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**PLANNING COMMISSION AGENDA
CITY HALL AUDITORIUM, 250 NORTH 5TH STREET**

TUESDAY, NOVEMBER 13, 2018, 6:00 PM

Call to Order - 6:00 P.M.

1. Minutes of Previous Meetings

Attach 1

Action: Adopt the minutes from the September 25, 2018 meeting

2. Foam and Folly Conditional Use Permit

Attach 2

FILE # CUP-2018-456

Consider a request for a Conditional Use Permit (CUP) to allow a microbrewery and taproom on .12 acres in a B-2 (Downtown Business) zone district.

Action: Final Decision

Applicant: Jeff Reid
Location: 330 S 2ND ST
Staff Presentation: Andrew Gingerich

3. Frog Pond Zone of Annexation and Outline Development Plan

Attach 3

FILE # ANX-2018-349 / PLD-2018-350

Consider a request of an Outline Development Plan (ODP) and zone of annexation to Planned Development (PD) with R-5 (Residential, 5 du/ac) and CSR (Community Services and Recreation) default zone districts for Frog Pond.

Action: Recommendation to City Council

Applicant: Frog Pond LLC - Kevin Bray
Location: 2501 MONUMENT RD
Staff Presentation: Kathy Portner

Other Business

Adjournment

GRAND JUNCTION PLANNING COMMISSION
September 25, 2018 MINUTES
6:05 p.m. to 9:00 p.m.

The meeting of the Planning Commission was called to order at 6:00 p.m. by Vice-Chairman Wade.

Those present were Planning Commissioners, Keith Ehlers, George Gatseos, Andrew Teske, Steve Toole, and Bill Wade.

Also present were Community Development Department–Tamra Allen, (Community Development Director), Lori Bowers, (Senior Planner), Scott Peterson (Senior Planner) and Rick Dorris (Development Engineer).

Deputy City Attorney Jamie Beard and Secretary Lydia Reynolds.

There were approximately 30 citizens in attendance during the hearing.

1. Minutes of Previous Meetings

Action: Approve the minutes from the September 11th, 2018

Vice-Chairman Wade asked for a motion to approve the minutes.

Commissioner Ehlers moved to approve the minutes as written.

Commissioner Gatseos seconded the motion. The motion passed unanimously by a vote of 5-0.

Vice-Chairman Wade made clear the purpose of the meeting and outlined the order of the public hearing.

***** INDIVIDUAL CONSIDERATION *****

2. Rooted Gypsy – Rezone

FILE # RZN-2018-422

Consider a request to rezone 1.92 acres from an R-R (Residential Rural) zone district to R-E (Residential Estate) zone district.

Action: Recommendation to City Council

Applicant: Mark Beckner

Location: 2575 G Rd

Staff Presentation: Lori Bowers

The applicant, Mark Beckner, was present.

Commissioner Teske recused himself from this public hearing item and left the room.

Vice-Chairman Wade began by asking if the required public notice was given pursuant to the City's noticing requirements. Ms. Bowers replied in the affirmative.

Staff Presentation

Lori Bowers, (Senior Planner) stated that this request is to Consider a request to rezone 1.92 acres from an R-R (Residential Rural) zone district to R-E (Residential Estate) zone district. Ms. Bowers continued with a PowerPoint presentation.

Questions for Staff

Ms. Bowers answered a question about the driveway location.

Applicants Presentation

The applicant, Mark Beckner stated he feels the staff presentation was good and is available to answer any questions.

Public Comment

Vice-Chairman Wade opened the public hearing for public comment. George Hulse voiced his concerns.

Applicants Response

Mr. Becker responded to the citizens' concerns about the potential impact of his business to the neighborhood. Mr. Becker answered Commissioner Ehlers questions regarding acreage and location of homes.

Commissioner Discussion

Commissioners Ehlers, Gatseos, Tolle and agreed with staff that this meets the criteria. Rick Dorris (Development Engineer) answered questions about agriculture mud tracking on city roads.

Motion and Vote

Commissioner Gatseos moved to recommend approval to City Council.

Commissioner Ehlers seconded the motion. The motion passed unanimously by a vote of 4-0.

Ms. Allen announced that Ms. Bowers has turned in her resignation after 20 years of service to the City of Grand Junction. The Commissioners all thanked her for her service.

Commissioner Teske rejoined the Commissioners for the remainder of the meeting.

3. Elevation 4591 – Rezone / Outline Development Plan

FILE # PLD-2018-340

Consider a request of an Outline Development Plan (ODP) and Rezone to PD (Planned Development) zone district with a default zone of R-8 (Residential - 8 du/ac) to develop 16 single family detached lots with one additional lot proposed for a two-family dwelling for a total of 18 dwelling units on 3.23 acres.

Action: Recommendation to City Council

Applicant: Chronos Property LLC - Cody Davis

Location: 2524 F 1/2 Rd

Staff Presentation: Scott Peterson

Lisa Cox with Vortex Engineering, representing Chronos Property LLC was present.

Vice-Chairman Wade began by asking if the required public notice was given pursuant to the City's noticing requirements. Scott Peterson, (Senior Planner) replied in the affirmative. Staff answered questions from Commissioners regarding a citizen's letter.

Staff Presentation

Mr. Peterson stated that this request is to consider an Outline Development Plan (ODP) and Rezone to PD (Planned Development) zone district with a default zone of R-8 (Residential - 8 du/ac) to develop 16 single family detached lots with one additional lot proposed for a two-family dwelling for a total of 18 dwelling units on 3.23 acres.

Applicants Presentation

Lisa Cox and James Atkinson with Vortex Engineering represented Chronos Property LLC. Ms. Cox gave an overview of the project with a PowerPoint presentation. Mr. Atkinson's presentation addressed the groundwater issue in the area.

Questions for Applicant

Ms. Cox answered questions about building heights and architectural control.

Vice-Chairman Wade called for a short break. After a break, the Planning Commission reconvened.

Public Comment

Vice-Chairman Wade opened the public hearing for public comment. Ross Barefoot, Bruce Smith, Ron Stoneburner, Ray Campbell and Tina Barefoot voiced their concerns.

Applicants Response

Ms. Cox responded to the citizens' concerns about the final design. Mr. Atkinson responded to citizen's concerns about groundwater and surface water issues.

Questions for Staff

Staff answered questions about zoning, and the process this development will undergo should the rezone be approved.

Commissioner Discussion

Commissioners Gatseos stated that he found the findings in the staff report correct. Commissioner Ehlers stated he was in favor because he feels the project is compatible, meets the criteria, and as infill, it is a benefit to the larger community. Commissioner Teske stated he is in favor of the project and agrees with the findings of the staff report and feels it is compatible with existing plans and provides a good housing mix. Commissioner Tolle stated he will be voting in favor and agrees that it meets criteria. Vice-Chairman Wade stated he would be in favor and agrees with the other Commissioners.

Motion and Vote

Commissioner Ehlers moved to recommend approval to City Council.

Commissioner Gatseos seconded the motion. The motion passed unanimously by a vote of 5-0.

4. Timberline Bank – Rezone

FILE # RZN-2018-334

Consider a request to rezone 8.64 acres from C-1 (Light Commercial) zone district to M-U (Mixed Use) zone district.

Action: Recommendation to City Council
Applicant: Timberline Bank - Jeffery Taets
Location: 649 Market St
Staff Presentation: Scott Peterson

The Applicant Kim Kerk, representing Timberline Bank was present.

Vice-Chairman Wade began by asking if the required public notice was given pursuant to the City’s noticing requirements. Scott Peterson, (Senior Planner) replied in the affirmative.

Staff Presentation

Mr. Peterson stated that this request is to Consider a request to rezone 8.64 acres from C-1 (Light Commercial) zone district to M-U (Mixed Use) zone district.

Applicants Presentation

Kim Kerk owner of Kim Kerk Land Consulting and Development stated she was

representing the owner of Timberline Bank. Ms. Kerk explained the vision behind the project. Ms. Kerk stated they have hired Vortex Engineering as part of the project team.

Public Comment

Vice-Chairman Wade opened the public hearing for public comment. With no one coming forward to speak, Vice-Chairman Wade closed the public comment period.

Questions for Staff

Staff answered questions about uses in the proposed zone.

Commissioner Discussion

The Commissioners all agreed the proposal meets the criteria and are in favor.

Motion and Vote

Commissioner Teske moved to recommend approval to City Council.

Commissioner Tolle seconded the motion. The motion passed unanimously by a vote of 5-0.

Other Business

Staff stated that the public hearing item for a Code Text Amendment was originally sent out in the Commissioners packet however the published agenda states that it was withdrawn by staff and will be addressed at a later date.

Ms. Allen noted that she will not be at the meetings the next few months and that David Thornton will be attending the meetings in her place.

Adjournment

The meeting was adjourned at 9:00 PM

Development Application

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do petition this:

Petition For: Conditional Use Permit

Please fill in blanks below only for Zone of Annexation, Rezones, and Comprehensive Plan Amendments:

Existing Land Use Designation	<input type="text"/>	Existing Zoning	<input type="text"/>
Proposed Land Use Designation	<input type="text"/>	Proposed Zoning	<input type="text"/>

Property Information

Site Location:	<u>330 S. 2nd St. Grand Junction CO 81501</u>	Site Acreage:	<u>.12</u>
Site Tax No(s):	<u>2945-143-35-010</u>	Site Zoning:	<u>B-2</u>
Project Description:	<u>Brew pub</u>		

Property Owner Information

Name: Mand R Holdings LLC
 Street Address: 2658 Dahlia Ct.
 City/State/Zip: Grand Junction CO 81506
 Business Phone #: 720-250-7413
 E-Mail: jreid-11@charter.net
 Fax #:
 Contact Person: Jeff Reid
 Contact Phone #: 720-250-7413

Applicant Information

Name: Jeff Reid
 Street Address: 2658 Dahlia Ct.
 City/State/Zip: Grand Junction CO 81506
 Business Phone #: 720-250-7413
 E-Mail: jreid-11@charter.net
 Fax #:
 Contact Person: Jeff Reid
 Contact Phone #: 720-250-7413

Representative Information

Name: Eric Kraai
 Street Address: 417 Monument Rd. #7
 City/State/Zip: Grand Junction CO 81507
 Business Phone #: 970-712-5045
 E-Mail: eric@kraaidesign.com
 Fax #:
 Contact Person: Eric Kraai
 Contact Phone #: 970-640-7898
cell

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee may be charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing the Application	<u>Jeffrey T. Reid</u>	Date	<u>6-27-18</u>
Signature of Legal Property Owner	<u>Jeffrey T. Reid</u>	Date	<u>6-27-18</u>



KRAAI DESIGN ARCHITECTURE

417 Monument Rd, Suite 7 Grand Junction

Project Narrative

330 S. 2nd Street

August 3, 2018

Kristen Ashbeck

City of Grand Junction

- A. **Project Description:** The proposed project is a change of use for an existing single story automotive garage into a small brewery/taproom absorbing 3200 square ft. of the 5,000 square ft. lot. The intended use for the first level will be a small 5-bbl brewery and taproom. If an amendment can be obtained to the existing easement adjacent to the rear of the property, an application for a second story single-family residence will be submitted. The yard area in the rear of the property is intended to be a beer garden.
- B. **Public Benefit:** The applicant believes the addition of a brewery/taproom would be a positive addition to the visitor experience and overall appeal of the Grand Junction downtown area.
- C. A Neighborhood meeting was conducted on April 30, 2018. Attendee list and comments from neighbors have been submitted to the City.
- D. **Project Compliance, Compatibility, and Impact**
1. The project is located on S. 2nd street between Ute and Pitkin Ave. The building requires a change of use due to significant percentage of alcohol sales per Zoning and Development Code.
 2. The lot size is 0.12 acre. The area is primarily composed of mixed business use. The use of the property will be as designated B-2, Downtown Business.
 3. The Main entrance to the building will be on S. 2nd Street. Production material deliveries will require the use of the front roll-up door and existing curb cut on S. 2nd St. Parking will be on-street; a small city-owned lot is located directly across the street at the corner of S. 2nd St. and Pitkin Ave. In addition, the new city owned lot (formerly Wells Fargo drive-through services) is within close proximity to the north of the alley spanning S. 2nd St. and S. 3rd St.
 4. No special requirements with Persigo other than typical small brewery demands.

5. Electrical and Wastewater utility services required for this project would be extended from the alley to the north. Gas and Water utility services would be extended from S. 2nd Street sidewalk. There is a fire hydrant on the corner of S. 2nd St. and Pitkin Ave. and a hydrant at the corner of S. 2nd St. and Ute Ave.
6. Operating hours are planned for Wed. 3-9pm, Thu. 3-9pm, Fri. 12-10pm, Sat. 12-10pm, Sun. 12-6pm.
7. Employees planned: 2-3
8. Signage: Brewery sign and/or painted logo on front of building; possible sign attached to roof visible from north along Ute Ave.
9. No additional requirements for public facilities. Storm water will be managed with existing infrastructure.

E. **21.02.110 Conditional use permit (CUP).**

- (a) **Purpose.** The purpose of a conditional use review is to provide an opportunity to utilize property for an activity which under usual circumstances could be detrimental to other permitted uses, and which normally is not permitted within the same district. A conditional use may be permitted under circumstances particular to the proposed location and subject to conditions that provide protection to adjacent land uses. A conditional use is not a use by right; it is one that is otherwise prohibited within a given zone district without approval of a conditional use permit.
- (b) **Applicability.** A conditional use permit shall be required prior to the establishment of any conditional use identified in Chapter 21.04 GJMC or elsewhere in this code.
Using the chapter 21.04 usage table, under “Household Living” with the zoning of a B2, an residential occupancy is “Allowed”.
- (c) **Approval Criteria.** The application shall demonstrate that the proposed development will comply with the following:
 - (1) District Standards. The underlying zoning districts standards established in Chapter 21.03 GJMC, except density when the application is pursuant to GJMC 21.08.020(c);

21.03.010 Purpose.

The City is zoned into areas referred to as zones or districts. The purpose of establishing zones is to:

- (a) Implement the Comprehensive Plan;
- (b) Encourage the most appropriate use of land throughout the City and to ensure logical and orderly growth and development of the physical elements of the City;
This is a logical use of the property. It’s a reuse of an existing building and will provide entertainment for residents, new hotel guests.
- (c) Prevent scattered, haphazard growth and guide orderly transition of urban areas;
As a reuse of an existing building, this is an ideal location.
- (d) Conserve and enhance economic, social and aesthetic values;
The façade will be updated and will provide a new revenue source.
- (e) Protect and maintain the integrity and character of established neighborhoods;

(f) Facilitate provision of adequate public facilities and services, such as transportation, water, sewerage, schools and parks;

Being next to a public parking lot and near Main St, there will be a minimal traffic impact and encourage more pedestrian traffic.

(g) Promote the development of convenient and beneficial clusters of uses, including business and shopping facilities where satisfactory proof is made that the same are reasonably necessary and desirable for the public convenience and welfare;

This use is going to be a convenient and complimentary use to the area. With the anticipated expansion of Two Rivers Convention Center, the new hotel, and the anticipated use of the Depot restoration, this are will soon become a thriving part of downtown.

(h) Provide for adequate light and clean air;

Lighting in the front side will be downlighting for adequate safety. Brewing and storage of spent grains will be addressed in the next section.

(i) Aid in preventing traffic congestion in the streets and public ways of the City;
The majority of parking will be from the exiting parking lot at 261 Ute Ave. pedestrian traffic will flow along the sidewalk to the proposed project.

(j) Prevent unduly noisome and/or injurious substances, conditions and operations;
All patrons will be inside the establishment, or inside a fenced rear yard.

(k) Secure safety from fire, panic and other dangers; and

The building will comply with all building and fire code requirements.

(l) Promote the public health, safety and welfare.

The building will comply with all building and fire code requirements.

(2) Specific Standards. The use-specific standards established in Chapter 21.04 GJMC;
21.04.020(r)

(iii) Entertainment-Oriented. Restaurants, cafes, delicatessens, bars and taverns

This use is allowed under as a CUP under table 24.01

(3) Availability of Complementary Uses. Other uses complementary to, and supportive of, the proposed project shall be available including, but not limited to: schools, parks, hospitals, business and commercial facilities, and transportation facilities;

Complimentary uses consist of the convention center, multiple hotels and downtown employees/patrons.

(4) Compatibility with Adjoining Properties. Compatibility with and protection of neighboring properties through measures such as:

No conflicts with adjacent property Owners. The two adjoining properties are typically daytime businesses. Foam and folly is anticipated to be evenings and weekends.

(i) Protection of Privacy. The proposed plan shall provide reasonable visual and auditory privacy for all dwelling units located within and adjacent to the site. Fences, walls, barriers and/or vegetation shall be arranged to protect and enhance the property and to enhance the privacy of on-site and neighboring occupants;

A new 6' tall cedar fence will be installed on the North side of the property along the alley between the existing structures, as well as along the East side of the property lines giving adequate privacy to the new business and existing. Surrounding business have been contacted and approval

- (ii) Protection of Use and Enjoyment. All elements of the proposed plan shall be designed and arranged to have a minimal negative impact on the use and enjoyment of adjoining property;
All patrons will be inside the establishment or in the fenced back yard. The operating hours will be evenings and weekends. The adjacent properties are daytime business. No negative impacts are anticipated, and adjoining property owners are in favor of the new business.
- (iii) Compatible Design and Integration. All elements of a plan shall coexist in a harmonious manner with nearby existing and anticipated development. Elements to consider include: buildings, outdoor storage areas and equipment, utility structures, building and paving coverage, landscaping, lighting, glare, dust, signage, views, noise, and odors. The plan must ensure that noxious emissions and conditions not typical of land uses in the same zoning district will be effectively confined so as not to be injurious or detrimental to nearby properties.
The only materials used for brewing will be organic. There will also be a vent stack that extends well above the roof line. Spent grains will be stored in sealed plastic containers and picked up weekly.
Designating the proposed project under the B2 zoning will meet the criteria with the existing infrastructure. The existing first floor ceiling height meets the B2 zoning at a minimum of 15'-0", the proposed single-family residence on the second floor will be a maximum of 11'-0", with the total structure at 26'-0" in height falling under the B2 criteria with a maximum 80'-0" building height.
All adjoining property owners are aware of the proposed use and are in support of it. The back patio area will be screened entirely with buildings and a cedar privacy fence.

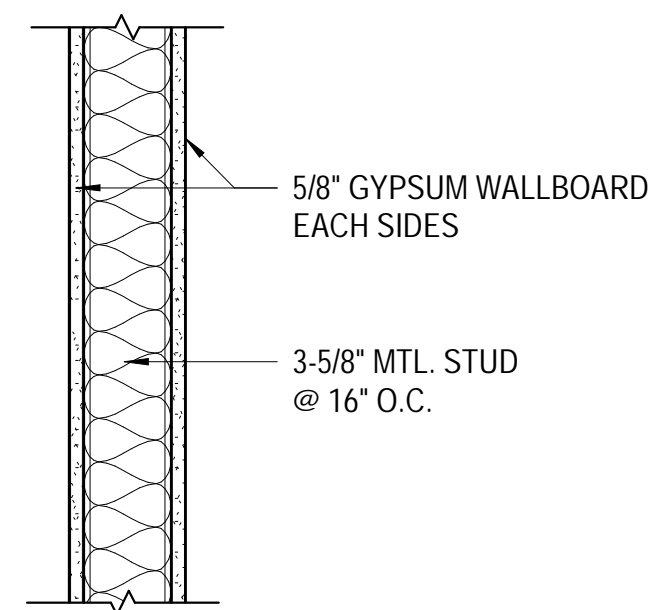
F. Development Schedule and Phasing:

The conversion of the automotive garage into the brewery/taproom will be the first phase with a tenant finish by the building owner, M and R Holdings, LLC and the brewery business, Foam & Folly Brewing, LLC. The second floor single family residence will be a tenant finished by the owners of the residence - Jeff Reid and Joy McIntosh. Construction of the brewery will begin on planning dept approval and the construction period anticipated to be 5 months. The residential phase will follow and is anticipated to be 5-6 months.

- Application submittal (intended or expected); **The intended date for submittal is approximately August 3, 2018.**
- Property closing; **Property closing is complete.**
- Expiration of any financial commitments; **N/A**
- Construction initiation; **The project will start construction upon Change of Use approval, planning and building department approval. The anticipated construction period for the brewery is estimated to be 10-12 months.**
- Opening date/date of first Certificate of Occupancy; **C/O desired summer 2019**
- Any other deadline that may be affected by the processing of the proposed application. **Not at this time.**

Architectural Abbreviations

ABV	above	JST	joist	PROJ	projector, projection
ACC	accessories	JT	joint	PSF	pounds per square foot
AFF	above finished floor	L	length, angle	PSI	pounds per square inch
ALT	alternate	LAM	laminated (d)	PT	pressure treated
AL	aluminum	LAV	lavatory	PTD	paper towel dispenser
APC	acoustical panel ceiling	LB	pound	PTN	partition
ARCH	architect (ural)	LF	lineal foot	PVC	polyvinyl chloride
ASPH	asphalt	LG	laminated glass, glazing	PVMT	pavement
A/C	air conditioning	LIN	linoleum	PWD	plywood
		LT	light	QT	quarry tile
BCS	baby changing station	MA	match	R	riser, radius
BD	board	MAS	masonry	RB	rubber base
BLDG	building	MATL	material	REC	recycling
BLKG	blocking	MAX	maximum	RCMD	recommend (ed) (ations)
BO	bottom of	MB	marker board	RE	reference
BRG	bearing	MECH	mechanic (al)	REF	refrigerator
		MFR	manufacture (r) (d)	REIN	reinforce (d) (ing)
CBU	cermetitious backer unit	MH	manhole	REQ	required
CG	corner guard	MIN	minimum	REV	revision (s), revised
CJ	control joint	MISC	miscellaneous	RD	roof drain
CLG	ceiling	MLD	molding, moulding	RFG	roofing
CLR	clear (ance)	MO	masonry opening	RH	robe hook
CMU	concrete masonry unit	MT	mount (ed) (ing)	RM	room
COL	column	MTL	metal	RO	rough opening
CONC	concrete	N	north	ROW	right of way
CONT	continuous or continue	N/A	not applicable	RR	restroom
CORR	corridor	NIC	not in contract	RTU	roof top unit
CPT	carpet (ed)	NOM	nominal	RUB	rubber
CSMT	casement	NTS	not to scale	S	south
CT	ceramic tile	NECY	necessary	SAG	susp acoustic grid
CTR	center	OC	on center (s)	SC	shower curtain rod & hooks
CWOG	center wall on grid	OD	outside diameter	SCH	schedule
		OFCl	owner furnished, contractor installed	SD	soap dispenser
DBL	double	OFD	overflow drain	SHT	sheet
DEMO	demolish / demolition	OFI	owner furnished, owner installed	SHTG	sheathing
DF	drinking fountain	OH	overhead	SM	similar
DIM	dimension (s)	OPG	opening	SMD	sanitary napkin dispenser
DIR	direction	OPH	opposite hand	SNV	sanitary napkin vendor
DISP	dispenser	OPP	opposite	SPEC	specification
DN	down	OSB	oriented strand board	SPKR	speaker
DR	door	OTS	open to structure	SQ	square
DS	downspout	PB	particle board	SS	solid surface
DTL	detail	PERF	perforate (d)	SST	stainless steel
DWG	drawing	PERIM	perimeter	STD	standard
DWR	drawer	PLAM	plastic laminate	STL	steel
		PLT	plate	STOR	storage
E	east	PNL	panel	STR	structural
EA	each	PNT	paint (ed)	SUSP	suspended
EC	evaporative cooler	PR	pair	T	tread
EG	etched glass/glazing	PROJ	projector, projection	TB	towel bar
EIFS	exterior insul finish sys	PSF	pounds per square foot	TEL	telephone
EJ	expansion joint	PSI	pounds per square inch	T.O.	top of
EL	elevation	PT	pressure treated	TOC	top of concrete
ELEC	electric (al)	PTD	paper towel dispenser	TOS	top of steel
EM	emergency	PTN	partition	TOW	top of wall
EWC	electric water cooler	PVC	polyvinyl chloride	TPD	toilet paper dispenser
EWG	end wall corner guard	PVMT	pavement	TS	tube steel
EQ	equal	PWD	plywood	TYP	typical
EXG	existing	QT	quarry tile	T&G	tongue and groove
EXH	exhaust	R	riser, radius	UNO	unless noted otherwise
EXP	exposed	RB	rubber base	VB	vapor barrier
EXT	exterior	REC	recycling	VCT	vinyl composition tile
		RCMD	recommend (ed) (ations)	VERT	vertical
FBO	furnished by owner	RE	reference	VIF	verify in field
FD	floor drain	REF	refrigerator	VM	vending machine
FDN	foundation	REIN	reinforce (d) (ing)	VNL	vinyl sheet
FE	fire extinguisher	REQ	required	VTR	vent through roof
FEC	fire extinguisher cabinet	REV	revision (s), revised	W	west, wide, width
FEP	finished end panel	RD	roof drain	W/	with
FFE	finished floor elevation	RFG	roofing	WB	wood base
FIN	finish	RH	robe hook	WC	watercloset
FLG	flashing	RM	room	WD	wood
FLR	floor (ing)	RO	rough opening	WDW	window
FLUR	fluorescent	ROW	right of way	WF	wide flange
FO	face of	RR	restroom	WG	wire glass
FRMG	framing	RTU	roof top unit	W/O	without
FRP	fiber reinforced plastic	RUB	rubber	WP	waterproof (ing)
FT	foot (feet)	S	south	WR	waste receptacle
FTG	footing	SAG	susp acoustic grid	WRB	weather resistive barrier
		SC	shower curtain rod & hooks	WWM	welded wire mesh
GAL	gallon	SCH	schedule		
GALV	galvanized	SD	soap dispenser		
GB	grab bar	OH	overhead		
GC	general contractor	OPG	opening		
GL	glass, glazing	OPH	opposite hand		
GWB	gypsum wallboard	OPP	opposite		
GYP	gypsum	OSB	oriented strand board		
		OTS	open to structure		
HAS	headed anchor stud	PB	particle board		
HB	hose bibb	PERF	perforate (d)		
HCP	handicap (ed)	PERIM	perimeter		
HDR	header	PLAM	plastic laminate		
HDW	hardware	PLT	plate		
HM	hollow metal	PNT	paint (ed)		
HOR	horizontal	PR	pair		
HSS	hollow structural sections				
HT	height				
HVAC	heating /ventilation / air conditioning				
HWD	hardwood				
INCL	include (d) (ing)				
INSUL	insulate (d) (ing)				
INT	interior				
INV	invert				

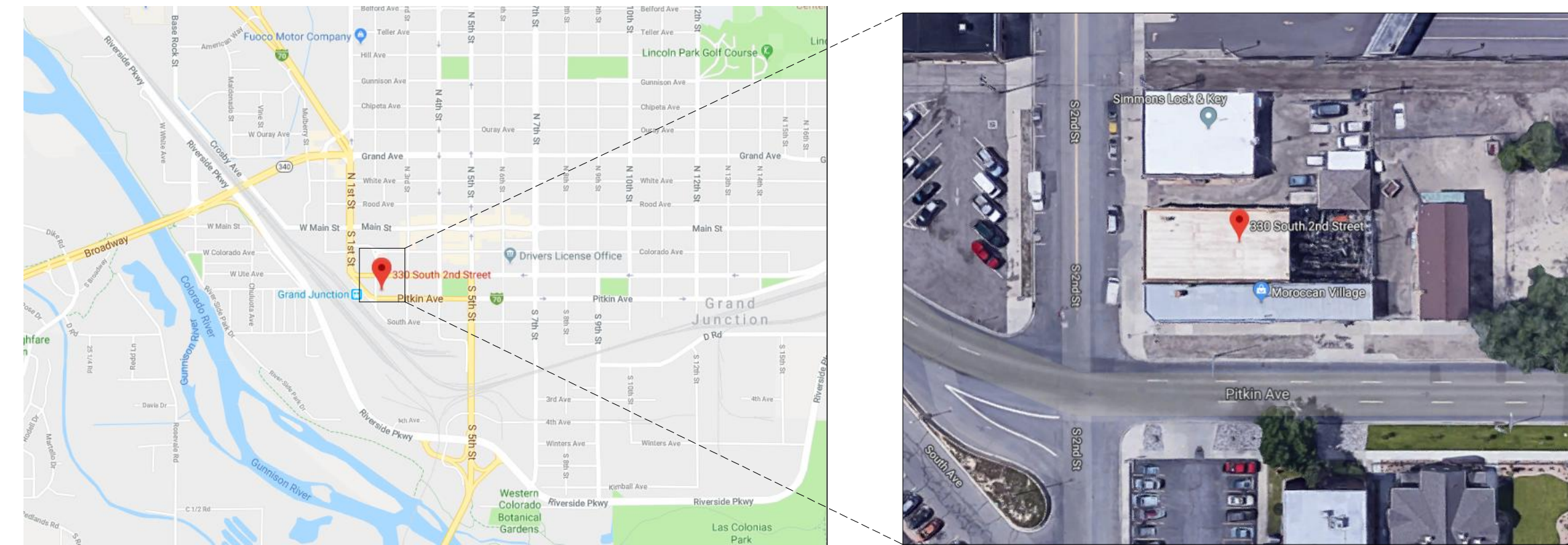
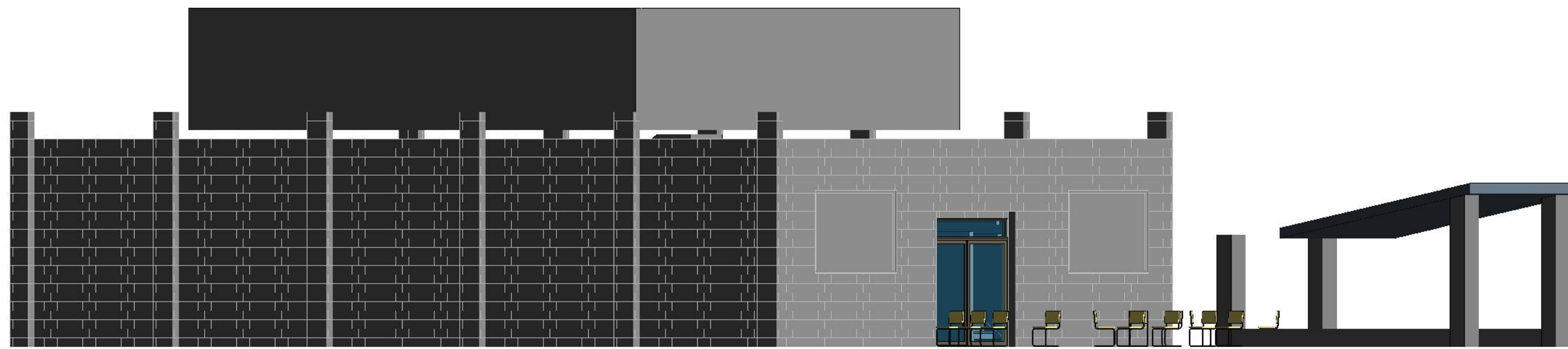
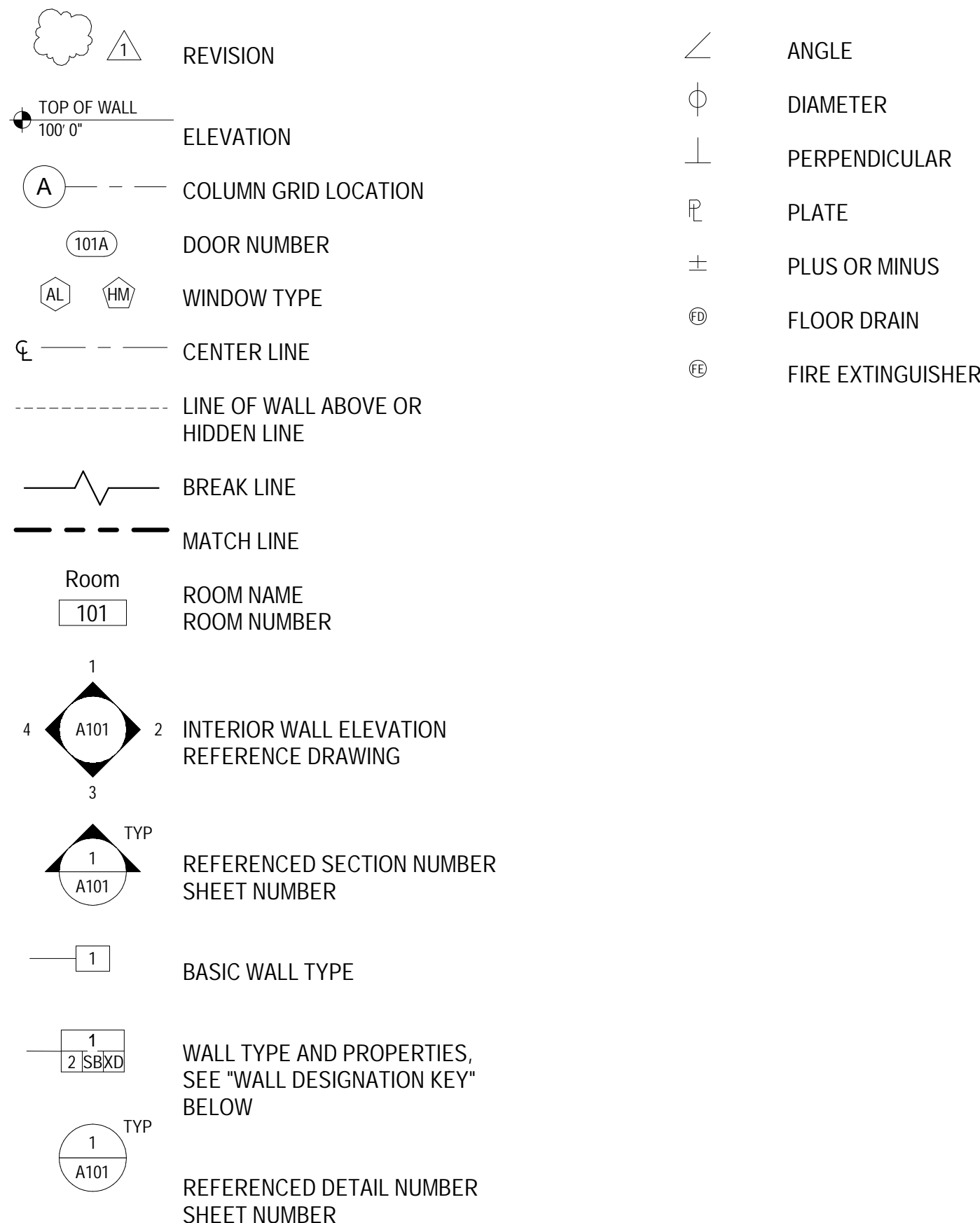


4W1

4 WALL TYPES
T1.1 1 1/2" = 1'-0"

- NOTES:
- ALL EXTERIOR WALL TYPES ARE SHOWN WITH THE EXTERIOR WALL FACING RIGHT UNLESS OTHERWISE NOTED.
 - PROVIDE GLASS MAT WATER-RESISTANT BACKER BOARD IN LIEU OF GYPSUM WALL BOARD BEHIND ALL WALL TILE.
 - GYPSUM BOARD SHALL BE MOISTURE-RESISTANT AT THE FOLLOWING LOCATIONS: WALLS AND CEILINGS OF ALL RESTROOMS AND SHOWERS
 - WALL TYPE CHANGES OCCUR AT CORNERS OR INTERSECTIONS OF WALLS UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS TO BE TYPE 40-A UNLESS NOTED OTHERWISE.

Symbols



Vicinity Map

General Notes

- COMPLY WITH ALL MANUFACTURERS RECOMMENDATIONS AND INDUSTRY STANDARDS RELEVANT TO THE WORK HEREIN.
- ALL DIMENSIONS ARE FROM FACE OF FINISH UNO.
- ALL ALIGNMENTS ARE FACE OF FINISH UNO.
- FIELD VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO FABRICATION AND/OR INSTALLATION.



417 MONUMENT RD., SUITE 7
GRAND JUNCTION, CO 81507
T: 970.712.5045

FOAM & FOLLEY

330 S. 2ND STREET
GRAND JUNCTION, CO

CONSULTANTS: KRAAI DESIGN ARCHITECTURE 417 MONUMENT ROAD, SUITE #7 GRAND JUNCTION, CO 81507 T: 970.712.5045 HIGH POINT ENGINEERING 202 NORTH AVE. #232 GRAND JUNCTION, CO 81501 T: 970.248.9200 BIGHORN CONSULTING ENGINEERS 569 S. WESTGATE DRIVE, SUITE #1 GRAND JUNCTION, CO 81505 T: 970.241.8709	OWNER: M & R HOLDINGS LLC 330 S 2ND ST. GRAND JUNCTION, CO 81501 T: GENERAL CONTRACTOR:
--	--

REVISION:

PROJECT NO:

1855

SHEET NAME:

TITLE SHEET

DATE:

08/01/2018

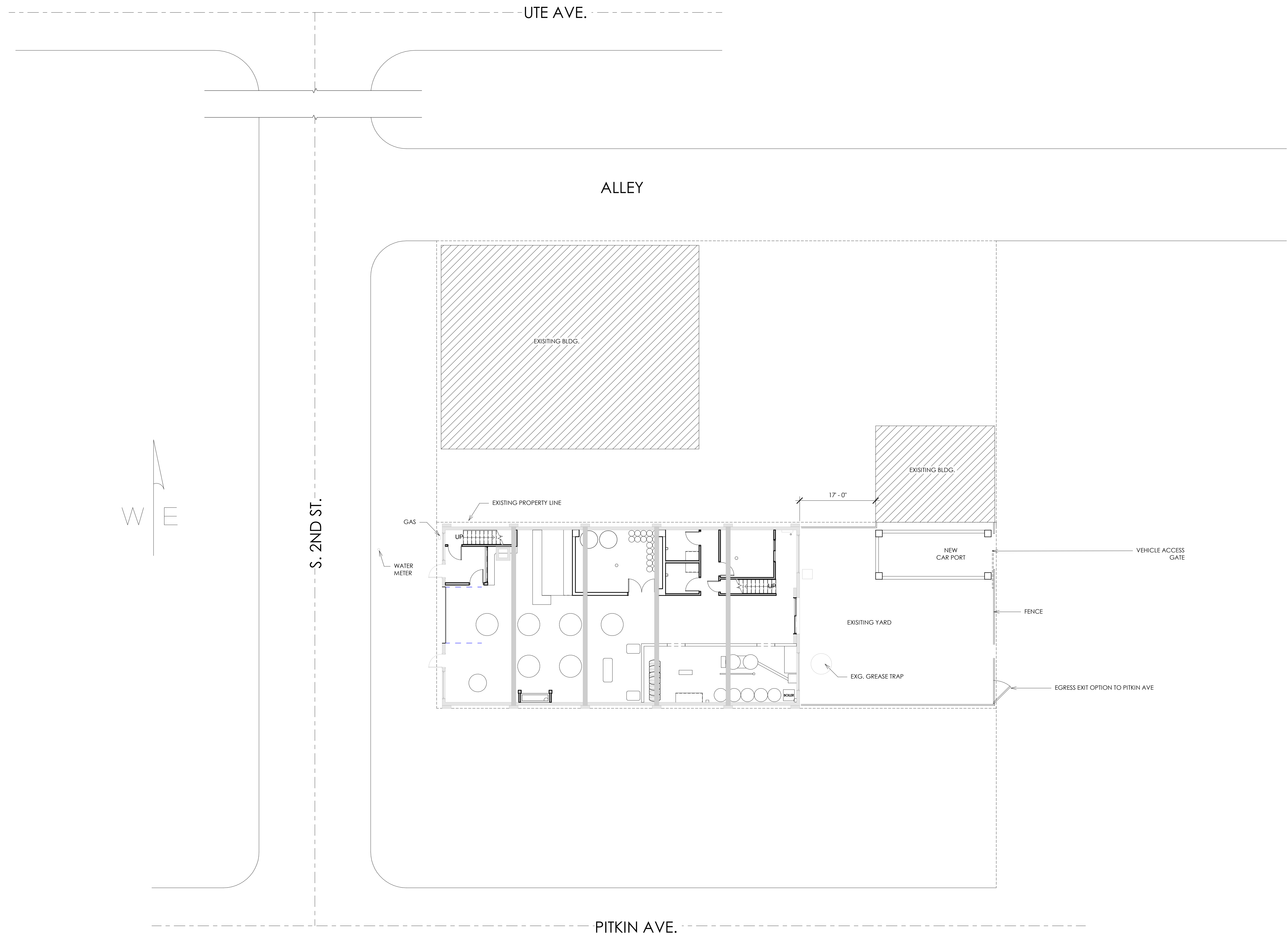
SHEET NO:

T1.1

SCALE:

As indicated

SHEET LIST	
SHEET NUMBER	SHEET NAME
T1.1	TITLE SHEET
D1.1	DEMOLITION PLAN
A1.0	CODE ANALYSIS
A1.1	MAIN FLOOR PLAN
A1.2	UPPER LEVEL PLAN
A1.3	REFLECTED CEILING PLAN
A1.4	ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A4.1	INTERIOR ELEVATIONS
A4.3	ADA DETAILS
C1.1	SITE PLAN
C1.2	SITE



FOAM & FOLLEY

330 S. 2ND STREET
 GRAND JUNCTION, CO

REVISION:

PROJECT NO:

1855

SHEET NAME:

SITE PLAN

DATE:

08/01/2018

SHEET NO:

C1.1

SCALE:

1" = 10'-0"

1 SITE PLAN
 C1.1 1" = 10'-0"

General Demolition Notes

1. SEE PROJECT MANUAL SPECIFICATIONS AND REQUIREMENTS FOR DEMOLITION.
2. THE DOCUMENTS SHOW THE OVERALL EXTENT OF DEMOLITION REQUIRED. ALTHOUGH EACH COMPONENT MAY NOT BE SHOWN OR REFERENCED, REMOVE ITEMS CONSISTENT WITH THE NATURE OF DEMOLITION INDICATED.
3. ALL CONDITIONS ARE EXISTING. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE PROJECT CONDITIONS. RECORD AND REPORT ALL DEVIATIONS TO THE ARCHITECT AS SOON AS POSSIBLE.
4. DO NOT DEMOLISH STRUCTURAL ELEMENTS WITHOUT APPROVAL FROM STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORING AND BRACING AS NEEDED TO MAINTAIN STRUCTURAL INTEGRITY.
5. REMOVE LOOSE OR CRACKED MATERIAL AT AREAS ADJACENT TO INDICATED DEMOLITION IF DAMAGED BY DEMOLITION OPERATIONS. PATCH AREAS WITH MATCHING MATERIAL AND WORKMANSHIP.
6. SLAB REMOVAL MAY BE REQUIRED IN ORDER TO INSTALL NEW PIPING BELOW EXISTING SLABS ON GRADE. REFER TO PLUMBING DRAWINGS FOR PIPE DEPTH AND SLOPE. EXACT LIMITS OF DEMOLITION SHALL BE DETERMINED BY CONTRACTOR FOR PIPE DEPTH AND WORKING ACCESS.
7. PERIMETER STRUCTURAL CONDITIONS ARE UNKNOWN. CONTRACTOR IS TO COORDINATE ALL PLUMBING EXIT POINTS WITH STRUCTURAL ENGINEER PRIOR TO PENETRATING GRADE BEAMS.
8. AT WALLS, FLOORS AND CEILING AREAS INDICATED FOR DEMOLITION, REMOVE ALL INTEGRAL DEVICES AND EQUIPMENT PRESENT UNLESS OTHERWISE INDICATED.
9. WHERE EXISTING PLUMBING OR ELECTRICAL PIPING, TO BE ABANDONED, IS LOCATED IN THE EXISTING SLAB, CHIP AROUND THE PIPE OR FITTING A MINIMUM OF 2 INCHES, CAP THE PIPE A MINIMUM OF 4 INCHES BELOW THE FINAL FINISHED FLOOR ELEVATION AND FILL WITH CONCRETE. PREPARE CONCRETE TO RECEIVE NEW FINISHES.
10. ITEMS NOT NOTED FOR DEMOLITION ARE TO BE PROTECTED FROM DAMAGE AND PREPARED TO RECEIVE NEW WORK. SURFACES TO REMAIN THAT ARE DAMAGED DURING THE PERFORMANCE OF REQUIRED DEMOLITION SHALL BE PATCHED AND/OR PAINTED TO MATCH EXISTING TO REMAIN ADJACENT SURFACES UNLESS NOTED OTHERWISE.
11. RECYCLE MERCHANTABLE MATERIALS TO THE GREATEST EXTENT POSSIBLE, I.E. STEEL.
12. RESTORE THE FIRE PROTECTION RATING OF FIRE-PROTECTED CONSTRUCTION INDICATED TO REMAIN IF DAMAGED BY DEMOLITION OPERATIONS. FIRE-PROTECTED CONSTRUCTION INCLUDES STRUCTURAL MEMBERS, WALL, FLOOR, CEILING AND ROOF ASSEMBLIES COVERED WITH SPRAY FIREPROOFING OR DESIGNATED AS A RATED COMPONENT OR ASSEMBLY WITHIN THE DOCUMENTS.

REVISION:

PROJECT NO:

1855

SHEET NAME:

DEMOLITION PLAN

DATE:

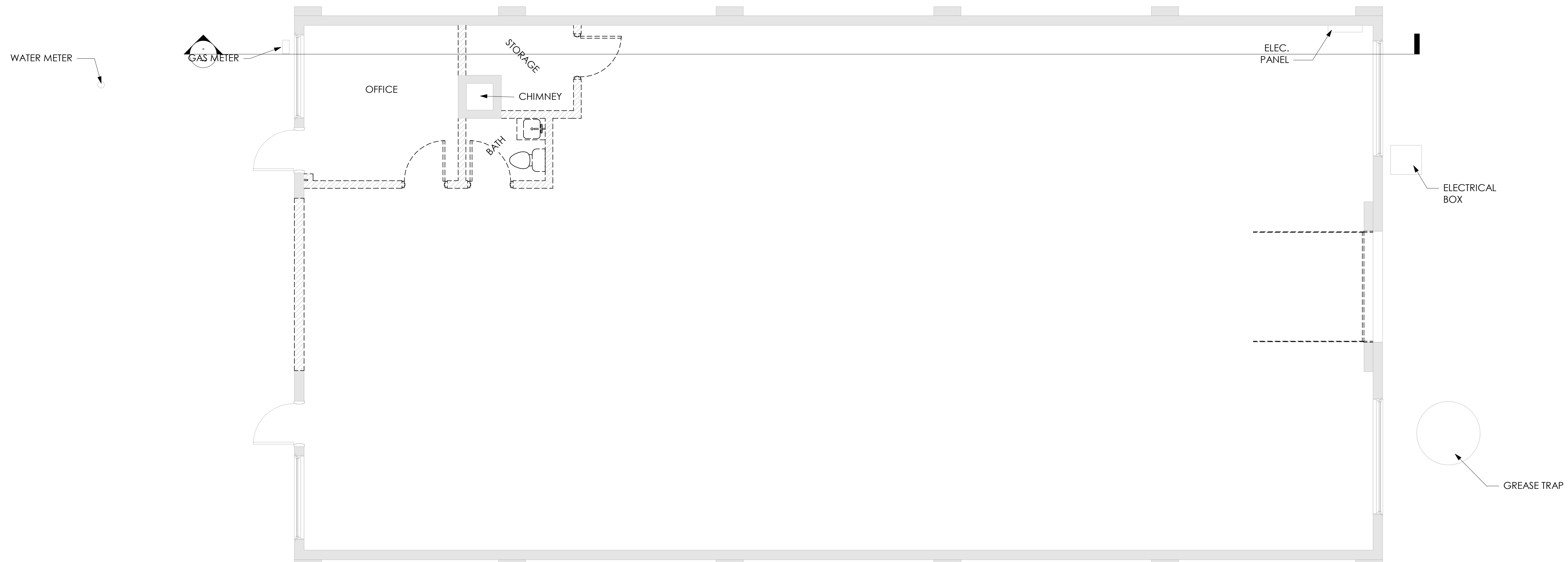
08/01/2018

SHEET NO:

D1.1

SCALE:

As indicated



1 DEMO PLAN
D1.1
1/4" = 1'-0"

LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING ITEM TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING ITEM TO REMAIN

CODE IN USE:	2012 INTERNATIONAL BUILDING CODE (IBC) 2012 INTERNATIONAL MECHANICAL CODE (IMC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 INTERNATIONAL PLUMBING CODE (IPC) 2012 INTERNATIONAL FUEL GAS CODE (IFGC) 2014 NATIONAL ELECTRICAL CODE (NEC)
--------------	--

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION:

NAME	TOTAL GSF	OCCUPANCY TYPE	USE
MAIN LEVEL	3,202 Sq. Ft.	????	BAR
YARD	1,442 Sq. Ft.	????	COMMON AREA?
UPPER LEVEL	1,609 Sq. Ft.	????	RESIDENCE

TOTAL GSF: 6,253 SF

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:

ALLOWABLE FLOOR AREA: (SECTION 503)	TYPE ???? - ???? 9,000 PER STORY, 2 STORIES 25' + HEIGHT
REQUIRED SEPARATION OF OCCUPANCIES: (TABLE 508.4)	N/A

CHAPTER 6 - TYPES OF CONSTRUCTION:

FIRE RESISTANCE FOR BUILDING ELEMENTS:
(TABLE 601)

STRUCTURAL FRAME	EXT WALLS BEARING	EXT WALLS NON-BEARING	INT WALLS BEARING	INT WALLS ROOF NON-BEARING	ROOF
0	0	0	0	0	0

FIRE RESISTANCE FOR EXTERIOR WALLS BASED ON SEPARATION:
(TABLE 602)

CHAPTER 7 - FIRE RESISTANCE RATED CONSTRUCTION:

EXTERIOR WALLS (SECTION 705.5)	0	HORIZONTAL ASSEMBLIES (SECTION 711)	0
HORIZONTAL ASSEMBLIES (SECTION 711)	0	VERTICAL OPENINGS (SECTION 712)	0
FIRE WALLS (AREA SEPARATION) (SECTION 706)	0	SHAFT ENCLOSURES (SECTION 713)	0
FIRE BARRIERS (OCCUPANCY SEPARATION) (SECTION 707)	0	FIRE RESISTANT JOINT SYSTEMS (SECTION 715)	0
FIRE PARTITIONS (CORRIDORS) (SECTION 708)	0	OPENING PROTECTIVES (SECTION 716)	0
OPENING PROTECTIVES (SECTION 716)	0	DUCTS AND AIR TRANSFER OPENINGS (SECTION 717)	0
SMOKE BARRIERS (SECTION 709)	0	CONCEALED SPACES (SECTION 718)	0
SMOKE PARTITIONS (SECTION 710)	0		

CHAPTER 9 - FIRE PROTECTION SYSTEMS:

SPRINKLERS (SECTION 903)	NO
STANDPIPE (SECTION 905)	NO
PORTABLE FIRE EXTINGUISHERS (SECTION 906)	NO
FIRE ALARMS/DETECTION SYSTEMS (SECTION 907)	NO

CHAPTER 10 - MEANS OF EGRESS:

OCCUPANT LOAD:
(TABLE 1004.1.2)

NAME	TOTAL GSF	OCCUPANCY TYPE	FLOOR AREA PER OCCUPANT	NUMBER OF OCCUPANTS
MAIN LEVEL	3,202 SF	????	????	????
YARD	1,442 SF	????	????	????
UPPER LEVEL	1,609 SF	????	????	????
TOTAL:	6,253 SF			????

EGRESS WIDTH PER OCCUPANT:
(TABLE 1005.1)

USE	STAIRWAYS	OTHER EGRESS COMPONENTS
MAIN LEVEL	????	????
YARD	????	????
UPPER LEVEL	????	????

EGRESS ILLUMINATION:
(SECTION 1006) ???? ????? PROVIDED

ACCESSIBLE EGRESS:
(SECTION 1007.1) YES 1, ACCESSIBLE MEANS OF EGRESS.

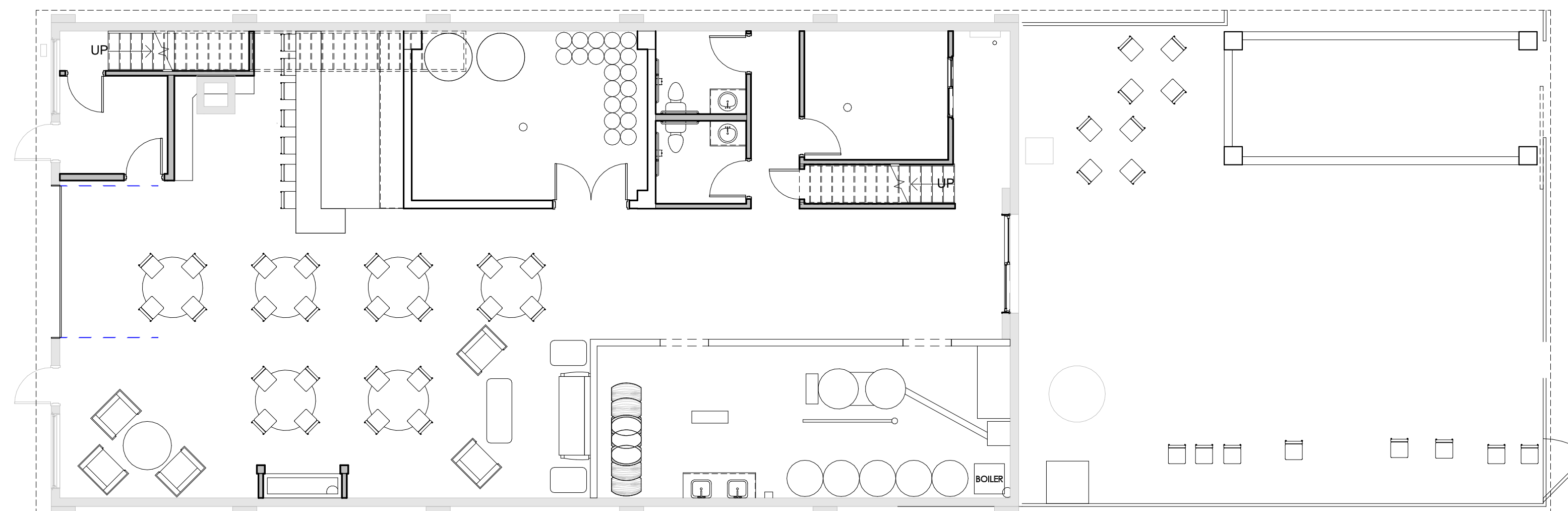
HARDWARE:
(SECTION 1008.1.9.1) NO MANUALLY OPERATED FLUSH OR SURFACE MOUNTED BOLTS ARE PERMITTED ON EXIT DOORS AND HARDWARE MUST NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.

COMMON PATH OF EGRESS TRAVEL:
(SECTION 1014.3) ???? ????? PROVIDED

EXIT TRAVEL DISTANCE:
(SECTION 1016.2) 79'

CORRIDORS:
(SECTION 1018) MIN CORRIDOR WIDTH - 48" (SEE SECTION 1005.1) - DEADENDS < 20'

EXITS:
(SECTION 1020) 2



1
A1.0 LIFE SAFETY PLAN
1/8" = 1'-0"

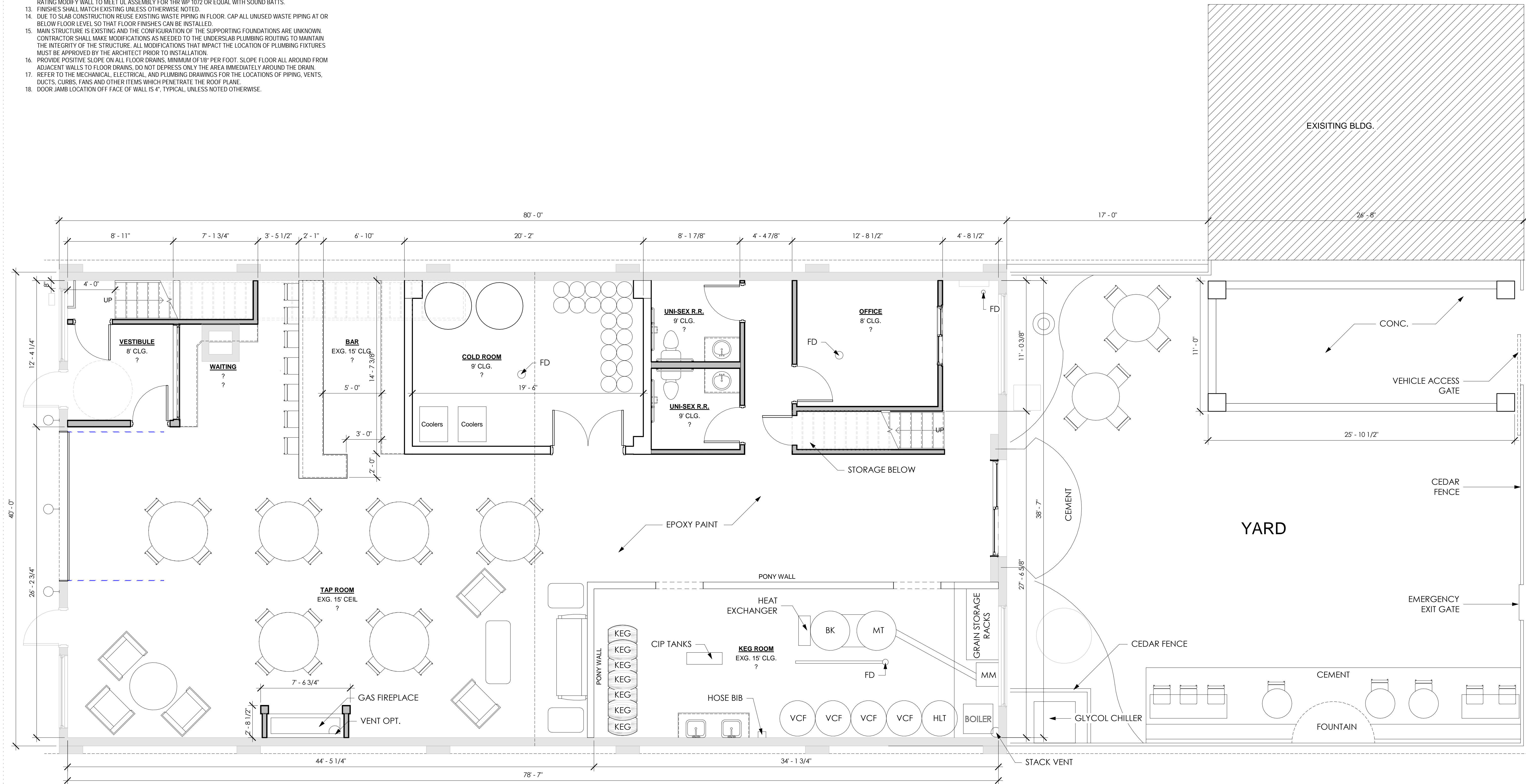
General New Construction Notes

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- ITEMS NOT NOTED ON THE DRAWINGS SHALL BE CONSIDERED THE SAME AS NOTED ITEMS WHICH ARE GRAPHICALLY REPRESENTED IN THE SAME MANNER.
- PROVIDE TREATED SOLID WOOD BLOCKING FOR ALL WALL EQUIPMENT, TOILET ACCESSORIES, MILLWORK AND OTHER WALL MOUNTED ITEMS. SEE ELEVATIONS AND EQUIPMENT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL CAULK AT THE INTERFACE OF INTERIOR FACES OF DOOR FRAMES WITH ADJACENT MATERIALS THOUGH JOINT MAY NOT BE VISIBLE.
- WHERE EXISTING FINISHES ARE REQUIRED TO BE REMOVED TO INSTALL NEW FINISHES, PATCH AND REPAIR WALL SURFACES TO ACCEPT NEW FINISHES AND CONCEAL ALL TRANSITIONS.
- MAINTAIN RATINGS OF EXISTING WALLS. PATCH AND REPAIR ANY NEW OR EXISTING OPENINGS IN RATED WALLS WITH UL ASSEMBLY APPROVED FOR PENETRATING ITEM AND WALL ASSEMBLY.
- PROVIDE TRANSITION STRIPS BETWEEN FLOOR MATERIALS OF DISSIMILAR HEIGHTS. CENTER TRANSITION STRIPS UNDER DOORS OR OTHER PLACES OUT OF SIGHT.
- NEW HM DOOR FRAMES SHALL MATCH EXISTING FOR PROFILE AND CONSTRUCTION.
- RECONFIGURE SPRINKLER HEADS AS REQUIRED BY CODE.
- RECONFIGURE FIRE ALARM DEVICES AS PER THE ELECTRICAL CODE OR AS INDICATED. PROVIDE NEW FIRE ALARM DEVICES IF EXISTING ARE NOT OPERATIONAL.
- NEW RATED STUD WALLS ARE TO BE GA #WP 1072-1HR RATED WITH 3-1/2" FIBERGLASS BATTS WITH A 47 STC.
- FIELD VERIFY EXISTING CORRIDOR WALLS AND ROOM SEPARATION WALLS ARE 1HR RATED (WP 1072) WITH REQUIRED PENETRATION FIRESTOPPING. WHERE THESE WALLS DO NOT CURRENTLY MEET THE REQUIRED RATING MODIFY WALL TO MEET UL ASSEMBLY FOR 1HR WP 1072 OR EQUAL WITH SOUND BATTS.
- FINISHES SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- DUE TO SLAB CONSTRUCTION REUSE EXISTING WASTE PIPING IN FLOOR. CAP ALL UNUSED WASTE PIPING AT OR BELOW FLOOR LEVEL SO THAT FLOOR FINISHES CAN BE INSTALLED.
- MAIN STRUCTURE IS EXISTING AND THE CONFIGURATION OF THE SUPPORTING FOUNDATIONS ARE UNKNOWN. CONTRACTOR SHALL MAKE MODIFICATIONS AS NEEDED TO THE UNDERSLAB PLUMBING ROUTING TO MAINTAIN THE INTEGRITY OF THE STRUCTURE. ALL MODIFICATIONS THAT IMPACT THE LOCATION OF PLUMBING FIXTURES MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE POSITIVE SLOPE ON ALL FLOOR DRAINS, MINIMUM OF 1/8" PER FOOT. SLOPE FLOOR ALL AROUND FROM ADJACENT WALLS TO FLOOR DRAINS. DO NOT DEPRESS ONLY THE AREA IMMEDIATELY AROUND THE DRAIN.
- REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR THE LOCATIONS OF PIPING, VENTS, DUCTS, CURBS, FANS AND OTHER ITEMS WHICH PENETRATE THE ROOF PLANE.
- DOOR JAMB LOCATION OFF FACE OF WALL IS 4", TYPICAL, UNLESS NOTED OTHERWISE.

MAIN LEVEL PLAN	3,202 SQ. FT.
YARD (MAIN LEVEL)	1,442 SQ. FT.
CAR PORT	213 SQ. FT.
UPPER LEVEL RES.	1,609 SQ. FT.
UPPER LEVEL DECK	469 SQ. FT.



417 MONUMENT RD., SUITE 7
GRAND JUNCTION, CO 81507
T: 970.712.5045



LEGEND

	EXISTING WALL TO REMAIN
	EXISTING ITEM TO REMAIN
	NEW WALL
	NEW ITEM

1
A1.1
FIRST LEVEL PLAN
1/4" = 1'-0"

FOAM & FOLLEY

330 S. 2ND STREET
GRAND JUNCTION, CO

REVISION:

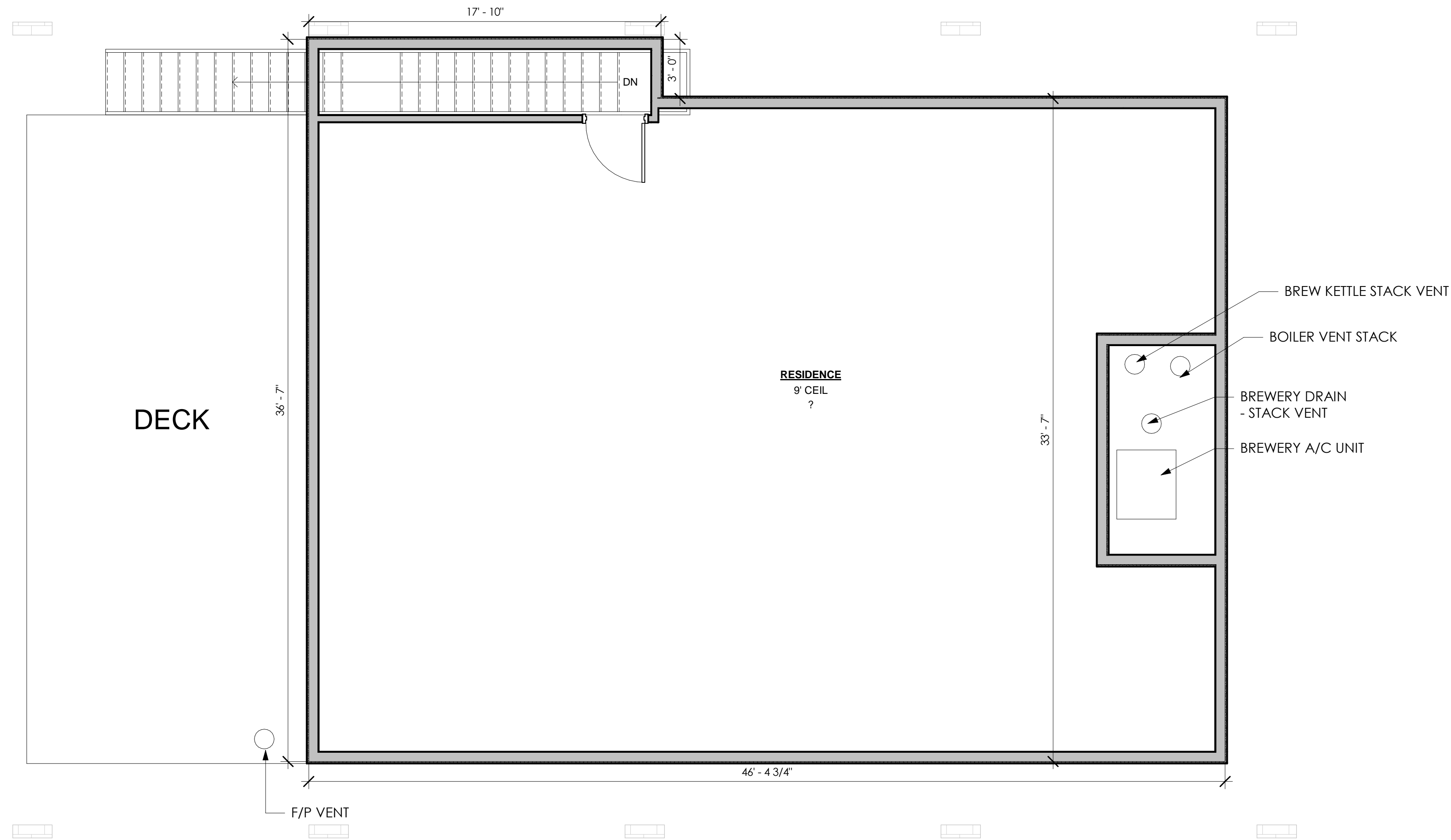
PROJECT NO:
1855

SHEET NAME:
MAIN FLOOR PLAN

DATE: 08/01/2018

SHEET NO:
A1.1

SCALE: As indicated



1 UPPER LEVEL PLAN
 A1.2
 1/4" = 1'-0"

FOAM & FOLLEY

330 S. 2ND STREET
 GRAND JUNCTION, CO

REVISION:

PROJECT NO:

1855

SHEET NAME:

UPPER LEVEL PLAN

DATE:

08/01/2018

SHEET NO:

A1.2

SCALE:

1/4" = 1'-0"

WHEN RECORDED RETURN TO:
612 N. Lafayette Street
Denver, CO 80218

QUITCLAIM DEED

THIS QUITCLAIM DEED is made on February 21, 2018 between

Jeffrey Tate Reid and Joy E McIntosh ("Grantor"), of the County of MESA and State of COLORADO

and

M and R Holdings, LLC ("Grantee"), duly organized and existing under the laws of the State of COLORADO
whose legal address is 612 N Lafayette Street, Denver, CO 80218

WITNESS, that the Grantor, for and in consideration of Ten (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED and by these presents does remise, release, sell and QUITCLAIM unto the Grantee and the successors and assigns of the Grantee forever, all of the right, title interest, claim and demand that the Grantor has in and to the real property, together with the fixtures and improvements located thereon, if any, situate, lying and being in the County of MESA and State of COLORADO, described as follows:

The North 41 feet 8 inches of the South 62 1/2 feet of Lots 28, 29, 30, 31, and 32 in Block 142 of the City of Grand Junction,
County of Mesa, State of Colorado.

Also Known As: 330 South 2nd Street , Grand Junction, CO 81501-7825

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim, whatsoever, of the Grantor, either in law or in equity, to the only proper use, benefit and behalf of the Grantee and the successors and assigns of the Grantee forever.

EXECUTED AND DELIVERED on the date set forth above.

Jeffrey Tate Reid
Jeffrey Tate Reid

Joy E McIntosh
Joy E McIntosh

STATE OF: COLORADO

COUNTY OF: MESA

The foregoing instrument was acknowledged before me on February 26, 2018 by Jeffrey Tate Reid and Joy E McIntosh.

My Commission Expires:

Angela Walter
Notary Public

ANGELA WALTER
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID #20034021431
My Commission Expires June 27, 2019

OWNERSHIP STATEMENT - CORPORATION OR LIMITED LIABILITY COMPANY

(a) M and R Holdings, LLC ("Entity") is the owner of the following property:

(b) Reception # 2834418 330 S. 2nd Street Grand Junction, CO. 81501-7825

A copy of the deed(s) evidencing the owner's interest in the property is attached. Any documents conveying any interest in the property to someone else by the owner are also attached.

I am the (c) Member/Principal for the Entity. I have the legal authority to bind the Entity regarding obligations and this property. I have attached the most recent recorded Statement of Authority of the Entity.

My legal authority to bind the Entity both financially and concerning this property is unlimited.

My legal authority to bind the Entity financially and/or concerning this property is limited as follows:

[Empty box for limited authority details]

The Entity is the sole owner of the property.

The Entity owns the property with other(s). The other owners of the property are:

[Empty box for other owners]

On behalf of Entity, I have reviewed the application for the (d) Change of Use

I have the following knowledge or evidence of a possible boundary conflict affecting the property:

(e) _____

I understand the continuing duty of the Entity to inform the City planner of any changes regarding my authority to bind the Entity and/or regarding ownership, easement, right-of-way, encroachment, lienholder and any other interest in the land.

I swear under penalty of perjury that the information in this Ownership Statement is true, complete and correct.

Signature of Entity representative: Jeffrey T. Reid

Printed name of person signing: Jeffrey T. Reid

State of Colorado)

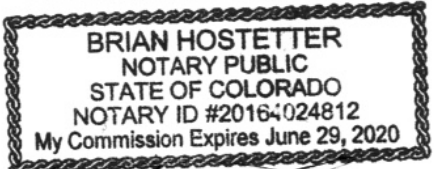
County of Mesa) ss.

Subscribed and sworn to before me on this 26th day of June, 20 18

by Jeffrey T. Reid

Witness my hand and seal.

My Notary Commission expires on 06/29/2020



[Signature]
Notary Public Signature

OWNERSHIP STATEMENT - CORPORATION OR LIMITED LIABILITY COMPANY

(a) MandR Holdings, LLC ("Entity") is the owner of the following property:

(b) Reception # 2834418 330 S. 2nd St. Grand Junction CO 81501

A copy of the deed(s) evidencing the owner's interest in the property is attached. Any documents conveying any interest in the property to someone else by the owner are also attached.

I am the (c) member/principal for the Entity. I have the legal authority to bind the Entity regarding obligations and this property. I have attached the most recent recorded Statement of Authority of the Entity.

My legal authority to bind the Entity both financially and concerning this property is unlimited.

My legal authority to bind the Entity financially and/or concerning this property is limited as follows:

[Empty box for limited authority details]

The Entity is the sole owner of the property.

The Entity owns the property with other(s). The other owners of the property are:

[Empty box for other owners]

On behalf of Entity, I have reviewed the application for the (d) change of use

I have the following knowledge or evidence of a possible boundary conflict affecting the property:

(e) _____

I understand the continuing duty of the Entity to inform the City planner of any changes regarding my authority to bind the Entity and/or regarding ownership, easement, right-of-way, encroachment, lienholder and any other interest in the land.

I swear under penalty of perjury that the information in this Ownership Statement is true, complete and correct.

Signature of Entity representative: Joy McIntosh

Printed name of person signing: Joy McIntosh

State of Colorado)

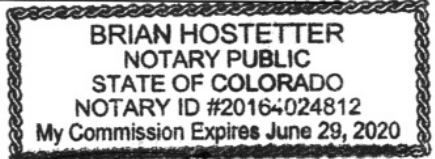
County of Mesa) ss.

Subscribed and sworn to before me on this 26th day of June, 2018

by Joy McIntosh

Witness my hand and seal.

My Notary Commission expires on 06/29/2020



[Signature]
Notary Public Signature

Grand Junction Fire Department New Development Fire Flow Form

Instructions to process the application: Step 1) Applicant should first fill out all items in Section A. Step 2) Deliver/mail this form to the appropriate water purveyor.¹ The water supplier signs and provides the required information of Section B. Step 3) Deliver/mail the completed and fully signed form to the City or County Planning Department.²

SECTION A

Date: 6-30-18
Project Name: Exam + Pally
Project street address: 330 S 2nd St.
Assessor's Tax Parcel Number: 2945-143-35-010
Property Owner name: M+R Holdings LLC
City or County project file #: _____
Name of Water Purveyor: _____

Applicant Name/Phone Number: Eric Kraai - 712-5045
Applicant E-mail: erice.kraai@design.com

1. If the project includes one or two-family dwelling(s):
 - a. The maximum fire area (see notes below) for each one or two family dwelling will be 1600 square feet.
 - b. All dwelling units will , will not include an approved automatic sprinkler system.
Comments: _____
2. If the project includes a building other than one and two-family dwelling(s):
 - a. List the fire area and type of construction (See International Building Code [IBC]) for all buildings used to determine the minimum fire flow requirements: Type IV-B 3,040 S.F.
 - b. List each building that will be provided with an approved fire sprinkler system: _____
3. List the minimum fire flow required for this project (based on Appendix B and C in the International Fire Code [IFC]): 3,000 gpm For 2 Hours

Comments: _____

Notes:

Fire Area: The aggregate floor area enclosed and bounded by fire walls, fire barriers, exterior walls or horizontal assemblies of a building. Areas of the building not provided with surrounding walls shall be included in the fire area if such areas are included within the horizontal projection of the roof or floor next above.

Fire Flow Rule: The City's Fire Code³ sets minimum fire flows for all structures. In general, at least 1,000 gpm at 20 p.s.i. is required for residential one or two family dwellings up to 3,600 square feet (sf) of fire area. For dwellings greater than 3,600 sf of fire area or all commercial structures, the minimum fire flow is 1,500 gpm at 20 p.s.i. (See Fire Flow Guidance Packet⁴). Inadequate fire flows are normally due to water supply pipes that are too small or too little water pressure, or a combination of both.

Applicant/Project Engineer: Refer to City of Grand Junction most recently adopted IFC, Appendix B and C, [IFC 2012] to determine the minimum fire flow required for this project, based on the Water Purveyor's information (*i.e.*, location, looping and size of water lines; water pressure at the site, etc.) and the type, density and location of all structures. Base your professional judgment on the City approved utility plans and Water Provider information shown on this Form. Each time the utility plans/other information relating to treated water changes, resubmit this form just as you did the first time.

End of Section A. Section B continues on the next page

Grand Junction Fire Department New Development Fire Flow Form

SECTION B

To be completed by the Water Supplier

Attach fire flow test data for the hydrants

Failure to attach the fire flow test data and/or diagram may delay your project review.

1. Circle the name of the water supplier: Ute Clifton Grand Junction
2. List the approximate location, type and size of supply lines for this project, or attach a map with the same information:
8" HDPE
3. Attach the fire flow test data @ 20 p.s.i. for the fire hydrants nearest to the development/project that must be used to determine available fire flow. Test data is to be completed within the previous 12 months or year. Identify the fire hydrants used to determine the available fire flow: Hyd # DI-261-005
3574 gpm @ 20 PSI
[Or: 1. attach a map or diagram with the same information, or 2. attach a map/diagram with flow modeling information.]
4. If new lines are needed (or if existing lines must be looped) to supply the required fire flows, or if more information is needed to state the available minimum gpm @ 20 p.s.i. residual pressure, please list what the applicant/developer must do or obtain: _____

Print Name and Title of Water Supplier Employee completing this Form:

Glenn Key Water Service Supervisor Date 7-3-18

Contact phone/E-mail of Water Supplier: _____

Note: Based on the facts and circumstances, the Fire Chief may require the applicant/developer to engage an engineer⁵ to verify/certify that the proposed water system improvements, as reflected in the approved utility plans submitted in support of the application/development, will provide the minimum fire flows to all structures in this project. If required, a State of Colorado Licensed Professional Engineer shall submit a complete stamped-seal report to the Grand Junction Fire Department. All necessary support documentation shall be included.

¹ There are three municipal water suppliers: Ute Water 970-242-7491, Clifton Water 970-434-7328, and City of Grand Junction Water 970-244-1572.

² Address: City- 250 North 5th St., Grand Junction, CO 81501; County-P.O. Box 20000, Grand Junction, CO 81502

³ International Fire Code, 2012 Edition.

⁴ <http://www.gjcity.org/residents/public-safety/fire-department/fire-prevention-and-contractors/>

⁵ City Code defines engineer as one who is licensed as a P.E. by the state of Colorado.

INDUSTRIAL PRETREATMENT SURVEY
FOR ALL INDUSTRIAL and COMMERCIAL (Non-Residential) BUSINESSES

The United States Environmental Protection Agency (USEPA) requires the City of Grand Junction (City) Industrial Pretreatment Program to regulate industrial and commercial facilities in our service area that generate wastewater that may be significant to the Persigo Wastewater Treatment Facility. To support this requirement, the City performs business and facility surveys and inspections to obtain information regarding facility operations and chemical usage, and to evaluate the significance of a facility's wastewater discharge to the publicly owned sewer system. This survey is a screening tool to determine if additional City requirements are required and to add local commercial and industrial businesses to the City's Industrial Pretreatment database.

Facility Name: Foam and Folly Brewing, LLC

Facility Location: 330 S. 2nd St. Grand Junction, CO. 81501

Mailing Address: 2658 Dahlia Ct. Grand Junction, CO. 81506

Facility Owner: Foam & Folly Brewing, LLC

Facility Contact: <u>Jeffrey Reid</u>	<u>Principal/member</u>	<u>720-250-7413</u>
Name	Title	Phone #
Name	Title	Phone #

e-mail address: jreid-11@charter.net

Contractor Contact: _____	_____	_____
Name	Phone #	e-mail

1. Provide a brief description of new project (ex: new building construction, painting, roofing, remodel, etc.)
Small Brewery into existing building

2. Provide a brief description of the operations at this facility including primary products and services (ex: restaurant, retail, garage, office, medical, etc.)
Beer Production

3. Please answer the following questions to determine if other Pretreatment applications may be required to be completed for your project or facility. ****All Questions Must Be Answered****

Yes	No	Industrial Pretreatment Survey Form
	✓	Is this facility an office or retail store?
	✓	Will this facility discharge only domestic wastewater or sewage that is typically only found in a residential home? (Note: Domestic wastewater is wastewater generated only from typical bathroom and breakroom facilities, such as toilets and breakroom sinks, hand sinks and showers. All other industrial or commercial wastewater is considered process wastewater.)

✓		Will there be any changes to the existing plumbing? If Yes, briefly describe the change: <u>Installation of trench drain & several floor drains for</u> <u>bathrooms, tap room area</u>
✓		Is this facility under new ownership or lease agreement?
	✓	Has this facility stopped operation or been closed for a period of 12 months or longer?

Yes	No	Food Service
	✓	Is this a food service or food processing facility (ex: restaurant, coffee shop, fast food, catering, etc.) or has any of the following: bar, bistro, bakery, butcher shop, cannery, etc?
	✓	Does this facility have a commercial kitchen?

Yes	No	Vehicle/Equipment
	✓	Does this facility service or clean any vehicles or equipment (ex: engines, parts, valves)?
	✓	Does this facility do any materials or metal fabrication (ex: grinding, polishing, cutting, welding, forging, tumbling, etc.)?
	✓	Are there any floor drains in the shop area?

Yes	No	Medical
	✓	Does this facility provide medical services?
	✓	Does this facility provide dental services?
	✓	Does this facility operate a laboratory?

Yes	No	Recreational Vehicle Dump Station
	✓	Does this facility provide a Recreational Vehicle Septage Dump Station?

Yes	No	Other Industrial Discharge
	✓	Does this facility discharge or produce any processed industrial or commercial wastewater other than the types listed above?

CERTIFICATION STATEMENT

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. *By submitting this survey, I certify that I am the owner/officer/manager of the property or that I have the authority to submit this survey on behalf of the owner.*

Printed Name & Title: Jeffrey T. Reid - Principal/owner

Signature: Jeffrey T. Reid Date: 6-25-18

AMENDED AGREEMENT

This Amended Agreement is entered into this 6TH day of July, 2018, between M AND R HOLDINGS, LLC, a Colorado limited liability company, ("M&R"), whose address is 330 S. 2nd Street, Grand Junction, CO 81501 and the JANA MONTGOMERY REVOCABLE LIVING TRUST, ("Montgomery"), whose mailing address is 12507 Indianapolis Street, Los Angeles, CA 90066.

1. FACTS AND PURPOSES. The following facts and purposes apply to this Agreement:

1.1 M&R is the successor in interest to Minnie Fuoco and Montgomery is the successor in interest to Marjorie Montgomery, the original parties to the Agreement recorded October 25, 1990 in Book 1810 at Page 697 in the office of the Clerk and Recorder of Mesa County, Colorado ("Agreement").

1.2 M&R is the owner of the real property formerly defined as the "Fuoco Property" now the "M&R Property" and Montgomery is the owner of the Montgomery Property as defined in the Agreement.

1.3 M&R and Montgomery now desire to modify the terms of the Agreement.

2. TERMS OF AMENDMENT. M&R and Montgomery agree to amend the Agreement as follows:

2.1 **Paragraph 1** of the Agreement is amended as follows:

"1. Grant of Easement: Montgomery hereby grants to M&R an easement for ingress to and egress from the M&R Property ("the Easement) on, over, across, and through the following portion of the Montgomery Property:

The West Seventeen feet of Lot 27, in Block 142 in the City of Grand Junction, Mesa County, State of Colorado.

2.2 **Paragraph 3** of the Agreement is amended as follows:

"3. Fence. Montgomery shall be entitled to place and maintain a fence across the southern portion of the Easement, near Pitkin Avenue, and across the northern portion of the Easement, adjacent to the Alley North of the Montgomery Property ("Alley"), subject to the following terms and conditions:

a. Both fences shall have gates of sufficient size to allow vehicles using the Easement to safely and readily access the Easement from Pitkin Avenue and the Alley. Montgomery acknowledges that M&R intends to use the Easement for access to the M&R Property for their personal vehicles or

service vehicles as required for maintenance of the M&R property. M&R business customers and any M&R employees shall not be allowed to use the vehicle gate(s), Easement, and parking space(s) on the Montgomery and M&R properties.

b. M&R shall be entitled to place a pedestrian gate which may be installed on either the southern entrance and/or the northern entrance to the Easement. Pedestrian gate(s), if installed will be intended for M&R business use and would only be used by the general public if emergency egress from the M&R property is required. Montgomery may also use the gate(s) for access to or from the Easement.

c. Montgomery shall maintain the fence across the southern entrance and the fence across the northern entrance to the Easement in a good and usable condition and shall be responsible for any costs of repairing or maintaining the fence unless damaged by the acts or omissions of M&R or its agents.

d. M&R shall maintain the gate(s) across the southern entrance to the Easement in a good and usable condition and M&R shall install and maintain the gate(s) across the northern entrance to the Easement. M&R shall be responsible for any costs of repairing or maintaining the southern gate(s) and the northern gate(s) to the Easement unless damaged by the acts or omissions of Montgomery or its agents.

e. The gates in the fences may be locked to minimize the risk of accidental or deliberate intruders. If locked, M&R shall provide Montgomery and their agents with keys to the locks.

f. M&R may leave the gates open during normal business hours for any business located on the M&R Property, provided, however, that M&R shall close and lock the gates during non-business hours.”

2.3 **Paragraph 8** of the Agreement shall be amended as follows:

“8. Attorneys’ Fees. If it is necessary for any party to enforce this Agreement, the prevailing party shall be awarded all reasonable costs incurred, including without limitation, reasonable attorney’s fees, court costs, service of process fees, and witness expenses, regardless of whether actual litigation or court proceedings are filed.”

2.4 A new **Paragraph 13** shall be added as follows:

“13. Jury. M&R and Montgomery each waive the right to a jury in any action or proceeding concerning the Agreement to the maximum extent permitted by law.”

3. TERMS OF AGREEMENT. Except as amended hereby, the provisions of the Agreement are not changed, altered or amended and will remain in full force and effect. The Agreement and this Amendment shall be binding upon and shall inure to the benefit of the parties hereto and their successors and assigns.

4. GOVERNING LAW. The Agreement and this Amendment shall be construed in accordance with the laws of the State of Colorado.

IN WITNESS WHEREOF, the parties have executed this Agreement on the dates set forth below to be effective as of the date first set forth above.

M&R:

MONTGOMERY

M and R Holdings, LLC, a Colorado limited liability company

Jana M. Montgomery Revocable Living Trust

By: Jeffrey Tate Reid member
Jeffrey Tate Reid, Member

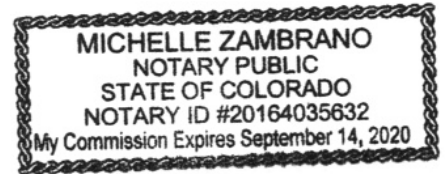
By: Jana M. Montgomery, Trustee
Jana M. Montgomery, Trustee

By: Joy Elaine McIntosh member
Joy Elaine McIntosh, Member

STATE OF COLORADO)
) ss.
County of Mesa)

The foregoing instrument was acknowledged before me this 6 day of July, 2018, by Jeffrey Tate Reid and Joy Elaine McIntosh as Members of M and R Holdings, LLC, a Colorado limited liability company.

Witness my hand and official seal.
My commission expires: 9-14-2020

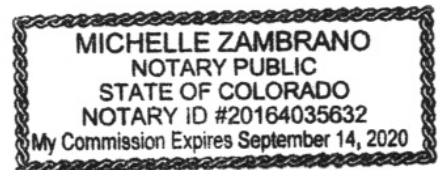


Michelle Zambrano
Notary Public

STATE OF COLORADO)
) ss.
County of Mesa)

The foregoing instrument was acknowledged before me this 6 day of July, 2018, by Jana M. Montgomery as Trustee of the Jana M. Montgomery Revocable Living Trust.

Witness my hand and official seal.
My commission expires: 9-14-2020



Michelle Zambrano
Notary Public

City of Grand Junction Review Comments

Date: September 7, 2018

Comment Round No. 1

Page No. 1 of 5

Project Name: Foam and Folly

File No: CUP-2018-456

Project Location: 330 S 2nd Street

Check appropriate if comments were mailed, emailed, and/or picked up.

Property Owner(s): M and R Holdings LLC (Jeff Reid)

Mailing Address: 2658 Dahlia Ct, Grand Junction, CO, 81506

Email: jreid-11@charter.net

Telephone: (720) 250-7413

Date Picked Up: _____

Signature: _____

Representative(s): Kraai Design Inc (Eric Kraai)

Mailing Address: 362 Main Street, Grand Junction, CO, 81501

Email: eric@kraaidesign.com

Telephone: (970)-712-5045

Date Picked Up: _____

Signature: _____

Developer(s):

Mailing Address:

Email:

Telephone:

Date Picked Up: _____

Signature: _____

CITY CONTACTS

Project Manager: Andrew Gingerich, Associate Planner

Email: andrewg@gjcity.org

Telephone: (970) 256-4106

Dev. Engineer: Jarrod Whelan

Email: jarrodw@gjcity.org

Telephone: (970) 244-1443

City of Grand Junction REQUIREMENTS

(with appropriate Code citations)

CITY PLANNING – Andrew Gingerich – andrewg@gjcity.org – 970-256-4031

1. Proposal is for a Conditional Use Permit and Change of Use from a former auto related service to a brewery located on 0.12 +/- acres in an existing B-2 (Downtown Business) zoning district in the Greater Downtown Central Business District Overlay. Comprehensive Plan Future Land Use Map identifies this property as Downtown Mixed-Use. Conditional Use Permit required if more than 25% of gross receipts of the business are for alcoholic beverages. When all comments are resolved, the proposed Conditional Use Permit application can be scheduled to be heard by the Planning Commission.

2. Conditional Use Permit:

Upon approval of Conditional Use Permit by City Planning Commission a Change of Use letter of approval and Planning Clearance for the remodel for the brewery can be issued. Subsequent application for site plan review must be submitted if and when applicant decides to pursue constructing the 2nd floor residence. Fees for the site plan review will be applied at this time.

3. Off-Street Parking Requirements:

In a B-2 zone district there is no parking requirement for the reuse, remodel, or reconstruction of an existing structure that does not increase the available square footage of leasable area. If and when applicant decides to pursue constructing the 2nd floor residence, parking will need to be provided. See Zoning and Development Code Section 21.06.050(d) for more information.

4. Signage Plans:

Signage must meet requirements in city code. See Zoning and Development Code Section 21.06.070 for more information.

CITY DEVELOPMENT ENGINEER – Jarrod Whelan – jarrodw@gjcity.org – 970-244-1443

1. Fees:

Transportation Capacity Payment (TCP) – To be determined and collected at the time of planning clearance for individual building permits.

TCP Fee— \$5,159 / 1,000 SF * 4,946.68 SF =

Storm Drainage Fee (in lieu of detention) – The proposed project will not cause any change to existing drainage patterns or runoff volumes. No drainage fees.

Inspection Fee – Less than 1.0 acres nonresidential = \$500

Applicant's Response: Request credit for previous building use (automotive service) applied to new TCP payment.

Document Reference: N/A

2. Plans: Per the City's Submittal Standards for Improvements and Development (SSID), add "Acceptance Blocks (aka "Signature Blocks")" to the Title and Civil sheets. Development Engineer's Signature block not required on Arch sheets.

Applicant's Response: Acceptance block added.

Document Reference: C1.1

3. T1.1:

Provide the following Information on the Cover Sheet:

COMMERCIAL/INDUSTRIAL: Per the City's Submittal Standards for Improvements and Development (SSID), Submittal Requirements, provide Site Data Table as follows:

Land Use Zone, i.e. C-1, I-1

Site Sq.-Ft. Percentage

Floor Area

Landscape

Hardscape

Walkways

Parking

Etc.

Basin

Other

Total = xx,xxx SF 100%

Applicant's Response: Site data table has been added.

Document Reference: C1.1

4. C1.1:

Per SSID's, show dimensions at all points of curvature, angle, tangency, grade breaks and changes, walkways, pipes, and other primary features, and also existing grades at tie-in locations. Provide grades noted as TC/FL, FS, FG, TG, INV, etc.

Applicant's Response: Existing utilities and tie in locations are shown. There is no new grading, sidewalk, curb or gutter.

Document Reference:C1.1

5. C1.1:

Show and label all utility service's material and size, e.g. 2" PVC water and 4-inch PVC sewer lateral, clean-outs, gas, electric, etc.

Applicant's Response: All utilities are existing to remain. Known utility locations are shown.

Document Reference: C1.1

6. C1.1:

Drive approach along South 2nd Street shall be removed and replaced with curb, gutter, and sidewalk similar in-kind to surroundings.

Applicant's Response: The existing driveway in front of the property on 2nd street represents a beneficial use for the brewery business. I am planning to receive 2000 lb. pallets of grain for example on a weekly basis delivered to the street in front of the building and need the ramp to move the materials via fork truck into the building. The removal of the driveway would cause difficulties in receipt of raw materials, as well as any mechanical equipment installations – there are no other means of access to move large tanks, etc. into or out of the building. The gravel easement along the rear of the property will not work for this purpose; CDOT has indicated they will not approve a permit to enter the easement off of Pitkin Ave. In addition, the existing easement legal agreement does not allow commercial vehicle use of the easement – the easement is intended for private vehicle access only.

Document Reference: Site Plan Drawing C1.1

7. C1.1:

Add note, "CONTRACTOR TO REMOVE AND REPLACE ALL BROKEN AND/OR DAMAGED CURB, GUTTER, AND SIDEWALK ALONG PROPERTY FRONTAGE."

Applicant's Response: Note added.

Document Reference: C1.1

8. STORMWATER:

The site is less than 1.0 acres and doesn't need construction or permanent water quality permits or agreements. While permits aren't necessary, City ordinance still requires mud to be kept off of streets and sediment can't be released from the site. Therefore, BMPs will be necessary during construction to ensure mud is not tracked on the streets and sediment not released offsite.

Applicant's Response: Will comply with requirements as stated.

Document Reference: N/A

CITY FIRE DEPARTMENT – Mike Gazdak – mikega@gjcity.org – 970-549-5854

1. This is a Change of Use for the building from a Group S-1 occupancy to a Group A-2 Assembly. All 2012 IFC and IBC requirements would need to be addressed with the remodel. A Group A-2

occupancy with a fire area less than 5000 square feet and having an occupant load of less than 100 people would not require a fire sprinkler system.

The addition of a proposed second story residence would be a mixed use occupancy with a Group R Residential occupancy that would require the installation of a fire sprinkler system in the building.

2. The fire department has no objections to the request for a Conditional Use Permit.

PERSIGO WASTEWATER TREATMENT FACILITY – Jack Beach –

Industrial Pretreatment Division received completed, short application. Once application fee is received a clearance will be given. No industrial pretreatment will be required for this facility.

OUTSIDE REVIEW AGENCY COMMENTS

(Non-City Agencies)

Review Agency: Xcel Energy

Contact Name: Brenda Boes

Email / Telephone Number: brenda.k.boes@xcelenergy.com

Xcel has no objections at this time.

Owner needs to be aware that any upgrades to utilities will be at owner's expense.

Completion of this City/County review approval process does not constitute an application with Xcel Energy for utility installation. Applicant will need to contact Xcel Energy's Builder's Call Line/Engineering Department to request a formal design for the project. A full set of plans, contractor, and legal owner information is required prior to starting any part of the construction. Failure to provide required information prior to construction start will result in delays providing utility services to your project. Acceptable meter and/or equipment locations will be determined by Xcel Energy as a part of the design process. Additional easements may be required depending on final utility design and layout. Engineering and Construction lead times will vary depending on workloads and material availability. Relocation and/or removal of existing facilities will be made at the applicant's expense and are also subject to lead times referred to above. All Current and future Xcel Energy facilities' must be granted easement.

Review Agency: Grand Valley Drainage District

Contact Name: Tim Ryan

Email / Telephone Number: tim.admin@gvdd.org

GVDD has no comments.

Review Agency: Mesa County Building Department

Contact Name: Mike Mossburg

Email / Telephone Number: mike.mossburg@mesacounty.us (970) 244-1655

A building permit will be required for this project at a minimum to review adequacy of exit system. At this higher occupant load my first take would be that it will require automatic fire sprinklers also.

REVIEW AGENCIES
(Have not responded as of the due date)

1. Grand Valley Irrigation Company
2. Century Link
3. Downtown Development Authority
4. Charter
5. City Attorney

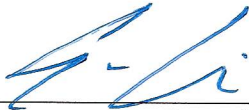
The Petitioner is required to submit electronic responses, labeled as "**Response to Comments**" for the following agencies:

1. **City Development Engineer**

Date due: **December 7, 2018**

Please provide a written response for each comment and, for any changes made to other plans or documents indicate specifically where the change was made.

I certify that all of the changes noted above have been made to the appropriate documents and plans and there are no other changes other than those noted in the response.



Applicant's Signature



Date

REVISION:

PROJECT NO:

1855

SHEET NAME:

SITE PLAN

DATE:

08/14/2018

SHEET NO:

C1.1

SCALE:

As indicated

UTE AVE.

ALLEY

S. 2ND ST.

PITKIN AVE.

- KEYNOTES:**
1. EXISTING DRIVEWAY TO REMAIN
 2. NEW 4" PVC SEWER LINE
 3. NEW 400 AMP SERVICE
 4. CONTRACTOR TO REMOVE AND REPLACE ALL BROKEN AND/OR DAMAGED CURB, GUTTER, AND SIDEWALK ALONG PROPERTY FRONTAGE

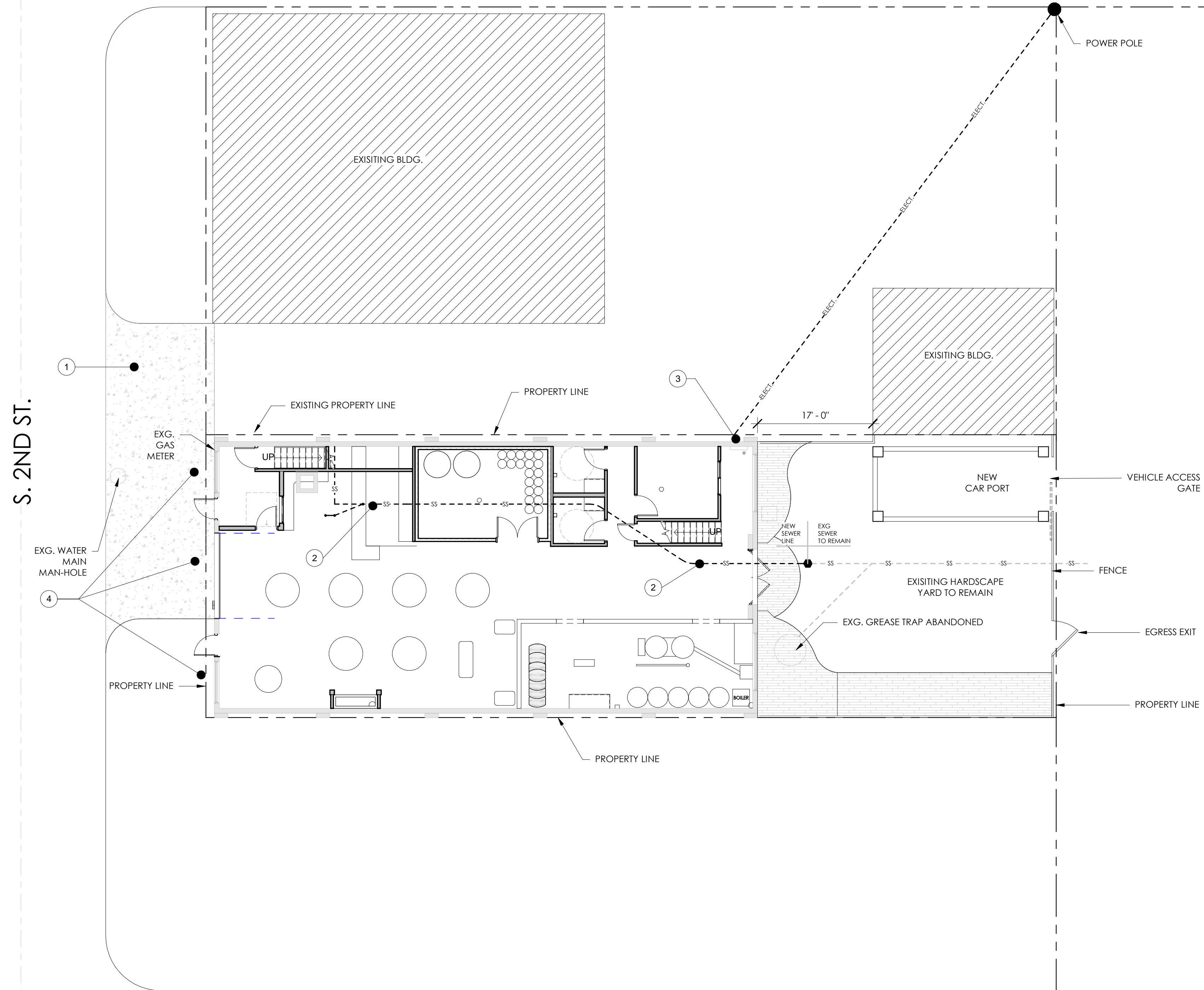
LAND USE ZONE			
SITE	-	5,219 SF	(0.12 ACRES)
FLOOR AREA	-	3,162 SF	(0.07 ACERS) 58%
HARDSCAPE	-	1,285 SF	(0.03 ACERS) 25%
WALKWAYS	-	475 SF	(0.01 ACERS) 12%
PARKING	-	297 SF	(0.007 ACERS) 5%
TOTAL	-	5,219 SF	= 100%

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS. SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD, REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____



City of Grand Junction Review Comments

Date: September 20, 2018 **Comment Round No.** 2 **Page No.** 1 of 2
Project Name: Foam and Folly **File No:** CUP-2018-456
Project Location: 330 S 2nd Street

Check appropriate if comments were mailed, emailed, and/or picked up.

Property Owner(s): M and R Holdings LLC (Jeff Reid)

Mailing Address: 2658 Dahlia Ct, Grand Junction, CO, 81506

Email: jreid-11@charter.net

Telephone: (720) 250-7413

Date Picked Up: _____ **Signature:** _____

Representative(s): Kraai Design Inc (Eric Kraai)

Mailing Address: 362 Main Street, Grand Junction, CO, 81501

Email: eric@kraaidesign.com

Telephone: (970)-712-5045

Date Picked Up: _____ **Signature:** _____

Developer(s):

Mailing Address:

Email:

Telephone:

Date Picked Up: _____ **Signature:** _____

CITY CONTACTS

Project Manager: Andrew Gingerich, Associate Planner

Email: andrewg@gjcity.org

Telephone: (970) 256-4106

Dev. Engineer: Jarrod Whelan

Email: jarrodw@gjcity.org

Telephone: (970) 244-1443

City of Grand Junction REQUIREMENTS

(with appropriate Code citations)

CITY PLANNING – Andrew Gingerich – andrewg@gjcity.org – 970-256-4031

No further staff or agency review is needed for this case. The application can be heard by the City Planning Commission. The next available Planning Commission Meeting is scheduled for October 23rd.

CITY DEVELOPMENT ENGINEER – Jarrod Whelan – jarrodw@gjcity.org – 970-244-1443

Transportation Capacity Payment (TCP) – To be determined and collected at the time of planning clearance for individual building permits.

TCP Fee— \$5,159 / 1,000 SF * 4,946.68 SF = \$22,424.52

TCP Credit— \$3,738 / 1,000 SF * 4,946.68 SF = (\$18,490.69)

TCP Owed— \$22,424.52 - \$18,490.69 = \$3,933.83

Storm Drainage Fee (in lieu of detention) – The proposed project will not cause any change to existing drainage patterns or runoff volumes. No drainage fees.

Inspection Fee – Less than 1.0 acres nonresidential = \$500

No further review needed.

PLANNING COMMISSION AGENDA ITEM

Project Name: Foam and Folly Microbrewery
Applicant: Jeff Reid
Representative: Eric Kraai
Address: 330 S 2nd Street
Zoning: B-2 (Downtown Business)
Staff: Andrew Gingerich, Associate Planner
File No. CUP-2018-456
Date: November 11, 2018

I. SUBJECT

Consider a request for a Conditional Use Permit (CUP) for the property located 330 S 2nd Street, to allow a microbrewery and taproom which is categorized as a bar/nightclub use when the sale of alcoholic beverages will comprise more than 25 percent of the gross receipts. This property is located in a B-2 (Downtown Business) zone district.

II. EXECUTIVE SUMMARY

The Applicant is requesting approval of a Conditional Use Permit for the property located at 330 S 2nd Street in a B-2 Zone District, to allow a microbrewery and taproom which is categorized as a bar/nightclub use when sale of alcoholic beverages will comprise more than 25 percent of the gross receipts. The proposed business name is Foam and Folly Microbrewery.

III. BACKGROUND

The Applicant is requesting approval of a Conditional Use Permit for a microbrewery and taproom, a bar/nightclub use, in an existing building that is currently being used as an automotive garage. The lot is 5,239 square feet in size with an existing 3,200 square foot building. Adjacent property to east is a vacant lot, to the west is a parking lot, to the north and south are daytime commercial uses including a lock and key shop and a rock shop.

The Foam and Folly Microbrewery site and all neighboring properties are zoned B-2 and are within the Greater Downtown Central Business District Overlay. The Zoning and Development Code requires a Conditional Use Permit for a bar/nightclub use where the sale of alcoholic beverages will comprise more than 25% of the gross receipts in a B-2 zone district.

The existing building was constructed in 1949. The Applicant intends to use the 3,200 square foot building for a brewery and taproom. The lot includes another 1,800 square feet of property that will be used as a fenced rear outdoor patio as well as for a single vehicle carport. The Applicant is planning facade improvements and will repair and replace broken or damaged sidewalk, curb and gutter that currently exists along the property frontage on 2nd Street. The construction phase for the brewery is anticipated by the Applicant to be approximately 5 months. Operating hours are planned for Wednesday and Thursday between 3:00 p.m. and 9:00 p.m., Friday and Saturday

between noon and 10 p.m., and Sunday between noon and 6:00 p.m.

In the future, a 2nd floor residence is anticipated to be constructed at the site by the Applicant, and preliminary drawings for this were included as supplemental material in the Conditional Use Permit application. However, construction of the 2nd floor residence is not part of the Conditional Use Permit application and will require a Site Plan Review application in the future which would be reviewed and decided administratively.

IV. NOTIFICATION REQUIREMENTS

A Neighborhood Meeting was held on April 30, 2018 consistent with the requirements of Section 21.02.080(e) of the Zoning and Development Code. Three citizens attended the meeting along with the Applicant, property owners and city staff. The Applicant discussed the proposed request and plans to operate the business if the CUP is approved. Topics discussed included, parking, pedestrian access, building facade improvements, security issues (such as lighting and fencing), and access to utilities. Attendees did not express major concerns, and felt issues were adequately addressed by the proposal. One written comment was submitted by comment sheet at the neighborhood meeting, which was positive at the prospect of the new business. No other public comments have been received to date.

Notice was completed consistent to the provisions in Section 21.02.080(g) of the City's Zoning and Development Code. The subject property was posted with application signs on August 27, 2018. Mailed notice of the application submittal, in the form of notification cards, was sent to surrounding property owners within 500 feet of the subject property and attendees of the neighborhood meeting on October 12, 2018. Notice of the public hearing was published in the Grand Junction Sentinel on October 16, 2018.

V. ANALYSIS

The review of a Conditional Use Permit is subject to both the General Approval Criteria for all Permits requiring a public hearing (Section 21.02.080(d)) as well as the specific review criteria for Conditional Use Permits.

(d) **General Approval Criteria.** No permit may be approved unless all of the following criteria are satisfied:

- (1) Compliance with the Comprehensive Plan and any applicable adopted plan.

The site is currently zoned B-2 (Downtown Business) with the Comprehensive Plan Future Land Use Map identifying the site as Downtown Mixed Use.

The proposed land use furthers Goal 4 of the Comprehensive Plan: "Support the continued development of the downtown area of the City Center into a vibrant and growing area with jobs housing and tourist attractions." The proposed brewery would contribute to the vibrancy of the downtown area by providing both a destination and entertainment for residents and visitors, improving the facade of the building, improving the pedestrian realm by repairing and replacing broken sidewalk, and operating during evening hours.

The proposed land use also furthers Goal 6 of the Comprehensive Plan: “Land use decisions will encourage preservation and appropriate reuse”. The renovation and reuse of the building will further this Comprehensive Plan goal by reusing the existing building.

In addition, the proposed land use furthers Goal 3 of the Greater Downtown Plan, Downtown District Goals and Policies: “Develop a pedestrian-oriented, walkable Downtown Core.” The proposal will help create an activated space in the ground floor of a building with zero setback street frontage. This is consistent with Goal 3 Policy 3a: “Discourage uses on ground level that do not support pedestrian activity,” and Policy 3b: Require building facade details that activate the ground floor, particularly on corner buildings to activate north-south streets.”

The site is within the Greater Downtown Central Business District Overlay. However, the district standards do not apply as the proposal is to remodel an existing building (see Zoning and Development Code 24.12.060(b)). However, these standards may apply if the Applicant pursues construction of the 2nd floor residence.

Staff finds this request is in compliance with the Comprehensive Plan and Greater Downtown Plan.

(2) Compliance with this zoning and development code.

The site meets the standards of the B-2 zone, with the exception of having a front service entrance, which is not allowed in a B-2 zone. However, the existing front service entrance is currently a non-conformity and will be allowed to remain with the building. The building was constructed in 1949 and continues to meet the bulk standards required for this district, including the 15 foot minimum height for the first floor. The proposed bar/nightclub use is allowable in a B-2 zone with a conditional use permit.

Staff finds this request is in compliance with the Zoning and Development Code.

(3) Conditions of any prior approvals.

There are no conditions of prior approvals regarding this site/property therefore staff finds this criterion to be met.

(4) Public facilities and utilities shall be available concurrent with the development.

Public facilities and utilities are available to serve this development. The applicant adequately addressed City Development Engineer review comments. Utility agencies were included in the review process and had either no objections or no comments for the proposed CUP.

Staff therefore finds this criterion has been met.

(5) Received all applicable local, State and federal permits.

The Applicant will be required to obtain a liquor license through the State and City to operate their business. In order to obtain the license, the Applicant must first obtain a Conditional Use Permit through this application and review process. Should this CUP application be approved, the Applicant may then obtain a liquor license to be in compliance with the City's Zoning and Development Code and State and Local law. Operation as a bar is subject to their ongoing maintenance of a liquor license under State and Local laws.

The Applicant is applying for the CUP at the appropriate point in the process to obtain a liquor license. Therefore, staff finds this criterion has been met.

Pursuant to Section 21.02.110 (a) of the Grand Junction Zoning and Development Code, a Conditional Use review is to provide an opportunity to utilize property for an activity which under usual circumstances could be detrimental to other permitted uses, and which normally is not permitted within the same district. A Conditional Use may be permitted under circumstances particular to the proposed location and subject to conditions that provide protection to adjacent land uses. A Conditional Use is not a use by right; it is one that is otherwise prohibited within a given zone district without approval of a Conditional Use Permit. The application shall demonstrate that the proposed development will comply with the following:

(1) District Standards. The underlying zoning districts standards established in Chapter 21.03 GJMC, except density when the application is pursuant to GJMC 21.08.020(c) [nonconformities];

The site is zoned B-2 (Downtown Business). The proposal meets the purpose of the B-2 zone by adding to the vitality of the downtown area and promoting pedestrian circulation. In addition, the site meets the B-2 performance standards for landscaping as there is no on-site surface parking or park strip to landscape. The proposal meets the outdoor storage and display performance standards as all of the brewery operations will be indoors. The site is currently legally non-conforming regarding the standard for a service entrance to be located in the rear or side yard. The existing service entrance which is intended to be used for the operation of the brewery will not be required to be modified as part of this proposal due to it existing currently.

Staff finds this criterion has been met.

(2) Specific Standards. The use-specific standards established in Chapter 21.04 GJMC;

The use falls under the retail sales and service portion of the Code. There are no use-specific standards for a restaurant/bar, therefore staff finds this criterion has been met.

(3) Availability of Complementary Uses. Other uses complementary to, and supportive of, the proposed project shall be available including, but not limited to: schools, parks, hospitals, business and commercial facilities, and transportation facilities.

The general atmosphere of the downtown area, with pedestrian oriented retail, services, and entertainment is complimentary to the proposed land use. The brewery fits well with the context of a downtown activity center. Specific nearby complimentary uses include the convention center, multiple hotels, and downtown employers. The downtown area also has facilities for multiple transportation modes, including bicycle, pedestrian, transit, and automobile. The nearest park, which is generally not perceived as complementary, is nearly 1,000 feet away. The nearest school, which is generally not perceived as complementary, is well over ½ mile away.

Staff therefore finds this criterion has been met.

(4) Compatibility with Adjoining Properties. Compatibility with and protection of neighboring properties through measures such as:

(i) Protection of Privacy. The proposed plan shall provide reasonable visual and auditory privacy for all dwelling units located within and adjacent to the site. Fences, walls, barriers and/or vegetation shall be arranged to protect and enhance the property and to enhance the privacy of on-site and neighboring occupants;

The proposed site is an existing building constructed in 1949, and not directly adjacent to residential uses. The nearest residences are located on both sides of Pitkin Avenue approximately 100 feet from the rear of the proposed site. Those residences are also zoned B-2, as are all properties in the surrounding area, with the exception of a few properties zoned C-1 to the south of the site.

The Applicant is proposing to include a 1,200 square feet outdoor seating area for use by its patrons. The seating area is proposed to be fenced (as required by liquor laws). Additionally, the adjacent building, located on 338 S 2nd, is built along the entire southern property line of the site. This will add to the privacy of the outdoor seating area and will also help to mitigate sound for the residences south of Pitkin Ave. The relatively early closing hours proposed by the Applicant – 9:00 p.m. (Wednesday through Thursday), 10:00 p.m. (Friday and Saturday), and 6:00 p.m. Sunday with no

proposed operations on Monday or Tuesday, will prevent late night noise issues.

Staff therefore finds this criterion has been met.

(ii) Protection of Use and Enjoyment. All elements of the proposed plan shall be designed and arranged to have a minimal negative impact on the use and enjoyment of adjoining property;

No building expansion is proposed with this application and the Applicants wish to utilize an existing building that was previously used as an automotive garage. The neighboring properties are daytime commercial uses that will likely have few overlapping hours of operation with the proposed brewery. The Applicants are proposing to fence the existing outdoor patio area to be used as outdoor seating for its patrons. The Applicant and Staff do not anticipate that the use will have any negative impact on surrounding uses or the enjoyment of adjoining properties.

Staff therefore finds this criterion has been met.

(iii) Compatible Design and Integration. All elements of a plan shall coexist in a harmonious manner with nearby existing and anticipated development. Elements to consider include; buildings, outdoor storage areas and equipment, utility structures, building and paving coverage, landscaping, lighting, glare, dust, signage, views, noise, and odors. The plan must ensure that noxious emissions and conditions not typical of land uses in the same zoning district will be effectively confined so as not to be injurious or detrimental to nearby properties.

The proposed brewery will occupy the existing building. No building expansion is proposed with this application. The Applicant is proposing to utilize the existing outdoor area in the rear of the property for outdoor seating and will be required to fence the patio space per the liquor license requirements. No other outdoor uses are planned. The bulk dimensions of the building meet the standards of the B-2 zone district and match the zero setback street frontage of the adjacent buildings. The orientation of these buildings promotes pedestrian circulation, which is intended by the B-2 zone district. No landscaping is required for a remodel in a B-2 zone district.

Staff has found the proposed site to be compatible in design and well integrated into this portion of downtown, therefore staff has found this criterion has been met.

VI. STAFF RECOMMENDATION AND FINDINGS OF FACT

After reviewing the Conditional Use Permit application, for Foam and Folly Microbrewery, CUP-2018-456, the following findings of fact and conclusions have been determined:

1. In accordance with Section 21.02.080(d) of the Zoning and Development Code, the application has satisfied the criteria for general approval.
2. In accordance with Section 21.02.110 of the Zoning and Development Code, the application has demonstrated compliance with the criteria for a Conditional Use Permit.

VII. RECOMMENDED MOTION

Madam Chairman, on the application for a Conditional Use Permit for Foam and Folly Microbrewery located at 330 S 2nd Street, CUP-2018-456, I move that the Planning Commission recommend approval.

Attachments:

1. Site Location Map
2. Aerial Photo Map
3. Comprehensive Plan Future Land Use Map
4. City Zoning Map
5. Site Photos
6. Site Plan, Floor Plan, and Utility Plan
7. Neighborhood Meeting Minutes

Site Location Map - 330 S 2nd St



Printed: 9/27/2018

1 inch = 188 feet



Aerial Photo Map - 330 S 2nd St

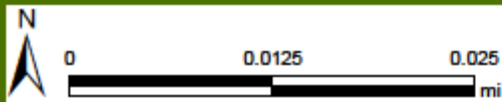


Printed: 9/27/2018

1 inch = 47 feet

CITY OF
Grand Junction
COLORADO
4304 W. S. 2000 RD.

Comprehensive Plan Future Land Use Map - 330 S 2nd St

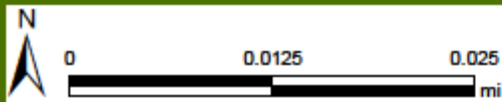


Printed: 9/27/2018

1 inch = 47 feet



City Zoning Map- 330 S 2nd St



Printed: 9/27/2018

1 inch = 47 feet



Front View - 330 S 2nd



03/24/2018



REVISION:

PROJECT NO:

1855

SHEET NAME:

SITE PLAN

DATE: 08/14/2018

SHEET NO:

C1.1

SCALE: As indicated

- KEYNOTES:**
1. EXISTING DRIVEWAY TO REMAIN
 2. NEW 4" PVC DRAIN LINE
 3. NEW 400 AMP SERVICE
 4. CONTRACTOR TO REMOVE AND REPLACE ALL BROKEN AND/OR DAMAGED CURB, GUTTER, AND SIDEWALK ALONG PROPERTY FRONTAGE

LAND USE ZONE

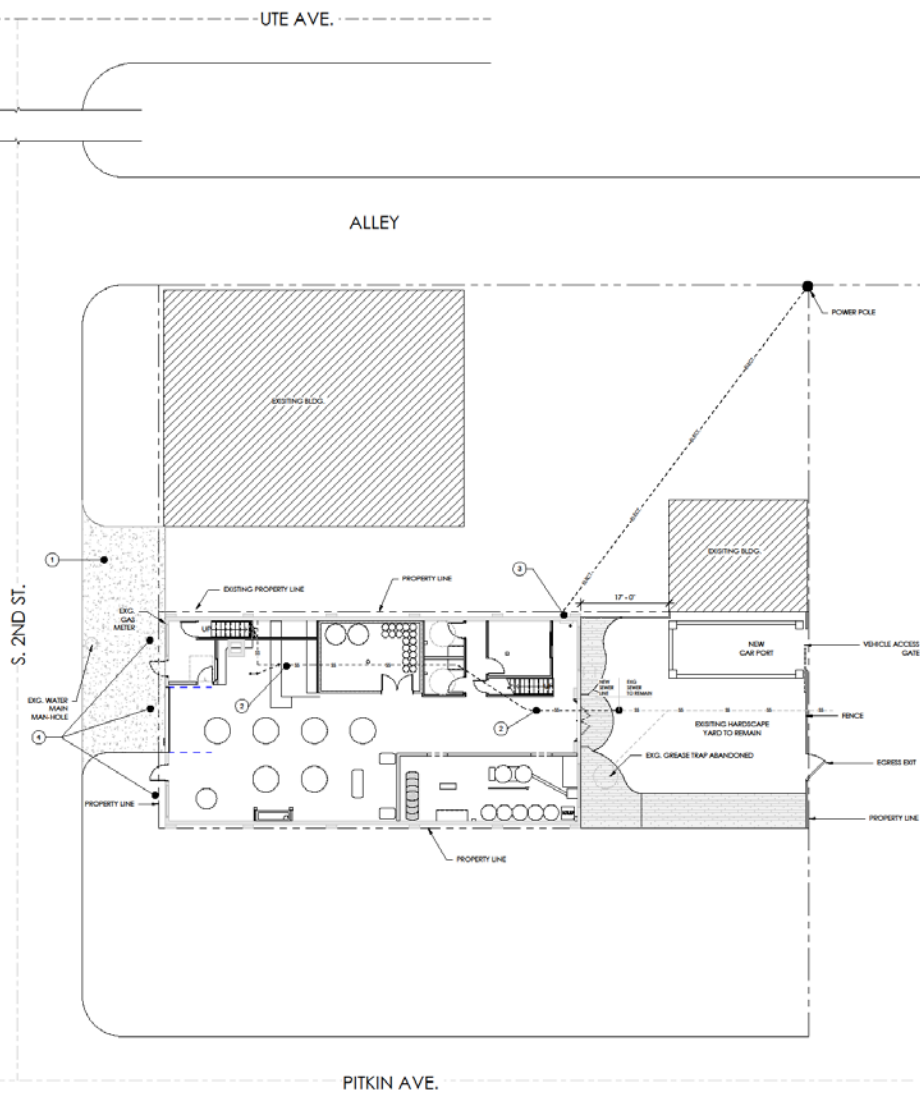
SITE	- 5,219 SF	(0.12 ACRES)
FLOOR AREA	- 3,162 SF	(0.07 ACRES) 60%
HARDSCAPE	- 1,285 SF	(0.03 ACRES) 25%
WALKWAYS	- 475 SF	(0.01 ACRES) 10%
PARKING	- 297 SF	(0.007 ACRES) 6%
TOTAL	- 5,219 SF	= 100%

ACCEPTANCE BLOCK

THE CITY OF GRAND JUNCTION REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS. SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY HEREBY ACCEPTS FOR ASSUMES ANY LIABILITY FOR BREACH OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD.

CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER _____ DATE _____



SITE PLAN
 1" = 10'-0"

Meeting Minutes Neighborhood Meeting COU Pre-application

Date: April 30, 2018

Location: SpringHill Suites, Grand Junction, CO. – Monument Board Room

Attendees: Reference separate Attendee Listing

Meeting Start: 6:00pm

Topics Discussed:

1. Jeff Reid and Joy McIntosh presented the business concept for a small brewery & taproom, along with a local art gallery space. The attendees were very receptive to the proposed change of use and felt that it would represent a welcomed addition to the neighborhood.
2. Typical business hours for the brewery were reviewed in relation to other businesses along 2nd street. No conflicts were anticipated.
3. Parking requirements and locations were discussed in relation to other businesses in the area. It was generally agreed that there should be adequate parking especially since the new city parking lot was being constructed where the old Wells Fargo drive through lot had been.
4. Pedestrian access was briefly discussed; no issues in general.
5. Building façade improvements were discussed including the availability of grant money made available by the DDA. The new owners intend to improve the curb appeal by replacing the metal vehicle rollup door with a glass rollup door, replace the front pedestrian doors, painting the building, and adding decorative lighting and signage.
6. Security aspects were reviewed; including fencing around the site, recent crime, and lighting around the area. No issues noted. Emergency services were deemed good and located in close proximity.
7. Utilities access and services, along with city garbage collection / recycling options were reviewed. No issues noted.

Meeting Adjourned: 6:40pm

**COU Pre-application Neighborhood Meeting for
330 S. 2nd Street, Grand Junction, CO.
Monday 4/30/18 6:00pm**

Attendee List

	Name	Address
1.	Richard Bernate	322 S. 2 nd St.
2.	Jill Bernate	" "
3.	LORI Bowers	City Representative
4.	SHANE BURTON	216 S 2ND STREET
5.		
6.		
7.		
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18.		
19.		
20.		

COU Pre-application Neighborhood Meeting for
330 S. 2nd Street, Grand Junction, CO.
Monday 4/30/18 6:00pm

Neighbor Feedback / Comments Form

Name: Richard Bernat's

Feedback / Comments:

Looking forward to incoming new
business on the block.
/



Development Application

We, the undersigned, being the owner's of the property adjacent to or situated in the City of Grand Junction, Mesa County, State of Colorado, as described herein do petition this:

Petition For:

Please fill in blanks below only for Zone of Annexation, Rezones, and Comprehensive Plan Amendments:

Existing Land Use Designation Existing Zoning

Proposed Land Use Designation Proposed Zoning

Property Information

Site Location: Site Acreage:

Site Tax No(s): Site Zoning:

Project Description:

Property Owner Information

Name:

Street Address:

City/State/Zip:

Business Phone #:

E-Mail:

Fax #:

Contact Person:

Contact Phone #:

Applicant Information

Name:

Street Address:

City/State/Zip:

Business Phone #:

E-Mail:

Fax #:

Contact Person:

Contact Phone #:

Representative Information

Name:

Street Address:

City/State/Zip:

Business Phone #:

E-Mail:

Fax #:

Contact Person:

Contact Phone #:

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item may be dropped from the agenda and an additional fee may be charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing the Application Digitally signed by Tracy States Date: 2018.06.25 10:50:36 -06'00' Date

Signature of Legal Property Owner Date

OWNERSHIP STATEMENT - CORPORATION OR LIMITED LIABILITY COMPANY

(a) Frog Pond, LLC ("Entity") is the owner of the following property:

(b) 2501 Monument Road, Grand Junction, CO

A copy of the deed(s) evidencing the owner's interest in the property is attached. Any documents conveying any interest in the property to someone else by the owner are also attached.

I am the (c) Manager for the Entity. I have the legal authority to bind the Entity regarding obligations and this property. I have attached the most recent recorded Statement of Authority of the Entity.

My legal authority to bind the Entity both financially and concerning this property is unlimited.

My legal authority to bind the Entity financially and/or concerning this property is limited as follows:

The Entity is the sole owner of the property.

The Entity owns the property with other(s). The other owners of the property are:

On behalf of Entity, I have reviewed the application for the (d) Growth Plan Amendment/ODP/Annexation and Zoning

I have the following knowledge or evidence of a possible boundary conflict affecting the property:

(e) N/A

I understand the continuing duty of the Entity to inform the City planner of any changes regarding my authority to bind the Entity and/or regarding ownership, easement, right-of-way, encroachment, lienholder and any other interest in the land.

I swear under penalty of perjury that the information in this Ownership Statement is true, complete and correct.

Signature of Entity representative: [Handwritten Signature]

Printed name of person signing: Kevin Bray, Manager

State of Colorado)

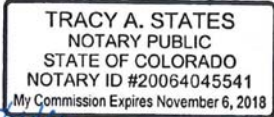
County of Mesa) ss.

Subscribed and sworn to before me on this 25th day of June, 2018

by Kevin Bray

Witness my hand and seal.

My Notary Commission expires on 11/06/2018



[Handwritten Signature: Tracy A. States]
Notary Public Signature

**General Project Report
Growth Plan Amendment/Outline Development Plan/
Annexation and Zoning**

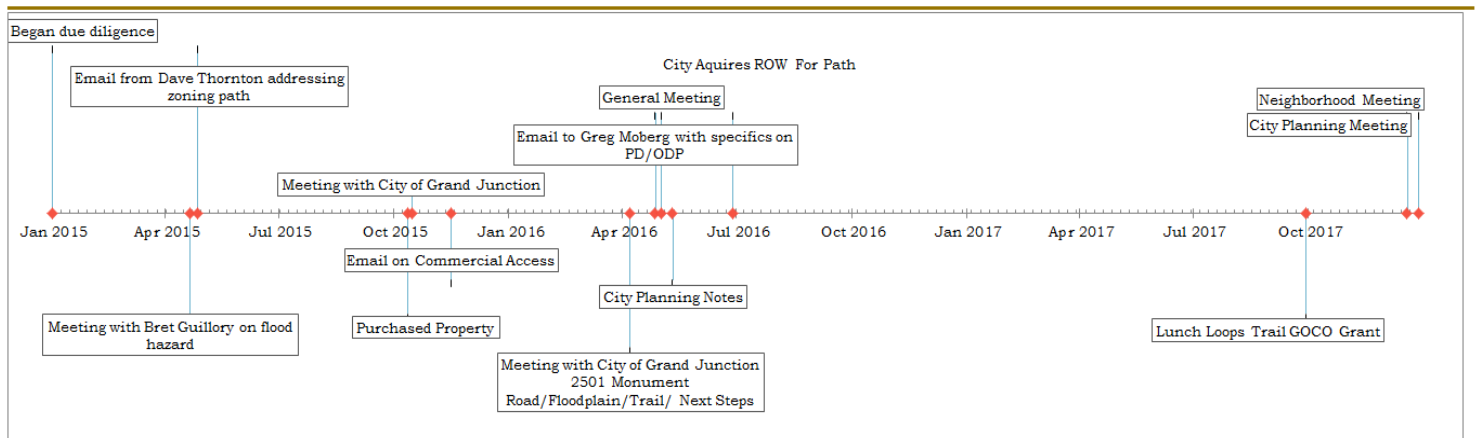
**FROG POND
Assessor Parcel No. 2945-211-01-019
2501 Monument Road, Grand Junction, CO
June 19, 2018
*Revised September 25, 2018***

A. Project History

1. Timeline

Negotiations for the purchase of this site began with the previous owner of this property in 2014. The site is attractive because of its convenient location to downtown, the monument, and the Lunch Loops/Three Sisters area. It also seemed like a good candidate for a rezone for a limited mixed-use project because; 1) the relative isolation of the site due to natural and man-made buffers that exist between this property and adjacent properties; 2) the adjacent compatible residential uses, 3) the likelihood for a substantial increase in pedestrian traffic immediately adjacent to the property.

PROJECT TIMELINE



The property was put under contract in early 2015 and, during due diligence prior to purchase, the potential zoning, flood hazards, and availability of necessary sewer, water, gas, and electric utilities were discussed with City staff and utility providers.

For many years, there was been a community vision to connect downtown Grand Junction with the Lunch Loops Trailhead parking lot on Monument Road. The completion of this connection promises to change the character of this particular piece of property. During our due diligence and after purchase, we engaged with the City of Grand Junction, Mesa Land Trust, and Mesa County to assist with the design and ROW for the trail.

In addition to other years long efforts put forward by the City, Mesa Land Trust, and various stakeholders, the we were involved in numerous meetings with the City of Grand Junction, Mesa Land Trust, and adjacent property owners discussing the need for re-establishing a drain pipe that would be a key to the City obtaining necessary ROW for the future trail.

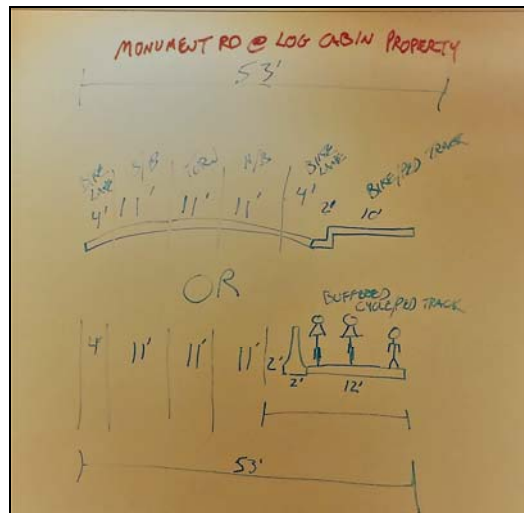
In addition, we attended several meetings with the City of Grand Junction and Mesa Land Trust in discussing and designing trail alignment. During these meetings we were transparent in our intent to develop the site for a residential mixed use project and the applications of the future trail and access to the site were discussed in this context.

The culmination of these efforts eventually led to the successful acquisition of the needed right of way and in 2017, a \$1.5 million dollar grant was awarded for construction of the Lunch Loops Trail. Construction of the trail is expected to start in 2019.

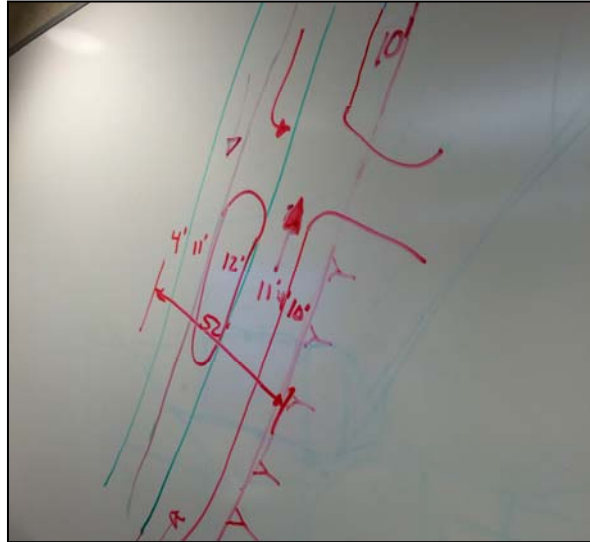
“It is anticipated that the Lunch Loops Trail will receive 50,000-70,000 visits a year.”

~ City of Grand Junction GOCO Grant Application

Now that this connection is a reality, the character of this piece of property will indeed change. It will now provide access for mountain bikers, hikers, families, visitors, and many others. The property now presents an opportunity to expand on the intent of the Lunch Loops Trail in encouraging increased access to public lands, to Grand Junction’s downtown and to Las Colonias Park, for residents and visitors by providing a primary residential and limited commercial use on the site.



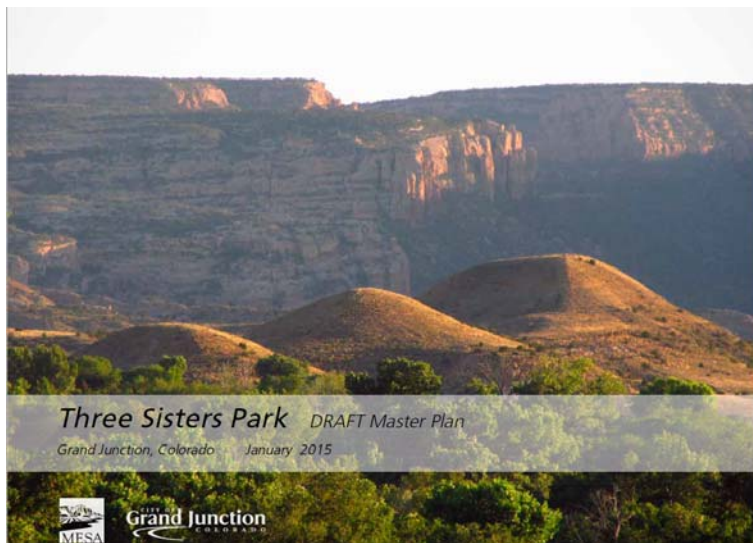
Alternate Path Design 2015/2016 -Meetings with City Staff



Turn lane access for future development of site 2015/2016- Meetings with City Staff



Alternative path alignment, turn lane design, site access 2015/2016 - Meetings with City Staff



B. Project Description

1. This is a request for the approval of a growth plan amendment (GPA), outline development plan (ODP) and annexation and zoning of a parcel located at 2501 Monument Road, Grand Junction, Colorado. This request is being made in anticipation of future development of the parcel. The parcel is located within unincorporated Mesa County. The developer is Frog Pond, LLC, represented by Kevin Bray. The development team includes River City Consultants responsible for administrative, submittals, surveying and engineering aspects, and Ciavonne, Roberts and Associates leading the physical planning, design development and landscape plans.
2. The parcel containing approximately 3.377 acres is physically separated into two parts by Monument Road. A portion of the site is also bordered by S. Redlands Road.
3. The proposed zone for the parcel is PD with an underlying zone of R-5. The existing County zoning is RSF-4 and the future land use is currently Residential Low, however the property is adjacent to future land use of Residential Medium. The request is to amend the future land use of this property to Residential Medium and then annex the parcel into the City of Grand Junction limits with the proposed PD zoning to allow for mixed-use residential development. The proposed underlying zone is an allowed adjacent use per the City's growth plan and is a critical element in contemplating development of the property. The proposed zoning is in line with the current use of the property with two existing duplex units. There will be some deviations requested from the R-5 zone district guidelines, most notably is the provision to allow a 10% portion of the property as limited commercial use. This is explained in greater detail later in this report.

C. Public Benefit

The public will benefit with (1) the development of vacant property; (2) the addition of a limited mixed-use element nestled within a primary residential use; (3) increased access to public lands for commercial and residential users; (4) and professional land planning of a site in a very visible location that will be consistent with future land use plans. Any future development will make more efficient use of the existing infrastructure. Development would also eliminate the existing septic system, which is also in line with City goals. Future development of the site will also take into consideration the preservation of the natural drainage that occupies the west portion of the site.

D. Neighborhood Meeting

A neighborhood meeting was held as required and meeting minutes are included with this submittal.

E. Project Compliance, Compatibility, and Impact

1. **Adopted plans and/ or policies are being met-** The proposed zoning will be in compliance with the adopted codes and requirements for this property, with the approval of the ODP.
2. **Land use in the surrounding area-** The land uses in the immediate area are low to medium density residential, and vacant land. The rezoning of the parcel to PD with a mixed-use residential development is compatible and complimentary with the current uses in the immediate and surrounding areas.
3. **Site access and traffic patterns-** Access is existing to a portion of the property from Monument Road for the portion of the site where the duplex units exist. Considerable attention to access was discussed in talks with the City about trail alignment. This was discussed in the context of the future development of the site per this application. It was determined that the most likely access would be at the current location. Also likely is that a turn lane would be required, and subject to the current traffic capacity payment policy. The approval of the GPA/ODP/Annexation and Zoning will have no effect on existing traffic patterns.
4. **Availability of utilities, including proximity of fire hydrants-**
The subject parcel is and/or will be served by the following:
 - Ute Water
 - City of Grand Junction Sanitation District
 - Xcel Energy
 - Charter/Spectrum
 - Century Link
 - Redlands Water and Power
 - City of Grand Junction FireAll utilities are existing in Monument Road and S. Redlands Road and have been or can be extended into to the site.
5. **Special or unusual demands on utilities-** Approval of this request will have no impact on utilities. Future development will have to be evaluated on its specific elements.
6. **Effects on public facilities-** There will be no effect on public facilities (i.e. police and fire services) as a result of the approval of this request.
7. **Hours of operation-** N/A for this request
8. **Number of employees-** N/A for this request.

9. **Signage plans-** N/A for this request.
10. **Site Soils Geology-** Soils are expected to be generally consistent with what is found in the area.
11. **Impact of project on site geology and geological hazards-** N/A for this request.

F. Must address the review criteria contained in the Zoning and Development Code for the type of application being submitted

Section 21.02.140 Code amendment and rezoning.

(a) Approval Criteria. In order to maintain internal consistency between this code and the zoning maps, map amendments must only occur if:

(1) Subsequent events have invalidated the original premises and findings; and/or

This area is built out with both low density and medium density residential. This parcel is currently classified as Residential Low for its future land use but is adjacent to Residential Medium to the east. The approval and scheduled construction of the Lunch Loops Trail, expects to have 50,000-75,000 visits a year, directly attached to this property. With the separation of Monument Road, implementing Residential Medium with the Growth Plan map amendment and through the PD zone district with underlying R-5 zoning would be appropriate.

(2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

The current future land use of Residential Low does not fit the existing use which includes two duplex units. Residential low does allow it, but prefers single family detached. The requested PD zoning is a better fit for the existing use and the implementation of the Residential Medium land use is consistent with the same designation as neighboring properties on the west side of S. Redlands Road. In the last 10 years there has been a substantial increase of traffic on Monument Road as both visitation to the Lunch Loops trail and the Colorado National Monument has increased as well as increased residential development using this corridor to travel between trails, town, and home.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

The subject site enjoys close proximity to shopping (both retail and grocery), entertainment and Downtown Grand Junction, direct access to the popular Lunch Loops mountain biking and hiking area, and to world class cycling and touring of the Colorado National Monument. Fire and Police services are also in close proximity.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

There are currently no parcels in this area that are zoned for mixed-use residential development. The immediate area is built-out with low and medium density residential developments.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

The community will benefit from this unique project by serving local residents and drawing in visitors, creating positive economic development, as well as preservation of sensitive land. This request is evidence that the Lunch Loops Trail is “a strategic recreation facility to achieve economic development” as referenced in the GOCO grant request.

Section 21.02.150 Planned development (PD).

(b) Outline Development Plan (ODP).

(2) Approval Criteria. An ODP application shall demonstrate conformance with all of the following:

(i) The Comprehensive Plan, Grand Valley Circulation Plan and other adopted plans and policies;

The future proposed mixed-use residential development will further many of the goals and policies of the Comprehensive Plan. It provides for:

- Increased access for residential and public users to public lands.
- Provides limited commercial services to the public in close proximity to public lands.
- Participates in the design and encourages the use of a future path providing access from the downtown area to the Three Sisters area and the Colorado National Monument.

- Creates community branding with a focus on existing assets, inviting a mix of locals and visitors.

Any future project will conform with the Grand Valley Circulation Plan and other adopted plans and policies.

(ii) The rezoning criteria provided in GJMC 21.02.140;

The future development plan will conform to the PD zone with underlying zoning requested of R-5 zone district with modifications.

The following deviations from these standards are proposed:

- No minimum lot size.
- No minimum lot width.
- 5' Front, Rear and Side setbacks.
- Allowance of 10% limited commercial use.
- Modify landscape buffer requirement to a minimum 5' strip
- Hours of limited commercial from 6 a.m. to 10:30 p.m.
- Sign standards of the R-O zone would apply to limited commercial
- Limited commercial floor area not to exceed 8,000 SF
- Remove Maximum Lot Coverage requirement.

The following use restrictions are also proposed with ODP/PD Zone:

- Drive Thru
- Gas Station
- Liquor Store
- Automotive Repair/Service

(iii) The planned development requirements of Chapter 21.05 GJMC;

Future development will take advantage of existing infrastructure and existing utility corridors with minimal effect on traffic patterns. It will be proposed to convey land important for the maintenance of the No Thoroughfare drainage, protecting this natural drainage way. The PD zone allows potential to provide a unique mix of housing options in an environment that could serve both local residents as well as visitors to the area.

(iv) The applicable corridor guidelines and other overlay districts in Chapter 21.07 GJMC;

The subject property is subject to the Redlands Area Plan. The project is physically separated from neighboring properties by Monument Road and S. Redlands Road and is topographically much lower than neighboring properties. Any future project will be designed to maintain the open vistas of the Monument while remaining visually compatible with the area.

(v) Adequate public services and facilities shall be provided concurrent with the projected impacts of the development;

Any future project will have access to all public services and facilities concurrent with construction of the project.

(vi) Adequate circulation and access shall be provided to serve all development pods/areas to be developed;

Access to the project is proposed from Monument Road. Adequate interior circulation of the site is easily attainable.

(vii) Appropriate screening and buffering of adjacent property and uses shall be provided;

The parcel is physically divided by Monument Road. The portion of the parcel on the west side of Monument Road is vacant and contains a portion of the No Thoroughfare drainage, which is proposed to be conveyed to the City to maintain and preserve this drainage. The combination of Monument Road and the west parcel dedication and natural vegetation provide a large buffer to the west. A large difference in elevation, existing vegetation and S. Redlands Road provide significant buffer to properties located to the South, East, and North. The proposed limited commercial portion of the PD would be further buffered by development of residential component within the boundaries of the proposed planned development to the South, East and North and to the West by Monument Road and the proposed land dedication. A portion of the northern boundary connects to public lands known as the Three Sisters or Lunch Loops area.

(viii) An appropriate range of density for the entire property or for each development pod/area to be developed;

The project proposes a range of 14-21 residential units

(ix) An appropriate set of “default” or minimum standards for the entire property or for each development pod/area to be developed;

An appropriate set of “default” standards for the entire property have been developed.

Proposed Zone Dimensional Standards							
Default Zoning District	Min. Lot Size		Min. Set Backs			Max Lot Coverage	Max. Height
	Area (sq. ft.)	Width (ft.)	Front	Side	Rear		

R-5	N/A	N/A	5'	5'	5'	N/A	40'
-----	-----	-----	----	----	----	-----	-----

(x) An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed;
 Any future project is to be built in a single phase.

F. Development Schedule and Phasing

Not applicable to the GPA/ODP/Annexation and zoning. When developed, the project will be developed in a single phase. The approval of this request would allow future development to be completed as early as 2020. This is a reasonable expectation, subject to subdivision approval and market conditions.

**EXHIBIT A
FROG POND ANNEXATION AND ZONING
2501 MONUMENT ROAD
GRAND JUNCTION, CO**

**SUMMARY OF NEIGHBORHOOD MEETING
THURSDAY, DECEMBER 28, 2017
PORTER HOMES OFFICES
419 BRACH DRIVE @ 5:30 PM**

A neighborhood meeting for the above referenced annexation and zoning was held Thursday, December 28, 2017, at Porter Homes Offices, located at 419 Brach Drive. A letter notifying the neighbors within the surrounding 500 feet of each project was sent on December 14, 2017, per the mailing list received from the City. Representing the project was the owner representative, Kevin Bray. Tracy States, Project Coordinator with River City Consultants (RCC) was also in attendance to assist and take notes. In attendance for the City of Grand Junction was Scott Peterson, Senior Planner. There were nine attendees that attended the meeting. An attendance list and copies of the exhibits used at the meeting, as well as exhibits prepared by the attendees, are provided with this Exhibit.

Kevin Bray began the meeting by introducing himself, as well as Tracy States and Scott Peterson. Kevin encouraged those in attendance to use the comment cards provided to make their opinions known. He went on to explain the project location and how the parcel is bisected by Monument Road and how both Monument Road and South Redlands Road provide a buffer from neighboring properties as well as being topographically separated on all sides. Kevin explained the existing County zoning of RSF-4, medium density residential. There was some conversation from those in attendance as to why this parcel had not been annexed along with all of the other parcels on the east side of Monument Road.

Kevin then went on to explain the requested zoning of PD with an underlying zoning R-O with some minor deviations regarding setbacks requirements, lot coverage, hours of operation, entrance and parking locations, and the allowance of limited retail. He presented that it was proposed to dedicate the west side of Monument Road to the City to preserve and maintain the drainage wash, as well as preserving and wildlife corridor and wetlands that might exist. Kevin explained that the eastern portion of the parcel was proposed for single family residential with a small limited retail element and continuation of the bike path from the north. At this time, the attendees engaged in the conversation.

The initial conversation was with regards to the past flooding of the property and the serious concerns the attendees had with developing a parcel in the flood plain. Kevin

explained that the parcel was in a flood hazard area but not a designated FEMA flood plain. The attendees presented photos of past flooding where the flood water, as well as photos of the sediment deposited as a result of the flooding. Kevin agreed that a flood hazard exists on the property because it currently is below the level of monument road, in the event no thoroughfare floods and tops the road it would fill the property up like a bowl. Information was provided about the rebuilding of the bridge that was washed out in a flood, the relocation of the bridge and the realignment of Monument Road.

It was questioned how many units were planned. Kevin explained that the project had not progressed that far, that the first step was to secure the annexation and zoning of the property. Someone asked what the Army Corps had to say. Again, Kevin explained that comes with the next part of the process but they would definitely be consulted. The attendees next asked about traffic and expressed big concerns about adding traffic to a narrow mountain road that was already congested, as well as speed and blind spots located in the area of the subject property. There was conversation regarding bicyclists that do not observe the roadway rules. Kevin commented that the extension of the bike path would alleviate some of the issues with errant bicyclists, as well as improving pedestrian safety. Most of the attendees agreed that the extension of the path would be a good thing.

Kevin explained that after the annexation and zoning, a preliminary plan would be submitted and the project would be required to provide all relevant traffic, flood plain, drainage, soils, etc. He acknowledged that a turn lane might be required and that there was enough right-of-way to accommodate a left turn lane. Concerns with regards to increased noise and odors were also expressed, as well as traffic and speed. Kevin commented that he believed the development of the property will change the context of the roadway and that speed should be reduced by “design speed”. He offered that people currently don’t slow down because there is no visual cue in this area. Development of the property would offer this visual cue.

The retail aspect was discussed next. The attendees wanted to know what kind of businesses might be allowed. Kevin gave examples such as a Trail Head Coffee, a tap room, a pizza place or bike shop. One attendee commented that retail such as this already exists within the area referencing that pizza, coffee, two restaurants with bars were within a mile and that noise with the existing businesses was an issue. All were opposed to the retail element at this point. Kevin responded that the area was changing and becoming more vibrant and the retail element would be a benefit to people that are already living nearby or traveling past. Some present stated that it added no value for them. One gentlemen was against the development and also complained about bikers on Monument Road. Another neighbor complained about noise from an existing neighbor using their garage as a mechanic shop.

Someone asked when development could be expected. Kevin explained the development process beginning with the annexation and zoning of the property. Kevin explained the annexation and zoning process and that there will be a Planning Commission hearing and

two City Council meetings. The first City Council meeting will be to set the public hearing and give notice. The second City Council meeting will be the Public Hearing.

He explained that after annexation and zoning were completed, another neighborhood meeting would be held to present the concept plan. Kevin explained that the next portion of the process would be an administrative process. This is when all the required studies and reports would be presented for review and approval. Someone again questioned the project's location within a flood plain. Kevin again explained that there was no FEMA designated flood plain but that the property is in a flood hazard zone.

Kevin went on to draw an example of the project location with regards to the road ways. He said there is no flood relief by using the property as a detention basin. He explained that the City will require all new structures be above the road ways. Kevin explained that fill would be brought in so that none of the new development would be in the flood hazard area and this would be accomplished as part of the engineering study.

It was asked how the project would be sewer. Kevin explained that the closest sewer manhole was in South Redlands Road, approximately 700' to the north. The project will extend sewer from there to the south property line of the project in order to provide for future development, as required by the City.

It was asked when the first person would be able to move in. Kevin stated that spring of 2019 would be the earliest that could happen. It was asked if the existing buildings would remain. Kevin stated that they would, pointing out they still have a useful life and the buildings have history. There seemed to be agreement that the buildings have history. The question was asked what was proposed besides the retail element. Kevin explained that he envisioned a live/work community with small, detached single family residences with one to three bedrooms, ranging from 700 square feet to 1,200 square feet.

It was asked how far the trail connection would extend. Kevin explained it is the goal to eventually connect downtown to the Lunch Loops. He asked if anyone had any thoughts with regards to the project. Someone said to abandon the whole thing. He asked if anyone liked anything about the project. The initial response was no. Kevin stated that he really believes that the project will be a benefit and he realizes change is tough. There was some agreement at that point that they agreed with residential zoning but no retail. They said residential development would benefit the area and raise values but retail would not. Most also agreed that the bike trail would be a benefit. There was some interest in the housing possibilities.

The attendees were appreciative of the meeting and the information provided. The meeting adjourned at approximately 6:30 PM. One family lingered after the other attendees left to talk more about the housing and retail options that were being considered. Kevin gave them some examples of boutique retail possibilities and communities that he had visited and saw as a possible vision for this project. They were intrigued and told Kevin they were going to check them out.

**Thursday, December 28, 2017 – Frog Pond (2501 Monument Road)
Annexation and Zoning - Neighborhood Meeting @ 5:30 PM
419 Brach Drive (Porter Homes Offices)
Grand Junction, CO**

	Name	Address	Email (Optional)
1.	Kevin Bray	2501 monument road	kenbray@grandco.com
2.	Tracy Stales	RCC	tstales@recreot.com
3.	Scott Peterson	City Planning	ScottP@GJCO.org
4.	Laura Fiddle	2501b Rose Drive	l.fiddle@ec-electric.com
5.	Greg McClure	322 S Redlands Rd	greg.mcclure@aol.com
6.	Jane M. Clure	2504 A Rose Drive	snoopy.j@wildblue.net
7.	John & Jackie Howard	37 1/2 Martello Dr	j.j.howard@msn.com
8.	Bernard & Jeanne Hesby	115 Glade Park Rd	
9.	Mike & Andrea Grattan	381 Rodell Dr.	magrattan@msn.com
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25.			

Totally against the whole
project

Too much traffic, noise

Too small for proposed #
of homes

Mon Rd is already too congested

ABANDON the Whole Project

Too Much ^{added} traffic for
narrow Mt Road that is
already congested.

NO RETAIL

Lois McClure 216-1158- Prop Owner
Laura Riddle 250-3891

Proposed Annexation and Zoning Changes for the property located at 2501 Monument Road

Against –

- Small scale, limited retail component for potential restaurant/brewery/tap room/outdoor recreation oriented sales and/or service
- To support this and the surrounding community.

Reasoning –

1. Retail/commercially zoned area already exist less than a mile from proposed parcel.
2. Retail/commercial space is available in existing zoned area that suitable for what property owner is proposing for this parcel less than a mile away.
3. Existing commercial/retail shops are already supporting this and the surrounding community
4. Parcel's proximity is not only close to public lands and trails but is surrounded by residential areas.
5. Adding retail/commercial to a highly residential area will hinder the quality and peace of life of the residential area.
6. Parcel does not have enough land to facilitate retail/commercial/residential (parking).
7. Increased traffic to an area that has visual hindrances
8. Parcel is in a flood area. This is the only low lying residential housing built along the wash flood area, all other housing built up on hills.

Abstain-

- Annexation of Parcel – If the property owner wants to pay more taxes to the city so be it.
- Small residential housing options intentionally build to accommodate the lifestyle of active outdoor enthusiast.

Reasoning-

1. If the property owners want to pay more tax that is their prerogative
 2. If the property owners want to build in a known flood plain, it is their prerogative.
- I have lived in this area for over 50 years and have personally witnessed, photographed and videoed numerous floods raging down the wash that runs through this Parcel.
 - I have seen both bridges on either side of the property washed out by these floods
 - In the last few years I have witnessed a flood in the wash that was actually very close to the level of the road.
 - It is not a matter of if we will get another big flood it is a matter of when this wash will flood

PLANNING COMMISSION AGENDA ITEM

Project Name: Frog Pond –Outline Development Plan and Zone of Annexation to PD (Planned Development) with a Default Zone of R-5
Applicant: Frog Pond LLC, Owner
Representative: River City Consultants, Tracy States
Address: 2501 Monument Road
Zoning: Planned Development (PD)
Staff: Kathy Portner
File No. PLD-2018-350
Date: November 13, 2018

I. SUBJECT

Consider a request of an Outline Development Plan (ODP) and zone of annexation to Planned Development (PD) with R-5 (Residential, 5 du/ac) and CSR (Community Services and Recreation) default zone districts for Frog Pond, located at 2501 Monument Road.

II. EXECUTIVE SUMMARY

The Applicant, Frog Pond LLC, is requesting a zone of annexation to Planned Development (PD) with R-5 (Residential, 5 du/ac) and CSR (Community Services and Recreation) default zone districts, as well as the approval of an Outline Development Plan (ODP) for the Frog Pond development. The approximately 3.5 acre parcel is bisected by Monument Road, with 2.5 acres on the east side and 1 acre on the west side. The proposed plan includes mixed use development of the east parcel, including residential and limited commercial, and preservation of the west parcel as open space along No Thoroughfare Wash. The Outline Development Plan establishes specific performance standards that the development will be required to meet and conform with, as authorized by Section 21.02.150 (b) of the Zoning and Development Code. The project is located at 2501 Monument Road.

III. BACKGROUND

The Applicant, Frog Pond LLC, has requested annexation of land located at 2501 Monument Road in anticipation of future development of the property. The property is bisected by Monument Road with approximately 2.5 acres on the east side that includes two duplex buildings with a total of four residential dwelling units and 1 acre on the west side that is part of the No Thoroughfare Wash drainage. The Applicant is requesting a zone of annexation to Planned Development (PD) with R-5 (Residential, 5 du/ac) and CSR (Community Services and Recreation) default zone districts, as well as the approval of an Outline Development Plan (ODP) for 14 to 21 residential units and a maximum of 14,670 s.f. (10% of the total land area) be allocated for limited commercial use, to include building footprint and parking.

The proposed plan includes mixed use development of the east parcel, including residential and limited retail, and preservation of the west parcel as open space along No Thoroughfare Wash. The Outline Development Plan establishes specific performance standards that the development will be required to meet and conform with, as authorized by Section 21.02.150 (b) of the Zoning and Development Code.

The property had a County zoning of RSF-4 (Residential Single Family, 4 du/ac). Surrounding properties are zoned R-5 (Residential, 5 du/ac), R-4 (Residential, 4 du/ac) and County RSF-4. The Future Land Use designation of the subject property is Residential Low which allows for densities of .5 to 2 units per acre; however, the Blended Map designation of Residential Low allows for densities up to 5 units per acre. Further, the properties directly adjacent to the site to the east and north have a Future Land Use designation of Residential Medium that anticipates densities of 4 to 8 units per acre and are developed single family attached and detached units at densities of 4 to 5 units per acre. The property to the south is owned by the City of Grand Junction and is a part of the Three-Sisters/Tabaguache open space and trail system.

The Zoning and Development Code (“The Code”) sets the purpose of a Planned Development (PD) zone and enables the PD to be used for unique single-use projects where design flexibility is desired and is not available through application of the standards established in Chapter 21.03 GJMC. The Code provides Planned Development zoning should be used when long-term community benefits will be derived and the vision, goals and policies of the Comprehensive Plan can be achieved.

Drainage:

The property has been subject to flooding of No Thoroughfare Wash in the past, and some of the site is shown as an area of flash flooding by USGS Geohazards mapping, but is not a mapped floodplain on the FIRM maps. Maintenance done along the Wash through the West parcel has improved the capacity of the natural drainageway. Analysis of the No Thoroughfare Wash will be required with a preliminary or final plan for the property to establish base flood elevations and determine necessary mitigation. A wetlands determination and delineation will also be required for any of the area proposed for development.

Establishment of Uses:

The proposed ODP preserves the No Thoroughfare Wash drainage, located on the west side of Monument Road, as open space. The proposed uses on the remainder of the property on the east side of Monument Road include residential uses as allowed in the R-5 zoning, including Single Family attached and detached, Duplex/Two Family, Multifamily, Civic and Home Occupation, as well up to 10% of the land area for limited commercial use, including business residence, office, restaurant/coffee shop (with no drive-through), food truck, daycare, bike shop/rentals, fitness studio and tour services. Uses specifically prohibited include drive-through business, gas station, liquor store, automotive repair/service.

Density/Intensity:

The plan proposes a range of 14-21 residential units. The Applicant is requesting a default zone of R-5, which has a minimum density of 3 units per acre and maximum density of 5 units per acre. Further, section 21.03.040(f)(2)(ii) of the Zoning and Development Code allows for the inclusion of adjacent right-of-way for purposes of calculating density on parcels smaller than five acres. Therefore, the proposal for 14-21 residential units results in a density range of 4 du/ac to 4.7 du/ac, which is within the range of the default zone requirements.

Section 21.05.040(d) of the Code specifies that mixed use developments in areas designated for residential development in the Comprehensive Plan may have up to 10 percent of the land area dedicated to nonresidential uses. The applicant is proposing that a maximum of 14,670 s.f. (10% of the total land area) be allocated for limited commercial use, to include building footprint and parking, and a maximum floor area of building to not exceed 8,000 s.f. Proposed allowed uses include office, restaurant/coffee shop (no drive thru), food truck, daycare, bike shop/bike rentals, fitness studio, tour services.

Access:

The location of the current driveway access from Monument Road to serve the existing duplex units will also serve future development. Improvements to the access and the need for a turn lane on Monument Road will be determined at the time of Preliminary/Final Plan development. Additional right-of-way along Monument Road has already been obtained to accommodate the future road section, as well as the Monument Road Trail that planned for construction by the City in 2019.

Open Space and Pedestrian Amenities:

The approximately one-acre piece of property on the west side of Monument Road contains the No Thoroughfare Wash drainage. The Applicant is proposing to dedicate that as open space, providing a natural area for the conveyance of the runoff coming through the wash from the cliffs and canyons of the Colorado National Monument.

The Applicant has conveyed additional right-of-way adjacent to the property east of Monument Road to accommodate the Monument Road Trail that will connect downtown Grand Junction to the Lunch Loops/Tabaguache trailhead along Monument Road.

Phasing:

The Applicant is proposing to develop the project in a single phase with the ODP being valid for a period of 5 years from the approval date.

Signage:

Signage for the limited commercial uses shall conform to the standards of the R-O (Residential-Office) zone district.

Long-Term Community Benefit:

The intent and purpose of the PD zone is to provide flexibility not available through strict application and interpretation of the standards established in Section 21.03.040 of the

Zoning and Development Code. The Zoning and Development Code also states that PD (Planned Development) zoning should be used only when long-term community benefits, which may be achieved through high quality planned development, will be derived. Long-term benefits include, but are not limited to:

1. More effective infrastructure;
2. Reduced traffic demands;
3. A greater quality and quantity of public and/or private open space;
4. Other recreational amenities;
5. Needed housing types and/or mix;
6. Innovative designs;
7. Protection and/or preservation of natural resources, habitat areas and natural features; and/or Public art.

In review of the project, City Staff found that two of the seven long-term community benefits, are being met with this proposed development application:

#4 Other recreational amenities. As stated in the Applicant’s General Project Report, the property owner has worked diligently with the City on the Monument Road trail. The City has obtained additional right-of-way along the frontage of this property for the trail. In addition, the property owner worked cooperatively with the City to re-establish a drainage that was key to obtaining right-of-way on adjoining properties. The applicant could have waited to provide the ROW and easements needed for the trail concurrent with the development application, but was willing to work with the City prior to application to meet the City’s deadlines to apply for grant funding. The Monument Road trail, scheduled for construction in 2019, will traverse the frontage of the east parcel, providing a connection from downtown to the Lunch Loops trailhead.

#7 Protection and/or preservation of natural resources, habitat areas and natural features; and/or Public Art. The proposal preserves the No Thoroughfare Wash drainage as a natural area. The Wash provides for drainage and flash flood waters coming off the Colorado National Monument. The area is heavily vegetated and provides habitat for a variety of species.

Default Zone and Deviations:

The Applicant is proposing to utilize the dimensional standards of the R-5 (Residential – 5 du/ac) zone district with cluster provisions. Section 21.03.060 of the Code allows for the reduction of the minimum lot size in an R-5 zone district to 3,000 sq. ft. with a minimum dedication of 20% open space, allowing for the use of the R-8 district bulk standards. Proposed deviations are shown in the following table:

Dimensional Standard	R-5	Cluster	Proposed ODP
Frontyard setback (Principal/Accessory):	20'/25'.	20'/25'	5' *
Sidyard setback (Principal/Accessory):	5'/3'.	5'/3'	5'

Rearyard setback (Principal/Accessory):	25'/5'	10'/5'	5'
Maximum building height:	40'	40'	40'
Maximum Lot Coverage:	60%.	70%	N/A
Minimum Lot Area:	4,000 sq. ft.	3,000 sq.ft.	N/A
Minimum Lot Width:	40'	40'	N/A

*10' setback along Monument Road (parking and outdoor seating areas will be allowed to extend into the setback, but not more than 5')

For maximum flexibility in the design of this site, the Applicant is requesting the following deviations:

1. No minimum lot size or lot width.
2. No maximum lot coverage
3. Reduction of the rear yard setback from 10' to 5'
4. Reduction of the front yard setback from 20' to 5' (10' along Monument Road)

Deviations:

Section 21.05.040 (g) of the Zoning and Development Code allows for the Planning Commission to recommend the City Council deviate from the default district standards subject to the provision of any of the community amenities as identified below. In order for the Planning Commission to recommend and the City Council to approve the deviation, the listed amenities to be provided shall be in excess of what would otherwise be required by the code. These amenities include:

1. *Transportation amenities including, but not limited to, trails other than required by multimodal plan, bike or pedestrian amenities or transit oriented improvements, including school and transit bus shelter;*

The Applicant worked cooperatively with the City prior to project submittal on establishing the alignment and providing the right-of-way for the Monument Road trail. The applicant could have waited to dedicate the needed right-of-way concurrent with the development application, but worked with the City to meet the deadlines for a grant application for the project.

2. *Open space, agricultural land reservation or land dedication of 20% or greater;*

The approximately one-acre piece of property on the west side of Monument Road contains the No Thoroughfare Wash drainage. The Applicant is proposing to dedicate that as open space, providing a natural area for the conveyance of the runoff coming through the wash from the cliffs and canyons of the Colorado National Monument. The proposed open space is approximately 31% of the total acreage. The Cluster provisions

of the Code require a minimum of 20% open space dedication to allow for use of the R-8 district standards. The proposal provides for a greater quantity of public open space than required to utilize the Cluster provisions.

3. Community facilities for provision of public services beyond those required for development within the PD;

The Applicant is not proposing to provide any additional community facilities for the provision of public service.

4. The provision of affordable housing for moderate, low and very low income household pursuant to HUD definitions for no less than 20 years; and

The Applicant is not proposing to provide any affordable housing for moderate, low or very low households consistent with HUD definitions for these households.

5. Other amenities, in excess of minimum standards required by this Code, that the Council specifically finds provide sufficient community benefit to offset the proposed deviation.

The proposed project is a mixed use development that includes residential and limited commercial use to serve the area and trail users, while preserving the natural area on the west side of Monument Road.

IV. NOTIFICATION REQUIREMENTS

Neighborhood Meeting:

A Neighborhood Meeting regarding the proposed Annexation and Zoning was held on December 28, 2017 in accordance with Section 21.02.080 (e) of the Zoning and Development Code. The Applicant's representative and City staff were in attendance along with 9 citizens. Comments and concerns expressed by the attendees centered on the proposed limited commercial component, increased traffic on Monument Road, drainage and flooding concerns. The application for annexation and zoning was submitted on June 25, 2018.

Notice was completed consistent to the provisions in Section 21.02.080 (g) of the City's Zoning and Development Code. The subject property was posted with an application sign on July 24, 2018. Mailed notice of the public hearings before Planning Commission and City Council in the form of notification cards was sent to surrounding property owners within 500 feet of the subject property on October 24, 2018. The notice of this public hearing was published November 6, 2018 in the Grand Junction Daily Sentinel.

V. ANALYSIS

Pursuant to Section 21.02.150 (b) of the Grand Junction Zoning and Development Code, requests for an Outline Development Plan (ODP) shall demonstrate conformance with all of the following:

- a) The Comprehensive Plan, Grand Valley Circulation Plan and other adopted plans and policies;

The property has a Future Land Use designation of Residential Low, which is described as single-family detached residences with typically 0.5 to 2 units per acre and a Blended Land Use designation of Residential Low that allows for densities up to 5 units per acre. In addition, the Future Land Use designation of the adjacent properties to the north and east is Residential Medium, which allows for a mix of residential development types with gross densities of 4 to 8 units per acre. Section 21.02.130(d)(1)(v) of the Zoning and Development Code allows for the processing of a rezone application or request without a plan amendment when the proposed zoning is in consistent with the Comprehensive Plan and the property is adjacent to the land use designation that would support the requested zone district. The requested default zone district of R-5 is consistent with the Blended Map and the adjacent Future Land Use designation of Residential Medium; therefore, a Comprehensive Plan amendment is not required.

Further, the Outline Development Plan request is consistent with the following goals and/or policies of the Comprehensive Plan by providing a mixed use development conveniently located to services, the preservation of the No Thoroughfare Wash natural area and access for the Monument Road trail that will connect downtown to the Lunch Loops recreation area.

Goal 3: The Comprehensive Plan will create ordered and balanced growth and spread future growth throughout the community.

Policy B: Create opportunities to reduce the amount of trips generated for shopping and commuting and decrease vehicle miles traveled thus increasing air quality.

Goal 5: To provide a broader mix of housing types in the community to meet the needs of a variety of incomes, family types and life stages.

Policy B: Encourage mixed-use development and identification of locations for increased density.

Policy C: Increasing the capacity of housing developers to meet housing demand.

Goal 9: Develop a well-balanced transportation system that supports automobile, local transit, pedestrian, bicycle, air and freight movement while protecting air, water and natural resources.

Policy D: A trails master plan will identify trail corridors linking neighborhoods with the Colorado River, Downtown, Village Centers and Neighborhood Centers and other desired public attractions.

Goal 10: Develop a system of regional, neighborhood and community parks protecting open space corridors for recreation, transportation and environmental purposes.

Policy B: Preserve areas of scenic and/or natural beauty and, where possible, include these areas in a permanent open space system.

As proposed, the application is in conformance with the Grand Junction Circulation Plan and other applicable adopted plans and policies.

- b) Section 21.02.160(f) of the Zoning and Development Code states that “land annexed to the City shall be zoned in accordance with Section 21.02.140 to a district that is consistent with the adopted Comprehensive Plan and the criteria set forth. Generally, future development should be at a density equal to or greater than the allowed density of the applicable County zoning district. The rezoning criteria provided in Section 21.02.140 (a) of the Grand Junction Zoning and Development Code follows.

- (1) Subsequent events have invalidated the original premises and findings; and/or

The property currently has a Mesa County zoning of RSF-4 and must be zoned with the annexation. The proposed PD zoning with a default zone of R-5 is consistent with the Comprehensive Plan and with the zoning of the properties to the north. Therefore, Staff has found this criterion has been met.

- (2) The character and/or condition of the area has changed such that the amendment is consistent with the Plan; and/or

The character and/or condition of the area has not changed in recent years because the adjacent residential subdivisions have been existing for many years. The subject property is underutilized in terms of the residential development potential anticipated by the Comprehensive Plan designation of Residential Low on the Blended Map that would allow for densities up to 5 units per acre. The requested ODP and rezone to PD with a R-5 default zone furthers the goals and policies of the Comprehensive Plan by providing for density in the mid-range of the adjoining Residential Medium (4 – 8 du/ac) land use classification. Because there has been no apparent change of character and/or condition, Staff finds that this criterion has not been met.

(3) Public and community facilities are adequate to serve the type and scope of land use proposed; and/or

Existing public and community facilities and services are available to the property and are sufficient to serve the residential and limited commercial land uses allowed in the PD zone district. Ute Water is available to the property from both Monument Road and S Redlands Road. Sanitary sewer is available at the intersection of Monument Road and S Redlands Road, approximately 580 feet south of the property and will be extended for the proposed future development. The property can also be served by Xcel Energy electric and natural gas. The property is in close proximity to the Neighborhood Center at Monument Road and Highway 340/Broadway, which provides a number of commercial services.

Grand Junction Fire Department finds the public and community facilities regarding fire and emergency medical services are adequate to serve the type and scope of the residential and limited commercial land use proposed. Primary response is from Fire Station 1 at 620 Pitkin Avenue and secondary response from Fire Station 5 at 2155 Broadway. Response time from Fire Station 1 is within National Fire Protection Association guidelines.

Grand Junction Police Department estimates this development will increase at a 'normal' rate as estimated by utilizing calls values from nearby residential areas similar in size and location. GJPD expects additional requests for service for this location will be minimal and does not anticipate a need for increased personnel or equipment to provide services to the proposed development.

The public and community facilities are adequate to serve the type and scope of the residential and limited commercial land use proposed, therefore, staff finds this criterion has been met.

(4) An inadequate supply of suitably designated land is available in the community, as defined by the presiding body, to accommodate the proposed land use; and/or

The Frog Pond property is an under-developed parcel of land that would be considered an infill development project. The Applicant is requesting to develop the property as a Planned Development (PD) to allow for design flexibility and additional long-term community benefits. Because PD is a zone category based on specific design and is applied on a case-by-case basis, staff finds this criterion is not applicable to this request, and, therefore has not been met.

(5) The community or area, as defined by the presiding body, will derive benefits from the proposed amendment.

The community will benefit from this infill development. The proposed density is within the allowable range of the Residential Low Blended Map category, as well as the Residential Medium Land Use designation of the adjacent properties.

As discussed in the section titled Long-Term Community Benefit, the area will also derive benefits from the zoning of PD (Planned Development) by the proposed development by the dedication and preservation of the No Thoroughfare Wash area as open space for the conveyance of drainage and flash floods and as a natural area for habitat for a variety of species

Staff, therefore finds this criterion has been met.

- c) The planned development requirements of Section 21.05 of the Zoning and Development Code;

Section 21.05.040(d) of the Code specifies that mixed use developments in areas designated for residential development in the Comprehensive Plan may have up to 10 percent of the land area dedicated to nonresidential uses. The applicant is proposing that a maximum of 14,670 s.f. (10% of the total land area) be allocated for limited commercial use, to include building footprint and parking, and a maximum floor area of building to not exceed 8,000 s.f. Proposed allowed uses include office, restaurant/coffee shop (no drive thru), food truck, daycare, bike shop/bike rentals, fitness studio, tour services.

As per Section 21.05.040(f), Development Standards, exceptions may be allowed for setbacks in accordance with this section.

(1) Setback Standards. (i) Principal structure setbacks shall not be less than the minimum setbacks for the default zone unless the applicant can demonstrate that buildings can be safely designed and that the design is compatible with the lesser setbacks, (ii) reduced setbacks are offset by increased screening or primary recreation facilities in private or common open space, (iii) reduction of setbacks is required for protection of steep hillsides, wetlands or other environmentally sensitive natural areas.

For maximum flexibility in the design of this site, the Applicant is requesting a reduction in the rear yard setback from 10' to 5' and a reduction in the front yard setback from 20' to 10'. A 5' rear yard setback will still provide for a minimum building separation of 10' and does not impact any of the adjacent properties due to topography. The requested reduction of the front yard setback to 10' allows for more flexibility for the internal design of the property and can be safely designed to be compatible with this lesser setback and will still provide for sufficient setback from the Monument Road right-of-way, which will contain the 10' wide, detached Monument Road trail section.

(2) Open Space. All residential planned developments shall comply with the minimum open space standards established in the open space requirements of the default zone.

The approximately one-acre piece of property on the west side of Monument Road contains the No Thoroughfare Wash drainage. The Applicant is proposing to dedicate that as open space, providing a natural area for the conveyance of the runoff coming through the wash from the cliffs and canyons of the Colorado National Monument. The proposed open space is approximately 31% of the total acreage.

(3) Fencing/Screening. Fencing shall comply with GJMC 21.04.040(i).

Fencing and/or screening will be determined with the final design and will comply with Section 21.04.040(i) of the Code.

(4) Landscaping. Landscaping shall meet or exceed the requirements of GJMC 21.06.040.

Landscaping will meet or exceed the requirements of the Code. Section 21.06.040(d) requires 14' wide street frontage landscape adjacent to the public right-of-way, except where detached walks are provided it can be 5'. The proposed Monument Road trails will be detached along this section.

(5) Parking. Off-street parking shall be provided in accordance with GJMC 21.06.050.

Parking will be provided in accordance with the Code.

(6) Street Development Standards. Streets, alleys and easements shall be designed and constructed in accordance with TEDS (GJMC Title 29) and applicable portions of GJMC 21.06.060.

The development will have a single access point onto Monument Road that is in the general location of the existing driveway and will meet all City standards.

d) The applicable corridor guidelines and other overlay districts (Section 21.02.150(b)(2)(iv)).

There are no corridor guidelines or overlay district that are applicable for this development.

e) Adequate public services and facilities shall be provided concurrent with the projected impacts of the development (Section 21.02.150(b)(2)(v)).

Existing public and community facilities and services are available to the property and are sufficient to serve the residential and limited commercial land uses allowed in the PD zone district. Ute Water is available to the property from both Monument Road and S Redlands Road. Sanitary sewer is available at the intersection of Monument Road and S Redlands Road, approximately 580 feet south of the property and will be extended for the proposed future development. The property can also be served by Xcel Energy electric and natural gas.

- f) Adequate circulation and access shall be provided to serve all development pods/areas to be developed (Section 21.02.150(b)(2)(vi)).

The proposed project will have a single access onto Monument Road meeting all City standards. Internal circulation of the site will be determined with preliminary and final plans.

- g) Appropriate screening and buffering of adjacent property and uses shall be provided (Section 21.02.150(b)(2)(vii)).

The property on the east side of Monument Road proposed for development is isolated from surrounding properties by topography. The adjacent properties to the north and south extend from Monument Road to S Redlands Road with single family homes built on the upper portions of the properties along S Redlands Road. Adjacent properties are sufficiently screened and buffered from the development due to the topography.

- h) An appropriate range of density for the entire property or for each development pod/area to be developed (Section 21.02.150(b)(2)(viii)).

The plan proposes a range of 14-21 residential units. The Applicant is requesting a default zone of R-5, which has a minimum density of 3 units per acre and maximum density of 5 units per acre. Further, section 21.03.040(f)(2)(ii) of the Zoning and Development Code allows for the inclusion of adjacent right-of-way for purposes of calculating density on parcels smaller than five acres. Therefore, the proposal for 14-21 residential units results in a density range of 4 du/ac to 4.7 du/ac, which is within the range of the default zone requirements.

- i) An appropriate set of "default" or minimum standards for the entire property or for each development pod/area to be developed.

The Applicant is proposing to utilize the dimensional standards of the R-5 (Residential – 5 du/ac) zone district with cluster provisions. Section 21.03.060 of the Code allows for the reduction of the minimum lot size in an R-5 zone district to 3,000 sq. ft. with a minimum dedication of 20% open space, allowing for the use of the R-8 district bulk standards. The proposed project includes approximately 31% of the land dedicated as open space.

For maximum flexibility in the design of this challenging site, the Applicant is requesting the following deviations:

1. No minimum lot size or lot width.
2. No maximum lot coverage
3. Reduction of the rear yard setback from 10' to 5'
4. Reduction of the front yard setback from 20' to 5' (10' from Monument Road for buildings and 5' for parking and outdoor seating)

The standards proposed for the limited commercial use of the site are as follows:

1. hours of operation from 6 a.m. to 10:30 p.m.
2. Sign standards of the R-O zone district
3. Maximum acreage of limited commercial area use of 14,670.16 s.f.(10% of total land area) to include building footprint and parking
4. Maximum floor area of limited commercial building not to exceed 8,000 s.f.

Staff has found the standards as proposed are appropriate for the development.

- j) An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed (Section 21.02.150(b)(2)(x)).

The Applicant is proposing to develop the subdivision in a single phase with final approval to be 5 years from approval of the ODP. Staff find this development schedule to be appropriate for the proposed development.

In accordance with Section 21.05.040 (e) of the Zoning and Development Code, a minimum of five acres is recommended for a Planned Development unless the Planning Commission recommends and the City Council finds that a smaller site is appropriate for the development as a Planned Development. In approving a Planned Development smaller than five acres, the Planning Commission and City Council shall find that the proposed development:

1. Is adequately buffered from adjacent residential property;

The property proposed for development is isolated from surrounding properties by topography. The adjacent properties to the north and south extend from Monument Road to S, Redlands Road with single family homes built on the upper portions of the properties along S Redlands Road. Adjacent properties are sufficiently screened and buffered from the development due to the topography.

2. Mitigates adverse impacts on adjacent properties; and

As stated above, the isolation of the property due to location and topography results in no adverse impacts to adjacent properties.

3. Is consistent with the goals and policies of the Comprehensive Plan.

The property has a Future Land Use designation of Residential Low, which is described as single-family detached residences with typically 0.5 to 2 units per acre and a Blended Land Use designation of Residential Low that allows for densities up to 5 units per acre. In addition, the Future Land Use designation of the adjacent properties to the north and east is Residential Medium, which allows for a mix of residential development types with gross densities of 4 to 8 units per acre. Section 21.02.130(d)(1)(v) of the Zoning and Development Code allows for the processing of a rezone application or request without a plan amendment when the proposed zoning is in consistent with the Comprehensive Plan and the property is adjacent to the land use designation that would support the requested zone district. The requested default zone district of R-5 is consistent with the Blended Map and the adjacent Future Land Use designation of Residential Medium; therefore, a Comprehensive Plan amendment is not required.

Further, the Outline Development Plan request is consistent with the following goals and/or policies of the Comprehensive Plan by providing a mixed use development conveniently located to services, the preservation of the No Thoroughfare Wash natural area and access for the Monument Road trail that will connect downtown to the Lunch Loops recreation area.

Goal 3: The Comprehensive Plan will create ordered and balanced growth and spread future growth throughout the community.

Policy B: Create opportunities to reduce the amount of trips generated for shopping and commuting and decrease vehicle miles traveled thus increasing air quality.

Goal 5: To provide a broader mix of housing types in the community to meet the needs of a variety of incomes, family types and life stages.

Policy B: Encourage mixed-use development and identification of locations for increased density.

Policy C: Increasing the capacity of housing developers to meet housing demand.

Goal 9: Develop a well-balanced transportation system that supports automobile, local transit, pedestrian, bicycle, air and freight movement while protecting air, water and natural resources.

Policy D: A trails master plan will identify trail corridors linking neighborhoods with the Colorado River, Downtown, Village Centers and Neighborhood Centers and other desired public attractions.

Goal 10: Develop a system of regional, neighborhood and community parks protecting open space corridors for recreation, transportation and environmental purposes.

Policy B: Preserve areas of scenic and/or natural beauty and, where possible, include these areas in a permanent open space system.

As proposed, the application is in conformance with the Grand Junction Circulation Plan and other applicable adopted plans and policies.

V. STAFF RECOMMENDATION AND FINDINGS OF FACT

After reviewing the application for a zone of annexation to PD with an R-5 and CSR default zone district and an Outline Development Plan for the proposed Frog Pond, PLD-2018-350, the following findings of fact have been made:

1. The Planned Development is in accordance with all criteria in Section 21.02.150 (b) (2) of the Grand Junction Zoning and Development Code.
2. Pursuant to Section 21.05.010, the Planned Development has been found to have long term community benefits including:
 - a. Other recreational amenities;
 - b. Protection and/or preservation of natural resources, habitat areas and natural features; and/or Public art.
3. Pursuant to 21.05.040(e), it has been found that a smaller site (3.23 acres) is appropriate for the development as a Planned Development.
4. Pursuant to 21.05.040(g) Deviation from Development Default Standards, it has been found to provide amenities in excess in what would otherwise be required by the code.
5. Pursuant to 21.05.040(f) Development Standards exceptions to setbacks; buildings can be safely designed to be compatible with lesser setbacks.
6. The Planned Development is consistent with the vision, goals and policies of the Comprehensive Plan.

Therefore, Staff recommends approval of the request for a Planned Development zone district and Outline Development Plan (ODP) for Frog Pond.

VI. RECOMMENDED MOTION

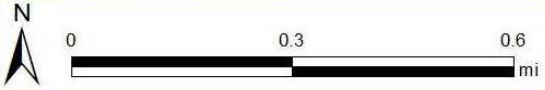
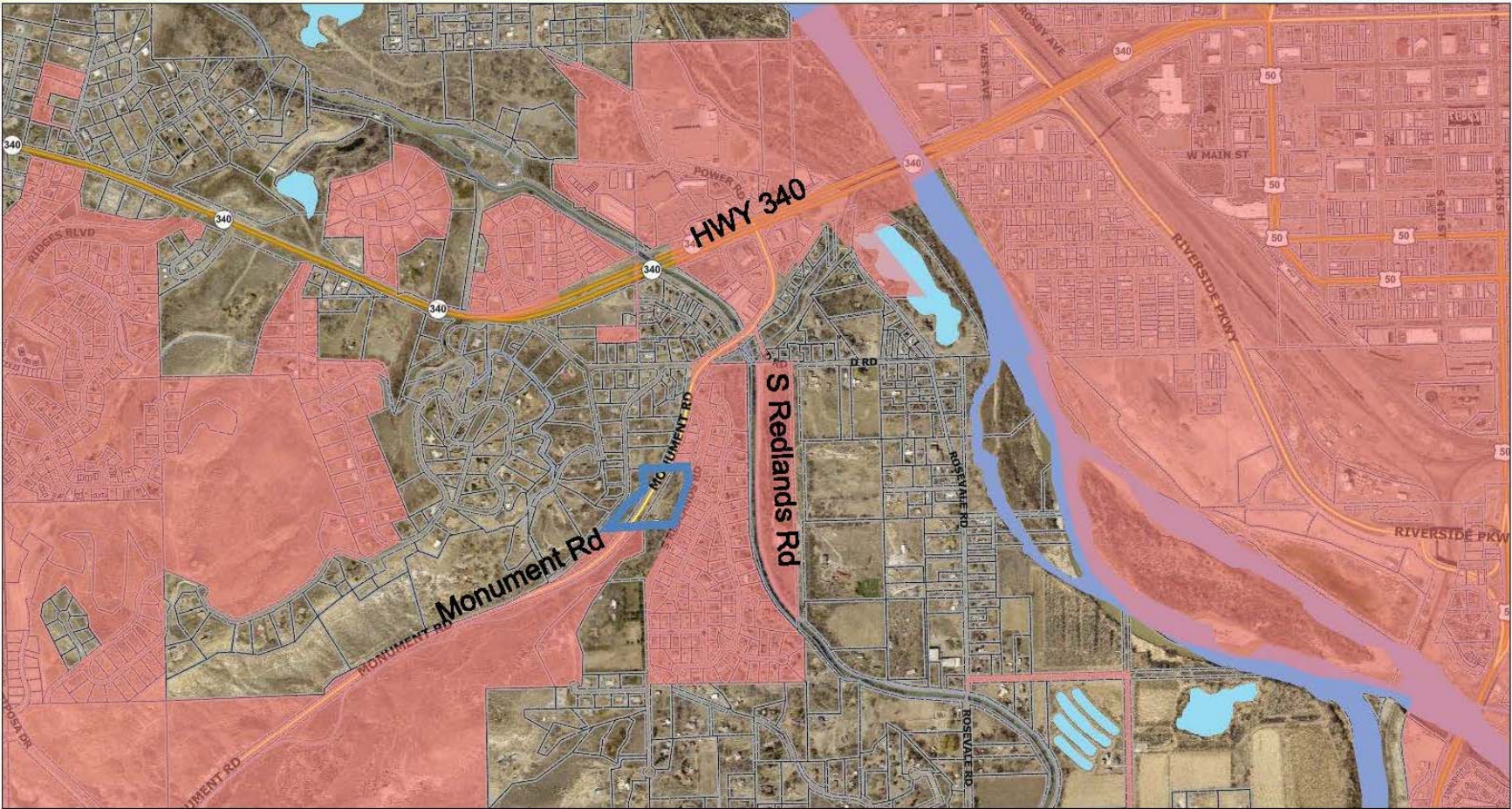
Madam Chairman, on the Zone of Annexation to Planned Development (PD) with an R-5 (Residential – 5 du/ac) default zone district and an Outline Development Plan for a mixed use development, file number PLD-2018-350, I move that the Planning

Commission forward a recommendation of approval to City with the findings of fact listed in the staff report.

Attachments:

1. Site Location Map
2. Aerial Photo Map
3. Comprehensive Plan Future Land Use Map
4. Existing Zoning Map
5. Site Photos
6. Annexation Plat
7. Outline Development Plan

Expanded City Limits Location Map

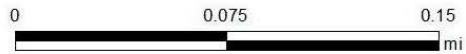


Date: 8/22/2018

1 inch = 752 feet



Frog Pond Annexation

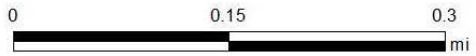
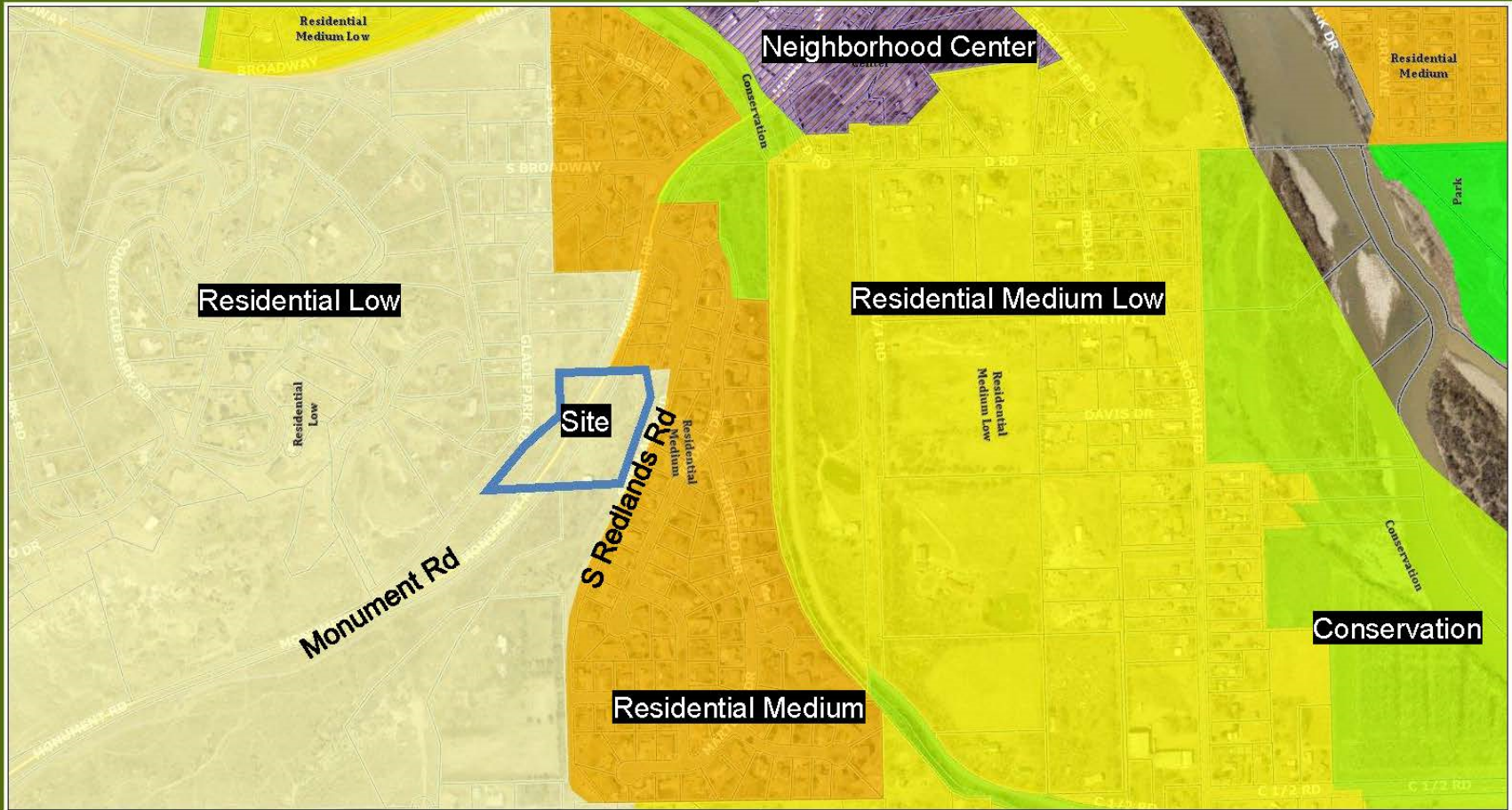


Date: 8/22/2018

1 inch = 188 feet



Frog Pond Annexation Future Land Use

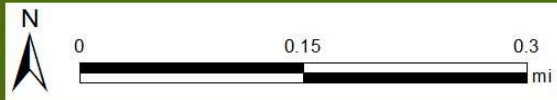


Date: 8/22/2018

1 inch = 376 feet



City of Grand Junction



Date: 10/25/2018

1 inch = 376 feet



Frog Pond Annexation Zoning



Date: 8/22/2018

1 inch = 376 feet





View of east parcel from Monument Road with existing duplex buildings



View of east parcel from Monument Road at driveway access



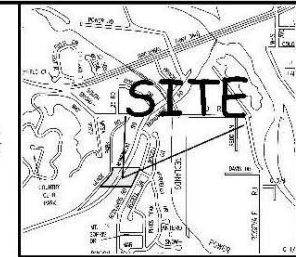
View of west parcel from Monument Road looking south



View of east and west parcels along Monument Road looking north

FROG POND ANNEXATION

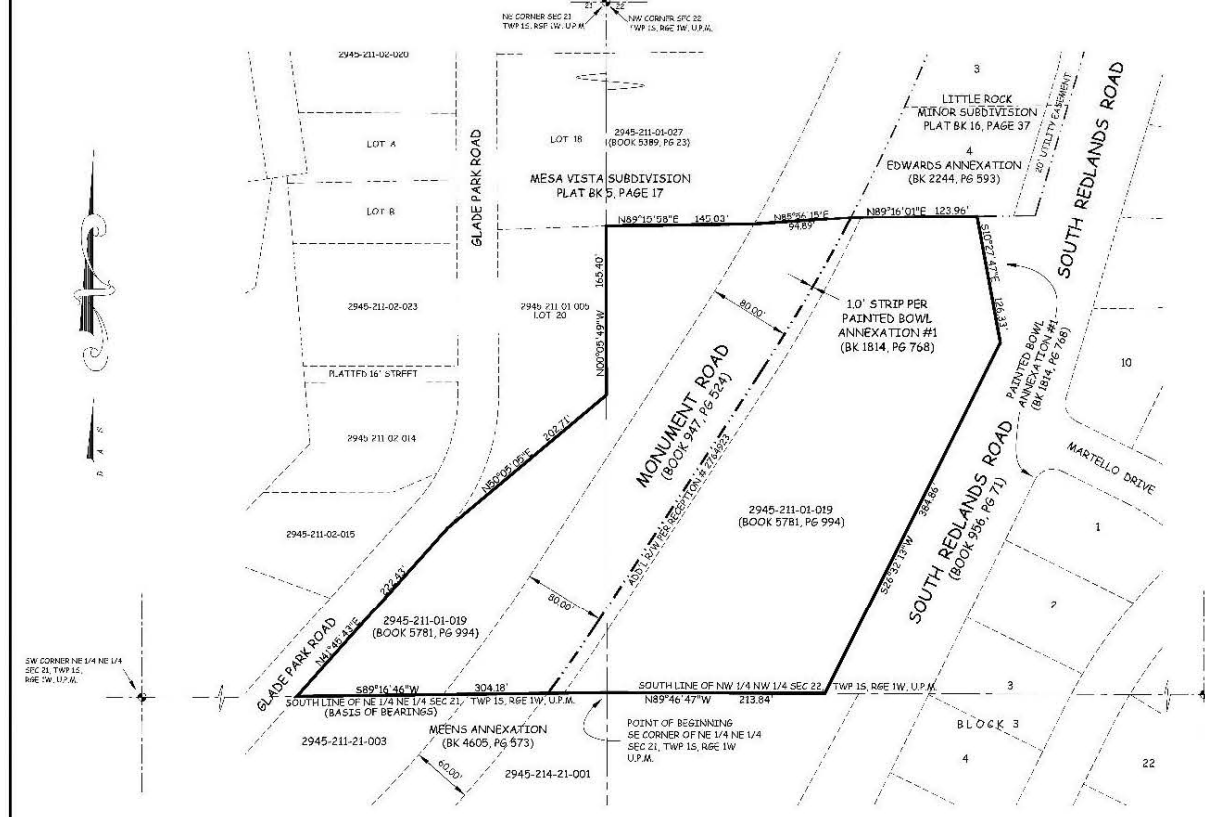
SITUATE IN THE NE 1/4 OF SECTION 21 AND THE NW 1/4 OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 1 WEST
UTE PRINCIPAL MERIDIAN
COUNTY OF MESA, STATE OF COLORADO



DESCRIPTION

A certain parcel of land lying in the Northeast Quarter of the Northeast Quarter (NE 1/4 NE 1/4) of Section 21, Township 1 South, Range 1 West of the Ute Principal Meridian and the Northwest Quarter of the Northwest Quarter (NW 1/4 NW 1/4) of Section 22, Township 1 South, Range 1 West of the Ute Principal Meridian and being more particularly described as follows:

BEGINNING at the Southeast corner of the NE 1/4 NE 1/4 of said Section 21 and assuming the South line of the NE 1/4 NE 1/4 of said Section 21 bears S 89°16'46" W with all other bearings contained herein being relative thereto; thence from said Point of Beginning, S 89°16'46" W along the South line of the NE 1/4 NE 1/4 of said Section 21, a distance of 304.18 feet, more or less, to a point on the East right of way for Glade Park Road, as same is described on the plat of Mesa Vista Subdivision, as same is recorded in Plat Book 5, Page 17, Public Records of Mesa County, Colorado; thence N 4°45'43" E, along said East right of way, a distance of 222.43 feet, more or less; to a point being the Southwest corner of Lot 20 of said Mesa Vista Subdivision; thence N 50°05'09" E, along the South line of said Lot 20, a distance of 202.71 feet to a point being the Southeast corner of said Lot 20 and lying on the East line of the NE 1/4 NE 1/4 of said Section 21; thence N 00°05'49" W, along said East line, a distance of 165.40 feet, more or less, to a point being the Northeast corner of said Lot 20; thence N 89°16'58" E, along the South line of that certain property described in Book 5389, Page 23 and the North line of that certain parcel of land described in Book 5781, Page 994, all in the Public Records of Mesa County, Colorado, a distance of 145.03 feet to a point on the West right of way for Monument Road, as same is described in Book 947, Page 524, Public Records of Mesa County, Colorado; thence N 89°16'01" E, thru the right of way for said Monument Road, a distance of 94.89 feet, more or less, to a point being the Southwest corner of Lot 4, Little Rock Minor Subdivision, as same is recorded in Plat Book 16, Page 37, Public Records of Mesa County, Colorado; thence N 89°16'01" E, along the South line of said Lot 4, a distance of 123.90 feet, more or less, to a point on the West right of way for South Redlands Road, as same is described in Book 996, Page 71, Public Records of Mesa County, Colorado; thence S 10°27'47" E, along said West right of way, a distance of 126.33 feet; thence S 26°32'13" W, along said West right of way, a distance of 384.86 feet, more or less, to a point on the South line of the NW 1/4 NW 1/4 of said Section 22; thence N 89°46'47" W, along said South line, a distance of 213.84 feet, more or less, to the Point of Beginning.



SW CORNER NE 1/4 NE 1/4 SEC 21, TWP 1S, R1E 1W, U.P.M.

SE CORNER NW 1/4 NW 1/4 SEC 22, TWP 1S, R1E 1W, U.P.M.

AREA OF ANNEXATION
 ANGLE OF 90 DEGREES
 DISTANCE OF 1.00 FEET
 AREA OF 1.00 SQ. FT.
 PERCENTAGE INCLUDED 0.00%

LEGEND

--- UNDEVELOPED LAND
 --- EXISTING ROAD
 --- EXISTING UTILITY
 --- EXISTING FENCE
 --- EXISTING EASEMENT



ORDINANCE NO. 0000

EFFECTIVE DATE 0000

THIS IS NOT A BOUNDARY SURVEY

This sketch and description contained herein have been prepared from subdivision maps and deed descriptions as they appear in the office of the Mesa County Clerk and Recorder. They are not intended to constitute a legal survey, and are not intended to be used as a means for establishing or restoring property boundaries.



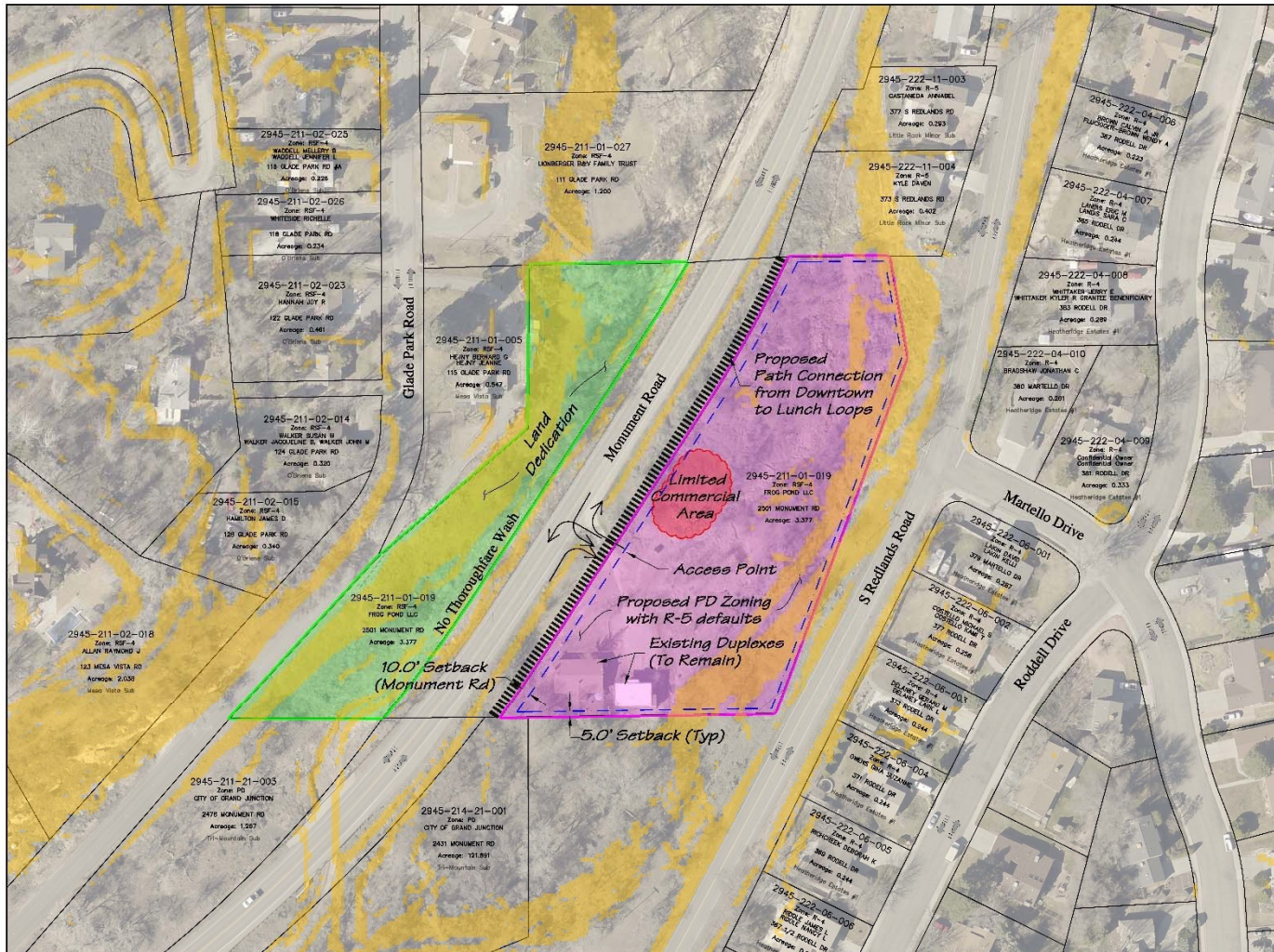
DESIGNED BY: P.T.K. DATE: 07-23-2008
 CHECKED BY: P.T.K. DATE: _____
 APPROVED BY: _____ DATE: _____

SCALE: 1" = 40'
 LEGAL UNITS USED HEREIN - U.S. SURVEY FOOT AS ESTABLISHED



PUBLIC WORKS ENGINEERING DIVISION SURVEY DEPARTMENT

FROG POND ANNEXATION



Parcel 2945-211-01-019 Frog Pond LLC (Sd Pd)

East Lot:	100,830.02	68.7%
West Lot:	45,870.85	31.3%
Total Lot Acreage:	146,701.87	100.0%

Proposed Land Use (Sd Pd)

Limited Commercial Use Max Acreage:	4,970.16	3.4%
Open Space:	45,870.85	31.3%

*Area to include building footprint & parking spaces

- LEGEND**
- Zone PD with R-5 Default Zone (Density - See Note 6)**
 - Business Residential
 - Single Family (Attached & Detached)
 - In-plex/Low Family
 - Multi-family
 - C-vc
 - Home Occupation
 - Limited Commercial
 - Short Term Rentals
 - Land Dedication (21.2% of total lot acreage)**
 - Wetlands Protection
 - Drainage Maintenance
 - Wildlife Corridor
 - Limited Commercial Lines (Allowed) (Up to 10% of land area)**
 - Office
 - Restaurant/Coffee Shop (no drive thru)
 - Food Truck
 - Daycare
 - Bike Shop / Bike Rentals
 - Fitness Studio
 - Car Services
 - Limited Commercial Lines (Restricted)**
 - Drive-Thru
 - Gas Station
 - Liquor Store
 - Automotive Repair / Service
- Spacing > 30M
 Proposed Trail
 Perimeter Setback
 Property Lines
 Traffic Flow Direction
 Traffic Movement

Proposed Zone Dimensional Standards

Default Zoning District	Min Lot Area (sq ft)	Min Lot Size (ft)	Minimum Setback*	Max Lot Coverage	Max Height
R-5	N/A	V/A	5	5	5
R-5	N/A	V/A	5	5	5

*10' setback along Monument Road (backing one outdoor seating areas will be allowed to extend 7' to the setback, but no more than 5')

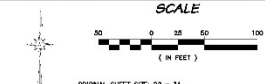
- General Notes**
- The Applicant is requesting a rezone of the property from R5-E to a zoning of PD Planned Development with the underlying zoning of R-5 (Residential S).
 - All development plans will require approval by the City of Grand Junction Community Development Department. All development plans will need to conform to the proposed zone dimensional standards.
 - The Applicant is requesting the following deviations from the underlying R-5 zoning:
 - No minimum lot size.
 - No minimum lot width.
 - 5' Front, Rear, and Side setbacks.
 - Allowance of 10% limited commercial use.
 - Modify or escape buffer requirement to a minimum 5' strip.
 - Home or limited commercial operation from 8 a.m. to 10:00 a.m.
 - Sign standards of the R-5 zone would apply to limited commercial.
 - Limited commercial floor area no. to exceed 8,000 sq. ft.
 - Remove Maximum lot coverage requirement.
 - The site is located in Zone X on FEMA map pane 08077C08-0F.
 - Wetlands will be delineated prior to final planning.
 - Density allows for a range of 14-21 residential units.

ACCEPTANCE BLOCK

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 222 HO HO 7th Street
 PM 576-28-2716 EK 978-611-2763
 www.frogpondllc.com

Clayton, Roberts & Associates, Inc.
 LEAD PLANNING AND LANDSCAPE ARCHITECTURE
 1000 S. GRAND AVENUE, SUITE 100
 GRAND JUNCTION, CO 81505
 www.cra-inc.com



NO.	DATE	DESCRIPTION	BY

RIVER CITY ENGINEERING, INC.
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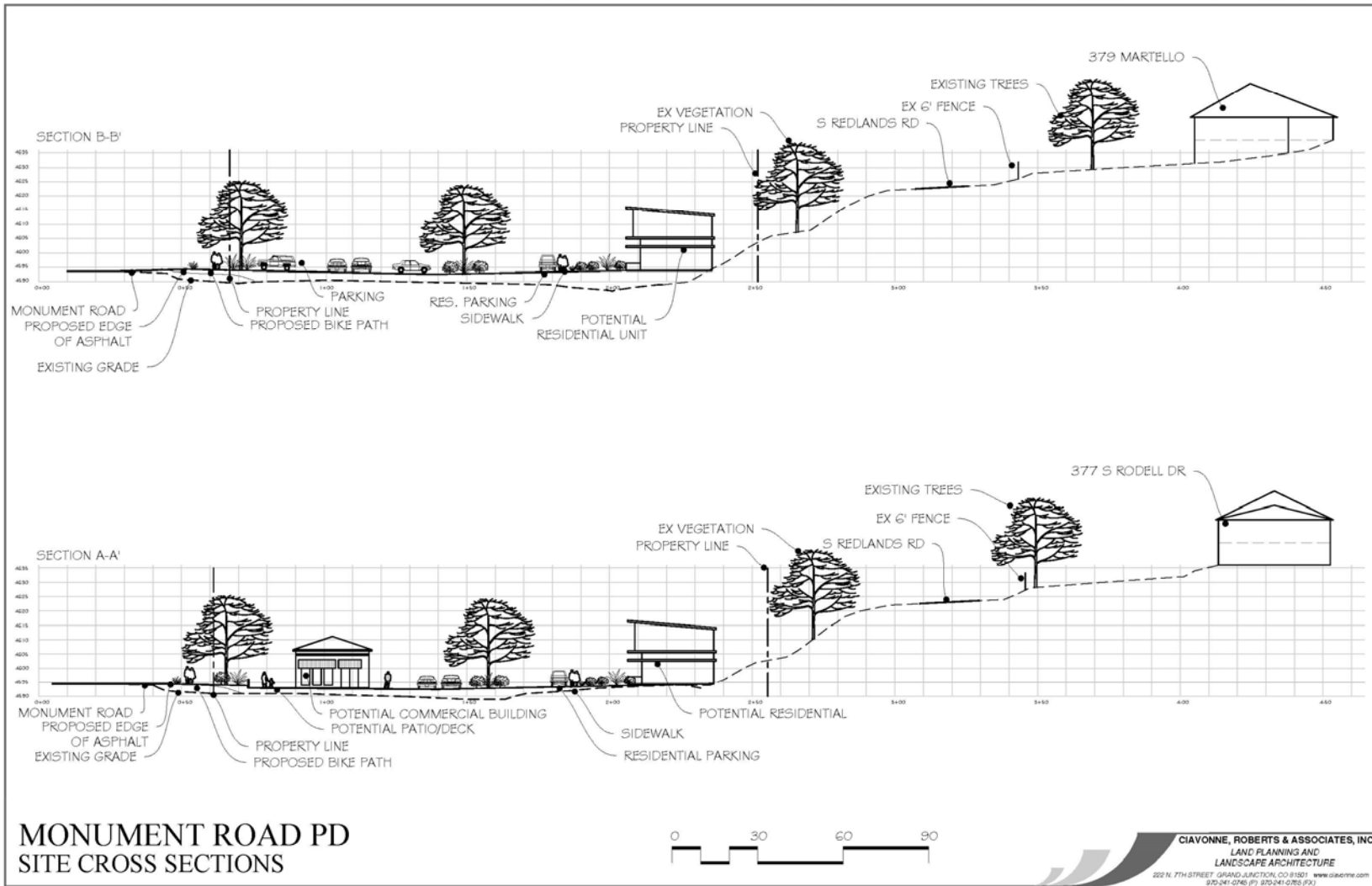
PROJECT # 1452-031 DATE ISSUED 26/04/2018
 DRAWN BY: [Name] HORSE: [Name]
 CHECKED BY: [Name] VEVE: [Name]

Frog Pond LLC

2501 Monument Road

ODP Map

ODP 1



CITY OF GRAND JUNCTION, COLORADO

ORDINANCE NO. _____

**AN ORDINANCE ZONING THE FROG POND ANNEXATION TO PLANNED DEVELOPMENT (PD)
WITH R-5 (RESIDENTIAL, 5 DU/AC) AND CSR (COMMUNITY SERVICES AND RECREATION)
DEFAULT ZONE DISTRICTS**

LOCATED AT 2501 MONUMENT ROAD

Recitals

The Applicant, Frog Pond LLC, is requesting a zone of annexation to Planned Development (PD) with R-5 (Residential, 5 du/ac) and CSR (Community Services and Recreation) default zone districts, as well as the approval of an Outline Development Plan (ODP) for the Frog Pond development. The approximately 3.5 acre parcel is bisected by Monument Road, with 2.5 acres on the east side and 1 acre on the west side. The proposed plan includes mixed use development of the east parcel, including residential and limited commercial, and preservation of the west parcel as open space along No Thoroughfare Wash. The Outline Development Plan establishes specific performance standards that the development will be required to meet and conform with, as authorized by Section 21.02.150 (b) of the Zoning and Development Code. The project is located at 2501 Monument Road.

The City Council finds, after a public hearing and review of the proposed Zone of Annexation to Planned Development (PD) and Outline Development Plan (ODP), determined that it satisfies the applicable criteria of the Code and is consistent with the purpose and intent of the Comprehensive Plan.

The City Council also finds and determines that the ODP achieves substantial long-term community benefits, as required by the Zoning and Development Code, by providing the following:

1. *Other recreational amenities.* As stated in the Applicant's General Project Report, the property owner has worked diligently with the City on the Monument Road trail. The City has obtained additional right-of-way along the frontage of this property for the trail. In addition, the property owner worked cooperatively with the City to re-establish a drainage that was key to obtaining right-of-way on adjoining properties. The applicant could have waited to provide the ROW and easements needed for the trail concurrent with the development application, but was willing to work with the City prior to application to meet the City's deadlines to apply for grant funding. The Monument Road trail, scheduled for construction in 2019, will traverse the frontage of the east parcel, providing a connection from downtown to the Lunch Loops trailhead.

2. *Protection and/or preservation of natural resources, habitat areas and natural features; and/or Public Art.* The proposal preserves the No Thoroughfare Wash drainage as a natural area. The Wash provides for drainage and flash flood waters coming off the Colorado National Monument. The area is heavily vegetated and provides habitat for a variety of species.

The City Council finds that a PD zone district with default zones of R-5 and CSR and with the deviations and standards established in the ODP, is consistent and conforms with

- 1) the Comprehensive Plan, Grand Junction Circulation Plan and other adopted plans and policies; and
- 2) the rezoning criteria provided in GJMC 21.02.140;
- 3) the planned development requirements of Section 21.05.040(f);
- 4) the applicable corridor guidelines and other overly districts.

The City Council also finds that such PD zoning provides the following:

- 5) public services and facilities that are adequate for and concurrent with the projected impacts of the development;
- 6) circulation and access adequate to serve all development pods/areas to be developed;
- 7) appropriate screening and buffering of adjacent property;
- 8) an appropriate range for density for the entire property or for each pod/area to be developed;
- 9) an appropriate set of "default" or minimum standards for the entire property or for each development pod/area to be developed;
- 10) an appropriate phasing or development schedule for the entire property or for each development pod/area to be developed; and
- 11) long term community benefits.

Section 21.05.040 (g) of the Code allows for deviations from the default district standards as long as community amenities are provided that are in excess of what would otherwise be required by the code. **The City Council finds that the deviations from the standards of the default zones established by this ordinance are supported by the provision of the following amenities:**

1. Transportation amenities including, but not limited to, trails other than required by multimodal plan, bike or pedestrian amenities or transit oriented improvements, including school and transit bus shelter;

The Applicant worked cooperatively with the City prior to project submittal on establishing the alignment and providing the right-of-way for the Monument Road trail.

2. Open space, agricultural land reservation or land dedication of 20% or greater;

The approximately one-acre piece of property on the west side of Monument Road contains the No Thoroughfare Wash drainage. The Applicant is proposing to dedicate that as open space, providing a natural area for the conveyance of the runoff coming through the wash from the cliffs and canyons of the Colorado National Monument. The proposed open space is approximately 31% of the total acreage.

3. *Other amenities, in excess of minimum standards required by this Code, that the Council specifically finds provide sufficient community benefit to offset the proposed deviation.*

The proposed project is a mixed use development that includes residential and limited commercial use to serve the area and trail users, while preserving the natural area on the west side of Monument Road.

After public notice and public hearing as required by the Grand Junction Zoning & Development Code, the Planning Commission reviewed the request for the proposed Zone of Annexation to Planned Development (PD) and Outline Development Plan (ODP) and determined that it satisfies the applicable criteria of the Zoning and Development Code, is consistent with the purposes, intent, goals and policies of the Comprehensive Plan, and is generally compatible with land uses located in the surrounding area, and recommended approval.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE OUTLINE DEVELOPMENT PLAN AS A PLANNED DEVELOPMENT FOR FROG POND IS APPROVED WITH THE FOLLOWING STANDARDS AND DEFAULT ZONES:

A. This Ordinance applies to the following described property:

East Parcel

A parcel of land situated in the northeast quarter of the northeast quarter of Section 21 and in the northwest quarter of the northwest quarter of Section 22, Township 1 South, Range 1 West of the Ute Meridian, Mesa County, Colorado lying east of Monument Road and being more particularly described as follows:

Beginning at Mesa County Survey Marker 812 for the north sixteenth corner common to said Sections 21 and 22 whence a #6 rebar with 2 ½" aluminum cap stamped "A.E.S. T1S R1W S16 S15 S21 S22 2002 PLS 24320" for the north corner common to said Sections 21 and 22 bears North 00°07'00" East with all bearings herein relative thereto;

Thence along the south line of the northeast quarter of the northeast quarter of said Section 21 South 89°29'00" West a distance of 58.13 feet to the easterly right of way line of Monument Road as recorded at Reception Number 989557 of the Mesa County records at a point of cusp on a curve concave to the northwest with a radius of 1462.39 feet;

Thence along said right of way 86.42 feet along said curve having a central angle of 3°23'09" and a chord bearing North 35°00'35" East, a distance of 86.41 feet;

Thence continuing along said right of way North 33°19'00" East, a distance of 286.84 feet;

Thence continuing along said right of way 179.96 feet along the arc of a curve to the left, having a radius of 1939.86 feet, a central angle of 5°18'55" and a chord bearing North 30°39'33" East, a distance of 179.89 feet to the south line of Little Rock Minor Subdivision as recorded at Reception Number 1819881 of the Mesa County Records;

Thence along said south line North 89°29'00" East, a distance of 124.76 feet to the westerly right of way of South Redlands Road as recorded at Reception Number 1001479 of the Mesa County records;

Thence along said westerly right of way South 9°58'12" East, a distance of 104.46 feet;

Thence continuing along said right of way South 20°18'48" West, a distance of 384.60 feet to the south line of the northwest quarter of the northwest quarter of said Section 22;

Thence along said line South 89°29'00" West, a distance of 308.12 feet to the Point of Beginning.

Containing 2.47 acres, more or less.

West Parcel

A parcel of land situated in the northeast quarter of the northeast quarter of Section 21 and in the northwest quarter of the northwest quarter of Section 22, Township 1 South, Range 1 West of the Ute Meridian, Mesa County, Colorado lying west of Monument Road and being more particularly described as follows:

Commencing at Mesa County Survey Marker 812 for the north sixteenth corner common to said Sections 21 and 22 whence a #6 rebar with 2 ½" aluminum cap stamped "A.E.S. T1S R1W S16 S15 S21 S22 2002 PLS 24320" for the north corner common to said Sections 21 and 22 bears North 00°07'00" East with all bearings herein relative thereto;

Thence along the south line of the northeast quarter of the northeast quarter of said Section 21 South 89°29'00" West a distance of 160.33 feet to the westerly right of way line of Monument Road as recorded in Book 947 at Page 524 or the Mesa County records;

Thence continuing along the south line of the northeast quarter of the northeast quarter of said Section 21 South 89°29'00" West a distance of 141.53 feet to the easterly right of way of Glade Park Highway as recorded on that plat of Mesa Vista subdivision recorded at Reception Number 258205 of the Mesa County records;

Thence along said right of way North 42°26'00" East, a distance of 220.31 feet to the southwesterly corner of Lot 20 of said Mesa Vista subdivision;

Thence along the southeasterly line of said Lot 20 North 49°25'00" East, a distance of 202.50 feet to the southeast corner of said Lot 20;

Thence along the east line of said Lot 20 North 00°07'00" East, a distance of 165.40 feet to the northeast corner of said Lot 20;

Thence North 89°29'00" East, a distance of 145.04 feet to the westerly right of way line of Monument Road as recorded at Reception Number 989557 of the Mesa County records at a point of cusp on a curve concave to the northwest with a radius of 1859.86 feet;

Thence along said right of way 121.11 feet along the arc of said curve, having a central angle of 3°43'52" and a chord bearing South 31°27'04" West, a distance of 121.09 feet;

Thence continuing along said right of way South 33°19'00" West, a distance of 286.84 feet;

Thence continuing along said right of way 143.53 feet along the arc of a curve to the right, having a radius of 1382.39 feet, a central angle of 5°56'56", and a chord bearing South 36°17'28" West, a distance of 143.46 feet to the Point of Beginning.

Containing 0.99 acres, more or less.

Establishment of Uses:

The proposed ODP preserves the No Thoroughfare Wash drainage, located on the west side of Monument Road, as open space. The proposed uses on the remainder of the property on the east side of Monument Road include residential uses as allowed in the R-5 zoning, including Single Family attached and detached, Duplex/Two Family, Multifamily, Civic and Home Occupation, as well up to 10% of the land area for limited commercial use, including business residence, office, restaurant/coffee shop (with no drive-through), food truck, daycare, bike shop/rentals, fitness studio and tour services. Uses specifically prohibited include drive-through business, gas station, liquor store, automotive repair/service.

Density/Intensity:

The plan proposes a range of 14-21 residential units. The Applicant is requesting a default zone of R-5, which has a minimum density of 3 units per acre and maximum density of 5 units per acre. Further, section 21.03.040(f)(2)(ii) of the Zoning and Development Code allows for the inclusion of adjacent right-of-way for purposes of calculating density on parcels smaller than five acres. Therefore, the proposal for 14-21 residential units results in a density range of 4 du/ac to 4.7 du/ac, which is within the range of the default zone requirements.

Section 21.05.040(d) of the Code specifies that mixed use developments in areas designated for residential development in the Comprehensive Plan may have up to 10 percent of the land area dedicated to nonresidential uses. The applicant is proposing that a maximum of 14,670 s.f. (10% of the total land area) be allocated for limited commercial use, to include building footprint and parking, and a maximum floor area of building to not exceed 8,000 s.f. Proposed allowed uses include office, restaurant/coffee shop (no drive thru), food truck, daycare, bike shop/bike rentals, fitness studio, tour services.

Access:

The location of the current driveway access from Monument Road to serve the existing duplex units will also serve future development. Improvements to the access and the need for a turn lane on Monument Road will be determined at the time of Preliminary/Final Plan development. Additional right-of-way along Monument Road has already been obtained to accommodate the future road section, as well as the Monument Road Trail that will be constructed by the City in 2019.

Open Space and Pedestrian Amenities:

The approximately one-acre piece of property on the west side of Monument Road contains the No Thoroughfare Wash drainage. The Applicant is proposing to dedicate that as open space, providing a natural area for the conveyance of the runoff coming through the wash from the cliffs and canyons of the Colorado National Monument.

The Applicant has conveyed additional right-of-way adjacent to the property east of Monument Road to accommodate the Monument Road Trail that will connect downtown Grand Junction to the Lunch Loops/Tabaguache trailhead along Monument Road.

Phasing:

The Applicant is proposing to develop the project in a single phase with the ODP being valid for a period of 5 years from the approval date of this ordinance.

Default Zones:

The Default Zones shall be CSR (Community Services and Recreation) for the West parcel and R-5 (Residential, 5 du/ac) for the East parcel.

The Applicant is proposing to utilize the dimensional standards of the R-5 (Residential – 5 du/ac) zone district with cluster provisions. Section 21.03.060 of the Code allows for the reduction of the minimum lot size in an R-5 zone district to 3,000 sq. ft. with a minimum dedication of 20% open space, allowing for the use of the R-8 district bulk standards. Proposed deviations are shown in the following table:

Dimensional Standard	R-5	Cluster	Proposed ODP
Frontyard setback (Principal/Accessory):	20'/25'	20'/25'	5' *
Sidyard setback (Principal/Accessory):	5'/3'	5'/3'	5'
Rearyard setback (Principal/Accessory):	25'/5'	10'/5'	5'
Maximum building height:	40'	40'	40'
Maximum Lot Coverage:	60%.	70%	N/A
Minimum Lot Area:	4,000 sq. ft.	3,000 sq.ft.	N/A
Minimum Lot Width:	40'	40'	N/A

*10' setback along Monument Road (parking and outdoor seating areas will be allowed to extend into the setback, but not more than 5')

The standards for the limited commercial use of the site are as follows:

1. Hours of operation from 6 a.m. to 10:30 p.m.
2. Sign standards of the R-O zone district
3. Maximum acreage of limited commercial area use of 14,670.16 s.f. (10% of total land area) to include building footprint and parking
4. Maximum floor area of limited commercial building not to exceed 8,000 s.f.

Landscaping & Fencing:

Landscaping will meet or exceed the requirements of the Code. Section 21.06.040(d) requires 14' wide street frontage landscape adjacent to the public right-of-way, except where detached walks are provided it can be 5'. The proposed Monument Road trails will be detached along this section.

Signage:

Signage for the limited commercial uses shall conform to the standards of the R-O (Residential-Office) zone district.

Should the PD and/or ODP expire, lapse or become invalid for any reason, the Property shall be fully subject to the then-applicable standards of the default zones established for each area of the Property (CSR for the West parcel and R-5 for the East parcel), without the requirement of any further action such as rezoning, by the City.

Introduced for first reading on this 7th day of November, 2018 and ordered published in pamphlet form.

PASSED and ADOPTED this _____ day of _____, 2018 and ordered published in pamphlet form.

ATTEST:

Barbara Traylor Smith
President of City Council

Wanda Winkelmann
City Clerk