

SPR-1998-0416



SIGN CLEARANCE

Community Development Department
250 North 5th Street
Grand Junction, CO 81501
(970) 244-1430

Clearance No. 105233
Date Submitted 3/24/98
FEE \$ 25.00
Tax Schedule 2701-364-00-022/023
Zone H.O.

Barnes Electric #2466

BUSINESS NAME Texas Food Mart CONTRACTOR Western Neon Sign Co.
STREET ADDRESS 745 Horizon Dr. 81506 LICENSE NO. 2980446
PROPERTY OWNER Rocky Mtn C stores ADDRESS 3183 HALL AVE G.I. 81504
OWNER ADDRESS 940 Colorado Ave. G.I. Co. 81501 TELEPHONE NO. ~~523-4045~~ 523-4045

- 1. FLUSH WALL 2 Square Feet per Linear Foot of Building Facade
 - 2. ROOF 2 Square Feet per Linear Foot of Building Facade
 - 3. FREE-STANDING 2 Traffic Lanes - 0.75 Square Feet x Street Frontage
4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage
 - 4. PROJECTING 0.5 Square Feet per each Linear Foot of Building Facade
 - 5. OFF-PREMISE See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet
- Externally Illuminated Internally Illuminated Non-Illuminated

- (1 - 5) Area of Proposed Sign 49.75 Square Feet
- (1,2,4) Building Facade ~~50~~ Linear Feet 503 (canopy = 43) - long side of canopy
- (1 - 4) Street Frontage ~~280~~ Linear Feet 280 East parcel
- (2,4,5) Height to Top of Sign 18 Feet Clearance to Grade 15 Feet
- (5) Distance from all Existing Off-Premise Signs within 600 Feet _____ Feet

Existing Signage/Type: <u>0</u>	
<u>Freestanding (Holiday Inn)</u>	<u>190</u> Sq. Ft.
	Sq. Ft.
	Sq. Ft.
Total Existing:	Sq. Ft.

● FOR OFFICE USE ONLY ●	
Signage Allowed on Parcel:	
Building (<u>Hotel + canopy</u>)	<u>1006</u> Sq. Ft.
Free-Standing	<u>420</u> Sq. Ft.
Total Allowed:	<u>1006</u> Sq. Ft.

COMMENTS: Install one (1) set of 30" truss + 42" loge to the East facia of the canopy 1166 on canopy

NOTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch of proposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property lines, and locations. **A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.**

[Signature] 3-23-98 [Signature] 4/21/98
Applicant's Signature Date Community Development Approval Date

(White: Community Development) (Canary: Applicant) (Pink: Building Dept) (Goldenrod: Code Enforcement)

B



SIGN CLEARANCE

Community Development Department
250 North 5th Street
Grand Junction, CO 81501
(970) 244-1430

Clearance No. _____
Date Submitted 3/24/98
FEE \$ 5.00
Tax Schedule 2701-364-00-022/023
Zone H.O.

BUSINESS NAME Texaco Foodmart
STREET ADDRESS 745 Horizon Dr.
PROPERTY OWNER _____
OWNER ADDRESS _____

CONTRACTOR Western Neon Signs Co.
LICENSE NO. 2980446
ADDRESS _____
TELEPHONE NO. _____

Barnes Electric #2416

- 1. FLUSH WALL 2 Square Feet per Linear Foot of Building Facade
 - 2. ROOF 2 Square Feet per Linear Foot of Building Facade
 - 3. FREE-STANDING 2 Traffic Lanes - 0.75 Square Feet x Street Frontage
4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage
 - 4. PROJECTING 0.5 Square Feet per each Linear Foot of Building Facade
 - 5. OFF-PREMISE See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet
- Externally Illuminated Internally Illuminated Non-Illuminated

- (1 - 5) Area of Proposed Sign 49.75 Square Feet
- (1,2,4) Building Facade 86 Linear Feet 503 (canopy = 43)
- (1 - 4) Street Frontage 280 Linear Feet 280 east parcel
- (2,4,5) Height to Top of Sign 18 Feet Clearance to Grade 15 Feet
- (5) Distance from all Existing Off-Premise Signs within 600 Feet NA Feet

Existing Signage/Type:	
<u>(A) FW</u>	<u>49.75</u> Sq. Ft.
<u>Freestanding Holiday Inn</u>	<u>190</u> Sq. Ft.
	Sq. Ft.
Total Existing:	<u>240</u> Sq. Ft.

● FOR OFFICE USE ONLY ●	
Signage Allowed on Parcel:	
Building <u>(Hotel + canopy)</u>	<u>1006</u> Sq. Ft.
Free-Standing	<u>420</u> Sq. Ft.
Total Allowed:	<u>1006</u> Sq. Ft.

COMMENTS: Install one(s) set of 30" TEXACO + 42" logo to the north front
facia of the building. 160.00 canopy

NOTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch of proposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property lines, and locations. **A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.**

[Signature] 3-23-98 [Signature] 4/21/98
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3



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Clearance No. _____
Date Submitted 3/24/98
FEE \$ 5.00
Tax Schedule 2701-364-00-022/023
Zone H.O.

BUSINESS NAME Texaco Food Mart
STREET ADDRESS 745 Horizon Drive
PROPERTY OWNER _____
OWNER ADDRESS _____

CONTRACTOR Western Neon Sign Co.
LICENSE NO. 2980446
ADDRESS _____
TELEPHONE NO. _____

- 1. FLUSH WALL 2 Square Feet per Linear Foot of Building Facade
- 2. ROOF 2 Square Feet per Linear Foot of Building Facade
- 3. FREE-STANDING 2 Traffic Lanes - 0.75 Square Feet x Street Frontage
4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage
- 4. PROJECTING 0.5 Square Feet per each Linear Foot of Building Facade
- 5. OFF-PREMISE See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet

Externally Illuminated Internally Illuminated Non-Illuminated

Barnes Fluct 2466

- (1 - 5) Area of Proposed Sign 49.75 Square Feet
- (1,2,4) Building Facade ~~86~~ Linear Feet 503 (canopy = 43)
- (1 - 4) Street Frontage ~~216~~ Linear Feet 280 east parcel
- (2,4,5) Height to Top of Sign 18' Feet Clearance to Grade 15' Feet
- (5) Distance from all Existing Off-Premise Signs within 600 Feet NA Feet

Existing Signage/Type:	
<u>(A) & (B)</u>	<u>99.50</u> Sq. Ft.
<u>Freestanding (Holiday Inn)</u>	<u>190.00</u> Sq. Ft.
	Sq. Ft.
Total Existing:	Sq. Ft.

● FOR OFFICE USE ONLY ●	
Signage Allowed on Parcel:	
Building (<u>Hotel + Canopy</u>)	<u>1006</u> Sq. Ft.
Free-Standing	<u>420</u> Sq. Ft.
Total Allowed:	<u>1006</u> Sq. Ft.

COMMENTS: Install one (1) Set of 30" TEXACO + 42" Logo channel letters to the west Canopy fascia (160 on canopy)

NOTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch of proposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property lines, and locations. **A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.**

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STREET ADDRESS 745 Horizon Dr.
PROPERTY OWNER _____
OWNER ADDRESS _____

CONTRACTOR Western Neon Sign Co.
LICENSE NO. 2980446
ADDRESS _____
TELEPHONE NO. _____

Banner Elect #2466

- 1. FLUSH WALL 2 Square Feet per Linear Foot of Building Facade
- 2. ROOF 2 Square Feet per Linear Foot of Building Facade
- 3. FREE-STANDING 2 Traffic Lanes - 0.75 Square Feet x Street Frontage
4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage
- 4. PROJECTING 0.5 Square Feet per each Linear Foot of Building Facade
- 5. OFF-PREMISE See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet

Externally Illuminated Internally Illuminated Non-Illuminated

- (1 - 5) Area of Proposed Sign 124 Square Feet FS
- (1,2,4) Building Facade ~~80~~ Linear Feet 200
- (1 - 4) Street Frontage ~~87.4~~ Linear Feet 87.4 (Horizon) - West parcel
- (2,4,5) Height to Top of Sign 40 Feet Clearance to Grade 12' Feet
- (5) Distance from all Existing Off-Premise Signs within 600 Feet NA Feet

Existing Signage/Type:	
80 <u>FS</u> Signs	80 <u>78</u> Sq. Ft.
<u>FW on Holiday Inn</u>	<u>78</u> Sq. Ft.
	Sq. Ft.
Total Existing:	<u>78</u> Sq. Ft.

● FOR OFFICE USE ONLY ●		
Signage Allowed on Parcel:		
Building	<u>400</u>	Sq. Ft.
Free-Standing	<u>131</u>	Sq. Ft.
Total Allowed:	<u>400</u>	Sq. Ft.

COMMENTS: Install one (1) two pole Texaco, Foodmart, 3 product-price sign to the corner of I-70 & Horizon Drive.

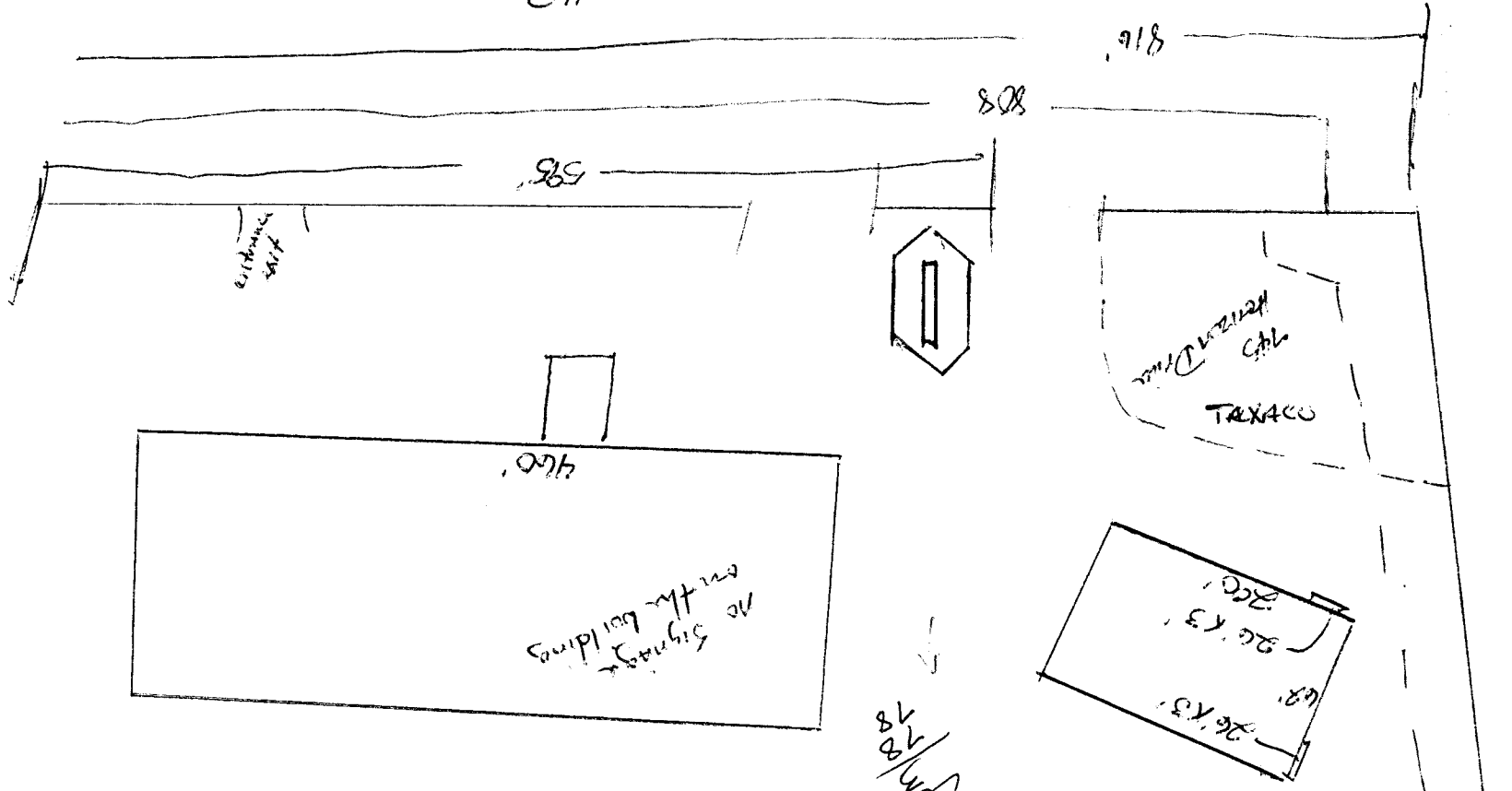
NOTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch of proposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property lines, and locations. **A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.**

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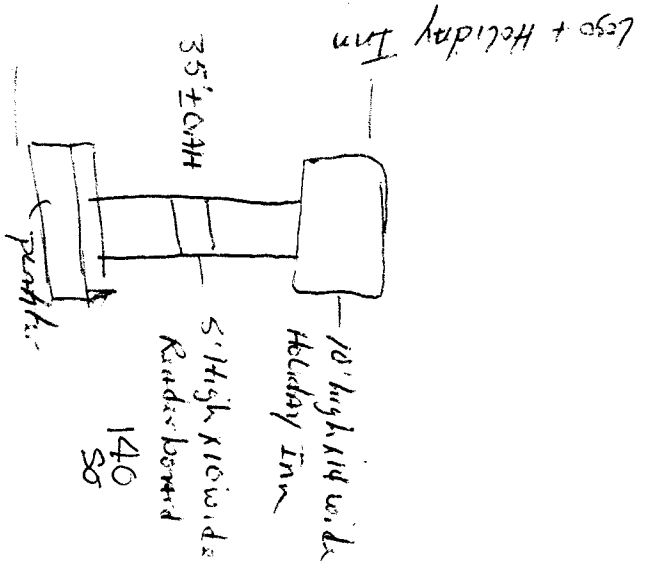
Cactus Elect 1

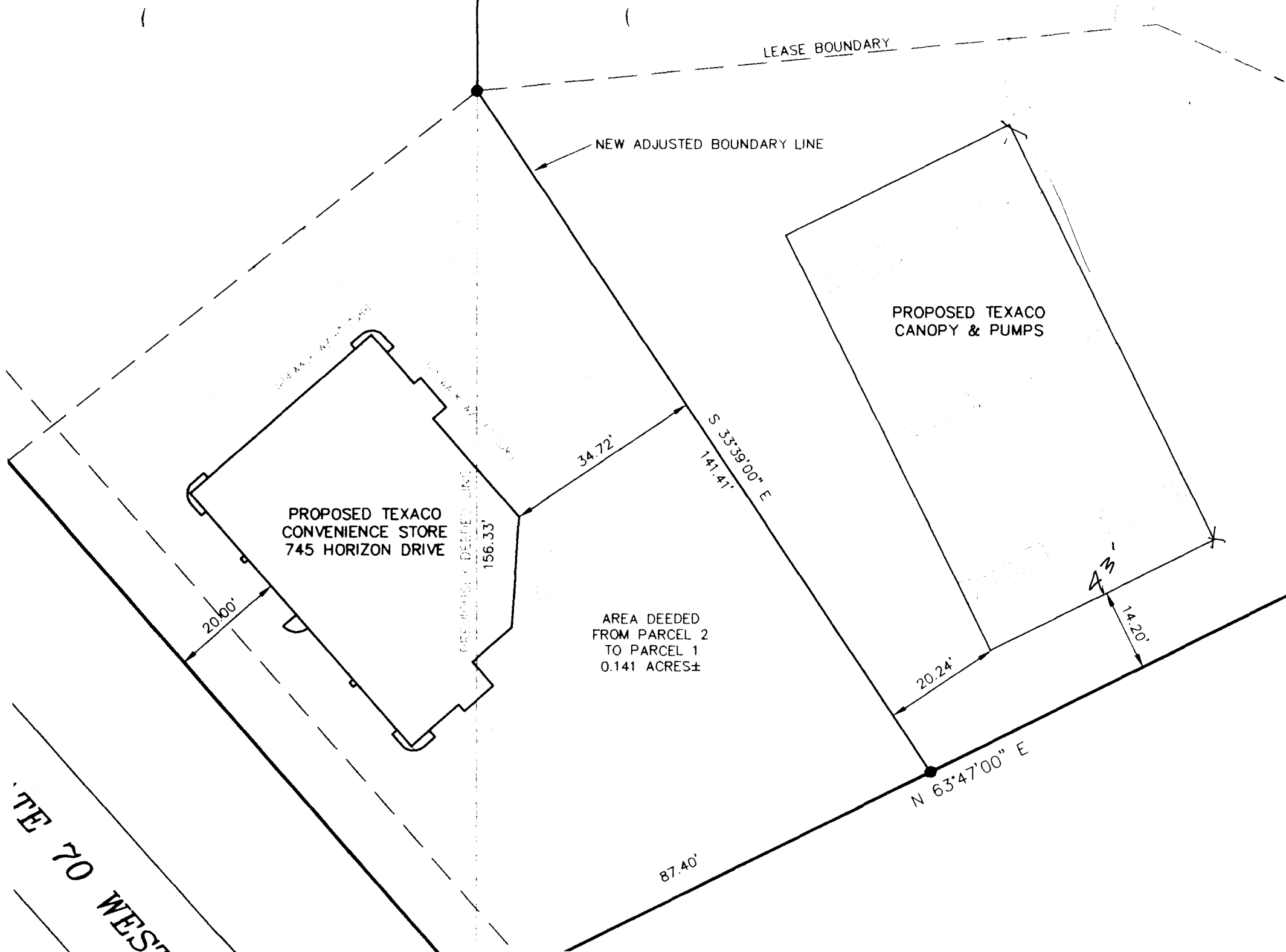


178
130
286

26' x 3'
78

Holiday Inn
Horizon Drive
4-6-98
Measurements checked only
Map not to scale





LEASE BOUNDARY

NEW ADJUSTED BOUNDARY LINE

PROPOSED TEXACO
CONVENIENCE STORE
745 HORIZON DRIVE

PROPOSED TEXACO
CANOPY & PUMPS

AREA DEEDED
FROM PARCEL 2
TO PARCEL 1
0.141 ACRES±

ITE 70 WEST

20.00'

156.33'

34.72'

S 33°39'00" E
141.41'

20.24'

N 63°47'00" E
87.40'

43'

14.20'

Trademark

Primary ID lights operational

- All lights functional
- Appropriate illumination
- Sign face totally lighted
- Lights on at dusk or during inclement weather
- All lights same type/size/color

Product prices clearly displayed

- Gasoline grades displayed in order of octane rating
- Black faces, white letters and numbers

Additional signs approved, in proper order

- Star Mart (if appropriate)
- Quick-Service Restaurant (QSR) (if appropriate)
- Marketer identification
- Service Center
- Car Wash
- Food Mart
- Diesel
- Price signs: gasoline (MB-3), diesel

Sign faces intact, bright in color

- In good condition and free of cracks
- Clean, free of bugs and graffiti
- Free of dark areas when illuminated

Critical Deviations

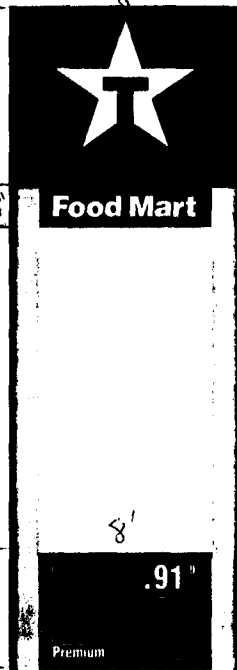
- Signs/Poles structurally damaged and unsafe
- Monument sign structurally damaged and unsafe
- Unauthorized primary identification (contract violation)

Primary Identifier
Star 21: Retrofit A



Item 426

Primary Identifier
Star 21: Retrofit B And C



Item 428

Primary Identifier
Star 21: High Rise



Item 413 and 416

(Illuminated)
and, see sheet
#101.

NOTE:
Accent band segment
at ends will vary in
length but are to
be equal at each end.

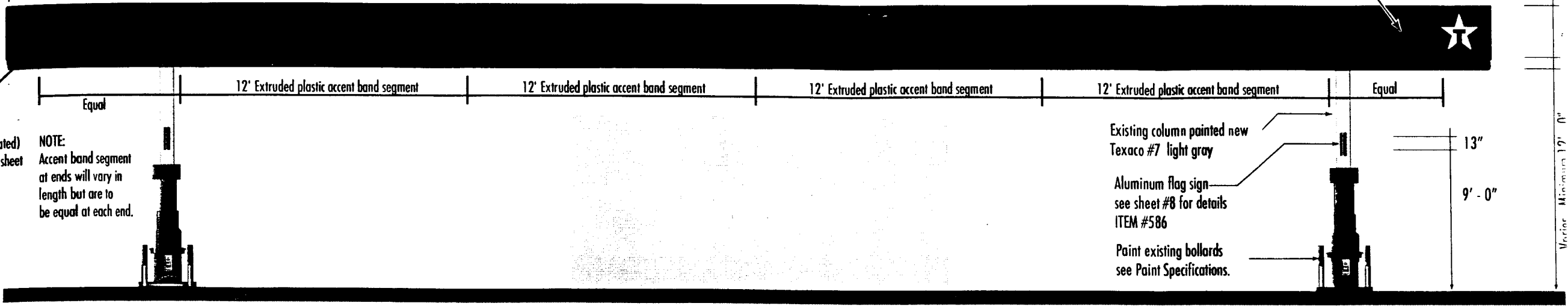
Existing column painted new
Texaco #7 light gray

Aluminum flag sign
see sheet #8 for details
ITEM #586

Paint existing bollards
see Paint Specifications.



Vertical Minimum 19' 0"



FRONT ELEVATION - CANOPY OVER 72 feet LONG

NOTE: For canopies under 12' - 0" clearance, see sheet #7.

Varies - 36' Minimum (for canopies under 36' see details on lower right hand side of this sheet.)

Existing logotype
to remain as is

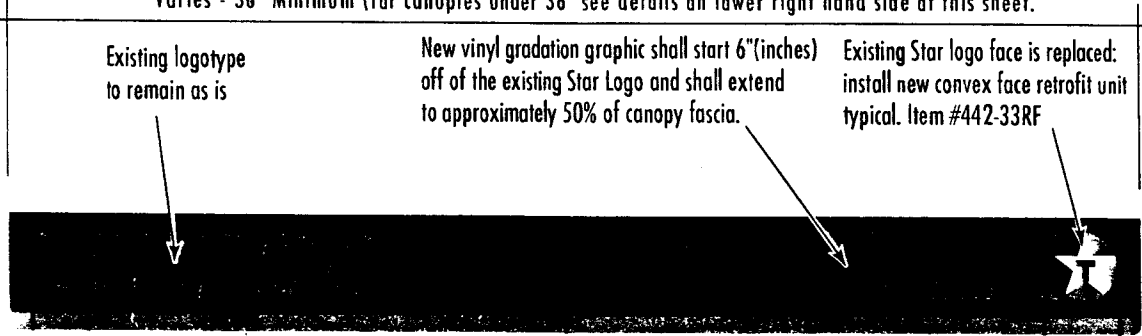
New vinyl gradation graphic shall start 6"(inches)
off of the existing Star Logo and shall extend
to approximately 50% of canopy fascia.

Existing Star logo face is replaced:
install new convex face retrofit unit
typical. Item #442-33RF

Existing logotype
to remain as is

New vinyl gradation graphic -
see lower right side of this sheet
for sizes.

Handwritten notes:
1/4" Scale
30" x 15" = 37.5
40" x 47" Logo
42" x 42" = 122.5
= 49.75 SF



Canopy End Between 40 feet and 32 feet wide

Aluminum Flag Sign
ITEM #586

Painted steel pipe

See Pump Section
for new vinyl graphics

New vinyl gradation graphic -
see lower right side of this sheet
for sizes.

Existing Star logo Face is replaced:
install new convex face retrofit kit.
Item #442-33RF

CANOPY GRAOAT
ITEM # 322-11
ITEM # 322-24
ITEM # 322-50

