

FEE \$10.00

PERMIT # 11608

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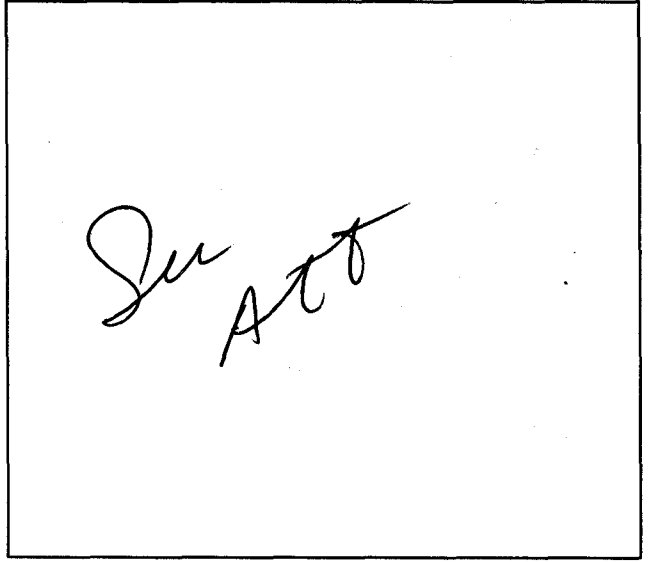
FENCE PERMIT

GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 2982 1/2 Summerbrook
 TAX SCHEDULE NO 2943-051-00-069
 PROPERTY OWNER Dartell LLC
 OWNER'S PHONE 523-5555
 OWNER'S ADDRESS 786 Orchard Ct GJ
 CONTRACTOR Grace Homes Const
 CONTRACTOR'S PHONE 523-5555
 CONTRACTOR'S ADDRESS 786 Orchard Ct GJ
 FENCE MATERIAL Cedar
 FENCE HEIGHT (6') 5' w/ 1' lattice



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s).

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD
 SPECIAL CONDITIONS _____

SETBACKS: Front 20' from property line (PL) or _____ from center of ROW, whichever is greater.
 Side _____ from PL Rear _____ from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 5-5-5B of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply.

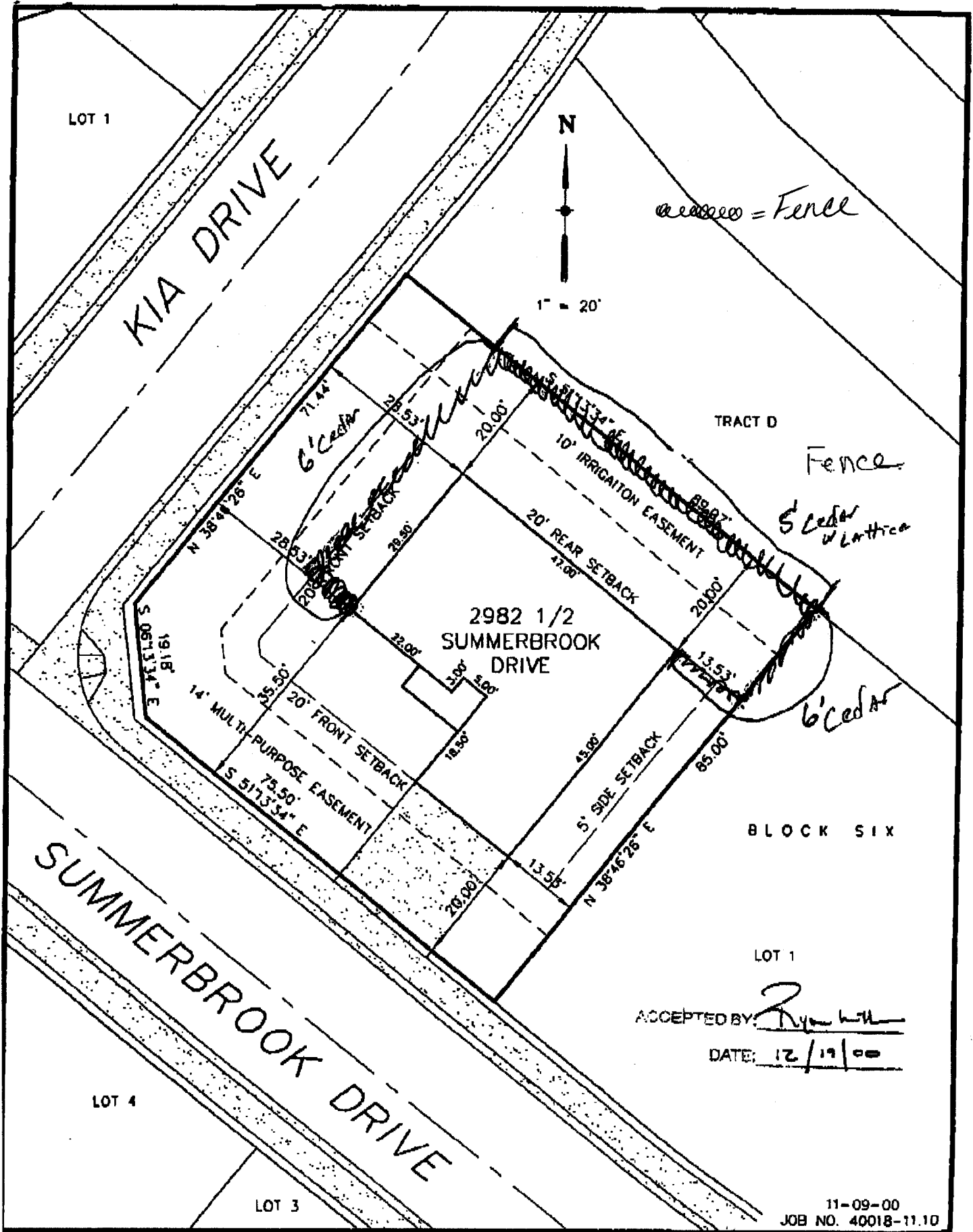
I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature [Signature]
 Community Development's Approval [Signature]
 City Engineer's Approval (if required) _____

Date 3/23/2001
 Date 3/23/01
 Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

2457726



ACCEPTED BY: Ryan Hill

DATE: 12/19/00

IMPROVEMENT LOCATION CERTIFICATE

2982 SUMMERBROOK DRIVE

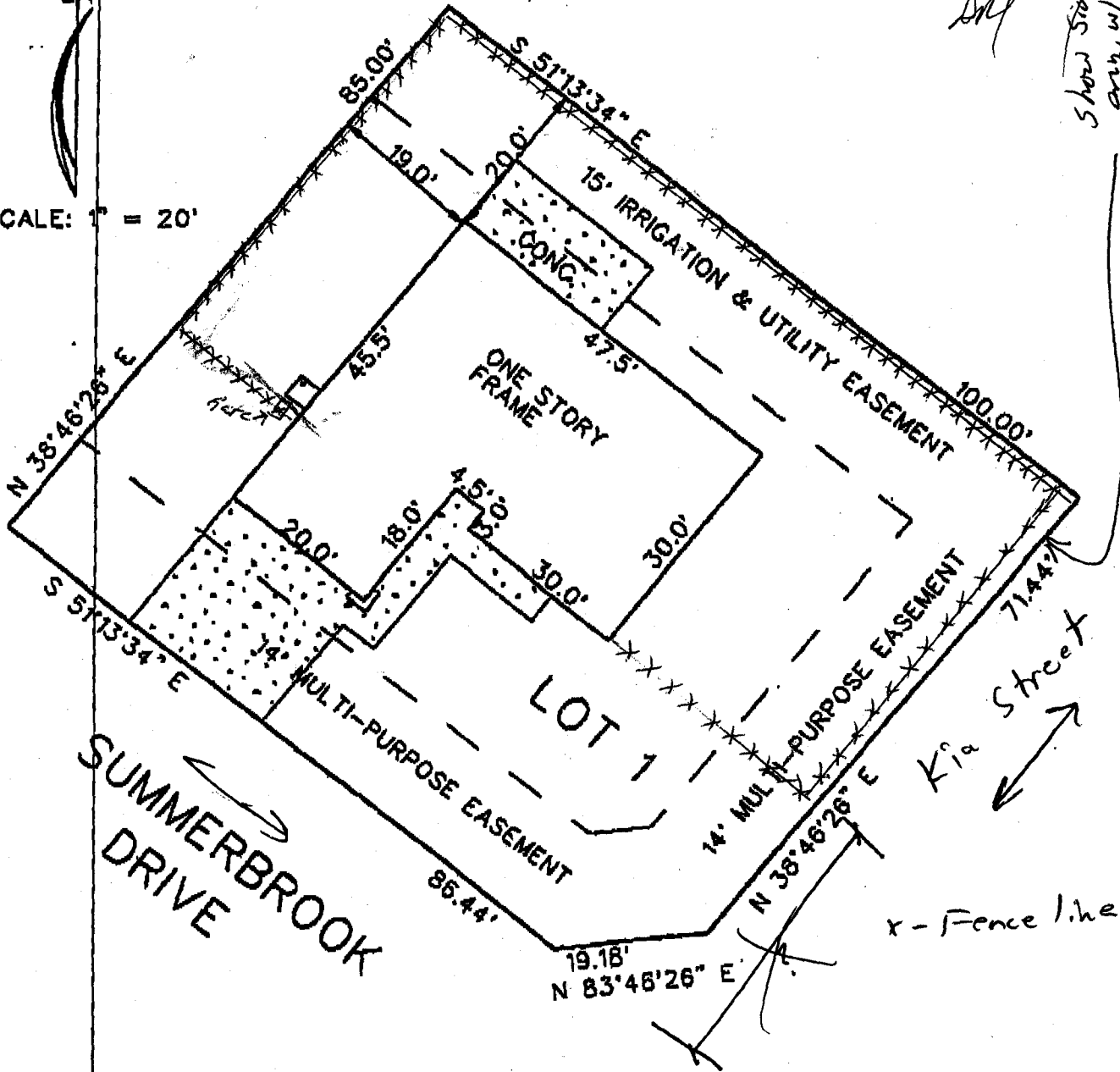
FIRST AMERICAN TITLE #138976
RUSH ACCOUNT
LOT 1 IN BLOCK 5 OF BROOKSIDE SUBDIVISION,
FILING ONE, MESA COUNTY, COLORADO.



SCALE: 1" = 20'

Show sidewalk if any, w/ dimensions & fence set back relative to walk or gutter.

DM



I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR MORTGAGE PORTFOLIO, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES. I FURTHER CERTIFY THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 3/7/01 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

● = FOUND PIN