



FENCE PERMIT

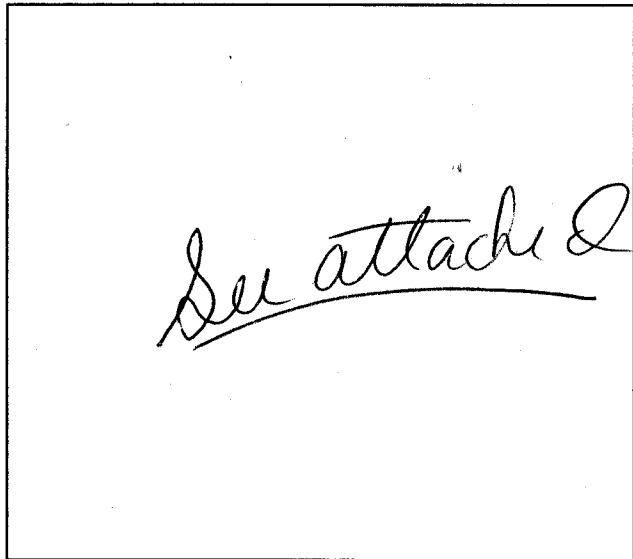
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

THIS SECTION TO BE COMPLETED BY APPLICANT

AC

PLOT PLAN

PROPERTY ADDRESS 359 B Hillview
TAX SCHEDULE NO 2945-202-19-078
PROPERTY OWNER Cynthia Seery
OWNER'S PHONE 216-6770
OWNER'S ADDRESS
CONTRACTOR
CONTRACTOR'S PHONE
CONTRACTOR'S ADDRESS
FENCE MATERIAL
FENCE HEIGHT



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s). NOTE: PROPERTY LINE IS LIKELY ONE FOOT OR MORE BEHIND THE SIDEWALK.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD
SPECIAL CONDITIONS ALCO approval Required
SETBACKS: Front 20' from property line (PL) or from center of ROW, whichever is greater.
Side 0' from PL Rear 10' from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature Ruth Seery Date
Community Development's Approval C. Taylor Date 5/1/02
City Engineer's Approval (if required) Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

► APPROVAL FOR BUILDING PERMIT ◀  
 Ridges Architectural Control Committee (ACCO)

*COLECT  
 \$ 500 CASH*

A - Approved  
 NA - Not Approved

Job No. \_\_\_\_\_  
 Builder or Homeowner \_\_\_\_\_  
 Ridges Filing No. \_\_\_\_\_  
 Block \_\_\_\_\_ Lot \_\_\_\_\_  
 Pages Submitted \_\_\_\_\_  
 Date Submitted \_\_\_\_\_

**SITE PLAN**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Front setback (20'-0" minimum) _____                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Rear setback (10'-0" minimum) _____                   |
| <input type="checkbox"/> | <input type="checkbox"/> | Side setbacks (10'-0" minimum "B" and "C" lots) _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Square Footage _____                                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Sidewalks _____                                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Driveway (asphalt or concrete) _____                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Drainage _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | Landscaping _____                                     |

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.  
 NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.  
 NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

**EXTERIOR ELEVATIONS**

- |                          |                          |                                     |
|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | Height (25'-0" maximum) _____       |
| <input type="checkbox"/> | <input type="checkbox"/> | Roof - Material _____ Color _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | Trim - Color _____                  |
| <input type="checkbox"/> | <input type="checkbox"/> | Siding - Material _____ Color _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | Material _____ Color _____          |
| <input type="checkbox"/> | <input type="checkbox"/> | Brick - Color _____                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Stone - Color _____                 |
| <input type="checkbox"/> | <input type="checkbox"/> | Balcony _____                       |
| <input type="checkbox"/> | <input type="checkbox"/> | Porches or patios _____             |
| <input type="checkbox"/> | <input type="checkbox"/> | Other _____                         |

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

**APPROVED SUBJECT TO**

*Build fence to the parallel setback of house.  
 [Redacted] the ACCO in [Redacted] the  
 [Redacted] the resolve [Redacted] 16, 2002;*

NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.  
 NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and on building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee  
 By *[Signature]* Builder/Realtor/Homeowner  
 By *[Signature]* By \_\_\_\_\_  
 Date \_\_\_\_\_



# CITY OF GRAND JUNCTION

Code Enforcement Division • 2549 River Road • Grand Junction, CO 81505  
970 244-1593 • Fax 970 256-4114

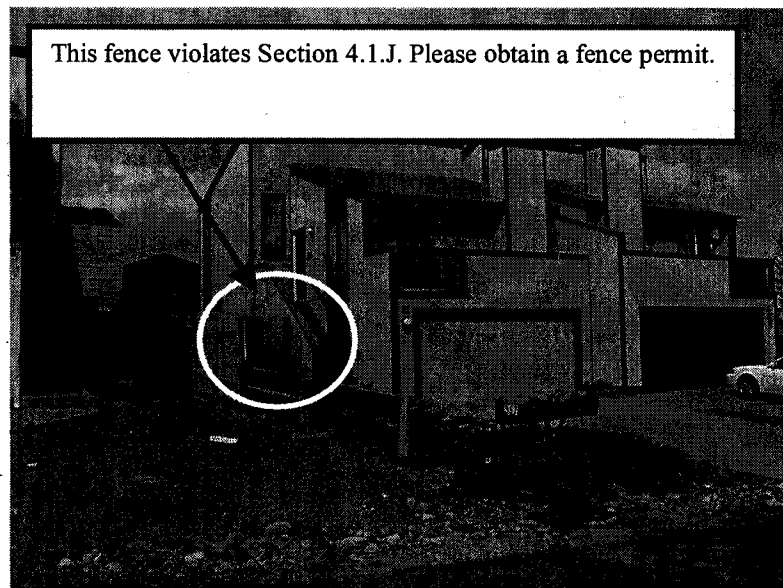
## NOTICE OF VIOLATION

April 22, 2002

Cynthia Seery  
359 B Hillview Drive  
Grand Junction, Colorado 81503

Re: Zoning Code Violation

Your property located at 359 B Hillview Drive has been identified as having a continuous violation of Section 4.1.J of the Zoning and Development Code, Fence Permit Required. Please review the enclosed copy of Section 4.1.J and obtain a fence permit from the Community Development Department at City Hall, 250 N. 5<sup>th</sup> Street.



A fence permit must be obtained on or before May 7<sup>th</sup>, 2002 or a Municipal Court Summons will be issued. For cases prosecuted in Municipal Court, each day a violation continues shall be deemed a separate offense. Upon conviction of any provision of the Grand Junction Zoning and Development Code the maximum possible penalty is one thousand dollars or imprisonment of not more than one year or both such fine and imprisonment. If you have any questions please call. Your cooperation is appreciated.

Sincerely,

  
Randy Keller

Code Enforcement Officer

Cc: File #02-9015