

FEE \$10.00

PERMIT # 10890



FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 2712 Eden Ct
TAX SCHEDULE NO. 2701-253-07-01ce
PROPERTY OWNER Chris Neilson
OWNER'S PHONE 242-8761
OWNER'S ADDRESS 2712 Eden Ct
CONTRACTOR Taylor Fence
CONTRACTOR'S PHONE 241-1473
CONTRACTOR'S ADDRESS 832 2 1/2 Rd
FENCE MATERIAL Pvc + CL
FENCE HEIGHT 5' 6' pvc 4' CL

See the attached Drawing

Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE RMC-5
SPECIAL CONDITIONS

SETBACKS: Front 20' from property line (PL) or from center of ROW, whichever is greater. Side 5' from PL Rear 25' from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

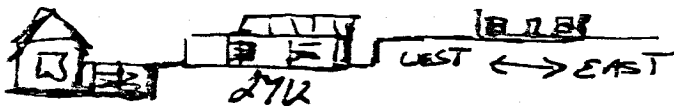
Applicant's Signature [Signature]
Community Development's Approval [Signature]
City Engineer's Approval (if required)

Date 4-19-01
Date 4-19-01
Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

4' BW

Chris Neilsen
2428-6



EXISTING 4' Chain Link

10'8" white plastic

56' (White Plastic)

<NOTE: property line runs
Approx. 18" from Retaining wall
we are going to approach neighbors
to go to the retaining wall

Tie on

line? Chain
Plate Link
post
to close

8" wide
corner
end

10'?

Retaining wall

Retaining wall

2712 EDEN CT.

NORTH PALM BEACH HILLS

LAND TO YUCATAN TO EDEN COURT

ATTN: Jerry Clenden

7.5' Double gate location
(white plastic)

6' personal gate

