

FEE \$10.00

PERMIT # 11614

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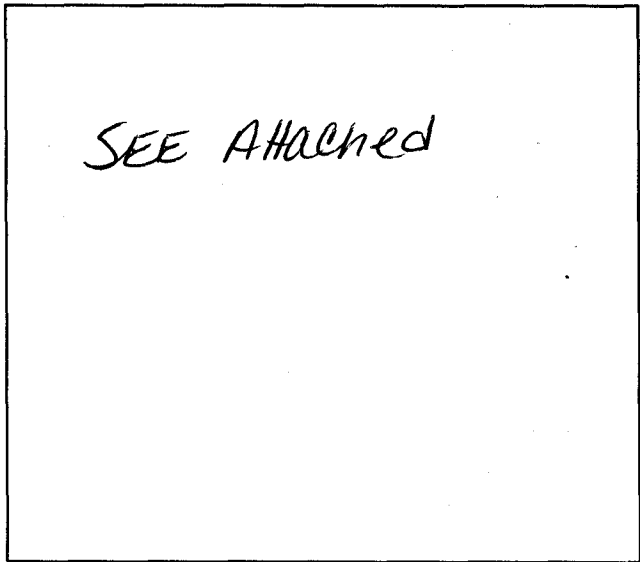


FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 2288 EL MONTE CT
TAX SCHEDULE NO. 2945-071-31-001
PROPERTY OWNER DONALD WATHKE
OWNER'S PHONE (303) 753-9683
OWNER'S ADDRESS 2288 EL MONTE CT
CONTRACTOR
CONTRACTOR'S PHONE
CONTRACTOR'S ADDRESS
FENCE MATERIAL STUCCO
FENCE HEIGHT TAPERED (3 SECTIONS - 6', 4.5', 3')



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE Residential PD
SPECIAL CONDITIONS

SETBACKS: Front from property line (PL) or from center of ROW, whichever is greater. Side from PL Rear from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

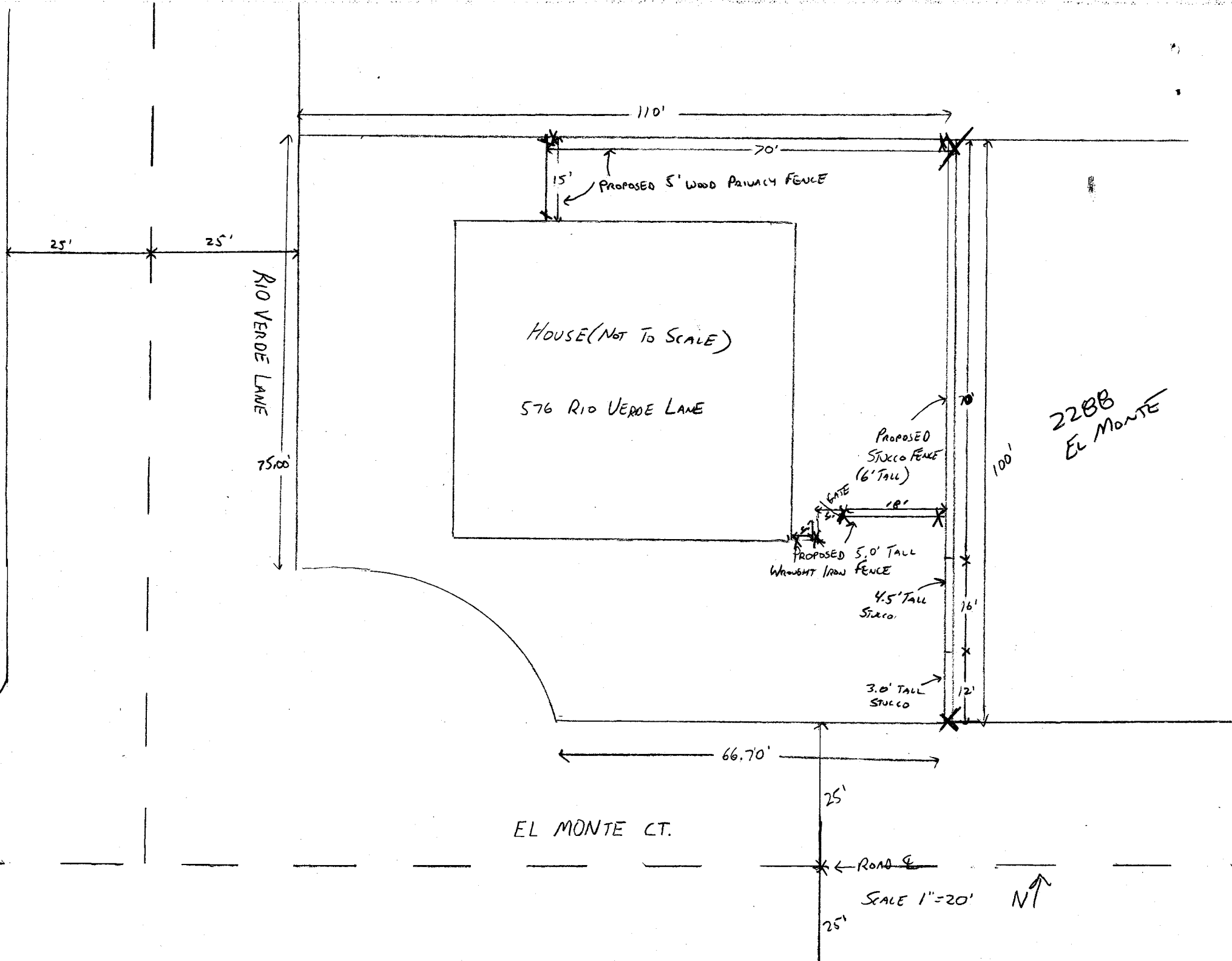
I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature [Signature] for DONALD K. WATHKE
Community Development's Approval [Signature]
City Engineer's Approval (if required)

Date 3/29/2001
Date 3/29/01
Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)



110'

70'

15'

PROPOSED 5' WOOD PRIVACY FENCE

25'

25'

RIO VERDE LANE

75.00'

HOUSE (NOT TO SCALE)

576 RIO VERDE LANE

2288 EL MONTE

PROPOSED STUCCO FENCE (6' TALL)

GATE

18'

PROPOSED 5.0' TALL WROUGHT IRON FENCE

4.5' TALL STUCCO

3.0' TALL STUCCO

100'

16'

12'

66.70'

25'

EL MONTE CT.

ROAD E

SCALE 1"=20'

N ↑

25'