

FEE \$10.00

PERMIT # 11787



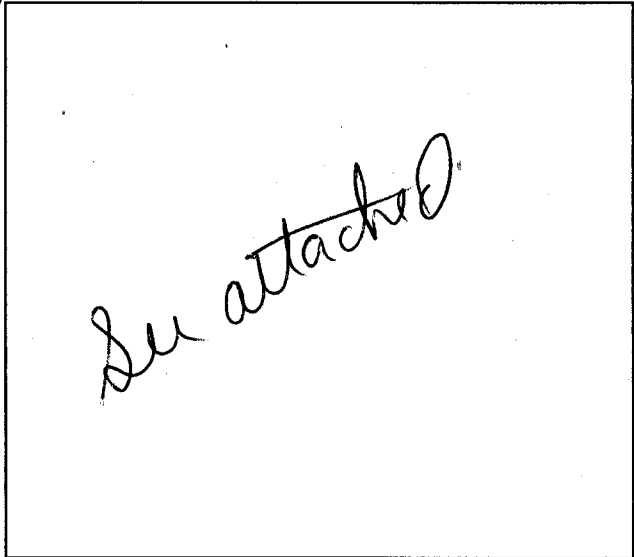
FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

Ac

THIS SECTION TO BE COMPLETED BY APPLICANT

PLOT PLAN

PROPERTY ADDRESS 390 1/2 Zami (2874 Zami)
TAX SCHEDULE NO 2943-191-000-0000
PROPERTY OWNER Grand Ridge Properties
OWNER'S PHONE 434-4616
OWNER'S ADDRESS 3032 I-70 Bus Loop
CONTRACTOR Great New Homes
CONTRACTOR'S PHONE 434-4616
CONTRACTOR'S ADDRESS 3032 I-70 Bus Loop
FENCE MATERIAL Cedar
FENCE HEIGHT 6'



Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, & fence height(s). NOTE: PROPERTY LINE IS LIKELY ONE FOOT OR MORE BEHIND THE SIDEWALK.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF

ZONE PD
SPECIAL CONDITIONS

SETBACKS: Front 25' from property line (PL) or from center of ROW, whichever is greater.
Side 7 1/2' from PL Rear 20' from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

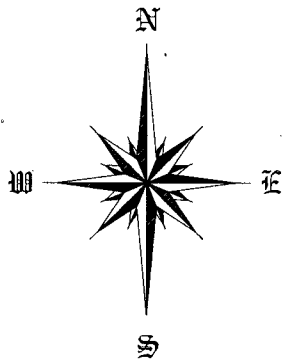
The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature [Signature]
Community Development's Approval [Signature]
City Engineer's Approval (if required)

Date 5-2-02
Date 5/14/02
Date

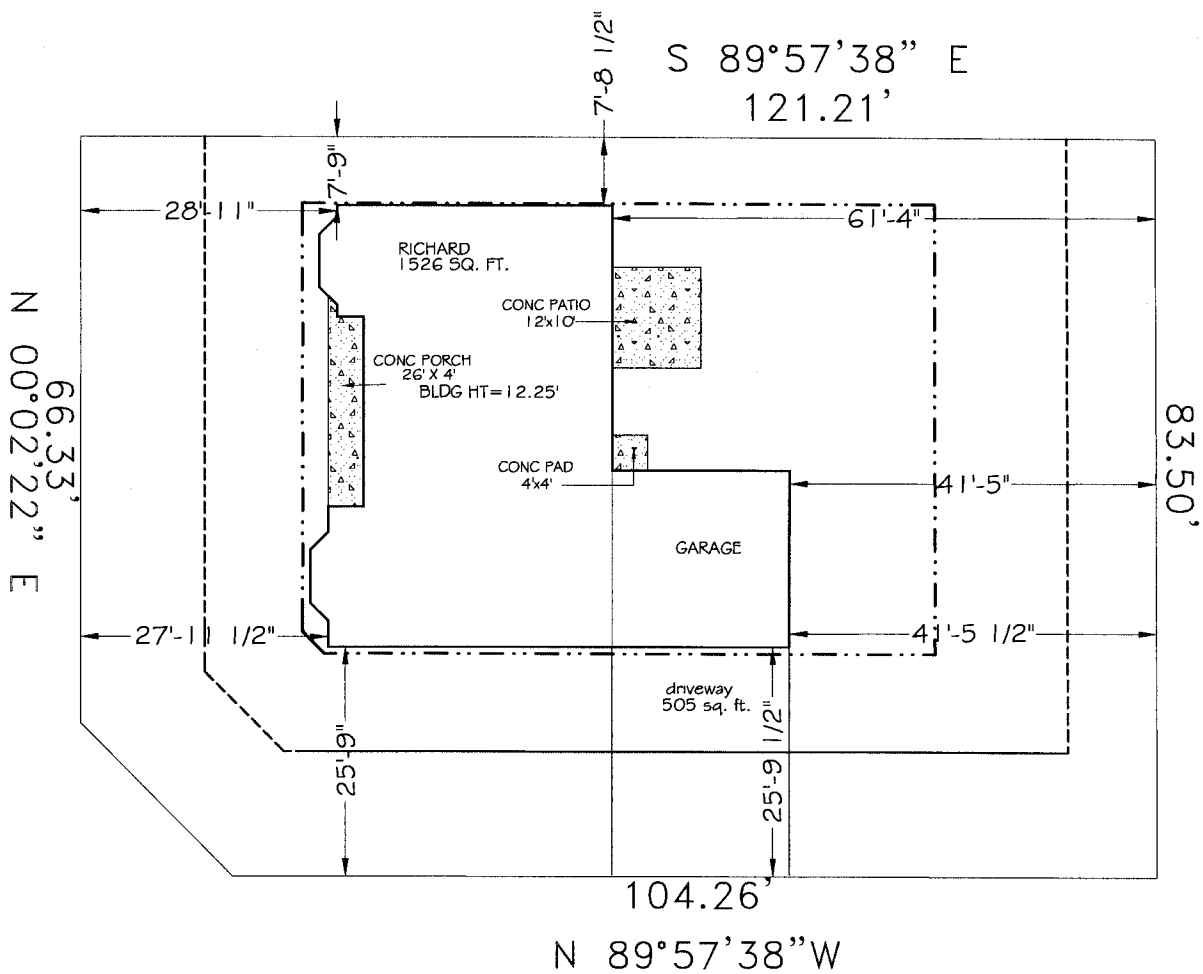
VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)



LOT 8 BLOCK 2
390 1/2 Zami Drive
RICHARD, RT

PLOT PLAN

SCALE: 1" = 10'



COPYRIGHT © 2001

Date: _____

CUSTOMER APPROVAL: X

MODEL: **RICHARD**
ADDRESS: 390 1/2 Zami Drive
ACAD File Name: 05501-2.dwg

DRAWN BY: WILLIAM BELL
DATE: 18 APR 01

SHEET(S) 2 OF 8
SHEET 2

GREAT NEW HOMES PROJ. NO. 055-01
RT

GREAT NEW HOMES
3032 I-70 BUSINESS LOOP
GRAND JCT. COLO. 81504

LOT 8 BLOCK 2
 390 1/2 Zami Drive
 RICHARD, RT

