

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 2635 N. 7th St

SQ FT OF BLDG: 2888

SUBDIVISION: \_\_\_\_\_

SQ FT OF LOT: \_\_\_\_\_

FILING # \_\_\_\_\_ BLK # \_\_\_\_\_ LOT # \_\_\_\_\_

NUMBER OF FAMILY UNITS: NA

TAX SCHEDULE NUMBER:  
2945-112-00-971

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION  
\_\_\_\_\_

PROPERTY OWNER: St. Mary's Hosp

USE OF ALL EXISTING BUILDINGS:  
OFFICES ENGINEERING  
OFFICE EDUCATION

ADDRESS: 2635 N. 7th St

PHONE: 244-2273

DESCRIPTION OF WORK AND INTENDED USE:  
RELOCATE Buildings

245-0213

\*\*\*\*\*  
FOR OFFICE USE ONLY  
\*\*\*\*\*

ZONE: RMF-64

FLOOD PLAIN: YES  NO

SETBACKS: F 75' S 10' R 20

GEOLOGIC HAZARD: YES  NO

RIGHT OF WAY: 100'

CENSUS TRACT NUMBER: \_\_\_\_\_

MAXIMUM HEIGHT: 36'

SPECIAL CONDITIONS: Additional ROW  
off 7th & F'rd' per Don Newton C.E.  
Dept. (3' radius)\* will be  
taken care of w/ Bldg Permit  
for hospital addition

PARKING SPACES REQUIRED: N/A

LANDSCAPING/SCREENING: 15% OF  
LAND AREA

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ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

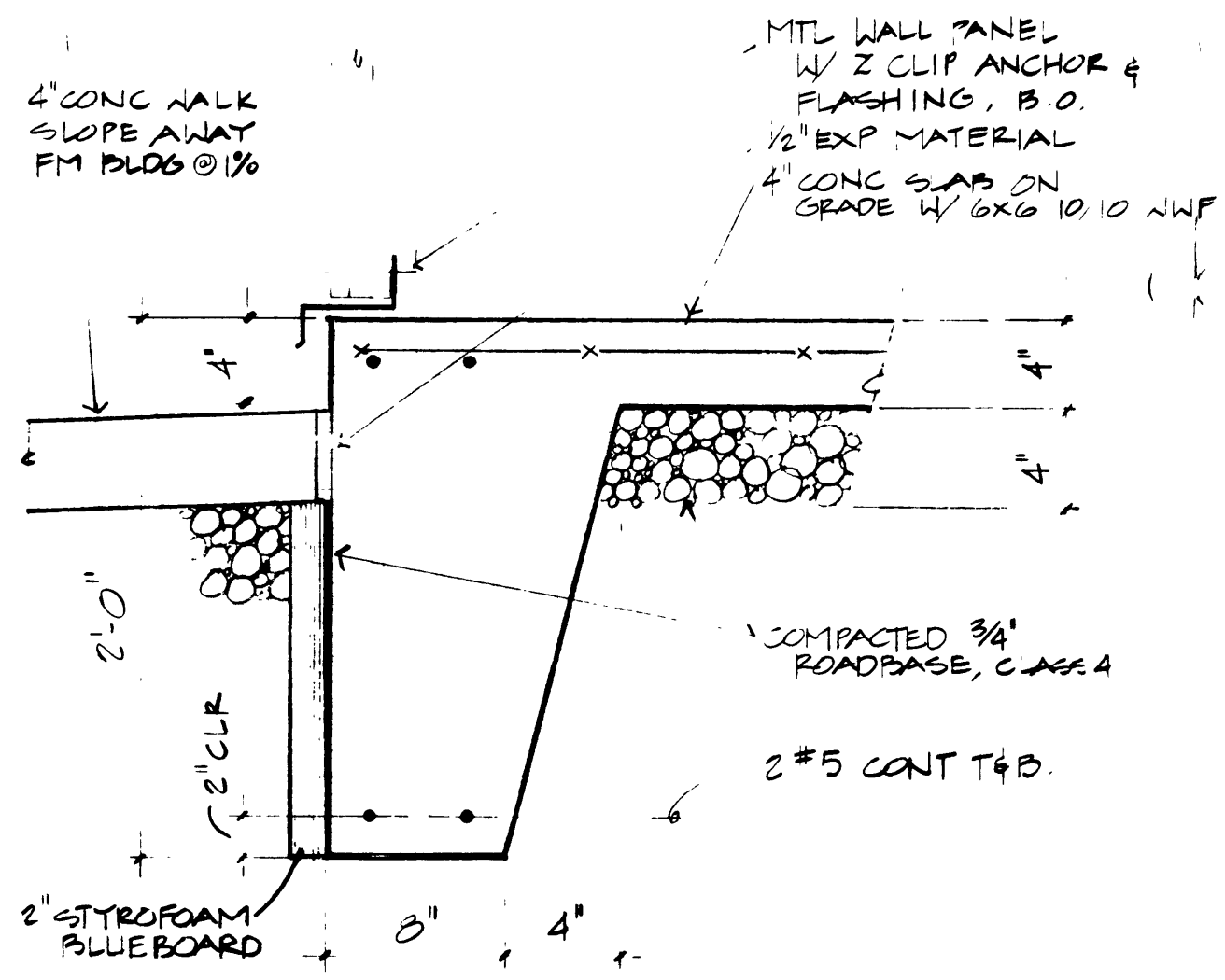
ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

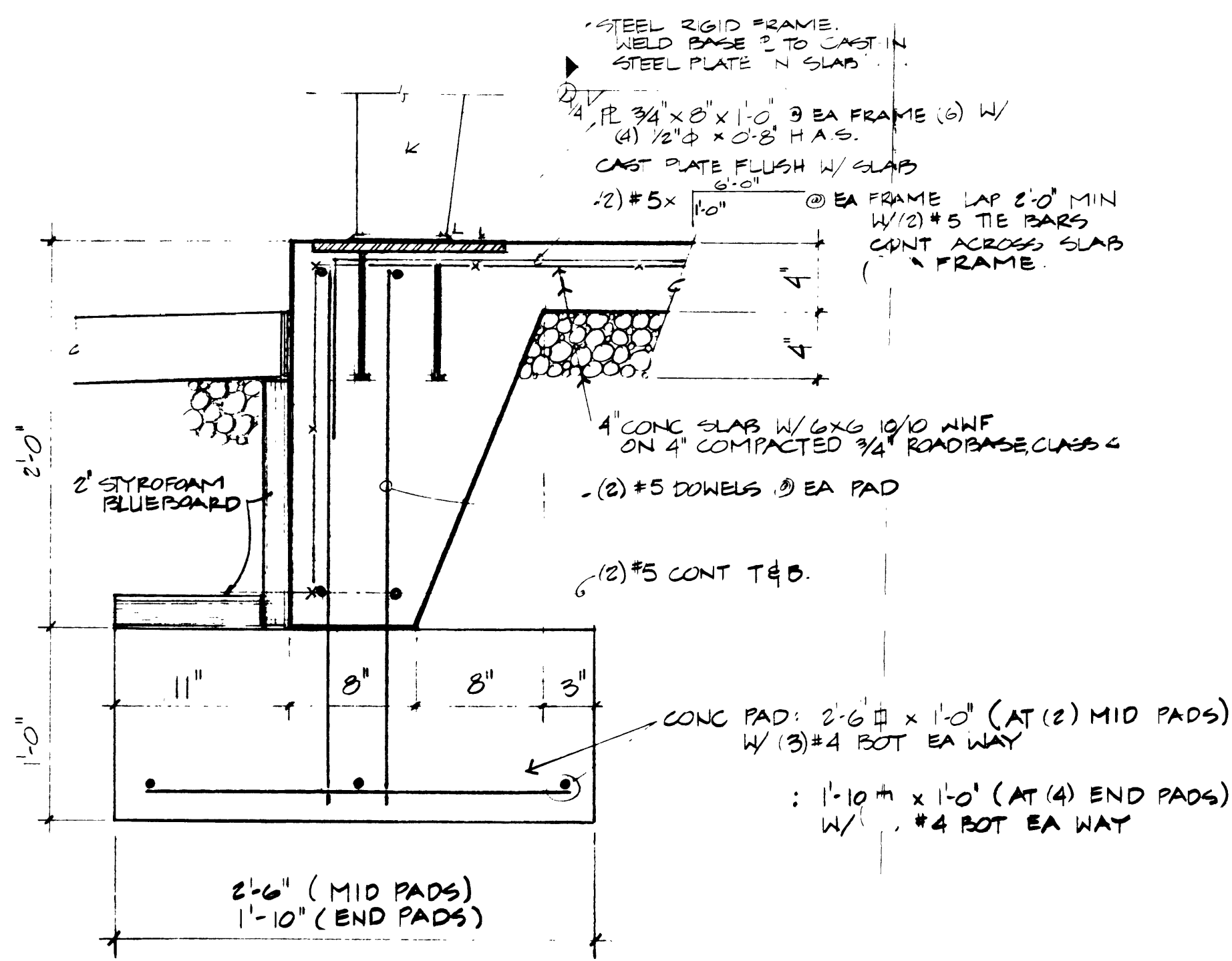
Marc East  
SIGNATURE

DATE APPROVED: 7/27/83

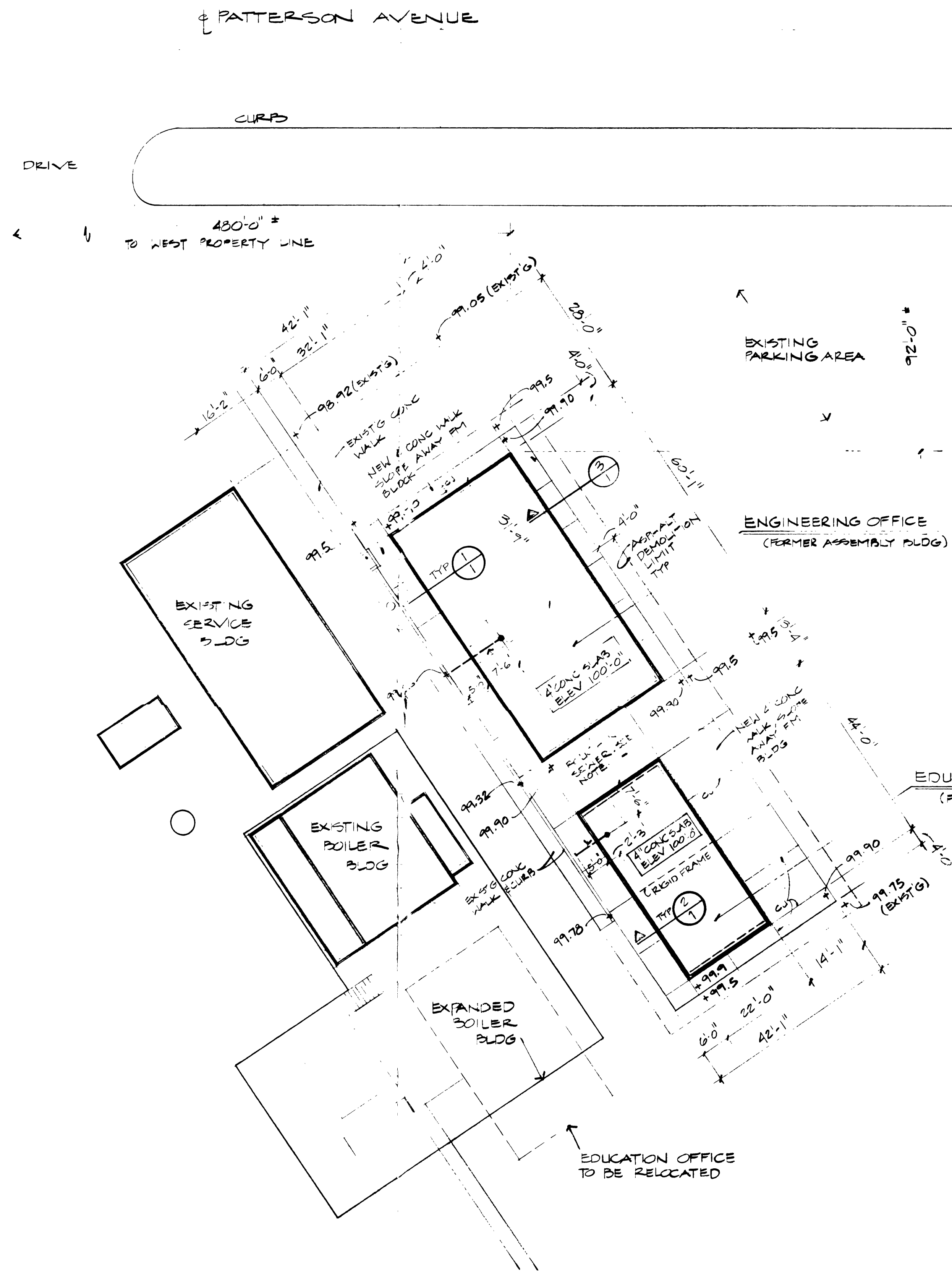
APPROVED BY: Baumer as per SAH



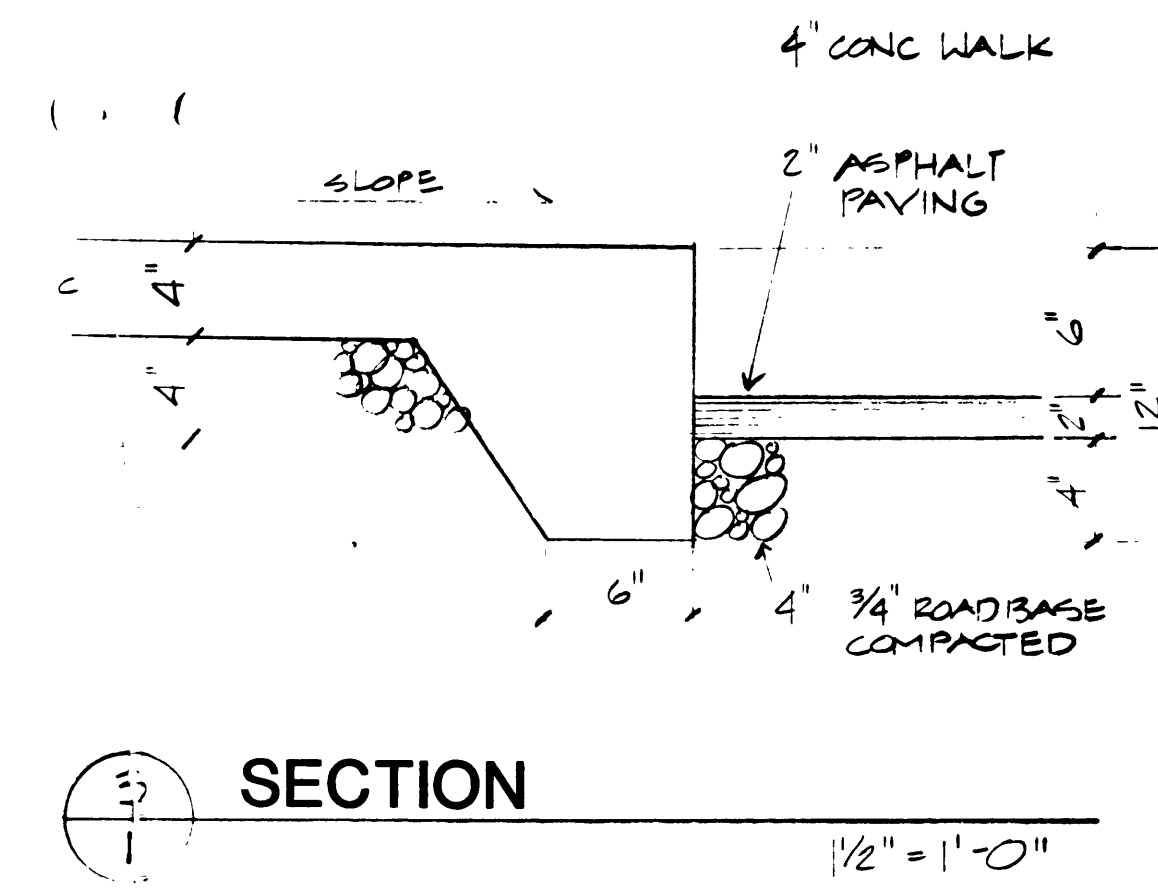
**SECTION 1**  
 1/2" = 1'-0"  
 NOTE: TYPICAL PER MEMBER DETAIL @ ENGINEERING OFFICE



**SECTION 2**  
 1/2" = 1'-0"  
 NOTE: TYPICAL PERIMETER & PAD DETAIL @ EDUCATION OFFICE.



**SITE PLAN**  
 1/6" = 1'-0"  
 NOTE: ROUGH IN 4" CAST IRON SEWER TO 5'-0" OUTSIDE BLDG.  
 DEMO & REMOVE ASPHALT & BASE TO 4'-0" OUTSIDE OF NEW CONG WALK LINE SAWCUT ALL ASPHALT TO BE REMOVED.  
 PATCH ASPHALT BACK BETWEEN EXISTG PAVING (SAWCUT LINE) & NEW CONCRETE WALK/CURB



**SECTION**  
 1/2" = 1'-0"

will lose  
 15 spaces  
 but pick up  
 130 sq new  
 construction

(303) 249-7340  
**ROBERT D. JENKINS/AIA**  
 ARCHITECT  
 620 MAIN ST.  
 GRAND JUNCTION, CO 81502

STATE OF COLORADO  
 BOULEVARD  
 ROBERT D. JENKINS  
 ARCHITECT  
 B-1168  
 GRAND JUNCTION, CO

**ST MARY'S HOSPITAL**  
 EDUCATION AND ENGINEERING OFFICES

JOB NUMBER	DATE
DRAWN BY ROU	
CHECKED BY ROU	
REVISED BY	
DATE OF ISSUE	JUNE 20, 1983
SHEET	1
OF 1	