

FEE \$10.00

PERMIT # 11753

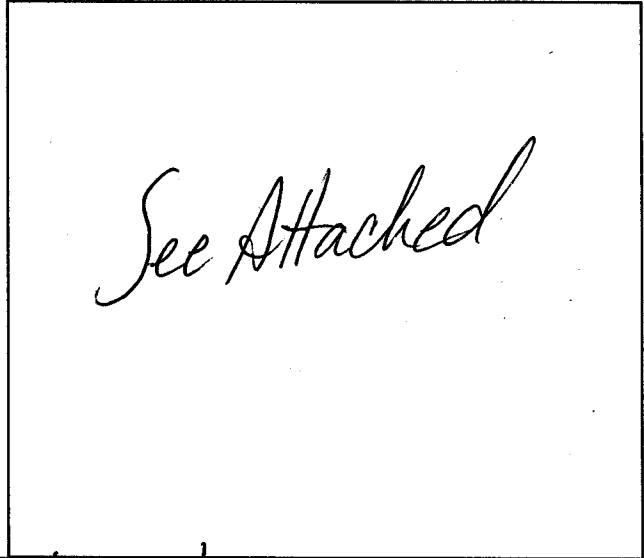


FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 2982 Summerbrook Dr. 81504
TAX SCHEDULE NO 2943-051-73-001
PROPERTY OWNER Kyle Rush
OWNER'S PHONE 257-7322
OWNER'S ADDRESS 2982 Summerbrook Dr. 81504
CONTRACTOR Kyle Rush
CONTRACTOR'S PHONE 257-7322
CONTRACTOR'S ADDRESS Same as Owners
FENCE MATERIAL Cedar
FENCE HEIGHT 6 foot on sides, whatever you allow along road.



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD
SPECIAL CONDITIONS

SETBACKS: Front 20' from property line (PL) or
from center of ROW, whichever is greater
Side from PL Rear from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature Kyle Rush
Community Development's Approval Santa J. Castells
City Engineer's Approval (if required) David R. Ponder

Date 6-22-01
Date 6-25-01
Date 6/25/01

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

IMPROVEMENT LOCATION CERTIFICATE

2982 SUMMERBROOK DRIVE

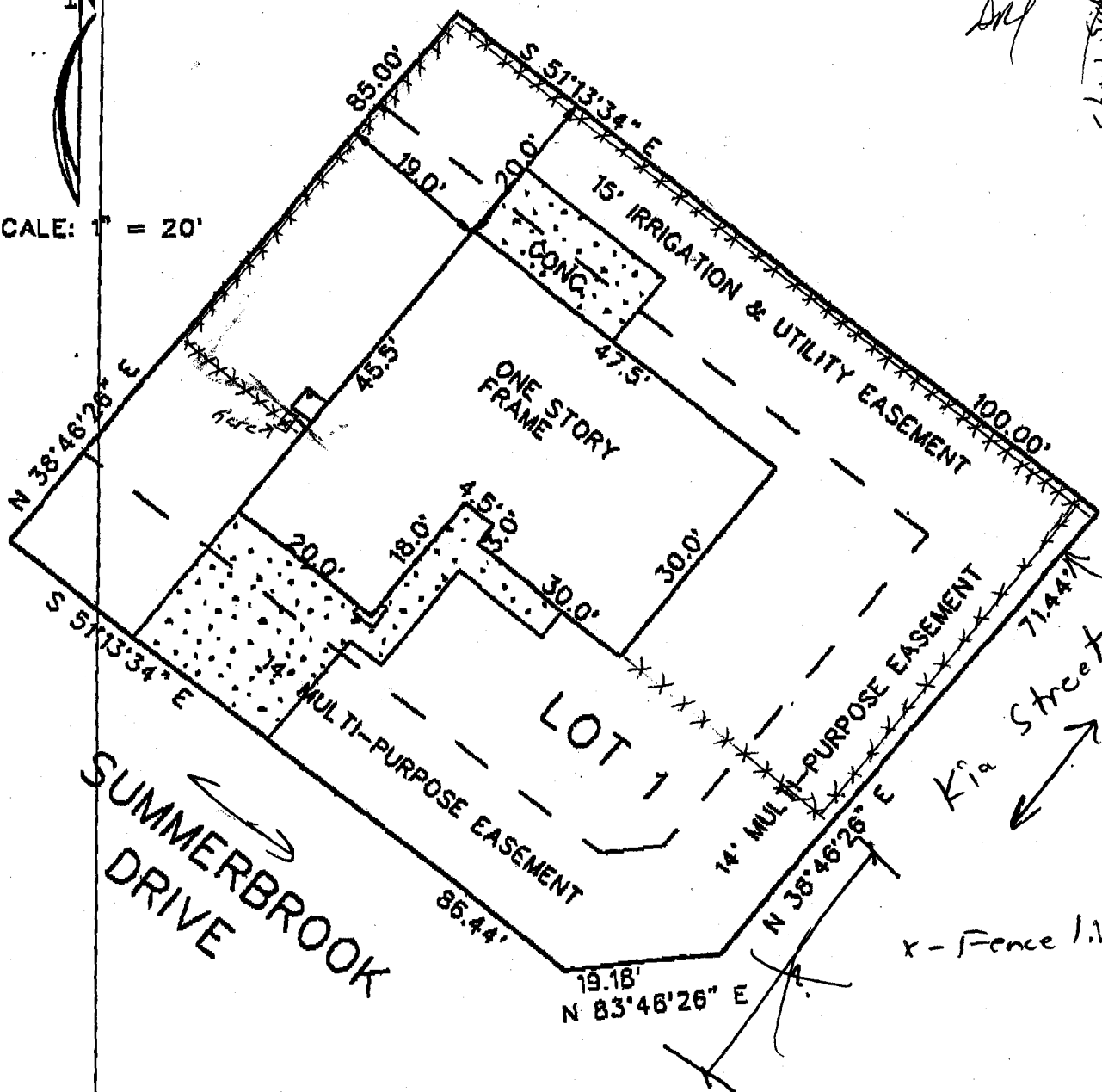
FIRST AMERICAN TITLE #138976
RUSH ACCOUNT
LOT 1 IN BLOCK 5 OF BROOKSIDE SUBDIVISION,
FILING ONE, MESA COUNTY, COLORADO.

Show sidewalk if any, w/ dimensions & fence set back relative to walk or gutter.

DM



SCALE: 1" = 20'



SUMMERBROOK DRIVE

Kia Street

x - Fence line

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR MORTGAGE PORTFOLIO

THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 3/7/01 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

● = FOUND PIN