

FEE \$10.00

PERMIT # 14620 *pl*

FENCE PERMIT  
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPARTMENT

Property Address: 232 Woodridge Ct.  
 Property Tax No: 2701-341-37-023  
 Subdivision: Woodridge  
 Property Owner: RED HART Homes at Woodridge  
 Owner's Telephone: 234-0822  
 Owner's Address: 2320-E 1/2 Rd, Grand Junction, CO 81503  
 Contractor's Name: RED HART CONSTRUCTION  
 Contractor's Telephone: 234-0822  
 Contractor's Address: 2320-E 1/2 Rd Grand Jct CO 81503  
 Fence Material & Height: 3' Ten vinyl 1/2 Rail and 6' Ten vinyl privacy

Plot plan must show property lines and property dimensions, all easements, all rights-of-way, all structures, all setbacks from property lines, and fence height(s). NOTE: Property line is likely one foot or more behind the sidewalk.

THIS SECTION TO BE COMPLETED BY COMMUNITY DEVELOPMENT DEPARTMENT STAFF	
ZONE <u>FD</u>	SETBACKS: Front <u>20</u> from property line (PL) or
SPECIAL CONDITIONS <u>Plot plan Development</u>	<u>Restrictions on fencing</u> from center of ROW, whichever is greater.
	Side _____ from PL Rear _____ from PL

Fences exceeding six feet in height require a separate permit from the City/County Building Department. A fence constructed on a corner lot that extends past the rear of the house along the side yard or abuts an alley requires approval from the City Engineer (Section 4.1.J of the Grand Junction Zoning and Development Code).

The owner/applicant must correctly identify all property lines, easements, and rights-of-way and ensure the fence is located within the property's boundaries. Covenants, conditions, restrictions, easements and/or rights-of-way may restrict or prohibit the placement of fence(s). The owner/applicant is responsible for compliance with covenants, conditions, and restrictions which may apply. Fences built in easements may be subject to removal at the property owner's sole and absolute expense. Any modification of design and/or material as approved in this fence permit must be approved, in writing, by the Community Development Department Director.

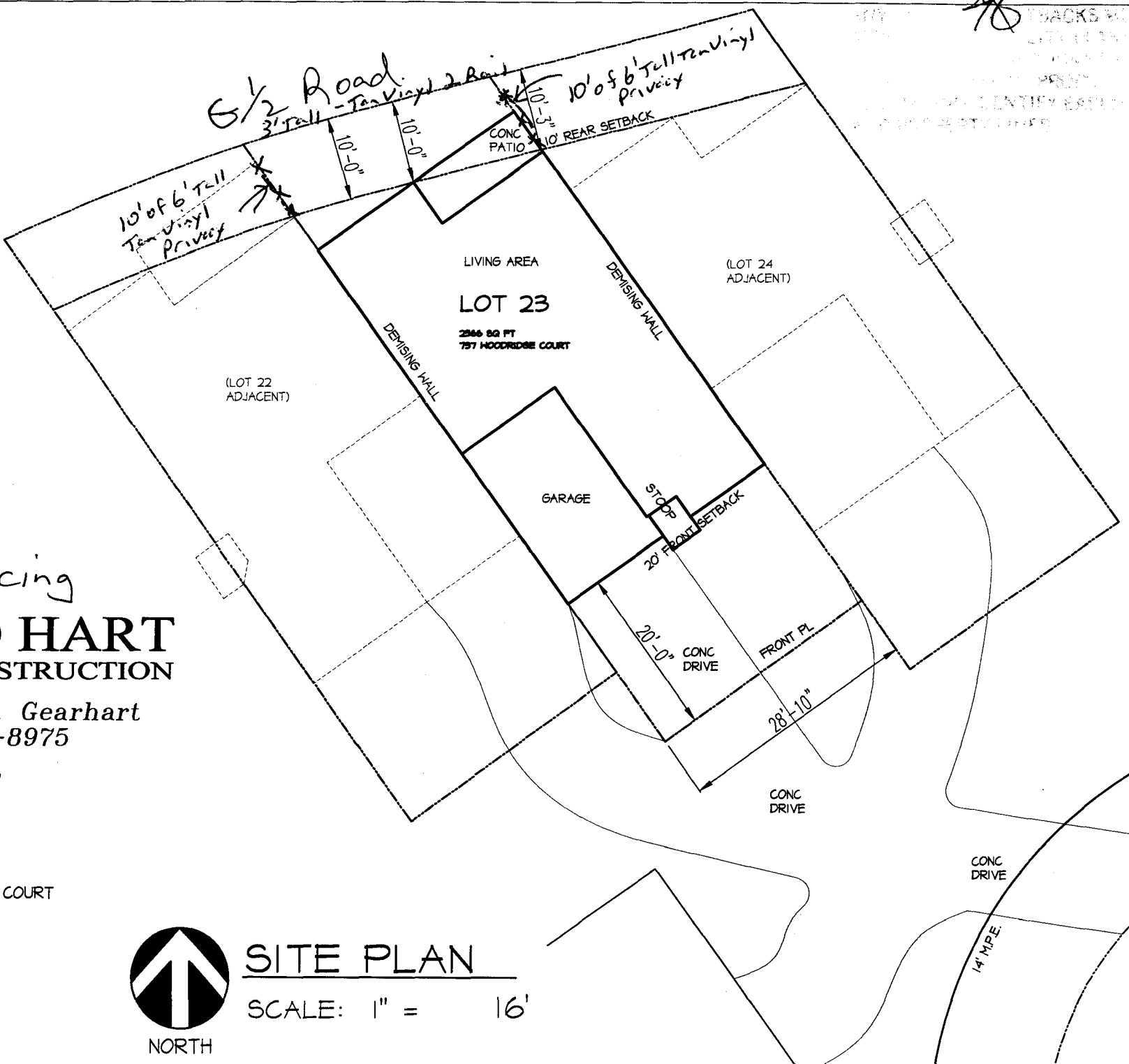
I hereby acknowledge that I have read this application and the information and plot plan are correct; I agree to comply with any and all codes, ordinances, laws, regulations, or restrictions which apply. I understand that failure to comply shall result in legal action, which may include but not necessarily be limited to removal of the fence(s) at the owner's cost.

Applicant's Signature *[Signature]* Date July 9, 2007  
 Community Development's Approval *[Signature]* Date 7/10/07  
 City Engineer's Approval (if required) \_\_\_\_\_ Date \_\_\_\_\_

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 2.2.E.1.d Grand Junction Zoning & Development Code)

(White: Planning) (Yellow: Customer) (Pink: Code Enforcement)

BACKS...  
CENTURY...  
PROPERTY...



Fencing  
**RED HART**  
CONSTRUCTION

Daniel R. Gearhart  
970/244-8975

DATE: 05/01/07  
SPEC HOME

LOT 23  
737 WOODRIDGE COURT

SETBACKS  
FRONT: 20'  
REAR: 10'  
SIDE: ZERO



**SITE PLAN**

SCALE: 1" = 16'

WOODRIDGE CT