

FEE \$10.00-

PERMIT # 14554

FENCE PERMIT
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

Property Address: 722 Woodridge Ct, G.J, CO 81505
Property Tax No: 2701-341-00-141
Subdivision: Woodridge
Property Owner: BED HART Homes at Woodridge
Owner's Telephone: 234-0822
Owner's Address: 2320-E 1/2 Rd G.J, CO 81503
Contractor's Name: BED HART CONST
Contractor's Telephone: 234-0822
Contractor's Address: Same
Fence Material & Height: 3' Tan Vinyl 2 Rail

Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, and fence height(s). NOTE: Property line is likely one foot or more behind the sidewalk.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF
ZONE PD
SPECIAL CONDITIONS
SETBACKS: Front 20' from property line (PL) or
Side 0 from PL Rear 0 from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

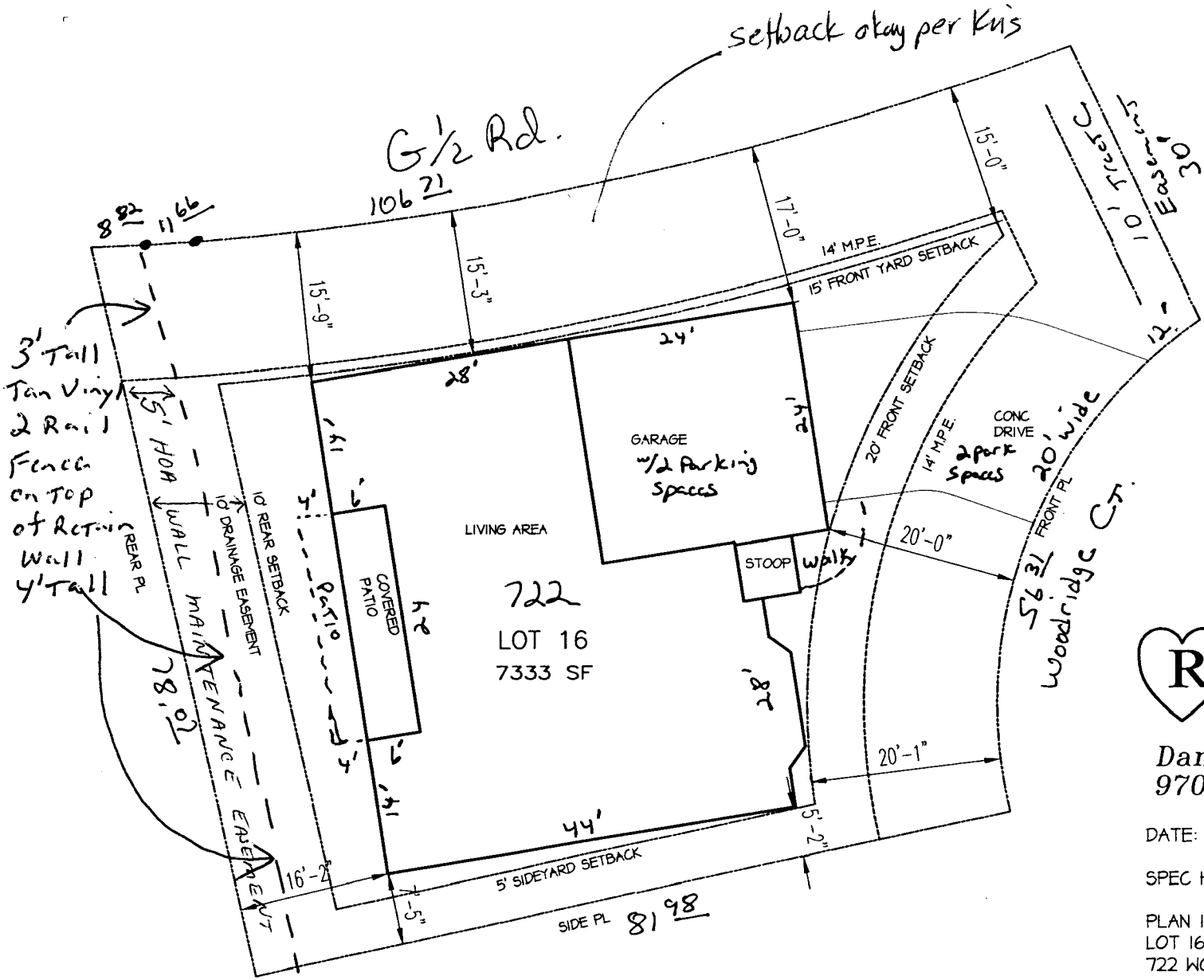
The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature [Signature] Date Apr 3 2007
Community Development's Approval [Signature] Date 4/9/07
City Engineer's Approval (if required) _____ Date _____

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)



Setbacks	min	ACT
Front	20	20
Rear	10	16'-2"
Left	5	5'-2"
Right	15	15'-3"



Daniel R. Gearhart
970/244-8975

DATE: 03/11/07

SPEC HOME

PLAN 1
LOT 16
722 WOODRIDGE COURT

SETBACKS
FRONT: 20'
REAR: 10'
SIDE: 5'
SPECIAL: 15' SETBACK ON NORTH SIDE



SITE PLAN

SCALE: 1" = 16'