

S_{IGN} C_{LEARANCE}

Community Development Department

Clearance No.
Date Submitted $3-18-98$
FEE\$25.00
Tax Schedule 2701-364-00-070
Zone $H-O$

Grand Junction, CO 81501 Ta		FEE\$25.00 Tax Schedule 2701-364-00-070 Zone H-0	
STREET ADDRESS 752 HORIZON DR. LIC PROPERTY OWNER MICHAEL KRESAK ADD		NTRACTOR BUO'S 516N5 ENSE NO. 2980109 DRESS 1055 UTE AVE. LEPHONE NO. 245-7700	
2. ROOF 2 Squ [] 3. FREE-STANDING 2 Tra 4 or [] 4. PROJECTING 0.5 S	uare Feet per Linear Foot of uare Feet per Linear Foot of affic Lanes - 0.75 Square Feet more Traffic Lanes - 1.5 Square Feet per each Linear 1 \$\fomag{4}\$3 Spacing Requirements; No Internally Illumin	Building Facade et x Street Frontage hare Feet x Street Frontage Foot of Building Facade ot > 300 Square Feet or < 15 Square	uare Feet on-Illuminated
Area of Proposed Sign 45.5 Sc (1,2,4) Building Facade 150 Linear F (1-4) Street Frontage 240 Linear F (2,4,5) Height to Top of Sign 14 Fec (5) Distance from all Existing Off-Premise	eet eet Clearance to Grade O	Feet Feet	
Existing Signage/Type:		● FOR OFFICE USE ONLY ●	
FREESTANDING (RAMADA)	/88 Sq. Ft.	Signage Allowed on Parcel: Torizon Dr.	
Frust WALL (RAMADA)	32 Sq. Ft.	Building	Sq. Ft.
Frusia WAU (ARVINS)	/5 Sq. Ft.	Free-Standing	Sq. Ft.
Total Existing:	235 Sq. Ft.	Total Allowed:	Sq. Ft.
COMMENTS:			
NOTE: No sign may exceed 300 square fe proposed and existing signage including type and locations. A SEPARATE PERMIT FE	es, dimensions, lettering, a	abutting streets, alleys, easemen	nts, property lines,

(White: Community Development)

Applicant's Signature

(Canary: Applicant)

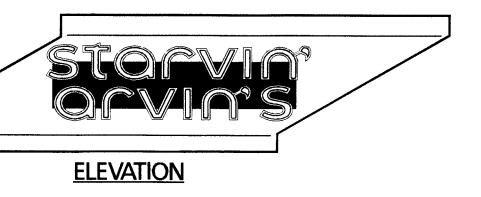
(Pink: Building Dept)

Community Development Approval

(Goldenrod: Code Enforcement)



16" OPEN FACE CHANNEL LETTERS
4" .040 ALUMINUM RETURNS (BLACK)
15mm RED EXPOSED TUBE NEON
LETTERS PAINTED INSIDE (RED)
RACEWAY PAINTED TO MATCH ROOF (GREEN)



DESIGN PROPERTY OF

