



SIGN CLEARANCE

Community Development Department
250 North 5th Street
Grand Junction, CO 81501
(970) 244-1430

Clearance No. _____
Date Submitted 3-18-98
FEE \$ 25.00
Tax Schedule 2701-364-00-070
Zone H-0

BUSINESS NAME STARVIN' ARVIN'S
STREET ADDRESS 752 HORIZON DR.
PROPERTY OWNER MICHAEL KRESAK
OWNER ADDRESS SAME

CONTRACTOR BUD'S SIGNS
LICENSE NO. 2980109
ADDRESS 1055 UTE AVE.
TELEPHONE NO. 245-7700

- 1. FLUSH WALL 2 Square Feet per Linear Foot of Building Facade
- 2. ROOF 2 Square Feet per Linear Foot of Building Facade
- 3. FREE-STANDING 2 Traffic Lanes - 0.75 Square Feet x Street Frontage
4 or more Traffic Lanes - 1.5 Square Feet x Street Frontage
- 4. PROJECTING 0.5 Square Feet per each Linear Foot of Building Facade
- 5. OFF-PREMISE See #3 Spacing Requirements; Not > 300 Square Feet or < 15 Square Feet

Externally Illuminated Internally Illuminated Non-Illuminated

- (1 - 5) Area of Proposed Sign 45.5 Square Feet
- (1,2,4) Building Facade 150 Linear Feet
- (1 - 4) Street Frontage 240 Linear Feet
- (2,4,5) Height to Top of Sign 14 Feet Clearance to Grade 10'-2" Feet
- (5) Distance from all Existing Off-Premise Signs within 600 Feet _____ Feet

Existing Signage/Type:	
<u>FREESTANDING (RAMADA)</u>	<u>188</u> Sq. Ft.
<u>FLUSH WALL (RAMADA)</u>	<u>32</u> Sq. Ft.
<u>FLUSH WALL (ARVIN'S)</u>	<u>15</u> Sq. Ft.
Total Existing:	<u>235</u> Sq. Ft.

● FOR OFFICE USE ONLY ●	
Signage Allowed on Parcel: <u>HORIZON DR.</u>	
Building	Sq. Ft.
Free-Standing	Sq. Ft.
Total Allowed:	Sq. Ft.

COMMENTS: _____

NOTE: No sign may exceed 300 square feet. A separate sign clearance is required for each sign. Attach a sketch of proposed and existing signage including types, dimensions, lettering, abutting streets, alleys, easements, property lines, and locations. **A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED.**

[Signature] 3-18-98 [Signature] 4-1-98
 Applicant's Signature Date Community Development Approval Date

(White: Community Development) (Canary: Applicant) (Pink: Building Dept) (Goldenrod: Code Enforcement)

12'-4"

Starvin'
Arvin's

20"

44"

20"

OPEN FACE CHANNEL LETTERS

16" OPEN FACE CHANNEL LETTERS
4" .040 ALUMINUM RETURNS (BLACK)
15mm RED EXPOSED TUBE NEON
LETTERS PAINTED INSIDE (RED)
RACEWAY PAINTED TO MATCH ROOF (GREEN)



ELEVATION

DESIGN PROPERTY OF



North

Horizon Dr.

