



# Fence Permit

PERMIT # 14856

Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, CO 81501  
Phone: (970) 244-1430 FAX (970) 236-4031

FEE \$10.00

Property Address: 164 Snow Mesa Court

Property Tax No: 2447-271-15-029

Subdivision: Seasons at Tiara Rado

Property Owner: Jack Acuff / Tiara Santa Fe

Owner's Telephone: 261-2001

Owner's Address: \_\_\_\_\_

Contractor's Name: Mavas Construction

Contractor's Telephone: 970-858-9642

Contractor's Address: PO Box 670 Fruita, CO 81521

Fence Material & Height: Stucco, 4 ft.

Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, and fence height(s). NOTE: Property line is likely one foot or more behind the sidewalk.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>PD</u>	SETBACKS: Front <u>26'</u> from property line (PL) or _____ from center of ROW, whichever is greater.
SPECIAL CONDITIONS <u>See fencing comments</u>	Side <u>0'</u> from PL Rear <u>0'</u> from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature: Melissa K. Maves Date: 1-25-06

Community Development's Approval: Wishu Anger Date: 1-25-06

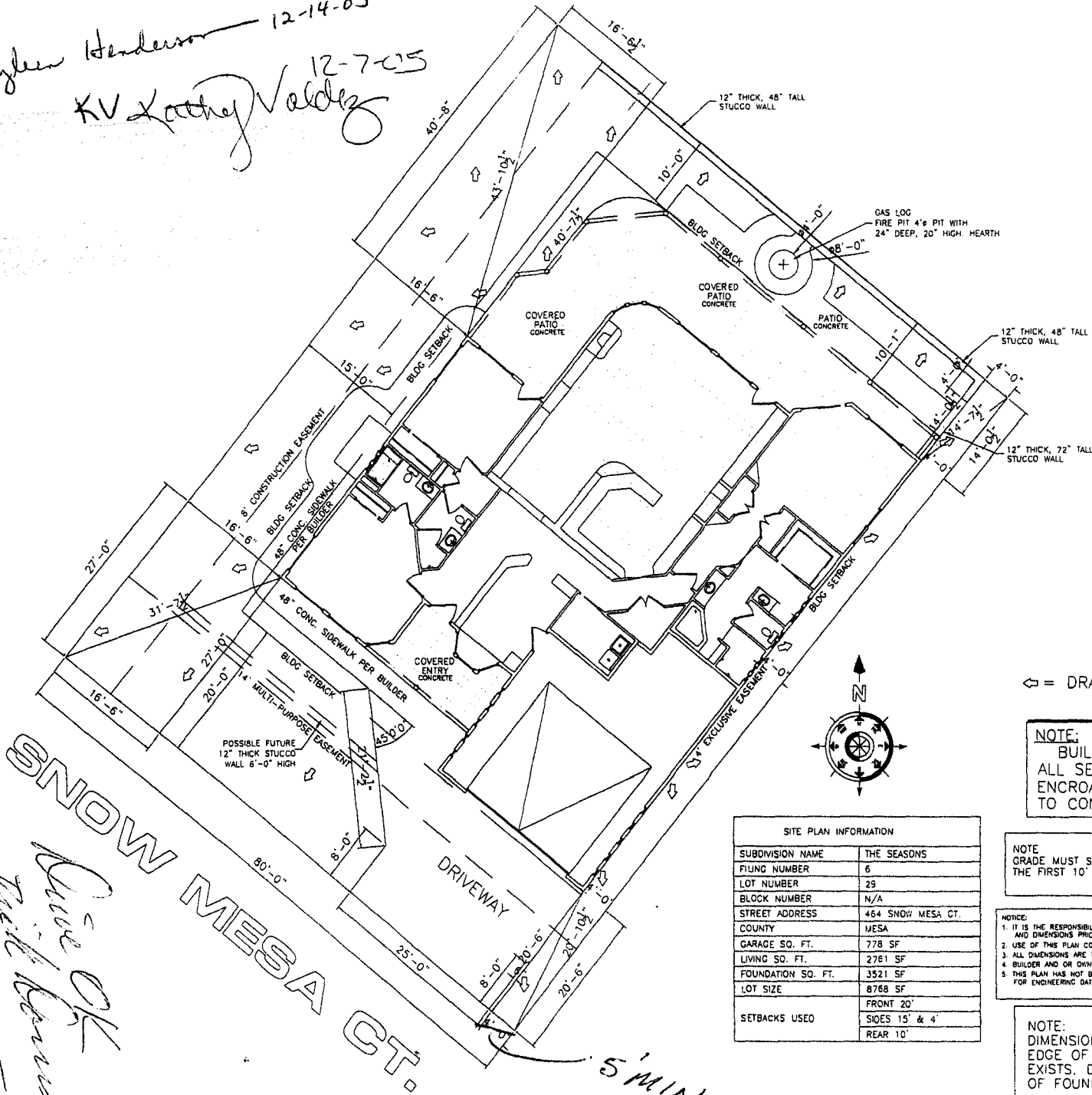
City Engineer's Approval (if required): \_\_\_\_\_ Date: \_\_\_\_\_

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)

(White: Community Development) (Yellow: Applicant) (Pink: Code Enforcement)

Daylen Henderson 12-14-05

KV Kathy Valdez 12-7-05



GAS LOG FIRE PIT 4' DIA PIT WITH 24" DEEP, 20" HIGH HEARTH

⇨ = DRAINAGE ARROWS

**NOTE:**  
BUILDER TO VERIFY ALL SETBACK AND EASEMENT ENCROACHMENTS PRIOR TO CONSTRUCTION

**NOTE:**  
GRADE MUST SLOPE AWAY FROM HOUSE 6" OF FALL IN THE FIRST 10' OF DISTANCE PER LOCAL BUILDING CODE.

- NOTICE:**
- IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION.
  - USE OF THIS PLAN CONSTITUTES BUILDER AND OR HOME OWNERS ACCEPTANCE OF THESE TERMS.
  - ALL DIMENSIONS ARE TO EDGE OF FOUNDATION UNLESS OTHERWISE NOTED.
  - BUILDER AND OR OWNER TO VERIFY ALL SETBACKS AND EASEMENTS.
  - THIS PLAN HAS NOT BEEN ENGINEERED BY AUTODRAW. SEE SEPARATE DRAWINGS BY OTHERS FOR ENGINEERING DATA.

SITE PLAN INFORMATION	
SUBDIVISION NAME	THE SEASONS
FLUNG NUMBER	6
LOT NUMBER	29
BLOCK NUMBER	N/A
STREET ADDRESS	464 SNOW MESA CT.
COUNTY	MESA
GARAGE SQ. FT.	778 SF
LIVING SQ. FT.	2761 SF
FOUNDATION SQ. FT.	3521 SF
LOT SIZE	8768 SF
SETBACKS USED	FRONT 20' SIDES 15' & 4' REAR 10'

**NOTE:**  
DIMENSION LINES ARE PULLED FROM EDGE OF BRICK LEDGE. IF NO BRICK LEDGE EXISTS, DIMENSIONS WILL BE FROM EDGE OF FOUNDATION.

SNOW MESA CT.

Drive OK  
Trail Review  
12-5-05

5' MIN

SCALE: 1"=20'-0"

FPP-2000-213

6' fences allowed  
15' From Front  
property line.

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT  
Approved for construction for one year from this date

Engineer or Representative \_\_\_\_\_ Date \_\_\_\_\_  
Accepted as architect \_\_\_\_\_

CITY OF GRAND JUNCTION COMMUNITY DEVELOPMENT  
Accepted as architect \_\_\_\_\_

Engineer or Representative \_\_\_\_\_ Date \_\_\_\_\_

- Notes to Site Plan**
- This Site Plan for Filing No. 6, The Seasons at Tiara Rado Subdivision, together with any building, landscaping and other improvements occurring within the boundaries of this Site Plan are also subject to:
    - The Mesa County Building Code
    - The City of Grand Junction Development Code, November 1996 Edition
    - The Declaration of Covenants, Conditions and Restrictions of the Master Subdivision of The Seasons at Tiara Rado, together with all Amendments and Supplements (the "Master Covenants")
    - The Design Review Committee for The Seasons at Tiara Rado Subdivision (the "DRC")
    - The Plat for Filing 6, The Seasons at Tiara Rado Subdivision
  - Homes must be built in strict accordance with the design guidelines as set forth in the Master Covenants or as set forth in any supplemental design guidelines as adopted by the Master Association. Written approval from the DRC is required before application can be made for a building, wall or fence permit; and before construction of landscaping is commenced.
  - The southeast wall for the principal buildings on Lots 26 through 34 shall be set a distance of 4 feet from the respective southeast property lines. The principal buildings shall include at least 50 lineal feet of building wall along these southeasterly building setback lines.
  - Lots 26 through 34 - Stucco walls, at least 5 feet in height, will be constructed from the southeast corner of the principal building, 4 feet from the southeasterly property line, to the front Multi-purpose Easement Line. Stucco walls, 6 feet in height will be constructed from the northeast corner of the principal building, 4 feet from the southeasterly property line, to the rear property line. The wall will step down to 4 feet in height within four feet of the rear property line. A stucco wall is permitted along the rear (northerly) property line that is no more than 4 feet in height. A gate or opening in the rear wall no wider than 5 feet is permitted.
  - The Drainage Easements along the south end of Filing No. 5 that adjoin Shadow Rock Court and Lots 1, 2 and 3 shall be kept in its natural condition. No building, wall, fence or other structure shall be placed any closer than 10 feet from the natural banks of this Drainage Easement. Retaining walls and driveway culverts along the natural banks are permitted as shown. Additional retaining walls along the Drainage Easement Boundary are permitted if approved by the DRC.
  - No individual, free standing mail boxes or newspaper boxes are permitted. All lots will use "cluster mail boxes" to be provided by the US Postal Service.
  - Refer to the recorded Plat for The Seasons at Tiara Rado, Filing No. 6 for all bearings and distances. Where differences exist between this Site Plan and the Plat, the Plat controls.
  - Building heights are measured from the building corner with the highest natural grade to the top of the highest ridge line or top of the highest parapet. See the Master Covenants for additional requirements.
  - No buildings, structures, walls or fences shall be built within the Multi-purpose Easement nor within any Sight Easement.
  - Engineered foundations will be required for any Lot in Filing 6.
  - Planning Clearance for building permits will require individual lot drainage and storm water management plans. To the extent practical, drainage will not be permitted onto adjoining lots, but instead should be diverted to defined drainage areas or streets. Typical lot drainage to include swales between building envelopes to divert runoff from adjacent lots away from building envelopes. Private fences, landscaping, etc. shall not inhibit runoff from higher lots onto lower lots. After construction has commenced on any lot, owners will be responsible for controlling runoff and treatment of sediment loadings prior to discharge to the street, other lot, or any other off lot drainage ways including silt fences as may be necessary (refer to Sheet 17, Storm Water Management Plan).
  - Driveway cuts along vertical curb and gutter for Lots 10 and Lot 11 to be constructed by respective home owners of each lot when location of driveway is known. All future driveway cuts to be in accordance with City of Grand Junction Standards.
  - Owners of Lots on which Exclusive Easements are located shall have right of entry to Exclusive Easement area to maintain facilities associated with each Owner's home (i.e., building, walls, fences, etc.). Owners of Lots on which Exclusive Easements are located will take all precautions within a normal standard of care to protect all landscaping while accessing and working in the Exclusive Easement area.
  - Stipulations regarding the Exclusive Easements applies to Lot 7 of The Seasons at Tiara Rado Filing 5 and Lots 26 thru 34 of this said Filing 6.
  - All construction shall be in accordance with City of Grand Junction Standards and Specifications.

**Standards For Principal Buildings**

	LOTS	
	1 thru 25	26 thru 34
Minimum Building Set-Back Requirements (feet from property line)		
Front	As Shown	20
Southeast Side	As Shown	Note 3
Northwest Side	As Shown	15
Rear	As Shown	10
Maximum Building Height (feet)	22	18
Maximum Wall and Fence Height (feet), exclusive of arches	6	6
Minimum Floor Area (exclusive of garages, porches, decks and unfinished basements)	2200 sq ft	1900 sq ft
Maximum Foundation Footprint (including Garage)	5000 sq ft	3500 sq ft
Number of Living Levels Above Highest Natural Building Envelope Grade	1	1
Minimum Wall and Fence Set-back (feet from property line)		
Sides with Multi-purpose Easements	15	15
Other Sides	10	Note 4
Driveways		
Maximum driveway entrances	3	2
Maximum driveway pavement width at curb per entrance	25 feet	25 feet
Difficult Parking (assumed vehicle length = 14 feet)		
Minimum required per Lot, including garage	4	4
Minimum in garages	2	2

NOTE: Supplement No. 6 of the Master Covenant contains additional building and design standards.

**LAND USE SUMMARY**

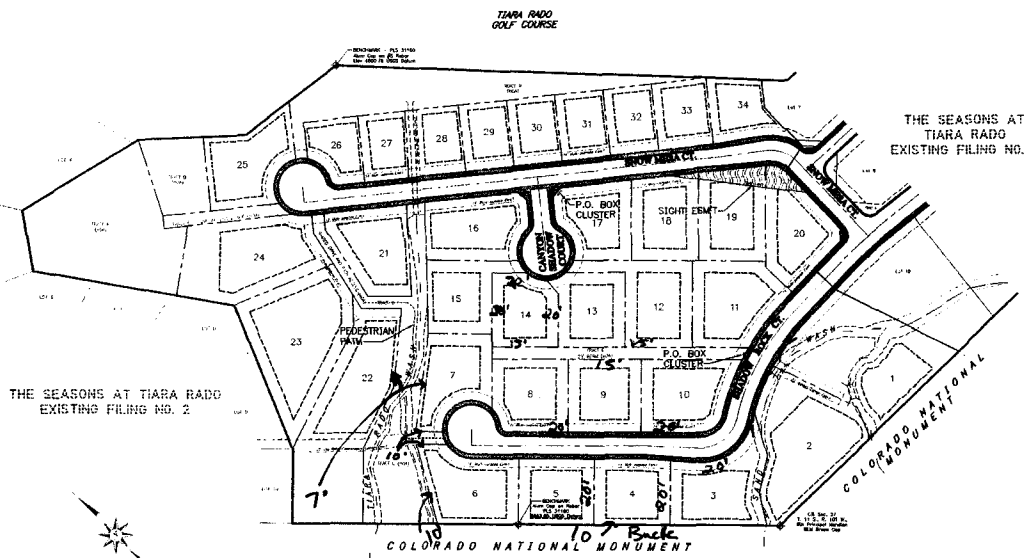
	ACRES	PERCENT
LOTS	12.05	71.0%
TRACTS A-F	3.15	17.4%
R.O.W.	2.11	11.6%
TOTAL	18.11	100.0%

**CLERK AND RECORDER'S CERTIFICATE**

STATE OF COLORADO )  
COUNTY OF MESA ) SS

I hereby certify that this instrument was filed in my office at 1:29 o'clock P.M. this 15<sup>th</sup> day of MAR., A.D., 2004, and is duly recorded in Plat Book No. 18, Page 111, Reception No. 1985630, Drawer No. 5584.

Clerk and Recorder \_\_\_\_\_ Deputy \_\_\_\_\_ Fees \_\_\_\_\_



SCALE: HORIZONTAL 1"=100'  
VERTICAL N/A

REVISIONS	DATE
ADDRESS, CITY COMMENTS 12-01-09	
ADDRESS, CITY COMMENTS 12-16-13	

**WestWater Engineering**

2516 Foresight Circle, #1  
Grand Junction, CO 81505  
(970) 241-7076

**THE SEASONS AT TIARA RADO FILING NO. 6**

**SITE PLAN**

Design by	Drafted by	Date	Project No.	Sheet of
STL	PRD	10-00	0042	1