

FEE \$10.00

PERMIT # 13896

FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

Property Address: 583 28 1/2 ROAD g.j.c. 81501
Property Tax No: 2943-072-20-010
Subdivision: 2004 FALL
Property Owner: EBE SEGHATOLSLAMI
Owner's Telephone: 241-2672
Owner's Address: 583 28 1/2 ROAD g.j.c. 81501
Contractor's Name: EBE-ISLAMI
Contractor's Telephone: 241-2672
Contractor's Address: SAME AS ABOVE
Fence Material & Height: 0.005 LATTICE 4'

Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, and fence height(s). NOTE: Property line is likely one foot or more behind the sidewalk.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF
ZONE RD
SPECIAL CONDITIONS
SETBACKS: Front from property line (PL) or from center of ROW, whichever is greater.
Side from PL Rear from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature [Signature] Date 3/20/06
Community Development's Approval [Signature] Date 3/20/06
City Engineer's Approval (if required) Date

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)
(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

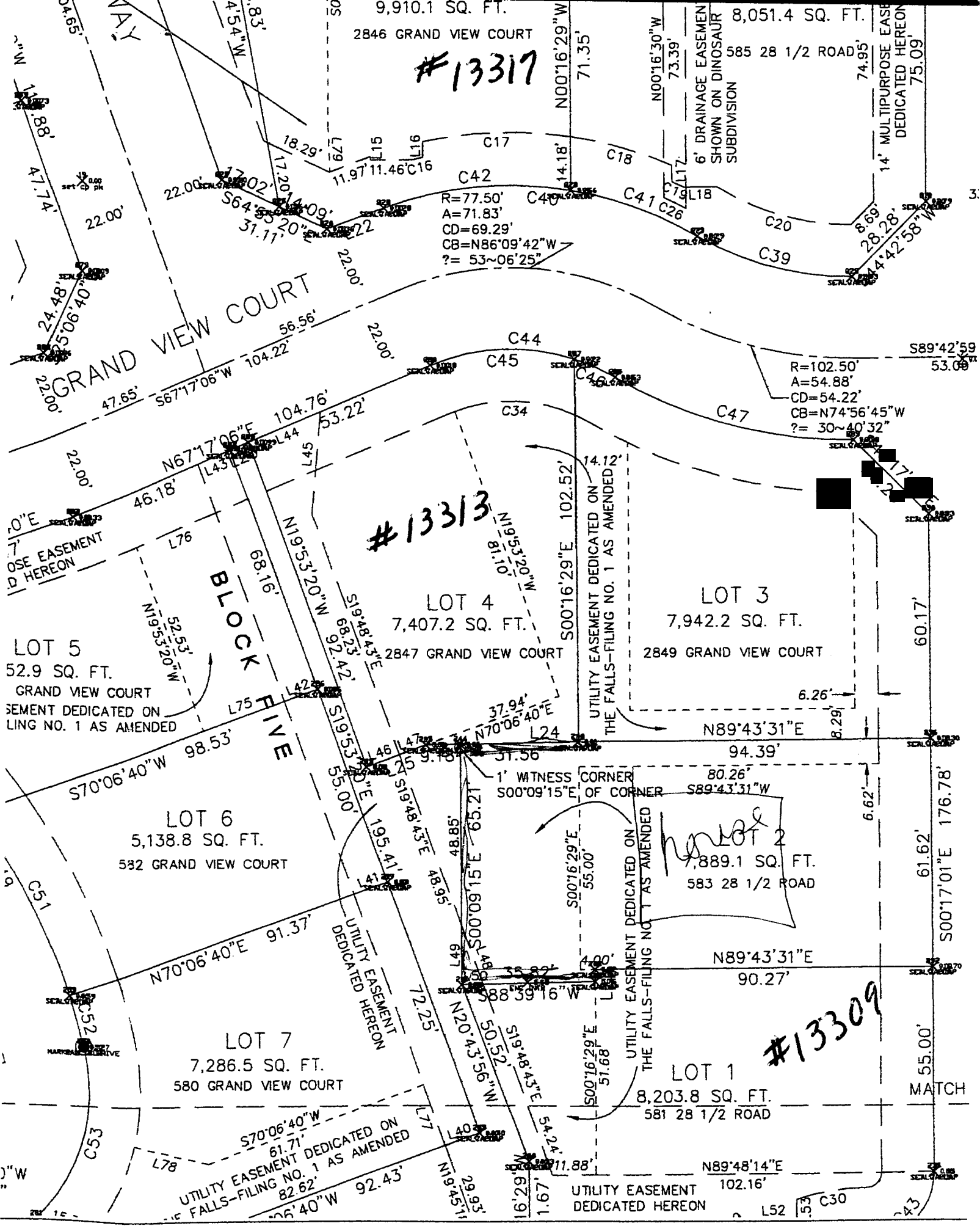
9,910.1 SQ. FT.
2846 GRAND VIEW COURT

#13317

8,051.4 SQ. FT.
585 28 1/2 ROAD

6' DRAINAGE EASEMENT
SHOWN ON DINOSAUR
SUBDIVISION

14' MULTIPURPOSE EASE
DEDICATED HEREON



R=77.50'
A=71.83'
CD=69.29'
CB=N86°09'42"W
?= 53~06'25"

R=102.50'
A=54.88'
CD=54.22'
CB=N74°56'45"W
?= 30~40'32"

#13313

LOT 4
7,407.2 SQ. FT.
2847 GRAND VIEW COURT

LOT 3
7,942.2 SQ. FT.
2849 GRAND VIEW COURT

LOT 5
52.9 SQ. FT.
GRAND VIEW COURT
EASEMENT DEDICATED ON
LING NO. 1 AS AMENDED

LOT 6
5,138.8 SQ. FT.
582 GRAND VIEW COURT

LOT 7
7,286.5 SQ. FT.
580 GRAND VIEW COURT

LOT 2
7,889.1 SQ. FT.
583 28 1/2 ROAD

LOT 1
8,203.8 SQ. FT.
581 28 1/2 ROAD

#13309

UTILITY EASEMENT DEDICATED ON
THE FALLS-FILING NO. 1 AS AMENDED

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THE FALLS-FILING NO. 1 AS AMENDED

UTILITY EASEMENT DEDICATED ON
THE FALLS-FILING NO. 1 AS AMENDED

UTILITY EASEMENT
DEDICATED HEREON