Comprehensive Plan Amendment

[**Attach 6**](#)

Request a recommendation of approval to City Council to amend the Grand Junction Comprehensive Plan Future Land Use Map in various areas throughout the community to resolve conflicts between the current zoning of certain parcels and the Future Land Use designations. If adopted, the proposed amendments will be reflected as changes to the Comprehensive Plan Blended Residential Land Use Categories Map.

FILE #: CPA-2011-1324

PETITIONER: City of Grand Junction

LOCATION: Various areas throughout the City

STAFF: Greg Moberg

7. Blue Polygon – Area 16 Rezone – Rezone

[**Attach 7**](#)

Request a recommendation of approval to City Council to rezone 4.952 acres from an R-E (Residential Estate) to an R-8 (Residential 8 du/ac) zone district.

FILE #: RZN-2011-1151

PETITIONER: City of Grand Junction

LOCATION: 3015 D Road

STAFF: Brian Rusche

8. Blue Polygon – Area 11 Rezone – Rezone

[**Attach 8**](#)

Request a recommendation of approval to City Council to rezone 201 parcels totaling 37.25 +/- acres from an R-8 (Residential 8 du/ac) to an R-12 (Residential 12 du/ac) zone district.

FILE #: RZN-2011-1212

PETITIONER: City of Grand Junction

LOCATION: 2520 Gunnison Avenue and 200 other parcels

STAFF: Scott Peterson

9. Blue Polygon – Area 2 Rezone – Rezone

[Attach 9](#)

Request a recommendation of approval to City Council to rezone 14 parcels totaling 64.055 acres from an R-12 (Residential 12 du/ac) to an R-24 (Residential 24 du/ac) zone district.

FILE #: RZN-2011-1216

PETITIONER: City of Grand Junction

LOCATION: 2427 G Road and 13 other parcels

STAFF: Senta Costello

10. Blue Polygon – Area 4 Rezone – Rezone

[Attach 10](#)

Request a recommendation of approval to City Council to rezone 8 parcels from an R-2 (Residential 2 du/ac) to an R-4 (Residential 4 du/ac) zone district to be in conformance with the Comprehensive Plan.

FILE #: RZN-2011-1219

PETITIONER: City of Grand Junction

LOCATION: 2608 & 2612 G Road and 719, 720, 721, 725 & 726 26 Road and 1 other parcel

STAFF: Lori Bowers

General Discussion/Other Business

Nonscheduled Citizens and/or Visitors

Adjournment

Attach 1
Minutes of Previous Meetings

GRAND JUNCTION PLANNING COMMISSION
JANUARY 10, 2012 MINUTES
6:00 p.m. to 8:00 p.m.

The regularly scheduled Planning Commission hearing was called to order at 6:00 p.m. by Chairman Wall. The public hearing was held in the City Hall Auditorium.

In attendance, representing the City Planning Commission, were Reginald Wall (Chairman), Lynn Pavelka (Vice-Chairman), Pat Carlow, Ebe Eslami, Gregory Williams, Lyn Benoit and Keith Leonard.

In attendance, representing the City's Public Works and Planning Department – Planning Division, were Lisa Cox (Planning Manager), Greg Moberg (Planning Services Supervisor), Lori Bowers (Senior Planner), Brian Rusche (Senior Planner), Senta Costello (Senior Planner), Scott Peterson (Senior Planner) and Rick Dorris, Development Engineer.

Also present was Jamie Beard (Assistant City Attorney).

Lynn Singer was present to record the minutes.

There were 10 interested citizens present during the course of the hearing.

ANNOUNCEMENTS, PRESENTATIONS AND/OR VISITORS

There were no announcements, presentations and/or visitors.

Consent Agenda

1. Minutes of Previous Meetings

Approve minutes of the September 27, 2011 Joint City and County Planning Commission Meeting.

2. McDonald's Addition CUP – Conditional Use Permit

Request approval to amend a previously approved Conditional Use Permit (CUP-2004-200) to allow for the expansion of an existing McDonald's restaurant on 0.894 acres in a C-1 (Light Commercial) zone district.

FILE #: CUP-2011-1281

PETITIONER: McDonald's

LOCATION: 1212 North Avenue

STAFF: Lori Bowers

3. Text Amendment to Section 21.08.020(b)(1) 20% expansion limit – Zoning Code Amendment

Text amendment to Section 21.08.020(b)(1) to eliminate the 20% limitation on expansion of nonconforming, nonresidential land uses.

FILE #: ZCA-2011-1313

PETITIONER: City of Grand Junction

LOCATION: Citywide

STAFF: Lisa Cox

4. Text Amendment to Section 21.06.010(f) – Zoning Code Amendment

Text amendment to Section 21.06.010(f) to eliminate a requirement that a developer underground existing overhead utilities along alleys and clarifies when a fee in lieu of construction can be paid for underground utilities.

FILE #: ZCA-2011-1315

PETITIONER: City of Grand Junction

LOCATION: Citywide

STAFF: Lisa Cox

MOTION:(Commissioner Pavelka) “I move we approve the Consent Agenda as read.”

Commissioner Benoit seconded the motion. A vote was called and the motion passed unanimously by a vote of 7 - 0.

Public Hearing Items

Lisa Cox, Planning Manager, stated that the next four items on the agenda were concerning proposed rezones of particular areas in the community. Ms. Cox stated that there would be a series of City initiated rezone applications to be brought forward in the next two months. She explained that in February 2010, the City and Mesa County adopted the Comprehensive Plan. As a part of that Plan, there were new land use designations created to implement the vision of the new Plan.

At the time that the Comprehensive Plan was adopted, the City did not rezone property to be consistent with the new land use designations which resulted in a conflict between the Comp Plan and the zoning of certain property. After working with the Plan for approximately 18 months City Council determined that the City should resolve the conflict between the Comprehensive Plan and the zoning of certain properties in the City. Resolving the conflict by amending the Comprehensive Plan or by rezoning property to support the Plan would support economic development in the community by eliminating the need for a public hearing process when the property is ready to develop.

Ms. Cox then provided an overview of the public process that each of the areas to be rezoned had gone through. For property to be rezoned, individual property owners were sent a letter explaining why the City was initiating a change of zoning for their property. Notification cards were mailed to residents living within 500 feet of property to be rezoned. An Open House was scheduled to provide an opportunity for citizens and

property owners to learn more about the proposed rezones, provide comments or to ask questions of City staff. The letters and notification cards outlined the public participation process and the proposed public hearing schedule and information regarding the proposed rezone areas was posted to the City's website.

QUESTIONS

Commissioner Eslami asked if the City process was not done, could the property owner themselves ask for the rezone. Ms. Cox said that was correct and confirmed that the City had undertaken the proposed rezones to facilitate development. She stated that there were no proposed development plans related to any of the areas or properties at this time and that the City was taking steps to resolve the conflicts now to avoid having to do it later.

Commissioner Benoit asked if there was a development planned would it receive a full review. Ms. Cox said it would.

Chairman Wall asked how the areas that were fully developed now would be impacted. Ms. Cox answered that by resolving the conflicts now with the proposed rezones, it could potentially give people more opportunity for development of their property.

Commissioner Carlow asked if this was something that simply reflected reality. Ms. Cox said in many cases property would be up-zoned so that the zoning supported the vision of the Comprehensive Plan.

A map which showed all of the various areas that would be rezoned was provided. Ms. Cox pointed out that only four of those areas would be considered this evening.

5. Rezone Area 14 – Rezone

Request a recommendation of approval to City Council to rezone two parcels totaling 5.939 acres from an R-2 (Residential 2 du/ac) to an R-4 (Residential 4 du/ac) zone district.

FILE #: RZN-2011-1148

PETITIONER: City of Grand Junction

LOCATION: 355 29 Road and 2892 River Street

STAFF: Brian Rusche

STAFF'S PRESENTATION

Brian Rusche, Senior Planner, Public Works and Planning Department, identified the area subject to this proposed rezone as Area 14 – 355 29 Road and 2892 River Street. The request was from an R-2 to R-4. He said the area was annexed into the City in 1999 and subdivided into 4 lots – known as the Weaver Miner Subdivision. Two of the lots were part of the request.

He said that at the time the property was annexed, the designation was Residential Medium Low. Current land uses on the site were single family and one lot is undeveloped. The Comprehensive Plan designated the properties as part of the

Residential Medium category of 4 to 8 dwelling units per acre. The requested rezone would bring them into conformance with the Comprehensive Plan and noted that the R-4 designation was consistent with the previous designation of Residential Medium Low. He advised that the remaining properties outside the subdivision did not have City zoning as they have not yet been annexed but at the time of annexation zoning would be assigned consistent with the Comprehensive Plan.

Mr. Rusche next discussed some of the feedback received concerning this request. He said that an e-mail had been included in the packet which expressed concern over future development, specifically with respect to high voltage overhead lines. He outlined the criteria for rezoning and pointed out that the location of the property on 29 Road and the opening of the 29 Road Bridge provided an opportunity for additional housing in this portion of the City. The rezone of the property from R-2 to R-4 would provide an opportunity for additional density, an opportunity for additional development in an area that could be served by and would allow for the efficient use of City services. The rezone would also bring it into conformance with the Comprehensive Plan.

PUBLIC COMMENT

Bob Torbet, 2877 C 1/2 Road, questioned the need for higher density in that area. He stated that quite often he had difficulty getting onto 29 Road off of C½ Road and believed it would get worse if it were to tie into I-70. He thought that if the density was to be increased, either a stop light or turn lanes should be considered to get back onto 29 Road.

QUESTIONS

Commissioner Carlow asked if the surrounding area was County. Mr. Rusche identified the four lots and stated the bulk of the area was still zoned Rural in Mesa County with the closest subdivision, White Willows, to be accessed off of D Road.

Commissioner Carlow asked if the expectation of the existing County property would eventually be City. Mr. Rusche said that was correct and stated that one of the citizens who attended the open house was on the east side of 29 Road and essentially asked when they would be included in this. He answered that it would be at the time of annexation.

PUBLIC COMMENT

(Chairman Wall re-opened the Public Comment portion of the hearing.)

Russell Jones, 2890 C 1/2 Road, said the Comprehensive Plan was the City's projection of what should be done and said that he and others don't want that done. He said that it would affect their residential peace and believed there was not a need right now for residential growth but perhaps commercial growth. Chairman Wall said the plan was adopted as a City and this process was just to make the plan consistent. He said many areas were not zoned according to the Comprehensive Plan. He added that just because the zoning in this area may be R-4, that did not necessarily mean that now 4 buildings per acre would be built.

Chairman Wall stated that it was important as a City to be consistent so when people decided to do business here, there was a consistent process. He added that there were no plans presently in place for the lots. Also, if a project were to come forward, it would be completely reviewed and it would have to be compatible with the neighborhood so there would still be a long process for someone to go through. Mr. Jones said that this explanation to him reiterated his concerns about the Comprehensive Plan.

Commissioner Wall advised that the Comprehensive Plan was a projection and a goal of how the City wanted things to be built or grow. Commissioner Pavelka added that the City had held numerous public meetings and exercises to get the input of the public which was reflected in the Comprehensive Plan. Russell Jones stated that the public input was very small and questioned how much the people had interacted on it.

Mr. Rusche added that the Comprehensive Plan was a 25-year plan adopted in 2010. The lead up to its adoption by both the City of Grand Junction as well as Mesa County included approximately 300 meetings and encompassed approximately 30 months of development of the plan. With respect to the zoning, in this particular case, the property was zoned prior to the Comprehensive Plan and under the previous Growth Plan; there were a large number of housing units anticipated based on both historic and projected growth. He said that the recommendation was to go up one step – from 2 dwelling units per acre to 4 dwelling units per acre, which would also be the maximum permitted on the property.

He clarified that the standards for an R-4 zone did not permit apartments. The standards of the zoning category dictate how large the lots needed to be and how much separation between the homes and other developments were needed. He pointed out that the majority of properties zoned R-4 did not have 4 dwelling units per acre. Mr. Rusche said that with respect to the public process, all of the notifications were sent regardless of jurisdiction. Also, an open house was held and staff had also been available to discuss any concerns.

QUESTIONS

Commissioner Carlow asked if the nearby County property would eventually become City R-4. Mr. Rusche stated that R-4 zoning fit within the two categories that were north of C 1/2 Road. He pointed out that on the east side of 29 Road, the configuration of the properties was a little different whereas all of those properties were very narrow and long but put together they had more direct access onto 29 Road. The Comprehensive Plan in this case envisioned that being an area for additional density most likely due to the configuration of the lots. He added that while this was the only site currently in the City limits, if those County properties were to annex and development proposed, they too would be zoned at a minimum of R-4.

Commissioner Leonard asked what the density allowance for County RSF-R was. Mr. Rusche believed that RSF-R was one unit per five acres. He added that many of the developments already exceeded the density within the RSF-R.

Commissioner Leonard asked if it was the County's policy to let individual property owners come in for a rezoning or annexation process. Mr. Rusche said that any development of any significance would require annexation which went back to the agreement made between the City and the County in the Persigo Agreement. He said that the splitting of a property or requesting more development would require annexation.

PUBLIC COMMENT

Bob Torbet did not believe it fit in the neighborhood at all. He said that area was basically all rural and did not understand the need to have this one particular area in the middle zoned R-4 for future expansion. He added that there was no R-4 adjoining the two parcels.

Russell Jones asked if the streets and other infrastructure had been taken into consideration as it diminished the size of the lots. Chairman Wall said that was alluded to earlier and gave the example that while a parcel may be zoned 4 units per acre, often times that parcel can only be developed to only 2 1/2 or 3. Mr. Jones advised that he had not received any invitation to an open house and the notice for this evening's hearing was the first notification he had received.

DISCUSSION

Commissioner Benoit spoke to the Comprehensive Plan and said he was very pleased to see the extensive coverage and the public opportunity afforded County-wide. Furthermore, a lot of work had gone into it and it was a diagram or a roadmap that could be used for decades to help bring it together. He also assured that safety would be considered for any development which would occur in the future.

Commissioner Pavelka reiterated that as the Comprehensive Plan became implemented and as developments came forth, they still would have to come before the Planning Commission, through City Council and they would have to meet the standards set in the Code. She added that the process was in place which would allow people to speak again too.

Chairman Wall said that he appreciated all of the public comment. He said that this particular zoning for this area made sense and it met all of the criteria that had been set forth for approval.

MOTION:(Commissioner Pavelka) "Mr. Chairman, I recommend that the Planning Commission forward a recommendation of approval for the requested zone, RZN-2011-1148, to City Council with the findings and the conclusions listed above."

Commissioner Carlow seconded the motion. A vote was called and the motion passed unanimously by a vote of 7 - 0.

6. Rezone Area 7 – Rezone

Request a recommendation of approval to City Council to rezone 4.753 acres from an R-8 (Residential 8 du/ac) to an R-24 (Residential 24 du/ac) zone district.

FILE #: RZN-2011-1157

PETITIONER: City of Grand Junction

LOCATION: 3032 North 15th Street

STAFF: Lori Bowers

STAFF'S PRESENTATION

Lori Bowers, Senior Planner, Public Works and Planning Department, addressed the Commission regarding the requested rezone of the property located at 3032 North 15th Street. She said the property was annexed into the City in 1972 as part of the 250 acre North Peach Annexation. The area was referred to as Nellie Bechtel Apartments. She added that there were 13 buildings on the site that contained 96 apartments and which was constructed in 1983.

The adopted Comprehensive Plan's Future Land Use Map changed the designation of this property to Residential High Mixed Use – 16 to 24 dwelling units per acre. Ms. Bowers said that the existing zoning on this parcel of R-8 was not allowed in areas designated for Residential High Mixed Use. The Blended Residential Land Use Map also showed this area as Residential High. Ms. Bowers said that existing zoning of R-8 was not reflective of the density actually on the ground. The density was 19.35 dwelling units per acre and this rezone would be helpful for the landowners because if something drastic were to happen on the site, this product could not be rebuilt with the R-8 zoning.

She said that one person showed up at the neighborhood meeting who was not in favor of the rezone. The main concern was that if Hilltop Properties bought the property, they would rebuild another large assisted living facility. The property owners also submitted a letter which stated that they were very much in favor of this rezone as it would eliminate the non-conformity of their existing site.

She concluded that the requested zone of R-24 was consistent with the goals and policies of the Comprehensive Plan and the pertinent review criteria of the Grand Junction Municipal Code had been met.

QUESTIONS

Commissioner Carlow asked if this property were to change hands and something of the same density was built, would they have to apply for a Special Use Permit. Lori Bowers said it would come in through a site plan review.

Commissioner Carlow asked if there were uses allowed in an R-24 that were not allowed in an R-8. Lori said that with this Residential High Mixed Use, the allowed zoning designations were R-16, R-24, R-O and B-1. There could be a modest amount

of service-oriented businesses allowed in the R-24 which could not exceed 10% of the development.

Chairman Wall asked if the request to rezone this to R-24 was simply to match what was already built there. Ms. Bowers confirmed that was correct.

PUBLIC COMMENT

John Ballagh, 620 Orange Grove Way, said that he was employed by a friend of Mr. Wheeler, the owner of the facility. He confirmed that they had received notification and had responded in writing with support. He added that the apartments were a viable project right now and they understood that without a doubt if there was a change to the configuration, it would have to come before the Planning Commission. He added the proposal was consistent with the adopted community-wide plan which conversely would prove that it was presently zoned in error.

DISCUSSION

Commissioner Carlow said that he could see no better reason to bring it into conformance than this particular item.

Chairman Wall agreed that this made complete sense to zone as it had already been built.

MOTION:(Commissioner Pavelka) “Mr. Chairman, I recommend that the Planning Commission forward a recommendation of approval for the requested rezone, RZN-2011-1157, to City Council with the findings and conclusions listed above.”

Commissioner Eslami seconded the motion. A vote was called and the motion passed unanimously by a vote of 7 - 0.

7. Rezone Area 3 – Rezone

Request a recommendation of approval to City Council to rezone three parcels totaling 6.79 +/- acres from an R-R (Residential – Rural) to an R-4 (Residential 4 du/ac) zone district and one parcel totaling 1.15 +/- acres from an R-R (Residential Rural) to an R-8 (Residential 8 du/ac) zone district.

FILE #: RZN-2011-1188

PETITIONER: City of Grand Junction

LOCATION: 708 25 1/2 Road, 2522 F 1/2 Road and 2543 G Road

STAFF: Scott Peterson

STAFF’S PRESENTATION

Scott Peterson, Senior Planner, Public Works and Planning Department, made a PowerPoint presentation on the rezone from R-R and R-4 and R-8, respectively, for 3 properties. The proposed rezones were located in the vicinity of 25 1/2 Road, G Road and F 1/2 Road with the current properties each containing a single-family detached house comprising a total area of 7.88 acres.

Mr. Peterson said that the Comprehensive Plan anticipated the need for additional dwelling units based on historic and projected population growth. The Comprehensive Plan Future Land Use Map kept the designation of the subject area as Residential Medium at 4 to 8 dwelling units per acre. After the adoption of the Comprehensive Plan, it became apparent that the zoning of many properties were in conflict with the new Future Land Use designation. These conflicts were created because the zoning did not match the Future Land Use designation.

He advised that the 3 property owners were notified of the proposed rezone via mail and also invited to an open house conducted on November 9, 2011 to discuss any issues, concerns or support for the proposed request. Mr. Peterson advised that he had heard from the 3 property owners who gave verbal recommendation that they were fine with the proposed rezone. He added that two adjacent property owners had submitted a letter and email in opposition to the proposed rezone and a few individuals contacted staff voicing a concern that the rezone would result in increased traffic and/or density in the area.

Mr. Peterson said the Comprehensive Plan Future Land Use designation for 708 25 1/2 Road identified the property as Residential Medium with a Residential Low category to the east of that property. The existing zoning for that lot was R-R and adjacent properties were R-4 with R-2 to the east.

He next discussed the property located at 2543 G Road which showed the Residential Medium category on 3 sides with current zoning of Rural Residential with R-4 to the north and west and R-5 to the south.

The Comprehensive Plan Future Land Use Map for 2522 F 1/2 Road was surrounded by the Residential Medium category and also to the south of F 1/2 Road was the Commercial Industrial category. Mr. Peterson said that existing zoning was PD, currently zoned R-R. He pointed out that surrounding subdivisions were the Westwood Ranch Subdivision to the east (a little more than 4 du/ac) and Diamond Ridge Subdivision (4.2 du/ac). The property directly to the east was currently vacant and not being developed at this time – the proposed Cobble Creek Subdivision with a density of a little over 6 du/ac. The proposal was for this lot to go to R-8 with the other two lots proposed at R-4.

He found the requested rezones to be consistent with the goals and policies of the Comprehensive Plan and the applicable criteria had been met and, therefore, he recommended approval of the proposed rezones as they would provide the opportunity to develop the 3 properties at a density which matched existing zoning designations.

QUESTIONS

Chairman Wall asked what the zone for the PD was. Scott said that it was a PD zone and to the east was the Westwood Ranch Subdivision with a density of a little over 4 dwelling units per acre. The Diamond Ridge Subdivision had a density of 4.2 dwelling units per acre.

Chairman Wall asked why R-8 had been proposed for that site. Scott said that it matched the subdivision to the west which had a designation of R-8. He added that if the Cobble Creek Subdivision were to develop, it would be over 5. He agreed that 8 was at the high end of the Residential Medium category.

Lisa Cox, Planning Manager, interjected that part of the vision and the goal of the Comprehensive Plan was to provide a variety of housing types and by going with one zone district or another, there were different lot sizes, setbacks, and it would allow for a higher density as well as different housing products and different housing types. She said the R-8 supported the vision of providing different housing types for the growing population.

PUBLIC COMMENT

Ron Stewart, 708 25 1/2 Road. He said that as the owner of that property, he had mentioned to Mr. Peterson that he was against the rezone because the lot sat in a federal flood plain zone and his property backed up against The Estates which he believed most were 2 to 3 acres. He added that the City walkway was on his property line on the east side. He saw no reason to change the zoning on his property.

Chairman Wall pointed out that the adjoining properties were zoned R-4 according to the Comprehensive Plan and this rezone was simply to match the Comprehensive Plan. Chairman Wall assured Mr. Stewart that the rezone would not change anything.

Commissioner Eslami assured him that this rezone had nothing to do with taxes.

Richard Bell, the president of the Diamond Ridge Homeowner's Association, adjacent to the southernmost parcel of 2522 F 1/2 Road, stated that they had objected to the R-8 rezone. The HOA believed R-4 would be more in keeping with the neighborhood.

DISCUSSION

Commissioner Williams thought the rezones would help keep the plan consistent and would also maintain the surrounding character. Regarding the 708 25 1/2 Road, his understanding was that if there was any future development that roads would be required and upgraded from where they currently were. With regard to the F 1/2 Road property, he did not see the R-8 zone as being in issue there and would vote in favor of the rezones.

Commissioner Carlow said that we need to try to keep what might happen and what is happening tonight separate. We can sit here tonight and say what might be.

Chairman Wall commented that the two parcels from R-R to R-4 made sense. However, he questioned the 2522 F 1/2 Road property and with the exception of the proposed Cobble Creek Subdivision, other properties within close proximity were just a little over 4. He thought that particular site should be R-5 as that would be more consistent now.

Commissioner Benoit concurred with Chairman Wall's assessment and said it didn't necessarily stop the potential of having a higher density there by application.

Commissioner Pavelka said the R-5 would provide adequate opportunities for future development.

Commissioner Leonard also agreed with the 2522 F 1/2 Road as the R-8 seemed to be a little higher density than what he would feel comfortable with.

Lisa Cox mentioned that in the staff report there was one motion proposed and noted there could either be 3 motions to be voted on individually or there could be one new motion which was reworded. Chairman Wall reiterated that it appeared that there was a question on the F 1/2 Road parcel and would prefer to have one motion with a change in wording if proposed.

MOTION:(Commissioner Pavelka) “I recommend the Planning Commission forward a recommendation of approval of the requested rezone, RZN-2011-1188, to City Council with the following amendment: For the parcel located on F 1/2 Road, we recommend that it be rezoned from R-R to R-5. For the parcel located on 25 1/2 Road, we recommend that that parcel go from R-R to R-4. For the parcel located on G Road, we recommend that the rezone go from R-R to R-4.”

Commissioner Carlow seconded the motion. A vote was called and the motion passed unanimously by a vote of 7 - 0.

8. Rezone Area 10 – Rezone

Request a recommendation of approval to City Council to rezone 281 parcels from an R-8 (Residential 8 du/ac) to an R-12 (Residential 12 du/ac) zone district located southeast of the North 12th Street and Orchard Avenue intersection.

FILE #: RZN-2011-1156

PETITIONER: City of Grand Junction

LOCATION: Numerous lots between North 12th Street and North 19th Street from Elm Avenue to Hall Avenue

STAFF: Senta Costello

STAFF’S PRESENTATION

Senta Costello, Senior Planner, Public Works and Planning Department made a PowerPoint presentation regarding the Area 10 rezone. The property generally located was south and east of the intersection of North 12th Street and Orchard Avenue. Roughly 65 acres of land was included in the area.

The development in the area consisted of a variety of uses – largely single-family homes; with a few multi-family homes and some larger apartment complexes, as well as some non-conforming properties along 15th Street, a church and an existing City park which area was excluded from the rezone. The uses within the area would either remain as their existing non-conforming status or remain conforming. She said the proposed rezone did not eliminate or change any of the status of the single-family

homes and would give people more opportunity to increase the density on their properties.

Ms. Costello said this area was part of a change to the Comprehensive Plan earlier this year which went from a Residential High Mixed Use down to a Residential Medium High as it was felt that the Residential High Mixed Use was too intensive for the area which allowed for higher levels of Commercial zoning that was believed to be inappropriate. In addition, it was proposed to change the zoning up a little to a slightly higher zone district to get potential to the area for additional density.

To the north and east, she said the zoning was Residential Medium; south was Residential High Mixed Use; and the Albertson's Shopping Center to the northwest was designated as Commercial. The park site, designated as a Park, was not in conflict with the Comprehensive Plan as its zoning was CSR. Ms. Costello said that all of the properties were currently zoned R-8 which was not a zone district that implemented the Residential Medium High zone district. She went on to state that the property was surrounded on the north and east by R-8; the southwest area bordered by an R-16 designation; and the Albertson's Shopping Center was a C-1 zoning. According to the Blended Map, this area was shown as Residential Medium which allowed up to 16 dwelling units per acre.

Ms. Costello had received comment from a little less than 10% of the property owners with it being split three ways as far as support – against; undecided; or no opinion. The property owners in favor of the proposal saw the opportunity for future development of their property or additional density. Those opposed, were primarily happy with their neighborhoods and did not want to see an encroachment of higher densities that could potentially disrupt their existing neighborhoods.

QUESTIONS

Commissioner Williams asked for an explanation regarding the recent adjustment. Ms. Costello said that where it was at prior, they could have requested B-1 zonings which would have allowed for some level of retail and higher intensive-type uses. This designation would allow for an R-O zone district which would provide the potential of smaller office-type uses without going into the retail realm.

Chairman Wall asked when it was downgraded earlier, was the R-12 discussed or did it go directly to R-8. Ms. Costello confirmed that the Comprehensive Plan designation was changed and it had now come to light that there was a discrepancy.

Commissioner Benoit asked why the Comprehensive Plan identified this particular area as being appropriate for R-12. Ms. Costello said the R-12 designation was one of the zone districts that fell within the Residential Medium High designations for zone districts that implemented that. They were looking for the potential of higher densities that allowed the use of existing infrastructure and minimization of impacts to services and added cost for infrastructure for both the City and a developer. She advised that there

were higher zone districts that could be requested; however, this was believed to be a mid-range compromise from the existing to what could be.

Commissioner Benoit asked if there was higher density in the surrounding area. Ms. Costello said the area to the south and west was designated as R-16 with more apartment buildings and multi-family in that area.

Commissioner Leonard raised a question regarding Mr. Harbottle's letter and whether or not there had been any conversation in response to his questions. Ms. Costello said that she had responded back to him and had not heard any further comments from him.

PUBLIC COMMENT

Palea Goemmel stated she lived north of Elm Avenue on 17th and south of the designated area. She said that east of 15th Street was strictly residential with possibly only one duplex within the area so she thought the increased density was relatively high for an area that had been single-family homes for over 30 years. She voiced her opposition to the expansion that far into a residential area that had not had any commercial changes since she had lived there.

Marlene Brantley, 1245 Mesa Avenue, said that she had attended some of the open houses and had tried to understand what the Comprehensive Plan was. She advised that she opposed the higher density because she was already highly impacted by Colorado Mesa University and she understood the Comprehensive Plan was to provide buffers between high intensity development and the residential areas. She would like to see a lower intensity and would like to see it stay at R-8.

QUESTIONS

Commissioner Pavelka asked what the rough density of the area was now as it was built out. Ms. Costello said a fair assessment would be 6 to 8 dwelling units per acre.

DISCUSSION

Commissioner Carlow said that he was conflicted because it was already developed and it appeared to him that the only way it could get up to 12 would be if someone were to buy lots large enough to accommodate 12 units. He added that the existing setup did not lend itself to 12 units.

PUBLIC COMMENT

(Chairman Wall re-opened the Public Comment portion of the hearing.)

Palea Goemmel said another concern of hers was that if it went to R-12, many of the existing streets were limited and bounded and did not go through to North or Orchard Avenues. The access with a higher density would increase the traffic considerably.

DISCUSSION

Chairman Wall said he was in agreement with Commissioner Carlow and did not understand why if it was built out to 6 to 8, what would be the benefit in changing it to R-12. He thought that it should stay at R-8.

QUESTIONS

Commissioner Pavelka asked with the existing R-8, could someone go in and add a small unit to be rented out. Ms. Costello said that potentially a mother-in-law unit or an above the garage unit could be added which would qualify as an accessory dwelling unit under the code. That unit would be limited to the lesser of either a maximum of 700 square feet or one-half the size of the square footage of the existing residence. She said that she had heard favorable comments from owners that while they may not be able to get 12 units, they may be able to add 2 more units to their property which would increase their income potential as well as the value of their property. She pointed out that there would still be requirements that would need to be met but currently only the larger lots could get that additional true unit without having to meet the accessory dwelling standards.

Commissioner Pavelka asked for confirmation that this was not an option for everyone but only for those larger lots. Ms. Costello said that potentially that was the case or someone could buy a number of lots for an apartment building.

Commissioner Pavelka asked if you could have an apartment building in an R-8. Ms. Costello said that while allowed, it was more difficult from a financing standpoint with an R-8 density.

Lisa Cox, Planning Manager, provided some background concerning the Comprehensive Plan amendment. She said originally the area was designated to be Residential High Mixed Use because of the proximity to the college, Community Hospital, shopping on North Avenue and 12th Street up to Patterson Road. The original land use designation of Residential High Mixed Use called for a higher residential type of density, provided a broader range of housing types and encouraged development that could take advantage of the walk-ability of the neighborhood.

However, in discussions with City Council earlier this year, it was determined that Residential High Mixed Use would encourage a little too much intensity for this particular neighborhood, partially because it would allow retail sales. Council felt it was important to consider the residential character of the neighborhood and to take advantage of the infrastructure and the fact that it was a walk-able neighborhood. She added that this area would be very appropriate for an increase in residential development over time because of the range of services that were within walking distance.

Commissioner Benoit asked if there were any requests for development at this time. Ms. Costello said there were none at this time.

DISCUSSION

Commissioner Pavelka said that, after looking at what was in the area, existing infrastructure, walk-ability, what was practical to do and still being responsive to other parts of the community, even though it was a slight increase, she believed the R-12 would be a reasonable solution in this area.

Commissioner Williams concurred and agreed with what had been presented by staff. He appreciated the step down and did not believe it was a Residential High Mixed Use area but thought R-12 was something suitable for the future with the possible growth of Colorado Mesa University.

Chairman Wall said this was challenging for him as he did not envision the long-range plan. He felt the R-8 was applicable for the area and did not see the reward in an R-12 designation.

MOTION:(Commissioner Pavelka) “Mr. Chairman, I recommend that the Planning Commission forward a recommendation of approval of the requested rezone, RZN-2011-1156, to City Council with the findings and conclusions listed above.”

Commissioner Williams seconded the motion. A vote was called and the motion failed by a vote of 3 – 4, with Chairman Wall and Commissioners Benoit, Carlow and Leonard opposed.

Jamie Beard, Assistant City Attorney, clarified that if the Commission wanted to give further information to Council as to what it thought was appropriate for that particular area, then a motion could be fashioned which indicated what the recommendation would be. However, with the discussion, she held that there had been an indication as to what was believed to be appropriate and it could then go forward as a denial on the part of the Planning Commission. It would then be up to City Council whether or not they want to approve.

General Discussion/Other Business

None.

Nonscheduled Citizens and/or Visitors

None.

Adjournment

With no objection and no further business, the Planning Commission meeting was adjourned at 7:58 p.m.

Attach 2
Brookwillow Village Extension

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
STAFF PRESENTATION: Lori V. Bowers

AGENDA TOPIC: Request for extension, Brookwillow Village Planned Development, PP-2004-130.

ACTION REQUESTED: A request for a two year extension of the approved Preliminary Planned Development Plan to develop the final phase consisting of 5.1 acres in a Planned Development (PD) zone district.

STAFF REPORT / BACKGROUND INFORMATION					
Location:		Eastern end of Brookwillow Loop and 24 ¾ Road			
Applicants:		Darter, LLC c/o Darin Carei, owner; Atkins and Associates, representative			
Existing Land Use:		Vacant land			
Proposed Land Use:		PD (Planned Development)			
Surrounding Land Use:	North	Residential – Brookwillow Village			
	South	Vacant land – Future residential, Hall's Estate			
	East	Vacant land – Future residential, Heritage Estates			
	West	Residential – Brookwillow Village			
Existing Zoning:		PD (Planned Development)			
Proposed Zoning:		PD (Planned Development)			
Surrounding Zoning:	North	PD (Planned Development)			
	South	R-8 (Residential – 8 du/ac)			
	East	R-8 (Residential – 8 du/ac)			
	West	PD (Planned Development)			
Future Land Use Designation:		Residential Medium High (8 – 16 du/ac)			
Zoning within density range?		<input checked="" type="checkbox"/> X	Yes	<input type="checkbox"/>	No

PROJECT DESCRIPTION: Brookwillow Village Planned Development consists of 30.032 acres with 277 dwelling units proposed to be developed in three phases. The applicants received Preliminary Subdivision Plan approval for the Planned Development in 2004. Phases 1 and 2 have been platted. The applicants request a two year extension of the approval for the final phase (5.1 acres) to be platted.

RECOMMENDATION: Recommend approval of a two year extension for the Brookwillow Village Planned Development Preliminary Plan.

ANALYSIS:

Background:

On January 20, 1999 the City Council passed Ordinance No. 3088 approving the rezone of the property located at 652 24 ½ Road from RSF-R to Planned Residential zoning district. The City Council also approved the Outline Development Plan for the property, known as the Hall Property. In June of 2004 the applicants submitted a Preliminary Development Plan for Brookwillow Village Planned Development, which changed the name from Hall's Estates to Brookwillow Village and amended Ordinance 3088, the ODP for the Hall property. A phasing schedule was provided and approved by the City Council in March of 2005. The anticipated completion dates were as follows: Phase 1, December of 2006; Phase 2, June of 2008; and Phase 3 by January 2010.

Construction began and the first phase of the project was platted. The economy started to flatten and the housing demand was slowing. The applicant requested that a revised phasing schedule be approved to accommodate the slow sales and the inability to complete the final plat for Phase 2. On August 26, 2008, the Planning Commission approved the requested extension. Phase 2 was extended to December 31, 2009 and Phase 3 to January 30, 2012. That request was prepared by the developer's attorney. The applicant himself requested an extension of Phases 3 and 4 (letter is attached). There was never a phase 4 planned, but the letter he submitted was confusing to that fact.

Phase 3 consists of 5.1 acres and will provide street connections to 24 3/4 Road, and half-street improvements to 24 3/4 Road including a detached sidewalk. This phase is will provide a mix of residential uses; condominiums, townhouses and attached single family units. Without the extension of the Planned Development the City may lose the housing type mix which was part of the community benefit of the PD. Private streets have already been approved within the development and by reverting back to an R-8 zone district these connections, open space and the detached walk along 24 3/4 Road may not come to fruition.

Completion of the development will meet Goal 3 of the Comprehensive Plan by encouraging ordered and balanced growth throughout the community; and Goal 5: To provide a broader mix of housing types in the community to meet the needs of a variety of incomes, family types and life stages, as mentioned above.

A copy of the original staff reports (dated March 22, 2005 and August 26, 2008) along with the previous extension request are attached.

Per Section 21.02.070(u)(4) the applicant is requesting an extension, to be granted by the Planning Commission, for an additional two years in which to final plat the remainder of the Planned Development. If granted, this will extend the approval to January 30, 2014. If the request is not granted, the property will revert to the default zoning designation of R-8. As mentioned above possibly the loss of a mix of housing

types, detached sidewalk along 24 3/4 Road and the remainder of the open space will not be provided.

FINDINGS OF FACT AND CONCLUSIONS:

After reviewing the request for a two-year extension of the approved Preliminary Development Plan for Brookwillow Village, PP-2004-130, the following findings of fact and conclusions have been determined:

1. The requested extension is consistent with the goals and policies of the Comprehensive Plan.
2. The request meets the requirements of Section 21.02.070(u)(4) of the Grand Junction Municipal Code.

STAFF RECOMMENDATION:

I recommend that the Planning Commission approve the request for a two-year extension for Brookwillow Village Preliminary Development Plan, file number PP-2004-130, with the findings of facts and conclusions listed above.

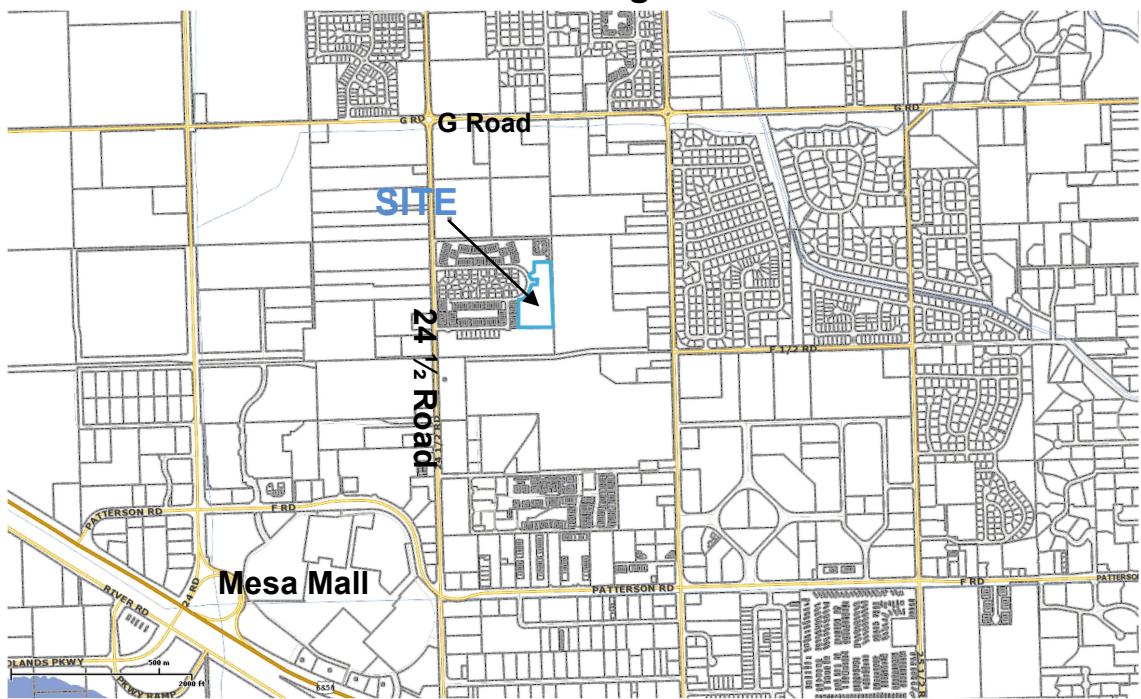
RECOMMENDED PLANNING COMMISSION MOTION: Mr. Chairman, on PP-2004-130, a request for a two year extension of the Preliminary Development, Planned Development Plan approval for Brookwillow Village, I move we approve the extension.

Attachments:

Site Location Map / Aerial Photo Map
Comprehensive Plan Map / Existing City Zoning Map
Blended Residential Map
Extension Request Letter
March 22, 2005 Staff Report
August 26, 2008 Staff report
Previous Extension Request Letters

Site Location Map

Brookwillow Village Phase 3



Aerial Photo Map

Brookwillow Village Phase 3



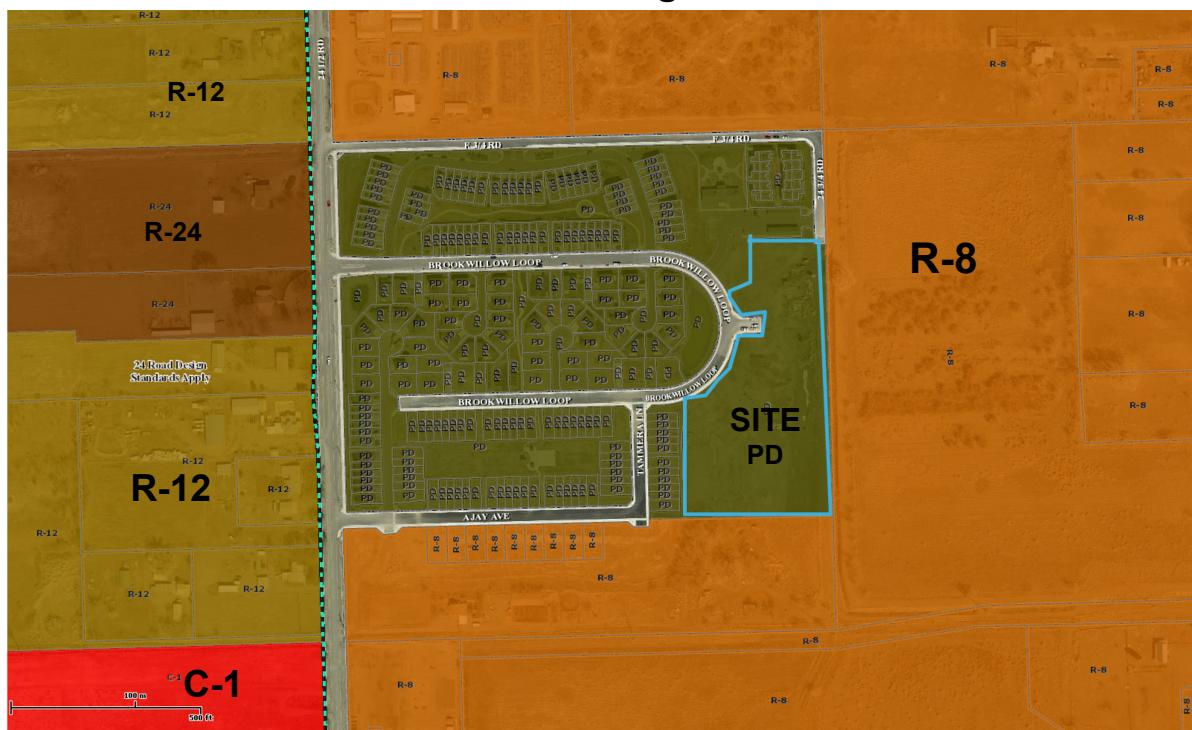
Comprehensive Plan Map

Brookwillow Village Phase 3



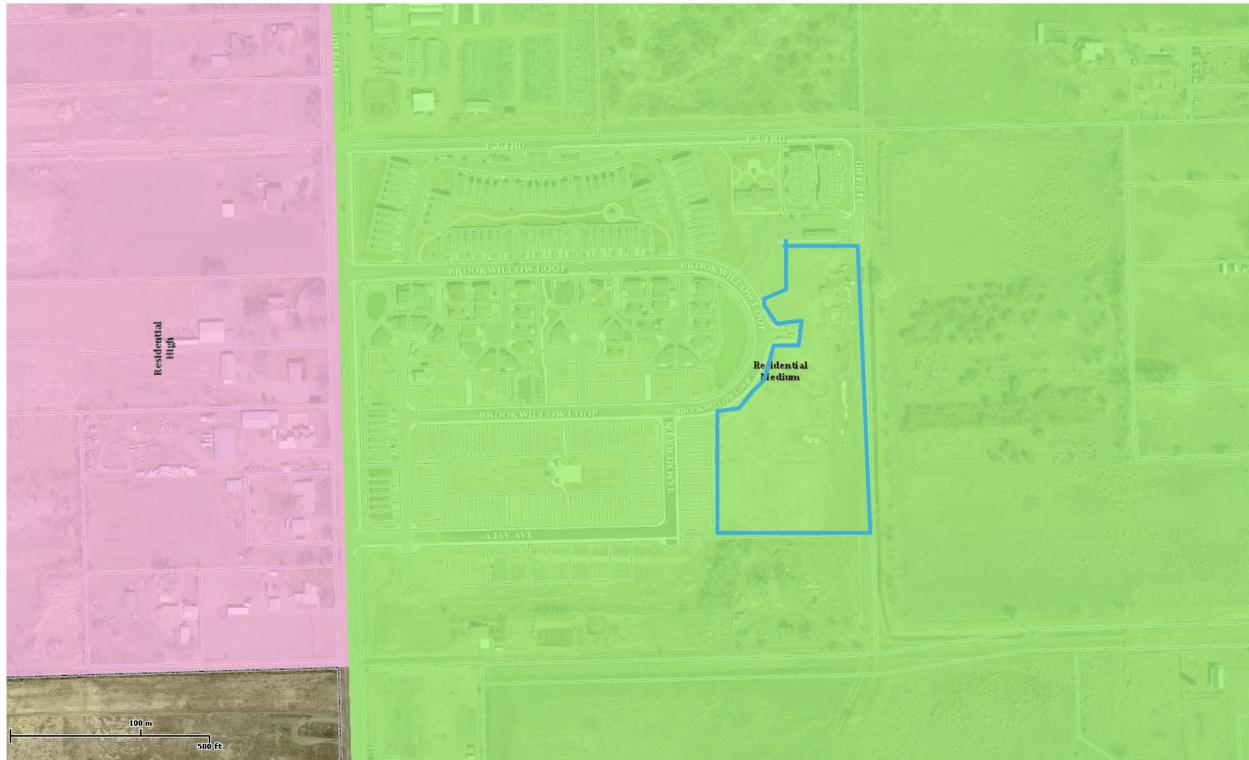
Existing City Zoning Map

Brookwillow Village Phase 3



Blended Residential Map

Brookwillow Village Phase 3





January 3, 2012

Mrs. Lori V. Bowers
Senior Planner
Public Works, Planning Division
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

Re: Brookwillow Village Planned Development

Dear Mrs. Bowers:

I received your email notification for deadline for final platting of Brookwillow Village Planned Development. We understand that the development as planned will expire on January 31, 2012 if not platted by that time and all unplatte areas will revert back to its underlying zoning of R-8.

Under the direction of the developer/owner, I request that the deadline for final platting of Brookwillow Village Planned Development be extended for two (2) years. I make the request due to the size of the remaining undeveloped property with respect to the existing slow housing market. At this point with less than a month remaining, it would be impossible to obtain final plat approval for the remainder of the project. A two-year extension period will allow the developer to wait for a more favorable demand for housing as well as pursue strategies that fit better with the current housing demand.

Should you have any questions about this matter or are in need of additional information, please contact me.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Sam L. Atkins".

Samuel L. Atkins, P.E.

Cc: Darter LLC
Darin Carei

AGENDA TOPIC: Brookwillow Village Planned Development

ACTION REQUESTED: Approve the Brookwillow Village Planned Development Preliminary Development Plan and recommend an amendment on the old PD Ordinance to City Council.

BACKGROUND INFORMATION					
Location:	650 24 ½ Road				
Applicants:	Halls Partnership LLC, owner; Grace Homes, developer; Marc Maurer, representative				
Existing Land Use:	Vacant land				
Proposed Land Use:	Planned Residential Subdivision				
Surrounding Land Use:	North	Valley Grown Nursery			
	South	Undeveloped land			
	East	Vacant land			
	West	Existing residential with vacant land			
Existing Zoning:	PD 11.7				
Proposed Zoning:	PD 9.7				
Surrounding Zoning:	North	RMF-8			
	South	RMF-8			
	East	RMF-8			
	West	RMF-12			
Growth Plan Designation:	Residential Medium High – 8 to 12 Du/Ac				
Zoning within density range?	X	Yes	No		

PROJECT DESCRIPTION: The property is 30.032 acres in size and is located about one mile north of Mesa Mall. It is zoned PD 11.7 under a currently lapsed ODP, known as the Hall Property and ordinance No. 3088.

RECOMMENDATION: Recommendation to City Council for approval of the private streets shown in the preliminary plan for Brookwillow Village, and amending Zoning Ordinance No. 3088.

ANALYSIS:

1. Background:

In December of 1998, the Outline Development Plan with an overall design density of 11.7 dwelling units per acre, (with the condition that ultimate build-out of the Hall ODP would not be less than 8 dwelling units per acre) was approved by the Planning Commission. The City Council also approved Ordinance No. 3088 approving the rezone of the property from RSF-R to the Planned Residential zoning district. On January 18, 2000 a request for approval of a 2-year extension for the deadline to submit a Preliminary Plan for the Hall Property ODP was approved. The extension request allowed for a submittal of a Preliminary Plan no later than January 20, 2002. The property then changed ownership and the new owner requested additional time to study and prepare a plan for the newly-acquired property. An 18-month extension to submit a Preliminary Plan was granted. A Preliminary Plan was due by July 20, 2003 with the conditions as presented originally. In June of 2004 the applicants submitted the proposed plan. With the Planning Commission's recommendation, accompanying this plan will be an amended zoning ordinance for City Council's approval. The current zoning map for the City of Grand Junction shows the property to still be zoned PD.

2. Consistency with the Growth Plan:

The Growth Plan shows this area as residential medium high development with a density range from 8 to 12 units per acre. This project is consistent with that designation. The applicants propose a density of 9.7 dwelling units per acre.

3. Section 2.12.C.2 of the Zoning and Development Code:

Requests for a Planned Development Preliminary Development Plan must demonstrate conformance with all of the following:

- a) The Outline Development Plan review criteria in Section 2.12.B of the Zoning and Development Code.

- 1) The Growth Plan, Major street plan and other adopted plans and policies.

Brookwillow Village implements the goals and objectives of each of the various plans by designing a cohesive neighborhood in an area identified by the Growth Plan for multifamily projects with a density between 8.0 and 11.0 units per acre. A previous submission (RZO-1998-192, Hall Property) had an approved ODP with a density of 11.7 units per acre but no site plan was ever approved and the ODP has since lapsed. Now under new ownership, this new proposal reduces the density thereby freeing up more usable open space and still meets the required intents of the various City plan and policies and the density objective profiled in the Growth Plan.

- 2) The rezoning criteria provided in Section 2.6 of the Zoning and Development Code.

- a. The existing zoning was in error at the time of adoption.

There was no error in the zoning at the time of adoption. A rezone request to provide 9.2 dwelling units per acre versus the established 11.7 dwelling units per acre is required with this application.

- b. There has been a change of character in the neighborhood due to installation of public facilities, other zone changes, new growth trends, deterioration, development transition, etc.

There has been a change in character in the area due to new growth trends and development transitions in the area. The proposed rezone is compatible with the surrounding uses since this site is on the periphery of the rapidly-developing 25 1/2 Road corridor to the east, complemented by new commercial development on the north side of Patterson between 24 and 25 1/2 Roads and near the recent addition of a new church on the corner of 24 1/2 Road and G Road with Spanish Trails Subdivision just west of the church on G Road.

- c. The proposed rezone is compatible with the neighborhood and will not create adverse impacts such as: capacity or safety of the street network, parking problems, storm water or drainage problems, water, air or noise pollution, excessive nighttime lighting, or other nuisances.

The proposed rezone should be compatible with the future redevelopment of this area. The proposed plan has addressed the street network, extra parking has been provided, storm water and drainage issues have been reviewed as well as lighting.

- d. The proposed rezone to PD 9.2 is within the allowable density range recommended by the Growth Plan. This criterion must be considered in conjunction with criterion e which requires that public facilities and services are available when the impacts of any proposed development are realized.

Staff has determined that public infrastructure can address the impacts of any development consistent with the PD zone district, therefore this criterion is met.

- e. The proposal conforms with and furthers the goals and policies of the Growth Plan, other adopted plans, and the policies, the requirements of this Code and other City regulations and guidelines.

It does conform with the Growth Plan and other City regulations and guidelines.

- f. Adequate public facilities and services are available or will be made available concurrent with the projected impacts of the proposed development.

Adequate public facilities are currently available or will be made available and can address the impacts of development consistent with the PD zone district.

- g. There is not an adequate supply of land available in the neighborhood and surrounding area to accommodate the zoning and community needs.

The zoning map has shown this area to be zoned PD since 1998, and it is consistent with adjacent zoning on other properties.

- h. The community or neighborhood will benefit from the proposed zone.

The proposed PD zone will benefit the community by providing more efficient infrastructure and provide future interconnectivity for the developing neighborhood.

- 3) The planned development requirements of Chapter Five of the Zoning and Development Code.

The application has been developed in conformance with the purpose of Chapter Five of the Zoning and Development Code by providing more effective infrastructure; a greater quality and quantity of public and private open space; other recreational amenities; and a needed housing type and/or mix.

- 4) Section 5.4.F. Development standards.

Planned developments shall minimally comply with the development standards of the default zone. In this case the default zone would be RMF-8.

- 1. Setback standards are provided on the plans for the different pods of development. They are consistent with or greater than the RMF-8 zoning district.
- 2. Open space for this project equals 12.6 acres disbursed across the 30 acre site. The required amount based on 200 SF per bedroom for the multi-family area equals 3.27 acres.
- 3. Fencing and screening is deviant of the Code for the western boundary of the site. 24 1/2 Road requires that a 14-foot landscape buffer with perimeter fence be required if this were a straight zone. The intent of this project is to not create an enclave but rather provide for an open and accessible network of open spaces without fence barriers at the periphery of the site. Screening shall consist of 2 to 3 foot berms that undulate in height and planted with landscape materials for the desired screening effect. The applicant requests a minimum of 10 landscape easement along 24 1/2 Road. Fencing for the community recreation area and single family detached zone shall not be greater than

4 feet tall and shall be visually transparent such as pickets; chain link fencing will not be allowed. Screening for patios, etc. may be 4-feet tall or privacy walls designed to match the surrounding architecture. Refuse enclosures shall be completely screened from view with a six foot screen fencing or other architecturally designed enclosure.

4. This project will set the tone for compatibility with the neighborhood since this is the first of this type of development in this immediate area.

5. Landscaping shall conform to applicable requirements, such as parking lot landscaping and buffer areas. Entry feature signage will be provided to identify the neighborhood complex. Landscape with special planting will provide a backdrop to the signage. Signage shall comply with the Code requirements.

6. Parking is provided in excess of the Code requirements. 1.8 spaces are required per condominium unit (90 units = 162 spaces). Townhouse units (143 units = 258 spaces). Single family attached and detached (59 units = 118 spaces). An additional 117 parking spaces are available for guest parking, as there are places where no parking is allowed on the private street sections.

7. Street development standards were reviewed per TEDS. There are private streets and drives. Private streets need a recommendation from the Planning Commission to City Council for approval within this project. Pedestrian safe movement from the parking areas to the buildings and the centralized mailbox areas is provided. The Primary access from 24 1/2 Road will have a boulevard entrance. A secondary access is also proposed for 24 1/2 Road to the far south end of the property. This entrance will be shared when the property to the south redevelops. Half road Urban Collector Street improvements will be installed along the north boundary of the site (F 3/4 Road alignment) also along the east boundary of the site (24 3/4 Road alignment). Secondary access to the dwelling units is provided using private streets. The single family detached units will be accessed with private streets terminating in cul-de-sacs sized to meet the City standards for Public Works and the Fire Department.

G. Deviation from Development Default Standards:

The Planning Commission may recommend that the City Council deviate from the default district standards subject to the provision of any of the community amenities listed below. In order for the Planning Commission to recommend and the City Council to approve deviation the listed amenities to be provided shall be in excess of what would otherwise be required by the Code, and in addition to any community benefits provided pursuant to Density bonus provisions in Chapter Three. These amenities include:

1. Transportation amenities including but not limited to, trails other than required by the multimodal plan, bike or pedestrian amenities or transit oriented improvements, including school and transit bus shelters;

The applicants feel they have provided a pedestrian oriented village concept to enhance the resident's sense of well being, develop a unique neighborhood character and to provide meaning and value both for now and for years to come.

2. Open space, agricultural land reservation or land dedication of 20% or greater;

The overall open space for this project totals 42% of the site.

3. Community facilities for provision of public services beyond those required for development within the PD;

The applicants state that they are providing pocket parks with active and passive areas. Gazebos and picnic areas, tot-lots and a pet park are also proposed.

4. The provision of affordable housing for moderate, low and very low income households pursuant to HUD definitions for no less than twenty (20) years; and

The applicants feel that by providing a mix of housing types, in close proximity to work and shopping areas, recreation amenities on site and using low volume plumbing fixtures to minimize sewage demands the project will be more affordable.

5. Other amenities, in excess of minimum standards required by this Code, that the Council specifically finds provide sufficient community benefit to offset the proposed deviation.

Other proposed amenities, but not required by the Code are: Gazebos, picnic areas, tot lots, pet park with appropriate amenities.

- 5) An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed.

A Phasing Schedule has been provided. Phase 1, is 98 units consisting of 20 single-family, 68 townhouses and 10 condominiums. Phase 2, totals 114 units consisting of 30 single-family units, 64 townhomes and 20 condominium units. Phase 3 totals 80 units, consisting of 9 single-family units, 11 townhomes and 60 condominium units.

Anticipated completion dates are as follows: Phase 1, December of 2006; Phase 2, June of 2008; and Phase 3 by January 2010.

- 6) The property is at least twenty (20) acres in size.

The property is slightly over 30 acres in size and meets this requirement.

1. The applicable preliminary plat criteria in Section 2.8.B of the Zoning and Development Code have been met.
2. The applicable site plan review criteria in Section 2.2.D.4 of the Zoning and Development Code.
3. The approved ODP, if applicable. In this case the ODP has expired.
4. The approved PD rezoning ordinance, if adopted with an ODP. In this case the Ordinance is being amended.
5. An appropriate, specific density for all areas included in the preliminary plan approval has been provided.
6. The area of the plan is at least five (5) acres in size or as specified in an applicable approved ODP. This site is just over 30 acres in size.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Brookwillow Village application, PP-2004-130 for a Planned Development, Preliminary Development Plan, staff recommends that the Planning Commission make the following findings of fact and conclusions:

1. The requested Planned Development amendment and the Preliminary Development Plan are consistent with the Growth Plan.
2. The review criteria in Section 2.12.C.2 of the Zoning and Development Code have all been met.
3. The review criteria in Section 2.8.B of the Zoning and Development Code have all been met.
4. The review criteria in Section 2.2.D.4 of the Zoning and Development Code have all been met.

STAFF RECOMMENDATION:

- 1) Staff recommends that the Planning Commission forward a recommendation of approval of the requested Brookwillow Village Planned Development, Preliminary Development Plan, file number PP-2004-130 to the City Council with the findings and conclusions listed above.
- 2) Staff recommends that the Planning Commission forward a recommendation of approval to the City Council amending Zoning Ordinance No. 3088.

RECOMMENDED PLANNING COMMISSION MOTION:

- 1) Mr. Chairman, on item number PP-2004-130, the request for Preliminary Plan approval for the Brookwillow Village Planned Development private streets, I move that the Planning Commission make the findings of fact and conclusions listed in the staff report and approve the Preliminary Plan.
- 2) Mr. Chairman, on item number PP-2004-046, the request to amend the PD Zoning Ordinance 3088, I move that the Planning Commission recommend approval to the City Council with the findings of fact and conclusions listed in the staff report.

Attachments:

Vicinity Map
Aerial Photo
Growth Plan Map
Zoning Map
Planned Development Rezone Ordinance
Outline Development Plan

Only Planned Development Rezone Ordinance is attached

CITY OF GRAND JUNCTION, COLORADO

Ordinance No. ____

AMENDING ORDINANCE NO. 3088

ZONING A PARCEL OF LAND AT 625 24 ½ ROAD

Recitals.

A rezone from Planned Residential 11.7 units per acre (PR-11.7) to Planned Development 9.7 units per acre (PD 9.7) has been requested for the property located at 625 24 ½ Road, previously known as the Hall property, now to be known as Brookwillow Village, for purposes of developing a residential project of mixed housing types on 30.032 acres, as follows: 59 single family attached and detached; 143 townhouses; and 90 condominium units, for a total of 292 dwelling units. The City Council finds that the request meets the goals and policies and future land use set forth by the Growth Plan (8 to 12 units per acre). City Council also finds that the requirements for a rezone as set forth in Section 2.6 of the Zoning and Development Code have been satisfied.

The Grand Junction Planning Commission, at its March 22, 2005 hearing, recommended approval of the rezone request from PR -11.7 to PD 9.7 and approval of the Preliminary Planned Development (PD) for Brookwillow Village.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE PARCEL DESCRIBED BELOW IS HEREBY ZONED PLANNED DEVELOPMENT 9.7 UNITS PER ACRE (PD 9.7):

Lot 2, Hall Minor Subdivision

- 1) The uses allowed for this zone and property shall be single family attached and detached, townhomes and condominiums.
- 2) The underlying zoning is RMF-8.
- 3) The development will contain at a minimum a community clubhouse for meetings, gatherings and special events; three tot-lots, pet park with appropriate waste disposal, gazebos, picnic areas, two half-court basketball courts, sand volleyball court and a pedestrian pathway system.
- 4) The ordinance further allows for public and private streets. Public Streets 44 feet of Right-of-way with a 28 foot asphalt mat, with detached sidewalk. Private streets to be 22 feet wide with a Cul-de-sac. All street crossings to be marked for safe pedestrian crossing.
- 5) The ordinance allows for a deviation from the required subdivision perimeter fencing by providing an undulating berm with landscaping, 2 to 3 feet tall.
- 6) Buffering and setbacks are as follows, and as provided in the project narrative and concept drawings dated March 10, 2005:
 - Along 24 ½ Road, Single-family detached areas require a minimum 25 foot landscape buffer strip along the entire 24 ½ Road section. Front setback is 20 feet, side setback is 5 feet and rear setback is 15 feet.
 - Townhouse areas require a minimum 10 landscaping easement along the entire street section. Front setback is 20 feet, Side setbacks are 10 between units and the rear setback is a minimum 10 feet from the landscape easement.
 - Along 24 ¾ Road, the condominium area requires a 10 foot landscape buffer strip along the entire 24 ¾ Road section and a setback of 25 feet from the road.
 - Detached sidewalk shall be installed for the subdivision along 24 ½ Road. A TCP (Transportation Capacity Payment) credit will be allowed for the installation of the sidewalk.

INTRODUCED on first reading on the 6th day of April, 2005 and ordered published.

PASSED on this _____ day of _____, 2005.

ATTEST:

City ClerkPresident of Council

AGENDA TOPIC: Brookwillow Village Planned Development; PP-2004-130.

ACTION REQUESTED: Modify the phasing schedule of Brookwillow Village Planned Development Preliminary Development Plan.

BACKGROUND INFORMATION					
Location:	650 24 ½ Road				
Applicants:	Darter, LLC – owner and developer; Terry Lawrence - representative				
Existing Land Use:	Vacant land				
Proposed Land Use:	Planned Residential Subdivision				
Surrounding Land Use:	North	Valley Grown Nursery & vacant land			
	South	Undeveloped land			
	East	Vacant land			
	West	Existing residential with vacant land			
Existing Zoning:	PD (Planned Development - 9.7 units per acre)				
Proposed Zoning:	PD (Planned Development - 9.7 units per acre)				
Surrounding Zoning:	North	R-8 (Residential – 8 units per acre)			
	South	R-8 (Residential – 8 units per acre)			
	East	R-8 (Residential – 8 units per acre)			
	West	R-12 (Residential – 12 units per acre)			
Growth Plan Designation:	Residential Medium High – 8 to 12 Du/Ac				
Zoning within density range?	X	Yes	No		

PROJECT DESCRIPTION: The property is approved for 277 dwelling units on 30.032 acres. It is zoned PD (Planned Development) with an overall density 9.7 dwelling units per acre. Filing One, has been constructed and Filing Two has recently been recorded, but the construction may not be completed this year. The applicant's request is to modify the approved Phasing Schedule for completion of Phases Two and Three.

RECOMMENDATION: Approve the modified Phasing Schedule for completion of Brookwillow Village Planned Development.

ANALYSIS:

1. Background:

In June of 2004 the applicants submitted a Preliminary Development Plan for Brookwillow Village Planned Development. At that time a phasing schedule was provided and a recommendation to City Council of approval was forwarded by the Planning Commission in March of 2005. The anticipated completion dates were as follows: Phase 1, December of 2006; Phase 2, June of 2008; and Phase 3 by January 2010.

The applicants requested assistance in modifying their phasing schedule for completion on April 15, 2008. We have also received a letter stating their "good cause" per Section 2.8.E.4. Per Section 2.12.G, if a Planned Development, or any portion thereof, has not been completed in accordance with the approved development schedule, a "lapse" shall have occurred and the terms of all approved plans for incomplete portions of the PD shall be null and void. This plan has not yet lapsed and Section 2.8.E.4 now applies; if the applicant does not complete all steps in preparation for recording a final plat within one (1) year of approval of the preliminary subdivision plan, the plat shall require another review and processing as per Section 2.8 and shall then meet all the required current Code and regulations at that time. One (1) extension of six (6) months may be granted by the Director for good cause. Any additional extensions must be granted by the Planning Commission. The Planning Commission must find good cause for granting the extension.

The applicant's letters, which are attached, state that both national and local credit markets have changed dramatically since the first phasing schedule was adopted. They further state that there has been a significant slowing down on all levels of the housing market. While the local market has not been completely "flat" it has slowed due to the inability of some prospective new buyers to obtain loans has diminished. As a result, the developer has had to slow down due to a greater inventory on hand as absorption rates have slowed.

The developer now proposes the following completion schedule:

- Phase 3, to December 31, 2009
- Phase 4, to January 30, 2012

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the request to modify the phasing schedule for the completion of Brookwillow Village Planned Development, PP-2004-130, I make the following findings of fact and conclusions:

1. The request is in compliance with Section 2.8.E.4 of the Zoning and Development Code.

PLANNING RECOMMENDATION:

I recommend that the Planning Commission approve the modified phasing schedule and the recording of the final plats for Brookwillow Village Planned Development, PP-2004-130, until December 31, 2009 for Phase 2; and January 30, 2012 for Phase 3, with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, I move that the Planning Commission approve the request for modifying the phasing schedule and the recording of the final plats for Brookwillow Village Planned Development, PP-2004-130, until December 31, 2009 for Phase 2; and January 30, 2012 for Phase 3, with the findings as listed in the Staff Report.

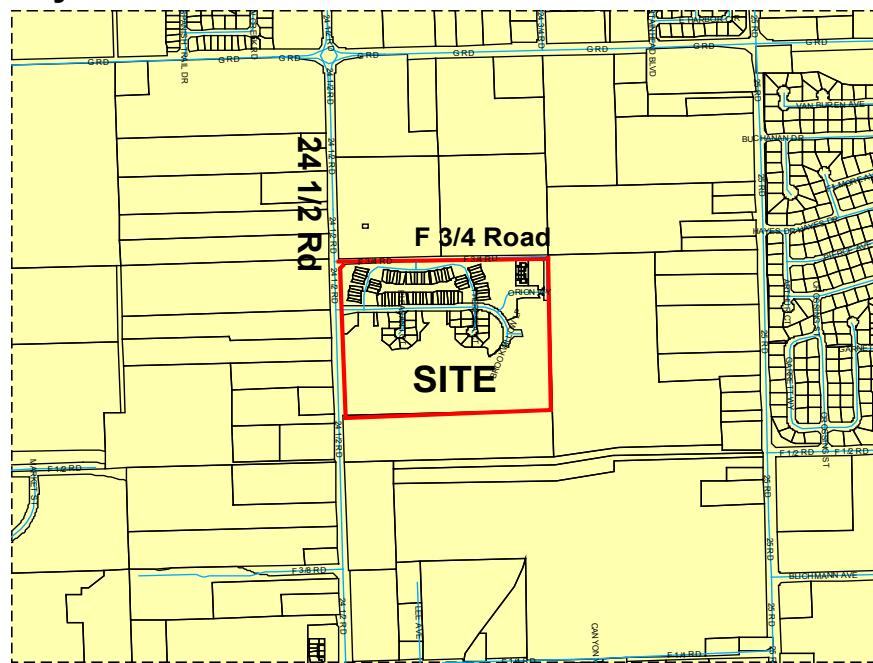
Attachments:

Site Location Map / Aerial Photo Map
Future Land Use Map / Existing City and County Zoning Map
Letter from applicant's attorney
Letter from the applicant

Site Location Map

City Limits

Figure 1



Aerial Photo Map

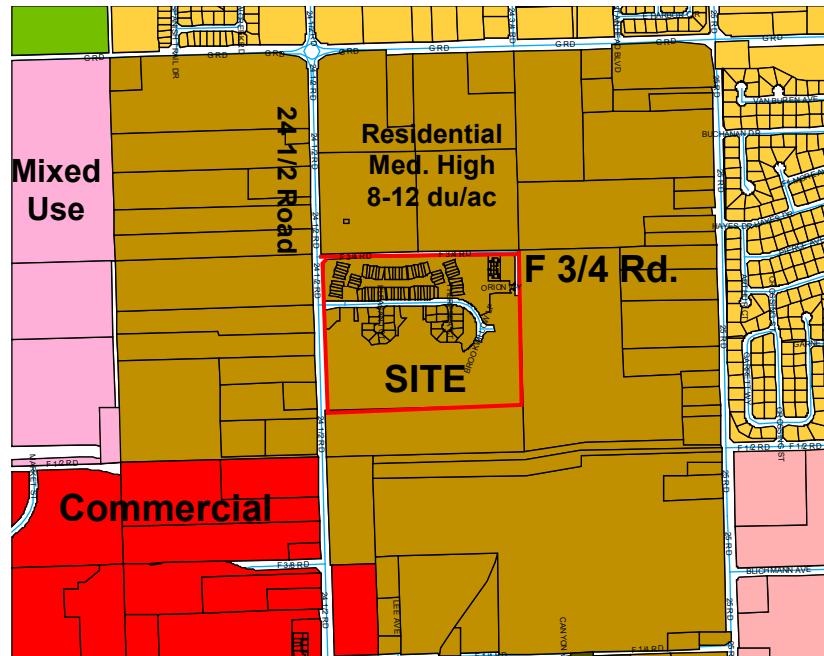
City Limits

Figure 2



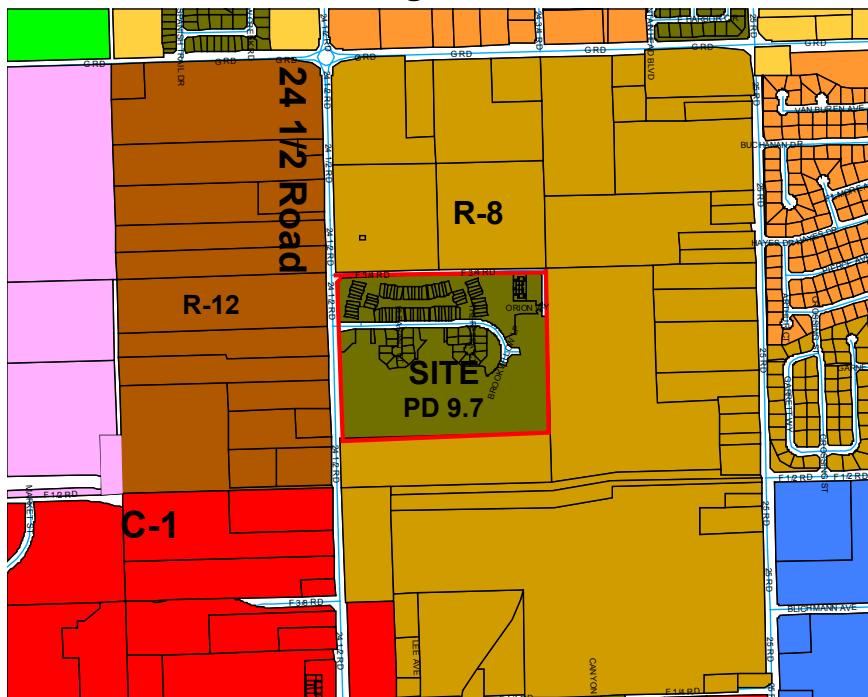
Future Land Use Map

Figure 3



Existing City and County Zoning

Figure 4



COLEMAN WILLIAMS & WILSON
ATTORNEYS AT LAW

Joseph Coleman
Dan E. Wilson

2134 Patterson Road, Suite 210
Grand Junction, CO 81505

Telephone
(970) 242-8311
Facsimile
(970) 242-1893

Whitney Robinson

April 15, 2008

Lori V. Bowers
Planning Department
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

Re: Brookwillow Village

Dear Lori,

We ask for your assistance in modifying the schedule of completion of the Brookwillow Village project and the phases that were previously approved. To assist, I enclose a copy of the existing phases/schedule recently supplied to me by Janie Beard. We propose:

- (a) A phasing schedule for Phase I totaling 110 units consisting of 22 single-family units, 68 townhomes and 20 condominium units. Phase II will total 112 units consisting of 31 single-family units, 81 townhomes and 0 condominium units. Phase III will total 70 units consisting of 0 single-family units, 0 townhomes and 70 condominium units.
- (b) Anticipated completion dates are as follows: Phase II, December 31, 2009 and Phase III by January 1, 2012.

Please let me know if we need to provide additional information to obtain this extension request.

Very truly yours,

Dan Wilson

DW:jl

Cc. Grace Homes Real Estate and Construction, Inc.
(Terry Lawrence, Doyle Koehn, Elizabeth Barclay)

July 17, 2008

Lori Bowers
Senior Planner
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

Re: Brookwillow Village

Dear Lori,

I am writing to provide “good cause” for our request to extend the deadlines for filing the plats for the Brookwillow Village phases.

As you know, we had originally planned to begin construction on Phase II in June of 2008. As I’m sure you are also well aware of, both national and local credit markets (i.e., construction lending practices) have changed dramatically since we proposed this phasing schedule. What this means for our company is that we must work harder to find appropriate construction loans, and it takes longer to put them into place. As I am sure you will appreciate, the nature of the business is such that we must have a loan commitment in place before we can justify the time and expense of completing the platting process.

And, the national economic situation is not just affecting construction lending: Many potential buyers are finding it much more difficult to qualify for a purchase loan, which for many of our buyers will be their first home purchase. Many others who are interested in purchasing our homes find that they cannot sell their existing home and cannot buy one of our lots or homes until they do so.

While the local markets are not completely ‘flat,’ unlike some areas of the country, there has been a significant slowing down in all levels of the Western Slope’s new housing purchases, again due to national and Rocky Mountain regional market changes. While our market niche is doing better than others, Grace Homes has seen a substantial drop in the ability of prospective new buyers to obtain purchase loans, which means our inventory is larger than we projected when the phasing schedule was approved by the City.

As a result, Grace Homes has had no choice but to slow down due to greater inventory in hand than was projected and the reduced absorption rates for lots and home sales.

Therefore, due to all of these factors (which are completely beyond our control and which we hope you agree constitute ‘good cause,’) we ask that the City revise the phasing schedule for the remaining of Brookwillow Village as follows:

Phases	Complete Construction
Phase #3	December 31, 2009
Phase #4	January 30, 2012

Thank you in advance for your consideration of this request to modify our phasing schedule.

If you need more information to increase the odds of the City approving this request, please let me know.

Respectfully,

John Lawrence
Land and Development Manager.

Attach 3
Red Rocks Valley Extension

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
STAFF PRESENTATION: Lori V. Bowers

AGENDA TOPIC: Request for extension, Red Rocks Valley Planned Development (PP-2006-217)

ACTION REQUESTED: A request to amend the approved Phasing Schedule in the Planned Development Ordinance for Red Rocks Valley Planned Development (PD) zone district.

STAFF REPORT / BACKGROUND INFORMATION					
Location:	South Camp and Monument Road				
Applicants:	Kirk Rider, Rider & Quesenberry, LLP Representative for Surf View Development Co.				
Existing Land Use:	Residential subdivision				
Proposed Land Use:	Residential subdivision				
Surrounding Land Use:	North	Redlands Mesa Golf and residential			
	South	Residential subdivision			
	East	Vacant land and Redlands Mesa Planned Development			
	West	Residential subdivision			
Existing Zoning:	PD (1.12 Du/Ac)				
Proposed Zoning:	No change				
Surrounding Zoning:	North	PD (Planned Development)			
	South	R-E (Residential - Estate) and PD (Planned Development)			
	East	R-E (Residential - Estate) and PD (Planned Development)			
	West	PD (Planned Development)			
Future Land Use Designation:	Residential Low (.5 – 2 Du/Ac)				
Zoning within density range?	X	Yes	No		

PROJECT DESCRIPTION: The 139 acre Red Rocks Valley Planned Development consists of five phases located off of South Camp Road. The applicants received Preliminary Plan approval for a Planned Development on August 1, 2007. They request a ten year extension for the remaining Phases, all to be platted by March 1, 2022.

RECOMMENDATION: Recommendation to City Council to approve a ten year extension for Red Rocks Valley, Preliminary Development Plan.

ANALYSIS

I. Background

Red Rocks Valley Subdivision is approximately 138.97 acres in size, located in the Redlands bounded on the Southwest by South Camp Road, the Northwest by the last filing of Monument Valley Subdivision, the North and East by Redlands Mesa Subdivision and the South by private property. The topography on this site varies from gentle to steep with approximately 160 feet of relief. Red Canyon Wash and another minor wash cross through the parcel from Southwest to Northeast. The Comprehensive Plan designates the land use classification for the area as Residential Low, which allows for a density range of .5 to 2 dwelling units per acre.

The City's previous Zoning and Development Code required a site analysis on any property over 50 acres in size. The site analysis that was provided by the applicant included map overlays indicating development potential of all areas and a description of assumptions and methodology used to reach the applicant's conclusions. Based on the site's physical constraints, Staff recommended and the Applicant request a zoning designation of Planned Development (PD). The Applicants, its designers and engineers, City Staff and outside review agencies came to what they felt was a workable and sensitive plan, developing the potential of the property while taking into account its physical constraints.

Prior to the approval of the final plat for Phase One, a grading permit was issued allowing grading, drainage and rock fall mitigation. The first phase of the planned development subsequently was approved in June 2008 and Phase One was approved and recorded in October; creating 50 single-family detached lots and 52 patio homes lots. The patio home area has private streets, which was approved by City Council subject to a signed and recorded maintenance agreement. Alternate street standards were approved for the remainder of the PD.

During construction of Phase One, it became apparent that the time frame for completion to meet the required phasing schedule contained in the PD Ordinance may not be met. The developer requested an extension [plan case number], which was submitted prior to the expiration date. At the same time the developer incurred some financial difficulties and the bank, which secured the Development Improvements Agreement (DIA) for Phase One, ended up with the property during foreclosure. The City chose not to move the extension request forward as it had not yet been determined who the actual property owners would be.

The property was foreclosed on and the bank took over Phase One only. The remainder of the property reverted back to the original owner (Fletcher) and Surf View Development Company. The bank worked with the City to complete several items on the final punch list of public improvements that were not complete or had not yet been accepted by the City. During this process the bank was able to sell Phase One of the

Planned Development to The Pauls Corporation. The Pauls Corporation is now working with City Staff to complete the items on the punch list.

City Staff met with Surf View and their representatives to discuss the completion of the Planned Development. Surf View remains committed to seeing the development to completion per the original approved plan, therefore their request for a ten year extension of the Planned Development. The extension will ensure that the City obtains the dedicated, but not yet transferred open space and development of future phases as the economy and demand for residential lots returns.

The proposed Phasing Schedule has no specific dates or number of phases within the ten years. Flexibility in completing the phases will be based on market demands, but the overall development should be final platted by March 1, 2022. By amending the PD Ordinance the development will also have the benefit of being brought in to the development process and standards of the 2010 Zoning and Development Code.

Uses and Development Character

The proposed amendment to the existing ODP does not change the original use or character of the development. It is to allow an extension of time in which to complete the approved plan under new ownership.

Access

Access has been impeded due to concrete heaving in two places of the dedicated roadway creating inadequate vehicle circulation in Phase One. An agreement with the new owners has been reached and repair work will begin the week of January 30th, weather permitting. The remainder of the un-platted property will be constructed in accordance with the previously approved ODP and Preliminary Plan with the conditions further outlined in the Ordinance.

Open Space / Park

Over 33.6% of the site is dedicated to Open Space, which totals 46.69 acres. This is one of the main reasons the PD was approved. Fourteen Tracts of land are provided totaling 16.67 acres or 12.0% of the land. These Tracts are for various and sometimes dual purposes, such as trails, utilities and drainage. One large Tract, to be dedicated to the City, is tied to future phases of the development. Amending the Phasing Schedule ensures this dedication to the City. If the PD were to expire, the opportunity to obtain a needed trail connection may be lost.

Landscaping

The landscaping at the entrance is dead or struggling. Because the soils report prepared by Lincoln DeVore recommends that the steeper slopes not be irrigated due to the high possibility of slope failure, the majority of the steep slopes are in open space

tracts. This should also serve to notify the developer of the soil conditions of this area and to landscape appropriately. It has been agreed that a more xeric landscaping plan be provided for the entry way and common areas.

Community Benefit

The purpose of the Planned Development (PD) zone is to provide design flexibility. Planned development should be used when long-term community benefits will be derived, and the vision, goals and policies of the Comprehensive Plan can be achieved. This development includes the following long-term community benefits:

1. More efficient infrastructure;
2. Reduced traffic demands;
3. More usable public and/or private open space;
4. Recreational amenities; and/or
5. Needed housing choices.

The proposed amendment will allow more time for these benefits to be realized. The current economic downturn and the massive surplus of residential lots has brought this request forward. The original owners now have the property back due to foreclosure and are in support of the current plan.

Phasing

The previously approved phasing schedule was as follows: Five phases are proposed with the first phase to be platted by March 1, 2008; Phase 2 - March 1, 2011; Phase 3 - March 1, 2013, Phase 4 - March 1, 2015 and Phase 5 - March 1, 2017. A graphic depiction of the phasing is shown on sheet 3 of the drawings, dated 4/24/07, included in development file number PP-2006-217. The extension request is for all Phases to be Final Platted by March 1, 2022. Phases are to be completed as the market dictates, not by specific dates.

Default Zoning

The default zoning is to remain the same, R-2 (Residential – 2 units per acre). Should the Planned Development expire, there are some lots currently platted that would not meet the minimum lot size or be able to meet the setback requirements of R-2. The future completion of the project is dependent upon the PD zone and Ordinance.

II. Consistency with the Comprehensive Plan:

The original ODP (Outline Development Plan) was consistent with the Growth Plan that was in place at the time the PD Ordinance was adopted. The proposed ODP amendment is consistent with the Comprehensive Plan as follows:

Goal 3: "The Comprehensive Plan will create ordered and balanced growth and spread future growth throughout the community."

Goal 8: "Create attractive public spaces and enhance the visual appeal of the community through quality development."

The Red Rocks Valley project is platted with patio home lots and single-family detached lots. No construction of residences has taken place as the City has a hold on Planning Clearances until the public streets are repaired. The applicants for the requested extension wish to see the remainder of un-platted land developed in accordance with the approved Plan.

III. Review criteria of Chapter 21.02.050 of the Grand Junction Municipal Code:

Requests for an Outline Development Plan shall demonstrate conformance with all of the following:

The Outline Development Plan review criteria in Section 21.02.050(b):

- a) The Comprehensive Plan, Grand Valley Circulation Plan and other adopted plans and policies.

The project previously complied with the Growth Plan and continues to comply with the Comprehensive Plan, the Grand Valley Circulation Plan and the adopted codes and zoning requirements for this property, as determined with the approved ODP.

- b) The rezoning criteria provided in Section 21.02.140 of the Grand Junction Municipal Code (GJMC).

- (1) Subsequent events have invalidated the original premises and findings; and/or

The adoption of the new Zoning code in 2010 has updated planning standards and practices. By amending the ODP's Phasing Schedule, not only will there be adequate time to complete the project, it will also come under these new standards and practices.

- (2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

The character of the area has not changed, and therefore it remains consistent with the Plan.

- (3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Existing facilities and infrastructure have been installed to support the Planned Development which will continue to serve the project as it moves forward.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

Not Applicable.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

The new phasing schedule will be a benefit to the community by allowing more time to complete the Planned Development in slower economic times and by allowing flexibility for future development to respond to market demands.

c) The planned development requirements of Section 21.05.040(f) GJMC

This section refers to setback standards, open space, fencing and screening, landscaping, parking and street development standards. There are no changes proposed to any of these items. Landscaping as discussed above has been changed to a more xeric plan, and is not part of the consideration of the amended phasing schedule.

FINDINGS OF FACT/CONCLUSIONS

After reviewing the Red Rocks Valley ODP application, file number PP-2006-217, an amendment to the Outline Development Plans Phasing Schedule, staff makes the following findings of fact and conclusions:

1. The requested amendment to the Outline Development Plan is consistent with the Comprehensive Plan.
2. The review criteria in Section 21.05.150 of the Grand Junction Municipal Code have all been met.
3. The review criteria in Section 21.02.140 of the Grand Junction Municipal Code (rezoning) have been met.
4. The request for a 10 year phasing schedule is in compliance with Section 21.02.080(N)(22)(i) of the GJMC.

STAFF RECOMMENDATION:

Staff recommends that the Planning Commission forward a recommendation of approval of the requested amendment to the Planned Development, Preliminary Development Plan Ordinance, file number PP-2006-217 to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on PP-2006 -217, a request for a ten year extension of the Preliminary Development Plan for Red Rocks Valley Planed Development, I move that we recommend to City Council approval of the requested extension.

Attachments:

Site Location Map / Aerial Photo Map

Comprehensive Plan Map / Existing City and County Zoning Map

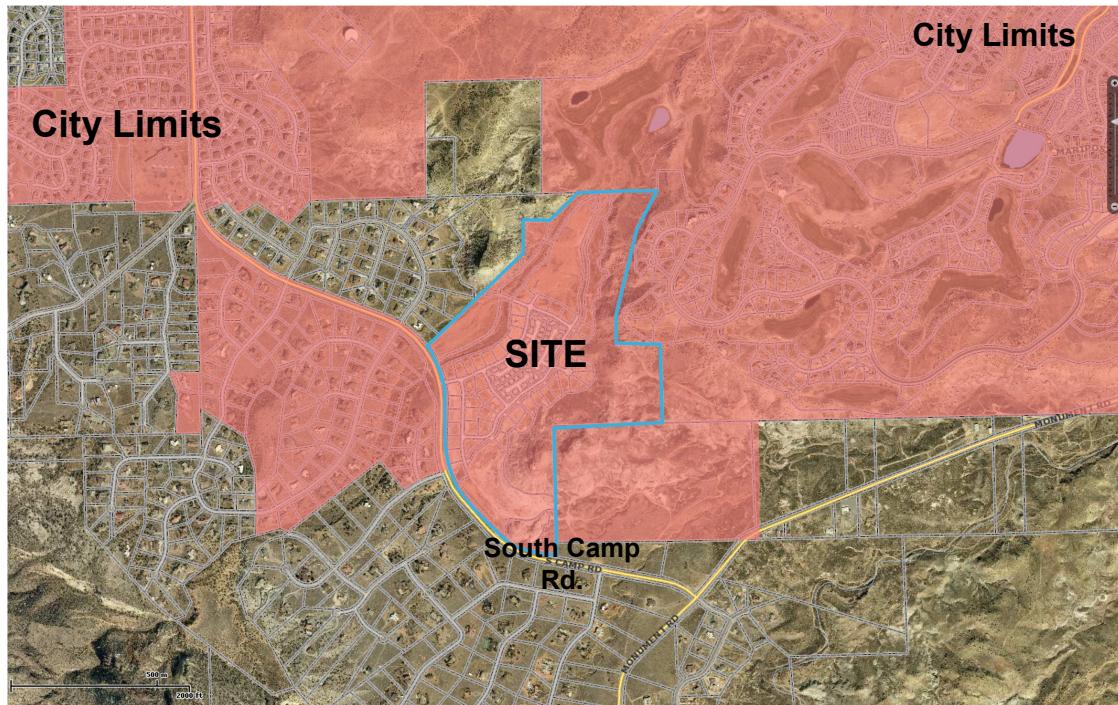
Request Letter

Amended PD Ordinance

Staff Report w/ attachments – Aug. 1, 2006

Site Location Map

Red Rocks Valley



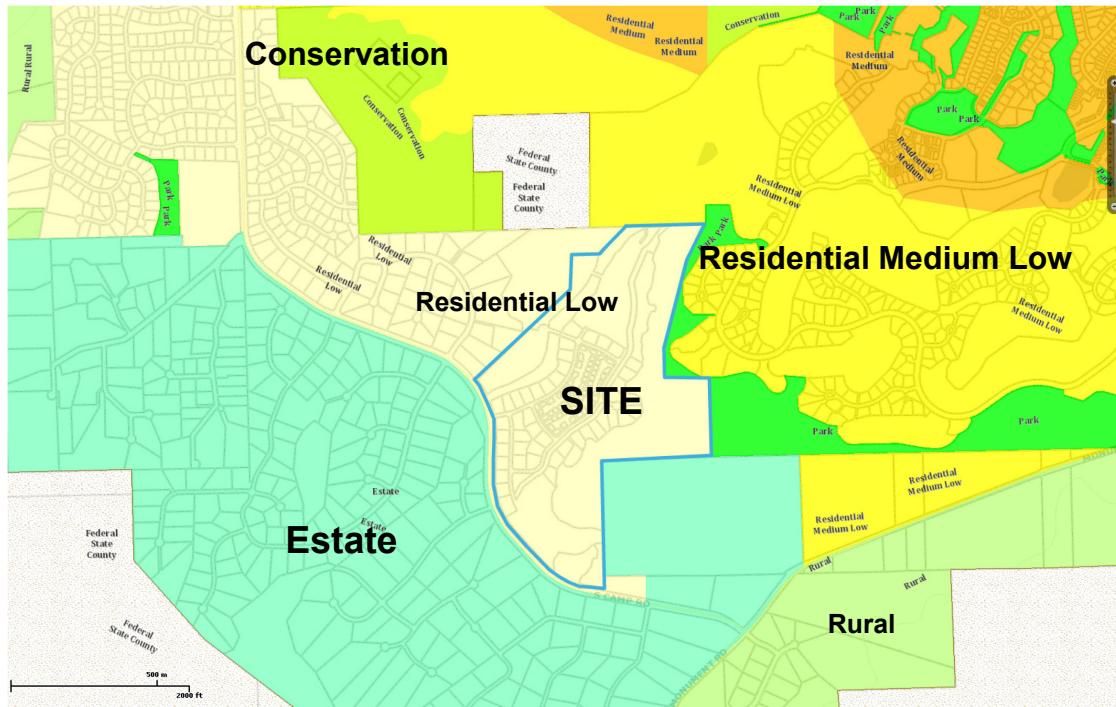
Aerial Photo Map

Red Rocks Valley



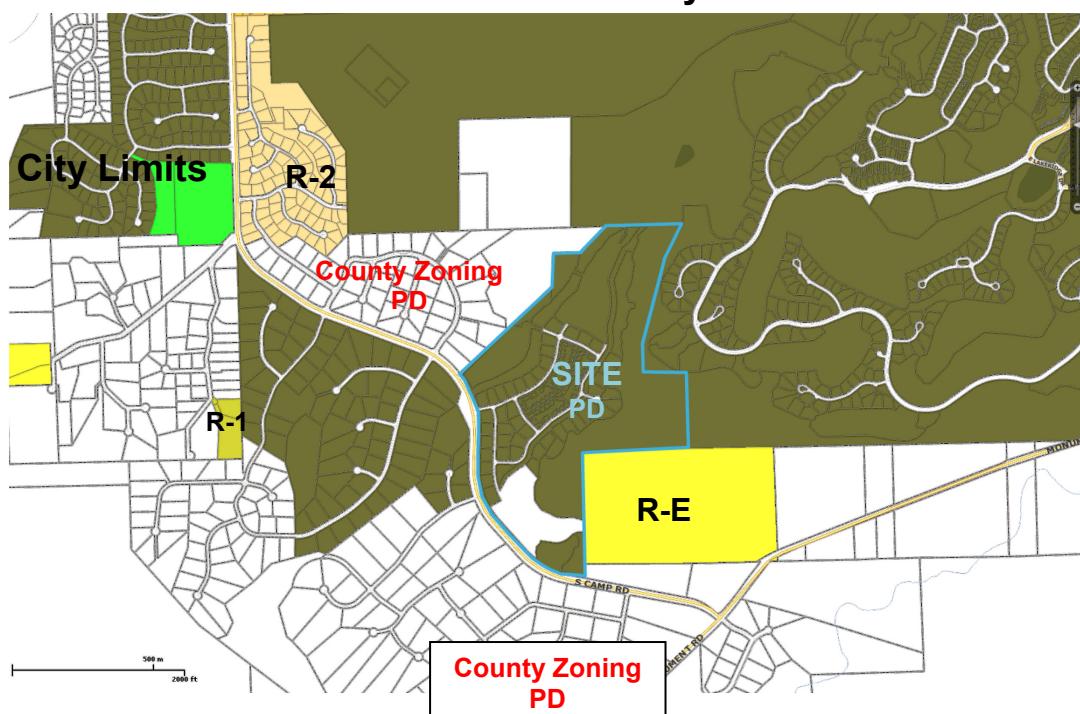
Comprehensive Plan Map

Red Rocks Valley



Existing City and County Zoning Map

Red Rocks Valley



NOTE: Mesa County is currently in the process of updating their zoning map. Please contact Mesa County directly to determine parcels and the zoning thereof."

RIDER & QUESENBERRY, LLP

200 Grand Avenue, Suite 200

Grand Junction, CO 81501

970-257-1917

970-242-3749 (Fax)

Kirk Rider
kirk@rqlawllp.com

Lloyd D. Quesenberry
lloyd@rqlawllp.com

January 20, 2012

Lori V. Bowers, Senior Planner
Public Works, Planning Division
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

RE: Red Rocks Valley Planned Development

Dear Ms. Bowers:

Thank you for meeting with David Fletcher and me this week. As we explained then, Dave's family owns Surf View Development Co., which recently completed foreclosure proceedings on those portions of the Red Rocks Valley development that have not yet been submitted for final plat approval.

On behalf of Surf View, we request an extension of ten (10) years for final platting of this property. The economic downturn, combined with a massive surplus of developed lots, has made this request necessary. Surf View does remain committed to the overall development plan reflected in previous submissions by the developer. It believes the development will eventually become a fine community asset.

Should you have any questions about this matter or are in need of additional information, please contact me.

Best regards,

RIDER & QUESENBERRY, LLP

By
Kirk Rider

Kirk Rider

KR/rmh

cc: Surf View Development Co.

RECEIVED

JAN 20 2012

**COMMUNITY DEVELOPMENT
DEPT.**

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

AN ORDINANCE AMENDING ORDINANCE NO. 4109, ZONING THE FLETCHER ANNEXATION (RED ROCKS VALLEY PD) TO PLANNED DEVELOPMENT 1.12 (PD)

LOCATED APPROXIMATELY 1/2 MILE WEST OF MONUMENT ROAD ON THE NORTH SIDE OF SOUTH CAMP ROAD

Recitals

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of zoning the Fletcher Annexation to the PD zone district finding that it conforms with the recommended land use category as shown on the Future Land Use map of the Growth Plan, and the Growth Plan's goals and policies, and is generally compatible with land uses located in the surrounding area. The zone district meets the criteria found in Section 21.02.150 of the Zoning and Development Code and the requirements of Section 21.05, regarding Planned Developments. The default zoning is R-2, Residential – 2 units per acre.

After public notice and public hearing before the Grand Junction City Council, City Council finds that the PD zone district is in conformance with the stated criteria of Section 21.02 of the Grand Junction Zoning and Development Code.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The following property be zoned Planned Development not to exceed 1.12 dwelling units per acre.

**PERIMETER BOUNDARY LEGAL DESCRIPTION
RED ROCKS VALLEY**

A certain parcel of land located in the Southeast Quarter (SE1/4) of Section 19 and the Northeast Quarter (NE1/4) of Section 30, Township 1 South, Range 1 West of the Ute Principal Meridian, County of Mesa, State of Colorado and being more particularly described as follows:

BEGINNING at the Southeast corner of Block D, Monument Valley Subdivision, as same is recorded in Plat Book 16, page 269-270, Public Records of Mesa County, Colorado, and assuming the East line of the NW1/4 NE1/4 of said Section 30 bears S00°00'15"W with all other bearings contained herein being relative thereto; thence from said Point of Beginning; S11°52'16"W to a point on the South right of way line of South Camp Road, as same is recorded in Book 997, pages 945-946, a distance of

100.00 feet; thence along said right of way N78°07'44"W a distance of 204.77 feet; thence 662.69 feet along the arc of a 1004.93 foot radius curve concave Northeast, having a central angle of 37°46'59" and a chord bearing N59°14'14"W a distance of 650.75 feet; thence N40°20'44"W a distance of 457.15 feet; thence 390.46 feet along the arc of a 1004.93 foot radius curve concave Northeast, having a central angle of 22°15'42" and a chord bearing N29°12'52"W a distance of 388.01 feet to a point on the centerline of Rimrock Drive, as same is shown on the plat of Monument Valley Subdivision Filing No. 5, as same is recorded in Plat Book 14, Pages 212-214, Public Records of Mesa County, Colorado; thence N71°52'16"E a distance of 50.00 feet to a point on the East line of the Monument Valley Annexation, City of Grand Junction Ordinance No. 2850, and the centerline of said South Camp Road; thence 353.46 feet along the arc of a 954.93 foot radius curve concave East, having a central angle of 21°12'28" and a chord bearing N07°28'38"W a distance of 351.45 feet; thence N03°07'36"E along a line 429.61 feet; thence 602.38 feet along the arc of a 954.93 foot radius curve concave West, having a central angle of 36°08'35" and a chord bearing N14°55'27"W a distance of 592.44 feet; thence N57°08'32"E a distance of 50.00 feet to a point on the North right of way of said South Camp Road; thence S32°59'44"E a distance of 45.59 feet; thence 633.56 feet along the arc of a 1004.93 foot radius curve concave West, having a central angle of 36°07'20" and a chord bearing S14°56'04"E a distance of 623.12 feet; thence S03°07'36"W a distance of 429.95 feet; thence 686.60 feet along the arc of a 904.93 foot radius curve concave Northeast, having a central angle of 43°28'20" and a chord bearing S18°36'34"E a distance of 670.25 feet; thence S40°20'44"E a distance of 457.15 feet; thence 596.27 feet along the arc of a 904.93 foot radius curve concave Northeast, having a central angle of 37°45'09" and a chord bearing S59°13'19"E a distance of 585.54 feet; thence S78°07'44"E a distance of 205.25 feet; more or less to the Point of Beginning, TOGETHER WITH Block C and Block D, of said Monument Valley Subdivision.

Said parcel contains 144.43 acres (6,291,761 square feet), more or less, as described.

This Ordinance prescribes as follows:

- 1) **Default zoning standards.** If the planned development approval expires or becomes invalid for any reason, the property shall be fully subject to the default standards. The default standards of the R-2 zoning designation will apply.
- 2) **Phasing schedule.** Remaining Phases are to be Final Platted by March 1, 2022.
- 3) **Number of units allowed.** 155 residential units allowed – 103 single family residential lots, 1/2 acre in size or larger; 52 patio homes (attached and detached).
- 4) **Applicable setbacks.**
 - a) **Patio homes.** The setback standards for the patio homes are as follows: A minimum 14-foot setback is required around the perimeter of the patio home area. This

setback is measured from the back of walk and includes Red Park Road, Red Point Road, Red Mesa Road, and Slick Rock Road. The front setback for all garages shall be 20 feet. The side setback between buildings is 10 feet, except for those units that are attached, and then a zero setback is allowed. No accessory structures will be allowed. A dimensioned final design of the patio home area will be recorded with the Final Plat.

b) Other homes. The setbacks for the single-family homes not designated as patio homes are as follows: The front setback is 20 feet for the principle structure and 25 feet for accessory structures. Side setbacks are 15-feet for the principle structure and 3 feet for accessory structures. The rear setback is 30-feet for the principle structure and 3 feet for an accessory structure. (These setbacks are consistent with the R-2 default zone.)

5) **Future development.** A tract (shown as Tract N on the approved preliminary drawings dated 4/24/07, found in development file number PP-2006-217) is reserved for future development to adjoin the property to the east.

6) **Construction restrictions.**

Construction outside of the designated building envelopes will not be permitted. Engineered foundations and site grading plans shall be required on all lots. The Final Plat shall include a note requiring construction with the designated building envelopes, engineered foundations and site grading plans for each and every lot.

Mitigation berms, swales for drainage and rock fall areas shall be constructed. City engineer(s) and Colorado Geological Survey representatives shall be permitted to supervise the construction of these features and these features must be inspected and approved by a City engineer. These features will be considered and treated as "as-builts." The construction of these features shall be guaranteed and secured by Development Improvements Agreement (DIA) and associated security. Maintenance of these features shall be provided by an association of the homeowners in perpetuity, and easements in favor of said association for this purpose shall be granted.

No planning clearance or building permit shall issue for any construction on the lot designated as Lot 1, Block 1 on the approved preliminary drawings dated 4/24/07, included in development file number PP-2006-217, and said lot shall not be sold, unless and until a secondary access is constructed in the subdivision to the east. No more than 99 homes shall be constructed in area comprised by the Plan (referred to presently as the Red Rocks Valley Subdivision) unless and until a secondary access to a public roadway or street is constructed, whether within the Red Rocks Valley Subdivision or in the subdivision / development to the east. A Recording Memorandum setting forth in detail these restrictions shall be recorded so as to inform potential buyers of such restrictions. Construction of said secondary access shall be guaranteed and secured by a DIA and associated security.

If no access to South Camp Road that can serve as a secondary access for Red Rocks Valley Subdivision is completed in the subdivision / development to the east by the time a planning clearance or building permit for the 99th house issues, the developer shall promptly construct the secondary access in the location of Lot 1, Block 1 on the approved preliminary drawings dated 4/24/07, included in development file number PP-2006-217.

No planning clearance or building permit shall issue for any construction on the lot designated on the approved preliminary drawings, dated 4/24/07 and included in development file number PP-2006-217 as Lot 1, Block 5, unless and until the ingress/egress easement is vacated and the lift station associated with it has been relocated or is no longer needed, as determined by City staff. A Recording Memorandum setting forth in detail these restrictions shall be recorded so as to inform potential buyers of such restrictions.

The Final Plat shall show any and all "no-disturbance" and/or "no-build" zones as designated by the Army Corps of Engineers or City engineers.

7) **Private Streets Agreement.** Private streets as proposed by the Applicant are approved; an agreement for the maintenance of all private streets in the subdivision in accordance with City Transportation Engineering and Design Standards (TEDS) shall be required and shall be recorded with the Final Plat.

8) **Sidewalks.** The following sidewalks not shown on the approved preliminary drawings dated 04/24/07 included in development file number PP-2006-217 shall be provided:

- Sidewalk on both sides of Slick Rock Road.
- Sidewalks on both sides of Red Park Road.
- On Grand Cache Court, continue the sidewalk around the entire cul-de-sac and both sides of the street.
- Sidewalk on both sides on Red Pointe Road between Red Mesa Road and Red Park Road.
- Continue sidewalk around the cul-de-sac on Crevice Court to the trail in Red Canyon.

9) **Park land dedication.** The final plat shall include a dedication to the City for a public park holding in the corner of land which connects with and would make contiguous City's two holdings to the north and east of this parcel. Said dedication shall be sufficient, at a minimum, to allow maintenance access, and shall be to the reasonable specifications of the Parks and Recreation Department.

10) **Trails.** Existing public trails in the area shall connect through this subdivision.

INTRODUCED on first reading the ____ day of _____, 2012 and ordered published in pamphlet form.

PASSED and ADOPTED on second reading the _____ day of _____, 2012 and ordered published in pamphlet form.

ATTEST:

President of the Council

City Clerk

CITY OF GRAND JUNCTION

CITY COUNCIL AGENDA										
Subject	Zoning of the Fletcher Annexation located ½ mile west of Monument Road on South Camp Road									
Meeting Date	August 1, 2007									
Date Prepared	July 23, 2007				File # ANX-2006-108					
Author	Lori V. Bowers			Senior Planner						
Presenter Name	Lori V. Bowers			Senior Planner						
Report results back to Council	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No	When					
Citizen Presentation	X	Yes		No	Name	Sid Squirrell				
	Workshop	X	Formal Agenda			Consent	<input checked="" type="checkbox"/>	Individual Consideration		

Summary: Request to zone 139-acre Fletcher Annexation, on South Camp Road 1/2 mile west of Monument Road, Planned Development, 1.12 dwelling units per acre.

Budget: N/A

Action Requested/Recommendation: Hold a public hearing on August 1, 2007 to adopt an ordinance zoning the Fletcher Annexation as Planned Development, not to exceed 1.12 dwelling units per acre (PD 1.12), and a Preliminary Development Plan (hereinafter "Plan"). Planning Commission recommend approval of the Plan, with the inclusion of private streets and sidewalks and paths described herein not shown on the Plan.

Attachments:

Site Location Map / Aerial Photo Map
 Future Land Use Map / Existing City and County Zoning Map
 Minutes from the Planning Commission meeting
 Letters from neighbors
 Preliminary Development Plan
 Zone of Annexation Ordinance

Background:

The proposed Red Rocks Valley Subdivision (also the Fletcher Annexation) is approximately 138.97 acres in size, located in the Redlands bounded on the southwest by South Camp Road, the northwest by the last filing of Monument Valley Subdivision, the north and east by Redlands Mesa Subdivision and the south by private property. The topography on part of the site is steep with approximately 160 feet of relief. Red Canyon Wash and another minor wash on the east side connecting to Red Canyon Wash cross through the parcel from southwest to northeast. The land use classification for the area is Residential Low.

BACKGROUND INFORMATION							
Location:	South Camp Road and Monument Road						
Applicant:	Redlands Valley Cache, LLC, owner and developer; LANDesign Consulting, Bill Merrell, representative.						
Existing Land Use:	Vacant land						
Proposed Land Use:	Residential subdivision						
Surrounding Land Use:	North	Redlands Mesa Golf and residential					
	South	Residential subdivision					
	East	Vacant land and Redlands Mesa					
	West	Residential subdivision					
Existing Zoning:	County PD						
Proposed Zoning:	PD (density 1.12 Du/Ac)						
Surrounding Zoning:	North	PD					
	South	RSF-E and PD					
	East	RSF-E and PD					
	West	PD					
Growth Plan Designation:	Residential Low (1/2 to 2 AC/DU)						
Zoning within density range?	X	Yes		No			

The Applicant sought annexation into the City on March 31, 2006 with a zoning at R-2, a designation at the high end of the zoning allowed by the Growth Plan. A neighborhood meeting at Wingate Elementary on May 18, 2006 brought in approximately 25 neighbors who voiced concerns about sewer, drainage, road capacity for South Camp Road, flooding in the area, the site's geologic attributes, density and lighting. The Preliminary Development Plan (hereinafter "Plan") proposed at this time is considerably different from the plan presented at the neighborhood meeting. County zoning on this property was planned development at 3 units per acre.

The Applicant provided a site analysis as required by Zoning and Development Code (ZDC) Section 6.1, including map overlays indicating development potential of all areas and a description of assumptions and methodology used to reach those conclusions. Based on the site's physical constraints, Staff recommended the Applicant request a zoning designation of Planned Development (PD). The Applicants, its designers and engineers, City Staff and outside review agencies have come to what we feel is a workable and sensitive plan, developing the potential of the property while taking into account its physical constraints.

Planning Commission Recommendation:

- 1) The Planning Commission forwards a recommendation of approval of the Planned Development zone district, not to exceed 1.12 dwelling units per acre, for the Fletcher Annexation, ANX-2006-108 to the City Council with the findings and conclusions listed herein.
- 2) The Planning Commission forwards a recommendation of approval of the Preliminary Development Plan, file number PP-2006-217, to the City Council with the findings and conclusions listed herein, with the specific addition of direct sidewalk or path connections for those lots that do not have a direct

connection shown on the proposed plan. This aspect of the recommendation is described more fully herein and is incorporated in the proposed Ordinance.

Minutes from the Planning Commission meeting of June 28, 2007, are attached.

Discussion of Key Features

1. Community Benefits.

Zoning and Development Code Sections 5.1 A and 2.12 A provide that PD zoning should be used only when long-term community benefits are derived. This proposed Plan provides the following community benefits.

(a) A greater quality and quantity of public and /or private open space (§5.1 A.3.) than that in a typical subdivision is provided. The Plan provides 46.69 acres of open space, 33.6% of the overall site.

(b) The Plan provides needed housing types and/or mix (§5.1 A.5). The housing mix includes large-lot single-family residential and patio homes, which are currently in demand in the Grand Valley. The housing mix will be that of large lot single-family residential as the Redlands area has been known for, and patio homes similar to the Seasons at Tiara Rado.

(d) The Plan includes innovative design features (§5.1 A.6.). The character of the site with steeper slopes on the north and east, and interesting geologic features shall be protected by no disturbance and no build zones to be shown on the Final Plat.

(e) The Plan protects and preserves natural resources, habitat areas and natural features (§5.1. A.7.). The character of the site with its steeper slopes on the north and east, and interesting geological features are protected by "no-disturbance" and "no-build zones," which will be shown on a final plat.

2. Physical hazards and mitigation.

The site's physical constraints include poor soils and the two washes referred to above, which carry the potential for flash flooding as evidenced by signs of past slope failure, slope creep and rock fall throughout the site. To mitigate this potential and to protect the safety and welfare of the community, the proposed ordinance requires engineered foundations and strict building envelopes for all structures, site grading plans, drainage swales and berms with boulder barriers, to redirect small storm flows without radical changes from the natural drainage, placed so as to allow reasonable and necessary cleaning. These low-tech barriers may consist of existing larger boulders with additional boulders positioned to protect the building envelopes. These features must be constructed to the satisfaction of the City Engineer, treated as "as-builts," covered by a Development Improvements Agreement, and maintained in perpetuity by a homeowners' association.

The flash flood areas located in the site's two major drainage channels will require more review prior to recordation of a final plat. An analysis of possible wetlands areas and delineation of other waters was prepared by Wright Water Engineers and was submitted to the Army Corps of Engineers (hereinafter Corps) for their determination of their wetlands jurisdiction. Because the Corps has not yet determined what its requirements for these areas will be, the Applicant's engineer is requesting flexibility on how and where to design the required drainage basins. Staff feels that with the liberal amount of room in the channels and the placement of the channels in a Tract, it can support the general locations shown in the Plan regardless of how the Corps claims jurisdiction. The drainage basins will, however, need to be specified in more detail and in compliance with wetlands restrictions imposed by the Corps, if any, before a final plat is recorded.

The Colorado Geologic Survey (CGS) has also commented on the Plan, stating that the Lincoln DeVore study was detailed and suggesting that a CGS representative be on site during construction of the rock swales and berms, and that each feature be inspected and approved by the City Engineer (Ceclia

Greenman letter dated May 9, 2007). This recommendation has been incorporated into the PD Ordinance.

The Colorado Natural Heritage Program was contacted by Wright Water Engineers for any concerns about endangered species or rarity of plant forms. The report area is extensive covering Glade Park, the Monument out to Fruita, etc. No significant findings are claimed for this parcel.

The Colorado Division of Wildlife, in their letter dated November 16, 2006, stated: "While it is always unfortunate to lose open space, given the location and the condition of the surrounding properties, the Division of Wildlife had no major issues with the development as proposed;" there is further discussion of this in this report.

3. Requested exceptions and alternatives.

(a) Reduced lighting. A Transportation Engineering Design Standards (TEDS) exception was requested to address the lighting concerns of the neighbors. Given that the Redlands Area Plan encourages reduced lighting intensity in streets and other public places, TEDS Exception #13-07 was granted, allowing for minimal placement of street lights and low level lighting for the entrance to pedestrian areas. Street lights are limited to public street intersections and one is required on the bulb out on Red Point Court. These lights are required for police and fire protection services. No street lights will be required on the private streets in the patio home area.

(b) Alternate streets. Applicant requested benefit of the Alternate Residential Street Standards found in Chapter 15 of TEDS. City Staff supports their design, with one exception described below. The Applicant proposed non-traditional streets to create a less "urbanized" feel to the area, based on the fact that much of the neighboring area was developed in Mesa County where the requirement for sidewalks and pedestrian paths was minimal, or non-existent. The proposed design has one remaining flaw, however; its pedestrian facilities do not meet the Alternative Street Standards in Chapter 15 of TEDS, which requires equal or better than the existing adopted street sections. Based on these standards Staff recommends that direct access to a trail or sidewalk should be provided, while the Applicant proposes no sidewalks in certain areas (typically but not limited to cul-de-sacs). Further discussion of this item is found later in this Staff report.

(c) Private Streets. The Applicants requested private streets in the interior of the proposed subdivision (the patio home area). This request requires City Council approval. Staff recommends approval subject to a requirement of a private streets maintenance agreement in conformance with TEDS and recorded before the final plat.

Conformity with Code Standards and Criteria

1. Consistency with the Growth Plan:

The Plan is consistent with the following goals and policies of the Growth Plan:

Goal 1: To achieve a balance of open space, agricultural, residential and nonresidential land use opportunities that reflects the residents' respect for the natural environment, the integrity of the community's neighborhoods, the economic needs of the residents and business owners, the rights of private property owners and the needs of the urbanizing community as a whole.

The Plan meets this goal by providing 46.69 acres of open space, which is 33.6% of the overall site. The flood and drainage mitigation measures incorporate natural features, thereby respecting the natural environment.

Policy 1.4: The City and County may allow residential dwelling types (e.g., patio homes, duplex, multi-family and other dwelling types) other than those

specifically listed for each residential category through the use of planned development regulations that ensure compatibility with adjacent development. Gross density within a project should not exceed planned densities except as provided in Policy 1.5. Clustering of dwellings on a portion of a site should be encouraged so that the remainder of the site is reserved for usable open space or agricultural land.

The Plan clusters dwellings on the site in the "high" developable areas identified in the Site Analysis. Patio homes will be developed in this area. The outlaying parcels are larger in size and reflect the adjacent neighborhoods. Several pedestrian paths are provided through the project for usable open space and interconnectivity to other properties.

Policy 13.6: Outdoor lighting should be minimized and designed to reduce glare and light spillage, preserving "dark sky" views of the night sky, without compromising safety.

This policy (which also reflects that of the Redlands Area Plan) is implemented by reduced street lighting, for which a TEDS Exception (#13-07) has been granted.

Redlands Area Plan goals.

The Redlands Area Plan was adopted as part of the Growth Plan. A goal of this plan is to minimize the loss of life and property by avoiding inappropriate development in natural hazard areas. The proposed subdivision was closely reviewed by the developer's engineers, City engineers, Colorado Geological Survey, Lincoln DeVore, and is currently undergoing review by the Army Corps of Engineers. The natural hazard areas have been mapped and mitigation measures have been proposed. The mitigation measures are addressed elsewhere in this report as well as in the proposed PD Ordinance. Staff believes that although the details of some of these measures are left to be worked out at a later development stage, which is not ideal, the Plan provides sufficient assurance that loss of life and property can and will be minimized by the features in the Plan and the proposed ordinance.

Another goal of the Redlands Area Plan is to achieve high quality development in terms of site planning and architectural design. The Plan proposed does not include any references to types of or to specific architectural design(s); however, the site analysis process has resulted in what Staff feels is a quality subdivision. The subdivision incorporates the natural hazard areas by grouping higher density patio homes in the "high" developable area, while the larger lots (minimum ½ acre in size) surround the patio homes in the "medium" developable areas. The lot sizes, proposed setbacks and bulk standards for the default zone of Residential – 2 dwelling units per acre (R-2) will work for this subdivision. The overall density proposed is 1.12 dwelling units per acre, which is just under the Redlands area average of 1.14 dwelling units per acre.

2. Section 2.12.C.2 of the Zoning and Development Code

Requests for a Planned Development Preliminary Development Plan must demonstrate conformance with all of the following:

- b) The Outline Development Plan review criteria in Section 2.12.B of the Zoning and Development Code, which are as follows:
 - 1) The Growth Plan, Major street plan and other adopted plans and policies.

The Growth Plan designation for this area is Residential Low (½ to 2 acres per dwelling unit), which allows for R-E zone (one dwelling unit per 2 acres) at the low end and R-2 (2 dwelling units per acre) at the high end. The proposal is consistent with the Growth Plan by providing an overall density of 1.12 dwelling units per acre.

The Grand Valley Circulation Plan shows only South Camp Road; the proposed subdivision will access this road. Private streets are proposed for the patio home area. All other local streets are designed using the alternate street standards as provided for in Chapter 15 of TEDS (Transportation Engineering Design Standards). The proposed subdivision needs a secondary access that is not included in the Plan. The Plan does include a proposed stub street to the property directly to the east (the Azcarraga property). The Applicant anticipates that the Azcarraga property will develop, including an access to South Camp Road, before 100 homes are constructed in the Red Rocks Subdivision, and that the stub street will provide the required secondary access. (The "100 lot rule" establishes the maximum number of homes that may be accessed by a single point of ingress/egress). In the event that this does not occur, a secondary access must be constructed across Lot 1, Block 1. The ordinance provides for the activation of the "100 lot rule" in the event that the Azcarraga property is not developed by the appropriate time, and requires a DIA with guarantee for the road's construction. It also requires that potential buyers be alerted to the existence of building restrictions by use of a recording memorandum.

The Urban Trails Master Plan requires useable public trails through this subdivision and along South Camp Road. These trails have been provided in coordination with requests from the Parks and Recreation Department and the Urban Trails Committee. The developer will work with the City to ensure that existing trails will connect through this subdivision. The Parks & Recreation Department requests a dedication of the corner of land which would connect and make contiguous the City's two holdings north and east of this parcel, sufficient to allow maintenance access. Also a trail access across Red Canyon is provided along the north end of the property adjacent to the Redlands Mesa Golf Course, providing bicycle/pedestrian access from Redlands Mesa to the west and the future trail development in the area. The developers are currently in conversation with the Parks and Recreation Department and by the time of final design the details of the trail connections and possible land dedication shall be in place. The area is currently part of an open space tract. A dedication of land in the area to attach to the other City owned parcels is above and beyond the Code requirements for open space.

- 2) The rezoning criteria provided in Section 2.6 of the Zoning and Development Code is applicable to rezone. Section 2.6.A.3 and 4 of the Zoning and Development Code are applicable to annexations:

Zone of Annexation: The requested zone of annexation to the PD district is consistent with the Growth Plan density of Residential Low. The existing County zoning is PD 3, although no plan was approved. Section 2.14 of the Zoning and Development Code states that the zoning of an annexation area shall be consistent with either the Growth Plan or the existing County zoning.

In order for the zoning to occur, the following questions must be answered and a finding of consistency with the Zoning and Development Code must be made per Section 2.6.A.3 and 4 as follows:

- The proposed zone is compatible with the neighborhood, conforms to and furthers the goals and policies of the Growth Plan and other adopted plans and policies, the requirements of this Code, and other City regulations.

Response: The proposed zone is compatible with the surrounding neighborhood if developed at a density not exceeding 1.12 dwelling units per acre. The applicants have requested that the underlying default zoning of R-2. Other existing densities in the area are similar to the County RSF-1 (Residential Single-Family – one dwelling unit per acre). The overall average density throughout the Redlands, as provided in the Redlands Area Plan, is 1.14 dwelling units per acre. Therefore the PD zoning of 1.12 dwelling units per acre is similar to the existing area.

- Adequate public facilities and services are available or will be made available concurrent with the projected impacts of development allowed by the proposed zoning;

Response: Adequate public facilities are available or will be supplied at the time of further development of the property.

- 3) The planned development requirements of Chapter Five of the Zoning and Development Code.

Chapter Five of the Code lists examples of types of community benefits that can support a planned development zoning designation. The Plan meets several of those as discussed earlier in this report under the heading "Community Benefits."

Further requirements of Chapter Five are to establish the density requirement for the Planned Development Ordinance. The proposed PD ordinance establishes the density requirement of 1.12 dwelling units per acre. The R-2 zone as a default zone is appropriate. It has the same bulk standards and setbacks as what is being requested for the new PD zone district. Deviations from the R-2 zone would be in the patio home area. The Code states that the ordinance shall contain a provision that if the planned development approval expires or becomes invalid for any reason, the property shall be fully subject to the default standards of the R-2 zone district. The patio home area could then be reviewed using the cluster provisions, but the density may drop in that area. The proposed setbacks for this PD are discussed further in this staff report.

- 4) Section 5.4, Development standards.

Setback standards shall not be less than the minimum setbacks for the default zone unless the applicant can demonstrate that the buildings can be safely designed and that the design is compatible with lesser setbacks. The setback standards for the single-family homes is consistent with the R-2 default zone: The front setback is 20 feet for the principle structure and 25 feet for accessory structures. Side setbacks are 15-feet for the principle structure and 3 feet for accessory structures. The rear setback is 30-feet for the principle structure and 3 feet for an accessory structure.

Setbacks for the patio home area are less than the default zone and are allowed to be reduced because of the amount of common open space and the protection of the environmentally sensitive areas that were determined through the Site Analysis process and is allowed through the Planned Development process of the Code. The Planning Commission will make recommendation to City Council that the patio home area setbacks are adequate as follows for what is being proposed for the ordinance: A minimum 14-foot setback is required around the perimeter of the patio home area tract for the multi-purpose easement as well as a landscape buffer. This setback is measured from the back of walk and includes Red Park Road, Red Point Road, Red Mesa Road, and Slick Rock Road. No access will be obtained directly from these perimeter streets. All access for the patio home area will be obtained from the interior private streets functioning more as a driveway than a street. This does require City Council approval. Required is a front setback for all garages at 20 feet. The principle structure front setback will be a minimum of 10-feet, measured from the back edge of the private street. The side setback between buildings is 10-feet, except for those units that are attached, and then a zero setback is allowed. At final, a site plan shall be recorded to show the proposed building layout and further establish the setbacks that are proposed on the preliminary plan. It is the intention of the patio home area of the subdivision to sell the patio homes in fee simple and the areas surrounding the homes to be landscaped and maintained by the HOA. No accessory structures will be allowed. This is a deviation of the Zoning and Development Code Section 9.32. which talks about single-family detached dwellings on a single lot; and two-family dwellings located on separate lots. The intent is for the home to be "the lot" surrounded by common open space, maintained by the HOA. At final design the applicant will provide a dimensioned final site plan depicting this area. This will be recorded with the final plat for verification of building placements

The Open Space requirements established in Chapter Six are exceeded with this plan. Over 33.6% of the site is dedicated to Open Space, which totals 46.69 acres. Fourteen Tracts of land are provided totaling 16.67 acres or 12.0% of the land. These Tracts are for various purposes, and sometimes dual purposes, such as trails, utilities and drainage. Tract N is reserved for future development to adjoin the property to the east. This was a decision that was reached with the applicant when a good design for this area could not be found. It made sense to include it with the development of the property to the east when it develops.

Planned Developments are to provide uniform perimeter fencing in accordance with Chapter Six. It is Staff's position that no perimeter fencing is required with this subdivision since the density and intensity of the surrounding subdivisions are similar, and in places it would be very difficult to install, nor would it serve a purpose. This is further discussed in number 9 below.

Development standards require compatibility with adjacent residential subdivisions. Compatibility does not mean the same as, but compatible to. It is Staff's opinion that residential compatibility exists but single family lots abutting other single family lots on the west side.

Landscaping shall meet or exceed the requirements of Chapter Six. The landscaping requirements of the Code do not apply to a lot zoned for one (1) or two (2) dwelling units. Landscaping in the single-family area will be done by the home owner with approval from the HOA, subject to easements for maintenance of slopes and berms in the sensitive areas. The Plan provides the required landscape buffer along South Camp Road and pedestrian trail per the Urban Trails Master Plan. Landscaping in the patio home area will be maintained by the HOA. Because the soils report prepared by Lincoln DeVore recommends that the steeper slopes be non-irrigated due to the high possibility of slope failure, the majority of the steep slopes are in open space tracts. This should also serve to notify the developer of the soil conditions of this area and to landscape appropriately.

Colorado Division of Wildlife reviewed the proposal as the Redlands Area Plan (Figure 10, page 65) specified the Red Canyon Wash as having a potential impact to wildlife in this area. The DOW stated that they had no major issues with the development; however they recommended that the main drainage be left in its native state with a 100-foot buffer for wildlife to travel on their way to the Colorado River and back. They also strongly encouraged native and xeric landscaping for the existing wildlife of the area and not to disturb areas where it is not necessary beyond the roads and homes.

Parking has been addressed through a parking analysis done by the applicant to ensure adequate off-street parking exists for the patio home area and additional parking is obtained "on street" surrounding the development. Parking is further addressed below in item 8.

Deviation from the above development default standards shall be recommended by the Planning Commission to the City Council to deviate from the default district standards subject to the provision of the community amenities that include more trails other than those listed on Urban Trails Master Plan and open space greater than the required 20% of the site.

- 5) The applicable corridor guidelines and other overlay districts in Chapter Seven.

Chapter Seven of the Zoning and Development Code addresses special regulations and are discussed below. There are no corridor guidelines in place for South Camp Road.

- 6) Section 7.2.F. Nighttime Light Pollution.

This section of the Code is to enforce that all outdoor lights mounted on poles, buildings or trees that are lit between the hours of 10:00 PM and 6:00 AM shall use full cutoff light fixtures. This in conjunction with the TEDS exception that was granted for reduced street lighting in this area. Reduced lighting should help protect the night sky and the neighborhood from excessive lighting. Minimal street lighting will be required where the TEDS committee determined it to be necessary for the public safety of this subdivision. Street lights will be required at the intersection of public streets, not private streets, and at the bulb out on Red Point Court. Low level lighting is encouraged at the entrance to pedestrian paths.

- 7) Adequate public services and facilities shall be provided concurrent with the projected impacts of the development.

Adequate public utilities are present in the area and the services will be extended throughout the subdivision. Sewer will be extended through the site and an existing lift station will be removed once all

the sewer improvements are completed. Presently there is an ingress/egress easement on Lot 1, Block 5, for maintenance of the existing lift station. As part of the future requirements of the development, the easement will be vacated when the lift station is taken out of service. There is an existing 12" Ute Water line for service located in South Camp Road. Telephone, electric and gas is also available in South Camp Road.

- 8) Adequate circulation and access shall be provided to serve all development pods/areas to be developed.

LSC Transportation Consultants prepared the traffic analysis for this project. The study showed no need for improvements to South Camp Road.

The applicants have provided adequate vehicle circulation throughout the proposed subdivision by taking advantage of Chapter 15 in the TEDS manual using the alternative street standards (with the exception of the secondary access requirement, which is addressed elsewhere herein). The applicants are also requesting City Council approval of the private streets proposed in the patio home area.

The intent of using in the "Alternate Residential Street Standards" is to provide flexibility in the creation, approval and use of public street infrastructure that varies from the cross-sectional standards provided in Chapter 5 of TEDS. These proposals are approved administratively and the implementation of these standards should result in "a better solution" allowing alterations to the standard street section that produce benefits to the community. Staff supports the road layout and configuration but does not agree with the applicant as to their lack of sidewalks or paths in some areas.

Section 15.1.6 of TEDS states that the design must provide adequate pedestrian facilities equal or better than existing adopted street sections. Detached walk and additional walk width are encouraged are by TEDS. Sidewalks are required to create continuous pedestrian walkways parallel with the public roadway. Generally, if lots front both sides of the street, sidewalk will be required on both sides of the street. In this proposal there are trails provided through open space areas that may be accessed from the rear or sides of the properties, therefore Staff agreed that sidewalks would not be needed on the street side where a path ran along the backside or side yard of the lots. The alternate streets, as proposed, include 40-foot right-of-way, sidewalk on one side of the street and only a 25-foot wide asphalt section. The applicants further feel that narrow streets will help with traffic calming. There is a network of pedestrian paths proposed to be installed. Most of these paved trails will include both a paved bicycle path and a smooth gravel jogging path.

There are several areas where the Plan does not provide direct access to sidewalks and/or paths from lots. Staff does not agree with the Applicant's reasoning for not providing them since TEDS requires that the proposal "be a better solution". The Applicants feels that the lack of sidewalks in the cul-de-sacs provides a more rural feel to the subdivision therefore less urbanized, and similar to other subdivisions in this area that were developed in the County. The Applicant requested the Planning Commission to determine if this is "a better solution", and allow these areas to remain as proposed without direct access to a pedestrian feature. The Planning Commission declined to make this finding, and forwarded a recommendation to the Council of approval of the Plan with the addition of the specific sidewalk requirements described herein and prescribed in the proposed ordinance.

Private Streets are generally not permitted. The applicants are requesting the use of private streets in the patio home area of the plan. Section 6.7.E.5. requires the City Council to authorize the use of private streets in any development to be served by private streets. Since there will be no "on-street" parking allowed in the patio home area on the private streets, a parking analysis was provided to show that there is sufficient on street parking provided on the streets surrounding the patio home area. Sidewalks and paths will direct pedestrians from the exterior sidewalks to the interior sidewalks and to a 20-foot wide pedestrian trail that will run through this portion of the subdivision. While these will be classified as Private Streets, they will act more as driveways since they do not interconnect, they are a series of small drives with cul-de-sac turn-a-rounds at the end. Staff supports the private streets given the overall design of the Plan including the effective clustering of home types and preservation of unique natural features.

- 9) Appropriate screening and buffering of adjacent property and uses shall be provided.

Along the eastern most portions of the site will be an extensive open space area that will provide a natural buffer. The northern most portion of the project abuts the Redlands Mesa Golf Course, therefore no screening or buffering is required. The western most portion of the project is where eight residential properties will abut another residential subdivision. There is no screening or buffering requirements for residential districts that adjoin other residential districts. The remainder of the site is adjacent to South Camp Road where a landscaping tract is being provided along that section of the road.

- 10) An appropriate range of density for the entire property or for each development pod/area to be developed.

The density for the overall site is 1.12 dwelling units per acre (138.97 acres). The patio home area density, which is 9.66 acres, will be 5.38 dwelling units per acre (7.0% of the site). The single-family residential area consists of 55.91 acres, with a density of 0.80 dwelling units per acre (40.2% of the site). The open space area equals 46.69 acres (33.6%). Public right-of-way consists of 10.04 acres (7.2%). The remainder of the site, placed in tracts for various uses, equals 16.67 acres or 12.0% of the site.

- 11) An appropriate set of "default" or minimum standards for the entire property or for each development pod/area to be developed.

The default standard for the single family residential areas on 1/2 acre lots will be those of the R-2 zoning district. The front setback is 20-feet for the principle structure and 25-feet for an accessory structure. Side setbacks are 15-feet for the principle structure and 3-feet for accessory structures. The rear setback is 30-feet for the principle structure and 3-feet for an accessory structure.

The patio home area standards are as follows:

A minimum 14-foot setback is required around the perimeter of the patio home area. This setback is measured from the back of walk and includes Red Park Road, Red Point Road, Red Mesa Road, and Slick Rock Road. The front setback for all garages shall be 20-feet. The side setback between buildings is 10 feet, except for those units that are attached, and then a zero setback is allowed. At final, a dimensioned site design plan shall be recorded with the Final Plat showing the exact building placements. No accessory structures will be allowed.

- 12) An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed.

A phasing schedule for the property has been provided. Five phases are proposed with the first phase to be platted by March 1, 2008; Phase 2 - March 1, 2011; Phase 3 - March 1, 2013, Phase 4 - March 1, 2015 and Phase 5 - March 1, 2017. A graphic depiction of the phasing is shown on sheet 3 of the drawings.

- 13) The property is at least twenty (20) acres in size.

The property is about 139 acres in size, well over the required 20 acre requirement.

- c) The applicable preliminary plat criteria in Section 2.8.B of the Zoning and Development Code.

- 1) The Growth Plan, major street plan, Urban Trails Plan, and other adopted plans:

This was discussed above in regards to Section 2.12.C.2.

- 2) The purposes of this Section 2.8.B

The purpose of Section 2.8.B. is to ensure conformance with all the provisions of the Zoning and Development Code. Staff feels that the Applicant has addressed the seventeen criteria of conformance with the Growth Plan and other adopted plans and policies; coordination of the public improvements; safeguarding the interests of the public; preserving natural features of the property; prevention and control of erosion, sedimentation and other pollution of surface and subsurface water; restricting building in areas poorly suited for construction; and prevent loss and injury from landslides, mudflows, and other geologic hazards.

3) The Subdivision standards (Section 6.7)

The subdivision standards have been met by providing open space integrated with the subdivision and adjacent property to create an attractive area for active and passive use. There is adequate access to public roads and existing trails in the area. Additional interior trails are planned. Along with single family units there is also zero lot line development in the patio home area. This provides greater usable yard space as suggested in the Zoning and Development Code for Planned Developments, innovative design and a mix of housing types. Although the clustering provisions do not apply to planned developments, the concept is being employed here, derived through the site analysis process. Should the default zone of R-2 become effective due to the expiration or lapse of the Ordinance, the clustering provisions could be applied.

There are some shared driveways in the single family area, and there are several cul-de-sacs provided. The subdivision standards further require that the subdivision include and protect as much of the natural, geologic and other hazard areas as possible. The Plan identifies drainages, washes, and flash flood areas and the detention basins are generically shown on the Plans in the Red Canyon Wash channel. The Applicant's Engineer is requesting flexibility on how and where to design the basins until the final design process because the Corps of Engineers has not yet determined their requirements. The general location shown on the Plan is still effective, from the Staff's point of view, because there is plenty of room within the channel, regardless of how the Corps claims jurisdiction, for location of the specific basins. Specific drainage basin design and location shall be shown on the final plat. Mitigation berms and swales for drainage and rock fall areas are shown on the Plan as easements, which shall be granted to the HOA and designated appropriately on the Final Plat. Based upon general agreement between Staff, Colorado Geological Survey, and Ed Morris of Lincoln DeVore, these will be treated as "as-builts" and covered in the Development Improvements Agreement (DIA). The City will further require that a representative be on site during construction of the rock swales and berms, and that each feature be inspected and approved by the City Engineer. Construction and installation of these berms is discussed in the report by Lincoln DeVore, Inc. Also a note on the final plat shall state that construction outside of the designated building envelopes is not permitted. Engineered foundations and site grading plans will be required for all lots. Each of these requirements is reflected in the proposed ordinance.

4) The Zoning standards (Chapter 3)

The Zoning of the subdivision to PD is consistent with Section 5.1 of the Zoning and Development Code. The desired flexibility is not available through the application of the standards established in Chapter Three, but the bulk standards of the R-2 district will apply to the single-family residential lots.

5) Other standards and requirements of the Zoning and Development Code and other City policies and regulations

Staff feels that the standards of the Zoning and Development Code as well as TEDS, SWMM and the Redlands Area Plan have been met with this application and can be applied at the Final Plat stage.

6) Adequate public facilities and services will be available concurrent with the subdivision

Adequate public facilities are in the area and can be extended to serve the proposed subdivision.

- 7) The project will have little or no adverse or negative impacts upon the natural or social environment

With the proposed easements and supervised construction there should be minimal adverse impacts upon the natural environment. The social environment will change as more needed housing is provided for the community when none existed previously, but this should not be an adverse impact.

- 8) Compatibility with existing and proposed development on adjacent properties

Compatibility will be obtained by providing single family residences on the periphery of the property where the development potential is more constrained, and cluster of higher density homes in the area where higher development potential exists. This was determined through the site analysis process.

- 9) Adjacent agricultural property and land uses will not be harmed.

There are no agricultural uses adjacent to this site. Adjacent residential uses will not be harmed by more residential uses.

- 10) Is neither piecemeal development nor premature development of agricultural land or other unique areas.

The proposed plan is neither piecemeal nor premature development of agricultural land. The property is unique in its geological formations; these are being preserved as open space areas.

- 11) There is adequate land to dedicate for provision of public services.

There is adequate land available throughout the proposed subdivision for easements for public utilities and services.

- 12) This project will not cause an undue burden on the City for maintenance or improvement of land and/or facilities.

The City should not see an undue burden for maintenance or improvements. There are currently discussions with the City's Parks and Recreation Department regarding land dedication or trail easements. The Parks Department would like to obtain a section of property that will connect two existing parcels owned by the City in the upper north east section of the project. The discussions are such that the area could be dedicated to the City for continuation and access of existing pedestrian trails, or easements provided for connecting the trails. At final design stages this will need to be decided. Ownership would then dictate who maintains the area.

The HOA will be responsible for maintenance of drainage and detention areas and the developer will be required to grant an access and maintenance easement to said HOA for this purpose. The City will also have access to these areas for stormwater management purposes in accordance with the law. The HOA will also be responsible for the maintenance of the private streets. TEDS as well as the proposed ordinance requires a TEDS-compliant Private Streets Agreement to be in place and recorded with the Final Plat.

- d) The applicable site plan review criteria in Section 2.2.D.4 of the Zoning and Development Code.

- 1) Adopted plans and policies such as the Growth Plan, applicable corridor or neighborhood plans, the major street plan, trails plan and the parks plan.

These items have previously been addressed in this Staff report.

- 2) Conditions of any prior approvals

There are no prior City approvals on this site. The County had previously zoned this property with a Planned Development designation but no other action was taken on the property that conditions it.

- 3) Other Code requirements including rules of the zoning district, applicable use specific standards of Chapter Three of the Zoning and Development Code and the design and improvement standards of Chapter Six of the Code.

These items have been addressed above and with the preliminary plat criteria in Section 2.8.B.

- 4) Quality site design practices:

Quality site design practices are outlined in Section 2.2.D.4.b (4) (A thru K) in the Zoning and Development Code. The Plan efficiently organizes the development in relation to the topography. Erosion areas are left to their natural state with the addition of mitigation measures described herein and sufficient to protect life and property. Exterior lighting will be minimized to lessen impact on night sky visibility. All utility service lines shall be undergrounded. Pedestrian and bicycle access are provided through the site. Some pedestrian accesses will also double as maintenance vehicle access points to drainage and detention areas. All public facilities and utilities shall be available concurrent with the development.

- e) The approved ODP, if applicable.

There is no approved ODP for this project.

- f) The approved PD rezoning ordinance, if adopted with an ODP.

The PD Ordinance is also the zone of annexation for this project. There is no ODP for this project, therefore the PD zoning shall be established with the Preliminary Development Plan and approved by City Council.

- g) An appropriate, specific density for all areas included in the preliminary plan approval.

The specific density for this project is 52 patio homes, which calculates to 5.38 dwelling units per acre; and 103 single family detached homes located on ½ acre or greater lots, for a density of 0.80 dwelling units per acre.

- h) The area of the plan is at least five (5) acres in size or as specified in an applicable approved ODP.

There is no ODP for this project and the plan extends well over five acres in size at almost 139 acres.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Fletcher Annexation, ANX-2006-108 and the Red Rocks Valley application, file number PP-2006-217 for a Planned Development, Preliminary Development Plan, Staff makes the following findings of fact and conclusions with respect to the zoning and Plan proposed by the Applicant:

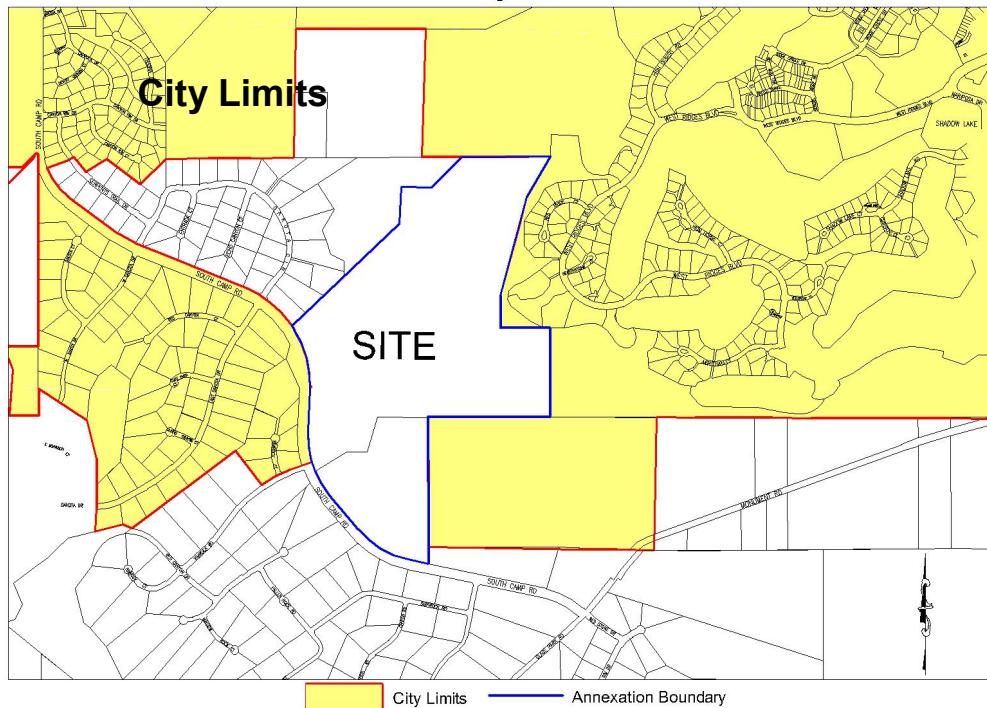
1. The Planned Development zone and Preliminary Development Plan are consistent with the goals and policies of the Growth Plan.
2. The goals and policies of the Redlands Area Plan have been met.
3. The review criteria in Section 2.6.A.3 and 4 of the Zoning and Development Code have been met.
4. The review criteria in Section 2.12.C.2 of the Zoning and Development Code have been met.

5. The review criteria in Section 2.8.B of the Zoning and Development Code have all been met.
6. The review criteria in Section 2.2.D.4 of the Zoning and Development Code have all been met.
7. The review criteria of Section 15.1.6 of TEDS are not entirely met by the Plan due to the lack of a direct connection for some lots to sidewalks or paths in the subdivision. Staff and Planning Commission recommend direct connections from all lots to pedestrian facilities. These connections include:
 - Sidewalk on both sides of Slick Rock Road;
 - Sidewalks on both sides of Red Park Road;
 - Sidewalk on Grand Cache Court, continuing around the entire cul-de-sac and both sides of the street;
 - Sidewalk on both sides on Red Pointe Road between Red Mesa Road and Red Park Road.
 - Sidewalk around the cul-de-sac on Crevice Court to the trail in Red Canyon.
8. The proposed phasing schedule shall be as follows:
 - First phase to be platted by March 1, 2008;
 - Phase 2 - March 1, 2011;
 - Phase 3 - March 1, 2013,
 - Phase 4 - March 1, 2015 and
 - Phase 5 - March 1, 2017. A graphic depiction of the phasing is shown on sheet 3 of the drawings.
9. TEDS exception #13-07 has been granted for reduced lighting.
10. City Council approval is required for the private streets proposed for the patio home area. All other local streets meet the Alternate Residential Street Standards found in Chapter 15 of TEDS.
11. A dimensioned site plan for the patio home area is required with the final plat.
12. Trail connections near the existing City properties in the northeast area of the site shall be dedicated to the City and shown on the Final Plat being recorded.

Site Location Map

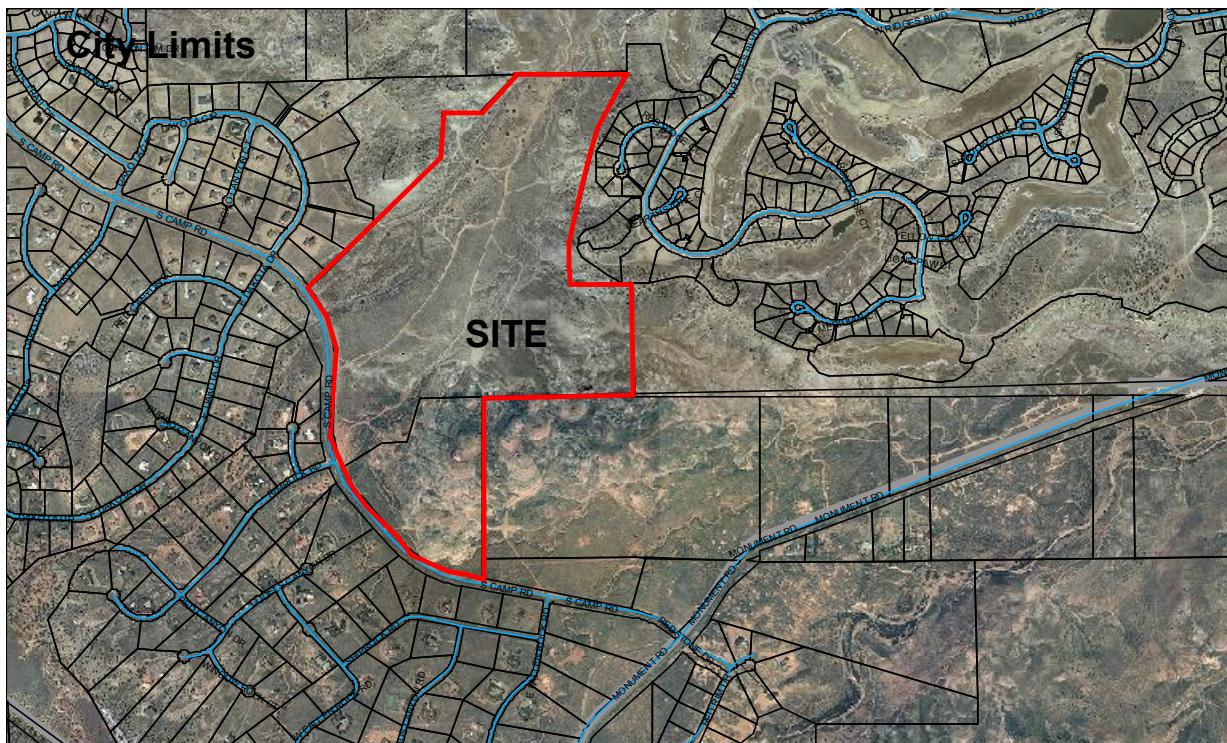
Fletcher Annexation

Fletcher Annexation Figure 5



Aerial Photo Map

Fletcher Annexation



**GRAND JUNCTION PLANNING COMMISSION
JUNE 26, 2007 MINUTES (condensed)
7:00 p.m. to 1:55 a.m.**

The regularly scheduled Planning Commission hearing was called to order at 7:00 p.m. by Chairman Paul Dibble. The public hearing was held in the City Hall Auditorium.

In attendance, representing the City Planning Commission, were Dr. Paul A. Dibble (Chairman), Roland Cole (Vice-Chairman), Tom Lowrey, Bill Pitts, William Putnam, Reggie Wall and Patrick Carlow (1st alternate). Commissioner Lynn Pavelka-Zarkesh was absent.

In attendance, representing the City's Public Works and Planning Department, were Lisa Cox (Planning Manager), Kristen Ashbeck (Senior Planner), Ronnie Edwards (Associate Planner), Lori Bowers (Senior Planner) and Ken Kovalchik (Senior Planner).

Also present were Jamie Beard (Assistant City Attorney), Rick Dorris (Development Engineer), Eric Hahn (Development Engineer and Jody Kliska (City Transportation Engineer).

Wendy Spurr (Planning Technician) was present to record the minutes. The minutes were transcribed by Lynn Singer.

There were approximately 200 interested citizens present during the course of the hearing.

6. ANX-2006-108 ANNEXATION – Fletcher Annexation

Request approval to zone 139 acres from a County PD (Planned Development) to a City Planned Development district.

PETITIONER: Redlands Valley Cache LLC

LOCATION: South Camp Road & ½ Mile West Monument Road

STAFF: Lori Bowers, Senior Planner

7. PP-2006-217 PRELIMINARY PLAN – Red Rocks Valley Subdivision

Request approval of the Preliminary Development Plan to develop 155 lots on 139 acres in a PD (Planned Development) zone district.

PETITIONER: Redlands Valley Cache LLC

LOCATION: South Camp Road & ½ Mile West Monument Road

STAFF: Lori Bowers, Senior Planner

APPLICANT'S PRESENTATION

Sid Squirrell appeared on behalf of applicant. Mr. Squirrell stated that a neighborhood meeting was conducted with regard to the Fletcher Annexation and Red Rocks Valley Subdivision. He stated that this project is located north of South Camp Road, west of Monument Road and south of Redlands Mesa Golf Course and Subdivision. He stated that it was zoned under the County plan at 3 units per acre. The Growth Plan

Amendment is zoned ½ acre to 2 acre sites. Applicant is proposing a total of 155 lots on the 139 acre site. He also pointed out that there are two drainages on the property which will not be built upon; however, a jogging trail and a bike trail will be built through the drainages. Mr. Squirrell stated that ½ acre lots will be on the outside of the property and patio homes would be clustered in the center of the property. Additionally, he pointed out that there would be 46 acres (33%) of open space in this project. He also stated that all utilities are existing and in place and were designed to accommodate 3 units per acre. He addressed the expansive soils and rockslide issues by stating that each site will have a designed drainage system that will incorporate and coordinate other lots. Additionally, drainage structures and berms will be built during construction to serve multiple lots so that water is collected above the lots and brought down between lots which will be maintained by the homeowners' association. Mr. Squirrell next stated that there will be 5 phases of the project. He also addressed architectural controls and street lighting that will be put in place.

QUESTIONS

Commissioner Putnam asked if applicant is proposing to complete all infrastructure before houses are constructed. Mr. Squirrell stated that they do not anticipate that lots will be sold and built upon immediately.

Commissioner Cole asked if there is only one access off of South Camp Road and if a traffic study has been performed. Mr. Squirrell stated that there will be only one entrance up until the 100th lot is sold. At that time, there will be a second entrance. Applicant has performed a traffic study.

Commissioner Wall asked how many of the 46 acres that will be dedicated as open space are buildable lots. Sid Squirrell stated that he was not sure but believed it would be a small percentage.

Commissioner Lowrey suggested that there should be a sidewalk on the proposed street that will provide the second access for safety concerns.

Chairman Dibble asked about the traffic study that has been performed. Mr. Squirrell stated that the traffic engineer is not present.

Commissioner Carlow asked if applicant believes the proposed reduced lighting will be adequate. Mr. Squirrell stated that applicant believes it will be adequate for this project.

Chairman Dibble asked what the minimum lot size is. Mr. Squirrell stated that the single-family lots are half acre lots.

STAFF'S PRESENTATION

Lori Bowers of the Public Works and Planning Department spoke first about the annexation criteria. She stated that the requested zone of annexation to the PD district is consistent with the Growth Plan density of Residential Low. The existing County zoning on this property was PD-3 although there was no approved plan. She further stated that the proposed zone is compatible with the surrounding neighborhood if developed at a density not exceeding 1.12 dwelling units per acre. Applicant has requested the underlying default zoning of R-2. Ms. Bowers finds that adequate public facilities are available or will be supplied at a time of further development of the property. Ms. Bowers stated that due to the size of the property, applicant was required to perform a site analysis of the property. She also stated that the final plat will require building envelopes for geotechnical reasons, part of the mitigation of the rockfall and drainage areas will be the construction of small drainage berms combined with boulder barriers. As part of the ordinance, applicant is required to have an inspector be on site during the construction of the berms and drainage pathways. She stated that staff is requesting that there be sidewalks around the entire perimeter of this area. Alternate street standards are being proposed by applicant. Staff is suggesting that all lots should have direct access either to a sidewalk or to a pedestrian path.

QUESTIONS

Commissioner Cole asked if there was any need for an accel/decal lane at the entrance of the property. Ms. Bowers stated that according to the information she has received an accel/decal lane is not warranted.

Commissioner Putnam asked if the proposed development is adjacent to the Colorado National Monument. Lori Bowers stated that it is not adjacent to the Colorado National Monument.

Chairman Dibble asked what the long term benefits of this development might be. Ms. Bowers enumerated those benefits to be protection of a lot of open space area, innovative design, protection of the flash flood areas, among others.

Chairman Dibble asked what the minimum lot size for the backup zoning would be. Lori said that that smallest lot on this plan is .49 acres with the largest being .89 acres.

STAFF'S PRESENTATION

Rick Dorris, City Development Engineer, confirmed that a traffic study has been done and turn lanes were not warranted on South Camp Road. A TEDS exception for reduced street lighting was submitted and it was determined the number of required street lights to be 11.

QUESTIONS

Commissioner Pitts asked if from an engineering standpoint that water will not come down the two water contributors. Mr. Dorris stated that applicant has analyzed the 100 year flood plain. He also stated that it is applicant's engineer's responsibility to calculate what the 100 year flow rate is to determine how wide that will be.

Chairman Dibble stated that he has a concern with only one entrance until the 100th lot is sold. Mr. Dorris confirmed that you can develop 99 lots with a single access provided there is stubbing for another access in the future. He also stated that applicant has provided a contingency plan to be able to develop the subdivision past the 99 lot threshold.

PUBLIC COMMENT

Karen Urban, 313 Rimrock Court, stated that the numbers the developers are providing are deceiving because of the 46 acres of open space. She believes that a park is needed more than bike paths. She further stated that she believes the density is inappropriate. "It will take away all of the rural feel of that whole end of South Camp Road."

Gary Liljenberg of 2297 Shiprock Road stated that school buses will have a great deal of difficulty turning into the subdivision without turn lanes. He stated his biggest concern is with the widening of Monument Road at the same time of this development and wants to assure that both roads are not closed at the same time.

Nancy Angle (325 Dakota Circle) stated that she has many concerns, some of which are wildlife issues, the drainage off Red Canyon, lights, traffic, density and irrigation.

Gary Pfeufer, 351 Dakota Circle, stated that he does not believe the traffic study. He believes South Camp Road will need to be widened with a third lane in the middle for turning all the way to Monument Road. Additionally, he does not believe the soil engineer's study of the water.

Gregory Urban, 313 Rimrock Court, stated that looking at the most critical portion of where this development is, it's a high density plan. "What this development does is place exceedingly high density housing right in the middle of that migratory pattern which is the only migratory path that these animals have from Monument to Broadway because there's sheer rock walls all of the rest of the distance and that is where all the animals travel." He suggests a review by the Division of Wildlife and National Park Service to see what kind of impact this development will have on the migratory patterns on the animals that come down the wash before any type of high density is approved.

John Frost (2215 Rimrock Road) stated that two items of concern are innovative slope failure control and the open space.

APPLICANT'S REBUTTAL

Sid Squirrell confirmed that they have addressed the wildlife issue with the Division of Wildlife. Further, the culverts will be engineered to allow the water to come through. They are proposing native plantings and xeriscaping using limited irrigation water.

QUESTIONS

Chairman Dibble asked about the use of sidewalk and gutter around certain portions of the development. Mr. Squirrell stated that, "We're trying to create an urban feel, trying to blend in with our surroundings and instead of having sidewalks, we'll have landscaping up to the roads or gravel. It's just a softer feel than a traditional two sidewalk neighborhood."

Commissioner Carlow asked whether or not South Camp Road would need to be expanded. Rick Dorris addressed the traffic study, which has been reviewed by the City, and stated that turn lanes are not warranted. He believes that ultimately South Camp Road would be expanded to three lanes all the way down to Monument Road. "It's not warranted now and it's not warranted twenty years from now based on the numbers used in the study."

Commissioner Pitts had a question regarding the need for only one entrance. Rick Dorris stated that it is fire code driven. It is necessary to have a second physical access when the 100th dwelling unit is built.

DISCUSSION

Commissioner Wall stated that he does not think that this planned development is compatible with other neighborhoods. "I think it's an abuse of the planned development code by saying that we're giving 47 acres to open space which basically 46 of it isn't usable."

Commissioner Pitts stated that he concurs with Commissioner Wall. "It doesn't conform with the neighborhood so I cannot support the proposal."

Commissioner Carlow stated that he is reluctant to vote without the Corps of Engineer's decision on this project.

Commissioner Lowrey stated that he can support the project. He believes that the density does conform with the Redlands. He finds the diversity is something that is needed and creates a healthier neighborhood. He also is in favor of applicant not building on geological features.

Commissioner Putnam stated that the patio home feature makes it attractive and supports the project.

Commissioner Cole stated that opponents and proponents of any project need to be considered as well as whether or not it is going to be an asset for the entire community. He believes a tremendous amount of planning has gone into this proposal.

Chairman Dibble stated that with regard to the zone of annexation, a default of R-2 would be appropriate. He believes the planned development overlay fits better because most of the surrounding development is an overlay district of planned development to

utilize the intricate conditions of the area. He also concurs that more sidewalks and pedestrian crosswalks are necessary.

MOTION: (Commissioner Cole) “Mr. Chairman, on the Fletcher Zone of Annexation, ANX-2006-108, I move that the Planning Commission forward to the City Council a recommendation of approval of the Planned Development (PD) zone district for the Fletcher Annexation with the facts and conclusions listed in the staff report.”

Commissioner Lowrey seconded the motion. A vote was called and the motion passed by a vote of 5-2.

MOTION: (Commissioner Cole) “Mr. Chairman, on item number PP-2006-217, I move that we forward to the City Council a recommendation of approval of the Preliminary Development Plan for Redrocks Valley Subdivision conditioned upon the applicant providing direct access to either a sidewalk or path for those lots that do not currently have direct access and a sidewalk on one side of Boulder Road its entire length.”

Commissioner Lowrey seconded the motion. A vote was called and the motion passed by a vote of 4-3, with Commissioners Pitts, Wall, and Carlow opposed.

A brief recess was taken.

July 14, 2006

Planning Commission
City Hall
250 North 5th Street
Grand Junction, Colorado 81501

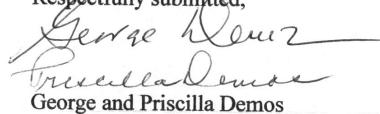
Attn: Lori Bowers

Re: ANX-2006-108 Fletcher Annexation

To whom it may concern:

We are residents of Monument Valley Estates and are writing to oppose the proposed development zoning request to zone 139 acres from a County PD to a City RSF-2 zone district. We believe that the appropriate zoning for the Development should be RSF-1 to match the existing neighboring developments. We have lived on Rimrock Court, one block off South Camp Road, for ten years. To develop the 139 acres across the street, as proposed, would change the character of the existing subdivision and create tremendous traffic problems. We concur with the opinions stated in the enclosed copy of a letter, dated June 8, from our neighbors, Greg and Karen Urban.

Respectfully submitted,


George Demos
Priscilla Demos
George and Priscilla Demos

309 Rimrock Court
Grand Junction, Colorado 81503

Enclosure

June 27, 2006

To: **ATTN: Lori Bowers**
Planning Commission
Grand Junction City Hall
250 N 5th St.
Grand Junction, CO 81501

RE: ANX-2006-108 Fletcher Annexation

To Whom It May Concern:

We oppose the proposed annexation and zoning change for this parcel. It does not fit with the existing contiguous neighborhood, and it presents traffic issues and lighting issues that compromise those existing developments.

Several items from the city's Context for Planning documents must be considered.

Is this development appropriate for the existing community? No. It's much higher density, presenting significant traffic impact on South Camp Rd.

Is there an identifiable focus on preserving environmental quality? No. Its density, its lack of concern for usable open space, its impact on local vegetation and wildlife all indicate the answer is no. Further, the developer proposes to significantly alter the native landscape, removing geological landmarks.

Are the factors that shape the quality of life in the neighborhood clear? No. Its density, its impact on traffic patterns, and its significant light and noise pollution argue against it.

It may be true that original zoning allowed 3 units per acre, but times have changed, and it's clear that the proposed density would overwhelm the existing neighborhood. The developer might argue that the request is only for 2 units, but that is deceptive given the amount of unusable land. The actual density would be much, much heavier.

We are particularly concerned with the major intersection the developers propose at the corner of South Camp and Rimrock Rd. As currently designed, this is where the bulk of traffic for the development will enter and leave. It is on an already strained curve. Traffic using Rimrock to the west must proceed with caution. We have witnessed many near accidents. A stop sign on South Camp would change the nature of the road, and probably end up causing even more accidents. A stop light would change the character of the neighborhood, also causing collateral problems.

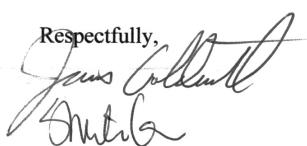
The current bicycle traffic is stressed at this stretch of road. Adding 300-400 cars using this intersection would be a disaster.

We cherish the absence of street lights in our neighborhood. We strongly oppose a development that would necessitate their use.

We request that the Planning Commission permit a rezone only to RSF 1, and that the Planning Commission ensure that the development fits the character of the existing community, and that it includes the open space and park land that a new community deserves. The development will happen only once. We urge the Commission to ensure that the development occur in a quality fashion.

In addition, we refer the Commission to the excellent letter submitted by Karen and Greg Urban. We agree with most of its substance.

Respectfully,

The image shows two handwritten signatures. The top signature is "James Goldsmith" and the bottom signature is "Sheila Goldsmith".

James & Sheila Goldsmith
2244 Rimrock Rd.
Grand Junction, CO 81503

June 8, 2006

To: ATTN: Lori Bowers
Planning Commission
City Hall,
250 North 5th Street
Grand Junction, CO 81501

RE: ANX-2006-108 Fletcher Annexation

To whom it may concern:

We oppose the proposed Development zoning request to zone 139 acres from a County PD to a City RSF-2 zone district. The appropriate zoning for the proposed Development should be RSF 1 in order to match what already exists in ALL of the immediately adjacent developments. Also of special consideration is the contiguous location of the proposed Development to the East corridor entrance to the Colorado National Monument.

The City of Grand Junction's Context for Planning documents several items that must be considered upon the request for the zoning change for this new Development. Is the Development appropriate for the current community? Is there an identifiable focus on preserving environmental quality? Are the factors that shape the quality of life in a neighborhood clear for the proposed New Development? Items such as availability of parks and open space, a sense of tranquility and safety, friendliness and neighborhood pride should be considered. New development should be compatible with the existing neighbors and that is not what is visible in this proposed Development. The Growth Plan for the City of Grand Junction specifically states that a community must actively manage its growth and respond to changing circumstances if it is to meet the needs of its residents AND RETAIN THE QUALITY OF LIFE THAT INITIALLY ATTRACTED THOSE RESIDENTS TO THE COMMUNITY. We recognize that development will take place in this area; we require that the area maintain compatibility with the existing neighbors surrounding it. This may be accomplished by appropriate zoning that does not exceed RSF-1.

The City of Grand Junction Parks Master Plan clearly recommends several neighborhood parks located throughout the Redlands Area. They note specific criteria including that the park should be a 5-10 minute walk in a ½ mile radius. The Developer plans for nearly 100 new homes and no neighborhood park. The reason for Planning per the City of Grand Junction includes addressing the need for open space requirements and acknowledges that the dedication of adequate open space can help to ensure the long term integrity of individual neighborhoods. In the Growth Plan the context for planning notes that new development in areas which are not now urban must include parks to replace

some of the open space benefits of the undeveloped land. The new development should include:

1. Continuation of the paved walkway on the North Side of South Camp Road to provide symmetry like the rest of South Camp Road (except for the current undeveloped area).
2. A turn lane at all entrances and exits off of South Camp Road.
3. A bike lane. The proposed entrance/exit road (Rimrock Road) is located at a point where cars exiting the new development who want to turn left (east) onto South Camp have to deal with a curve and cars/bikes coming from the west are not seen in the distance Blind spot). Currently cars/bikes traveling west on South Camp Road wanting to turn left (South) onto Rimrock Road must proceed with caution due to the limited visibility of cars/bikes traveling east on South Camp Road.
4. At a recent neighborhood meeting, the Developers suggested a plan that included around 39 acres of what they called open space; however, the areas they include do not fit the definition of open space. The areas they included were part of the floodplain and nearly 39 acres of rock walls that are nearly unscaleable let alone buildable.

How does the proposed Development address the concerns clearly documented in the Redlands Neighborhood Plan as it notes the location of the Colorado National Monument? The proposed Development is contiguous to the Monument and so must follow the broad principles identified in the Plan. The proposed Development erases and blocks the primary migratory pathway (Red Canyon, for example) for wildlife moving between the Monument and the Colorado River. This includes packs of coyotes, mountain lions and bobcats.

How do the developers address the issue of the Floodplain (Red Canyon) which goes through the development? Do they ensure the safety of the persons and homes in the area? How? Are the potential owners of homes in or near the floodplain exposed to undo hazards? Do the developers protect the integrity of the floodplain?

Also, how do the Developers document their effort to avoid nighttime light pollution, minimize contact with domestic pets and enhance or maintain the movement corridor for the wildlife?

Based on the specific goal and policies of the Growth Plan, the impact of new development on the natural values and resources of the Monument should be minimized or avoided and we question how the new Development responds to that goal.

The Growth Plan also requires that new developments along the border of the Colorado National Monument not exceed 1 dwelling per 5 acres, promote the use of native plants for landscaping new developments adjacent to the Monument and WASHES coming from the development (like Red Canyon). It may also be noted that based on the present location of the proposed Development, it is impossible to maintain a native landscape as all of the adjacent neighborhoods do. By the presented plan, most of the lots would require significant infill to change the elevations to allow building. There has been suggestion of removing one of the hillsides of the horizon to accomplish this.

Land subject to hazardous conditions such as flash flooding shall be identified in all applications, and development shall not be permitted in these areas unless the application provides for the avoidance of the particular hazard. Does this proposed Development meet this requirement?

We request that the Colorado Division of Wildlife and the Museum of Western Colorado review the planned Development so that destruction of irreplaceable elements, a negative impact on a paleontologic/prehistoric or archaeological site does not occur. Alteration of a native wildlife corridor would put wildlife and current residents at risk. According to the Master Plan, a comprehensive inventory of paleontologic resources in the proposed Development in conjunction with the Museum of Western Colorado is appropriate.

Please note that according to the Grand Junction Redlands Neighborhood Plan the Red Canyon is a mapped drainage and wash and provides important value and function to the residents of the Redlands area and requires the use of best management practice and protection. This wash and canyon is contiguous and consistent with the absence of residential development in Redlands Mesa Golf Course.

The Community Image/Character Action Plan recognizes that the Monument Road and South Camp Road are important corridors on the Redlands because of their approach to the Colorado National Monument. It states that the Redlands has a distinct character, with the varying topography, scenic vistas, open and somewhat rural feel. One goal of the Plan is to achieve high quality development on the Redlands in terms of site planning and architectural design. The proposed Development is within 1 mile of the East entrance to the Colorado National Monument. The proposed Development is adjacent to Monument Valley which has homes on lots of over 1 acre to about 5 acres. Redstone is nearby with homes on lots of over 1 acre to about 5 acres. The proposed Development should be the same (RSF-1, which is low NOT RSF-2 which is medium low).

We request close review of the request and find ourselves with strong support from many residents of Monument Valley in our opposition to allow a higher density than what currently exists in the neighborhood so close to the Colorado National Monument. We moved here over 10 years ago to enjoy the views of the Monument, the peaceful and rural nature of the Monument Valley Development, the dark and beautiful night sky; we hope that this neighborhood may maintain the distinct and unique rural atmosphere that presently exists.

Respectfully submitted,

Karen & Greg Urban
313 Rimrock Court
Grand Junction, CO 81503

Cc: Division of Wildlife
Museum of Western Colorado

Lori,

After reading the staff report I have several comments about the zone of annexation and Red Rocks Valley Subdivision.

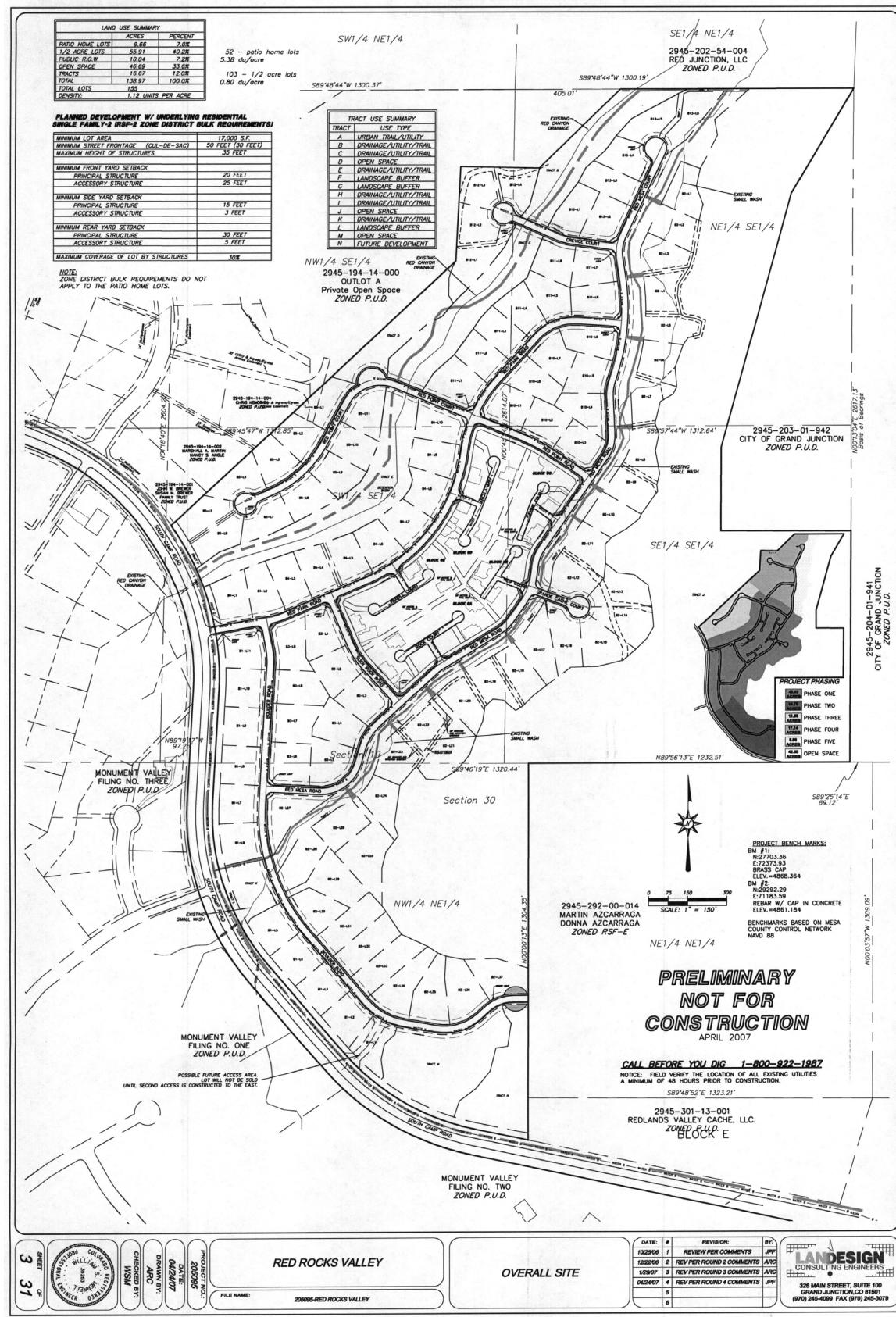
I have been interested in how this land would develop. With the natural topography and drainages on this property I knew it would be a challenge. After reading the report several things have come to mind.

1. Even though there is more open space than is required of a development of this size I question whether this open space is really usable for the future residents. It might be nice to look at but can they do anything with it? I would hope at final design there is open space that is actually usable by the residents rather than just drainages and steep hillsides.
2. I believe having private streets in the patio home area is not a good idea. What is the reasoning of the developer for private streets? Are they private so they can escape city street requirements? No on street parking is allowed in the patio homes since there will be no room. Where will visitors park? Will the visitors park on the streets behind the patio homes across from the single family dwellings? There must be parking within the patio home development for excess vehicles of residents as well as visitors. Where will residents of the patio homes park their recreational vehicles? Many will have boats, RV's etc. Also, it is stated in the project report that the HOA will maintain the private streets. Will there be a separate HOA for the patio homes? It does not seem right that all the single family homes in the subdivision would be required to maintain the private streets in the patio home development.
3. When looking at the preliminary plans which I realize are not the final plans, I see a much denser subdivision than the existing subdivisions which surround this development. It does not appear to be compatible as most are on 1-5 acre lots. Because of the topographical issues with this parcel it appears the developer is trying to crowd as many homes into the subdivision as possible to make up for the topographical constraints.
4. The developer does not want to build sidewalks and connecting pedestrian trails in some portions of the development. I question the reasoning of the developer for wanting to build this subdivision similar to other developments that were built in the county. The county has not typically designed to urban standards since it deals with more rural settings. If the developer is asking for annexation to the city with all city services he should be required to design to city standards.
5. There was no mention of a traffic study. Doesn't there need to be a traffic study for a development of this size which will generate over a thousand trips a day upon buildout?
6. What about accel and decel lanes on Southcamp Road?
7. Will there be a provision for a street connection between the adjacent development to the north or to Redlands Mesa or will everyone have to go to Southcamp Road to access this subdivision by vehicle.
8. I see the old lift-station will be removed. Won't the developer have to build a new lift-station since much of this development is below Southcamp Road? Who is responsible for the maintenance of this lift-station if one is required?

I believe this land will be developed but I question the density being proposed even though the developer is providing lots of open space. The question is--Did he really have a choice due to the topography and is it really desirable for the future resident's use? Also, is this development compatible with existing developments adjacent to it? I think not.

Thanks,

Terri Binder



CHECKED BY:
W.S.M.

ARC

DRAWN BY:

DATE: 11/11/11

PROJECT NO.:
205095

1

NAME

3

R

20

ROO

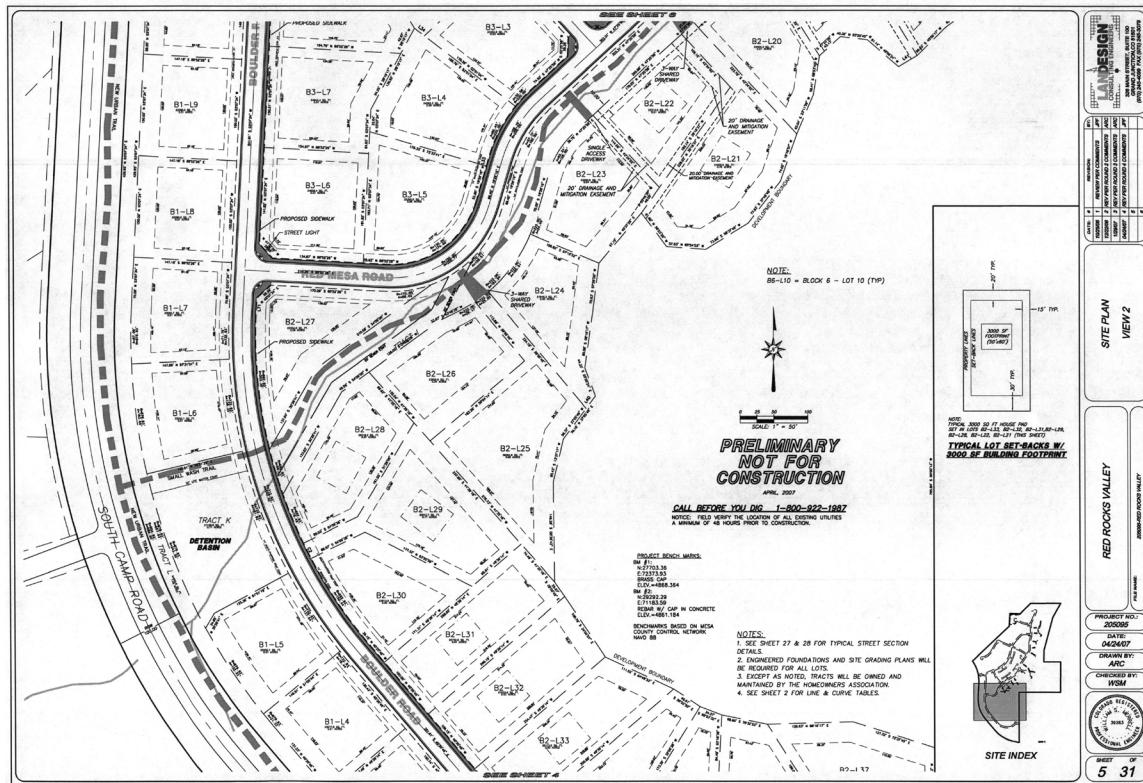
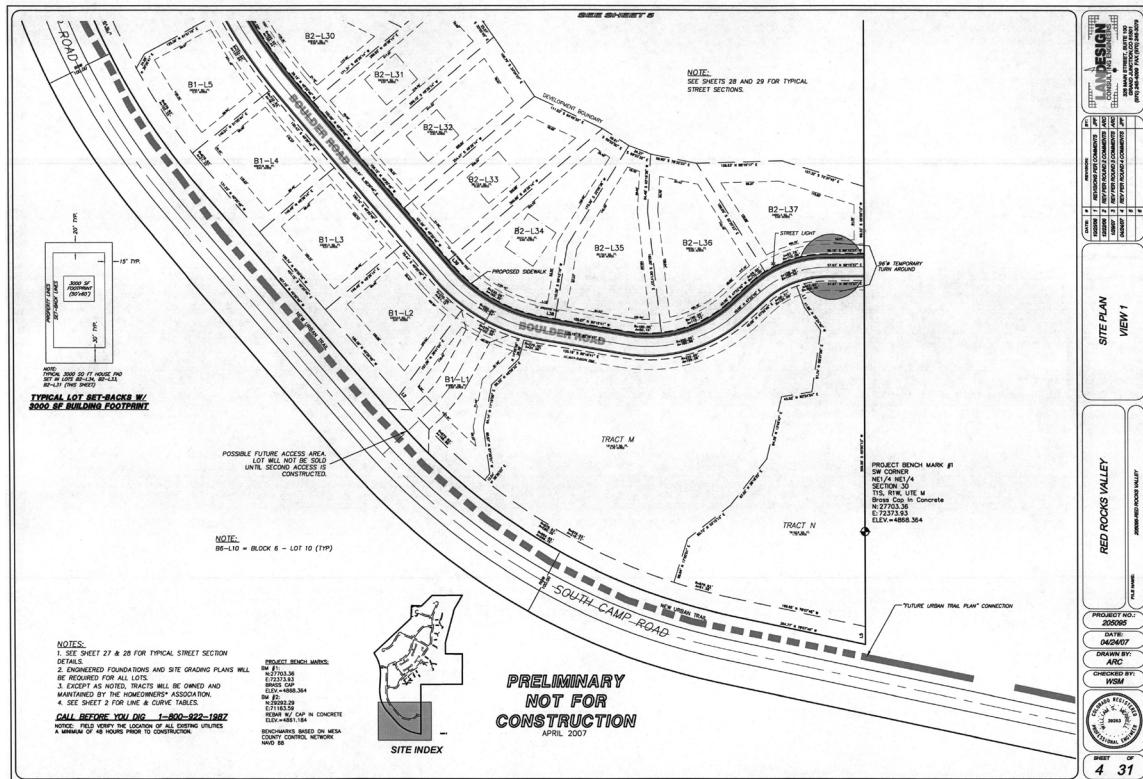
CKS
ED BC

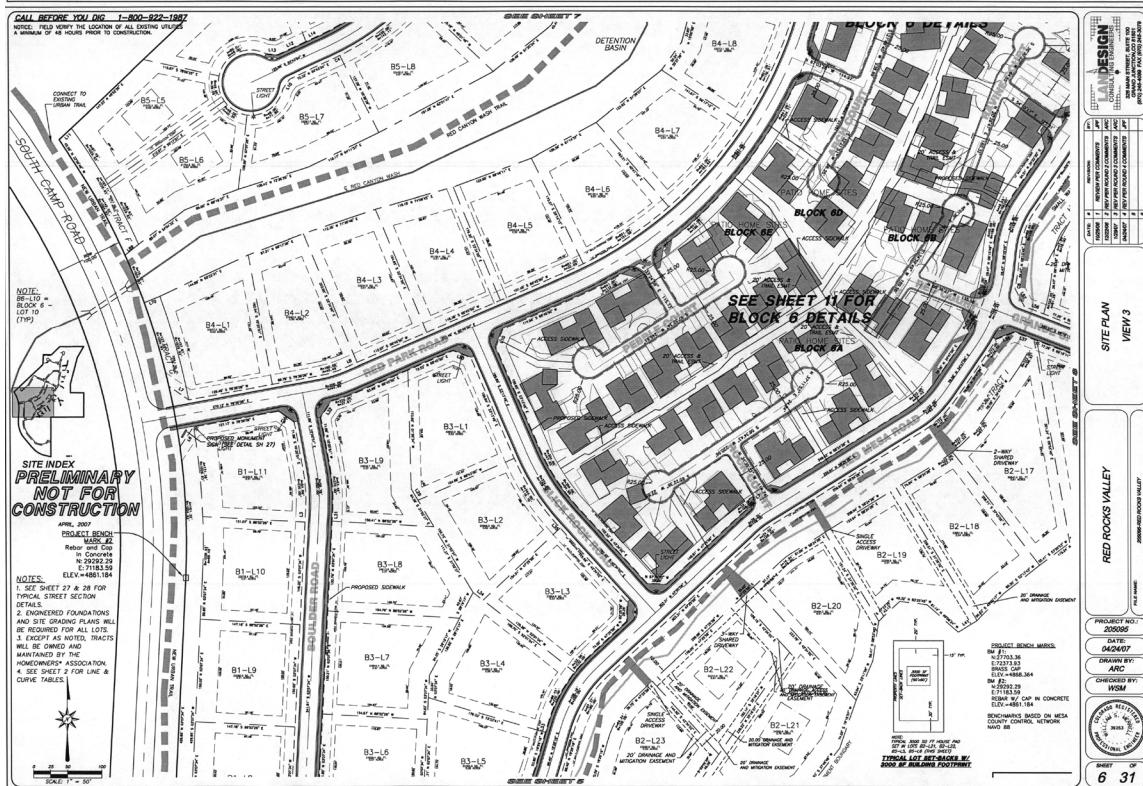
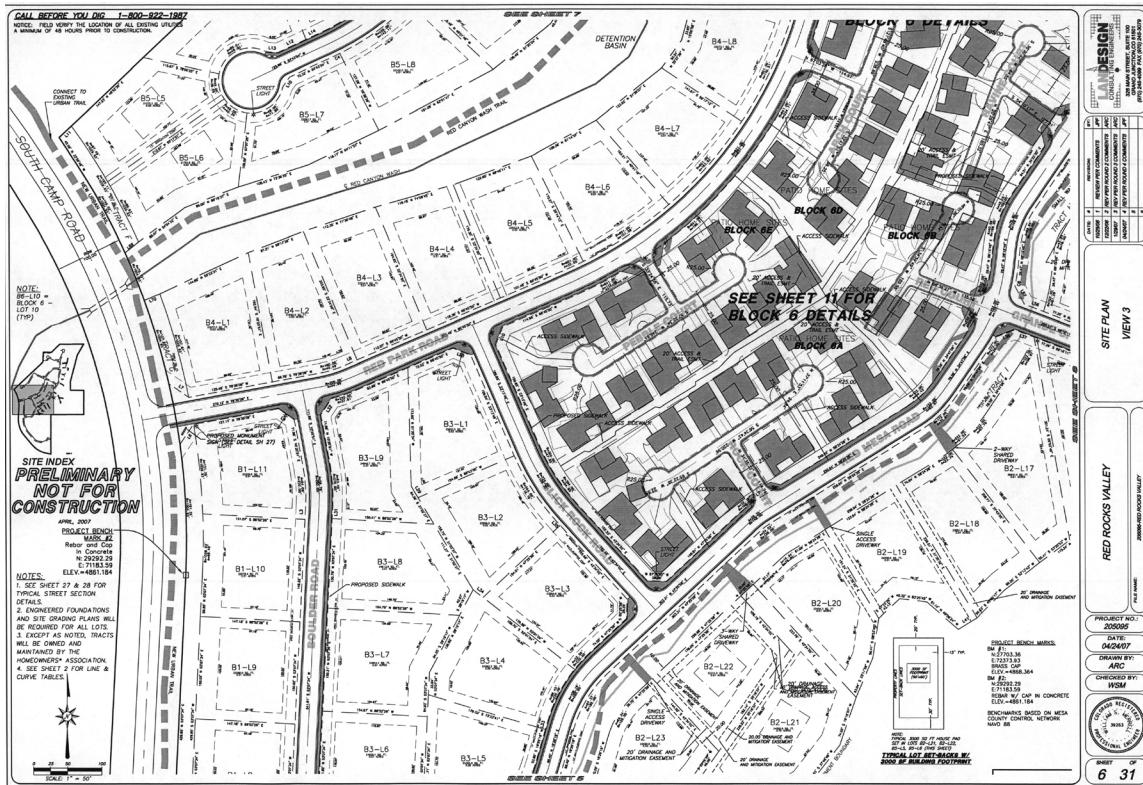
S V A

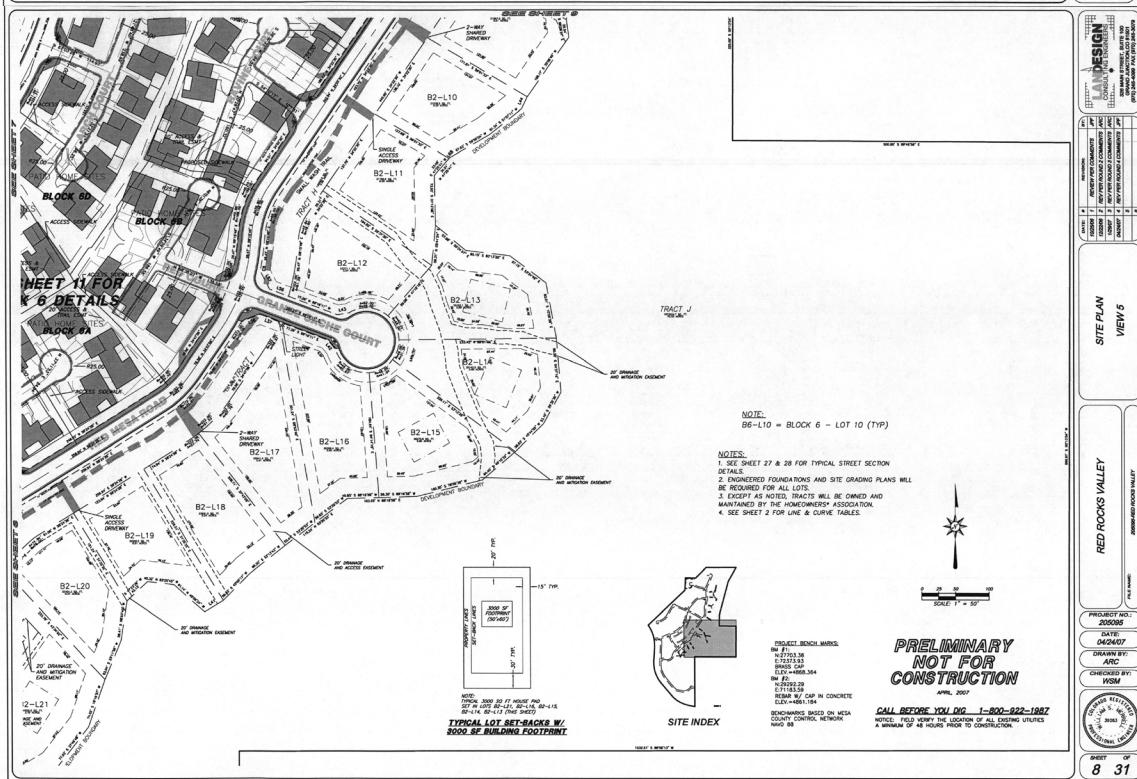
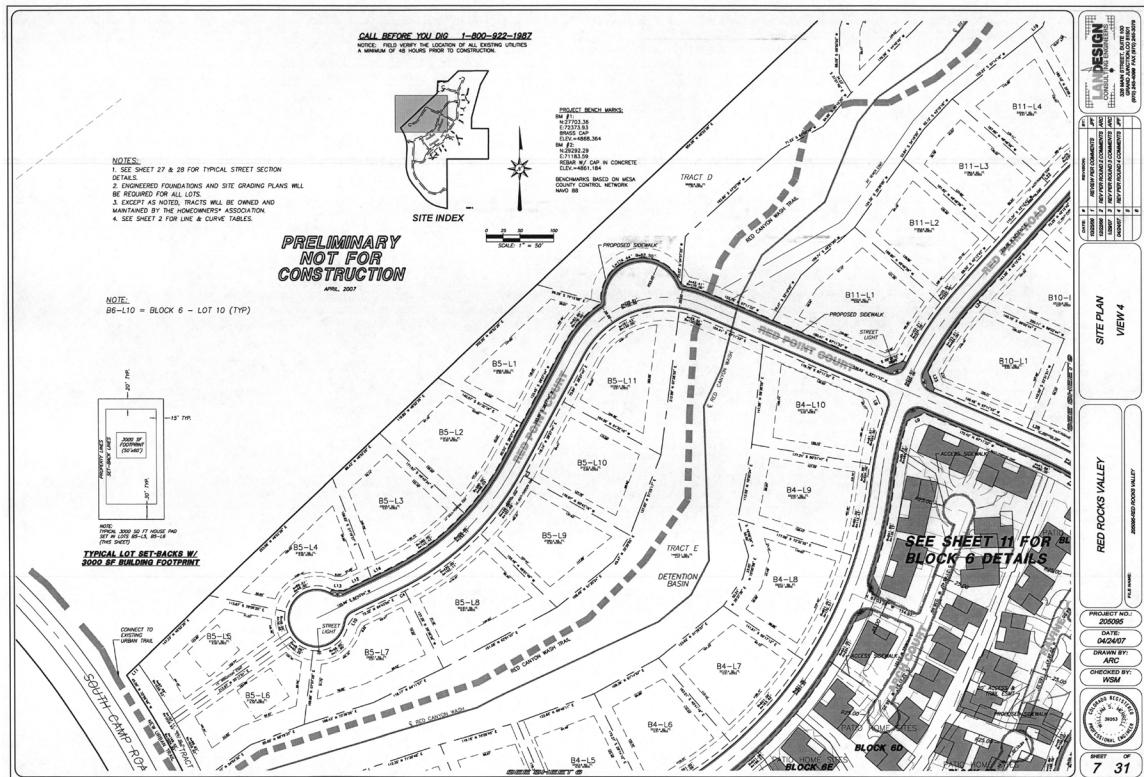
ALLE
NLEY

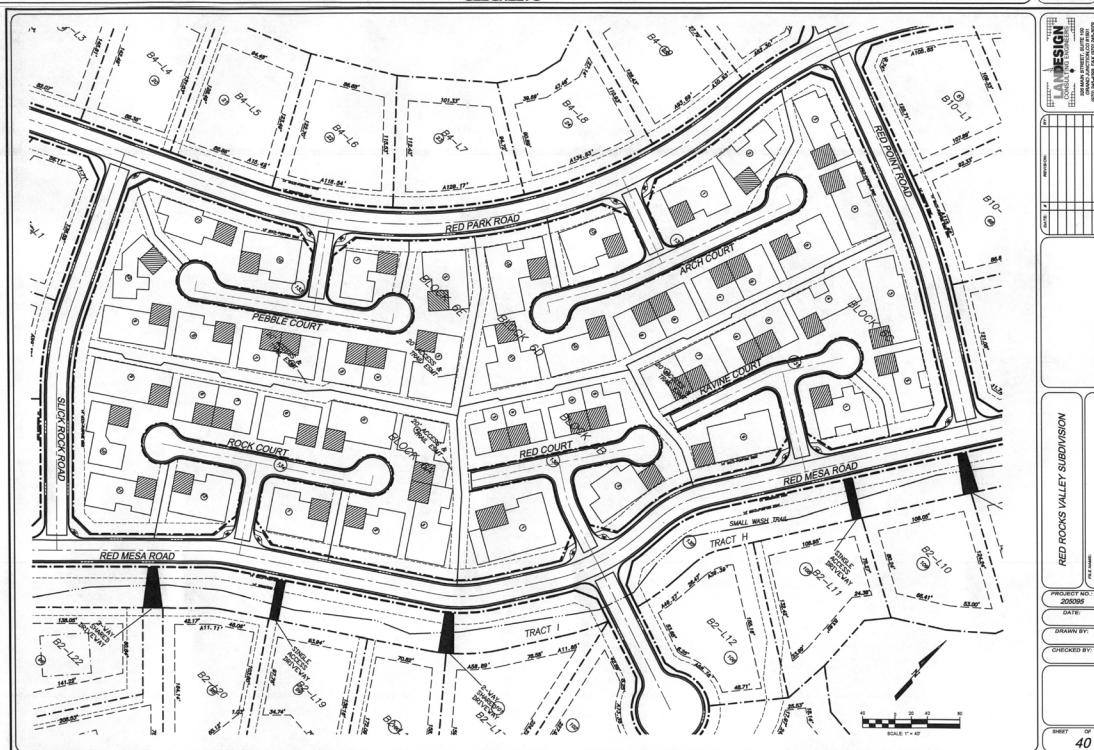
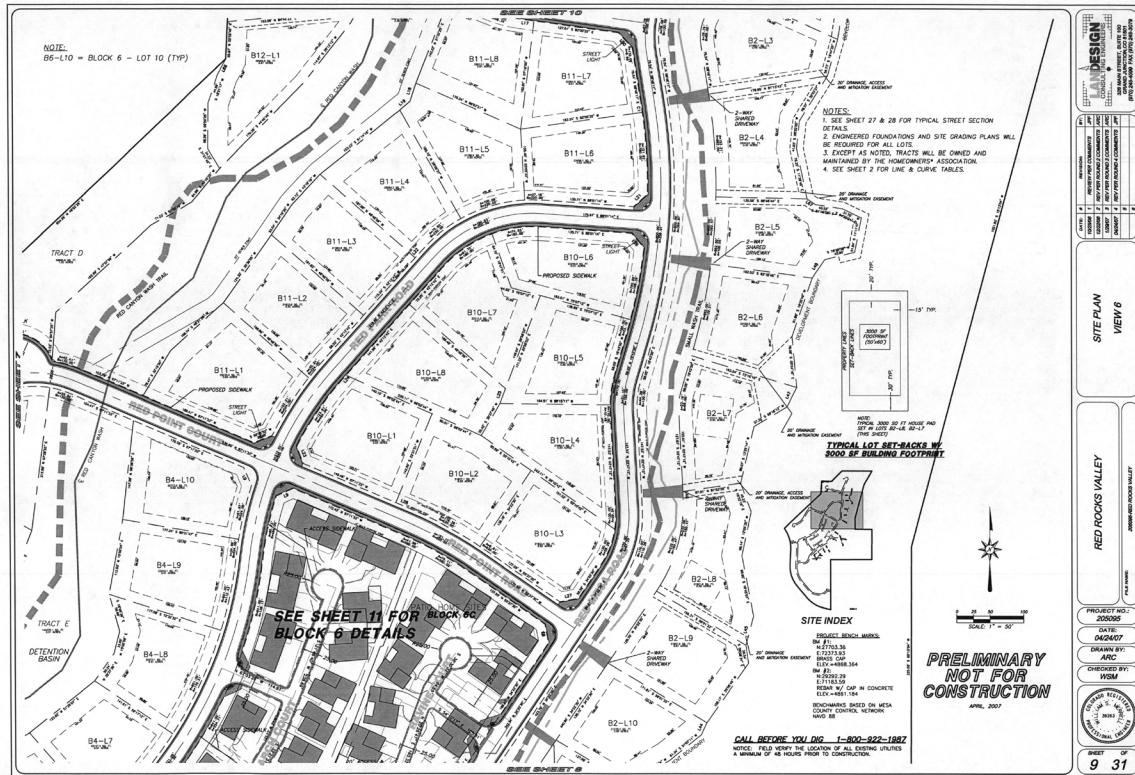
PER ROCK VALLEY

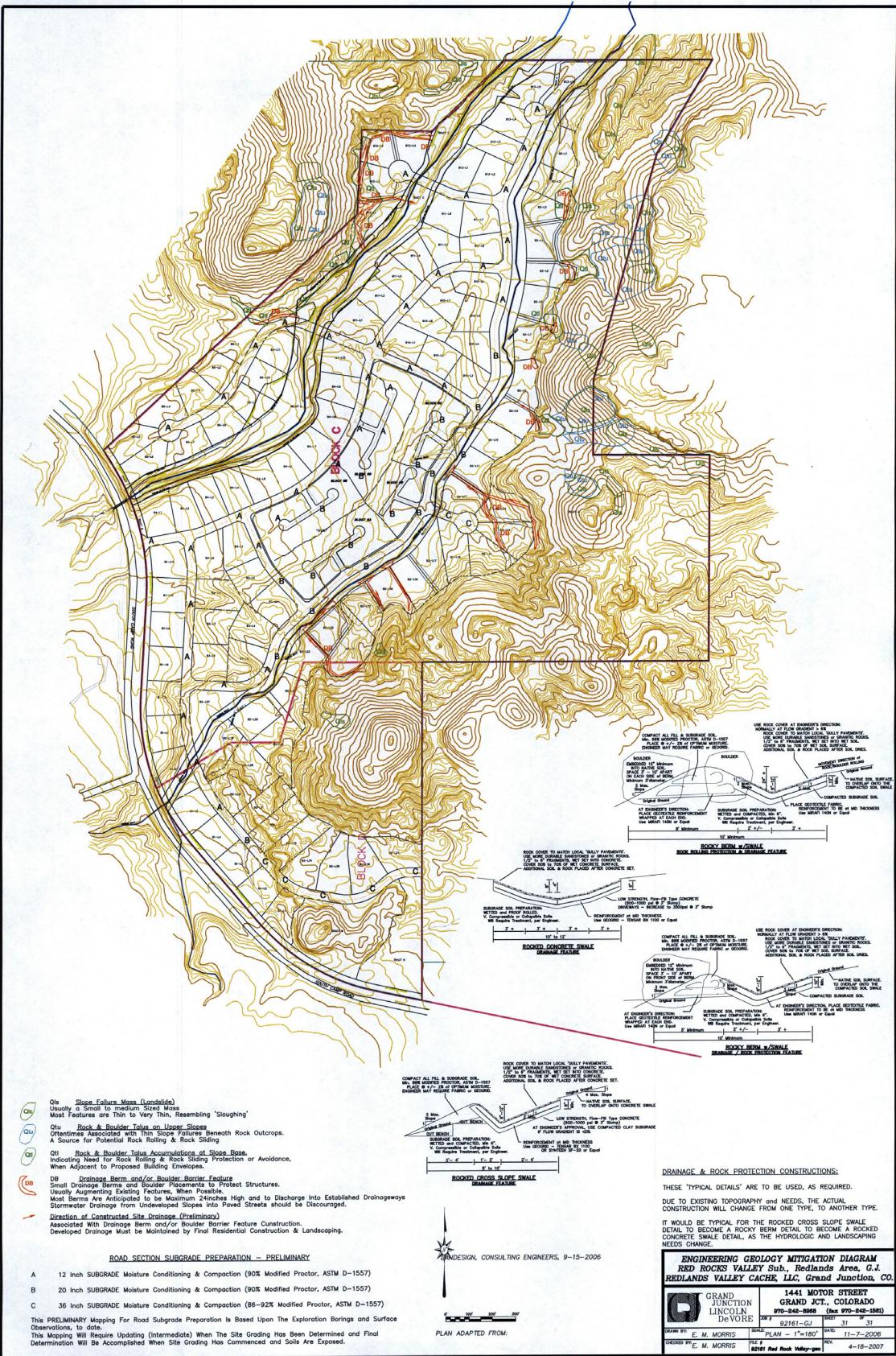
DATE:	#	REVISION:	BY:
10/25/09	1	REVIEW PER COMMENTS	JPF
12/22/09	2	REVIEW PER ROUND 2 COMMENTS	ARC
1/29/07	3	REVIEW PER ROUND 3 COMMENTS	ARC
04/24/07	4	REVIEW PER ROUND 4 COMMENTS	JPF
	5		











CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

AN ORDINANCE ZONING THE FLETCHER ANNEXATION TO PLANNED DEVELOPMENT 1.12 (PD)

**LOCATED APPROXIMATELY 1/2 MILE WEST OF MONUMENT ROAD ON THE NORTH SIDE OF
SOUTH CAMP ROAD**

Recitals

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of zoning the Fletcher Annexation to the PD zone district finding that it conforms with the recommended land use category as shown on the Future Land Use map of the Growth Plan, and the Growth Plan's goals and policies, and is generally compatible with land uses located in the surrounding area. The zone district meets the criteria found in Section 2.6 of the Zoning and Development Code and the requirements of Chapter 5, regarding Planned Developments. The default zoning is R-2, Residential – 2 units per acre.

After public notice and public hearing before the Grand Junction City Council, City Council finds that the PD zone district is in conformance with the stated criteria of Section 2.6 of the Grand Junction Zoning and Development Code.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The following property be zoned Planned Development not to exceed 1.12 dwelling units per acre.

PERIMETER BOUNDARY LEGAL DESCRIPTION FLETCHER ANNEXATION 2945-194-11-001 & 2945-301-12-001

A certain parcel of land located in the Southeast Quarter (SE1/4) of Section 19 and the Northeast Quarter (NE1/4) of Section 30, Township 1 South, Range 1 West of the Ute Principal Meridian, County of Mesa, State of Colorado and being more particularly described as follows:

BEGINNING at the Southeast corner of Block D, Monument Valley Subdivision, as same is recorded in Plat Book 16, page 269-270, Public Records of Mesa County, Colorado, and assuming the East line of the NW1/4 NE1/4 of said Section 30 bears S00°00'15"W with all other bearings contained herein being relative thereto; thence from said Point of Beginning; S11°52'16"W to a point on the South right of way line of South Camp Road, as same is recorded in Book 997, pages 945-946, a distance of 100.00 feet; thence along said right of way N78°07'44"W a distance of 204.77 feet; thence 662.69 feet along the arc of a 1004.93 foot radius curve concave Northeast, having a central angle of 37°46'59" and a chord bearing N59°14'14"W a distance of 650.75 feet; thence N40°20'44"W a distance of 457.15 feet; thence 390.46 feet along the arc of a 1004.93 foot radius curve concave Northeast, having a central angle of 22°15'42" and a chord bearing N29°12'52"W a distance of 388.01 feet to a point on the centerline of Rimrock Drive, as same is shown on the plat of Monument Valley Subdivision Filing No. 5, as same is recorded in Plat Book 14, Pages 212-214, Public Records of Mesa County, Colorado; thence N71°52'16"E a distance of 50.00 feet to a point on the East line of the Monument Valley Annexation, City of Grand Junction Ordinance No. 2850, and the centerline of said South Camp Road; thence 353.46 feet along the arc of a 954.93 foot radius curve concave East, having a central angle of 21°12'28" and a chord bearing N07°28'38"W a distance of 351.45 feet; thence N03°07'36"E along a line 429.61 feet; thence 602.38 feet along the arc of a 954.93 foot radius curve concave West, having a central angle of 36°08'35" and a chord bearing N14°55'27"W a distance of 592.44 feet; thence N57°08'32"E a distance of 50.00 feet to a point on the North right of way of said South Camp Road; thence S32°59'44"E a distance of 45.59

feet; thence 633.56 feet along the arc of a 1004.93 foot radius curve concave West, having a central angle of 36°07'20" and a chord bearing S14°56'04"E a distance of 623.12 feet; thence S03°07'36"W a distance of 429.95 feet; thence 686.60 feet along the arc of a 904.93 foot radius curve concave Northeast, having a central angle of 43°28'20" and a chord bearing S18°36'34"E a distance of 670.25 feet; thence S40°20'44"E a distance of 457.15 feet; thence 596.27 feet along the arc of a 904.93 foot radius curve concave Northeast, having a central angle of 37°45'09" and a chord bearing S59°13'19"E a distance of 585.54 feet; thence S78°07'44"E a distance of 205.25 feet; more or less to the Point of Beginning, TOGETHER WITH Block C and Block D, of said Monument Valley Subdivision.

Said parcel contains 144.43 acres (6,291,761 square feet), more or less, as described.

This Ordinance prescribes as follows:

- 1) **Default zoning standards.** If the planned development approval expires or becomes invalid for any reason, the property shall be fully subject to the default standards. The default standards of the R-2 zoning designation will apply.
- 2) **Phasing schedule.** The Phasing Schedule is:
First Phase shall be platted by March 1, 2008;
Phase 2 – by March 1, 2011;
Phase 3 – by March 1, 2013,
Phase 4 – by March 1, 2015
Phase 5 – by March 1, 2017.

A graphic depiction of the phasing is shown on sheet 3 of the approved preliminary drawings, dated 4/24/07, included in development file number PP-2006-217.

- 3) **Number of units allowed.** 155 residential units allowed – 103 single family residential lots, 1/2 acre in size or larger; 52 patio homes (attached and detached).

- 4) **Applicable setbacks.**

a) Patio homes. The setback standards for the patio homes are as follows: A minimum 14-foot setback is required around the perimeter of the patio home area. This setback is measured from the back of walk and includes Red Park Road, Red Point Road, Red Mesa Road, and Slick Rock Road. The front setback for all garages shall be 20 feet. The side setback between buildings is 10 feet, except for those units that are attached, and then a zero setback is allowed. No accessory structures will be allowed. A dimensioned final design of the patio home area will be recorded with the Final Plat.

b) Other homes. The setbacks for the single-family homes not designated as patio homes are as follows: The front setback is 20 feet for the principle structure and 25 feet for accessory structures. Side setbacks are 15-feet for the principle structure and 3 feet for accessory structures. The rear setback is 30-feet for the principle structure and 3 feet for an accessory structure. (These setbacks are consistent with the R-2 default zone.)

- 5) **Future development.** A tract (shown as Tract N on the approved preliminary drawings dated 4/24/07, found in development file number PP-2006-217) is reserved for future development to adjoin the property to the east.

- 6) **Construction restrictions.**

Construction outside of the designated building envelopes will not be permitted. Engineered foundations and site grading plans shall be required on all lots. The Final Plat shall include a note requiring construction with the designated building envelopes, engineered foundations and site grading plans for each and every lot.

Mitigation berms, swales for drainage and rock fall areas shall be constructed. City engineer(s) and Colorado Geological Survey representatives shall be permitted to supervise the construction of these features and these features must be inspected and approved by a City engineer. These features will be considered and treated as "as-builts." The construction of these features shall be guaranteed and secured by Development Improvements Agreement (DIA) and associated security. Maintenance of these features shall be provided by an association of the homeowners in perpetuity, and easements in favor of said association for this purpose shall be granted.

No planning clearance or building permit shall issue for any construction on the lot designated as Lot 1, Block 1 on the approved preliminary drawings dated 4/24/07, included in development file number PP-2006-217, and said lot shall not be sold, unless and until a secondary access is constructed in the subdivision to the east. No more than 99 homes shall be constructed in area comprised by the Plan (referred to presently as the Red Rocks Valley Subdivision) unless and until a secondary access to a public roadway or street is constructed, whether within the Red Rocks Valley Subdivision or in the subdivision / development to the east. A Recording Memorandum setting forth in detail these restrictions shall be recorded so as to inform potential buyers of such restrictions. Construction of said secondary access shall be guaranteed and secured by a DIA and associated security.

If no access to South Camp Road that can serve as a secondary access for Red Rocks Valley Subdivision is completed in the subdivision / development to the east by the time a planning clearance or building permit for the 99th house issues, the developer shall promptly construct the secondary access in the location of Lot 1, Block 1 on the approved preliminary drawings dated 4/24/07, included in development file number PP-2006-217.

No planning clearance or building permit shall issue for any construction on the lot designated on the approved preliminary drawings, dated 4/24/07 and included in development file number PP-2006-217 as Lot 1, Block 5, unless and until the ingress/egress easement is vacated and the lift station associated with it has been relocated or is no longer needed, as determined by City staff. A Recording Memorandum setting forth in detail these restrictions shall be recorded so as to inform potential buyers of such restrictions.

The Final Plat shall show any and all "no-disturbance" and/or "no-build" zones as designated by the Army Corps of Engineers or City engineers.

7) **Private Streets Agreement.** Private streets as proposed by the Applicant are approved; an agreement for the maintenance of all private streets in the subdivision in accordance with City Transportation Engineering and Design Standards (TEDS) shall be required and shall be recorded with the Final Plat.

8) **Sidewalks.** The following sidewalks not shown on the approved preliminary drawings dated 04/24/07 included in development file number PP-2006-217 shall be provided:

- Sidewalk on both sides of Slick Rock Road.
- Sidewalks on both sides of Red Park Road.
- On Grand Cache Court, continue the sidewalk around the entire cul-de-sac and both sides of the street.
- Sidewalk on both sides on Red Pointe Road between Red Mesa Road and Red Park Road.
- Continue sidewalk around the cul-de-sac on Crevice Court to the trail in Red Canyon.

9) **Park land dedication.** The final plat shall include a dedication to the City for a public park holding in the corner of land which connects with and would make contiguous City's two holdings to the north and east of this parcel. Said dedication shall be sufficient, at a minimum, to allow maintenance access, and shall be to the reasonable specifications of the Parks and Recreation Department.

10) **Trails.** Existing public trails in the area shall connect through this subdivision.

INTRODUCED on first reading the 18th day of July, 2007 and ordered published.

ADOPTED on second reading the day of , 2007.

ATTEST:

President of the Council

City Clerk

Attach 4
Mobility Auto Center

**CITY OF GRAND JUNCTION
PLANNING COMMISSION**

MEETING DATE: February 14, 2012
PRESENTER: Senta Costello

AGENDA TOPIC: Mobility Auto Center – CUP-2011-1290

ACTION REQUESTED: Approval of a Conditional Use Permit (CUP)

BACKGROUND INFORMATION					
Location:	215 S 15 th Street				
Applicants:	Owner: BBBS Enterprises LLC – Bud Haupt Applicant: Mobility Auto Center LLC – Paul Harmon				
Existing Land Use:	Mobility Auto Center & Electrical Contractor Shop				
Proposed Land Use:	Add outdoor display for Mobility Auto Center				
Surrounding Land Use:	North	Contractor/Service Shops			
	South	Park			
	East	Church; offices			
	West	Office/Shop			
Existing Zoning:	C-1 (Light Commercial)				
Proposed Zoning:	C-1 (Light Commercial)				
Surrounding Zoning:	North	C-1 (Light Commercial)			
	South	CSR (Community Services and Recreation)			
	East	C-1 (Light Commercial)			
	West	C-1 (Light Commercial)			
Future Land Use Designation:	Downtown Mixed Use				
Zoning within density range?	X	Yes	<input type="checkbox"/> No		

PROJECT DESCRIPTION: A request for approval of a Conditional Use Permit to have outdoor permanent display in the front half of the property in a C-1 (Light Commercial) zone district in accordance with Table 21.04.010 of the Grand Junction Municipal Code.

RECOMMENDATION: Approval of the Conditional Use Permit

ANALYSIS:

1. Background

Mediquip, LLC has been operating at 215 S. 15th Street and has been providing service and installation of lifts and ramps for handicap accessible vans for several years. They have recently joined forces with Mobility Auto Center, LLC to offer both sales and services of conversion vehicles that are handicap accessible.

There are currently no automobile dealers in Grand Junction dedicated to and specializing in the sale of handicap accessible vehicles. Prior to the creation of Mobility Auto Center residents of the Western Slope had to travel to the nearest dealerships in Denver or Salt Lake City. Depending on the type and level of disability, there are many configurations and types of vehicles available. The applicant proposes to expand the display area to the front half of the property in order to provide adequate demonstration of the options available to purchasers.

2. Consistency with the Comprehensive Plan

The site is currently zoned C-1 (Light Commercial) with the Comprehensive Plan Future Land Use Map identifying this area as Downtown Mixed Use.

The Downtown Mixed Use designation is defined in the Comprehensive Plan as "Employment, residential, retail, office/business park uses allowed. A mix of uses (2 to 8 stories), either horizontal or vertical is expected. Residential densities may exceed 24 du/acre." Retail sales of vehicles fits within the Downtown Mixed Use definition and the storage and display of vehicles in the front yard is essential to this use as it expands its operations. The expanded business will allow residents in need of this type of specialized vehicle without the need of traveling out of town.

3. Section 21.02.110 the Grand Junction Municipal Code

A conditional use permit is required prior to the establishment of any conditional use identified in Chapter 21.04 Grand Junction Municipal Code (GJMC) or elsewhere in the Code. Requests for a Conditional Use Permit must demonstrate that the proposed development will comply with all of the following:

- (1) Site Plan Review Standards. All applicable site plan review criteria in GJMC 21.02.070(g) and conformance with Submittal Standards for Improvements and Development (GJMC Title 22), Transportation Engineering Design Standards (GJMC Title 24), and Stormwater Management Manual (GJMC Title 26) manuals;

Outdoor storage and display in the front half of the property in a C-1 zone district requires a Conditional Use Permit (CUP). This CUP requires upgrades to a site in order to achieve compliance with all applicable Site

Plan Review Standards. Section 21.08.040(c)(2) Non-Conforming Sites – Expansion provides:

(2) Redevelopment or expansion which would result in less than a 65 percent increase of the gross square footage of the existing structure, outdoor operations/storage/display, paving or parking areas shall require a corresponding percentage increase in compliance for landscaping and screening/buffering requirements of this code until the site achieves 100 percent compliance. (For example, if the gross square footage area of the structure increases by 10 percent and the outdoor storage gross square footage area increases by 15 percent, then the overall increase is 25 percent and the site contains only 50 percent of the required landscaping, 25 percent of the required landscaping for the entire site must be provided, thereby bringing the site to 75 percent of the total required.) Existing landscaping on the site shall be retained or replaced but shall not count toward the required percentage of new landscaping.

If 100% of the site improvements were required, it would consist of 6 trees and 46 shrubs. The expansion area proposed is the equivalent of 12% of the property; 12% landscaping improvements call for 1 tree and 6 shrubs. The applicant has agreed to plant 4 trees and living ground coverage over 75% of the area within the Ute Avenue rights-of-way. The applicant requests that the proposed landscaping within the parkway strips count toward required on-site improvements. Staff is supportive of this request as it meets the intent of the landscaping requirements. If this proposal did not require a Conditional Use Permit, the applicant's landscaping proposal exceeds the requirements of Section 21.08.040(c)(2) Non-Conforming Sites – Expansion.

The parking requirement for the property is 9 spaces. The property has 13 parking spaces. The southern two spaces would be unusable if the display area is occupied leaving 11 spaces available for use.

The applicant is not proposing any additional construction to the site and there are not any changes expected from the additional use that would trigger special SSID, TEDS or SWMM requirements. The City Development Engineer has reviewed the project and found the site to be compliant with the applicable engineering standards.

(2) District Standards. The underlying zoning districts standards established in Chapter 21.03 GJMC, except density when the application is pursuant to GJMC 21.08.020(c);

The C-1 dimensional standards (i.e. setbacks and height) are met by the existing site and building and by the proposed expansion.

(3) Specific Standards. The use-specific standards established in Chapter 21.04 GJMC;

Outdoor storage and display in the front half of the property in a C-1 zone district requires a Conditional Use Permit (CUP). Upon approval, use-specific standards established in Chapter 21.04 would be met.

[see preceding paragraphs]

(4) Availability of Complementary Uses. Other uses complementary to, and supportive of, the proposed project shall be available including, but not limited to: schools, parks, hospitals, business and commercial facilities, and transportation facilities.

There will be no anticipated changes to those complementary uses which include but are not limited to schools, parks, hospitals, business and commercial facilities, and transportation facilities.

(5) Compatibility with Adjoining Properties. Compatibility with and protection of neighboring properties through measures such as;

(i) Protection of Privacy. The proposed plan shall provide reasonable visual and auditory privacy for all dwelling units located within and adjacent to the site. Fences, walls, barriers and/or vegetation shall be arranged to protect and enhance the property and to enhance the privacy of on-site and neighboring occupants;

The request to display in the front half of the property will not change the visual and auditory privacy for nearby properties. The surrounding properties are commercial in nature with similar operating hours as Mediquip. The proposed use will not have any additional noise. The proposed landscaping along Ute Avenue will provide visual buffering of the display area. Also, since the use will essentially be the same as the current use and with no additional construction, there will be no negative impact on the use and enjoyment of adjoining property. Thus, no changes to fences, walls, barriers and/or vegetation (beyond the aforementioned landscaping changes along Ute Ave.) are being proposed.

(ii) Protection of Use and Enjoyment. All elements of the proposed plan shall be designed and arranged to have a minimal negative impact on the use and enjoyment of adjoining property;

[See previous paragraph]

(iii) Compatible Design and Integration. All elements of a plan shall coexist in a harmonious manner with nearby existing and anticipated Development. Elements to consider include; Buildings, outdoor storage areas and equipment, utility structures, Buildings and paving coverage, Landscaping, lighting, glare, dust, signage, views, noise, and odors. The plan must ensure that noxious emissions and conditions not typical of land Uses in the same Zoning district will be effectively confined so as not to be injurious or detrimental to nearby properties.

All elements of the proposed conditional use will coexist in a harmonious manner with nearby existing and anticipated development. There will be no changes to buildings, utility structures, building and paving coverage, lighting, glare, dust, signage, views, noise, or odors. The surrounding properties are commercial in nature with similar operating hours as Mediquip. The proposed use will not have any additional noise and the proposed landscaping along Ute Avenue will provide visual buffering of the display area. There will be no noxious emissions or any conditions not typical of land uses in the same zoning district.

FINDINGS OF FACT/CONCLUSIONS AND CONDITIONS:

After reviewing the Mobility Auto Center application, CUUP-2011-1290 for a Conditional Use Permit, I make the following findings of fact, conclusions and conditions:

1. The requested Conditional Use Permit **is** consistent with the Comprehensive Plan.
2. The review criteria in Section 21.02.110 of the Grand Junction Municipal have all been met.
3. As part of the Conditional Use Permit application, no special sign package was submitted since the business is a single use. All signage will meet the standards of Section 21.02.110(d) of the Grand Junction Municipal Code.
4. Approval of the project being conditioned upon completion of the landscaping per the approved plan.

STAFF RECOMMENDATION:

I recommend that the Planning Commission approve the requested Conditional Use Permit, CUP-2011-1290 with the findings, conclusions and condition of approval listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on the request for a Conditional Use Permit for Mobility Auto Center application, number CUP-2011-1290 to be located at 215 S 15th Street, I move that the Planning Commission approve the Conditional Use Permit with the facts, conclusions and conditions listed in the staff report.

Attachments:

Site Location Map / Aerial Photo Map
Future Land Use Map / Existing Zoning Map
Site Plan

Site Location Map

Figure 1



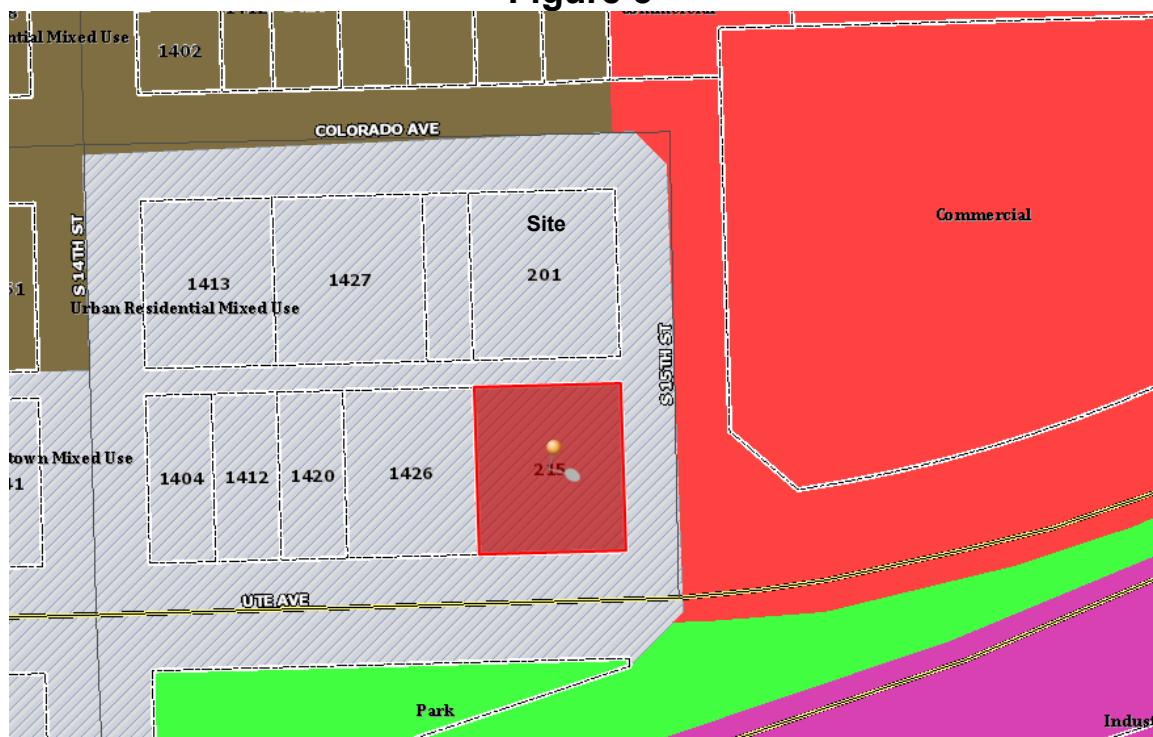
Aerial Photo Map

Figure 2



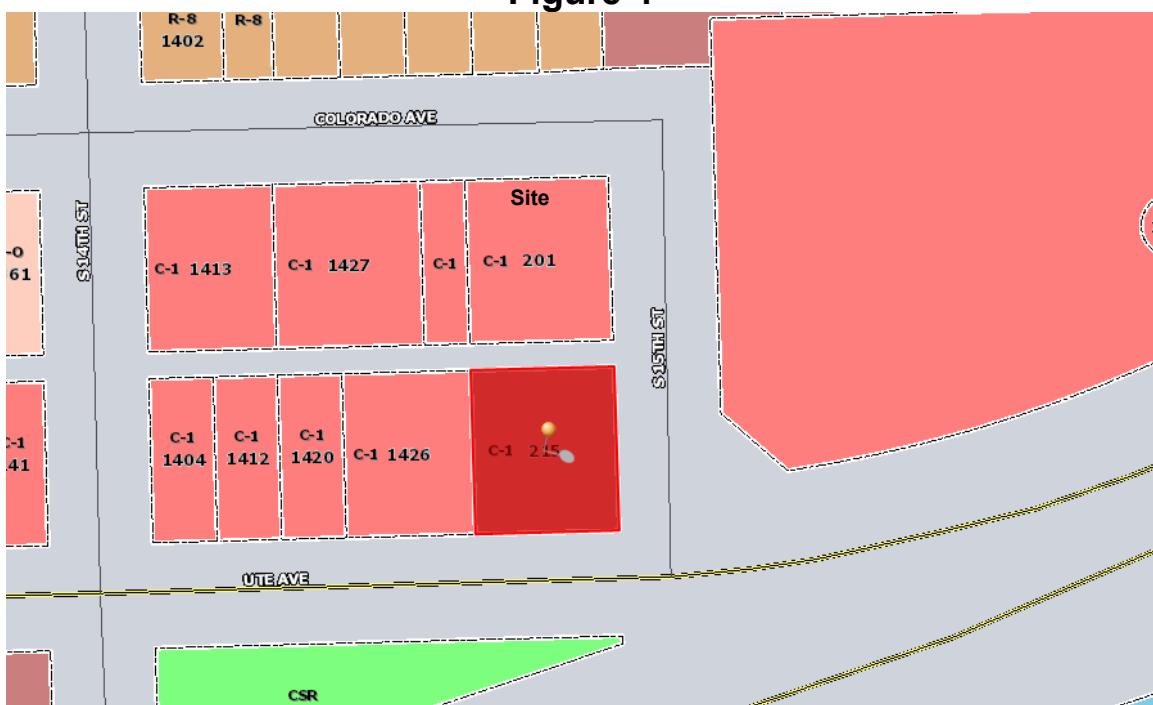
Comprehensive Plan Map

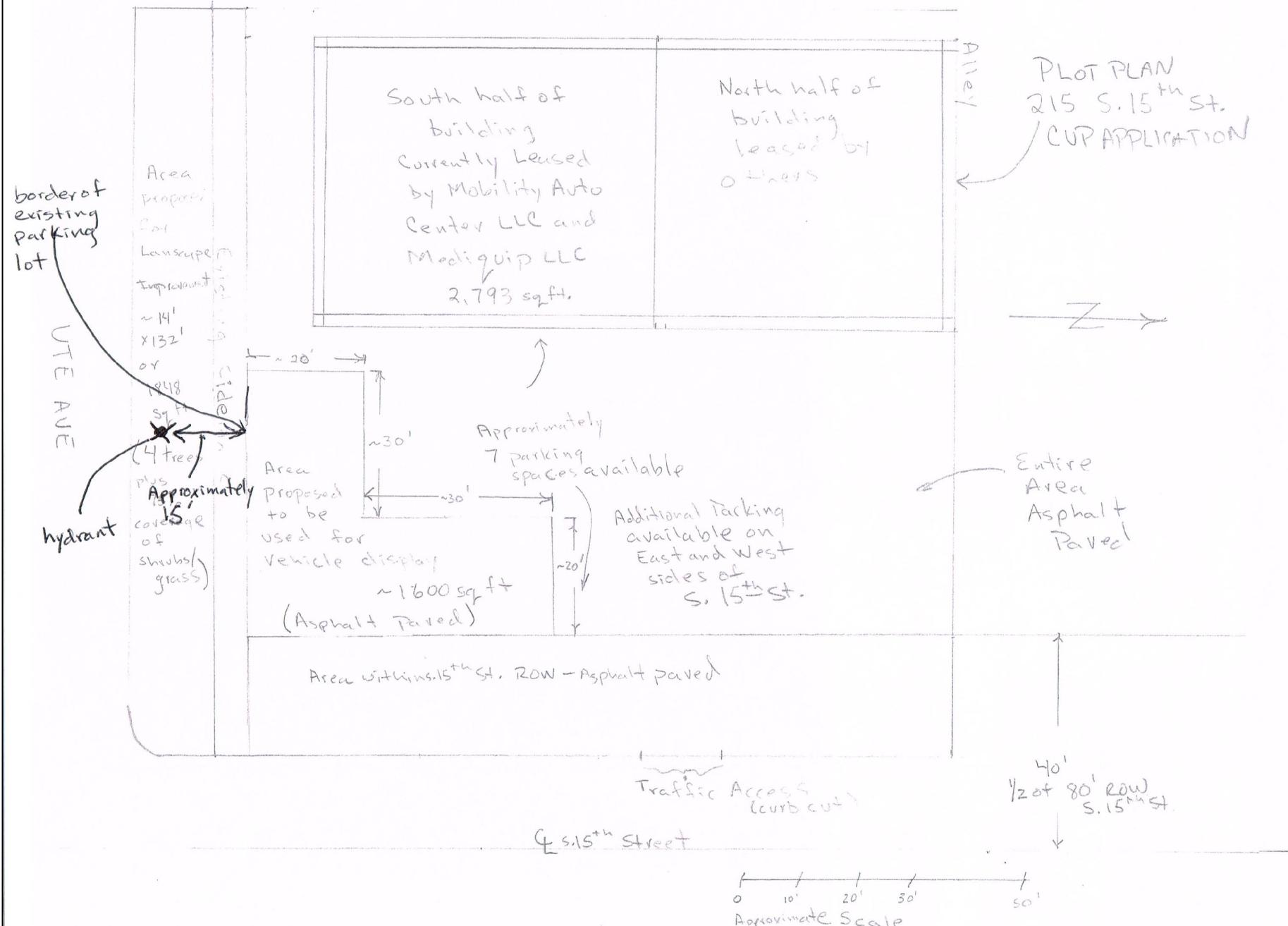
Figure 3



Existing City Zoning Map

Figure 4





Attach 5**North Seventh Street Historic Residential District**

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
PRESENTER: Kristen Ashbeck

AGENDA TOPIC: North Seventh Street Historic Residential District Planned Development Plan Amendment – PLD-2012-80; Amendment to Zoning and Development Code (Section 21.07.040 – Historic Preservation) – ZCA-2012-107.

ACTION REQUESTED: Recommendation to City Council to: 1) amend Ordinance 4403 to establish a new plan, including Guidelines and Standards for the North Seventh Street Historic Residential District and 2) amend the Zoning and Development Code pertaining to the jurisdiction, duties and responsibilities of the City of Grand Junction Historic Preservation Board.

BACKGROUND INFORMATION							
Location:	North 7 th Street between Hill Avenue and White Avenue						
Applicant:	North Seventh Street Historic Residential District Neighborhood						
Existing Land Use:	Residential, primarily single family, two churches and a day care						
Proposed Land Use:	Same						
Surrounding Land Use:	North	Single Family Residential					
	South	Office					
	East	Single and Multifamily Residential and Office					
	West	Single and Multifamily Residential and Office					
Existing Zoning:	Planned Development (PD); Downtown Business (B-2)						
Proposed Zoning:	Same – establish new Plan for PD Properties; establish zoning overlay (advisory only) for B2 properties						
Surrounding Zoning:	North	Residential 8 units/acre (R-8)					
	South	Downtown Business (B-2)					
	East	R-8 and Residential Office (R-O)					
	West	R-8, B-2 and Neighborhood Business (B-1)					
Future Land Use Designation:	Downtown Mixed Use and Residential Medium						
Zoning within density range?	XX	Yes		No			

PROJECT DESCRIPTION: A request to (1) amend Ordinance No. 4403 to establish a new Plan for the North 7th Street Historic Residential District Planned Development,

including the North Seventh Street Historic Residential District Guidelines and Standards, to maintain and enhance the historic character of those properties and to apply those same Guidelines and Standards in an advisory manner to properties located at 327, 337 and 310 N. 7th St., and (2) amend the Zoning and Development Code (“Code”) to authorize the Grand Junction Historic Preservation Board (“Board”) to review and approve applications for construction/alteration to sites and/or structures located on North 7th Street between Hill Avenue and White Avenue, as shown on the Site Location Map, attached.

RECOMMENDATION: Forward a recommendation of approval to City Council.

BACKGROUND:

The North Seventh Street Historic Residential District (“District”) includes the properties along North 7th Street from Hill Street to White Avenue on the east side of North 7th and from Hill Street to the alley between White and Grand avenues on the west side of North 7th Street. (See Site Location Map, attached.) The District is a nationally recognized historic neighborhood. It has been placed on the National Register of Historic Places, and is the only neighborhood in the City with this recognition. The neighborhood is proud of the designation and has been seeking, in various ways over time, to establish a process and standards through which to maintain and enhance its historic character.

Over the past two years, an organized group within the District has been working together, with broad input from the people in the neighborhood, to develop design guidelines and standards intended to preserve its historic nature and quality. The result of this long and sustained effort is the attached “North Seventh Street Historic Residential District Guidelines and Standards” (“Guidelines and Standards”) which City Staff and the neighborhood now request that the City adopt for the District. The Guidelines and Standards include a streetscape and property inventory showing the defining characteristics of the District and each structure within it, and establish criteria for development intended to ensure the maintenance and enhancement of the major exterior elements that characterize the historic nature of the District.

Prior to this effort, the City adopted Ordinance 2211 in 1984 establishing a planned residential zone for the part of this North 7th Street neighborhood consisting of the properties on North 7th from Hill Street to Grand Avenue. On February 17, 2010, at the urging of an organized neighborhood group, City Council adopted Ordinance 4403 and repealed Ordinance 2211. Ordinance 4403 established a Development Plan for that Planned Development (PD) zone and outlined a process by which building and site alterations would be reviewed and decided by City Council. That process, however, did not include detailed guidance for decision-making regarding historic preservation or design.

At the February 17, 2010 City Council meeting, the City Council requested that Planning staff work with the neighborhood on specific guidelines and standards for historic

preservation and design. To that end, the neighborhood conducted a series of meetings and a property owner poll to discuss and determine the direction for the guidelines and standards. Several drafts of the document were prepared and reviewed. The poll and notices of the meetings were provided to the neighborhood and to the owners of the three properties south of Grand Avenue. The last neighborhood meeting was held in July 2011 to review the final draft that was then proposed to the City.

Since that time, the document has been reviewed by the Historic Preservation Board, which has indicated its approval of the guidelines and standards generally and of its proposed expanded role of reviewing and deciding development applications in public hearings. City staff has also worked with neighborhood representatives to refine the document so that it better implements the desires of the residents and to provide a review process. This work included development of an ordinance to expand the role and responsibility of the Board to include review and decision-making for changes to sites and structures within the District and a process for appealing decisions of the Board to the City Council.

The Guidelines and Standards are proposed as a new plan (“Plan” or “the Plan”) for the Planned Development zone within the historic district and as an advisory document for those properties that are within the District boundaries but not within the PD zone district. The properties that are outside the PD zone district are located at 327 N. 7th (the Doc Shores House), 337 N. 7th (the White House), and 310 N. 7th (the R-5 School or Lowell School). Inclusion of these properties in the District is considered important to the neighborhood because of their contributing structures and because they are part of the National Registry. The owners of the properties outside the PD zone district have been notified of all neighborhood meetings and polled along with the PD property owners. At this time, however, the City has not taken the legislative action(s) necessary to designate a historic district including those properties or to designate these structures as historic in accordance with Section 21.07.040 of the Zoning and Development Code. Until such time, the application of the Guidelines and Standards to these properties will be advisory, such that compliance is voluntary on the part of the owners of those properties.

Generally, approval of the proposed ordinances will:

- Establish a new Plan for the North 7th Street properties that are zoned PD (properties north of Grand Avenue and south of Hill Street)
- Apply the Guidelines and Standards to the three properties south of Grand Avenue that are zoned B-2 in an advisory manner
- Retain the underlying zone district of R-8 for uses allowed in the PD zone district
- Establish bulk standards for all properties within the District (mandatory for the PD zone district properties; advisory for the three non-PD properties)
- Establish a review process for all changes to structures and sites in the District, including an application for a Certificate of Appropriateness, review by Public Works and Planning staff and decision-making by the Grand Junction Historic Preservation Board (advisory only with respect to the non-PD properties)

- Provide guidelines and standards by which changes to structures and sites in the District are reviewed that primarily address maintenance and enhancement of the major exterior elements that characterize the District and the structures within it such as streetscape, site development features, mass and proportion of buildings, rooflines, siding, windows, doors and porches and similar features

REVIEW CRITERIA

1. Consistency with the Comprehensive Plan.

The requested amendment of the Planned Development Plan incorporating the Guidelines and Standards (the Plan) and the proposed Code amendment authorizing the Board to review and decide certain development applications within the District are each consistent with the Comprehensive Plan designation of Residential Medium for that portion of the District north of Grand Avenue and Downtown Mixed Use for the properties south of Grand Avenue. They are also consistent with the following Comprehensive Plan goals and policies:

Goal 6: Land use decisions will encourage preservation and appropriate reuse.

These ordinances will encourage preservation of the historic structures and characteristics of this unique nationally designated historic area.

Goal 8: Create attractive public spaces and enhance the visual appeal of the community through quality development.

Policies:

A. Design streets and walkways as attractive public spaces;

C. Enhance and accentuate the City ‘gateways’ including interstate interchanges, and other major arterial streets leading into the City;

Preservation of this historic neighborhood will help to ensure that the North 7th Street corridor, including the street, median, detached sidewalks and landscaping features, retains its historic character and beauty, providing an enduring historic gateway into the downtown.

2. Section 21.02.140(a) of the Grand Junction Municipal Code.

In order for the zoning and Code text amendments to be approved, one or more of the criteria in Section 21.02.140(a) of the Code must be met. The Staff respectfully represents that the following criteria are met:

(1) Subsequent events have invalidated the original premise and findings.

The North 7th Street neighborhood has developed detailed guidelines and standards through a process of neighborhood surveys and meetings. The Guidelines and Standards provide detailed guidance to property owners and decision-makers in order to preserve and enhance the historic character of the District. The Plan adopted with Ordinance 4403 did not include such standards and did not accomplish these goals. The City Council directed City Staff and the neighborhood to work together to come up with a Plan for the historic district, and this is the result of that charge.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

The North 7th Street neighborhood is entirely unique in the City; it is the only neighborhood in the City that has been placed on the National Register of Historic Places. The proposed ordinances are intended to protect that designation.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

The community benefits from the maintenance and enhancement of the historic area that the Plan is intended to afford. This nationally designated historic area is a point of interest for tourists and residents alike. Its proximity to the Downtown makes it a unique and treasured gateway to the Downtown business areas and the community at large.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the North 7th Street Historic Residential District Planned Development plan amendment, PLD-2012-80, establishing guidelines and standards designed to protect the historic character of the area and applying the Guidelines and Standards in an advisory manner to the identified properties south of Grand Avenue; and after reviewing the proposed Code text amendment, ZCA-2012-107, authorizing the Grand Junction Historic Preservation Board to review and decide certain applications for development in the District, the Planning Commission finds as follows:

1. The requests are consistent with the goals and policies of the Comprehensive Plan.
2. The review criteria in Section 21.02.140 of the Grand Junction Municipal Code have been met.
3. The North Seventh Street Historic Residential District Guidelines and Standards shall apply to the properties located at 310, 327 and 337 N. 7th

Street (known as the Lowell School, Doc Shores and White House properties, respectively) in an advisory manner.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the requested Plan amendment, PLD-2012-80, and of the requested Code text amendment, ZCA-2012-107, to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTIONS:

Mr. Chairman, on the PD Plan amendment PLD-2012-80, I move that the Planning Commission forward a recommendation of approval of the request to establish a new Plan for the Planned Development (PD) properties in the North Seventh Street Historic Residential District which Plan includes the North Seventh Street Historic Residential District Guidelines and Standards, which will apply to all properties within the North Seventh Street Historic Residential District with the findings of fact, conclusions, and conditions listed in the staff report.

Mr. Chairman, on the Code text amendment, ZCA-2012-107, I move that the Planning Commission forward a recommendation of approval of the amendment to the Zoning and Development Code (Section 21.07.040 – Historic Preservation) authorizing the Historic Preservation Board to review and decide certain applications for development within the District, with the findings of fact, conclusions and conditions listed in the staff report.

Attachments:

Site Location Map / Aerial Photo Map
Existing Future Land Use Map
Existing Zoning Map
Proposed Ordinance Amending Ordinance No. 4403
Proposed Ordinance Amending the Zoning and Development Code
North Seventh Street Historic Residential District Guidelines and Standards (also serves as Exhibit A to the proposed ordinance amending Ordinance No. 4403)

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. _____

**AN ORDINANCE AMENDING SECTION 21.07.040 (HISTORIC PRESERVATION) OF
THE GRAND JUNCTION MUNICIPAL CODE GRANTING AUTHORITY TO THE
HISTORIC PRESERVATION BOARD TO REVIEW AND DECIDE APPLICATIONS
FOR ALTERATION OR CONSTRUCTION WITHIN THE NORTH SEVENTH STREET
HISTORIC RESIDENTIAL DISTRICT ACCORDING TO THE GUIDELINES AND
STANDARDS OF THAT DISTRICT**

Recitals.

In 1984, the 6.63+/- acre North 7th Street neighborhood was zoned Planned Development by Ordinance 2211. On February 17, 2010, Ordinance 2211 was repealed and Ordinance 4403 was enacted rezoning the neighborhood *Planned Residential Development – 7th Street*. In March 2012, the Plan for the *Planned Residential Development – 7th Street* was amended, and the North Seventh Street Historic Residential District Guidelines and Standards were adopted as the new Development Plan for that neighborhood.

The guidelines and standards that comprise the 2012 amendments were developed by the North 7th Street residents after a neighborhood poll, a series of meetings and with collaboration of the residents. The City planning staff and the Grand Junction Historic Preservation Board were consulted as well.

The neighborhood and City staff desire and recommend that the Historic Preservation Board be charged with the interpretation, implementation and application of the *Guidelines and Standards* to the covered properties in the North Seventh Street Historic Residential District, as defined by the Guidelines and Standards document.

After thorough review, deliberation and consideration, the City Council of the City of Grand Junction has determined that the Historic Preservation Board, with its interest and expertise in matters of historic preservation, is the appropriate body to review and decide *Certificate of Appropriateness* applications in the North Seventh Street Historic Residential District and to apply the *Guidelines and Standards* to those applications, subject to review on appeal by the City Council.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT SECTION 21.07.040(b) AND 21.07.040(g) ARE AMENDED TO GRANT AUTHORITY TO THE HISTORIC PRESERVATION BOARD TO REVIEW AND DECIDE APPLICATIONS FOR ALTERATION OR CONSTRUCTION WITHIN THE NORTH SEVENTH STREET HISTORIC RESIDENTIAL DISTRICT AS FOLLOWS:

A subsection (ix) to Section 21.07.040(b)(6) (Powers and duties of Board) shall be added as follows:

(ix) Review and conduct hearings to decide applications for a *Certificate of Appropriateness* for alteration to a site and/or structure in the North Seventh Street Historic Residential District.

All other provisions of Section 21.07.040(b) shall remain in full force and effect.

Section 21.07.040(g) shall be amended as follows (additions are shown underlined, deletions are struck-out):

(g) Review of Alterations.

(1) City Registry. The owner of any historic structure or site on the City Registry designated pursuant to subsection (e) of this Section is requested to consult with the Historic Board before making any alteration. The Historic Board shall determine if the alteration is compatible with the designation. In reviewing a proposed alteration, the Historic Board shall consider design, finish, material, scale, mass and height. When the subject site is in an historic district, the Historic Board must also find that the proposed development is visually compatible with development on adjacent properties, as well as any guidelines adopted as part of the given historic district designation. For the purposes of this section, the term "compatible" shall mean consistent with, harmonious with and/or enhances the mixture of complementary architectural styles either of the architecture of an individual structure or the character of the surrounding structures. The Historic Board shall use the following criteria to determine compatibility of a proposed alteration:

(1) (i) The effect upon the general historical and architectural character of the structure and property;

(2) (ii) The architectural style, arrangement, texture and material used on the existing and proposed structures and their relation and compatibility with other structures;

(3) (iii) The size of the structure, its setbacks, its site, location, and the appropriateness thereof, when compared to existing structure and the site;

(4) (iv) The compatibility of accessory structures and fences with the main structure on the site, and with other structures;

- (5) (v) The effects of the proposed work in creating, changing, destroying, or otherwise impacting the exterior architectural features of the structure upon which such work is done;
- (6) (vi) The condition of existing improvements and whether they are a hazard to public health and safety; or
- (7) (vii) The effects of the proposed work upon the protection, enhancement, perpetuation and use of the property.

(2) North Seventh Street Historic Residential District. The owner of any property within the North Seventh Street Historic Residential District shall comply with the *North Seventh Street Historic Residential District Guidelines and Standards*.

- (i) Before making any construction or alteration to a site or structure, such owner shall make application to the City for a *Certificate of Appropriateness*. The Director shall make review such application for compliance with the *Guidelines and Standards* and make an initial determination and recommendation to the Board. The Director may include in that recommendation any conditions deemed appropriate to comply with the *Guidelines and Standards* and with the Zoning and Development Code.
- (ii) The Board shall have jurisdiction to review City staff recommendations and to decide applications for *Certificates of Appropriateness* at a public hearing. The Board may include any conditions of approval deemed appropriate for compliance with the *Guidelines and Standards*. No owner shall construct or alter a structure or site in the District without first obtaining a *Certificate of Appropriateness* from the Board.
- (iii) A decision of the Board may be appealed to City Council within 30 days of the issuance of the decision. Appeals to City Council shall be *de novo*.
- (iv) All reviews pursuant to this subsection (2) shall determine if the new construction or alteration is compatible with the historic designation as provided in the *North Seventh Street Historic Residential District Guidelines and Standards*. In reviewing an application, consideration shall be given to design, siting, form, texture, setbacks, orientation, alignment, finish, material, scale, mass, height and overall visual compatibility, according to and with reference to the applicable *Guidelines and Standards of the North Seventh Street Historic Residential District*. For purposes of this section, the term "compatible" shall mean consistent with, harmonious with and/or

enhancing the mixture of complementary architectural styles either of the architecture of an individual structure or the character of the surrounding structures.

Introduced on first reading this _____ day of March 2012 and authorized the publication in pamphlet form.

Passed and adopted on second reading the _____ day of March 2012 and authorized the publication in pamphlet form.

President of the City Council

ATTEST:

City Clerk

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. _____

AN ORDINANCE AMENDING ORDINANCE 4403 FOR THE *PLANNED RESIDENTIAL DEVELOPMENT – 7TH STREET* CONSISTING OF GUIDELINES, STANDARDS AND REVIEW PROCESS BY WHICH NEW CONSTRUCTION OR ALTERATIONS WITHIN THE ZONE ARE DETERMINED

Recitals:

After thorough review, deliberation and consideration the City Council of the City of Grand Junction has determined that the existing Planned Development zone created by Ordinance No. 4403 should be amended.

The approximately 6.63 +/- acres currently zoned *Planned Residential Development – North 7th Street* by Ordinance No. 4403 remain zoned PD – Planned Development with a default zone of R-8, all in accordance with the Zoning and Development Code (Code); however, by and with this ordinance a new Development Plan (“Plan”) for the PD zone district, governing construction or alteration of sites and/or structures within the zone district, is adopted.

In the public hearing on February 17, 2010, the City Council identified the need for standards and a review process for alterations to and construction of structures and sites within the unique, historic 7th Street neighborhood. The City Council charged the neighborhood residents and City staff to develop such standards and review process.

In response to that charge, the neighborhood residents, in a series of meetings and through a poll indicating the residents’ desires with respect to enhancing and maintaining the historic character of the neighborhood, developed the *North Seventh Street Historic Residential District Guidelines and Standards*. An organized neighborhood group presented the Guidelines and Standards to City staff. City staff and the neighborhood group then refined the *Guidelines and Standards* and included a process for review of applications for alteration/construction.

After thorough review, deliberation and consideration, the City Council of the City of Grand Junction finds that it is in the interest of the public to adopt the *North Seventh Street Historic Residential District Guidelines and Standards* as the new Plan for the *Planned Residential Development – North 7th Street* zone district.

The bulk, development, improvement, architectural and design standards shall be derived from the *North Seventh Street Historic Residential District Guidelines and Standards*. The R-8 default zone standards and the development standards of the Zoning and Development Code shall determine uses in the PD zone district and shall determine other development standards in the event that the *Guidelines and Standards* are silent on a development standard that is addressed by the Zoning and Development

Code (as an example only and not by way of limitation, number of parking spaces required for a given use).

The Plan is intended to replace the prior development plan established by Ordinance 4403, including the review process established therein by which City Council was designated as the decision-maker. Under the Plan, the Director of the Department of Public Works and Planning shall initially determine whether the character of any proposed development application complies with the Zoning and Development Code and is consistent with the *Guidelines and Standards*, and make recommendations to the Historic Preservation Board. The Historic Preservation Board shall make decisions on applications for alteration/construction. That application/grant of approval is known as a Certificate of Appropriateness.

The Plan is also intended to replace the surveys, descriptions and depictions of properties within the zone district that were included in Ordinance 4403.

In addition, the City Council finds that it is in the interest of the public to include the following three North 7th Street properties south of Grand Avenue in the North Seventh Street Historic Residential District because of their historic character, because of the contributing nature of their structures, and because of their inclusion on the National Register of Historic Places: the property located at 327 N. 7th Street (known as the Doc Shores House), the property located at 337 N. 7th Street (known as the White House), and the property located at 310 N. 7th Street (known as the Lowell School). Because these properties are not within the *Planned Residential Development – North 7th Street*, however, the application of the *Guidelines and Standards* to alterations/construction on these properties is, until such time as further legislative action is taken, advisory only.

The City Council finds that the content of the Plan established by this ordinance is consistent with and satisfies the criteria of the Code and is premised on the purposes and intent of the *Comprehensive Plan*.

Furthermore, the City Council has determined that the Plan achieves long-term community benefits by establishing a process, guidelines and standards for review of development in a unique, nationally recognized historic neighborhood in the City.

The City Council finds that the review process established in and by this ordinance will afford the highest quality development consistent with the needs and desires of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION:

That Ordinance No. 4403 is hereby amended as follows.

The properties within the *Planned Residential Development – North 7th Street* zone district as described and zoned in Ordinance No. 4403 shall be subject to the *North Seventh Street Historic Residential District Guidelines and Standards*.

In addition to the underlying zoning regulations described in Ordinance 4403, the design standards of the *North Seventh Street Historic Residential District Guidelines and Standards* (Exhibit A) shall apply.

Initial determination of compliance with the Guidelines and Standards shall be made by the Director, who shall then make a recommendation to the Historic Preservation Board. The Historic Preservation Board shall hear and decide applications for alteration/construction within the PD zone district. A decision of the Historic Preservation Board may be appealed to the City Council.

In addition, be it ordained that the design standards of the *North Seventh Street Historic Residential District Guidelines and Standards* (Exhibit A) shall apply to the property located at 327 N. 7th Street (known as the Doc Shores House), the property located at 337 N. 7th Street (known as the White House), and the property located at 310 N. 7th Street (known as the Lowell School) in an advisory manner. That is, the Historic Preservation Board and/or the Director may make advisory recommendations based on the Guidelines and Standards for development applications on these properties.

If this ordinance becomes invalid for any reason and/or the *Guidelines and Standards* are found to be inapplicable, incomplete or otherwise deficient to determine and application, then the *Planned Residential Development – North 7th Street* zone district properties shall be fully subject to the standards of the underlying zone district (R-8).

Introduced on first reading this _____ day of March 2012 and authorized the publication in pamphlet form.

Passed and adopted on second reading the _____ day of March 2012 and authorized the publication in pamphlet form.

President of the City Council

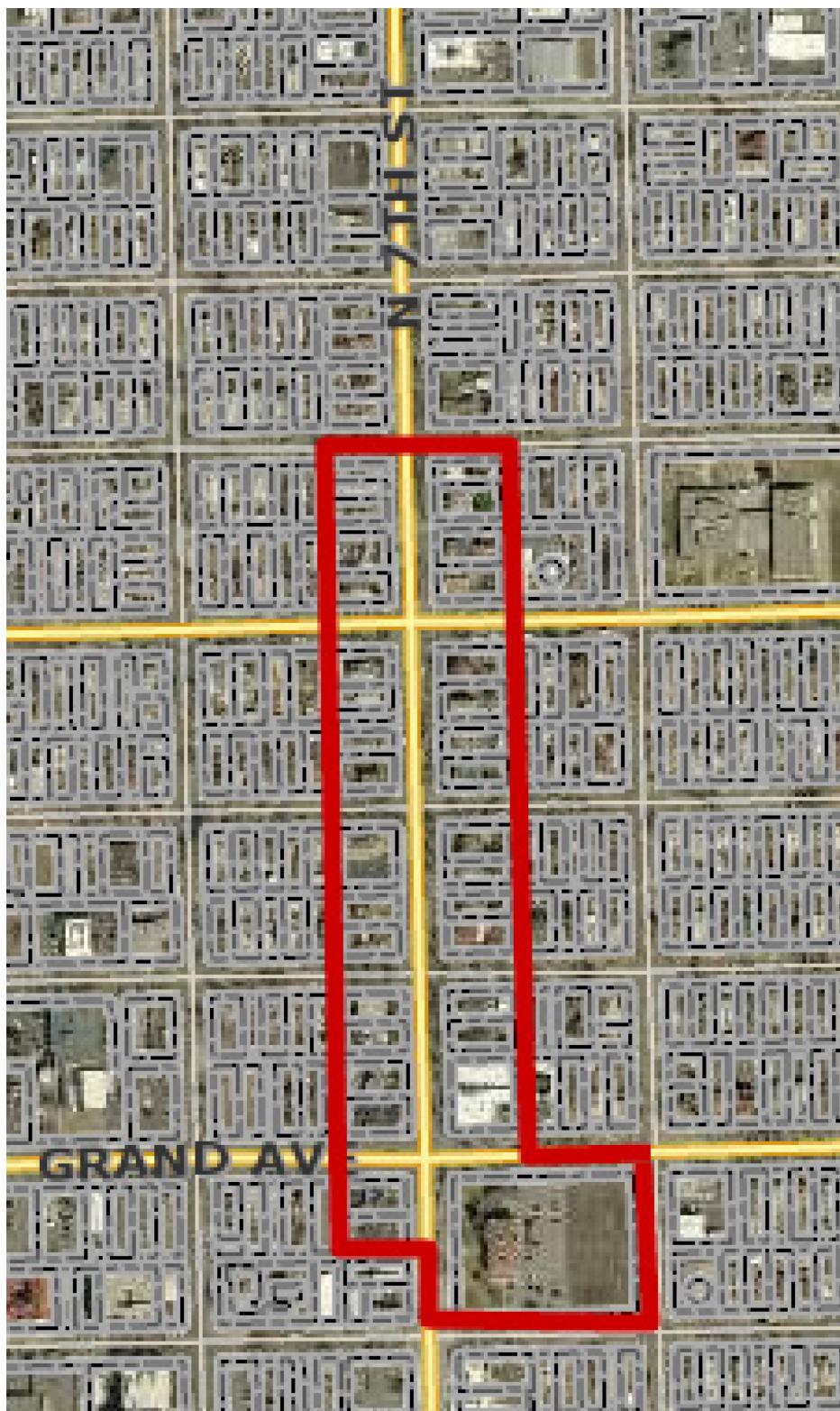
ATTEST:

City Clerk

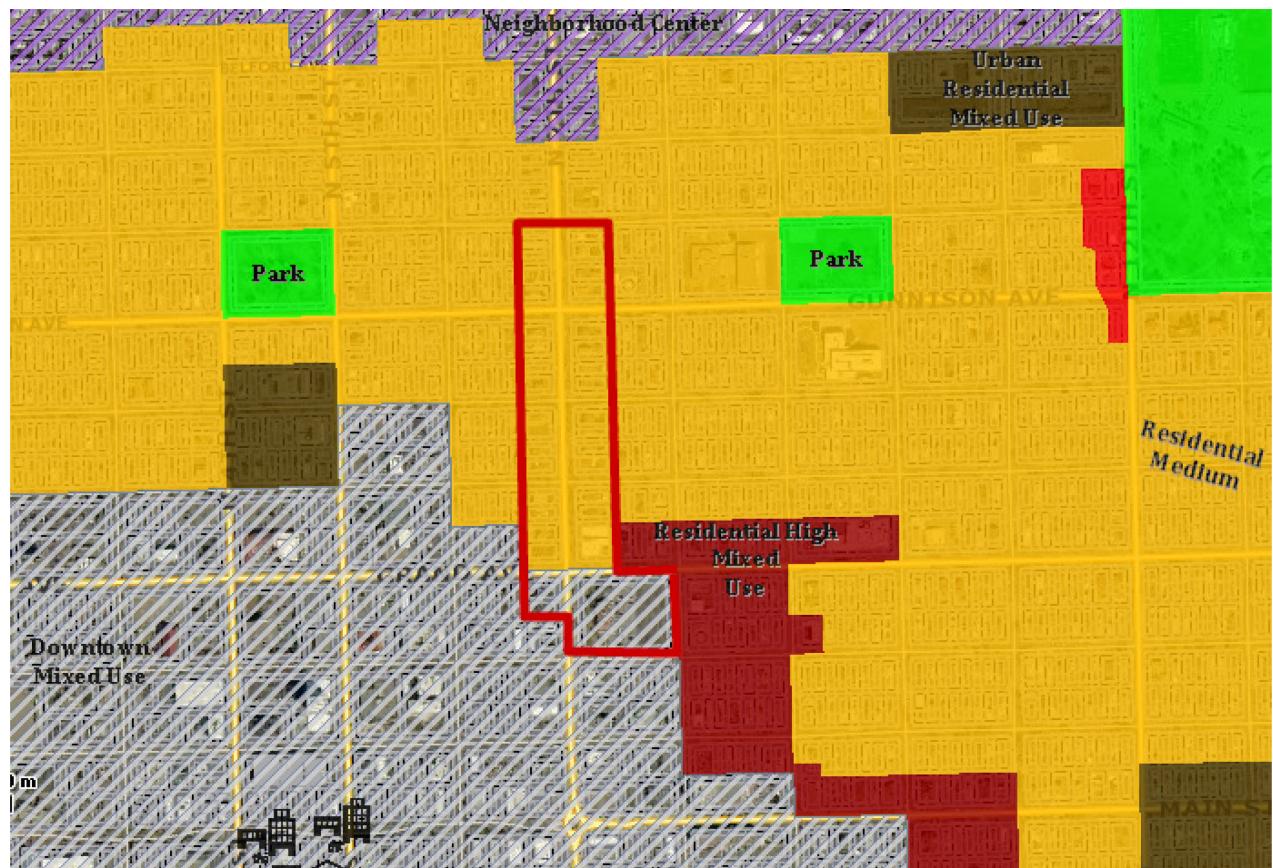
EXHIBIT A – North Seventh Street Historic Residential District Guidelines and Standards

(See attachment to Staff Report for this document)

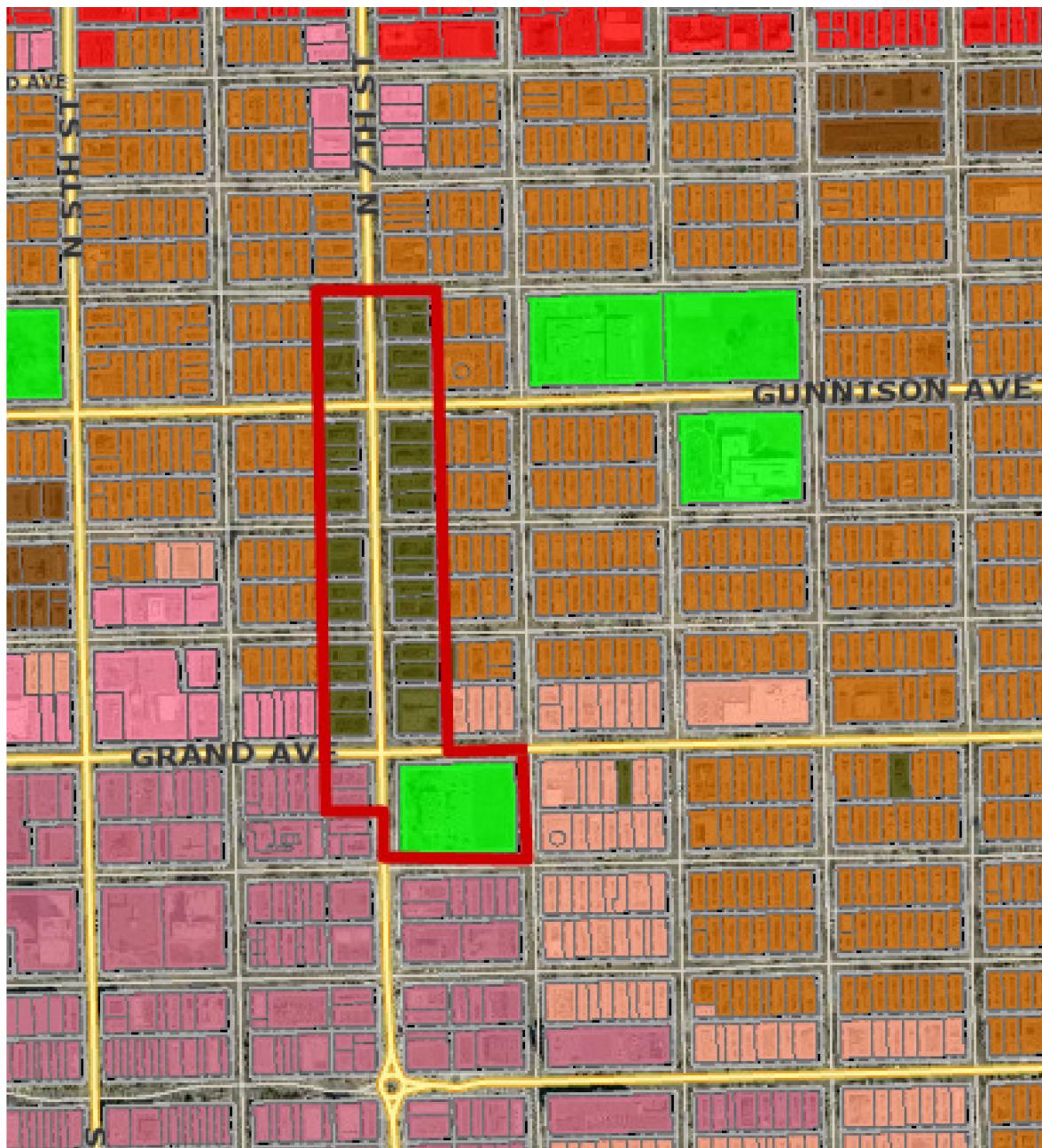
SITE LOCATION/AERIAL PHOTO LOCATION MAP

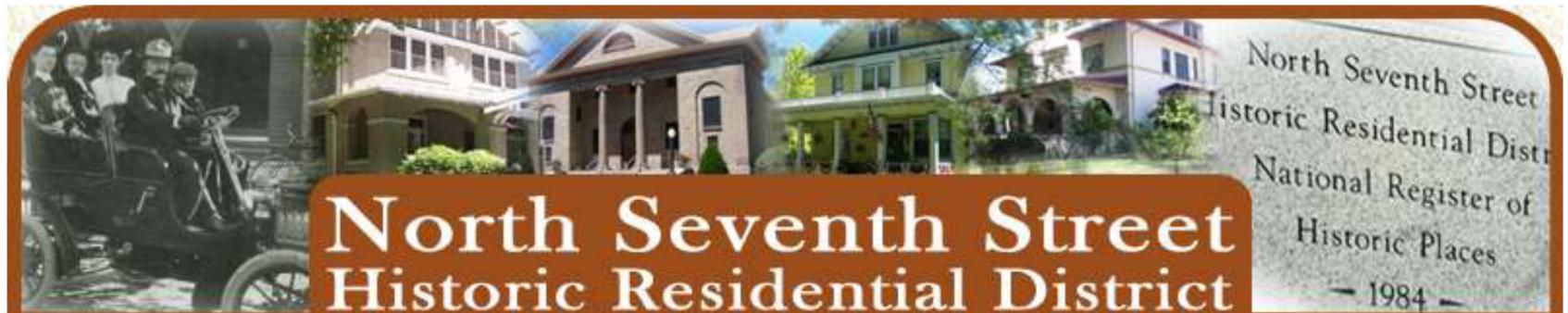


COMPREHENSIVE PLAN – FUTURE LAND USE MAP



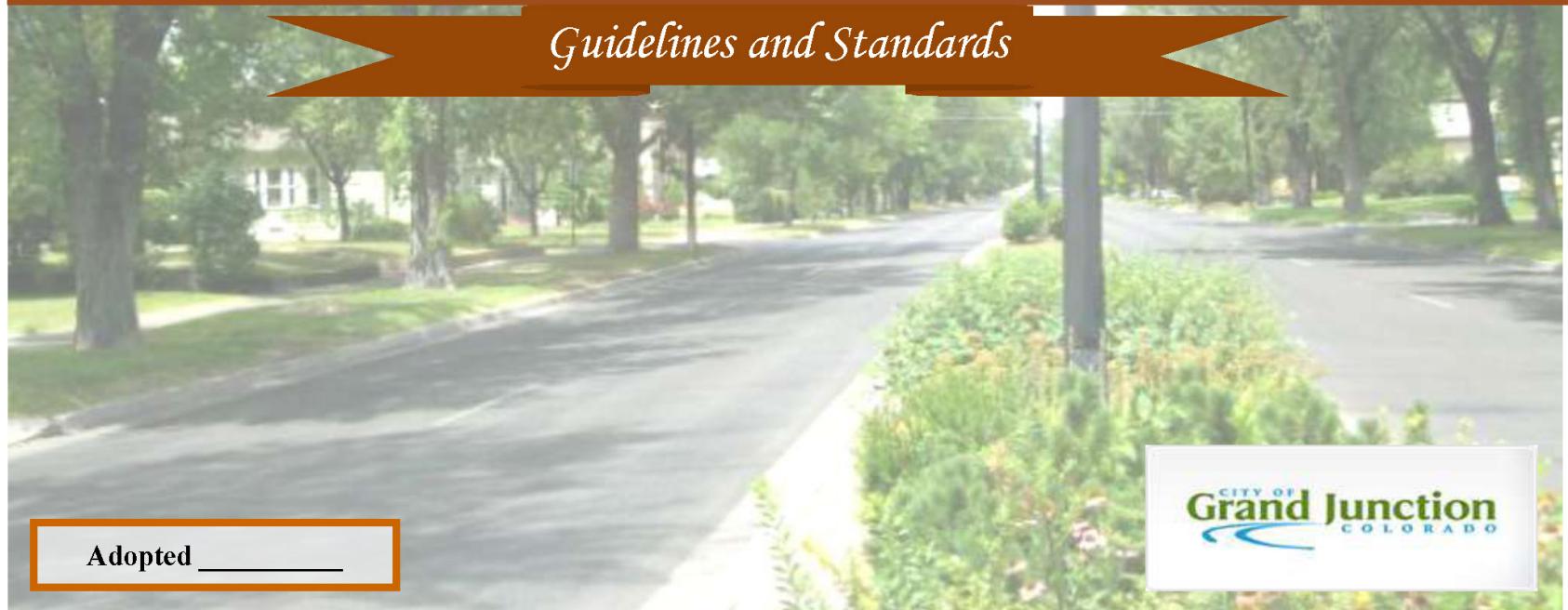
EXISTING ZONING MAP





North Seventh Street Historic Residential District

Guidelines and Standards



Acknowledgements

We would like to acknowledge the fine residents of the North Seventh Street Historic Residential District for all their input and dedication to a continued vision and belief in a prosperous and enduring Historic District. We would also like to thank all the residents who attended the neighborhood meetings and gave their input while this document was drafted.

These Guidelines and Standards were made possible because of the hard work, guidance, and vision of the residents and the support of City Staff.

First Edition: December 2011

Owner: City of Grand Junction, Colorado

SPECIAL APPRECIATION TO

Paul and Nicole Sizemore
Teddy and Kathy Jordan
Joe Hatfield
Bennett Boechenstein
Peter Robinson

City of Grand Junction Historic Preservation Board
City of Grand Junction Public Works and Planning Department Staff

Special recognition to Teddy Jordan for his photography

Adopted

ACKNOWLEDGEMENTS

Page Number
i

TABLE OF CONTENTS

I. HISTORY (Page 1)	
II. PROJECT BACKGROUND (Page 2)	
III. HOW TO USE THIS DOCUMENT (Page 3)	
IV. LAND USE AND ZONING (Page 6)	
V. REVIEW PROCESS (Page 7)	
VI. DISTRICT WIDE GUIDELINES AND STANDARDS (Page 8)	
1. Minimum Bulk Requirements/Standard (Page 8)	
2. Vistas (Page 9)	
3. Landscaping in the Public Right-of-Way (Page 9)	
4. Residential Landscaping (Page 10)	
5. Landscaping for Nonresidential uses (Page 10)	
6. District Identification (Page 11)	
7. Building Identification (Page 11)	
8. Utility Systems (Page 12)	
9. Fencing (Page 13)	
10. Parking for Multifamily and Non-Residential Uses (Page 14)	
11. Individual Building Signage for Non-residential Uses (15)	
VII. CONTRIBUTING STRUCTURES, NON-CONTRIBUTING STRUCTURES AND NEW CONSTRUCTION (Pg. 16)	
1. General Guideline (Pg. 16)	
2. Building Proportions Mass and Form (Pg 17)	
3. Orientation and Lot Coverage (Pg. 19)	
4. Alignment, Rhythm, and Spacing (Pg. 20)	
VIII. CONTRIBUTING GUIDELINES AND STANDARDS	
1. Overall Guiding Principles (Pg. 30)	
IX. DEMOLITION OF ALL OR PART OF ALL STRUCTURES WITHIN THE NORTH SEVENTH STREET HISTORIC RESIDENTIAL DISTRICT	
1. Demolition of all or Part of all structures within the District (Pg. 31)	
IX. APPENDICES	
A. PROPERTY INVENTORY (Pg. 34)	
B. TERMS AND DEFINITIONS (Pg. 70)	
C. INCENTIVES FOR HISTORIC PRESERVATION IN GRAND JUNCTION (Pg. 75)	
D. FREQUENTLY ASKED QUESTION (Pg. 76)	
E. EXAMPLE OF CERTIFICATE OF APPROPRIATENESS (Pg. 77)	
F. AUTHENTIC PLANTS FOR LATE 19th-EARLY 20th CENTURY PERIOD LANDSCAPING (Pg. 79)	

Adopted

TABLE OF CONTENTS

Page Number
ii

I. HISTORY

The North Seventh Street Historic Residential District is the heart of the original square mile for the City of Grand Junction. Seventh Street was intended to be a park-like residential area where prosperous residents, who were instrumental in the development of a young city out west, built their homes.

North Seventh Street was a two-lane street with parking for vehicles in the front of their homes. Some of the homes still have a walk across the grass to access Seventh Street.

It has always been the showcase for all the city. Seventh Street was the route chosen for President George H.W. Bush and his wife, Barbara, to travel from the airport to the courthouse for the Education 2000 tour in 1991.

In spite of the traffic now impacting the area, it remains a close-knit neighborhood where neighbors visit neighbors on their front porches. Daughters or sons still get married in the family home or have their wedding receptions there.

Over the years, however, some homes on North Seventh Street have fallen victim to "progress", sacrificing historic preservation to modern expediencies.

The Grand Junction Town Company officers did more than develop lots and provide street names. They had great expectations for Grand Junction. They set aside parks in each quarter of the town, and developed certain areas with hallmarks of beauty, elegance and exceptional quality. Main Street and Grand and Gunnison Avenues were wider than other streets, and the lots facing those streets were deeper than most residential lots. Seventh Street was a fine boulevard, with landscaping in the center, and it was the only street with lots facing east-west rather than north-south. In harmony with the town officials' plan the homes on Main, Grand, Gunnison and especially Seventh Street were larger and more stately.



In 1923, C.F. Martin and C.D. Smith petitioned the Grand Junction City Council to have electric street lights installed on the parkway in the middle of Seventh Street. The city agreed. These lights were removed in 1965.

As a Bicentennial project Kathy Jordan, a North Seventh Street resident, petitioned the Grand Junction City Council for help in having lights of the period re-installed in the parkway. Neighbors on Seventh Street and many business people in Grand Junction donated time, money and materials. In December of 1975, Kathy, along with city council members, flipped the switch to turn the lights back on.

In 1984 Kathy Jordan was instrumental in getting the area placed on the National Register of Historic Places with the U.S. Department of Interior. The goal was to preserve the vision that the founding fathers had for this neighborhood.

A cluster of the first homes on Seventh Street were constructed by members of the same family, starting with Cyrus "Doc" Shores. Shores built his home at 427 North Seventh Street in 1893.

Franklin I. Lee built his home at 402 North Seventh Street in 1903. His wife, Laura, was the daughter of M.M. (Marcus Morton) Shores, the brother of "Doc" Shores. Franklin's father, W.H. Lee built the house at 406 North Seventh Street in 1906.

418 North Seventh Street was also built by Franklin, I. Lee in 1904. 428 North Seventh Street was built by Allison "Roe" Monroe in 1900. His wife's sister was married to Doc Shores.

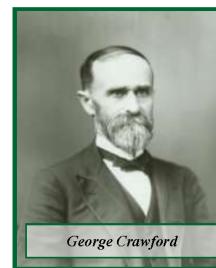
520 North Seventh was built by Mr. and Mrs. O.H. Ellison in 1924. Mrs. Ellison was the daughter of M.M. and Laura Shores.

The White House at 337 North Seventh Street, (the green house at the corner of Seventh and Grand) was built by W.F. White who owned the White Mercantile Co. at Fifth and Main. Claims have been made that this home was built for George Crawford; however, Mesa County records show that the house was built in 1893, two years after Crawford's death. Crawford's name is on record showing he owned the land, but his name is on most of the property deeds for the original square mile because he was the developer. George Crawford lived in the Hotel Brunswick, a hotel he built, or on his Rapid Creek Ranch when in Grand Junction. Crawford's niece, Josephine Rich, did build a home in the 500 block of North Seventh Street in 1892.

Eight homes were built from 1883 to 1899. Of those eight structures, only six remain.

The years 1900 to 1909 showed the largest growth on Seventh Street with eighteen homes constructed. Of those eighteen homes, sixteen remain. From 1910 to 1919 four homes and one church were built and they are all still standing.

From 1920 to 1970 six homes, one school, one duplex and one church were built. They are all still standing. Currently, there are 35 structures in the District.



Adopted

Section I
HISTORY

Page Number
1

II. PROJECT BACKGROUND

The City of Grand Junction's *Comprehensive Plan* (adopted February 17, 2010 - pp. 108 – 109) states:

Retaining our Heritage

Historic Buildings and Neighborhoods

Many communities have started to capitalize on their best assets such as historic buildings. Grand Junction has, like most cities, seen many of its' historic buildings replaced with new construction. Appropriate historic buildings should be preserved to the extent possible. Modifications and additions to historic buildings are acceptable if the alterations are constructed to compliment the original character. The neighborhood just north of the Downtown retains the original grid pattern of tree-lined streets and many older homes. To allow the Downtown to grow but not disturb the character of this neighborhood, the Plan recommends that increased density be allowed in this neighborhood through Accessory Dwelling Units.

Individual Neighborhood Character

The Community has expressed the desire to foster neighborhood identity. This can be accomplished through many elements and aspects such as parks, schools, signage, architecture and streetscape that becomes specific to that neighborhood. Many strategies to foster neighborhood identity, as well as specific land use issues and goals, are addressed in the various neighborhood and area plans adopted by the City and County. The Comprehensive Plan supports these individual neighborhood and area plans of the region. Several of the plans were incorporated into the 2009 Comprehensive Plan. However, others are out of date and need revision. During the revisions, these neighborhood and area plans are to adapt the Comprehensive Plan to each neighborhood at a finer, more detailed level. (Housing Variety Recommendations and Grand Valley Housing Strategy)

On February 17, 2010, a public hearing was held for the adoption of Ordinance 4403 to replace Ordinance 2211 that was adopted in 1984. At that meeting, the City Council requested that the City of Grand Junction Planning staff work with the neighborhood on specific historic preservation guidelines and standards for the North Seventh Street Historic Residential District.

The Grand Junction Historic Preservation Board has agreed to be responsible for preserving the historical value and character of the District's structures by reviewing and deciding development applications through use of these design guidelines and standards. The City Council will hear appeals.

If properly adopted, administered and adhered to, the North Seventh Street Historic Residential District Guidelines and Standards will result in appropriate improvements that achieve a common level of quality in terms of allowed land uses, site design, architectural design, landscaping and other site improvements.

The general purposes of the North Seventh Street Historic Residential District Guidelines and Standards are:

- ◆ To preserve and protect the single-family residential character of the District
- ◆ To preserve the historical and/or architectural value of buildings
- ◆ To create an aesthetic appearance of the properties and the streetscape within the District that complements the historic buildings
- ◆ To stabilize property values

The North Seventh Street Historic Residential District Guidelines and Standards are based upon an analysis of the existing character of the North Seventh Street Historic Residential District. The Guidelines and Standards were developed through a collaborative neighborhood-based process. Property owner surveys, public meetings, and guideline development exercises were coordinated by Seventh Street residents and this document is the final result of these efforts.

Adopted

Section II
PROJECT BACKGROUND

Page Number
2

III. HOW TO USE THIS DOCUMENT

Getting Started

If you are thinking about developing or redeveloping property in the North Seventh Street Historic Residential District, you should contact the City Planning Division. They can provide an overview of the planning process and answer any questions you may have.

The North Seventh Street Historic Residential District Guidelines and Standards will provide the site and building design vision that are appropriate for all property in the District. The intent of this Guidebook is to provide a template for development and redevelopment within the District. Each standard is drafted to provide a maximum degree of flexibility and creativity in design, while conforming to a consistent and well-planned vision for the District. The architecture of your project must be of a valid recognized style as described in this document. Site design, streetscape, landscape and other elements will be consistent with the architectural style of each property.

How this Book Relates to Other City Regulations

The North Seventh Street Historic Residential District Guidelines and Standards provides the ultimate vision and patterning for development and redevelopment of the District. It is to be used in conjunction with the City of Grand Junction Zoning and Development Code to guide development according to the principles of historic preservation. It includes specific materials, styles, orientation, and other design criteria which, when in conflict with another adopted standard, the more restrictive provision shall apply. Interpretation of the application of regulations, performance standards, criteria, definitions, procedures or any other provision of this guidebook shall be the responsibility of the City of Grand Junction Historic Preservation Board.

How to Determine the Guidelines and Standards that Apply to a Particular Property

Structures within the North Seventh Street Historic Residential District are divided into two categories: contributing and non-contributing structures. The following page (page 4) has a detailed definition of each term as well as a list of all the properties in the district and how they relate to these terms.

A contributing structure is a structure that already adheres to and/or complies with these Guidelines and Standards in their entirety at the time of adoption. The Guidelines and Standards that are applicable to contributing structures are found in Sections VI, VII and VIII and IX of this document.

A non-contributing structure is a structure that does not adhere to and/or comply with these Guidelines and Standards in their entirety at the time of adoption. The Guidelines and Standards that are applicable to non-contributing are found in Sections VI and VII and IX of this document.

Continued alteration of structures over time can lead to the District being re-evaluated for its designation status on the National Register of Historic Places by the National Trust of Historic Preservation and the Department of the Interior. If alterations to the exterior of a structure have degraded its historic integrity, a structure may be determined to no longer be a contributing structure. If too many structures are altered, the District may lose its designation status due to no longer having enough contributing structures. Similarly, alterations that enhance a non-contributing structure may result in the structure becoming contributing. The intent of these guidelines and standards is to maintain and enhance the existing structures in order to maintain the designation status on the National Register of Historic Places.

Adopted	Section III HOW TO USE THIS DOCUMENT	Page Number 3
---------	---	------------------

A. CONTRIBUTING AND NON-CONTRIBUTING STRUCTURES

Properties within a historic district fall into one of two types of property: contributing and non-contributing.

A **contributing building, site, structure or object** adds to the historic architectural qualities, historic associations, or archeological values for which a property is significant because (a) it was present during the period of significance and possesses historic integrity reflecting its character at that time or is capable of yielding important information about the period, or (b) it individually meets the National Register eligibility criteria. For inventory purposes, "primary" shall be used synonymously with "contributing". This classification has been designated through a survey and a formal hearing process. Contributing structures were identified on North Seventh Street when the National Register Historic District was formed 1984.

A **non-contributing building, site, structure or object** is located within the historic district but does not meet the requirements (a) or (b) listed above.

CONTRIBUTING STRUCTURES	NON-CONTRIBUTING STRUCTURES
<p>327 North Seventh Street – Doc Shores House 337 North Seventh Street – White House 407 North Seventh Street – Bull House 433 North Seventh Street – Moore House 445 North Seventh Street – Martin House 505 North Seventh Street – Sampliner House 515 North Seventh Street – Sampliner House 535 North Seventh Street – First Church of Christ, Scientist 605 North Seventh Street – Brainerd House 611 North Seventh Street – Blackstone House 621 North Seventh Street – Honeymoon Cottage 625 North Seventh Street – Wilson House 639 North Seventh Street – Murr House 707 North Seventh Street – Wickensham House 727 North Seventh Street – Sinclair House 731 North Seventh Street – Lough House 739 North Seventh Street – Houskins House 750 North Seventh Street – Akers House 712 & 714 North Seventh Street – Home Loan Duplex 706 North Seventh Street – Pabor House / Pansy Cottage 640 North Seventh Street – Ferbrache House 620 North Seventh Street – Moyer House 604 North Seventh Street – Talbert House 536 North Seventh Street – Smith/Schmidt House 520 North Seventh Street – Ellison House 710 Ouray Avenue – Sickenberger House 440 North Seventh Street – Smith/Jordan House 428 North Seventh Street – Allison House 720 Grand Avenue – First Baptist Church 310 North Seventh Street – Lowell School</p>	<p>417 North Seventh Street – Waren House 522 North Seventh Street – Brunner House 626 North Seventh Street – Barkuloo 715 North Seventh Street – Day Care 726 North Seventh Street – Davis House</p>

Adopted

Section III
HOW TO USE THIS DOCUMENT

Page Number
4

These guidelines and standards supplement other development regulations such as the City *Zoning and Development Code*, which includes detailed criteria by zone district, planned development regulations, design and improvement standards, supplemental use regulations, sign regulations, and the City Transportation and Engineering Design Standards (TEDS). The guidelines and standards identify design alternatives and specific design criteria for the visual character and physical treatment of restoration within the North Seventh Street Historic Residential District.

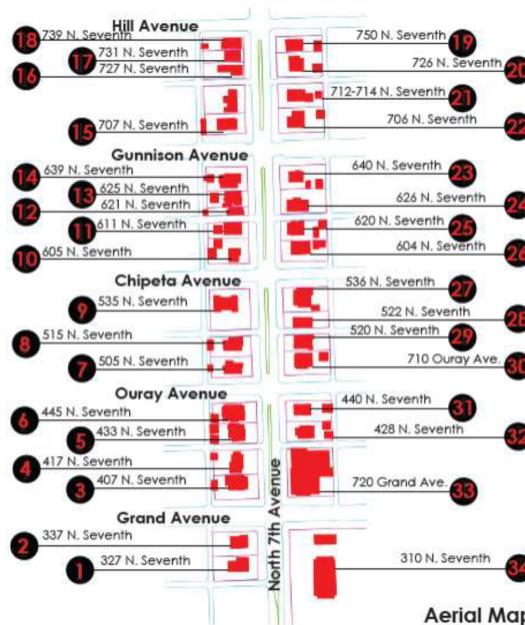
A complete inventory of all the properties and the site characteristics in the North Seventh Street Historic Residential District at the time this document was adopted (see bottom left-hand corner of this page) is included in Appendix A. This inventory is intended to serve as one resource to assist in the review of development applications. There may be additional historical information or archeological resources that should be taken into account when determining historical appropriateness.

North Seventh Street Historic Residential District



The North Seventh Street Historic Residential District is Grand Junction's only Nationally Registered historic neighborhood. On the next page is an aerial map of the district. A detailed inventory depicting the architectural styles of the thirty five (35) structures is included in Appendix A.

KEY
median bldg footprint
street/alley property line



Adopted

Section III
HOW TO USE THIS DOCUMENT

Page Number
5

IV. LAND USE AND ZONING

The zoning for the majority of the North Seventh Street Historic Residential District is Planned Development Residential, with a default Residential 8 (R-8) zone. These Guidelines and Standards do not affect allowable uses or zoning.

Included in the North Seventh Street Historic Residential District are three properties south of Grand Avenue: two converted houses on the west side of Seventh Street and the R-5 High School on the east. The houses are zoned Downtown Business (B-2) and the school is zoned Community Services and Recreation (CSR). For more information refer to the City of Grand Junction Zoning and Development Code.



Adopted

**Section IV
LAND USE AND ZONING**

**Page Number
6**

V. REVIEW PROCESS

A. All applications for alterations, new construction or site improvements within the North Seventh Historic Residential District shall be reviewed through the following process.



B. PRE-EXISTING NON-COMFORMING STRUCTURES - GRANDFATHERING

Structures and uses which exist at the time of the adoption of these regulations and which do not meet the requirements of these regulations at the time of adoption are considered legal and may continue indefinitely as long as they maintain their current size and scope as legally non-conforming uses and structures. Such non-conforming uses and structures may not be expanded or enlarged without meeting the requirements of the guidelines and standards.

C. GUIDELINES AND STANDARDS DEFINED

Guidelines are permissive statements intended to be used as recommendations by homeowners and boards in making decisions.

Standards are mandatory statements that are required and must be met.

Adopted

Section V
REVIEW PROCESS

Page Number
7

VI. DISTRICT WIDE DESIGN GUIDELINES AND STANDARDS

1. Minimum Bulk Requirements/Standards

Guideline

Consistent setbacks and placement of buildings on lots will maintain the cohesive character within each block and within the North Seventh Street Historic Residential District.

Standards

a) Setbacks for primary structures within the District shall be as follows:

Front Setback Seventh Street: 25
Front Setback Side Street: 10 feet
Side Setback: 5 feet
Rear Setback: 10 feet
Maximum Height: 35 feet



b) Setbacks for accessory structures within the District shall be as follows:

Front Setback Seventh Street: 30 feet
Front Setback Side Street: 10 feet
Side Setback: 3 feet
Rear Setback: 5 feet
Maximum Height: 35 feet



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
8

2. Vistas

Guideline

The unique buildings of the District are bordered by a mature, tree-lined street, which creates an extended horizontal view. These open views give the buildings visibility and provide safety. Through application of the North Seventh Street Historic Residential District Guidelines and Standards the City and all new development and redevelopment will maintain these vistas. One important way to accomplish this goal is to minimize visual clutter and distractions at street corners.

Standards

- a) Maintain the direct visual line of sight up and down the corridor and at the cross street corners by adhering to front setbacks.



3. Landscaping in the Public Right-of-Way

The North Seventh Street Historic Residential District's unique streetscape has historical significance in its own right. Through application of the North Seventh Street Historic Residential District Guidelines and Standards the City and residents will adhere to the standards of this section. New nonresidential uses shall also implement the mandatory standards of this section as a part of the required site landscaping.

Standards

- a) Maintain, and restore where missing, the historic spacing of street trees along the North Seventh Street Historic Residential District corridor. Street trees along North Seventh Street Historic Residential District provide full canopy coverage shade for residents and pedestrians. Street trees should remain intact, with new trees planted to fill in where they may be missing or as aging trees are replaced. Trees in the park strip shall be spaced 25 to 35 feet apart, depending on the tree species.
- b) Maintain and enhance the historic character of landscaping in the median and the park strip between the curb and sidewalk along North Seventh Street Historic Residential District. Materials should be primarily grass, street trees, flowers and low ornamental plants. Landscaping these areas with non- living material is prohibited.
- c) Park strips shall not be planted with dense, tall materials as they detract from the overall character of the streetscape and impede visibility and safety for pedestrians and vehicles.



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
9

4. Residential Landscaping

Guidelines

- a) Property owners should maintain and enhance historically appropriate landscaping in front yards and park strips.
- b) Materials should be primarily grass, flowers, trees and low ornamental plants. Refer to the overall district character inventory form in Appendix A and the historical plantings listed in Appendix F.
- c) A minimum of 40 percent of front yard areas (not counting planting beds) should be maintained as grass or other low, living green ground cover.
- d) Hedges and other landscaping materials should not impede the views of the primary buildings from North Seventh Street..

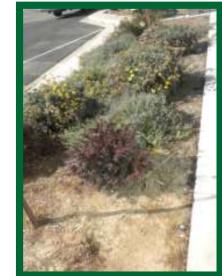


5. Landscaping for Non-Residential Uses

Guidelines

Applications for non-residential land uses within the District will comply with the City's landscape regulations. In addition, landscape choices should be sensitive to the unique context of the District's primarily residential character. All required landscape plans are to be signed with a seal by a registered landscape architect. Lots containing nonresidential uses should be landscaped, with appropriate foundation plants, shrubs, ground cover beds, hedges and fences to frame the architecture of buildings.

- a) Maintenance of all plantings, including watering, mowing, weeding, edging, fertilizing, pruning, insect control, removal and replacement of dead or damaged plant materials is encouraged for properties within the Historic District.
- b) The landscape should be covered by an automatic irrigation system.
- c) All lawn areas should be sodded. Planting drought tolerant turf varieties is encouraged.
- d) Ground cover beds should be mulched or graveled as necessary.



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
10

6. District Identification

Guideline

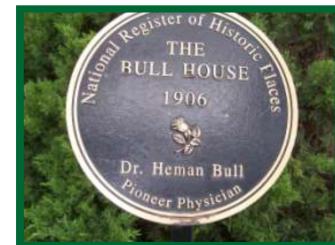
Identification of the boundaries of the District is an important means of enhancing its recognition as a historical and cultural resource to the community. The City should endeavor to replace historic street names in the sidewalk at all cross-street intersections within the District. Historic street name signs with a distinctive logo are encouraged to replace the standard street name signs. Signage indicating the northern and southern limits of the District should be maintained and enhanced as necessary.



7. Building Identification

Guideline

Through application of these Guidelines and Standards the City, in cooperation with the Seventh Street residents, should develop signage which is compatible with existing signage documenting the history of significant properties within the North Seventh Street Historic Residential District. This will provide downtown walking traffic the opportunity to learn about the unique historical background of significant residences within the North Seventh Street Historic Residential District.



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
11

8. Utility Systems

Guidelines

1. Energy and water system improvements serving a greater efficiency are encouraged, provided that they do not adversely impact the historic integrity of a building or the District, by being generally placed out of view from the North Seventh Street public right-of-way.
2. The more common utilities serving properties in the District are telephone and electrical lines, gas meters, air conditioners, evaporative coolers, and telecommunication systems. However, other systems are becoming more economically viable and accepted for use such as solar panel devices and rain water harvesting systems. Visual impacts associated with utility systems should be minimized.

Standards

1. Systems shall be designed to be unobtrusive and not in view of the North Seventh Street public-right-of-way.
2. Alternative roofing materials such as photovoltaic panels shall be located on the side and back elevations of the building.
3. Utility systems shall not be constructed into the front elevation of roof line of the building.
4. Satellite dishes shall not be placed in view of the North Seventh Street public right-of-way.



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
12

9. Fencing

Guideline

Fencing materials and styles should complement the character of the District. Fence styles, particularly in front yards, should be similar to those from the restoration era of the buildings on site. Modern or artificial materials, such as plastic and vinyl, are not appropriate fencing materials. In addition to the regulations for fences applicable to the R-8 zone, fences in the District shall adhere to the requirements of this section.

- a) Front yard fences should be a maximum height of 48 inches measured from the street side.
- b) Maximum opacity for front yard fences should be 60 percent.
- c) Side and rear yard fences should be a maximum of 6 feet high measured from the street side of the fence. They should be between 60 percent and 100 percent opaque. They may extend to and be placed on property lines.
- d) The transition between front yard fences and side and rear yard fence should occur five feet behind the front building setback line or three feet behind the front façade line, whichever is greater.
- e) Chain link, split rail and wire mesh fencing should not be used within the District.



Adopted

**Section VI
DESIGN GUIDELINES AND STANDARDS**

**Page Number
13**

10. Parking for Multifamily and Non-Residential Uses

Guideline

Parking for uses other than single family residences should be accommodated primarily on-site and to the rear of lots in order to maintain the residential character of the neighborhood. In addition to other parking standards of the Zoning and Development Code, the guidelines and standards of this section shall apply.

Standards

- a) Parking shall be placed to the rear of the lot in relation to Seventh Street.
- b) Parking adjacent to a side street shall be screened from view with a 42 inch tall fence and minimum 3 feet landscape buffer area with planting height no less than 42 inches tall.
- c) Parking adjacent to another lot shall be screened with a fence or a continuous hedge of at least 42 inches in height planted at a minimum 3 gal./30 inches on center or a six foot tall opaque fence.



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
14

11. Individual Building Signage for Non-Residential Uses

Guideline

The overall visual impression and ability for one to find his or her way can be significantly impacted by the collective image projected by local signs. It is the intent of this document to promote the concept that signage is subservient to architecture and should be understated. To prevent the confusion and clutter that can result from unrestricted signage, specific criteria has been developed. Signage in the District should be discreet and maintain the residential character of the neighborhood. Generally, signage should reflect styles and materials that are consistent with the restoration era.

Below are some examples of signage that would be consistent with architecture and style in an historic area.

Standards

Please refer to the City of Grand Junction Sign Code.



Inappropriate Signage



Adopted

Section VI
DESIGN GUIDELINES AND STANDARDS

Page Number
15

VII CONTRIBUTING STRUCTURES, NON-CONTRIBUTING STRUCTURES AND NEW CONSTRUCTION

1. General Guidelines

New construction in the North Seventh Street Historic Residential District is allowed, as long as the design, siting, and construction are congruous with the character of the District. It is preferable to design congruous contemporary structures rather than duplicate or mimic the design of historic buildings in the District. Siting is critical due to various lot configurations and in considering the overall appearance within the context of neighboring buildings set within the immediate block.

Important design considerations for new buildings include height, massing, scale, form, texture, lot coverage, setbacks, spacing of buildings, orientation, and alignment. Congruousness of proposed foundations, porches, landscaping, utility systems, and other site features are also important.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
16

2. Building Proportions, Mass and Form

Guideline

Maintaining a building's historical massing, scale and height gives the North Seventh Street Historic Residential District a unique appearance that helps preserve its historical character and reinforces the North Seventh Street Historic Residential District's architectural period and style.

The arrangement of building components or volumes into a whole structure constitutes its mass and scale. Typically, simple rectangular solid forms are appropriate. The building's overall massing and form shall honor its historical style. In the North Seventh Street Historic Residential District, the building forms have historically reflected a human scale.

Standards

- a) Buildings shall be similar in height and width to buildings on adjacent sites and block. Two alternatives to this standard are:
 - i) New buildings that are wider than the buildings on adjacent sites may be constructed by breaking the building mass or dividing the mass of the building width in appearance to conform to building widths on neighboring properties.
 - ii) A new building which is wider and higher than buildings on adjacent sites may be constructed if the new building is broken up into smaller segments that are more similar to adjacent buildings and if the height of the building at the street façade and at the sides facing adjacent sites is similar to the height of buildings on those sites. This is achieved by placing the taller masses away from the street and adjacent buildings to either side.
- b) Foundation height shall be similar in proportion and appearance to neighboring buildings.
- c) Buildings shall not be constructed which do not maintain or blend with the heights of buildings on adjacent sites.
- d) Buildings shall not be constructed which do not maintain or suggest the widths of buildings on adjacent sites.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
17

Standards Continued

- e) New buildings shall reinforce a pedestrian-friendly character from the front elevation by maintaining the similarity of building, roof form, and front porches traditionally found on the block when appropriate.
- f) New buildings shall use massing and form similar to neighboring buildings. Design shall convey a human scale through the use of traditional mass, sizes, materials, and window openings.
- g) New construction shall incorporate design elements such as roof forms, lines, openings, and other characteristics commonly found in the district.
- h) New construction may have a building form which is unique in the district but relates to the neighboring buildings and to the neighborhood through its overall massing.
- i) New construction shall not use massing and building forms which are foreign to the historic district as determined by the Historic Preservation Board.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
18

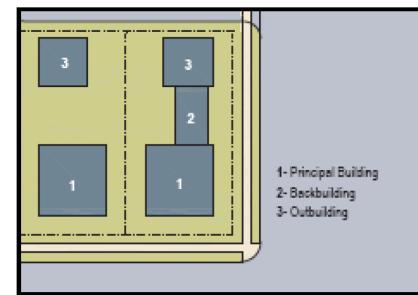
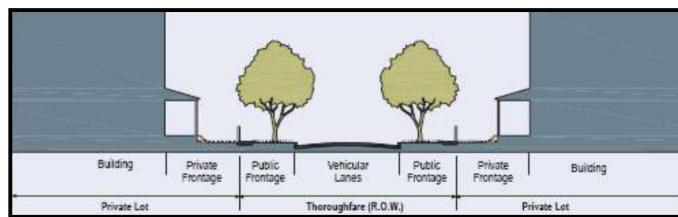
3. Orientation and Lot Coverage

Guidelines

New buildings should be oriented parallel to the street and provide visual continuity with proportional lot coverage similar to other buildings on the same block. The principal façades of new buildings within the district should be oriented to the street. Main entryways should be located along these principal façades. This is a consistent pattern throughout the District which should be preserved to maintain the prevailing visual continuity. When this pattern of primary façades and entryways is moved from the street side of the building, the activity along the street is lost and the character of the District changes. General proportions of buildings-to-lot areas should remain consistent with their historic appearance. Lot coverage should be similar in proportion to the lot coverage of neighboring lots. Side and rear setbacks will be governed by zoning and will limit the minimum spacing between buildings; however, the overall proportions of building-to-lot area should remain consistent from lot to lot along the block.

Standards

- a) Accessory dwelling units, accessory buildings, and garages shall be subordinate to the primary residential building on the site by placing the structure to the rear of the lot.
- b) Primary façades of a new building shall be oriented parallel to the street.
- c) Primary entrances shall be provided on the street façade.
- d) The primary entrance shall be enhanced through the use of steps, functional porches, stoops, porticos or other design features appropriate to the architectural style of the building.
- e) New construction shall maintain proportional lot coverage as found on the neighboring properties of the same block.
- f) Garages shall not be constructed as part of the primary building. Garages shall be accessed from the alley.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
19

4. Alignment, Rhythm, and Spacing

Guidelines

Proportions of the façades and the spacing of the buildings should be consistent along the street of the District. Along a block, the uniformity of the proportions of the façades and the spacing of the buildings must be considered in new construction to achieve harmony along the streetscape. Spacing between buildings should be consistent along the street in order to maintain the rhythm that is traditionally prevalent on the street in the District. Houses built up until the mid-1930s tend to have substantial front porches and often rear or side porches as well. Porches, projecting bays, balconies, and other façade elements are encouraged and should be aligned with those of existing buildings along the street. This alignment creates harmony and maintains the rhythm of façade proportions along the block length. Front widths of new buildings should correspond with existing building widths; however, a wider façade can be broken into separate elements that suggest front widths similar to those of neighboring buildings. Where lots are combined to create a larger development, the building-to-lot proportions should visually suggest a relationship with adjacent buildings by breaking large building masses into smaller elements. Where a building site is comprised of multiple lots, the new building should be clearly of similar proportion to other buildings on the same block.

Standards

- a) New building façades shall align with the façades of existing buildings on adjacent sites.
- b) New buildings shall be constructed with similar spacing relative to other buildings along that street.
- c) Buildings shall not contain a primary entrance that is simply a door and provides little or no transition from outside to inside.
- d) Primary entrances shall not be at-grade as virtually all existing homes with historic significance provide a "stepping up" to the front entrance.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
20

5. Exterior Materials

Guidelines

Use similar building materials as those found within the District. Prevalent styles found within the District use a variety of common building materials. Clapboard or shiplap wood siding (two to six inches wide), brick, stucco and sandstone are dominant exterior materials. Sandstone blocks are generally relied upon for foundations. Stucco, rusticated concrete block and stone were sometimes used solely as wall materials or for ornamentations. In new construction, the use of the historic building materials is favored. Several common materials to choose from include wood siding, composite wood-resin and fiber cement siding among others. As historic homes age, exterior materials inevitably need replacement, repair or restoration. Whether scientific advancement has deemed a certain material unsafe or a material is simply worn, it is important to replace these materials in a manner that reflects the building's historical style in order to preserve the North Seventh Street Historic Residential District's overall character.

- a) Exterior surfaces should be replaced with historically accurate materials.
- b) If it is not possible to replace materials with like materials, exterior wall surfaces, foundation, roofing, trim, gutters, downspouts, exterior lighting and other unique detailing may be replaced with modern materials with an appearance similar to original materials.
- c) Hazardous materials that do not pose a threat may remain a part of the structure.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
21

Exterior Materials Continued

Standards (Applies to contributing structures only)

- a) Exterior wall materials shall be those that are commonly present in the District.
- b) The predominant texture of the new building shall be consistent with the texture of historic materials in the District.
- c) Allowable siding materials for new construction include, but are not limited to, wood, painted composite wood-resin or fiber cement siding.
- d) Prefabricated or metal buildings are prohibited.
- e) New vinyl and aluminum exterior siding materials are prohibited, except as replacement material on non-contributing structures.
- f) Exterior Insulation and Finish System (E.I.F.S.) or similar are prohibited.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
22

6. Porches, Stairs, Entries and Doors

Guidelines

1. Front porches are common in the District and are strongly encouraged on new principal structures.
2. A key characteristic of many of the buildings in the North Seventh Street Historic Residential District is the pattern and prominence of the raised, first floor front porches, regardless of the architectural style or period. This important element of the streetscape and its components of construction should be maintained.
3. The buildings in the North Seventh Street Historic Residential District were designed to face North Seventh Street. This is Grand Junction's only downtown residential example where entire blocks of houses face a north-south street. This detail is a defining characteristic for most of the North Seventh Street Historic Residential District and should be maintained. Modification of the size and/or location of the doorway change the overall style of a building's façade.

Standards (Applies to contributing structures only)

1. Front porches shall be maintained as integral parts of the overall building character and style.
2. The ground plane of any new entry platform or stairs shall stand no higher than one-half a story from the base of the structure.
3. An open porch shall be enclosed with screening providing the original lines of the porch roof, eaves and supports are preserved. Enclosure of any porch with a material other than screening is prohibited.
4. Buildings entrances shall be maintained in their historical location.
5. Doorway materials and design shall be consistent with the architectural style of the building.
6. Door cases shall be designed with depth and visual relief.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
23

Standards Continued

7. Doors shall be of overall proportions similar to those used on buildings on adjacent sites.
8. Screen doors that are simple in design and blend with the design of the inner door and the house shall be used.
9. Aluminum doors with mill, brush or polished finish or metal louvered doors shall not be used.



7. Accessibility and Fire Escapes

Guidelines

- a) The materials and design of ADA accessible ramps should be compatible with the architectural style of the building. The ramp must provide a non-skid surface and have no greater than a 1 to 12 slope.
- b) The addition of a fire access should reflect design elements of the building.
- c) For uses that are subject to the Americans with Disabilities Act, all ADA requirements will be honored.



Adopted

**Section VII
DESIGN GUIDELINES AND STANDARDS**

**Page Number
24**

8. Windows and Façade Treatments

A. General Guidelines

1. Maintain similar solid-to-void ratios of a new building to those of buildings on adjacent sites within the block with overall proportions of windows, doors, and front façades. The front façades of buildings within the District vary in style and detail; however, certain proportional relationships exist among buildings in the immediate setting. The importance of the relationship between the width and height of the front elevation of buildings on the block has already been discussed. Beyond that, the proportion of openings on the street-side façade, or more specifically, the relationship of width to height of windows and doors and their placement along the façade should reflect the same relationships along the street.
2. Driving or walking down Seventh Street, a pattern of window and door openings becomes evident along the block. This rhythm of solids to voids, walls to windows, and juxtaposition of stronger and less dominant elements should be reflected in the façade of a new building. Windows give scale to buildings and visual attention to the composition of individual façades. Many historic building styles have distinctive window designs. Historic windows are generally inset into relatively deep openings or surrounded by casings and sash components that cast shadows and provide depth and relief. Windows in new construction should have similar characteristics.
3. Windows are an important design element as they are able to establish the scale and character of the building. Windows and window patterns in new construction should be of similar proportion and size to the windows of the other buildings within the neighborhood. For the majority of neighborhoods developed prior to the 1940s, the rule of thumb for windows is generally vertical, double-hung or casement and wood-framed. When placed in pairs or in groups of three, as many Craftsman houses, these create a horizontal impression. Historic architecture styles display a thoughtful use of natural lighting, often with numerous and well placed arrangement of windows. Doors are also important character-defining features of buildings throughout the District. Original doors on houses from historic styles are generally divided into wood panels and glass. Many doors also have glass side lights and transoms. New doors should reflect these patterns.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
25

Guidelines Continued

4. New buildings should have double or single-hung sash windows and provide windows of overall proportions similar to those used on buildings on surrounding sites within the block.
5. New buildings should have a ratio of wall-to-window or solid-to-void that is similar to that found on other historic buildings within the block and found throughout the District. They should provide a pattern of windows and doors on the facade which recalls similar patterns on facades of other buildings in the District.
6. Window cases should be designed with depth and visual relief.
7. It is appropriate to use wood or similar looking materials such as aluminum clad or vinyl windows that provide depth and texture similar to appearance to historic wood windows on the primary façade. Other window materials may be considered on the secondary elevations of the new building.
8. It is appropriate to use removable storm windows that blend the texturing and match sash styles so they do not appear obtrusive or out of place.
9. Multiple windows styles should not be used throughout a new buildings.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
26

9. Roof Forms and Materials

Guidelines

Use similar roof forms, slope ratios and materials drawn from historic structures in the District. Roofs are major features of most historic buildings and when repeated along a street contribute toward a visual continuity. The architectural character of older buildings is generally expressed in roof forms and materials.. Roofs in the North Seventh Street Historic Residential District are simple in form with gabled, hipped or occasionally a combination of the two. Roofs purposely extend beyond the building walls to protect the window and door openings and provide shade. These eaves are sometimes enclosed with wood soffits (the underside of a roof overhang) which are vented. Various materials are used for the roofs of buildings throughout the District, but shingles of varying materials predominate. Some of the more common materials are wood shingle, clay tile, composition material such as asphalt or asbestos shingles, tin and slate. The design of roofs for new buildings should be congruous to the size, shape, slope, color and texture of other roofs on the block.

- a) The roof on a new building should relate to the overall size, shape, slope, color, and texture of roofs on adjacent sites or in other areas of the District. Special consideration shall be given to front-facing façades.
- b) Gable and hipped roofs should be used as primary roof forms that may protrude beyond the plane of the building walls.
- c) The majority of the roof should be of a pitch of 6:12 or greater. Shed roofs may be appropriate for some porch additions.
- d) Roofs should include eaves and decorative elements such as corner boards and brackets shall be used under the eaves to provide depth and relief.
- e) The visual impact of skylights and other rooftop devices visible to the public should be minimized; these should be located toward the rear of a house.

Standards (Applies to contributing properties only)

- a) Materials on a new roof or replacement roof should be similar to materials found on roofs in the District.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
27

10. Trim and Details

Guidelines

- a) Exterior trim details on new construction should provide a visual link between the old and new buildings. New construction should not necessarily copy every detail of a style or period of architecture found in the District; rather new construction should be congruous. Using similar forms such as those found in windows, doors, parapets, rooflines, and other façade elements without replicating them can help establish continuity and compatibility within the block and the District. The trim and details of new buildings offers a way to link to the past while still acknowledging a clear differentiation in the present. New details and trim should be well integrated into the design and used to accomplish functional as well as decorative purposes, such as: to express a change of plane; to finish what would otherwise be a ragged edge; to act as a transition between different materials; or even the simple function of shedding water. Detail should be functional with a high level of craftsmanship, rather than simply applied decoration.
- b) Whenever possible, windowsills, moldings, and eave lines should be aligned with similar elements on adjacent buildings within the block.
- c) It is not appropriate to use architectural details in ornamentation that confuse the history or style of a building. For example, do not use Victorian details on minimal traditional homes.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
28

11. Additions

Guidelines

The landmark structures along North Seventh Street historically define the North Seventh Street Historic Residential District. Each landmark structure should be maintained and each building's historical form should not be altered in order to preserve the character of the North Seventh Street Historic Residential District.

- a) Additions should not exceed 35 percent of the gross square footage of the principal structure and not be visually prominent from North Seventh Street. The appearance of additions should be subordinate to the principal structure and should not alter the original proportions of the front façade.
- b) Additions should not alter the historical alignment of structures in relation to North Seventh Street.
- c) The setback of the addition should preserve the historic eave or roof line of the original structure.
- d) The height of the addition should not exceed the overall height (roof peak) of the original structure.
- e) The materials used for additions should be similar to materials used in the original construction.



Adopted

Section VII
DESIGN GUIDELINES AND STANDARDS

Page Number
29

VIII. CONTRIBUTING STRUCTURES GUIDELINES AND STANDARDS

1. Overall Guiding Principles

Building permits for alteration of contributing structures shall be reviewed according to the process described in Section V of this document. Exterior modifications that do not require a building permit shall obtain a certificate of appropriateness from the Public Works and Planning Department. All modifications that will affect the historical integrity of the structure shall consider the Secretary of the Interior's Standards for the Rehabilitation of Historic Structures. The Secretary of the Interior's Standards should be applied to individual rehabilitation projects taking into consideration technological and economic feasibility, and should be considered as general guidance to supplement the specific guidelines and standards of this section. It should be noted that some of the specific guidelines and standards of this document are less restrictive than the general guidance of the Secretary of the Interior's Standards.

Secretary of the Interior's Standards for Rehabilitation of Historic Structures

- a) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- b) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- c) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- d) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- e) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- f) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- g) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- h) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- j) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Adopted

Section VIII
DESIGN GUIDELINES AND STANDARDS

Page Number
30

IX Demolition of all or part of all structures within the North Seventh Street Historic Residential District

a Review Criteria

Any applicant/owner requesting demolition of part or all of a structure within the North Seventh Street Historic Residential District shall demonstrate that the demolition is warranted. Approval of a Certificate of Appropriateness for the demolition may only be issued upon consideration by the City Council of the following:

1. Whether the applicant has made a good-faith effort to pursue reasonable, cost effective alternatives to demolition.
2. Whether the loss of part or all of the subject property would be detrimental to the quality and continuity of the site, District or surrounding neighborhood.
3. Whether denial of the application would result in an undue economic hardship for the owner/applicant. Based on a thorough analysis of the financial, economic, and engineering information described below, the City Council may determine that there is an undue economic hardship if the following criteria are met:
 - i) No economically viable use consistent with zoning of the property will exist unless the demolition is approved. (Note: inability to put the property to its most profitable use does not constitute an undue economic hardship)
 - ii) The hardship is peculiar to the building or property in question and must not be in common with other properties.
 - iii) The hardship is not self-imposed, caused by action or inaction of the owner, applicant or some other agent.
 - iv) The applicant/owner has attempted and exhausted all reasonable alternatives which would eliminate the hardship, such as offering the property for sale.



Photo from *The Valley of Nature's Richest Favors*, furnished by Ted Jordan
402 N. Seventh St., Lee home

Adopted

**Section IX
DESIGN GUIDELINES AND STANDARDS**

**Page Number
31**

b. Submittal Requirements

The applicant/owner for demolition of part or all of a structure shall provide information including but not limited to the following items in order for the City Council to evaluate the application:

- a. An estimate of the cost of the proposed demolition or removal and an estimate of any additional cost that would be incurred to comply with recommendations of the Historic Preservation Board.
- b. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure and its suitability for economic rehabilitation
- c. Estimated current market value of the property by a licensed real estate appraiser of the property both in its current condition and after completion of the proposed demolition or removal and all appraisals obtained within the previous two years by the applicant or owner in connection with the purchase, financing or ownership of the property.
- d. An estimate of the cost of restoration costs prepared by an architect, developer, real estate consultant, appraiser or other real estate professional experienced in rehabilitation or reuse of like structures in the District.
- e. Amount paid for the property, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased and any terms of financing between the seller and buyer.
- f. If the property is income-producing, the annual gross income from the property for the previous two years; and the depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
- g. Remaining balance on the mortgage or other financing secured by the property owner and annual debt service, if any, for the previous two years.
- h. All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing or ownership of the property.
- i. Any listing of the property for sale or rent, price asked and offers received, if any, within the previous two years.
- i. Assessed value of the property according to the two most recent Mesa County assessments.
- j. Real estate taxes for the previous two years.
- k. Form of ownership or operation of the property, whether sole proprietorship, for-profit or non-profit corporation, limited partnership, joint venture, etc.
- l. Current photographs of the building and land from the front street showing as much of the land and building as possible.
- m. Current photographs of all exterior elevations from rooftop to ground.
- n. Current photographs of all interior rooms.
- o. A narrative summary of all special architectural features and details and materials used throughout the interior and exterior of the structure.

Adopted

**Section IX
DESIGN GUIDELINES AND STANDARDS**

**Page Number
32**

c. Procedure

- a) Upon submittal of the application for a Certificate of Appropriateness for demolition to the City, the Public Works and Planning Department shall review all the documentation submitted for completeness. The Department staff shall prepare a report with findings. The Historic Preservation Board will then review the report and make a recommendation to City Council.
- b) The application, with the findings and recommendations of the Department and the Historic Preservation Board, shall be presented to the City Council in accordance with the administrative procedures and notice requirements. The City Council will have ninety calendar days to consider and render its decision. If approved, the Public Works and Planning Department shall issue a Certificate of Appropriateness in order for the applicant/owner to obtain a Building Permit for the demolition.
- c) If the City Council finds that all reasonable possibilities for saving a part or all of the structure have been exhausted and approves the demolition, all salvageable building materials shall be collected and then the waste should be removed as provided by the permit and asbestos or other hazardous material disposal procedures. The site shall then be planted and maintained until a new use goes into effect.

d. Penalty

If the applicant/owner of a structure within the North Seventh Street Historic Residential District abates or demolishes part or all of a building without first obtaining the Certificate of Appropriateness by following the procedures detailed herein, the applicant/owner shall pay a fine of \$250.000 per square foot of the affected area.



Adopted

Section IX
DESIGN GUIDELINES AND STANDARDS

Page Number
33

PROPERTY INVENTORY

District Character Inventory

1 The District is within a grid street pattern forming rectangular blocks, bisected by east-west and north-south alleys.

2 Visual cohesiveness is created by the natural setting which includes a strong pattern of evenly-spaced street trees, an abundance of mature vegetation and a center, landscaped median on North Seventh Street.

3 Within blocks, the lots are approximately the same size and structures are placed on lots in a similar manner. Uniform side and front yard setbacks give the street visual unity.

4 Buildings are of compatible size and scale, with the majority of buildings in the District having 1-1/2 to 2-1/2 stories.

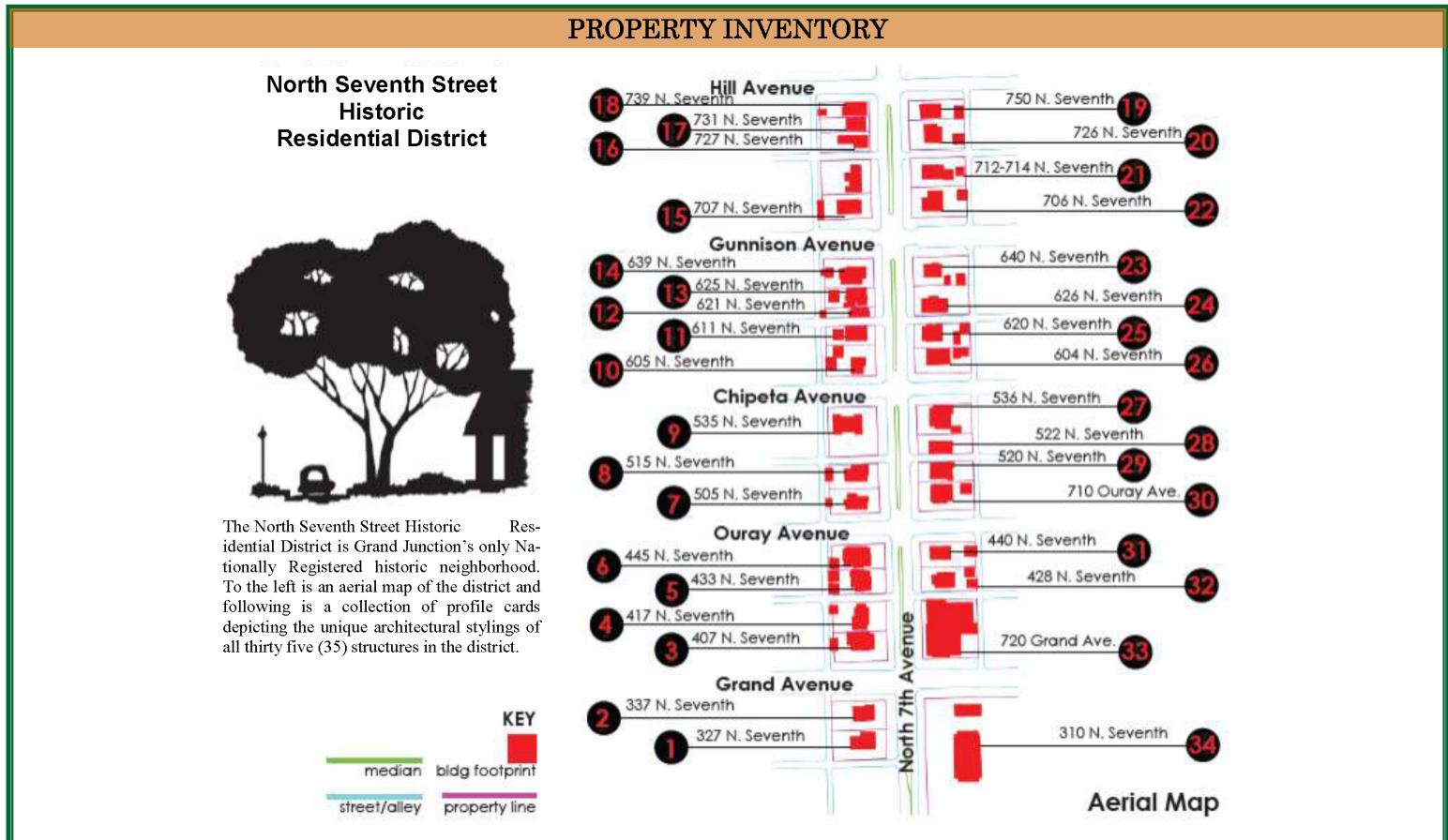
5 Although varied in architectural style, almost every building has a porch. Altogether, the porches for a uniform horizontal line on the streetscape.

6 The buildings have prominent triangular roof forms that are primarily oriented with the ridgeline perpendicular to North Seventh Street.

7 Siding and trim materials create strong horizontal patterns.

8 Unique details highlight the District's character including some yards set off by wrought iron, picket or brick-pilaster fencing and a variety of architectural ornamentation.

Adopted	SECTION X APPENDICES - APPENDIX A	Page Number 34
----------------	--	---------------------------------



Adopted

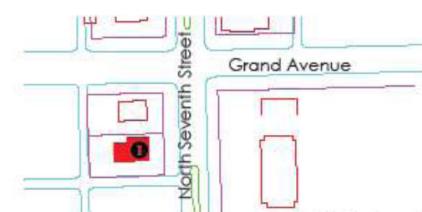
SECTION X
APPENDICES - APPENDIX A

Page Number
35

PROPERTY INVENTORY

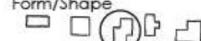
1. Doc Shores House





Building Location

Form/Shape



Foundation



Entryway



Style: Italianate

Bulk



Height



Platforms: side porch

Entryway



Additions/Alterations: yes

Accessory Structures: none

Roof Shape/ Materials



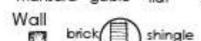
Roof Shape/ Materials



Fencing/Walls: none

Landscaping: minimal

Wall



Signage: stand alone

Unique/Distinguishing Elements: unique columns and trim

Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

Page Number
36

PROPERTY INVENTORY

2. White House



Building Location



Address: 337 North Seventh Street
Zone District: B-2, downtown business
Principal Use: office space
Original Owner: W. F. White
Date of Construction: 1893

Style: Colonial Revival, Tudor Revival, Queen Ann
Platforms: small covered entrance
Additions/Alterations: yes
Accessory Structures: none
Fencing/Walls: none
Landscaping: minimal
Signage: stand alone
Unique/Distinguishing Elements: unique columns and windows
Is Property a Focal Point or Orientation Landmark? yes

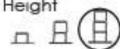
Form/Shape



Bulk



Height



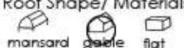
Foundation



Entryway



Roof Shape/ Materials



Wall



North Seventh Street Historic Residential District



Adopted	Section X APPENDICES - APPENDIX A	Page Number 37
----------------	--	---------------------------------

PROPERTY INVENTORY

3. Heman Bull House



Form/Shape



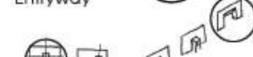
Foundation



Bulk



Entryway

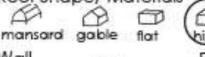


Height





Roof Shape/ Materials





Wall









Building Location

Address: 407 North Seventh Street
 Zone District: Planned Residential Development
 Principal Use: residence
 Original Owner: Dr. Herman Bull
 Date of Construction: 1906

Style: Spanish
Platforms: glassed front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: stone
Landscaping: Colorado
Signage: 1 stand alone
Unique/Distinguishing Elements: decorative arched parapets, arch motif
Is Property a Focal Point or Orientation Landmark? yes





Adopted

Section X
 APPENDICES - APPENDIX A

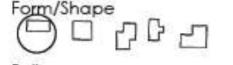
Page Number
 38

PROPERTY INVENTORY

4. Waren House



Form/Shape



Foundation



Bulk



Entryway



Height



Roof Shape/ Materials



Wall







Building Location

Address: 417 North Seventh Street
 Zone District: Planned Residential Development
 Principal Use: residence
 Original Owner: Dr. George and Nettie Warner
 Date of Construction: 1902

Style: Eclectic
Platforms: back balcony
Additions/Alterations: yes
Accessory Structures: garage
Fencing/Walls: wood and metal
Landscaping: flowering
Signage: none
Unique/Distinguishing Elements: double chimney, flowering landscape
Is Property a Focal Point or Orientation Landmark? no



North Seventh Street Historic Residential District

Adopted

Section X APPENDICES - APPENDIX A
--

Page Number 39

PROPERTY INVENTORY

5. Moore House



Form/Shape



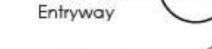
Foundation



Bulk



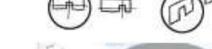
Entryway



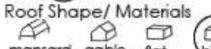
Height



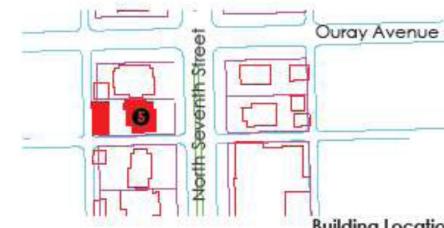
Roof Shape/ Materials



Wall







Address: 433 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residence
Original Owner: John F. "Pony" and Irene Moore
Date of Construction: 1910

Style: Eclectic
Platforms: none
Additions/Alterations: no
Accessory Structures: two garages
Fencing/Walls: brick, wrought iron
Landscaping: Colorado
Signage: none
Unique/Distinguishing Elements: hipped roof dormers, palladian windows, bracketed gutters, ornamentation
Is Property a Focal Point or Orientation Landmark? yes

North Seventh Street Historic Residential District

Adopted

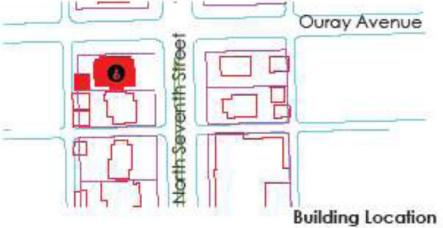
Section X
APPENDICES - APPENDIX A

Page Number
40

PROPERTY INVENTORY

6. Martin House





Building Location

Form/Shape



Foundation



Bulk



Entryway



Height



Fencing/Walls



Roof Shape/ Materials



Landscaping



Wall



Signage



Unique/Distinguishing Elements



Is Property a Focal Point or Orientation



Landmark?







North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

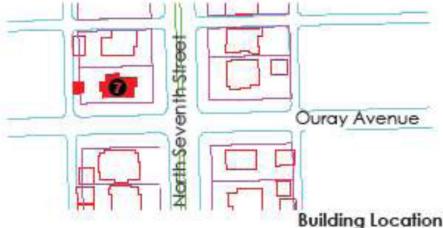
Page Number
41

PROPERTY INVENTORY

7. Sampliner House

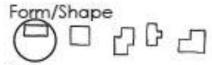


Building Location



Address: 505 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residence
Original Owner: Joseph M. Sampliner
Date of Construction: 1895

Style: Queen Anne, Tudor Revival
Platforms: none
Additions/Alterations: yes
Accessory Structures: garage
Fencing/Walls: wood
Landscaping: flowering
Signage: none
Unique/Distinguishing Elements: striped shingle siding
Is Property a Focal Point or Orientation Landmark? no

Form/Shape


Bulk


Height


Foundation


Entryway


Roof Shape/ Materials


Wall




North Seventh Street Historic Residential District

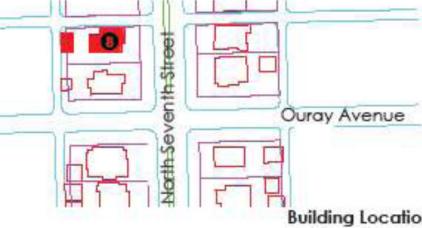
Adopted	Section X APPENDICES - APPENDIX A	Page Number 42
----------------	--	---------------------------------

PROPERTY INVENTORY

8. Sampliner House



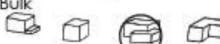
Building Location



Address: 515 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residence
Original Owner: Albert "Bert" Sampliner
Date of Construction: 1895

Style: Queen Anne
Platforms: enclosed front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: stone, wood
Landscaping: screened, flowering
Signage: none
Unique/Distinguishing Elements: sunburst moulding, stained glass window
Is Property a Focal Point or Orientation Landmark? yes

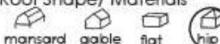
Form/Shape


Bulk


Height


Foundation


Entryway


Roof Shape/ Materials


Wall



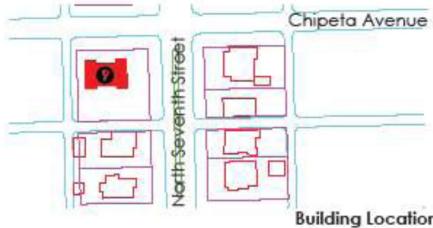

North Seventh Street Historic Residential District

Adopted	Section X APPENDICES - APPENDIX A	Page Number 43
----------------	--	---------------------------------

PROPERTY INVENTORY

9. First Church of Christ, Scientist

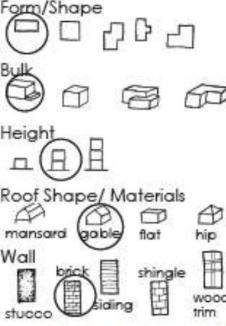


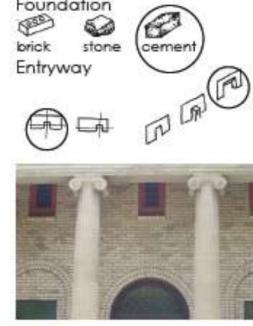


Building Location

Address: 535 North Seventh Street
Zone District: Planned Residential Development
Principal Use: church
Original Owner: First Church of Christ, Scientist
Date of Construction: 1929

Style: Romanesque, Colonial Revival
Platforms: none
Additions/Alterations: no
Accessory Structures: none
Fencing/Walls: chain link
Landscaping: Colorado
Signage: stand alone
Unique/Distinguishing Elements: rounded arch, symmetry
Is Property a Focal Point or Orientation Landmark? yes











North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
44

PROPERTY INVENTORY

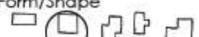
10. Brainerd House





Building Location

Form/Shape



Foundation



Bulk



Entryway

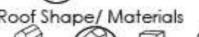


Height





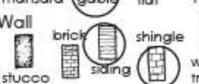
Roof Shape/ Materials



Fencing/Walls



Wall



Landscaping



Signage



Unique/Distinguishing Elements



Is Property a Focal Point or Orientation

Landmark?





North Seventh Street Historic Residential District

Adopted

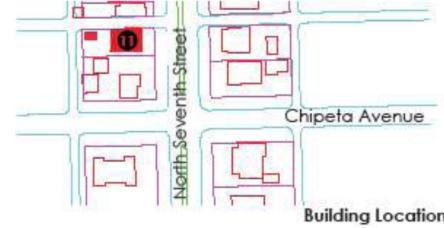
Section X
APPENDICES - APPENDIX A

Page Number
45

PROPERTY INVENTORY

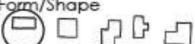
11. Blackstone House





Building Location

Form/Shape



Foundation



Entryway



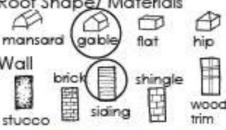
Bulk



Height



Roof Shape/ Materials



Wall







North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

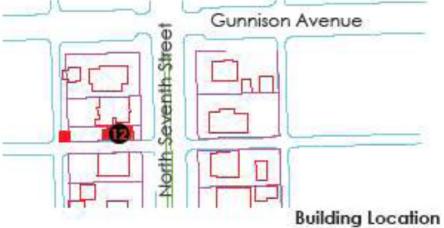
Page Number
46

PROPERTY INVENTORY

12. Honeymoon Cottage

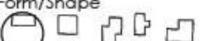


Building Location



Address: 621 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Albert A. Miller
Date of Construction: 1904

Style: Arts and Crafts Bungalow
Platforms: glassed front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: wood
Landscaping: deciduous
Signage: none
Is Property a Focal Point or Orientation Landmark? no

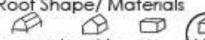
Form/Shape


Bulk


Height


Foundation


Entryway


Roof Shape/ Materials


mansard, gable, flat, hip

Wall


stucco, brick, siding, shingle, wood trim



North Seventh Street Historic Residential District

Adopted	Section X APPENDICES - APPENDIX A	Page Number 47
----------------	--	---------------------------------

PROPERTY INVENTORY

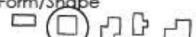
13. Wilson House





Building Location

Form/Shape



Foundation



brick stone cement

Bulk



Entryway



Height





Roof Shape/ Materials



mansard gable flat hip

Wall



stucco brick siding shingle wood trim





North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
48

PROPERTY INVENTORY

14. Murr House

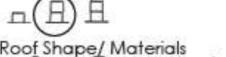


Form/Shape

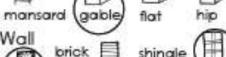

Foundation


Bulk


Entryway


Height




Roof Shape/ Materials




Wall






Building Location

Address: 639 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: William and Hatti G. Murr
Date of Construction: 1926 by Winterburn and Lumsden

Style: Bungalow Arts and Crafts
Platforms: front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: wood
Landscaping: flowering, Colorado
Signage: none
Unique/Distinguishing Elements: wood and stucco gables, facade color palette
Is Property a Focal Point or Orientation Landmark? yes

North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
49

PROPERTY INVENTORY

15. Wickersham House



Building Location



Address: 707 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Lincoln and Ruth Wickersham
Date of Construction: 1910

Style: Craftsman
Platforms: front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: wood
Landscaping: flowering
Signage: none
Unique/Distinguishing Elements: fenestration, simplicity
Is Property a Focal Point or Orientation Landmark? yes

Form/Shape


Bulk


Height


Foundation


Entryway


Roof Shape/Materials


Wall




North Seventh Street Historic Residential District

Adopted	Section X APPENDICES - APPENDIX A	Page Number 50
---------	--------------------------------------	-------------------

PROPERTY INVENTORY

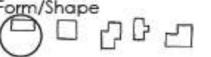
16. Sinclair House





Building Location

Form/Shape



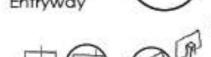
Foundation



Bulk



Entryway

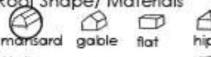


Height





Roof Shape/ Materials









North Seventh Street Historic Residential District





Address: 727 North Seventh Street
 Zone District: Planned Residential Development
 Principal Use: day care
 Original Owner: James W. Sinclair
 Date of Construction: 1895

Style: Eclectic
 Platforms: none
 Additions/Alterations: no
 Accessory Structures: none
 Fencing/Walls: chain link
 Landscaping: sparse
 Signage: none
 Unique/Distinguishing Elements: mansard roof
 Is Property a Focal Point or Orientation Landmark? no

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
51

PROPERTY INVENTORY

17. Lough House



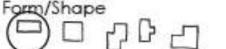
Building Location



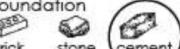
Address: 731 North Seventh Street
Zone District: Planned Residential Development
Principal Use: day care
Original Owner: Clarence Lough
Date of Construction: 1909

Style: Queen Anne
Platforms: none
Additions/Alterations: no
Accessory Structures: shed
Fencing/Walls: chain link
Landscaping: minimal
Signage: attached
Unique/Distinguishing Elements: near mirror image layout to 739 North Seventh
Is Property a Focal Point or Orientation Landmark? no

Form/Shape



Foundation



Bulk



Height



Entryway



Roof Shape/Materials



Wall



North Seventh Street Historic Residential District




Adopted

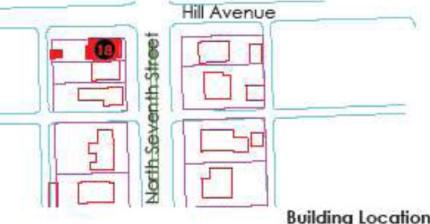
Section X
APPENDICES - APPENDIX A

Page Number
52

PROPERTY INVENTORY

18. Houskins House



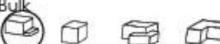


Building Location

Form/Shape



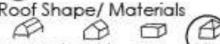
Bulk



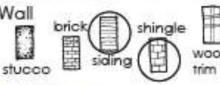
Height



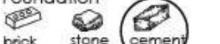
Roof Shape/ Materials



Wall



Foundation



Entryway





Style: Queen Anne

Platforms: glassed front porch

Additions/Alterations: no

Accessory Structures: garage

Fencing/Walls: brick, wood

Landscaping: sparse

Signage: none

Unique/Distinguishing Elements: near mirror image layout to 731 North Seventh

Is Property a Focal Point or Orientation Landmark? no





North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
53

PROPERTY INVENTORY

19. Akers House



Form/Shape



Foundation



Bulk



Entryway



Height

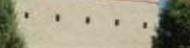




Roof Shape/ Materials



Fencing/Walls



Wall



Landscaping





Building Location

Address: 750 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Donald D. Akers
Date of Construction: 1952

Style: Spanish
Platforms: front porch
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: stone
Landscaping: screened, Colorado
Signage: no
Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

Page Number
54

PROPERTY INVENTORY

20. Davis House



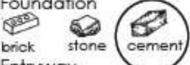


Building Location

Form/Shape



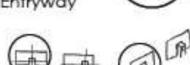
Foundation



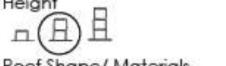
Bulk



Entryway



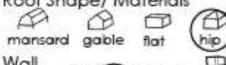
Height



Fencing/Walls



Roof Shape/ Materials



Landscaping



Wall



Signage



Style: Eclectic

Platforms: enclosed front porch

Additions/Alterations: yes

Accessory Structures: garage *

Fencing/Walls: stone *

Signage: no

Is Property a Focal Point or Orientation Landmark? no

* Stone work done by well known western slope mason Nunzio Grasso



North Seventh Street Historic Residential District



Adopted

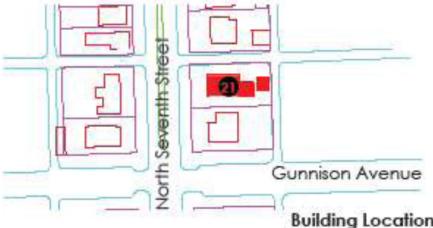
Section X
APPENDICES - APPENDIX A

Page Number
55

PROPERTY INVENTORY

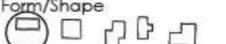
21. Home Loan Duplex





Building Location

Form/Shape



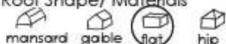
Bulk



Height



Roof Shape/ Materials



Wall



Foundation



Entryway



Style



Platforms



Additions/Alterations



Accessory Structures



Fencing/Walls



Landscaping



Signage



Unique/Distinguishing Elements

first duplex built in Grand Junction

Is Property a Focal Point or Orientation Landmark?

no



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

Page Number
56

PROPERTY INVENTORY

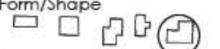
22. Pabor House/Pansy Cottage





Building Location

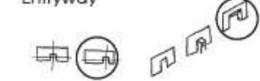
Form/Shape



Foundation



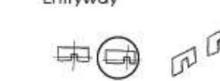
Entryway



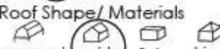
Bulk



Height



Roof Shapes/ Materials



Wall



Roof Shapes/ Materials



Style: Queen Anne
Platforms: front porch
Additions/Alterations: yes, second story
Accessory Structures: two sheds
Fencing/Walls: wood
Landscaping: deciduous
Signage: no
Is Property a Focal Point or Orientation Landmark? yes





North Seventh Street Historic Residential District

Adopted

Section X APPENDICES - APPENDIX A
--

Page Number 57

PROPERTY INVENTORY

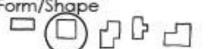
23. Ferbrache House





Building Location

Form/Shape



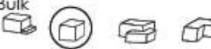
Foundation



Entryway



Bulk



Height



Roof Shape/ Materials



Wall



































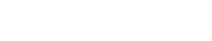












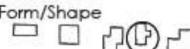
<div style="width: 3

PROPERTY INVENTORY

24. Barkuloo House



Form/Shape



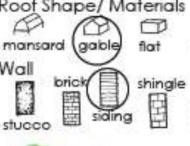
Bulk



Height



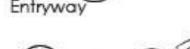
Roof Shape/ Materials



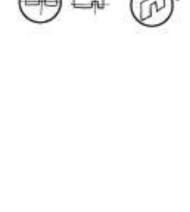
Foundation



Entryway



Wall



Address: 626 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Henry S. Barkuloo
Date of Construction: 1900

Style: Colonial Revival
Platforms: none
Additions/Alterations: yes
Accessory Structures: none
Fencing/Walls: none
Landscaping: none
Signage: no
Is Property a Focal Point or Orientation Landmark? no


North Seventh Street Historic Residential District

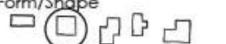

Adopted	Section X APPENDICES - APPENDIX A	Page Number 59
---------	--------------------------------------	-------------------

PROPERTY INVENTORY

25. Moyer House



Form/Shape



Foundation



Bulk



Entryway

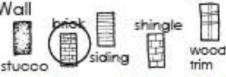


Height

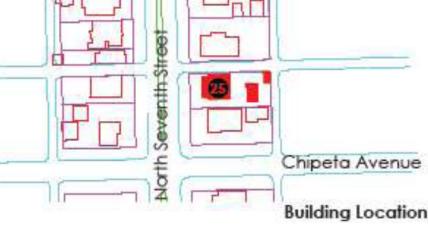




Wall







Building Location

Address: 620 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: William J. and Ida Moyer
Date of Construction: 1905

Style: Tudor Revival, Craftsman
Platforms: front porch
Additions/Alterations: yes
Accessory Structures: cottage / garage and 2nd garage
Fencing/Walls: brick
Landscaping: Colorado
Signage: no
Unique/Distinguishing Elements: wall built down the middle to become a duplex
Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District



Adopted

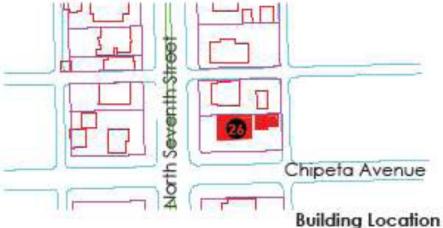
Section X
APPENDICES - APPENDIX A

Page Number
60

PROPERTY INVENTORY

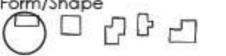
26. Talbert House



Building Location

Form/Shape



Bulk



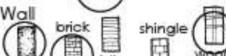
Height



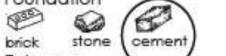
Roof Shape/ Materials



Wall



Foundation



Entryway



Style: Tudor Revival

Platforms: covered side porch

Additions/Alterations: no

Accessory Structures: garage

Fencing/Walls: wood

Landscaping: flowering, Colorado

Signage: no

Unique/Distinguishing Elements: stucco and stained timber gables

Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District

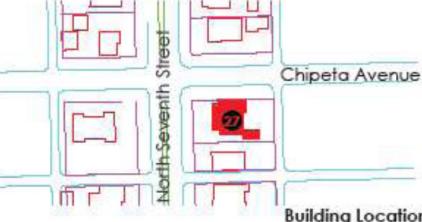


Adopted	Section X APPENDICES - APPENDIX A	Page Number 61
---------	--------------------------------------	-------------------

PROPERTY INVENTORY

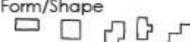
27. Smith-Schmidt House





Building Location

Form/Shape



Foundation



Entryway



Bulk



Height



Roof Shape/ Materials





Wall



Address: 536 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Henry Barkuloo
Date of Construction: 1912

Style: Tudor Revival, Craftsman
Platforms: glassed front porch
Additions/Alterations: no
Accessory Structures: none
Fencing/Walls: wood
Landscaping: Colorado
Signage: no
Unique/Distinguishing Elements: unique fenestration and bracketed gutters
Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

Page Number
62

PROPERTY INVENTORY

28. Brunner House





Building Location

Form/Shape



Foundation



Entryway



Bulk

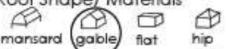


Height



Style: Queen Anne

Roof Shape/ Materials



Fencing/Walls: wood

Platforms: screened front porch

Wall



Landscaping: Colorado

Additions/Alterations: yes

Signage: no

Accessory Structures: garage

Landmark? no



North Seventh Street Historic Residential District



Adopted

Section X
 APPENDICES - APPENDIX A

Page Number
 63

PROPERTY INVENTORY

29. Ellison House



Form/Shape



Foundation



Bulk



Entryway

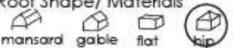


Height





Roof Shape/ Materials

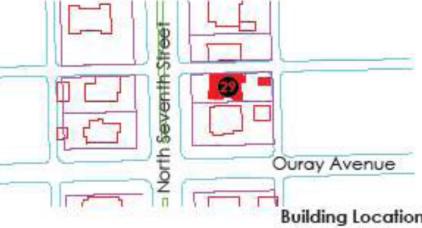




Wall







Building Location

Address: 520 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Orloff H. Ellison
Date of Construction: 1924

Style: Arts and Crafts Bungalow
Platforms: front porch
Additions/Alterations: yes
Accessory Structures: garage
Fencing/Walls: wood
Landscaping: flowering, Colorado
Signage: no
Unique/Distinguishing Elements: strong Bungalow elements
Is Property a Focal Point or Orientation Landmark? yes



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

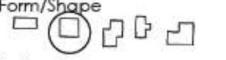
Page Number
64

PROPERTY INVENTORY

30. Sickenberger House



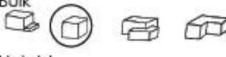
Form/Shape



Foundation



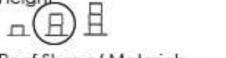
Bulk



Entryway



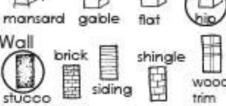
Height



Roof Shape/ Materials



Wall









North Seventh Street Historic Residential District



Building Location

Address: 710 Ouray Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Jesse Urban Sickenberger
Date of Construction: 1923

Style: Spanish, Craftsman
Platforms: covered entry
Additions/Alterations: no
Accessory Structures: garage
Fencing/Walls: chain link
Landscaping: flowering, Colorado
Signage: no
Unique/Distinguishing Elements: strong horizontal lines
Is Property a Focal Point or Orientation Landmark? yes

Adopted

Section X APPENDICES - APPENDIX A
--

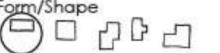
Page Number 65

PROPERTY INVENTORY

31. Smith-Jordan House



Form/Shape



Foundation



brick stone cement

Bulk



Entryway

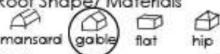


Height





Roof Shape/ Materials



mansard gable flat hip



stucco brick siding shingle wood trim





Building Location

Address: 440 North Seventh Street
 Zone District: Planned Residential Development
 Principal Use: residential
 Original Owner: William and Eva Smith
 Date of Construction: 1902

Style: Colonial Revival
Platforms: front porch
Additions/Alterations: no
Accessory Structures: garage, cottage
Fencing/Walls: wrought iron, brick
Landscaping: flowering, Colorado
Signage: no
Unique/Distinguishing Elements: color palette, front door detailing, yard sculptures
Is Property a Focal Point or Orientation Landmark? yes

North Seventh Street Historic Residential District

Adopted

Section X
APPENDICES - APPENDIX A

Page Number
66

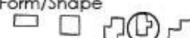
PROPERTY INVENTORY

32. Allison House



Address: 428 North Seventh Street
Zone District: Planned Residential Development
Principal Use: residential
Original Owner: Monroe "Roe" and Redie Allison
Date of Construction: 1900

Style: Eclectic
Platforms: front porch
Additions/Alterations: yes
Accessory Structures: garage and workshop
Fencing/Walls: wrought iron, brick, wood
Landscaping: Colorado
Signage: no
Is Property a Focal Point or Orientation Landmark? no

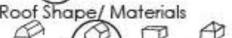
Form/Shape


Bulk


Height


Foundation


Entryway


Roof Shape/ Materials



Wall








North Seventh Street Historic Residential District

Adopted

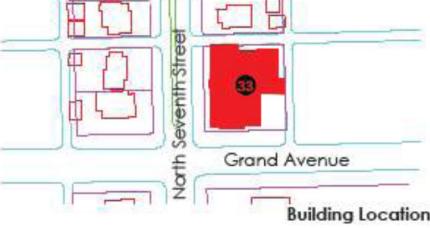
**Section X
APPENDICES - APPENDIX A**

**Page Number
67**

PROPERTY INVENTORY

33. First Baptist Church





Building Location

Address: 720 Grand Avenue
Zone District: Planned Residential Development
Principal Use: church
Original Owner:
Date of Construction: 1912 - 1929

Style: Colonial Revival
Platforms: none
Additions/Alterations: yes
Accessory Structures: none
Fencing/Walls: none
Landscaping: Colorado
Signage: wall sign
Unique/Distinguishing Elements: Greek columns, stained glass windows
Is Property a Focal Point or Orientation Landmark? yes

Form/Shape



Bulk



Height



Roof Shape/ Materials



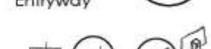
Wall



Foundation



Entryway









North Seventh Street Historic Residential District

Adopted

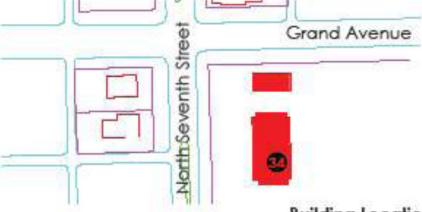
Section X APPENDICES - APPENDIX A
--

Page Number 68

PROPERTY INVENTORY

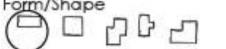
34. Lowell School





Building Location

Form/Shape



Foundation



brick stone cement

Bulk



Entryway



Height





Roof Shape/ Materials





Wall









Style: Spanish Colonial Revival

Platforms: none

Additions/Alterations: no

Accessory Structures: secondary building

Fencing/Walls: none

Landscaping: Colorado

Signage: stand alone

Unique/Distinguishing Elements: tiled roof, arched windows

Is Property a Focal Point or Orientation

Landmark? yes



North Seventh Street Historic Residential District



Adopted

Section X
APPENDICES - APPENDIX A

Page Number
69

TERMS AND DEFINITIONS

Accessory Dwelling Unit: A dwelling unit which is secondary to a principal dwelling unit which may be attached to the principal structure or freestanding.

Accessory Structure: A detached subordinate structure, the use of which is customarily incidental to, and supportive of, the principal structure or the principal use of the land, and which is located on the same parcel of ground with the principal structure or use.

Addition: 1) A structure added to the original structure at some time after certificate of occupancy has been issued for the original structure; 2) An extension or increase in floor area or height of a building or structure.

Adjacent: Means property or use, any portion of which is within a 100-foot radius. Public right-of-way, easements, canals or waste ditches, and waterways are not counted when deciding if one property or use is adjacent to another.

Alignment: The arrangement of objects along a straight line.

Alley Setback: The minimum distance from the alley property line that any permanent construction can be built. See also Rear Yard setback in Zoning and Development Code.

Alter or Alteration: Any proposed modification to a designated historic site, structure or district which could have an effect on the character of the historic resource relative to the criteria by which it was designated. Examples of alterations for structures may include additions, any exterior modifications, including signage to be affixed to the façade.

At-grade: Level of a road, building, or other structure at the same grade or level as the adjoining property (as opposed to a depressed or elevated road, building, or other facility).

Banner: Any sign intended to be hung, either with or without frames, possessing characters, letters, illustrations or ornamentations applied to paper, plastic or fabric of any kind.



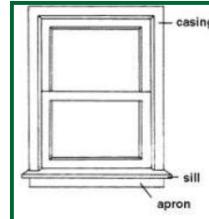
Building: Any structure used or intended for supporting or sheltering any use or occupancy.

Building Footprint: The portion of a lot covered by a building or structure at the surface level, measured on a horizontal plane.

Building Mass: The three-dimensional bulk of a building: height, width, and depth.

Building Placement: The location of the structure in relation to property lines.

Casings: The framework around a door or window.



Example of Casings

Cohesiveness: 1. The state of cohering or sticking together. 2. Causing symmetry and balance through design.

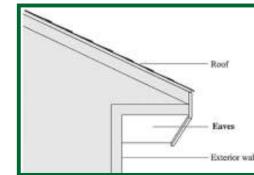
Congruous: Corresponding in character or kind; appropriate or harmonious.

Contiguous: Next to, abutting, or touching and having a boundary, or portion thereof, that is coterminous.

Contributing structure: a structure that already adheres to and/or complies with these Guidelines and Standards in their entirety at the time of adoption.

Design: A visual arrangement or disposition that indicates a signature motif.

Eaves: The lowest, overhanging part of a sloping roof.



Example of Eaves

Adopted

Section X
APPENDICES - APPENDIX B

Page Number
70

TERMS AND DEFINITIONS

Exterior Features: Include the architectural style, general design and general arrangement of the exterior of a building or other structure, including the color, the kind and texture of the building material and type and style of the windows, door, light fixtures, signs, other appurtenant fixtures and natural features such as trees and shrubbery.

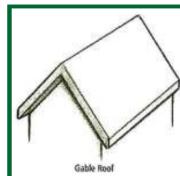
Facade: The exterior walls of a building exposed to public view or that wall viewed by persons not within the building.

Feeling, Integrity: *Historic Integrity* is the ability of a site to retain its identity and, therefore, convey its significance in the history of Grand Junction, Colorado.

Form: The overall shape of a structure

Gable: The vertical triangular portion of the end of a building having a double-sloping roof, from the level of the cornice or eaves to the ridge of the roof.

Gabled Roof: A roof having a gable at one or both ends.



Example of Gabled Roof

Grandfathering / Grandfathered: Describes the status accorded certain properties, uses, and activities that are legally existing prior to the date of adoption of the zoning ordinance or provisions of the zoning ordinance.

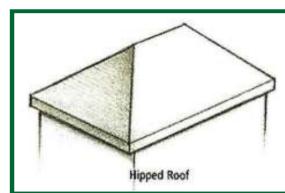
Ground Plane: The level of an entry platform into a building.

Guideline: Are permissive statements intended to be used as recommendations by homeowners and boards in making decisions.

Height of Structure: The vertical distance from the grade to the highest point of any portion of a structure.

Height-width Ratio: The ratio of the height of the structure to the width of the structure.

Hipped Roof: A roof that slopes upward from all four sides of a building, requiring a hip rafter at each end.



Example of Hipped Roof

Historic Property: The research, protection, restoration and rehabilitation of buildings, structures, landmarks, signs, appurtenances, objects, districts, areas and sites significant in the history, archeology, education or culture of the City, State or Nation.

Horizontal Rhythm: The pattern of shapes, spaces and textures of a structure across a horizontal plane.

Integrity: A property retains its integrity if a sufficient percentage of the structure dates from the period of significance. The majority of a building's structural system and materials should date from the period of significance and its character defining features also should remain intact. These may include architectural details, such as dormers and porches, ornamental brackets and moldings and materials, as well as the overall mass and form of the building.

Inset: 1. Something inserted; insert. 2. A small picture, map, etc., inserted within the border of a larger one. 3. To set in or insert.

Lot Coverage: That area of the lot or parcel which may be occupied by principal and accessory structures, and other impervious surfaces.

Mass: The physical size and bulk of a structure.

Materials: As related to the determination of "integrity" of a property, material refers to the physical elements that were combined or deposited in a particular pattern or configuration to form an historic property.

Massing: The bulk or size of a structure.

Median: An area in the approximate center of a city street or state highway that is used to separate the directional flow of traffic, may contain left-turn lanes, and is demarcated by curb and guttering, having painted or thermally applied stripes or other means of distinguishing it from the portion of the roadway used for through traffic.

Metal Louvered Door: A metal door with fitted or fixed horizontal slats for admitting air and light and shedding rain.



Example of Metal Louvered Door

Adopted

Section X
APPENDICES - APPENDIX B

Page Number
71

TERMS AND DEFINITIONS

Mill: A mill finish is the natural appearance of the aluminum as it comes from the rolling mill or the extrusion mill. Often this finish is dull, grainy and without luster.

New Construction: Any construction of an entirely new structure, construction of an addition to an existing structure or an exterior alteration to an existing structure.

Nonconforming: A legal use, structure, and/or development which existed prior to the adoption of this code or any amendment thereto, which does not presently conform to this code or its amendments.

Nonconforming Structure or Building: A structure or building, the size, dimension, or location of which was lawful prior to the adoption, revision, or amendment to the zoning ordinance but that fails by reason of such adoption, revision, or amendment to conform to the present requirements of the zoning district.

Nonconforming Use: A use of activity that was lawful prior to the adoption, revision or amendment of the zoning ordinance but that fails by reason of such adoption, revision, or amendment to conform to the present requirements of the zoning district.

Non contributing Structure: 1. A structure that has undergone significant alterations. 2. A non contributing building, site, structure or object does not add to the historic architectural qualities, historic associations, or archeological values for which a property is significant because (a) it was not present during the period of significance and does not possess historic integrity reflecting its character at that time or is not capable of yielding important information about the period, or (b) it does not individually meet the National Register eligibility criteria.

Opacity: 1. The screening effectiveness of a buffer yard or fence expressed as the percentage of vision that the screen blocks. 2. The degree to which a material blocks light.

Ordinance: An authoritative rule or law. A public injunction or regulation.

Orientation: Generally, orientation refers to the manner in which a building relates to the street. The entrance to the building plays a large role in the orientation of a building; whereas, it should face the street.

Overhang: A projection of the roof or upper story of a building beyond the wall of the lower part.

Parapet: A low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, balcony, etc.



Example of a Parapet

Photovoltaic Panel: A solar panel or solar collectors designed to absorb solar radiation and convert it into electricity.

Portico: A walkway or porch with a roof supported by columns, often at the entrance of a building.



Example of a Portico

Principal Structure: The structure in which the principal use of a property is conducted. This shall include any buildings which are attached to the principal structure by a covered structure.

Adopted

Section X
APPENDICES - APPENDIX B

Page Number
72

TERMS AND DEFINITIONS

Projecting Bays: A bay window is a window space projecting outward from the main walls of a building and forming a bay in a room, either square or polygonal in plan.



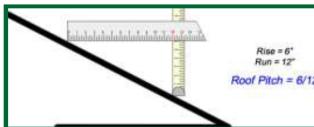
Example of Projecting Bay

Public Hearing: A public meeting of a board, Planning Commission, City Council or their representatives where the public may attend.

Public Right-of-Way: Any street, road, highway, alley, pedestrian/bicycle way or other special purpose way or utility installation owned by, or reserved to, the public for present or future public use.

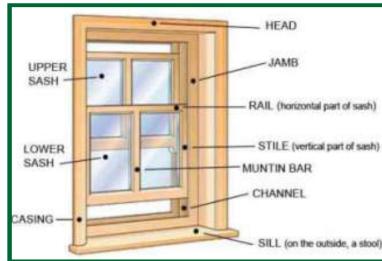
Rhythm: Orderly reoccurrence of elements of design with possible variety and variation.

Roof Pitch: The amount of slope of the roof in terms of angle or other numerical measure; one unit of horizontal rise for three units of horizontal shelter is expressed as "1 in 3".



Example of Roof Pitch

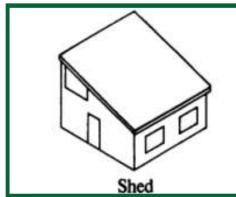
Sash: The movable part of a window holding the glass.



Example of Sash

Setback: The minimum distance between a structure and a property line of a parcel of land or other established reference point.

Shed Roof: A flat roof that slopes in one direction and may lean against another wall or building. Also known as lean- to roof.

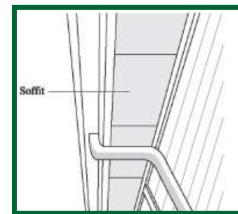


Example of Shed Roof

Siting: The position or location of a town, building, etc., especially as to its environment.

Slope Ratio: Same as roof pitch. The amount of slope of the roof in terms of angle or other numerical measure; one unit of horizontal rise for three units of horizontal shelter is expressed as "1 in 3".

Soffit: The underside of an architectural feature, as a beam, arch, ceiling, vault, or cornice.



Example of Soffit

Solid-to-Void Ratio: On a building façade, the ratio of solid space to voids, such as windows, door and other openings.

Standard: A mandatory provision of a development regulation.

Adopted

Section X
APPENDICES - APPENDIX B

Page Number
73

TERMS AND DEFINITIONS

Streetscape: The landscaping and other manmade objects located within the public right-of-way which add variety and are placed for aesthetic purposes as well as functional, pedestrian guidance and traffic control.

Subservient: Serving or acting in a subordinate capacity; subordinate.

Transoms: 1. A small, hinged window above another window or a door; the horizontal crosspiece to which such a window is hinged. 2. A window or group of windows located above a door or larger window.



Vertical Rhythm: The pattern of shapes, spaces and textures of a structure across a vertical plane.

Vista: A view or prospect, especially one seen through a long, narrow avenue or passage, as between rows of trees or houses.

Xeriscape: Environmental design of residential and park land using various methods for minimizing the need for water use.



Example of Xeriscape

Zoning: A mapped area with a particular set of rules and regulations which limits the types of uses.

Adopted

Section X
APPENDICES - APPENDIX B

Page Number
74

INCENTIVES FOR HISTORIC PRESERVATION IN GRAND JUNCTION

A. THE STATE HISTORICAL FUND

The State Historical Fund is a statewide grants program that was created by the 1990 constitutional amendment allowing limited gaming in the towns of Cripple Creek, Central City and Black Hawk. The amendment directs that a portion of the gaming tax revenues be used for historic preservation throughout the state. Competitive Grants (aka General Grants) are made for any of the three project types: Acquisition & Development, Education and Survey & Inventory.

There are three essential elements to applying for a competitive State Historical Fund Grant:

1. You need to be or work with an eligible grant applicant.
2. If you are planning to do physical work on a structure, building, site or object, the resource must be historically designated. If this is a survey and planning, archaeological survey or education project, the focus of your project must be directly related to historic preservation.
3. You need to apply for projects, activities and costs that qualify for assistance from the State Historical Fund.

Additional information concerning the selection process is available in the [‘Grant Program Guidelines’](#) section of the Colorado State Historic Society web site:

(<http://www.historycolorado.org/grants/grants>)

B. TAX INCENTIVES FOR HISTORIC PRESERVATION

Federal and state tax laws provide tax incentives for historic preservation projects that follow the Secretary of the Interior's Standards for Rehabilitation. The federal government offers a 20% investment tax credit for the approved rehabilitation of certified historic buildings used for income-producing purposes as well as a 10% credit for certain other older buildings. The state offers a similar 20% state income tax credit based on \$5,000 or more of approved preservation work on designated properties. Applicants are urged to contact Office of Archaeology and Historic Preservation (OAHP) at the State Historic Society as early as possible when considering an application for either federal or state tax credits. OAHP provides advice to property owners, developers and architects concerning appropriate preservation and rehabilitation measures. OAHP staff review applications for tax incentives and make recommendations for approval.

In 2008 the Colorado Legislature extended the State tax credit through 2019.

C. HOUSING REHABILITATION AND WEATHERIZATION THROUGH HOUSING RESOURCES OF WESTERN COLORADO

Housing rehabilitation and weatherization projects in Grand Junction which meet low income guidelines are eligible for assistance through Housing Resources of Western Colorado:

(<http://www.housingresourceswc.org/>)

Adopted	Section X APPENDICES - APPENDIX C	Page Number 75
---------	--------------------------------------	-------------------

FREQUENTLY ASKED QUESTIONS

Does the North Seventh Street Historic Residential District Guidelines and Standards force me to make changes in my house?

No, there will not be a requirement to change anything in your house, exterior or interior, unless you are doing a remodel or new construction.

Does the North Seventh Street Historic Residential District Guidelines and Standards affect new construction or remodels?

The North Seventh Street Historic Residential District Guidelines and Standards will give guidance to homeowners and land owners who wish to remodel or do new construction on the exterior of their houses and structures. It does not affect changes you make in the interior of your house.

What land uses will be allowed in the historic district?

All of the land uses allowed in the R-8 residential zone will be allowed.

What incentives are there to homeowners to comply with these regulations?

There are several incentives to homeowners including:

- ◆ grants under the State of Colorado Historic Fund
- ◆ tax incentives under Federal and state tax laws for historic preservation projects that follow the Secretary of the Interior's Standards for Rehabilitation
- ◆ housing rehabilitation and weatherization projects in Grand Junction which meet low income guidelines are eligible for assistance through Housing Resources of Western Colorado

(Contact the City of Grand Junction's Neighborhood Services Division or Housing Resources of Western Colorado)

Will the North Seventh Street Historic Residential District Guidelines and Standards tell me what I can plant in my yard?

No, there are no requirements for what you can plant in your yard; however, there are suggestions and recommendations for landscaping that are compatible with the district. The proposed Seventh Street Historic District regulations suggest contacting Colorado State University Tri River Extension Service in Grand Junction for landscaping recommendations.
(<http://www.coopext.colostate.edu/TRA/PLANTS/index.shtml>)

Will the North Seventh Street Historic Residential District Guidelines and Standards mean that it will take longer to get approval of my project?

Probably not. With the new North Seventh Street Historic Residential District Guidelines and Standards in place, most minor projects, which meet the requirements, can be approved at staff level or by the Grand Junction Historic Preservation Board and will not require a full public hearing with the City Council (as is now the case).

What will be the effect of the proposed North Seventh Street Historic Residential District Guidelines and Standards on my property value?

National studies have shown that property values increase in historic districts faster than in non historic districts and that rehabilitation of historic districts adds a positive stimulus to economic development. ("The Economics of Rehabilitation," by Donovan Rypkema; The National Trust for Historic Preservation)

Adopted

Section X
APPENDICES - APPENDIX D

Page Number
76

SAMPLE CERTIFICATE OF APPROPRIATENESS

CITY OF Grand Junction
COLORADO
PUBLIC WORKS & PLANNING

Certificate of Appropriateness
North Seventh Street Historic Residential District

This box for office use only

File Number: _____ Review Fee: _____

This application is a request to construct, add, change or demolish a property within the North Seventh Street Historic Residential District as follows:

PROPOSAL AND PROPERTY INFORMATION

This application is a request to construct, add or change the following (check all that apply):

Add Change Demolish N/A

Roof/Chimney
Walls/Siding
Fascia/Other Trim
Windows/Doors
Porch
Other (describe below): _____

Fully explain the nature of your request:

Number of Structures on Property: _____ Residential _____ Outbuildings

Total Gross Square Footage of Existing Structures (all floors): _____

Total Gross Square Footage of Proposed Structures or Additions (all floors): _____

Total Gross Square Footage of Existing Structures to be removed (all floors): _____

Existing Height to Building Eave: _____ Existing Height to Building Peak: _____

Proposed Height to Building Eave: _____ Proposed Height to Building Peak: _____

The existing building is a: _____ Single Family Dwelling _____ Duplex _____
Other Multi-Unit _____ Other (specify): _____

Adopted

Section X
APPENDICES - APPENDIX E

Page Number
77

SAMPLE CERTIFICATE OF APPROPRIATENESS

Exterior Building Materials:

	Existing	Proposed
Roof	_____	_____
Walls/Siding	_____	_____
Doors	_____	_____
Fascia, Trim, Etc.	_____	_____
Other	_____	_____

Existing Windows:

Existing Material: _____

Existing Sill Depth: _____

Existing Window Type: Casement Slider Double Hung Single Hung
Fixed Divided Light How many? _____ (e.g. 4 over 1, 3 over 1)

Proposed Windows:

Proposed Material: _____

Proposed Sill Depth: _____

Proposed Window Type: Casement Slider Double Hung Single Hung
Fixed Divided Light How many? _____ (e.g. 4 over 1, 3 over 1)

For proposed divided lights, please describe grid, including width, whether it is flat or contoured:

Will the exterior trim remain on the replacement windows? Yes No

SITE AND LANDSCAPE INFORMATION

Fencing:

	Existing	Proposed
Type	_____	_____
Size/Height	_____	_____
Location	_____	_____

Are there any prominent trees or areas of vegetation on the property? If yes, what is the type, size and general location? _____

Does this application propose to remove or alter any of these prominent trees or vegetation areas? If so, which ones? And describe proposed change:

ADDITIONAL INFORMATION:

Are there other proposed not yet covered in the application? Yes No
If yes, please explain: _____

Signatures:

Property Owner	Date
Representative	Date

City Approval:

Printed Name and Title	Date
Signature	Date

Adopted

Section X
APPENDICES - APPENDIX E

Page Number
78

AUTHENTIC PLANTS FOR LATE 19th-EARLY 20th CENTURY PERIOD LANDSCAPING

Shrubs, trees and vine

American Hornbeam
Asiatic Bittersweet Vine
Bittersweet
Flowering Quince
American Yellow-wood



Clematis

Red-twigged Dogwood
Rock-Spray
Cock-spur Thorn
Sweet Gum
Tulip Tree



Slender Deutzia

Euonymus
American or European Beech
Ginkgo
Honey Locust
Kentucky Coffee Tree
European Ash

Amur Privet



Rock Spirea

Golden Rain Tree Honeysuckle



Japanese Spurge

Virginia Creeper
Boston Ivy, Japan Ivy
Mockorange
Ninebark
Golden Rain Tree
Oregon Grape Holly



Hydrangea

Adopted

Section X APPENDICES - APPENDIX F

Page Number 79

Mountain Ash
Spirea
Snowberry Waxberry
Indian Currant, Coral-berry
Lilac
Linden
Rosy Weigela



Common Laburnum

Weeping Willow
Blue Spruce
Mugho Pine
Dwarf Scotch Pine
Sycamore
Double Flowering Plums
Sargent Cherry
Crabapple



Scarlet Firethorn

Leatherleaf Mahonia
Fragrant Sumac
Cut-leaved Sumac
Rose



Wisteria

Tree of Heaven
Maple, except sugar or silver
Horse Chestnut
Barberry



Trumpet Creeper

Attach 6
Future Land Use Amendment

**CITY OF GRAND JUNCTION
PLANNING COMMISSION**

MEETING DATE: February 14, 2012
PRESENTER: Greg Moberg

AGENDA TOPIC: Grand Junction Comprehensive Plan Future Land Use Map
Amendments - Planning Division File No. CPA-2011-1324

ACTION REQUESTED: Request a recommendation of approval to City Council of the proposed amendments to the Grand Junction Comprehensive Plan Future Land Use Map, Title 31 of the Grand Junction Municipal Code (GJMC)

RECOMMENDATION: Recommend approval of the proposed amendments

BACKGROUND:

The City of Grand Junction and Mesa County jointly adopted a Comprehensive Plan in February, 2010. The Plan established or assigned new land use designations to implement the vision of the Plan and guide how development should occur. In many cases the new land use designation encouraged higher density or more intense development in some urban areas of the City.

When the City adopted the Comprehensive Plan, it did not rezone property to be consistent with the new land use designations. As a result, certain urban areas had a land use designation that called for a change of the current zoning of the property. In several cases the zoning was to be upgraded to allow for more residential density or commercial/industrial intensity. In other cases the zoning was to be downgraded to reduce commercial/industrial intensity. The City began the process of rezoning areas where a conflict existed between the zoning and the Future Land Use Map designation last October, sending out letters and notification cards, holding open houses and attending neighborhood meetings. It was during this time that Staff began relooking at some of the areas and determined that the current zoning was appropriate and did not need to be modified. However, in order to remove the inconsistency between the Comprehensive Plan's Future Land Use Map and the zoning of these properties, the Comprehensive Plan Future Land Use Map needs to be amended.

Staff has identified five (5) areas of the City with a conflict of this nature, which are shown on maps attached to this staff report.

To eliminate the conflict between the current land use designation and zoning in these five areas, Staff recommends and proposes to change to the future land use designation for each area. The attached maps and descriptions show the changes proposed for each of the affected areas.

CONSISTENCY WITH THE COMPREHENSIVE PLAN:

The proposed amendments are consistent with the following goals and policies of the Comprehensive Plan:

Goal 1: To implement the Comprehensive Plan in a consistent manner between the City, Mesa County, and other service providers.

Policy 1A: City and County land use decisions will be consistent with the Future Land Use Map. Mesa County considers the Comprehensive Plan an advisory document.

Goal 6: Land use decisions will encourage preservation of existing buildings and their appropriate reuse.

Policy 6A. In making land use and development decisions, the City and County will balance the needs of the community.

Goal 12: Being a regional provider of goods and services the City and County will sustain, develop and enhance a healthy, diverse economy.

Policy 12B. The City and County will provide appropriate commercial and industrial development opportunities.

APPROVAL CRITERIA:

Chapter One, Amendments to the Comprehensive Plan (document), states that “An amendment is required when a requested change significantly alters the land use or the Comprehensive Plan document.”

The following Criteria for Plan Amendments are found in Chapter One of the Comprehensive Plan document:

Criteria for Plan Amendments

The City may amend the Comprehensive Plan, neighborhood plans, corridor plans and area plans if the proposed change is consistent with the vision (intent), goals and policies of the Comprehensive Plan and:

1. Subsequent events have invalidated the original premises and findings; and/or
2. The character and/or conditions of the area has changed such that the amendment is consistent with the Plan; and/or
3. Public and community facilities are adequate to serve the type and scope of land use proposed; and/or
4. An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or
5. The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

When the Comprehensive Plan was adopted, the City did not rezone properties which had zoning that was inconsistent with the new land use designations. This meant that in many areas there was a conflict between the new land use designation and the existing zoning of the property.

The City recognizes that, in several areas, the existing zoning is appropriate and is consistent with the vision of the Comprehensive Plan. Furthermore, by removing the conflicts between the zoning and the Future Land Use designations, a community benefit is derived. Under the current situation, the ability of a property owner or lessee may be unable to develop, redevelop or expand an existing use. By processing the proposed amendment, the City has removed a step that would have to be accomplished thus facilitating development, redevelopment, or expansion of property when the market is ready. Therefore criterion 5 listed under Criteria of Plan Amendments has been met.

REVIEW AND COMMENT PROCESS:

Because the City is requesting to amend the Comprehensive Plan Future Land Use Map, written notice was provided to each property owner to inform them of the City's intention to change the land use designation of property that they owned. Individual letters were mailed to each property owner which informed them of the proposed Future Land Use Map amendments and how they could review the proposed amendments and provide comments.

An Open House was held on January 18, 2012 to allow property owners and interested citizens to review the proposed amendments, to make comments and to meet with staff to discuss any concerns that they might have. A display ad noticing the Open House was run in the Daily Sentinel newspaper to encourage public review and comment. The proposed amendments were also posted on the City and Mesa County websites with information about how to submit comments or concerns. Public review and comments were accepted from December 28, 2011 through January 20, 2012. Citizen comments were received by phone and email. No written comments were submitted during the Open House. Comments received are attached to this staff report.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing CPA-2011-1324, Grand Junction Comprehensive Plan Future Land Use Map Amendments to Title 31 of the Grand Junction Municipal Code (GJMC), the following findings of fact and conclusions have been determined:

1. The proposed amendments to the Comprehensive Plan Future Land Use Map are consistent with the goals and policies of the Comprehensive Plan.
2. The proposed amendments will help implement the vision, goals and policies of the Comprehensive Plan.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the proposed amendments to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTIONS:

Mr. Chairman, on file CPA-2011-1324, Grand Junction Comprehensive Plan Future Land Use Map Amendments to Title 31 of the Grand Junction Municipal Code (GJMC), I

move that the Planning Commission forward a recommendation of the approval of the proposed amendments with the facts and conclusions listed in the staff report.

Attachments:

Maps of Areas with Proposed Changes to the Future Land Use Map

Citizen comments

Spreadsheet with specific parcel numbers and data for affected properties

Area 1

Location: Generally located north of Highway 6 and 50 and west of 24 Road.

Parcels: 41

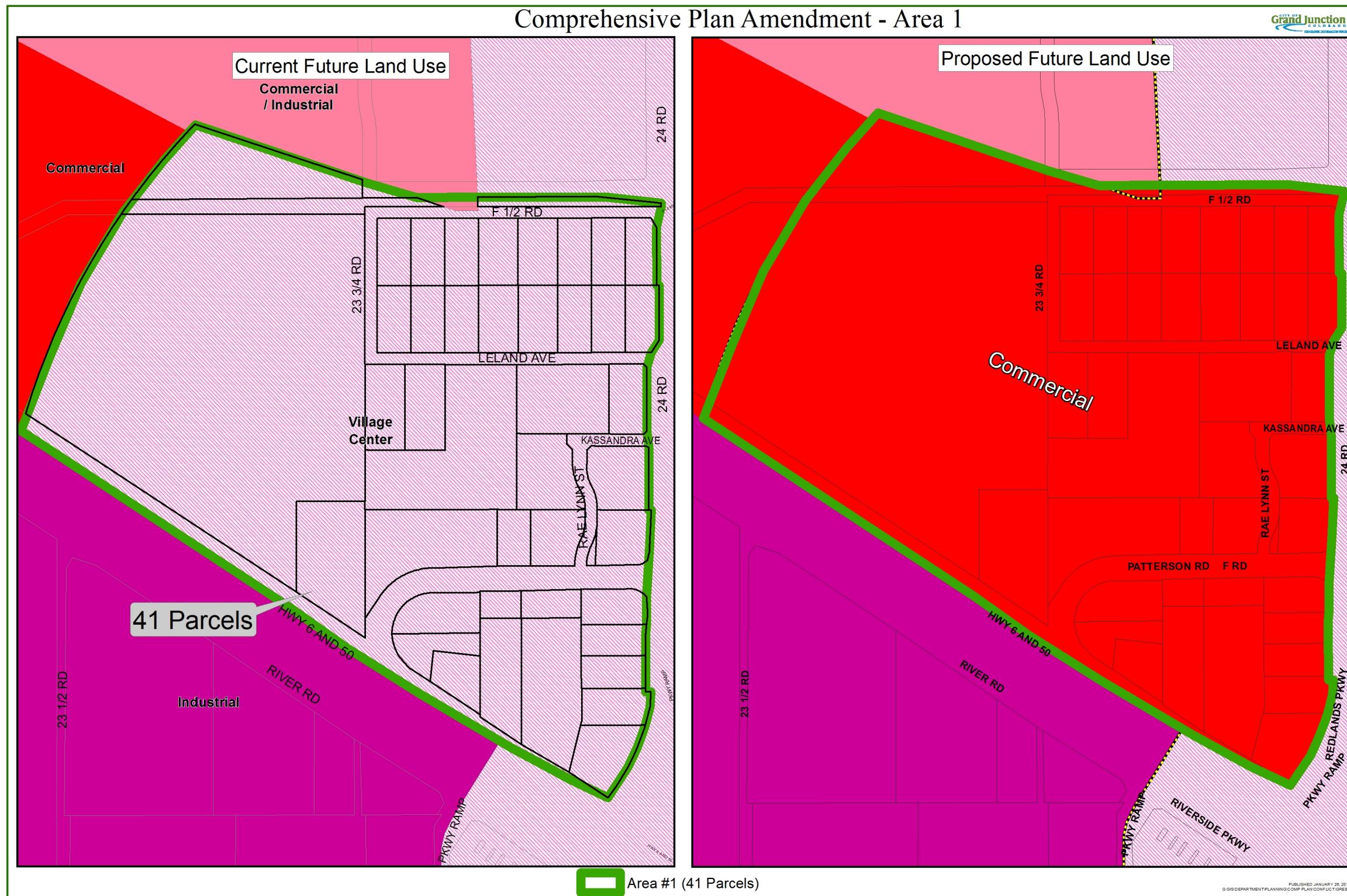
Existing zoning: C-2

Recommended change to future land use designation:

From: Village Center

To: Commercial

Recommend changing future land use designation with no change to current zoning.



Area 2

Location: Generally located north of Highway 6 and 50 and west of 25 Road.

Parcels: 25

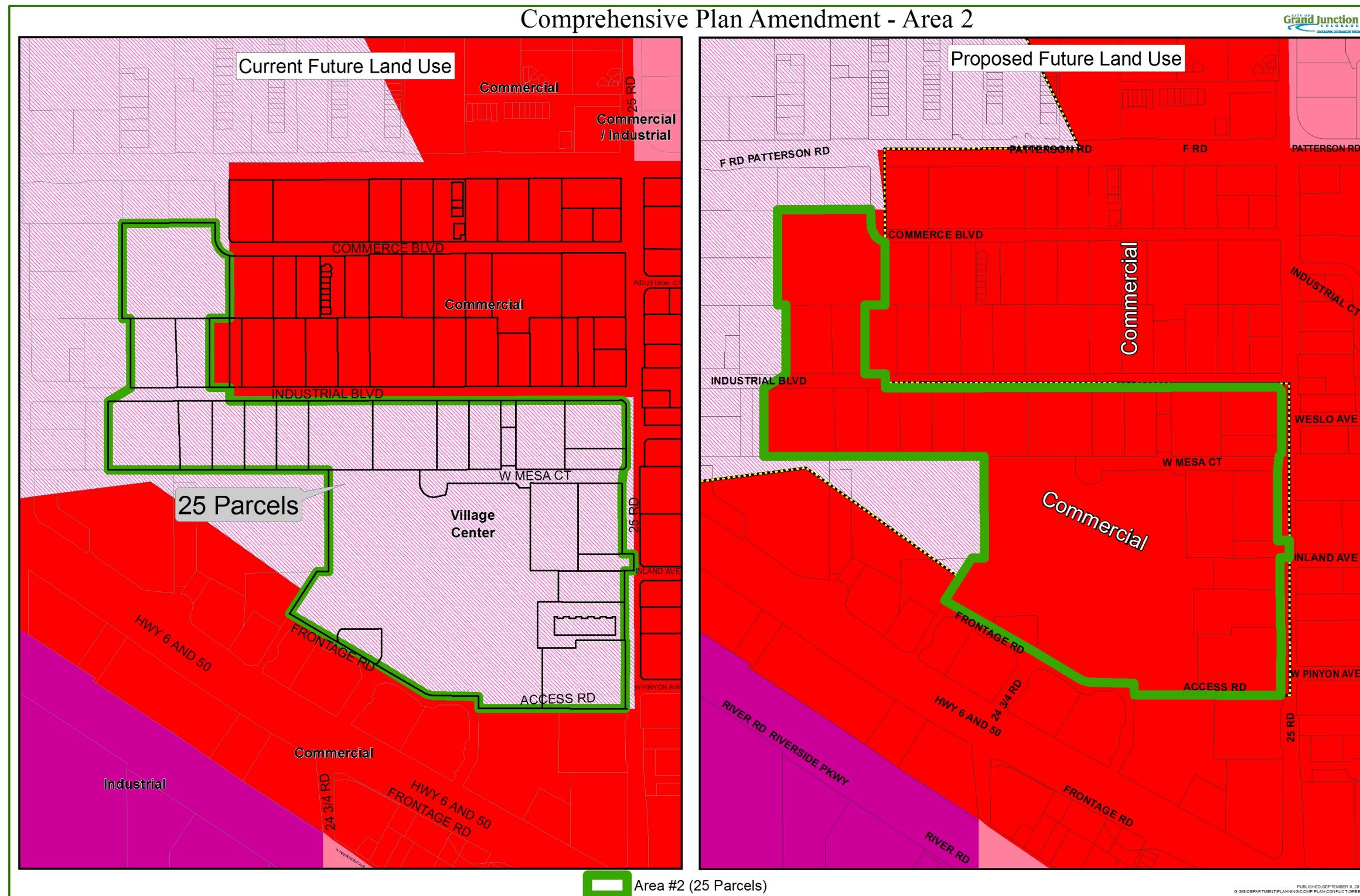
Existing zoning: C-2

Recommended change to future land use designation:

From: Village Center

To: Commercial

Recommend changing future land use designation with no change to current zoning.



Area 3

Location: Generally located north of Broadway and west of Riverside Parkway.

Parcels: 18

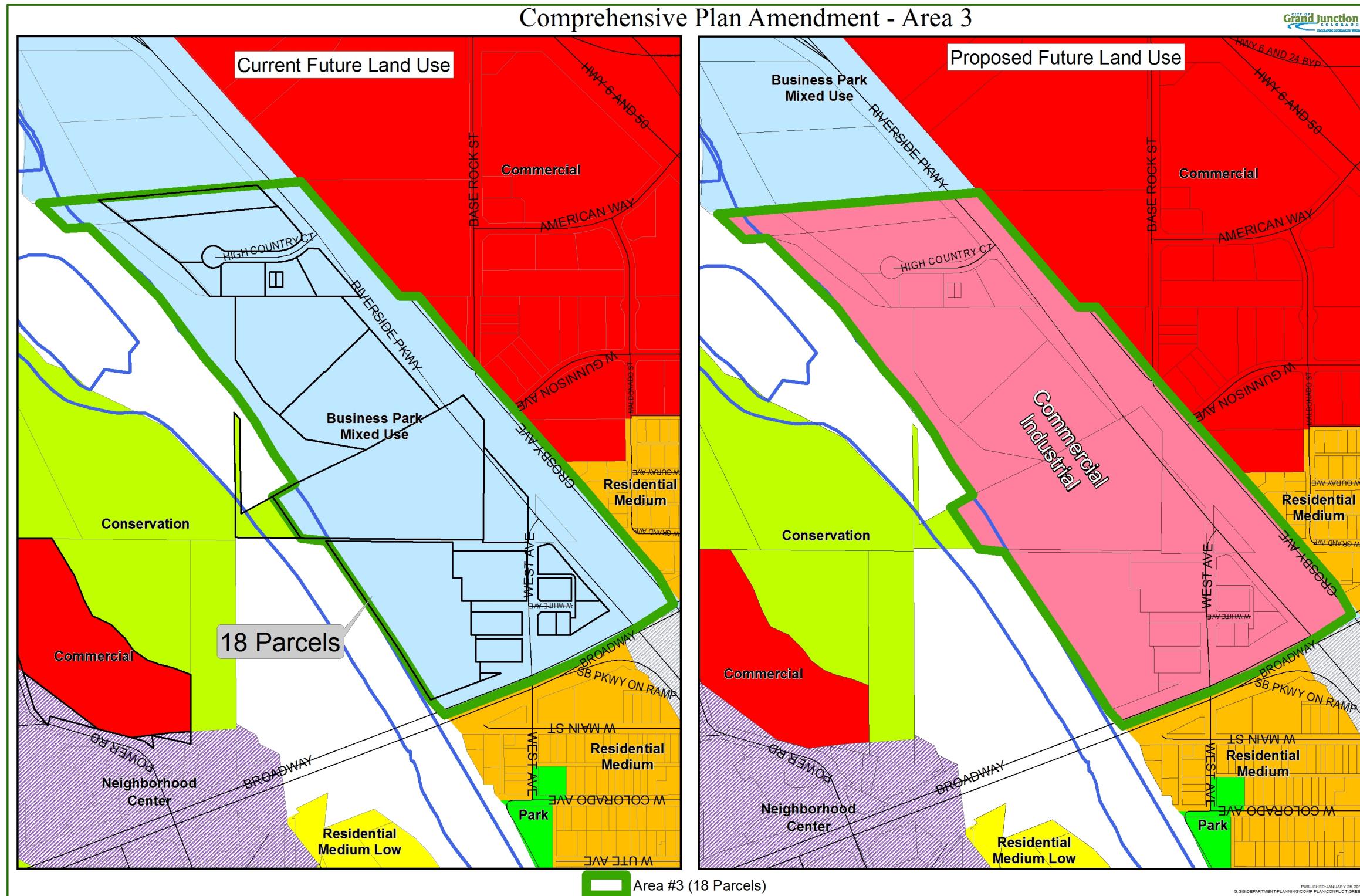
Existing zoning: I-1

Recommended change to future land use designation:

From: Business Park Mixed Use

To: Commercial Industrial

Recommend changing future land use designation with no change to current zoning.



Area 4

Location: Generally located north of Franklin Avenue and west of N. 1st Street.

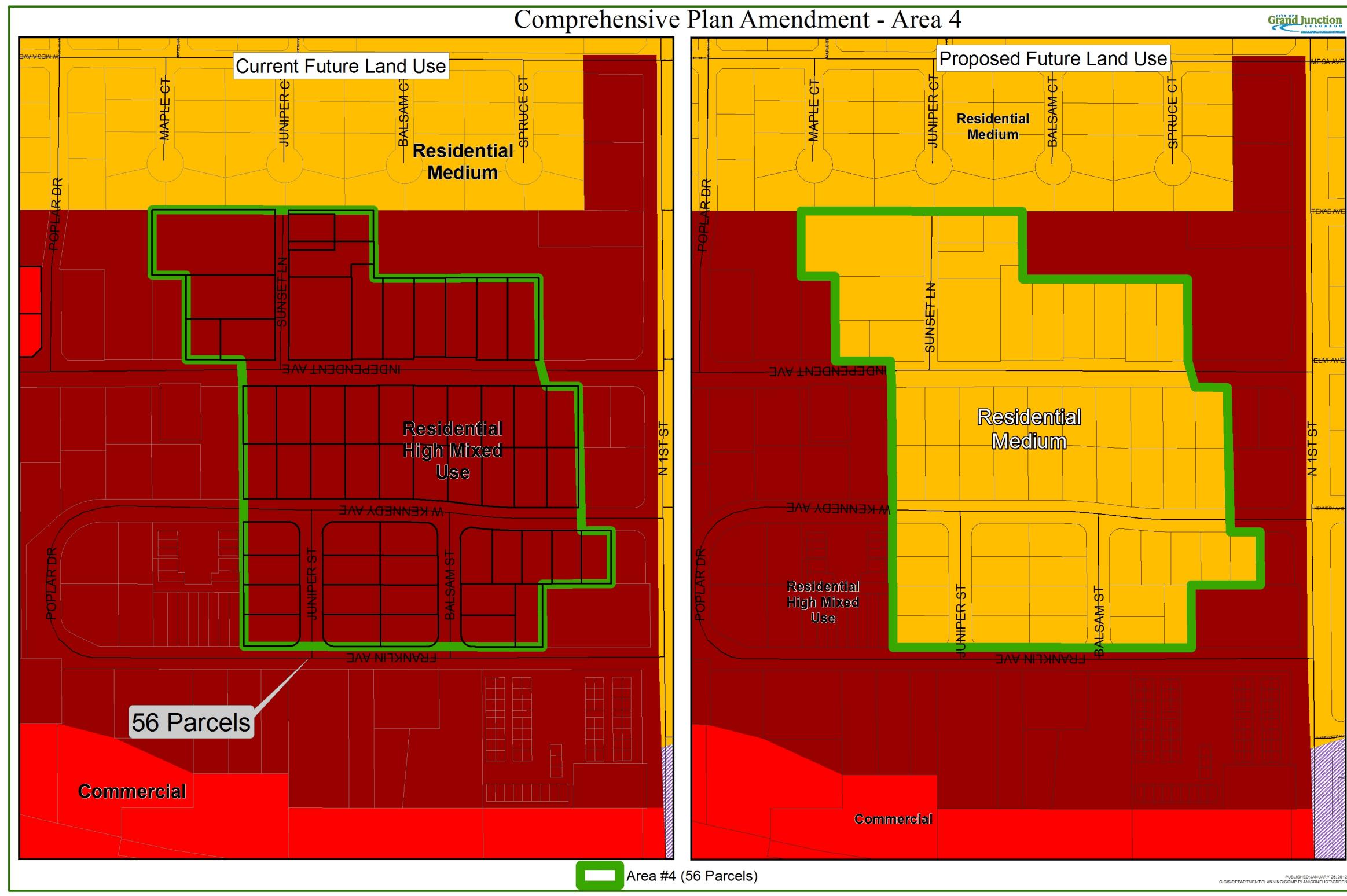
Parcels: 56

Existing zoning: R-8

Recommended change to future land use designation:

From: Residential High Mixed Use **To:** Residential Medium

Recommend changing future land use designation with no change to current zoning.



Area 20

Location: Generally located east of 25 1/2 Road and south of Fire Station #3.

Parcels: 2

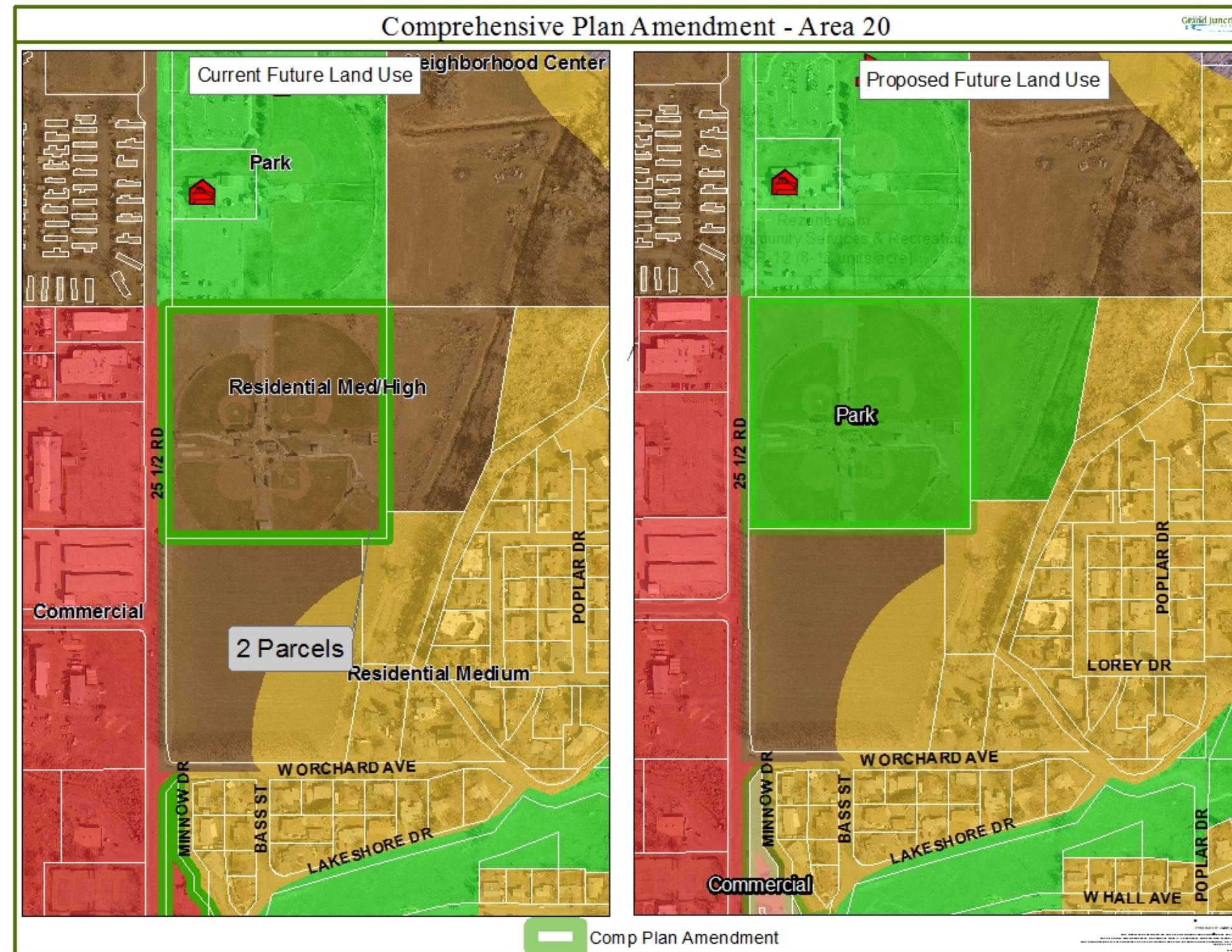
Existing zoning: CSR and R-12

Recommended change to future land use designation:

From: Residential Medium High

To: Park

Recommend changing future land use designation with a subsequent rezone from R-12 to CSR.



Citizen Comments

Greg – thanks for your help on this, you have answered our questions, thank you

Mike Tamblyn

From: Greg Moberg [mailto:gregm@ci.grandjct.co.us]
Sent: Monday, January 16, 2012 9:32 AM
To: Mike Tamblyn
Subject: Re: Grand Mesa Center - 2464 Hwy 6&50 - Land Use change

Mike,

The previous Future Land Use designation was Commercial/Industrial and the zoning has always been C-2 (General Commercial). You are right in your assertion that changing the Future Land Use designation to Commercial does not effect your property.

The property located along Highway 6 and 50 has historically been designated as Commercial. There are no proposed changes for those properties.

Greg

>>> Mike Tamblyn <MTamblyn@thfrealty.com> 1/13/2012 9:15 AM >>>
Greg - thanks for the additional info. Prior to the land use plan of feb 2010, was there a land use designation for this area? It appears zoning has always remained the same, so given we have a built out property this changes nothing for us.

What designation do the bellco and coldstone bldgs have on hwy 6 and 50? Thanks again for the info.

From: Greg Moberg <gregm@ci.grandjct.co.us>
To: Mike Tamblyn
Sent: Tue Jan 10 11:38:22 2012
Subject: Re: Grand Mesa Center - 2464 Hwy 6&50 - Land Use change

Mike,

Attached is a summary of the all of the Future Land Use designations. You can also access the entire Comprehensive Plan on the City's website, www.gjcity.org.

If you have any questions or if there is anything that I can clear up, do not hesitate to contact me.

Greg

>>> Mike Tamblyn <MTamblyn@thfrealty.com> 1/10/2012 9:07 AM >>>
Greg – I received your letter regarding the Comp Fund Amendment. Can you send me information on the Village Center description/requirements and the Commercial description/requirements? I would like to review the difference between the 2 designations.

Thank you.

Mike Tamblyn
THF Realty, Inc.
16888 East 144th Avenue

Brighton, CO 80601
303-637-0234 Office
303-378-4166 Mobile
314-429-0999 Fax

This comment concerns the proposed rezone map yellow area 4, which covers the Little League ball park on 25 1/2 Rd. I think the ball park serves the community very well at this location, and I would like to see it stay where it is. There are lots of kids living nearby who need the ball park for recreation, and their families rely on the location since they don't have to transport their kids to the ball park, the kids can walk to play or watch the games. The ball park is a wonderful addition to the community. We already have lots of housing in the area, but this is the only ball park near enough for families in the area to walk to and see their neighbors. The ball park is a community builder and it makes a great addition to the green space at Pomona Elementary, centrally locating children's activities. It would cause a hardship for many families if they have to transport their kids further out of town to participate.

Thanks for your consideration,
Marina Young

Citizen Contacts by Phone:

Dawn Capewell
214 W. Kennedy Avenue
201-7958

Phil Collins
2467 Commerce Blvd
245-5631

Chris Burning
2467 Commerce Blvd
800 443-2753

Lenny Oats
2380 Highway 6 and 50
920-1704

George Pavlakis
CFP Estate Ltd.
303 587-1492



January 19, 2012

City of Grand Junction

Subject: Zoning on commercial areas near the Mall

To Whom it May Concern;

The Grand Junction Area Chamber, having been involved in hosting an open house in the area referenced above for business owners in November of 2011, wishes to go on record as supporting a staff recommendation to keep the current C2 zoning in this area.

There are over a dozen businesses, currently located in this area that have future expansion plans that may not fit with a C1 zoning or may require conditional use permits. This could serve as a disincentive for future job growth in the short term when this community is in desperate need of such growth.

Additionally as the area around Grand Mesa Shopping Center has demonstrated market forces will be much more compelling than zoning restrictions in driving the kind of retail and commercial uses envisioned for this area by 2035. That growth will naturally occur and does not need the impetus of a change in zoning that could damage the economy in the short term.

Once again, we urge the Planning Commission and ultimately the Grand Junction City Council to maintain the current zoning in one of our "job creating" areas.

Sincerely,

A handwritten signature in black ink that reads "Diane Schwenke".

Diane Schwenke
President/CEO

CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

**AN ORDINANCE AMENDING THE GRAND JUNCTION COMPREHENSIVE PLAN
FUTURE LAND USE MAP**

Recitals:

On February 17, 2010 the Grand Junction City Council adopted the Grand Junction Comprehensive Plan which includes the Future Land Use Map, also known as Title 31 of the Grand Junction Municipal Code of Ordinances.

The Comprehensive Plan established or assigned new land use designations to implement the vision of the Plan and guide how development should occur. In many cases the new land use designation encouraged higher density or more intense development in some urban areas of the City.

When the City adopted the Comprehensive Plan, it did not rezone property to be consistent with the new land use designations. As a result, certain urban areas now carry a land use designation that calls for a different type of development than the current zoning of the property. Staff analyzed these areas to consider whether the land use designation was appropriate, or if the zoning was more appropriate, to implement the vision, goals and policies of the Comprehensive Plan.

In many instances it was determined that the current zoning is appropriate and consistent with the vision of the Comprehensive Plan. In several areas, it was determined the current land use designation called for a change in residential density or commercial or industrial intensity that did not fit the neighborhood.

In order to create consistency between the Comprehensive Plan's Future Land Use Map and the zoning of these properties, Staff recommends amending the Comprehensive Plan Future Land Use Map to be consistent with the existing zoning.

The proposed Future Land Use Map amendments were distributed to the Mesa County Planning Division and various external review agencies for their review and comment. The City did not receive any comments from Mesa County or external review agencies regarding the proposed Future Land Use Map amendments.

An Open House was held on January 18, 2012 to allow property owners and interested citizens an opportunity to review the proposed map amendments, to make comments and to meet with staff to discuss any concerns that they might have. A display ad noticing the Open House was run in the Daily Sentinel newspaper to encourage public review and comment. The proposed amendments were also posted on the City and Mesa County websites with information about how to submit comments or concerns. Several citizen comments were received during the review process.

After public notice and a public hearing as required by the Charter and Ordinances of the City, the Grand Junction Planning Commission recommended approval of the proposed amendments for the following reasons:

1. The proposed amendments to the Comprehensive Plan Future Land Use Map are consistent with the goals and policies of the Comprehensive Plan.
2. The proposed amendments will help implement the vision, goals and policies of the Comprehensive Plan.

After public notice and a public hearing before the Grand Junction City Council, the City Council hereby finds and determines that the proposed amendments will implement the vision, goals and policies of the Comprehensive Plan and should be adopted.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The Grand Junction Comprehensive Plan Future Land Use Map and Blended Residential Land Use Categories Map are hereby amended as shown on the attached area maps.

INTRODUCED on first reading the 15th day of February, 2012 and ordered published in pamphlet form.

PASSED and ADOPTED on second reading the _____ day of _____, 2012 and ordered published in pamphlet form.

ATTEST:

President of the Council

City Clerk

Parcels Under Consideration

PARCEL	LOCATION	OWNER	CURRENT ZONE	FUTURE LAND USE DESIGNATION	PROPOSED FUTURE LAND USE DESIGNATION
2945-051-00-110	West of 23 3/4 Road and north of Highway 6 and 50	PUBLIC SERVICE COMPANY OF COLORADO	C-2: General Commercial	Village Center	Commercial
2945-051-14-002	West of 23 3/4 Road and north of Highway 6 and 50	CFP ESTATE LTD	C-2: General Commercial	Village Center	Commercial
2945-054-00-016	2380 HIGHWAY 6 AND 50	CGO LLC	C-2: General Commercial	Village Center	Commercial
2945-054-00-023	2386 HIGHWAY 6 AND 50	RYDER TRUCK RENTAL INC 0135	C-2: General Commercial	Village Center	Commercial
2945-054-00-070	2389 LELAND AVE	JR STORAGE & PARKING LLC	C-2: General Commercial	Village Center	Commercial
2945-054-00-071	633 24 RD	TIMBERLINE BANK INC	C-2: General Commercial	Village Center	Commercial
2945-054-00-073	2387 LELAND AVE	POTTER HAROLD D	C-2: General Commercial	Village Center	Commercial
2945-054-00-087	West of 23 3/4 Road on the south side of Patterson	RYDER TRUCK RENTAL INC 0135	C-2: General Commercial	Village Center	Commercial
2945-054-00-090	2391 F RD	HIMES PEGGY	C-2: General Commercial	Village Center	Commercial
2945-054-00-092	2390 HIGHWAY 6 AND 50	HIMES PEGGY	C-2: General Commercial	Village Center	Commercial
2945-054-01-001	2385 F 1/2 RD	HRL COMPLIANCE SOLUTIONS INC	C-2: General Commercial	Village Center	Commercial
2945-054-01-002	2383 F 1/2 RD	GDT WELL SERVICE INC	C-2: General Commercial	Village Center	Commercial
2945-054-01-003	2381 F 1/2 RD	STOTT ROBERT D	C-2: General Commercial	Village Center	Commercial
2945-054-01-004	2377 F 1/2 RD	DAVIS RICHARD	C-2: General Commercial	Village Center	Commercial
2945-054-01-005	2378 LELAND AVE	RANDALL AUSTIN	C-2: General Commercial	Village Center	Commercial
2945-054-01-006	2384 LELAND AVE	SPENDRUP QUENTIN	C-2: General Commercial	Village Center	Commercial
2945-054-01-007	2382 LELAND AVE	DESROSIERS CHARLES J	C-2: General Commercial	Village Center	Commercial
2945-054-01-008	2380 LELAND AVE	AKW ENTERPRISES LLP	C-2: General Commercial	Village Center	Commercial
2945-054-02-001	649 24 RD	KING REAL ESTATE LLC	C-2: General Commercial	Village Center	Commercial
2945-054-02-002		EASTER LIVING TRUST	C-2: General Commercial	Village Center	Commercial
2945-054-02-003	2393 F 1/2 RD	EASTER LIVING TRUST	C-2: General Commercial	Village Center	Commercial
2945-054-02-004	2389 F 1/2 RD	MIRACLE ROGER D	C-2: General Commercial	Village Center	Commercial
2945-054-02-005	2388 LELAND AVE	SMITH FAMILY TRUST	C-2: General Commercial	Village Center	Commercial
2945-054-02-006	2390 LELAND AVE	MOORE ROGER	C-2: General Commercial	Village Center	Commercial
2945-054-02-007	2394 LELAND AVE	CERTEK HEAT MACHINE USA LLC	C-2: General Commercial	Village Center	Commercial
2945-054-02-008	639 24 RD	GREER ARTHUR E	C-2: General Commercial	Village Center	Commercial

2945-054-04-001	2375 LELAND AVE	PYRAMID LANDMARK CORPORATION	C-2: General Commercial	Village Center	Commercial
2945-054-04-002	2377 LELAND AVE	2377 LELAND LLC	C-2: General Commercial	Village Center	Commercial
2945-054-05-001	2384 F RD	STORAGE PLACE LLC	C-2: General Commercial	Village Center	Commercial
2945-054-05-006	2398 PATTERSON RD	FEATHER-MEDSKER-SMITH LTD	C-2: General Commercial	Village Center	Commercial
2945-054-08-001	625 RAE LYNN ST	GRAND JUNCTION LODGING LLC	C-2: General Commercial	Village Center	Commercial
2945-054-08-002	624 RAE LYNN ST	CACHE PROPERTIES LLC	C-2: General Commercial	Village Center	Commercial
2945-054-09-001	2381 F RD	G & L PROPERTIES I LLC	C-2: General Commercial	Village Center	Commercial
2945-054-09-002	2385 F RD	MUNIZ SANDRA	C-2: General Commercial	Village Center	Commercial
2945-054-09-003	2387 F RD	FARGO GRAND LLC	C-2: General Commercial	Village Center	Commercial
2945-054-10-001	2399 F RD	AMERICAN NATIONAL BANK	C-2: General Commercial	Village Center	Commercial
2945-054-10-002	611 24 RD	MAZE LLC	C-2: General Commercial	Village Center	Commercial
2945-054-10-003	609 24 RD	FP INVESTMENTS LLC	C-2: General Commercial	Village Center	Commercial
2945-054-12-001	2388 F RD	VECTRA BANK COLORADO N A	C-2: General Commercial	Village Center	Commercial
2945-054-12-002	621 RAE LYNN ST	VECTRA BANK COLORADO N A	C-2: General Commercial	Village Center	Commercial
2945-054-12-003	North of Patterson and East of Rae Lynn Street	FEATHER-MEDSKER-SMITH LLLL	C-2: General Commercial	Village Center	Commercial
2945-054-15-001	607 24 RD	ARC BFGRJCO001 LLC	C-2: General Commercial	Village Center	Commercial
2945-054-15-002	2394 HIGHWAY 6 AND 50	FP INVESTMENTS LLC	C-2: General Commercial	Village Center	Commercial
2945-091-00-020	575 25 RD	575 25 ROAD LLC	C-2: General Commercial	Village Center	Commercial
2945-091-00-114	573 25 RD	ROBISON LOIS CAROLANN	C-2: General Commercial	Village Center	Commercial
2945-091-01-001	2466 INDUSTRIAL BLVD	DR & JT INVESTMENTS INC	C-2: General Commercial	Village Center	Commercial
2945-091-01-002	2470 INDUSTRIAL BLVD	DR & JT INVESTMENTS INC	C-2: General Commercial	Village Center	Commercial
2945-091-02-001	INDUSTRIAL BLVD	YVIIK VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-002	INDUSTRIAL BLVD	YVIKI VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-003	INDUSTRIAL BLVD	YVIKI VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-004	INDUSTRIAL BLVD	YVIKI VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-013	2475 INDUSTRIAL BLVD	YVIKI VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-014	2477 INDUSTRIAL BLVD	YVIKI VENTURE LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-015	2493 INDUSTRIAL BLVD	M F M INVESTMENTS INC	C-2: General Commercial	Village Center	Commercial
2945-091-02-017	2489 INDUSTRIAL BLVD	MOORES INVESTMENTS LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-018	2487 INDUSTRIAL BLVD	SCHAACK FAMILY TRUST	C-2: General Commercial	Village Center	Commercial

2945-091-02-019	2491 INDUSTRIAL BLVD	ALMACIEN VENTURES LLC	C-2: General Commercial	Village Center	Commercial
2945-091-02-020	2490 W MESA CT	GROVE CHARLES WAYNE	C-2: General Commercial	Village Center	Commercial
2945-091-03-018	2457 INDUSTRIAL BLVD	FOLKESTAD THOMAS E	C-2: General Commercial	Village Center	Commercial
2945-091-03-020	2462 INDUSTRIAL BLVD	EARL ELAM LLC	C-2: General Commercial	Village Center	Commercial
2945-091-09-001	571 25 RD	BURTARD GEORGE D	C-2: General Commercial	Village Center	Commercial
2945-091-09-002	2495 W MESA AVE	COX ARLO G	C-2: General Commercial	Village Center	Commercial
2945-091-13-003	2467 COMMERCE BLVD	FAMILY LLC	C-2: General Commercial	Village Center	Commercial
2945-091-18-024	565 25 RD	MARTIN MESA PROPERTIES LLP	C-2: General Commercial	Village Center	Commercial
2945-091-21-006	561 25 RD	GMC6 PROPERTIES LLC	C-2: General Commercial	Village Center	Commercial
2945-091-22-001	2495 INDUSTRIAL BLVD	HEILIG & KUCEL INC	C-2: General Commercial	Village Center	Commercial
2945-091-22-002	2494 W MESA CT	SBTA PROPERTIES LLC	C-2: General Commercial	Village Center	Commercial
2945-091-23-001	2464 HIGHWAY 6 AND 50	GRAND MESA CENTER LLC	C-2: General Commercial	Village Center	Commercial
2945-091-23-002	2466 HIGHWAY 6 AND 50	GRAND MESA CENTER II LLC	C-2: General Commercial	Village Center	Commercial
2945-151-00-941	333 WEST AVE	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-00-095	2531 RIVERSIDE PKWY	GAMBLE MARK L	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-00-941	333 WEST AVE	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-05-005	2523 HIGH COUNTRY CT	DANIELS GEORGE H III	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-05-009	2519 HIGH COUNTRY CT	DANIELS GEORGE H III	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-05-941	2529 HIGH COUNTRY CT	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-38-941	2553 RIVERSIDE PKWY	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-38-942	2549 RIVERSIDE PKWY	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-42-000	2525 HIGH COUNTRY CT	Common Area	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-42-001	2525 HIGH COUNTRY CT #A	ROCKY MOUNTAIN BUILDING CONNECTION LLC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-42-002	2525 HIGH COUNTRY CT #B	KGB LIMITED	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-152-50-001	2530 HIGH COUNTRY CT	COLORADO BEVERAGE DISTRIBUTING INC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-153-00-941	North of Broadway between the Colorado River and White Avenue	CITY OF GRAND JUNCTION	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-154-12-010	742 W WHITE AVE	PARADIS/ROSCOE LLC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-154-13-941	2553 RIVER RD	CITY OF GRAND JUNCTION CITY SHOPS	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial

2945-154-15-002	747 W WHITE AVE	SIMPLICITY SOLAR LLC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-154-15-006	723 W WHITE AVE	SIMPLICITY SOLAR LLC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-154-41-002	635 W WHITE AVE	SIMPLICITY SOLAR LLC	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-154-41-003	633 W WHITE AVE	WDD PROPERTIES LLLP	I-1: Light Industrial	Business Park Mixed Use	Commercial/Industrial
2945-104-00-062	244 INDEPENDENT AVE	GOTHBERG GARY J	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-068	1535 SUNSET LN	POULSON HOLDINGS LLP	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-069	1521 SUNSET LN	WELLS KAREN L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-073	1542 SUNSET LN	PILKENTON MICHAEL A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-074	1552 SUNSET LN	QUINTANA CHERYL A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-081	162 INDEPENDENT AVE	DOROTHY JEAN ROBBINS TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-082	206 INDEPENDENT AVE	LAWSON RICHARD REV TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-087	264 INDEPENDENT AVE	LAURITA JOSEPH D	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-095	326 INDEPENDENT AVE	MCKAGUE PATRICK D	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-098	1532 SUNSET LN	CLICK MARIA A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-099	1542 SUNSET LN	PILKENTON MICHAEL A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-100	344 INDEPENDENT AVE	WOLLIN MATTHEW JAMES	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-00-102	1517 SUNSET LN	SPARKS LEONA L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-003	337 INDEPENDENT AVE	SECRETARY OF HOUSING AND URBAN DEVELOPMENT	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-004	327 INDEPENDENT AVE	JAMESON JOSEPH M	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-005	307 INDEPENDENT AVE	DE ROSE RONALD E	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-006	265 W INDEPENDENT AVE	BARRETT ROBERT E	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-007	245 INDEPENDENT AVE	MOORE CLARICE A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-008	225 INDEPENDENT AVE	MAXSWEEN FRANCIS J	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-009	215 INDEPENDENT AVE	BENTSON BONNIE JANE TRUSTEE	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-010	205 INDEPENDENT AVE	BONNIE J BENTSON LIVING TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-011	139 INDEPENDENT AVE	TRUJILLO PETE S	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-012	129 INDEPENDENT AVE	HOUCK WADE A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-017	130 W KENNEDY AVE	PATSANTARAS TRIAN	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-018	140 W KENNEDY AVE	HIGGINS JOSEPH EDWARD	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-019	204 W KENNEDY AVE	TRUSTY DOROTHY L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-020	214 W KENNEDY AVE	CAPEWELL DAWN L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium

2945-104-13-021	224 W KENNEDY AVE	REID TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-022	244 W KENNEDY AVE	PICKERING VENESSA	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-023	264 W KENNEDY AVE	LAGE MICHAEL L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-024	306 W KENNEDY AVE	WILLIS STACEY	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-025	326 W KENNEDY AVE	COOPER PAUL A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-13-026	336 KENNEDY AVE	AUSTIN DUSTIN L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-14-004	335 W KENNEDY AVE	JACKSON JIMMY L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-14-005	1325 JUNIPER ST	PORTER SYLVIA A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-14-006	1315 JUNIPER ST	MAVRAKIS LLC	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-14-007	1305 JUNIPER ST	WITTMER CLARENCE J	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-001	255 W KENNEDY AVE	JANE CLEVINGER FAMILY TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-002	235 W KENNEDY AVE	MARILUCH KAREN J	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-003	1326 JUNIPER ST	LARSON PETER B	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-004	1325 BALSAM ST	ELLISON NANCY M	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-005	1316 JUNIPER ST	NOE GERALD L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-006	1315 BALSAM ST	BASSETTE JENNIFER L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-007	1306 JUNIPER ST	WEBB DONALD ROY	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-15-008	1305 BALSAM ST	LEGGERO CATHERINE A	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-001	215 W KENNEDY AVE	REID TRUST	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-002	205 W KENNEDY AVE	KNAVEL KENNETH L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-003	139 W KENNEDY AVE	GONZALEZ LUIS	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-004	129 W KENNEDY AVE	BECKER WILLIAM E	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-005	119 W KENNEDY AVE	COMPERE ROBERT L	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-007	140 FRANKLIN AVE	JACKSON ANN MARIE	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-008	1316 BALSAM ST	WALT RICHARD E	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-16-009	1306 BALSAM ST	THORNBURG MARY E	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-19-003	236 INDEPENDENT AVE	CHRISTENSEN DAVID V	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium
2945-104-19-006	220 INDEPENDENT AVE	STRAIGHT ARROW LLC	R-8: Residential 8 (5.5-8 du/acre)	Residential High Mixed Use	Residential Medium

Attach 7
Area 16 Rezone

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
PRESENTER: Brian Rusche, Senior Planner

AGENDA TOPIC: Area 16 Rezone - (RZN-2011-1151)

ACTION REQUESTED: Recommendation to City Council to rezone one (1) parcel located at 3015 D Road from an R-E (Residential Estate) to an R-8 (Residential 8 dwelling units/acre) zone district.

BACKGROUND INFORMATION					
Location:	3015 D Road				
Applicants:	City of Grand Junction				
Existing Land Use:	Undeveloped				
Proposed Land Use:	No changes to land use(s) proposed				
Surrounding Land Use:	North	Single Family and Manufactured Home(s)			
	South	Single Family			
	East	Single Family and Duplex			
	West	Single Family			
Existing Zoning:	R-E (Residential Estate)				
Proposed Zoning:	R-8 (Residential 8 du/ac)				
Surrounding Zoning:	North	County RSF-R (Residential Single-Family Rural)			
	South	County RSF-R (Residential Single-Family Rural)			
	East	County RSF-R (Residential Single-Family Rural)			
	West	County RSF-4 (Residential Single-Family 4 du/ac)			
Future Land Use Designation:	Residential Medium				
Zoning within density range?	X	Yes	No		

PROJECT DESCRIPTION: A request to rezone approximately 4.952 acres, located at 3015 D Road, from an R-E (Residential Estate) to an R-8 (Residential 8 dwelling units/acre) zone district.

RECOMMENDATION: Recommend approval to City Council.

ANALYSIS:

1. Background

The subject property was annexed into the City of Grand Junction on May 9, 2004 as the Landmark Baptist Church Annexation. At the time of the annexation, the property was designated as Estate under the 1996 Growth Plan, which anticipated between 2 to 5 acres per lot. The zoning assigned to the property upon annexation was R-E (Residential Estate).

On April 20, 2005 the Pear Park Neighborhood Plan was amended to designate this property, a part of Special Study Area A, as Residential Medium (RM).

In 2010, the Comprehensive Plan was adopted. The Comprehensive Plan anticipated the need for additional dwelling units based on historic and projected population growth. The adopted Comprehensive Plan – Future Land Use Map maintained the designation of Residential Medium along the south side of D Road east approximately 1/2 mile. Refer to the Comprehensive Plan map included in this report.

After adoption of the Comprehensive Plan, it became apparent that there were areas around the City that had conflicts between the Future Land Use designation of the Comprehensive Plan and the respective zone districts associated with the properties. Each area was evaluated to determine what the best course of action would be to remedy the discrepancy.

The current R-E zoning of this property is in conflict with the Future Land Use designation of RM. RM requires a minimum of 4 dwelling units per acre and can have as high a density of 16 dwelling units per acre. Therefore the requested rezone of this property from R-E to R-8 will bring it into conformance with the Future Land Use designation of Residential Medium.

Property owners were notified of the proposed zone change via a mailed letter and invited to an open house to discuss any issues, concerns, suggestions or support. The open house was held on December 7, 2011. No comment sheets were received regarding the Area 16 proposal.

A representative of the church who owns the property called to discuss the future use of the property as well as the necessary infrastructure. Religious Assembly is permitted in the proposed R-8 zone district. An owner of property on the north side of D Road also called about the request, with questions about future annexation and taxes.

2. Section 21.02.140(a) of the Grand Junction Municipal Code:

In order for the rezoning to occur, the following questions must be answered and a finding of consistency with the Grand Junction Municipal Code must be made per Section 21.02.140(a) as follows:

(1) Subsequent events have invalidated the original premise and findings; and/or

Response: The 2010 adoption of the Comprehensive Plan designated the Future Land Use for this property as Residential Medium (4-8 du/ac), rendering the existing R-E (Residential Estate) zoning inconsistent. The proposed rezone to R-8 (Residential 8 du/ac) will resolve this inconsistency.

This criterion has been met.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

Response: The majority of new subdivisions along D Road has been zoned R-8 (Residential 8 du/ac), including Waters Edge (7.83 du/ac) Monarch Ridge (up to 6.88 du/ac) and John H. Hoffman (6.74 du/ac).

This criterion has been met.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Response: D Road is a minor arterial providing primary east/west access through the Pear Park neighborhood between 29 Road and 32 Road. The Pear Park Neighborhood Plan anticipates restricted access to D Road, to be mitigated with additional east/west streets to be constructed approximately 1/8 mile south. The subject property is of sufficient size and configuration to develop within these constraints.

Adequate infrastructure exists to accommodate, with upgrades as necessary, additional development on this parcel.

This criterion can be met.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

Response: The Pear Park neighborhood has historically seen significant residential development, with an anticipated built-out population of about 22,000 people, according to the Pear Park Neighborhood Plan. There is approximately 212 acres of undeveloped land on Pear Park (28 Road to 32 Road between the railroad and the Colorado River) within the city limits currently zoned R-8. If built at maximum density, this acreage would accommodate 3900 persons.

Since the property is currently owned by a church, it is possible that a religious assembly will be constructed on the property. Currently, there are six (6) known places of worship within the Pear Park Neighborhood.

This criterion is met.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

Response: The proposed R-8 zone district will provide the opportunity for additional development and/or density along an established corridor in an urbanizing area of the valley. Additional density allows for more efficient use of City services and infrastructure, minimizing costs to the City and therefore the community.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Area 16 Rezone, RZN-2011-1151, a request to rezone the properties from an R-E (Residential Estate) to an R-8 (Residential 8 dwelling units/acre) zone district, the following findings of fact and conclusions have been determined:

1. The requested zone is consistent with the goals and policies of the Comprehensive Plan.
2. The review criteria in Section 21.02.140 of the Grand Junction Municipal Code have all been met.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the requested zone, RZN-2011-1151, to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

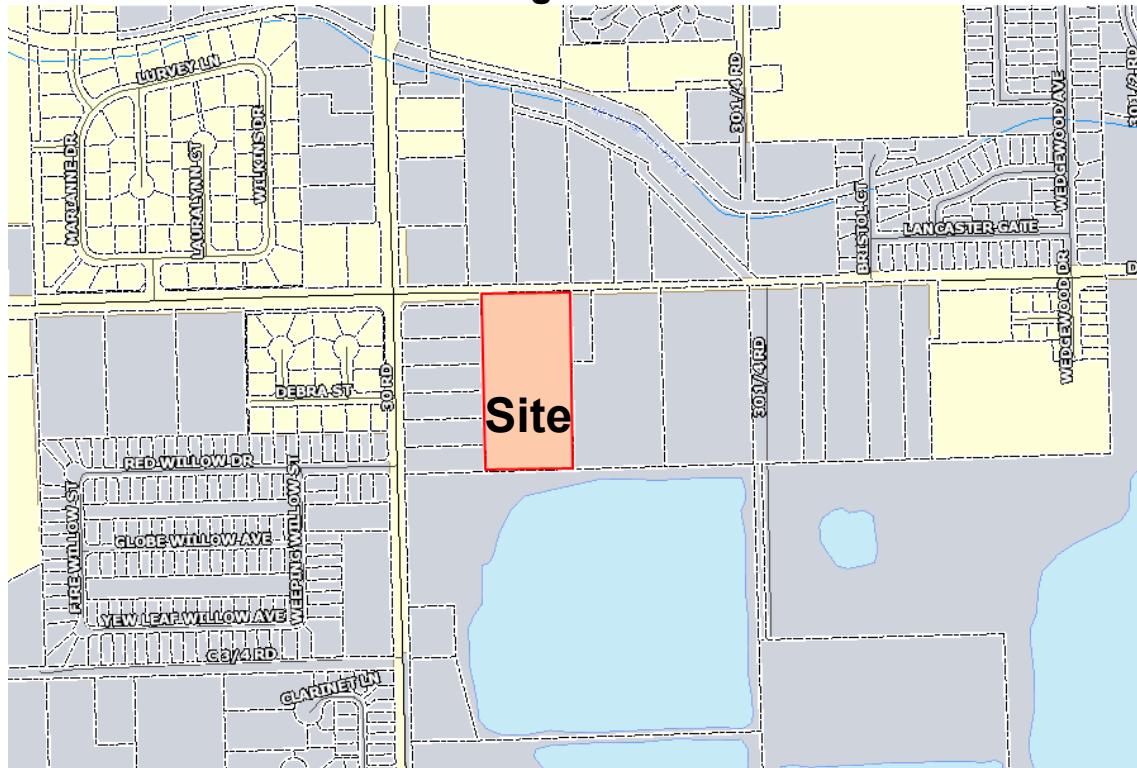
Mr. Chairman, on Rezone, RZN-2011-1151, I move that the Planning Commission forward a recommendation of the approval for the Area 16 Rezone from R-E (Residential Estate) to an R-8 (Residential 8 dwelling units/acre) with the findings of fact and conclusions listed in the staff report.

Attachments:

Site Location Map
Aerial Photo Map
Future Land Use Map
Existing City and County Zoning Map
Blended Residential Map
Proposed Ordinance

Site Location Map

Figure 1



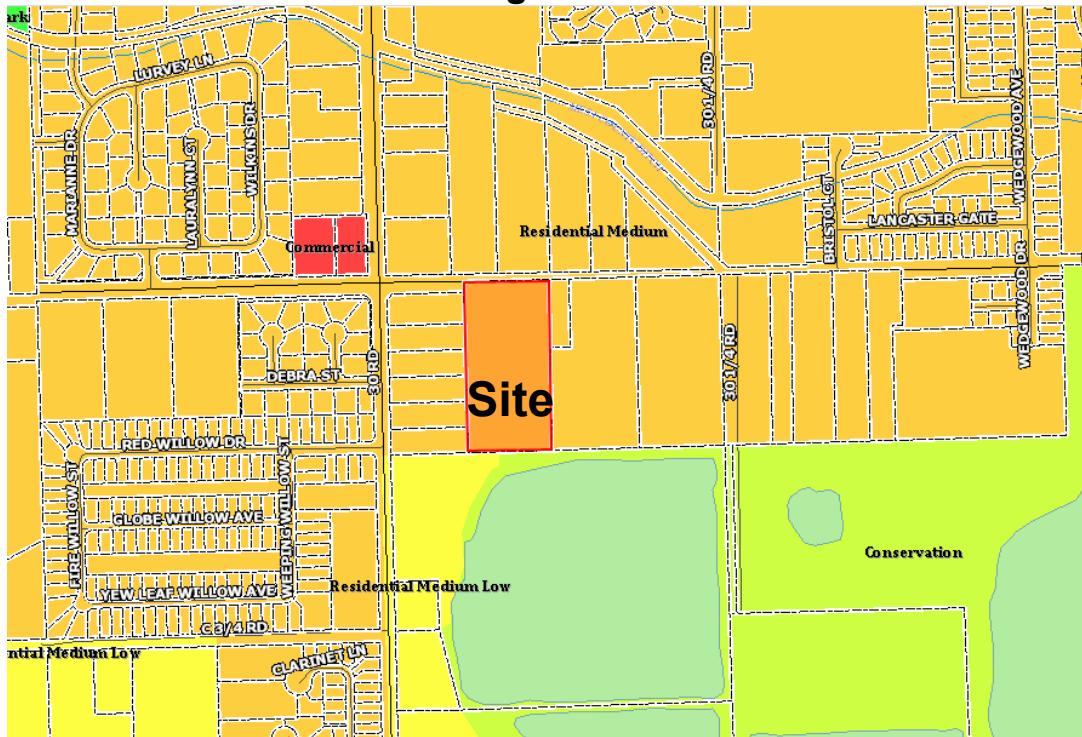
Aerial Photo Map

Figure 2



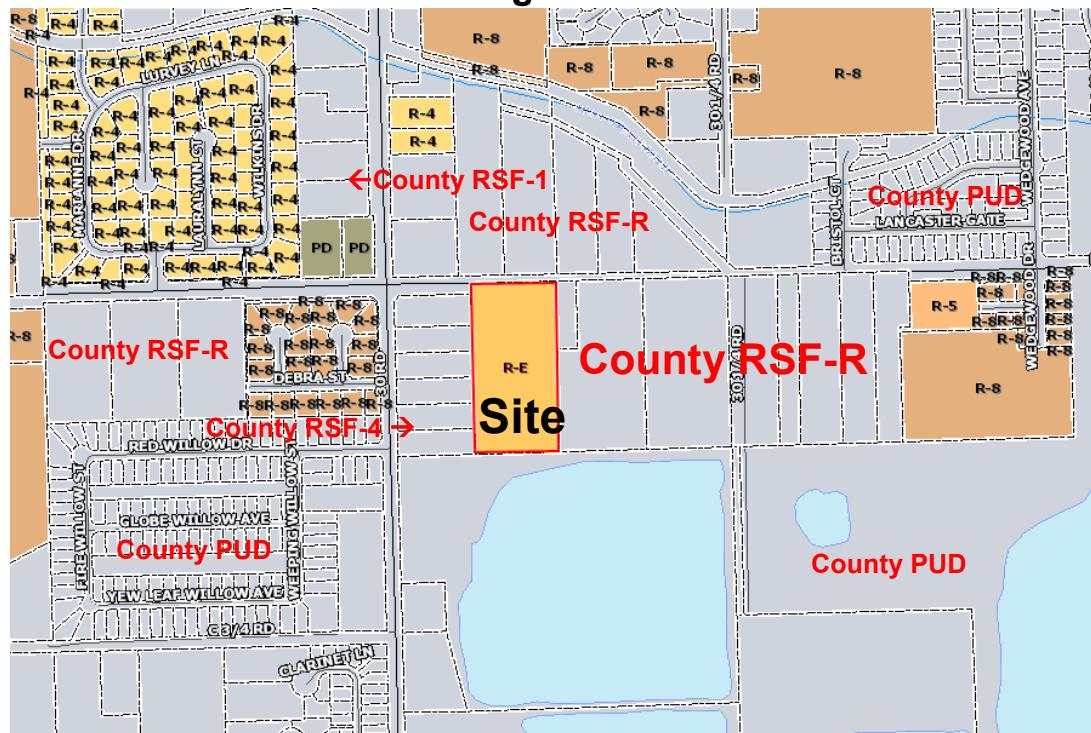
Comprehensive Plan Map

Figure 3



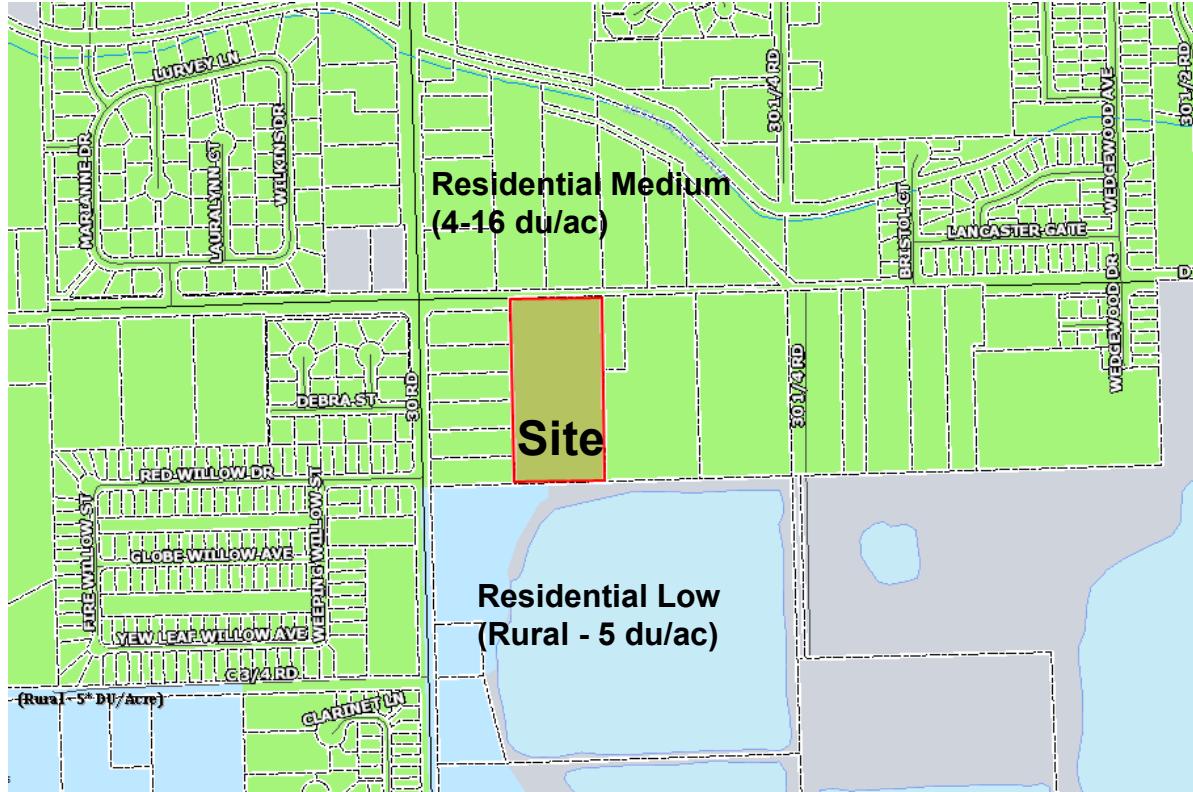
Existing City and County Zoning Map

Figure 4



Blended Map

Figure 5



CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

**AN ORDINANCE REZONING PROPERTY
LOCATED AT 3015 D ROAD
FROM AN R-E (RESIDENTIAL ESTATE)
TO AN R-8 (RESIDENTIAL 8 DWELLING UNITS/ACRE) ZONE DISTRICT**

Recitals.

After public notice and public hearing as required by the Grand Junction Municipal Code, the Grand Junction Planning Commission recommended approval of rezoning the property located at 3015 D Road from an R-E (Residential Estate) to an R-8 (Residential 8 dwelling units/acre) zone district for the following reasons:

The zone district meets the recommended land use category of Residential Medium, as shown on the Future Land Use map of the Comprehensive Plan, and the Comprehensive Plan's goals and policies.

After the public notice and public hearing before the Grand Junction City Council, City Council finds that the **R-8** zone district to be established.

The Planning Commission and City Council find that the **R-8** zoning is in conformance with the stated criteria of Section 21.02.140 of the Grand Junction Municipal Code.

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION
THAT:**

The following property shall be rezoned R-8 (Residential 8 du/ac):

The NW 1/4 of the NW 1/4 of the NW 1/4 of Section 21, Township 1 South, Range 1 East of the Ute Meridian; EXCEPT the West 330.18 feet.

See attached map.

INTRODUCED on first reading the _____ day of _____, 2012 and ordered published in pamphlet form.

PASSED and ADOPTED on second reading the _____ day of _____, 2012 and ordered published in pamphlet form.

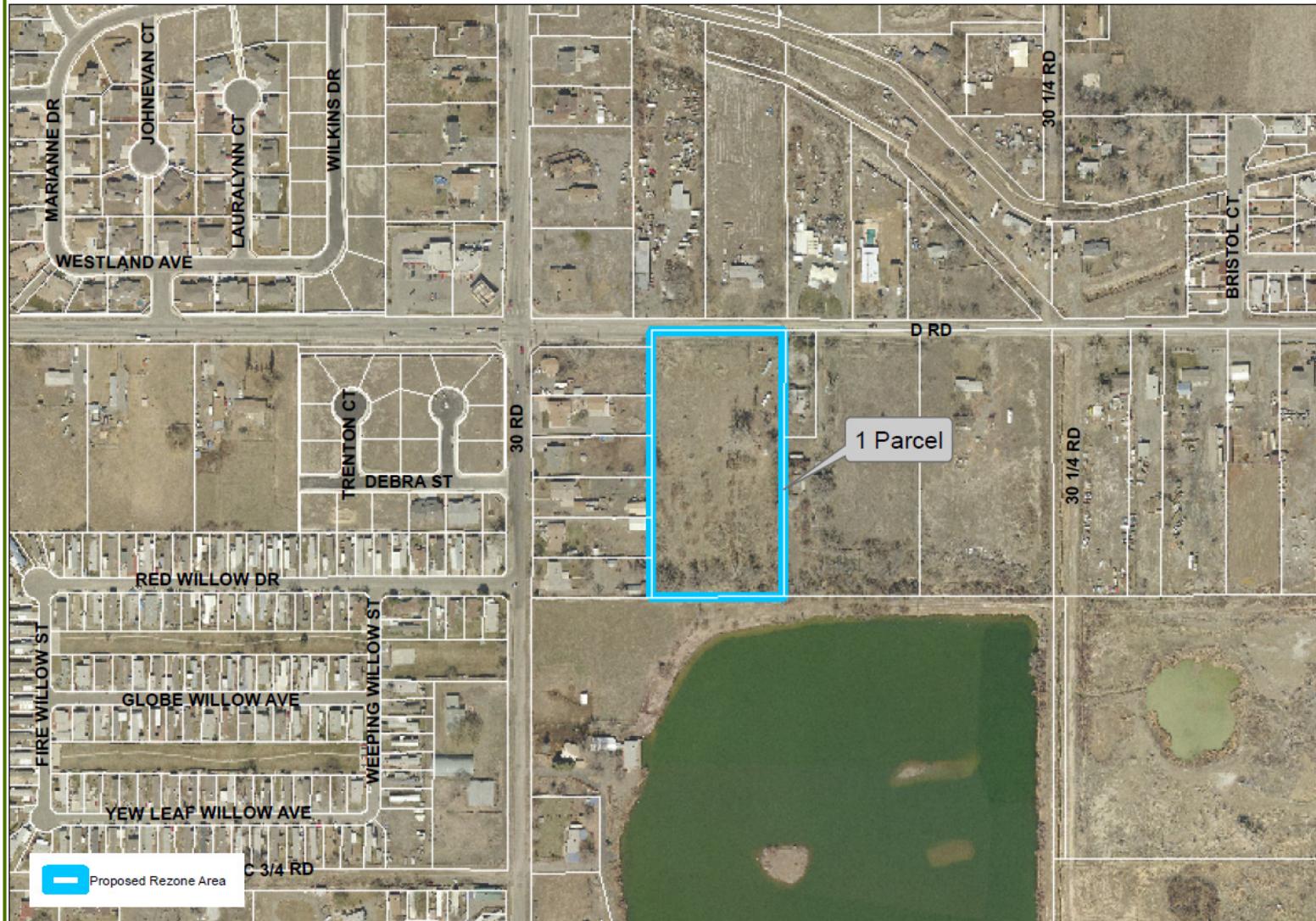
ATTEST:

President of the Council

City Clerk

Proposed Rezone - Area 16

Grand Junction



Rezone Area from R-E (Estate) to R-8 (5.5-8 units/acre)

Attach 8
Area 11 Rezone

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
PRESENTER: Scott D. Peterson

AGENDA TOPIC: Area 11 Rezone – (RZN-2011-1212)

ACTION REQUESTED: Recommendation to City Council to rezone 201 properties located generally east of N. 22nd Street and west of 28 Road, between Grand and Hill Avenues from R-8, (Residential – 8 du/ac) to R-12, (Residential – 12 du/ac).

BACKGROUND INFORMATION							
Location:	East of N. 22 nd Street and west of 28 Road, between Grand and Hill Avenues						
Applicant:	City of Grand Junction						
Existing Land Use:	Single-family residential (detached), Two-family residential and Multi-family residential						
Proposed Land Use:	N/A						
Surrounding Land Use:	North	Park East Apartments, Eagle Ridge of Grand Valley, Garden Village Apartments and Lincoln Park Golf Course					
	South	School District bus facility, Single-family residential (detached) and Multi-family residential					
	East	Vacant commercial land and Garden Village Apartments					
	West	Single-family residential (detached), Multi-family residential and Lincoln Park Golf Course					
Existing Zoning:	R-8 (Residential – 8 du/ac)						
Proposed Zoning:	R-12 (Residential – 12 du/ac)						
Surrounding Zoning:	North	R-24 (Residential – 24 du/ac) and CSR (Community Services and Recreation)					
	South	C-2 (General Commercial) and R-O (Residential Office)					
	East	C-1 (Light Commercial) and R-24 (Residential – 24 du/ac)					
	West	R-8 (Residential – 8 du/ac), R-16 (Residential – 16 du/ac) and CSR (Community Services and Recreation)					
Future Land Use Designation:	Residential Medium High (8 – 16 du/ac)						
Zoning within density range?	X	Yes		No			

PROJECT DESCRIPTION: A request to rezone 37.25 +/- acres (201 properties), located generally east of N. 22nd Street and west of 28 Road, between Grand and Hill Avenues, from R-8, (Residential – 8 du/ac) to R-12, (Residential – 12 du/ac) zone district.

RECOMMENDATION: Recommend approval to City Council.

ANALYSIS:

1. Background:

In 2010, the current Comprehensive Plan was adopted by the City and the corresponding Future Land Use Map designation for these 201 properties was designated as Urban Residential Mixed Use (24+ du/ac). This land use designation allows and assumes a neighborhood of very high density of 24 dwelling units per acre or greater and limited retail/commercial businesses. After a year of working with the new Comprehensive Plan, it was determined that the Urban Residential Mixed Use designation would allow too much density and nonresidential development in the neighborhood than what was desired. In October, 2011 City Council approved a Comprehensive Plan amendment to change (lower) the future land use designation to Residential Medium High which allows a density of 8-16 dwelling units per acre and limited office type uses (R-O, Residential Office zone district).

In the late summer and early fall of 2011 during workshop discussions with City Council the overall density objectives of the Comprehensive Plan were discussed citing that increasing density in this area was important due to its location within the City Center area and should be sought for this neighborhood. In addition, the Comprehensive Plan's Guiding Principle of achieving a wider range of housing variety can be achieved through increased density. At these workshops, Council discussed R-16 zoning, determining that R-16 was too much density for this existing neighborhood and concluded that R-12 zoning would be a better zone district to propose.

The properties are presently zoned R-8, (Residential – 8 du/ac) which is at the low end of the Comprehensive Plan Future Land Use designation as far as maximum residential density allowed. City Planning staff, however would like to request that the density for this area be increased to at least the middle of the Comprehensive Plan Future Land Use density range of 8 – 16 dwelling units/acre to allow for potential future residential development at a higher density than what currently would be allowed. The area is located within the City Center and is in close proximately to schools, hospitals, retail business, restaurants, transportation, and employers. Furthermore, the proposed R-12 zoning meets the goals of the Comprehensive Plan (Goals 4 & 5) to support the continued development of the City Center area and provide a broader variety or mix of housing types and take advantage of the existing infrastructure in a walkable area of the community.

The area is generally surrounded by higher residential density and commercial zoning on three sides (R-16, R-24, C-1, C-2 and R-O – see attached Zoning Map). The west

boundary is R-8 and CSR which is one reason the R-12 zoning is proposed rather than the R-16. This provides for better transitioning of densities as recommended in the Comprehensive Plan.

The property owners were notified of the proposed rezone change via mail and invited to an Open House which was conducted on December 7, 2011 to discuss any issues, concerns, suggestions or support for the rezone request. The general sentiment from the neighborhood and adjacent property owners was to leave the existing zoning as is since the area is fully developed and predominantly made up of single-family residential detached, two-family dwellings and multi-family family residential. Overall estimated residential density for the area as it exists today, not including right-of-way is 6.36 +/- du/ac and 4.80 +/- du/ac including right-of-way.

2. Section 21.02.140 of the Grand Junction Zoning and Development Code:

Zone requests must meet all of the following criteria for approval:

(1) Subsequent events have invalidated the original premise and findings; and/or

Response: The existing 201 parcels are currently zoned R-8, (Residential – 8 du/ac), however the Comprehensive Plan Future Land Use Map identifies the properties as Residential Medium High (8 – 16 du/ac). The existing zoning is at the low end of the Comprehensive Plan designation as far as density. The proposed rezone to R-12, (Residential – 12 du/ac) will bring the properties more into compliance with the existing Comprehensive Plan designation and allow for the potential and interjection of future residential growth opportunities in the City Center.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

Response: The character and/or condition of the area have changed little over the years as the area has developed as a detached single-family residential neighborhood with a few multi-family residential developments. The proposed R-12 zone district would enable existing and future property owners to provide additional housing with minimal impact to the existing neighborhood.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Response: The area has fully constructed streets, water, sewer and storm sewer. The area is located within the City Center and is centrally located for ease of access to schools, transportation, shopping, medical facilities and to all areas of the community.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

Response: The adopted Comprehensive Plan has identified this area for increased density and housing. The proposed zoning request is in compliance with the Comprehensive Plan Future Land Use Map designation of Residential Medium High (8 – 16 du/ac) and will provide the opportunity for a broader mix of housing types.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

Response: The proposed R-12 zone district will provide the opportunity, at some future point, for additional residential density within the City Center, consistent with goals and policies of the Comprehensive Plan. Higher densities allow for more efficient use of City services and infrastructure, minimizing costs to the City and also the community.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Area 11 Rezone, RZN-2011-1212, a request to rezone 201 properties from R-8, (Residential – 8 du/ac) to R-12, (Residential – 12 du/ac), the following findings of fact and conclusions have been determined:

1. The requested zone is consistent with the goals and policies of the Comprehensive Plan.
2. The review criteria in Section 21.02.140 of the Grand Junction Zoning and Development Code have all been met.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the requested zone, City file# RZN-2011-1212, to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

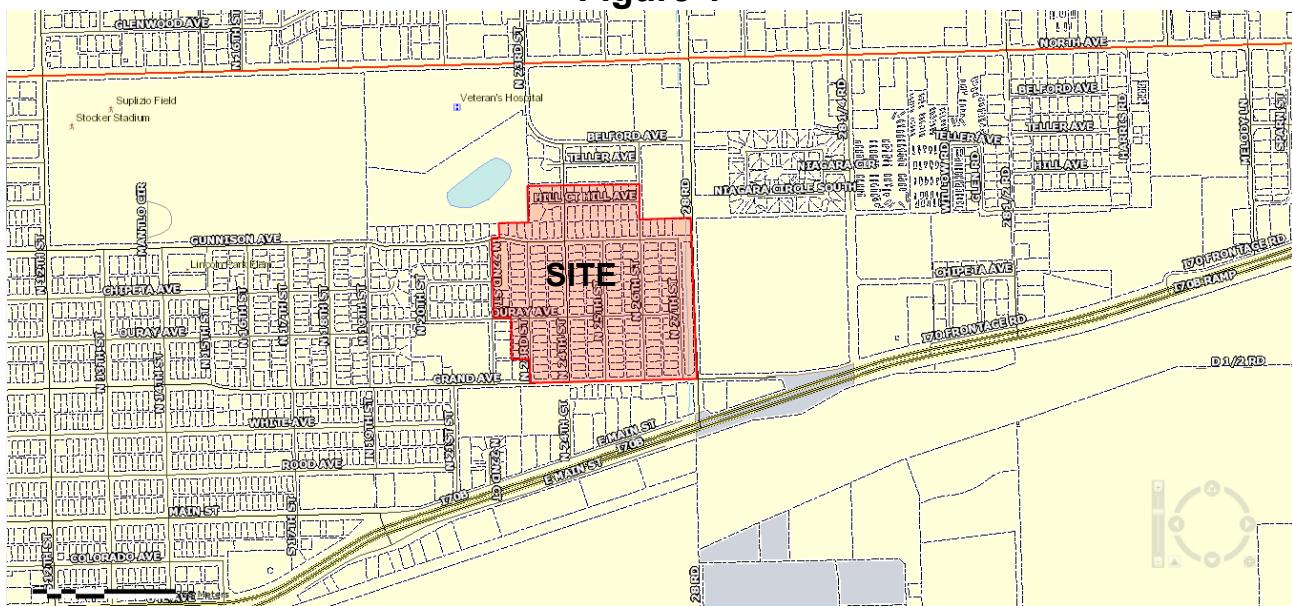
Mr. Chairman, on Rezone, RZN-2011-1212, I move that the Planning Commission forward a recommendation of the approval for the Area 11 Rezone from R-8, (Residential – 8 du/ac) to R-12, (Residential – 12 du/ac) with the findings of fact, conclusions, and conditions listed in the staff report.

Attachments:

Site Location Map / Aerial Photo Map
Comprehensive Plan Map / Blended Residential Map
Existing City Zoning Map
Ordinance

Site Location Map – Area 11

Figure 1



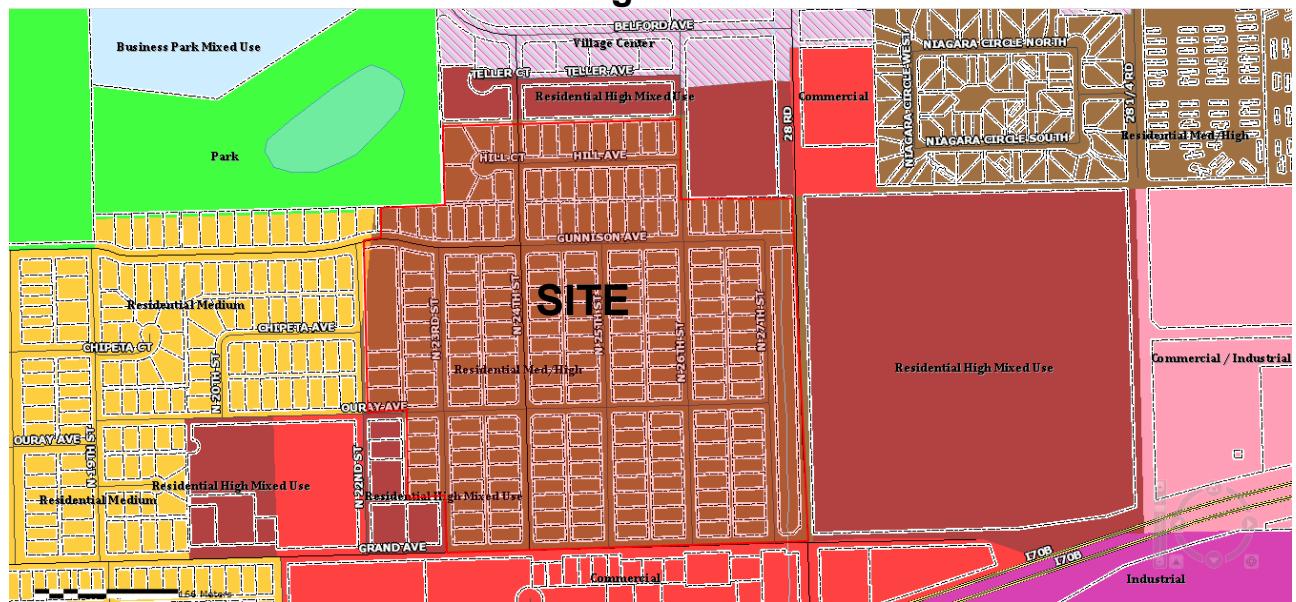
Aerial Photo Map – Area 11

Figure 2



Comprehensive Plan – Area 11

Figure 3



Blended Residential Map

Figure 4



Existing City Zoning

Figure 5



CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

AN ORDINANCE REZONING 201 PROPERTIES FROM R-8, (RESIDENTIAL – 8 DU/AC) TO R-12, (RESIDENTIAL – 12 DU/AC)

**GENERALLY LOCATED EAST OF N. 22nd STREET AND WEST OF 28 ROAD,
BETWEEN GRAND AND HILL AVENUES**

Recitals.

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of rezoning 201 properties from R-8, (Residential – 8 du/ac) to the R-12, (Residential – 12 du/ac) zone district for the following reasons:

The zone district meets the recommended land use category as shown on the future land use map of the Comprehensive Plan, Residential Medium High (8 – 16 du/ac) and the Comprehensive Plan's goals and policies and/or is generally compatible with appropriate land uses located in the surrounding area.

After the public notice and public hearing before the Grand Junction City Council, City Council finds that the R-12, (Residential – 12 du/ac) zone district to be established.

The Planning Commission and City Council find that the R-12, (Residential – 12 du/ac) zoning is in conformance with the stated criteria of Section 21.02.140 of the Grand Junction Municipal Code.

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION
THAT:**

The following properties shall be rezoned R-12, (Residential – 12 du/ac).

See attached map.

Introduced on first reading this _____ day of _____, 2012 and ordered published in pamphlet form.

Adopted on second reading this _____ day of _____, 2012 and ordered published in pamphlet form.

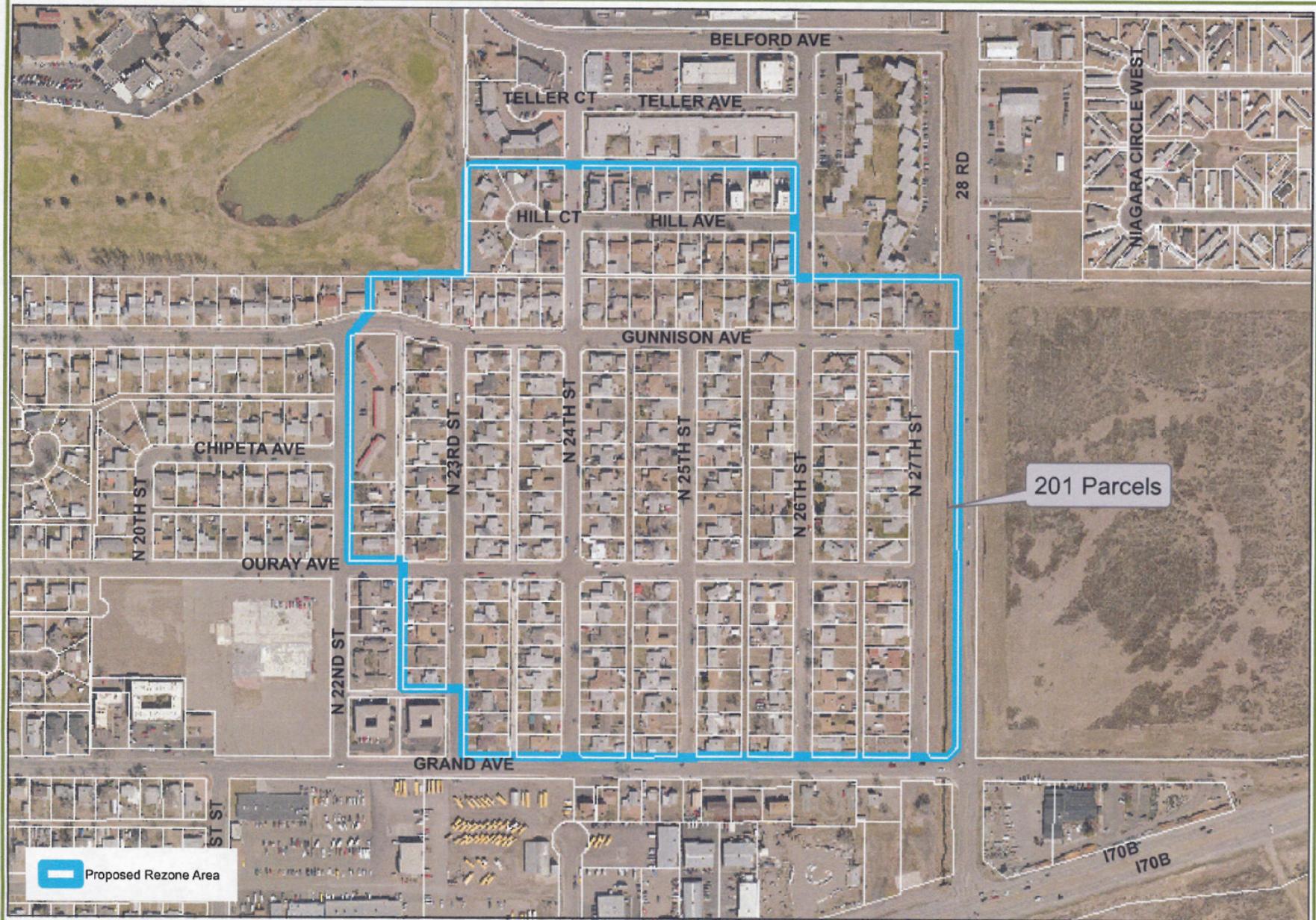
ATTEST:

City Clerk

Mayor

Proposed Rezone - Area 11

Grand Junction
City of Grand Junction



Rezone Area from R-8 (5.5-8 units/acre) to R-12 (8-12 units/acre)

Attach 9
Area 2 Rezone

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
PRESENTER: Senta L. Costello

AGENDA TOPIC: Area 2 Rezone – (RZN-2011-1216)

ACTION REQUESTED: Recommendation to City Council to rezone 14 properties located south and west of the G Road and 24 1/2 Road intersection from R-12 (Residential 12 dwellings/acre) to R-24 (Residential 24 dwellings/acre).

BACKGROUND INFORMATION							
Location:	South and west of the G Road and 24 1/2 Road intersection						
Applicants:	City of Grand Junction						
Existing Land Use:	Single Family, Agriculture						
Proposed Land Use:	No changes to land uses proposed						
Surrounding Land Use:	North	Single Family, Church, Agriculture					
	South	Single Family, Agriculture					
	East	Single Family, Multi-Family, Nursery					
	West	Agriculture					
Existing Zoning:	R-12 (Residential 12 du/ac)						
Proposed Zoning:	R-24 (Residential 24 du/ac)						
Surrounding Zoning:	North	PD (Residential 5.8 du/ac)/R-4 (Residential 4 du/ac)					
	South	R-24 (Residential 24 du/ac)/C-1 (Light Commercial)					
	East	PD (Residential 9.7 du/ac)/R-8 (Residential 8 du/ac)					
	West	M-U (Mixed Use)					
Future Land Use Designation:	Urban Residential High Mixed-Use						
Zoning within density range?	X	Yes		No			

PROJECT DESCRIPTION: A request to rezone approximately 64 acres, located south and west of the G Road and 24 1/2 Road intersection, from R-12 (Residential 12 dwellings/acre) zone district to R-24 (Residential 24 dwellings/acre) zone district.

RECOMMENDATION: Recommend approval to City Council.

ANALYSIS:

1. Background

The property within the Area 2 rezone boundary was annexed into the City in 1995 as part of the Northwest Enclave annexation and zoned RSF-R. In 2000, a City wide rezone was completed to implement the Grow Plan Future Land Use designations. The property was rezoned to R-12 to match the Residential Medium High Growth Plan category.

In 2010, the Comprehensive Plan was adopted which included new Future Land Use designations throughout the City. The properties in Area 2 were changed to Urban Residential High Mixed Use. The R-12 zone district does not implement the Urban Residential High Mixed Use category, creating a conflict between the Comprehensive Plan FLU designation and the zone district.

The proposal to eliminate the conflict is rezoning the properties to a R-24 (Residential 24 du/ac) zone district which is allowed within the Urban Residential High Mixed Use category.

There are 2 properties in between the 2 areas that make up the Area 2 rezone. These properties received a Growth Plan Amendment from Residential Medium High to Residential High and rezone from R-12 to R-24 in February 2010.

The property owners were notified of the proposed rezone change via mail and invited to an Open House which was conducted on December 7, 2011 to discuss any issues, concerns, suggestions or support for the rezone request. No comments were or have been submitted.

2. Section 21.02.140(a) of the Grand Junction Municipal Code:

In order for the zoning to occur, the following questions must be answered and a finding of consistency with the Grand Junction Municipal Code must be made per Section 21.02.140(a) as follows:

(1) Subsequent events have invalidated the original premise and findings; and/or

Response: With the adoption of the Comprehensive Plan, the current zone district is no longer a valid option. Rezoning the properties to R-24 would bring them into compliance with the Comprehensive Plan.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

Response: There has not been any change in the character or condition of the area.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Response: The area has sanitary sewer service, Ute water service, and trash and recycle pick-up. The area is centrally located for ease of access for emergency and delivery services, transit, shopping, restaurants and other service business.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

Response: There is approximately 102 acres within the city limits currently zoned R-12. This equates to less than 1% of the total acreage of zoned parcels within the city limits (21,200 acres). The Comprehensive Plan process also identified the need for increased housing and density in this area.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

Response: The proposed R-24 zone district will provide the opportunity for additional density within the central core of the urbanized area of the valley, consistent with Comprehensive Plan. Higher densities allow for more efficient use of City services and infrastructure, minimizing costs to the City and therefore the community.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Area 2 Rezone, RZN-2011-1216, a request to rezone the property from R-12 (Residential 12 dwellings/acre) to R-24 (Residential 24 dwellings/acre), the following findings of fact and conclusions have been determined:

1. The requested zone is consistent with the goals and policies of the Comprehensive Plan.
2. The review criteria in Section 02.140 of the Grand Junction Municipal Code have been met.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the requested zone, RZN-2011-1216, to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

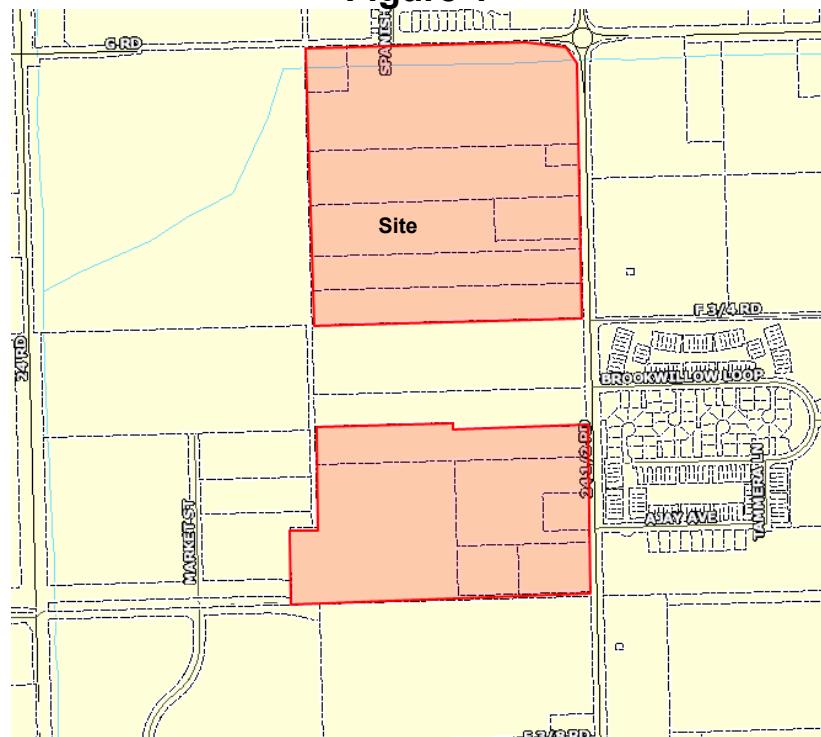
Mr. Chairman, on Rezone, RZN-2011-1216, I move that the Planning Commission forward a recommendation of the approval for the Area 2 Blue Rezone from R-12 (Residential 12 dwellings/acre) to R-24 (Residential 24 dwellings/acre) with the findings of fact, conclusions, and conditions listed in the staff report.

Attachments:

Site Location Map / Aerial Photo Map
Future Land Use Map / Existing City Zoning Map
Blended Residential Map
Ordinance

Site Location Map

Figure 1



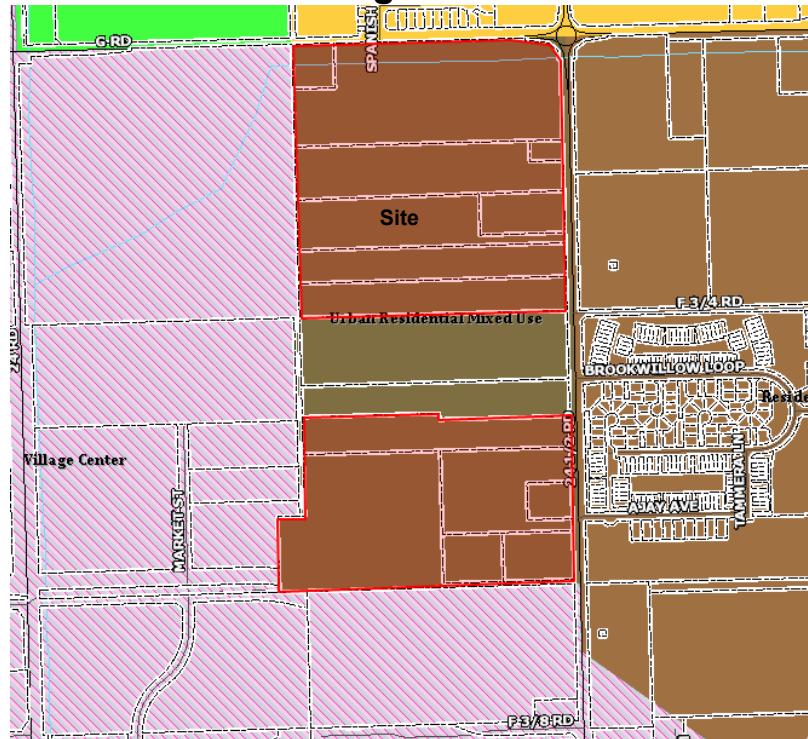
Aerial Photo Map

Figure 2



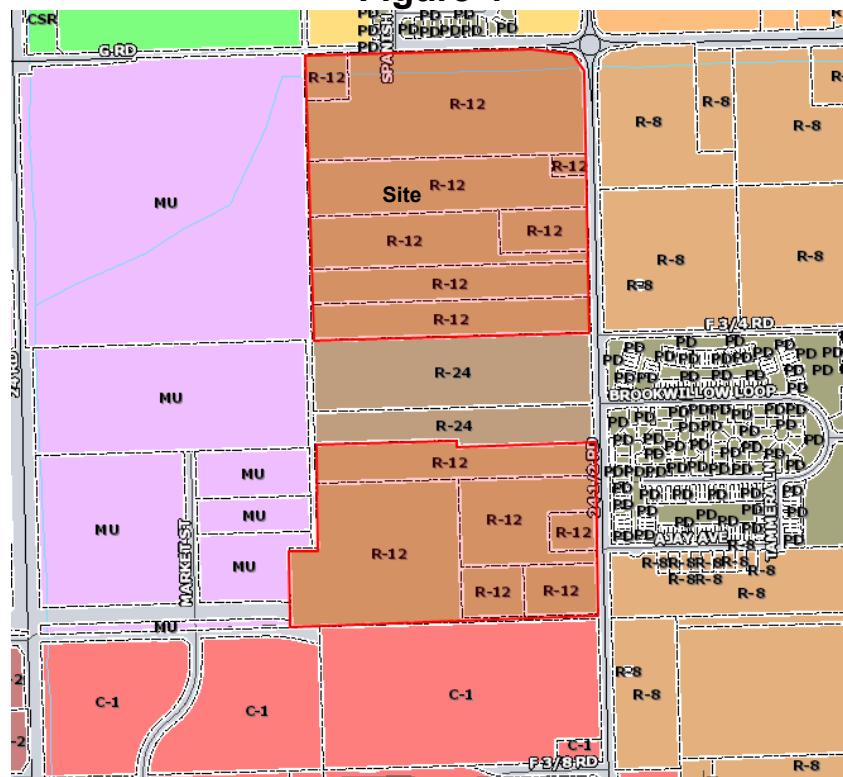
Comprehensive Plan Map

Figure 3



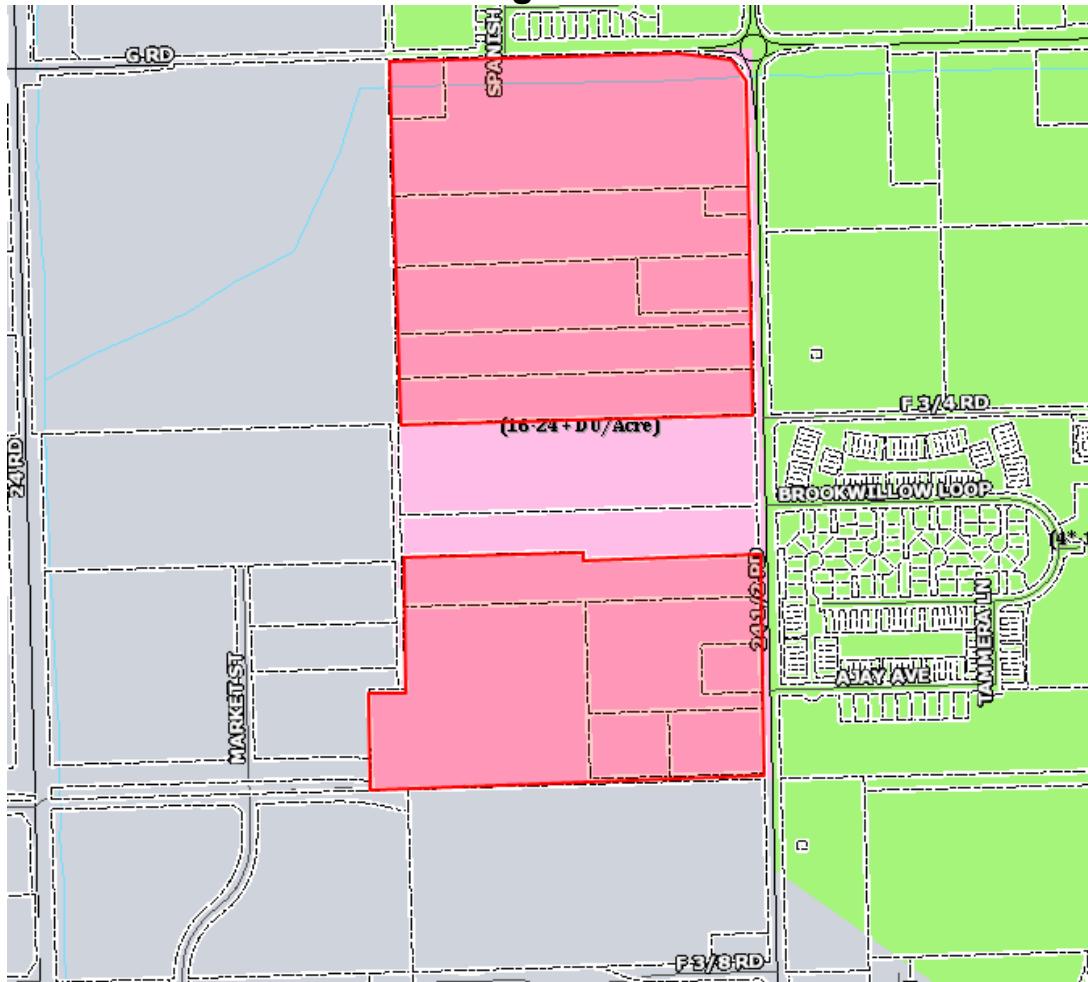
Existing City Zoning Map

Figure 4



Blended Map

Figure 5



CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

AN ORDINANCE REZONING 14 PROPERTIES FROM R-12 (RESIDENTIAL 12 DWELLINGS/ACRE) TO R-24 (RESIDENTIAL 24 DWELLINGS/ACRE)

LOCATED SOUTH AND WEST OF THE G ROAD AND 24 1/2 ROAD INTERSECTION

Recitals.

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of rezoning 14 properties from R-12 (Residential 12 dwellings/acre) to the R-24 (Residential 24 dwellings/acre) zone district for the following reasons:

The zone district meets the recommended land use category as shown on the future land use map of the Comprehensive Plan, Residential Medium High and the Comprehensive Plan's goals and policies and/or is generally compatible with appropriate land uses located in the surrounding area.

After the public notice and public hearing before the Grand Junction City Council, City Council finds that the **R-24** zone district to be established.

The Planning Commission and City Council find that the **R-24** zoning is in conformance with the stated criteria of Section 21.02.140 of the Grand Junction Municipal Code.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT:

The following property shall be rezoned R-24 (Residential 24 du/ac).

See attached map.

Introduced on first reading this _____ day of _____, 2012 and ordered published.

Adopted on second reading this _____ day of _____, 2012.

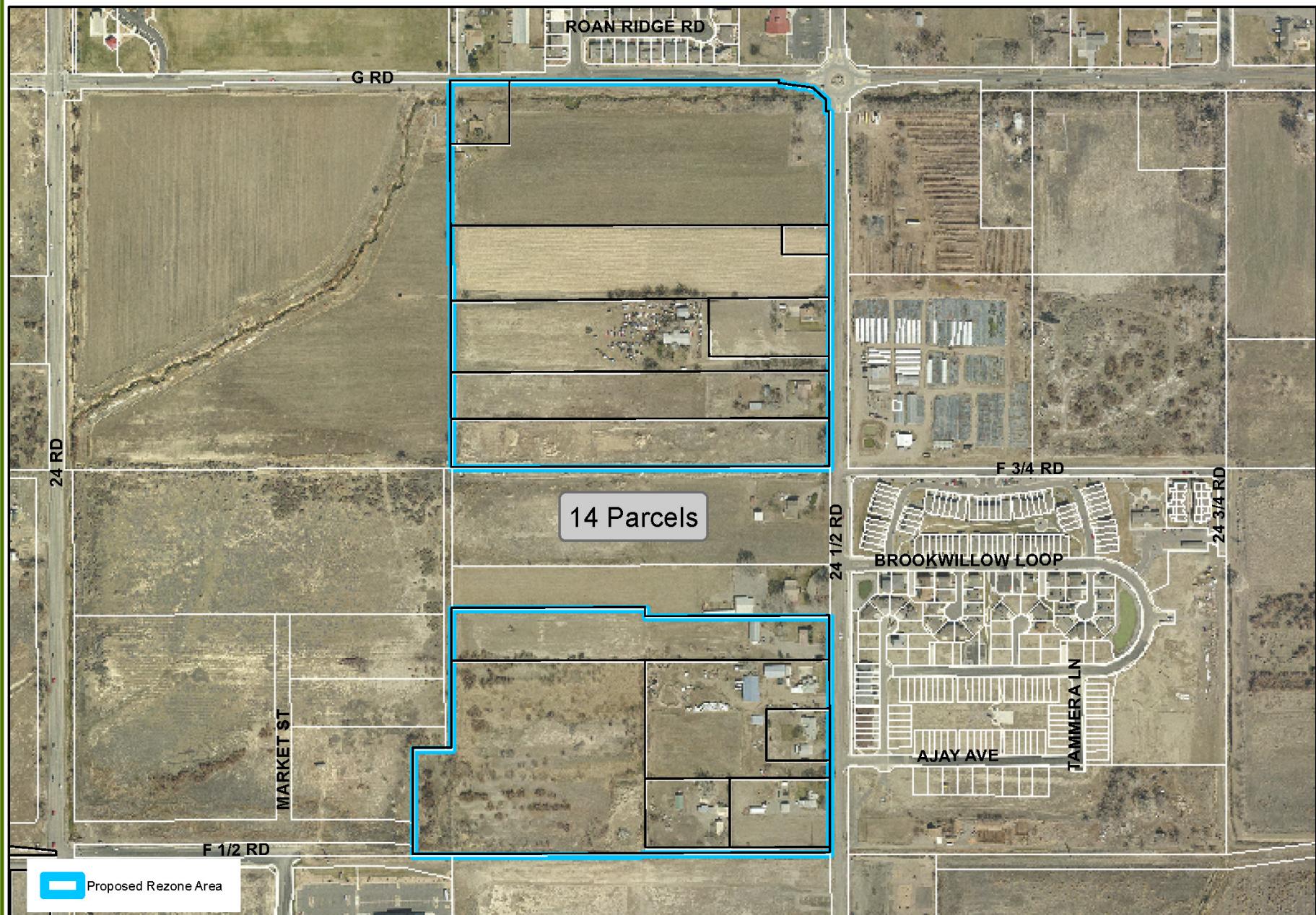
ATTEST:

City Clerk

Mayor

Proposed Rezone - Area 2

Grand Junction
SELECT PLANNING



Rezone Area from R-12 (8-12 units/acre) to R-24 (16-24 units/acre)

PLATINUM ID: OCTOBER 24, 2011
THE CITY AND COUNTY OF GRAND JUNCTION, COLORADO, PRESENTS THE PLATINUM ID: OCTOBER 24, 2011
INFORMATION LOCATED ON THE CITY AND COUNTY OF GRAND JUNCTION, COLORADO, WEBSITE
www.gjgov.com

Attach 10
Area 4 Rezone

CITY OF GRAND JUNCTION
PLANNING COMMISSION

MEETING DATE: February 14, 2012
PRESENTER: Lori V. Bowers

AGENDA TOPIC: Area 4 Rezone – (RZN-2011-1219)

ACTION REQUESTED: Recommendation to City Council to rezone properties located at 2608 and 2612 G Road; 719, 721, 725 and 726 26 Road and an unaddressed Parcel, Directly North of 725 26 Road (Tax Number 2701-344-00-022) from R-2 (Residential – 2 units per acre) to R-4 (Residential – 4 units per acre).

BACKGROUND INFORMATION					
Location:	2608 and 2612 G Road; 719, 720, 721, 725, and 726 26 Road				
Applicants:	City of Grand Junction				
Existing Land Use:	Large Lot Residential				
Proposed Land Use:	N/A				
Surrounding Land Use:	North	Residential			
	South	Residential			
	East	Residential			
	West	Residential			
Existing Zoning:	R-2 (Residential – 2 units per acre)				
Proposed Zoning:	R-4 (Residential – 4 units per acre)				
Surrounding Zoning:	North	R-4 (Residential – 4 units per acre)			
	South	R-1 (Residential – 1 unit per acre)			
	East	R-2 (Residential – 2 units per acre)			
		R-4 (Residential – 4 units per acre)			
	West	R-5 (Residential – 5 units per acre)			
Future Land Use Designation:	R-2 (Residential – 2 units per acre)				
Zoning within density range?		Yes	<input checked="" type="checkbox"/> No		

PROJECT DESCRIPTION: A request to rezone eight (8) parcels, totaling 42.79 acres, located at 2608 and 2612 G Road; 719, 721, 725, 726 26 Road, and one addressed lot directly North of 725 26 Road with a tax parcel number 2701-344-00-022, from R-2 (Residential – 2 units per acre) to R-4 (Residential – 4 units per acre) zone district.

RECOMMENDATION: Recommend approval to City Council.

ANALYSIS:

1. Background

The Comprehensive Plan adopted in 2010 took into account the need for additional dwelling units based on historic and projected population growth. The adopted Comprehensive Plan – Future Land Use Map changed the designation for these properties to Residential Medium (4-8 du/ac.). Please refer to the Comprehensive Plan map included in this report.

After the Comprehensive Plan was adopted it became apparent that the zoning of some properties were in conflict with the new Future Land Use designation. These conflicts were created because the zoning did not match the Future Land Use designation. This is especially true in Area 4. The subject eight (8) parcels were part of the G Road North Annexation; annexed in 2000. This annexation area was an enclave annexation consisting of 383 acres of land. At the time the City annexed the land with the existing County zoning in place, realizing when these properties redeveloped they would need to be rezoned to be consistent with the existing Growth Plan at that time. Now we have a new Comprehensive Plan and the subject parcels still remain under-zoned.

Since the 2000 annexation, one by one larger parcels surrounding the subject site have been rezoned and subdivided, such as Fox Run, The Estates and Blue Heron Subdivisions, located to the North and West. To the East, the 2620 G Road Subdivision was platted in 2002. Some subdivisions to the North were approved but never platted, such as Jacobson's Pond and Ruby Ranch subdivisions.

The remaining eight (8) parcels known as Area 4, total 41.27 acres. The parcels range in size 0.84 acres to 24.43 acres. Four of the parcels are located on the West side of 26 Road and two parcels are located on the East side of 26 Road. The other two parcels abut G Road. The Grand Valley Canal abuts the Western side of six of the properties. Of the eight parcels, two remain vacant. The property owners were notified by mail. Staff received one phone call, in favor of the proposed rezone.

2. Section 21.02.140 of the Grand Junction Municipal Code

Zone requests must meet all of the following criteria for approval:

(1) Subsequent events have invalidated the original premise and findings; and/or

Response: The proposed rezone will alleviate the conflict between the current zoning and the Future Land Use Map of the Comprehensive Plan.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

Response: Development has occurred around the subject parcels. The rezone will be consistent with the other properties that have been rezoned in this area.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Response: Adequate public facilities and services currently exist and may be extended for future development in this infill area.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

Response: N/A

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

Response: The proposed amendment will bring the zoning into conformance with the Comprehensive Plan.

FINDINGS OF FACT/CONCLUSIONS:

After reviewing the Area 4 Rezone, RZN-2011-1219, a request to rezone the property from R-2 (Residential – 2 units per acre) to R-4 (Residential – 4 units per acre), the following findings of fact and conclusions have been determined:

1. The requested zone is consistent with the goals and policies of the Comprehensive Plan.
2. The review criteria in Section 21.02.140 of the Grand Junction Municipal Code have all been met.

STAFF RECOMMENDATION:

I recommend that the Planning Commission forward a recommendation of approval of the requested zone, RZN-2011-1219, to the City Council with the findings and conclusions listed above.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on the Rezone RZN-2011-1219, I move that the Planning Commission forward a recommendation of the approval for the Area 4 Rezone from R-2 to R-4 with the findings of fact, and conclusions listed in the staff report.

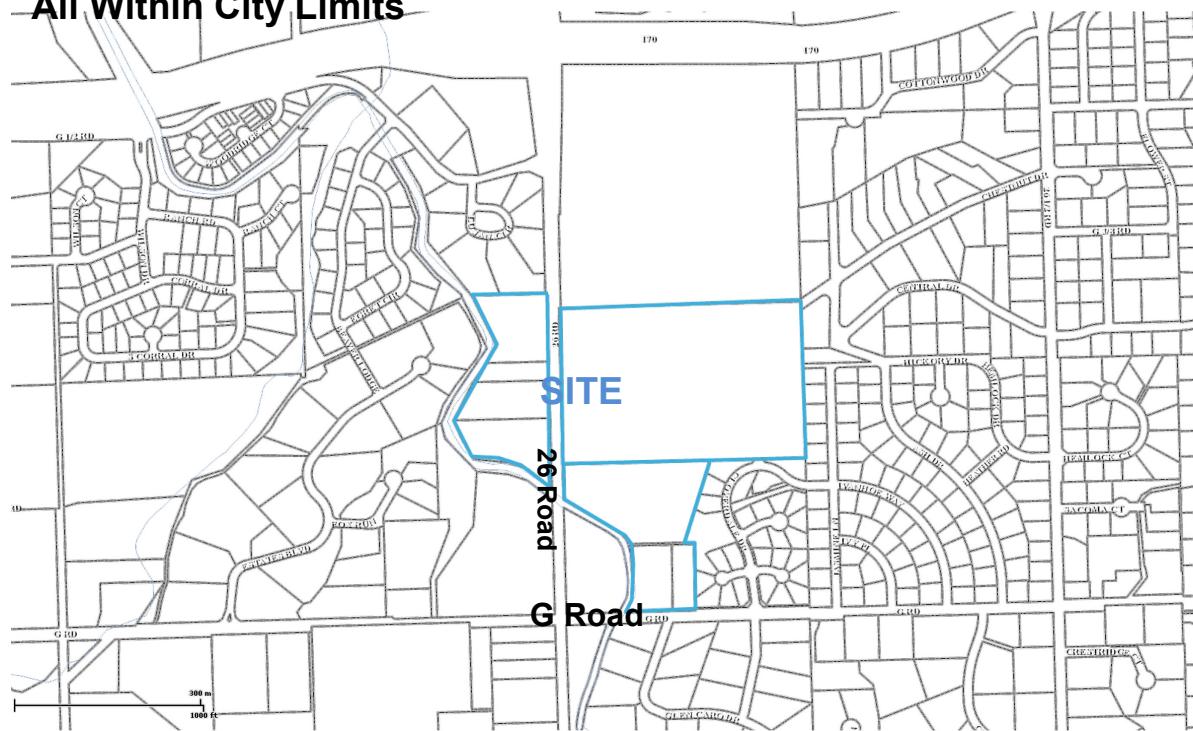
Attachments:

Site Location Map / Aerial Photo Map
Comprehensive Plan Map / Existing City Zoning Map
Blended Residential Map
Ordinance

Site Location Map

All Within City Limits

Area 4



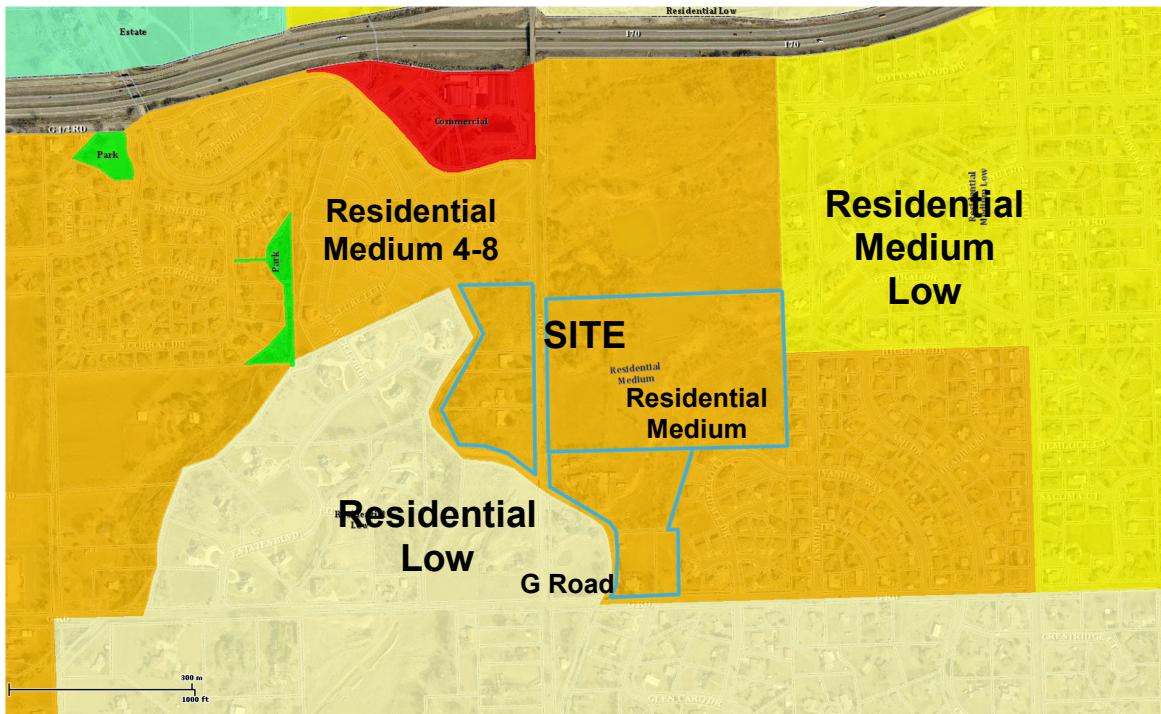
Aerial Photo Map

Area 4



Comprehensive Plan Map

Area 4

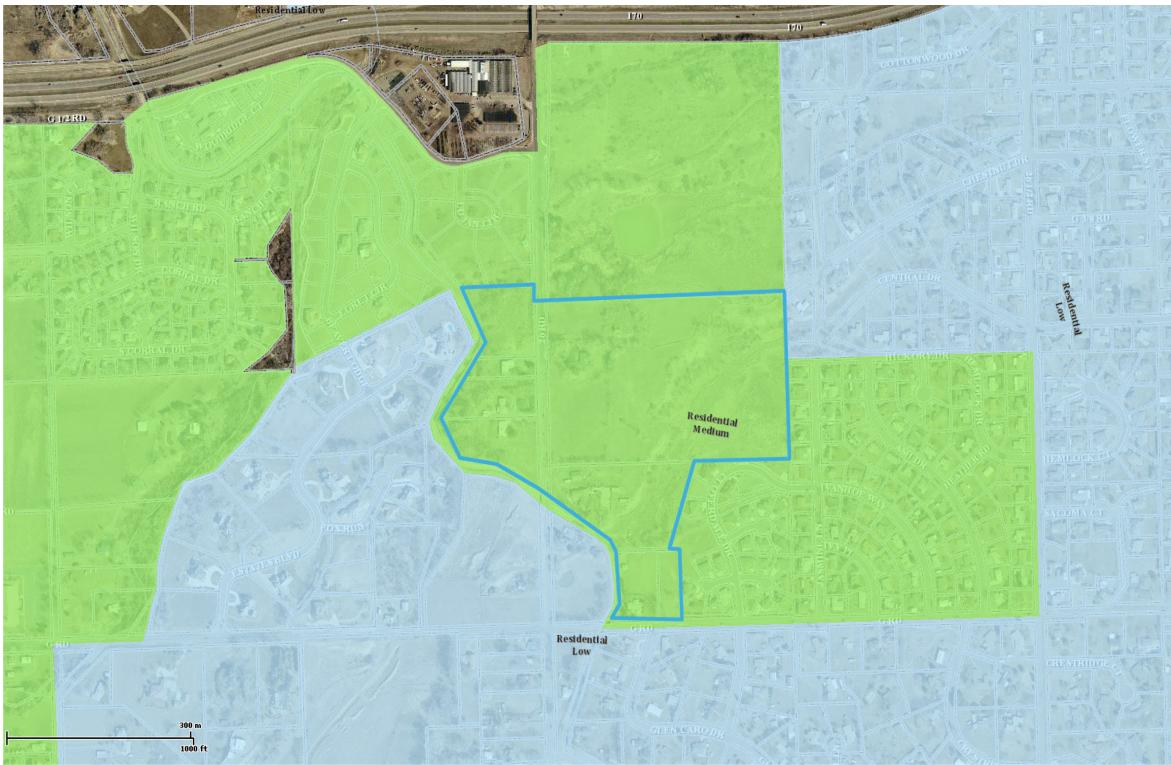


Existing City Zoning Map

Area 4



Blended Residential Map



CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO.

**AN ORDINANCE REZONING AREA 4
FROM R-2 (RESIDENTIAL – 2 UNITS PER ACRE) TO
R-4 (RESIDENTIAL – 4 UNITS PER ACRE)**

**LOCATED AT 2608 AND 2612 G ROAD; 719, 720, 721, 725, 726 26 ROAD;
AND AN UNADDRESSED PARCEL, NUMBER 2701-344-00-022
(DIRECTLY NORTH OF 725 26 ROAD)**

Recitals.

After public notice and public hearing as required by the Grand Junction Zoning and Development Code, the Grand Junction Planning Commission recommended approval of rezoning the Area 4 properties from R-2 (Residential – 2 units per acre) to the R-4 (Residential – 4 units per acre) zone district for the following reasons:

The zone district meets the recommended land use category as shown on the future land use map of the Comprehensive Plan, Residential Medium and the Comprehensive Plan's goals and policies and/or is generally compatible with appropriate land uses located in the surrounding area.

After the public notice and public hearing before the Grand Junction City Council, City Council finds that the R-4 zone district to be established.

The Planning Commission and City Council find that the R-4 zoning is in conformance with the stated criteria of Section 21.02.140 of the Grand Junction Municipal Code.

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION
THAT:**

The following properties shall be rezoned R-4 (Residential – 4 units per acre).

**2608 G Road
2612 G Road
719 26 Road
720 26 Road
721 26 Road
725 26 Road
726 26 Road**

Parcel Number 2701-344-00-022 (Directly North of 725 26 Road)

Introduced on first reading this day of , 2012 and ordered published.

Adopted on second reading this _____ day of _____, 2012.

ATTEST:

City Clerk

Mayor