

## $S_{\text{IGN}}$ $C_{\text{LEARANCE}}$

Community Development Department 250 North 5th Street Grand Junction, CO 81501 (970) 244-1430

Clearance No. <u>V 5 7 3 3</u>
Date Submitted 3/24/98
FEE\$ 25.00
Tax Schedule 2701-364-00-022/023
Zone H.O

Sq. Ft. Free-Standing 420 Sq. Ft. Total Allowed: 1006 Sq. Ft.	(770) 244-1430	Zone		
REET ADDRESS 745 Horizon Dr. 1500 LICENSENO. 398-446.  ROPERTY OWNER Borky Mith C Stores ADDRESS 3183 HALL Aug G-7, 8150 MNER ADDRESS 946 Colored ava.  FLUSH WALL  Square Feet per Linear Foot of Building Facade  2 Roof  2 Square Feet per Linear Foot of Building Facade  2 Traffic Lanes - 0.75 Square Feet x Street Frontage  4 or more Traffic Lanes - 0.75 Square Feet x Street Frontage  4 or more Traffic Lanes - 0.75 Square Feet x Street Frontage  5 OFF-PREMISE  See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet  [] Externally Illuminated  Internally Illuminated  [] Non-Illuminated  5 Area of Proposed Sign 49.75 Square Feet  2.4) Street Frontage  4.5 Height to Top of Sign 8 Feet Clearance to Grade 15 Feet  Distance from all Existing Off-Premise Signs within 600 Feet  Feet  Feet  Free-Standing Holiday Inn 90 Sq. Ft.  Sq. Ft.  Total Existing:  Sq. Ft.  Total Existing:  Sq. Ft.  Total Existing:  Sq. Ft.  Total Existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line delocations. A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.	TI REPORTED TO THE PARTY OF THE			×
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ADDRESS 3183 Hall Aug GT, 8150  WNER ADDRESS 940 Coloredo Aug.  TELEPHONE NO.  FLUSH WALL  2 ROOF  2 Square Feet per Linear Foot of Building Facade  2 Square Feet per Linear Foot of Building Facade  2 Square Feet per Linear Foot of Building Facade  2 Square Feet per Linear Foot of Building Facade  3 FREE-STANDING  2 Traffic Lanes - 0.75 Square Feet x Street Frontage  4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage  4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage  5. OFF-PREMISE  5. OFF-PREMISE  6. Square Feet per each Linear Foot of Building Facade  8 on Feet So Square Feet x Street Frontage  9. Square Feet per each Linear Foot of Building Facade  9. Square Feet x Street Frontage  1 Internally Illuminated  2 Internally Illuminated  3 Feet Clearance to Grade  4 Street Frontage  4 Street Frontage  4 Street Frontage  4 Distance from all Existing Off-Premise Signs within 600 Feet  5 Feet  6 Distance from all Existing Off-Premise Signs within 600 Feet  7 Feet  8 Sq. Ft.  8 Feet  9 FOR OFFICE USE ONLY  1 Sq. Ft.  1 Internally Illuminated  2 Internally Illuminated  3 Feet Clearance Internation Internally Illuminated  1 Internally Illuminated  1 Internally Illuminated  1 Internally Illuminated  1 Internally Illuminated  2 Internal	REET ADDRESS 745 1	L YIST LICENS	FNO TOCOUNT.	sri sign Co.
TELEPHONE NO.  73. Cc. \$150   73. FLUSH WALL  2. ROOF  3. FREE-STANDING  3. FREE-STANDING  4. PROJECTING  4. PROJECTING  5. Square Feet per Linear Foot of Building Facade  2. Square Feet per Linear Foot of Building Facade  2. Traffic Lanes - 0.75 Square Feet x Street Frontage  4. PROJECTING  5. Square Feet per each Linear Foot of Building Facade  5. OFF-PREMISE  5. OFF-PREMISE  6. Square Feet per each Linear Foot of Building Facade  5. OFF-PREMISE  6. Square Feet per each Linear Foot of Building Facade  6. Square Feet x Street Frontage  4. PROJECTING  6. Square Feet per each Linear Foot of Building Facade  5. OFF-PREMISE  5. OFF-PREMISE  5. OFF-PREMISE  6. Square Feet x Street Frontage  4. PROJECTING  6. Square Feet x Street Frontage  4. PROJECTING  6. Square Feet x Street Frontage  4. PROJECTING  6. Square Feet x Street Frontage  6. Square Feet x Street Frontage  9. Square Feet x Street Frontage  1. Square Feet x Street Frontage  1. Square Feet x Street Frontage  1. Square Feet x Street Frontage  2. A paid in Feet x Street Frontage  2. A paid in Feet x Street Frontage  2. A paid in Feet x Street Frontage  2. Square Feet x Street Frontage  3. Square Feet x Street Frontage  5. S	OPERTY OWNER Parker Mites C Sto	ADDRE		GT 81505
1. FLUSH WALL   Square Feet per Linear Foot of Building Facade   2. ROOF   2. Square Feet per Linear Foot of Building Facade   3. FREE-STANDING   2. Traffic Lanes - 0.75 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   4. or more Traffic Lanes - 1.5 Square Feet x Street Frontage   5. OFF-PREMISE   See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet   Internally Illuminated	WINER ADDRESS 940 Colombians	TELEPH		-
FIUSH WALL  2. ROOF  2. Square Feet per Linear Foot of Building Facade  3. FREE-STANDING  2. Traffic Lanes - 0.75 Square Feet x Street Frontage  4. OFF-PREMISE  5. OFF-PREMISE  5. OFF-PREMISE  5. OFF-PREMISE  6. OFF-PREMISE  5. OFF-PREMISE  6. OFF-PREMI				
3. FREE-STANDING  2 Traffic Lanes - 0.75 Square Feet x Street Frontage 4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage 5. OFF-PREMISE  0.5 Square Feet per each Linear Foot of Building Facade See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet  [] Externally Illuminated  Internally Illuminated  [] Non-Illuminated  5. Area of Proposed Sign 49.75 Square Feet 2,4) Building Facade 50.3 (campy = +3) · long sich of campy 4,5) Height to Top of Sign 5 Feet Clearance to Grade 15 Feet Distance from all Existing Off-Premise Signs within 600 Feet Feet  Existing Signage/Type:  Feet 50.3 (campy = +3) · long sich of campy  Feet Clearance to Grade 15 Feet Distance from all Existing Off-Premise Signs within 600 Feet Feet  Feet 50.3 Feet Feet  Feet 50.3 (campy = +3) · long sich of campy  Feet Clearance to Grade 15 Feet  Distance from all Existing Off-Premise Signs within 600 Feet Feet  Feet 50.3 Feet Feet Feet  Feet 50.3 (campy = +3) · long sich of campy  Feet Clearance to Grade 15 Feet  Distance from all Existing Off-Premise Signs within 600 Feet Feet  Feet 50.3 Feet Feet Feet 50.3 (campy = +3) · long sich of campy  Feet Clearance to Grade 15 Feet  Feet Feet Feet 50.3 (campy = +3) · long sich of campy  Feet Feet 70.3 Feet 70.4 Feet		•		
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4. PROJECTING 5. OFF-PREMISE    Sequare Feet per each Linear Foot of Building Facade   See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet			E	
Street Frontage   15   Feet   Signage Feet   Signage From all Existing Off-Premise Signs within 600 Feet   Signage Allowed on Parcel:	4. PROJECTING 0.5 Seconds	quare Feet per each Linear Fo	oot of Building Facade	
Area of Proposed Sign 49.75 Square Feet  2,4) Building Facade ————————————————————————————————————	5. OFF-PREMISE See #	3 Spacing Requirements; Not	> 300 Square Feet or < 1	5 Square Feet
Building Facade	[ ] Externally Illuminated	Internally Illumina	ted [	] Non-Illuminated
Building Facade				
Building Facade	-5) Area of Proposed Sign 4975 Sq	uare Feet	<b>`</b>	
Street Frontage	2.4) Ruilding Facade  Linear Fe	et 503 (canopy = 9	3) - long side of a	71.40004
Height to Top of Sign	2, 1) Street Frontage 2 Inear Fee	et 280 East parcel	,) 102 01 0	
Distance from all Existing Off-Premise Signs within 600 Feet  xisting Signage/Type:    Signage Allowed on Parcel:   Building (Holiday Inn)   100 6			5 Feet	
Signage/Type:  Signage Allowed on Parcel:  Signage Allowed on Parcel:  Building (Holiday Inn)   90 Sq. Ft.  Signage Allowed on Parcel:  Building (Hotel Building (Hotel Pree-Standing   470 Sq. Ft.)  Total Existing:  Sq. Ft.  Total Allowed:   1006 Sq. Ft.  DIMMENTS: Install one (1) Set of 30" teams + 42" logs to the East facing of the Canopy  OTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch opposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line of locations. A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.	<del>_</del>			
Signage Allowed on Parcel:  Sq. Ft.  Sq. Ft.  Sq. Ft.  Total Existing:  Sq. Ft.  Total Allowed:  Signage Allowed on Parcel:  Building (Hotel B		<u></u>		USE ONLY ●
Sq. Ft.  Sq. Ft.  Sq. Ft.  Total Existing:  Sq. Ft.  Total Allowed:  Sq. Ft.  Sq. Ft.  Total Allowed:  Sq. Ft.  Sq. Ft.  Sq. Ft.  Total Allowed:  Sq. Ft.  Sq. Sq. Sq. Ft.  Sq. Sq. Sq.		195 So Et		
Sq. Ft.  Sq. Ft.  Sq. Ft.  Total Existing:  Sq. Ft.  Sq. Ft.  Total Allowed:	reestanding (Holloay Inn)		1 HA HO ! .	
Total Existing:  Sq. Ft.  Total Allowed:  1006 Sq. Ft.  DMMENTS: Install one (i) Set of 30" texas: +42" logo to the East facia of the Canopy  DTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line of locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.  3-23-98  Millull Week.  4 21 98	·	Sq. Ft.		1006 Sq. Ft.
DMMENTS: Install one (i) 3xt of 30" texaco + 42" logo to the East facia of the canopy  DTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line d locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.		Sq. Ft.	Free-Standing	420 Sq. Ft.
OMMENTS: Install one (i) set of 30" texaco + 42" logo to the East facia of the canopy  OTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line d locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.	Total Existing:	Sq. Ft.	Total Allowed:	1006 Sq. Ft.
OTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line d locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.  3-23-98  A 124 98				East-facia of
oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line d locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.  3-23-98  4/21/98	he canopy			
oposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property line d locations.  A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.  3-23-98  4/21/98	TE: No sign may exceed 300 square fee	et A senarate sion clearar	ice is required for each si	on Attach a sketch c
d locations. A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.  3-23-98 With Millies 4/21/98			•	<b>~</b>
JOAL 3-23-98 Mitter A/21/98		-		
oplicant's Signature  3-23-98  Community Development Approval  Date				
oplicant's Signature 3-23-98 Community Development Approval Date	$1/\alpha a/l$	1-4	1/1/1/	
oplicant's Signature Date Community Development Approval Date	1 () () Km 3.	-23-98 MILLEL	K Willreik	4/21/98
	oplicant's Signature Da	ate Community	<b>Development Approval</b>	Date
Thite: Community Development) (Canary: Applicant) (Pink: Ruilding Dent) (Coldenrod: Code Enforceme				



pplicant's Signature

(White: Community Development)

## $S_{\text{IGN}}$ $C_{\text{LEARANCE}}$

Community Development Department 250 North 5th Street Grand Junction, CO 81501 (970) 244-1430

Clearance No.
Date Submitted 3/24/98
FEE\$ 5.00
Tax Schedule 2701-364-00-022/023
Zone H.O

BUSINESS NAME TRACO FOOD	nart CONTR	ACTOR Wostern No ENO. 2980446	en Sign Co.
STREET ADDRESS 745 Hocizum	ADDRE	ENU. 2480446	
OWNER ADDRESS		HONE NO.	
[ ] 2. ROOF 2 [ ] 3. FREE-STANDING 2 [ ] 4. PROJECTING 0	Square Feet per Linear Foot of E Square Feet per Linear Foot of E Traffic Lanes - 0.75 Square Feet or more Traffic Lanes - 1.5 Square 0.5 Square Feet per each Linear Foot See #3 Spacing Requirements; Not	Building Facade  x Street Frontage  are Feet x Street Frontage  oot of Building Facade	5 Square Feet
[ ] Externally Illuminated [ ] Non-Illuminated			
(1,2,4) Building Facade Lines (1-4) Street Frontage Lines (2,4,5) Height to Top of Sign /8 (5) Distance from all Existing Off-Pre	Feet Clearance to Grade	Peet Peet	
	mise signs within 500 Feet	● FOR OFFICE	USE ONLY
Existing Signage/Type:		• FOR OFFICE Signage Allowed on Pare	
	49.15 Sq. Ft.		
Existing Signage/Type:	<i>ij</i> <b>q</b> .15 Sq. Ft.	Signage Allowed on Para	cel:
Existing Signage/Type:	<i>iq</i> , 15 Sq. Ft.	Signage Allowed on Para Building (Hotel +)	cel:    006
Existing Signage/Type:  (A) FW  Freestanding Holiday Inn  Total Existing:	190 Sq. Ft.  190 Sq. Ft.  Sq. Ft.  240 Sq. Ft.	Signage Allowed on Parc Building (Hotel +) Free-Standing  Total Allowed:	1006 Sq. Ft. 420 Sq. Ft. 1006; Sq. Ft.
Existing Signage/Type:  (A) FW  Freestanding Holiday Inn	190 Sq. Ft.  190 Sq. Ft.  Sq. Ft.  240 Sq. Ft.	Signage Allowed on Parc Building (Hotel +) Free-Standing  Total Allowed:	Cel:    006

Date

(Canary: Applicant)

Community Development Approval

(Goldenrod: Code Enforcement)

(Pink: Building Dept)



# Sign Clearance

Community Development Department 250 North 5th Street

Clearance	No						
Date Subm	nitted	31	24	198			
FEE\$	5.00	·		•		,	
Tax Sched	ule 270	1-3	64-	-00-	022	1023	,
Zone	HO						

Grand Innation CO 015		and the second s		
Grana Juncuon, CO 813	Grand Junction, CO 81501 Tax Sch		-022/023	
(970) 244-1430 Zone		Schedule <u>2701-364-00-022/023</u> H.O.		
(0.0)				
~ 1 A	, 1	$\Delta$	1 . 0	
USINESS NAME TEXACE FOOD IY	<u>lart</u> CONTR	ACTOR Western / k SENO. 2980446	572 Sign Co.	
TREET ADDRESS 745 Horizon	Drive LICENS	ENO. 2980446		
ROPERTY OWNER	ADDRE	ESS		
WNER ADDRESS		HONE NO.		
/ / / / / / / / / / / / / / / / / / /		IONE NO.		
1. FLUSH WALL .2 Sq	juare Feet per Linear Foot of I	Ruilding Facade		
	uare Feet per Linear Foot of I	_		
-	affic Lanes - 0.75 Square Feet	_		
<del>-</del>	more Traffic Lanes - 1.5 Squa			
] <b>4. PROJECTING</b> 0.5 S	Square Feet per each Linear F	oot of Building Facade		
] 5. OFF-PREMISE See	#3 Spacing Requirements; Not	t > 300 Square Feet or $< 15$	Square Feet	
[ ] Externally Illuminated	Internally Illumina	ated [	] Non-Illuminated	
1,2,4) Building Facade Linear Follows Linear Follows Height to Top of Sign / Fe	eet Clearance to Grade	15 Feet		
	se Signs within 600 Feet	MA Feet		
5) Distance from all Existing Off-Premis  Existing Signage/Type:	se Signs within 600 Feet	Feet  For OFFICE	USE ONLY ●	
5) Distance from all Existing Off-Premis	ose Signs within 600 Feet  QQ 50 Sq. Ft.	NA Feet		
5) Distance from all Existing Off-Premis	ose Signs within 600 Feet  QQ, 50 Sq. Ft.	Feet  FOR OFFICE  Signage Allowed on Parce  Public Hotel +		
Distance from all Existing Off-Premis	se Signs within 600 Feet	For OFFICE	el:	
Distance from all Existing Off-Premis  Existing Signage/Type:  B  Wees-tanding Holiday Inn  Total Existing:	99,50 Sq. Ft.  190.00 Sq. Ft.  Sq. Ft.  Sq. Ft.	Feet  For OFFICE  Signage Allowed on Parc  Building (Hotel + Canopy)  Free-Standing  Total Allowed:	el:  1006 Sq. Ft.  420 Sq. Ft.  1006 Sq. Ft.	
Distance from all Existing Off-Premise Existing Signage/Type:  By By Types Anding Haliday Inn  Total Existing:	99,50 Sq. Ft.  190.00 Sq. Ft.  Sq. Ft.  Sq. Ft.	Feet  For OFFICE  Signage Allowed on Parc  Building (Hotel + Canopy)  Free-Standing  Total Allowed:	el:  1006 Sq. Ft.  420 Sq. Ft.  1006 Sq. Ft.	
Distance from all Existing Off-Premise Existing Signage/Type:  The B  Total Existing:  Total Existing:  The West Carry fact  OTE: No sign may exceed 300 square for the coposed and existing signage including type	99,50 Sq. Ft.  190.00 Sq. Ft.  Sq. Ft.  Sq. Ft.  30 Texp  eet. A separate sign clearances, dimensions, lettering, a	Feet  FOR OFFICE  Signage Allowed on Parc  Building (Hofel + Canopy)  Free-Standing  Total Allowed:  Total Allowed:  Total Signage Allowed:	el:  1006 Sq. Ft.  420 Sq. Ft.  1006 Sq. Ft.  (160 on comments, property lines)	
Distance from all Existing Off-Premis  Existing Signage/Type:  Total Existing:  Total Existing:  COMMENTS: Install one (1)  Total Existing:  T	Set of 30" Texases, dimensions, lettering, a ROM THE BUILDING DI	Feet  FOR OFFICE  Signage Allowed on Parc  Building (Hofel + Canopy)  Free-Standing  Total Allowed:  Total Allowed:  Total Signage Allowed:	el:  1006 Sq. Ft.  420 Sq. Ft.  1006 Sq. Ft.  160 on C	



## $S_{\text{IGN}} \, C_{\text{LEARANCE}}$

Clearance No
Date Submitted
FEE\$ 5.00
Tax Schedule 2701-364-00-022/023
Zone $\mathcal{A} \cdot \mathcal{O}$ .

	Clearance No.
Community Development Departme	nt Date Submitted 3/29/98
250 North 5th Street	FEE\$_ <i>5.00</i>
Grand Junction, CO 81501	Tax Schedule 2701-364-00-022/023
(970) 244-1430	Tax Schedule $2701-364-00-022/023$ Zone $4.0$ .
BUSINESS NAME TEXACO FOODMART	CONTRACTOR Western Deen Sin Co.
TREET ADDRESS 745 Horizon Dr.	LICENSE NO. 2980 446
ROPERTY OWNER	
WNER ADDRESS	TELEBRIONE NO
Harris III and the second seco	100 100 100 100 100 100 100 100 100 100
	er Linear Foot of Building Facade er Linear Foot of Building Facade
	- 0.75 Square Feet x Street Frontage
or more Traff	ic Lanes - 1.5 Square Feet x Street Frontage
	per each Linear Foot of Building Facade
<b>5. OFF-PREMISE</b> See #3 Spacing	Requirements; Not > 300 Square Feet or < 15 Square Feet
[ ] Externally Illuminated	nternally Illuminated [ ] Non-Illuminated
1,2,4) Building Facade Linear Feet 200 1-4) Street Frontage Linear Feet 87.4 2,4,5) Height to Top of Sign 40 Feet Clearar 5) Distance from all Existing Off-Premise Signs with	nce to Grade 12' Feet
Existing Signage/Type:	● FOR OFFICE USE ONLY ●
	Sq. Ft. Signage Allowed on Parcel:
The Signs Add	7 Sq. Ft. Building 400 Sq. F
TW on Holiday Inn	
Total Existing:	78 Sq. Ft. Total Allowed: 400 Sq. F
COMMENTS: Install one (1) two pol	2 TEXACO, Foodmart, 3 product price
Sign to the Corner of I-70 + 1-	e Texaco, Foodmart, 3 product price
NOTE: No sign may exceed 300 square feet. A sep	parate sign clearance is required for each sign. Attach a sketch sions, lettering, abutting streets, alleys, easements, property line

Applicant's Signature

(White: Community Development)

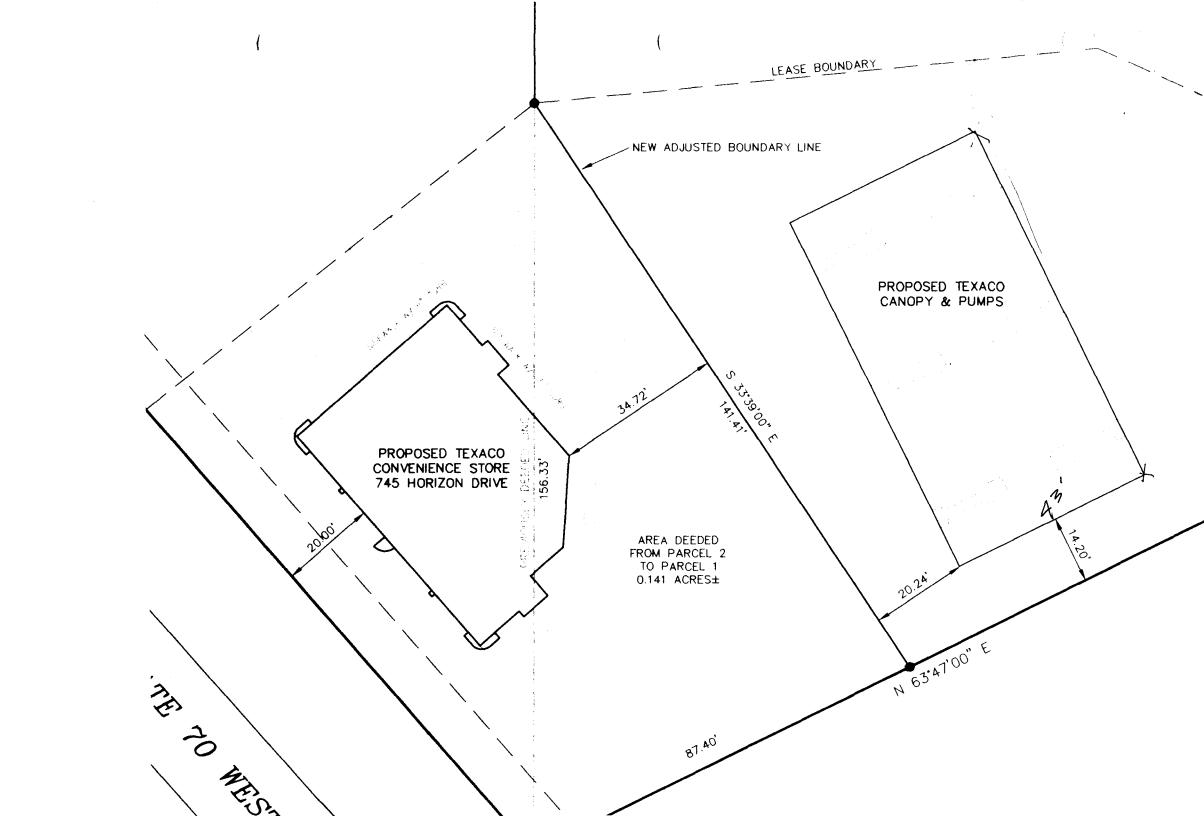
(Canary: Applicant)

Community Development Approval

(Pink: Building Dept)

(Goldenrod: Code Enforcement)

CASUS Elect 918 TAXACO , ००% Lego + Heliday Irm 35'tOM Mensuraments whiched anly 86-9-1 Helidisy Inv.



### **Trademark**

#### Primary ID lights operational

- · All lights functional
- Appropriate illumination
- · Sign face totally lighted
- Lights on at dusk or during inclement weather
- · All lights same type/size/color

### Product prices clearly displayed

- Gasoline grades displayed in order of octane rating
- Black faces, white letters and numbers

## Additional signs approved, in proper order

- Star Mart (if appropriate)
- Quick-Service Restaurant (QSR) (if appropriate)
- · Marketer identification
- Service Center
- Car Wash
- Food Mart
- Diesel
- Price signs: gasoline (MB-3), diesel

### **Critical Deviations**

- Signs/Poles structurally damaged and unsafe
- Monument sign structurally damaged and unsafe
- Unauthorized primary identification (contract violation)

## Sign faces intact, bright in color

In good condition and free of cracks

Primary identifier Star 21: High Rise

