

FEE \$10.00

PERMIT # 11242

FENCE PERMIT

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT



Vista Del Norte

THIS SECTION TO BE COMPLETED BY APPLICANT

AE

PLOT PLAN

PROPERTY ADDRESS 2410 E. PIAZZA PLACE

TAX SCHEDULE NO. 2945-011-76-001

PROPERTY OWNER Royce & MARIANNA GIBSON

OWNER'S PHONE 970-263-9725

OWNER'S ADDRESS 1904 N. 7TH

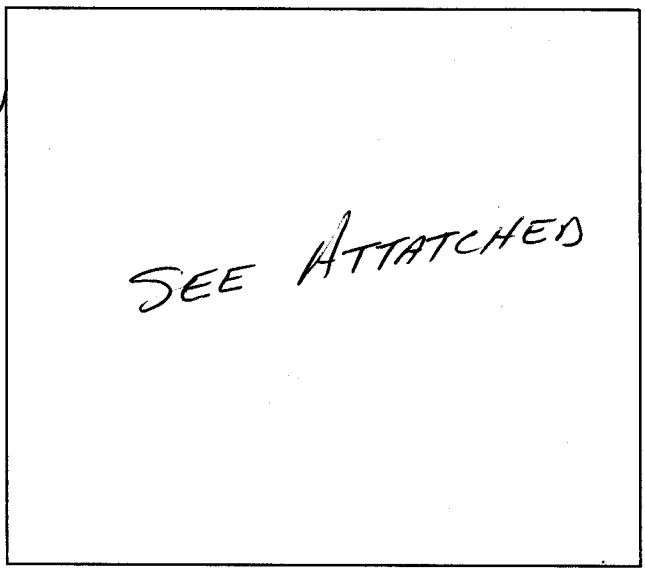
CONTRACTOR _____

CONTRACTOR'S PHONE _____

CONTRACTOR'S ADDRESS _____

FENCE MATERIAL WOOD

FENCE HEIGHT 6 FT.



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD

SETBACKS: Front 20' from property line (PL) or _____ from center of ROW, whichever is greater.

SPECIAL CONDITIONS _____

Side 5' from PL Rear 15' from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature Marianna Gibson

Date 8/20/01

Community Development's Approval Wendy Spurr

Date 8/20/01

City Engineer's Approval (if required) _____

Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

Royce & MARIANNA GIBSON

TAX SCH # 2945-011-76-001

IMPROVEMENT LOCATION CERTIFICATE

2410 E. PIAZZA COURT
4075 APPLEWOOD STREET

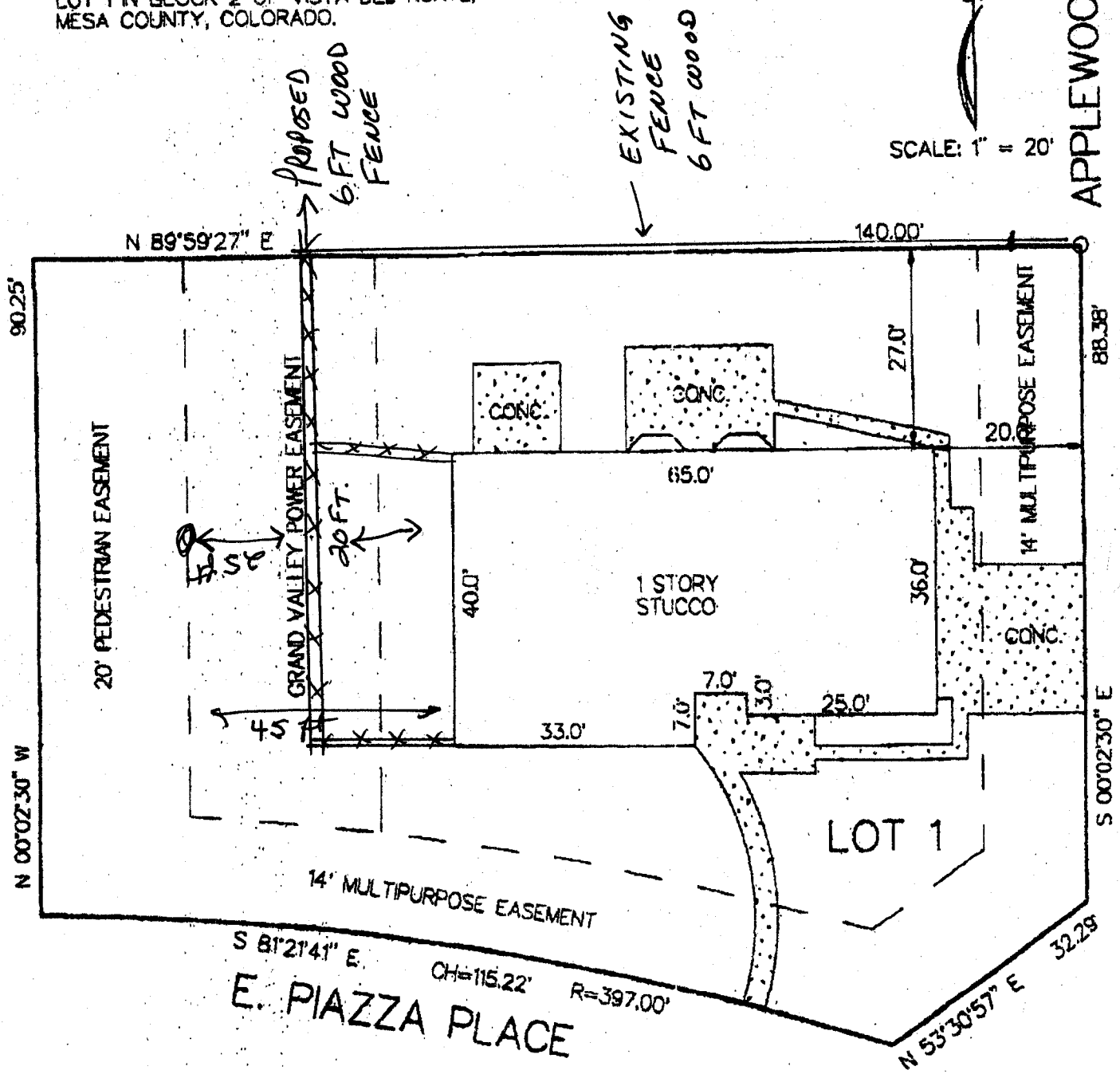
MERIDIAN LAND TITLE #33901
GIBSON ACCT.

LOT 1 IN BLOCK 2 OF VISTA DEL NORTE,
MESA COUNTY, COLORADO.



SCALE: 1" = 20'

APPLEWOOD CT.



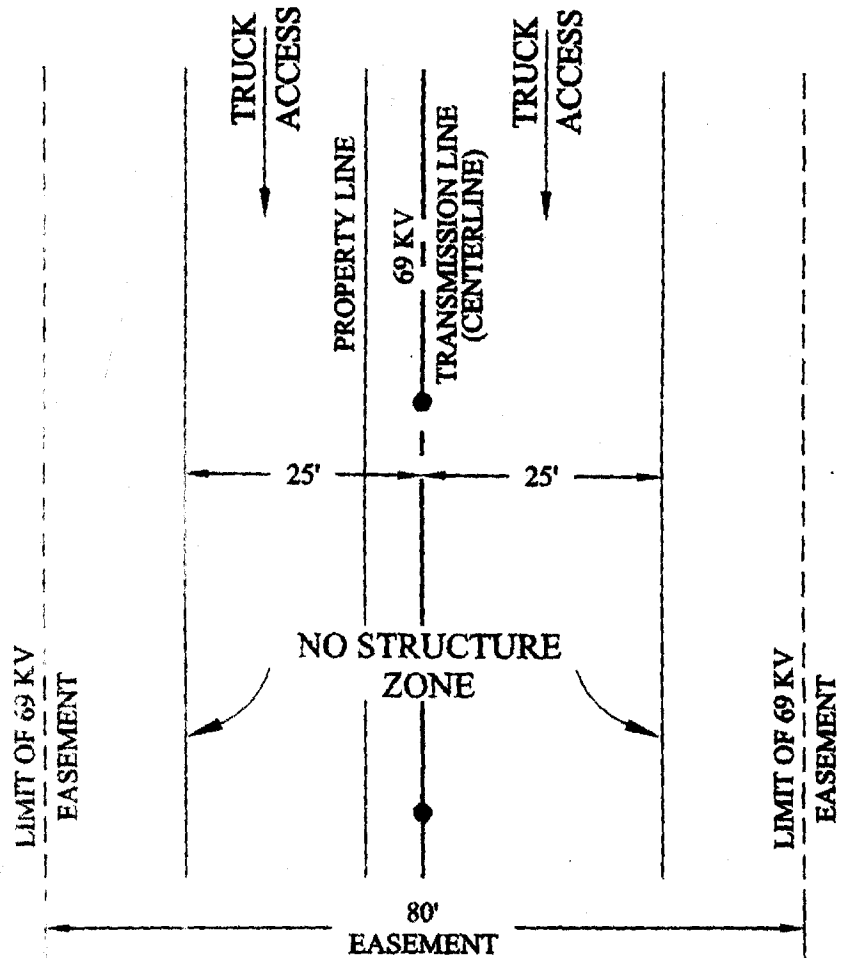
NOTE: THIS PROPERTY DOES NOT FALL WITHIN ANY 100 YEAR FLOODPLAIN.

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR VALLEY MORTGAGE

THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 10/22/98 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN; THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS

GRAND VALLEY POWER

TYPICAL 69,000 VOLT EASEMENT RESTRICTIONS



In the Portion of the easement designated as "No Structure Zone", fencing constructed of any materials including cedar, chain link, etc. is prohibited. Absolutely no structures or obstructions are permitted in this zone including landscaping that will prevent continuous access.

**FOR A FULL COPY OF THE EASEMENT(S)
OR INFORMATION ON USAGE:**