

FEE \$10.00

PERMIT # 11732



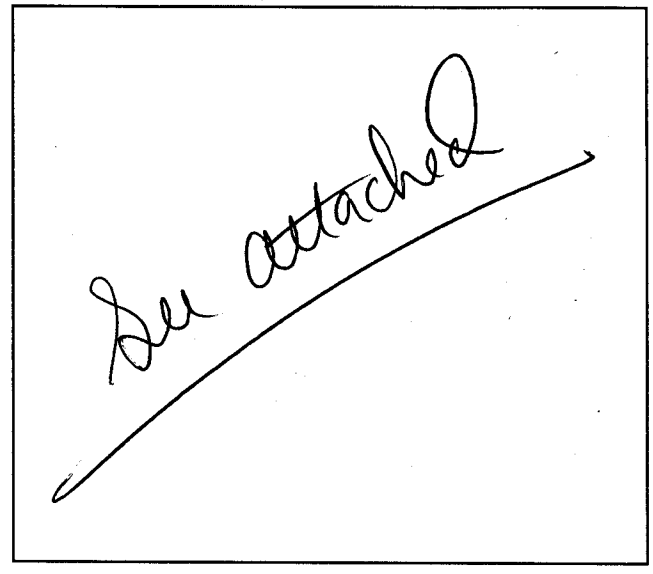
FENCE PERMIT

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 2283 EL RIO DRIVE
 TAX SCHEDULE NO 2945-074-23-000
 PROPERTY OWNER JIM & TERRY KNIGHT
 OWNER'S PHONE 970.243.6146
 OWNER'S ADDRESS 2283 EL RIO DRIVE
 CONTRACTOR HOMEOWNER
 CONTRACTOR'S PHONE 970.243.6146
 CONTRACTOR'S ADDRESS 2283 EL RIO DRIVE
 FENCE MATERIAL ROUGH CEDAR
 FENCE HEIGHT 72" ±



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD
 SPECIAL CONDITIONS _____

SETBACKS: Front 25' from property line (PL) or
 _____ from center of ROW, whichever is greater.
 Side 7/10' from PL Rear 20' from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

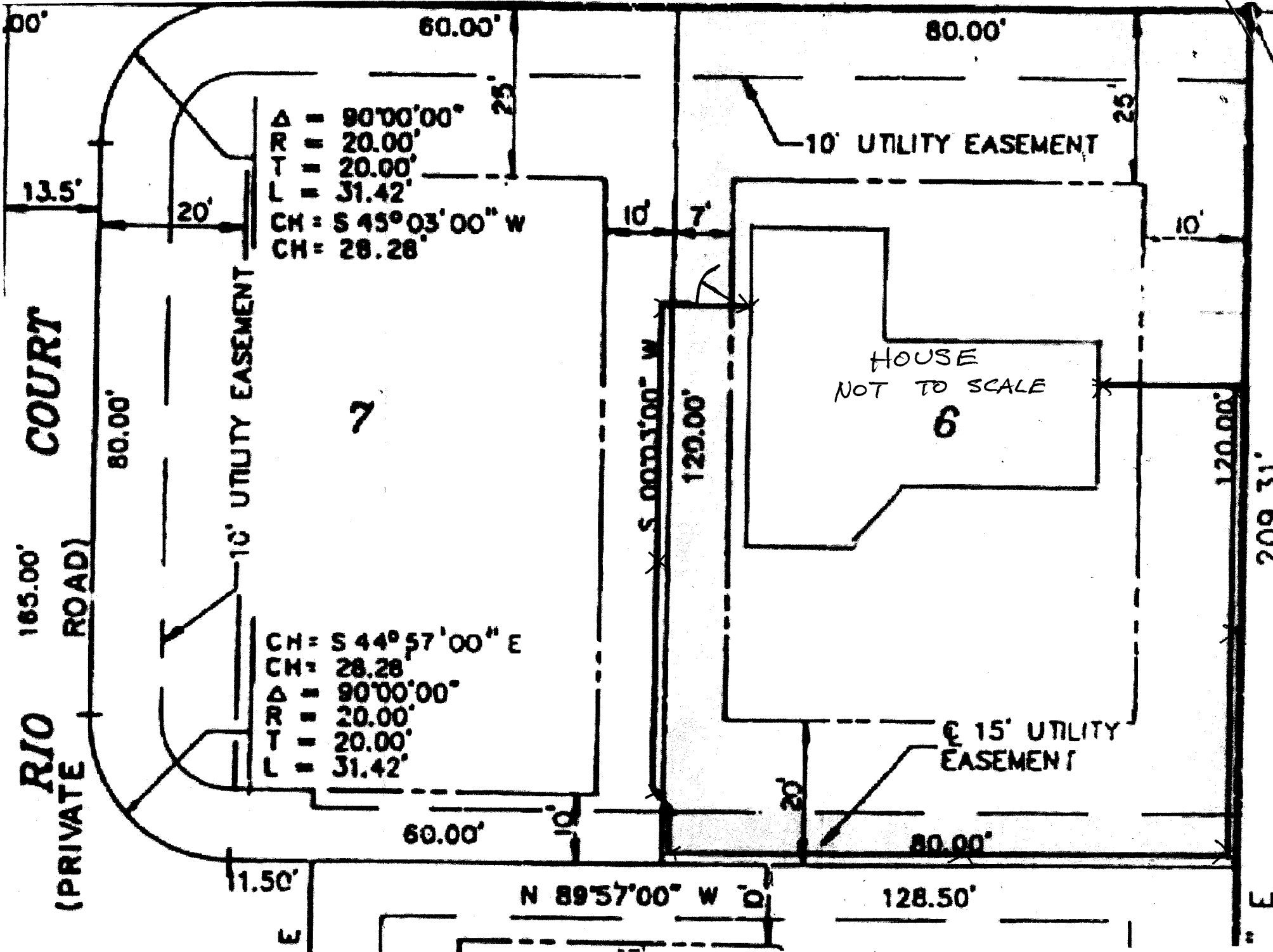
I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature Jim Knight
 Community Development's Approval [Signature]
 City Engineer's Approval (if required) _____

Date 6/14/01
 Date 6/14/01
 Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
 (White: Planning) (Yellow: Customer) (Pink: Code Enforcement)



June 6, 2001

Jim Knight
2283-El Rio Drive
Grand Junction, CO 81503

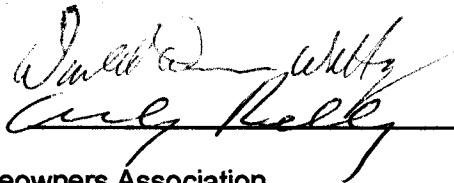
El Rio Villas Homeowner Association
Dennis Wiltgen
545 El Rio Court
Grand Junction, CO 81503

I propose to construct a wooden fence along the sides and rear of my property. It will be constructed of 4" X 4" Rough Cedar posts set 8' O.C. in concrete. The posts will be set to a depth of 2' below grade and 6' above grade. It will have 2- 2" X 4" RC rails with 1" X 6" dogeared RC pickets. It will have one 3' walk gate on the northwest wing. The northeast wing will extend from the east wall of the house to the east property line and continue south along an existing block and brick retaining wall. From the southeast corner it will extend west to the southwest corner of the property. At that corner it will turn north and tie into the existing stucco/concrete wall along the west property line. A drawing is provided showing the location of the proposed fence. My dogs will appreciate your prompt attention and response to this proposal.



Jim Knight

Approved for construction:



Date 6/10/01

El Rio Villas Subdivision Homeowners Association