

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 734 S. 7TH ST.

SQ FT OF BLDG: 24,000

SUBDIVISION: -

SQ FT OF LOT: 80,000

FILING # NA BLK # NA LOT # NA

NUMBER OF FAMILY UNITS: -

TAX SCHEDULE NUMBER:

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION

294523100014

3

PROPERTY OWNER: THE DAILY SENTINEL

USE OF ALL EXISTING BUILDINGS:

ADDRESS: P.O. Box 668

PAPER PRINTING

PHONE: 242-5050

DESCRIPTION OF WORK AND INTENDED USE:

PRESS ROOM ADDITION (PRINTING FACILITY)

FOR OFFICE USE ONLY

ZONE: F2

FLOOD PLAIN: YES NO

SETBACKS: F 55' S 0' R 0'

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: 100'

CENSUS TRACT NUMBER: 8

MAXIMUM HEIGHT: 65'

SPECIAL CONDITIONS: -

PARKING SPACES REQUIRED: As shown

LANDSCAPING/SCREENING: -

AS PER LETTER -> NO C.O. will be issued until an acceptable plan is approved

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

Signature of Mark W. Heressee

SIGNATURE

DATE APPROVED: 11-1-83

APPROVED BY: [Signature]

**Roche
Constructors
Inc**

Post Office Box 1727
Greeley, Colorado 80632

November 1, 1983

City-County Development Dept.
Grand Junction, CO 81501

Attn: Pam

Re: The Daily Sentinel

Dear Pam:

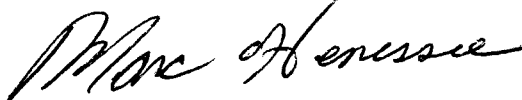
As requested, I am writing this letter to confirm that it is the intent of Roche Constructors, Inc. to conform to all City-County building standards. Roche Constructors, Inc. will submit to you for approval, a revised landscaping drawing scaled @ 1" = 30'. This drawing will show types and location of all trees, shrubbery, bushes, etc.

As I mentioned to you earlier, the architect for this project is in Denver, Colorado, and it will be December 1, 1983 before we will have a drawing to submit to you. However I will try to expedite this situation.

I hope this letter contains sufficient information to allow you to process our application so that we might obtain our building permit and begin construction as soon as possible.

Respectfully Submitted,

ROCHE CONSTRUCTORS, INC.



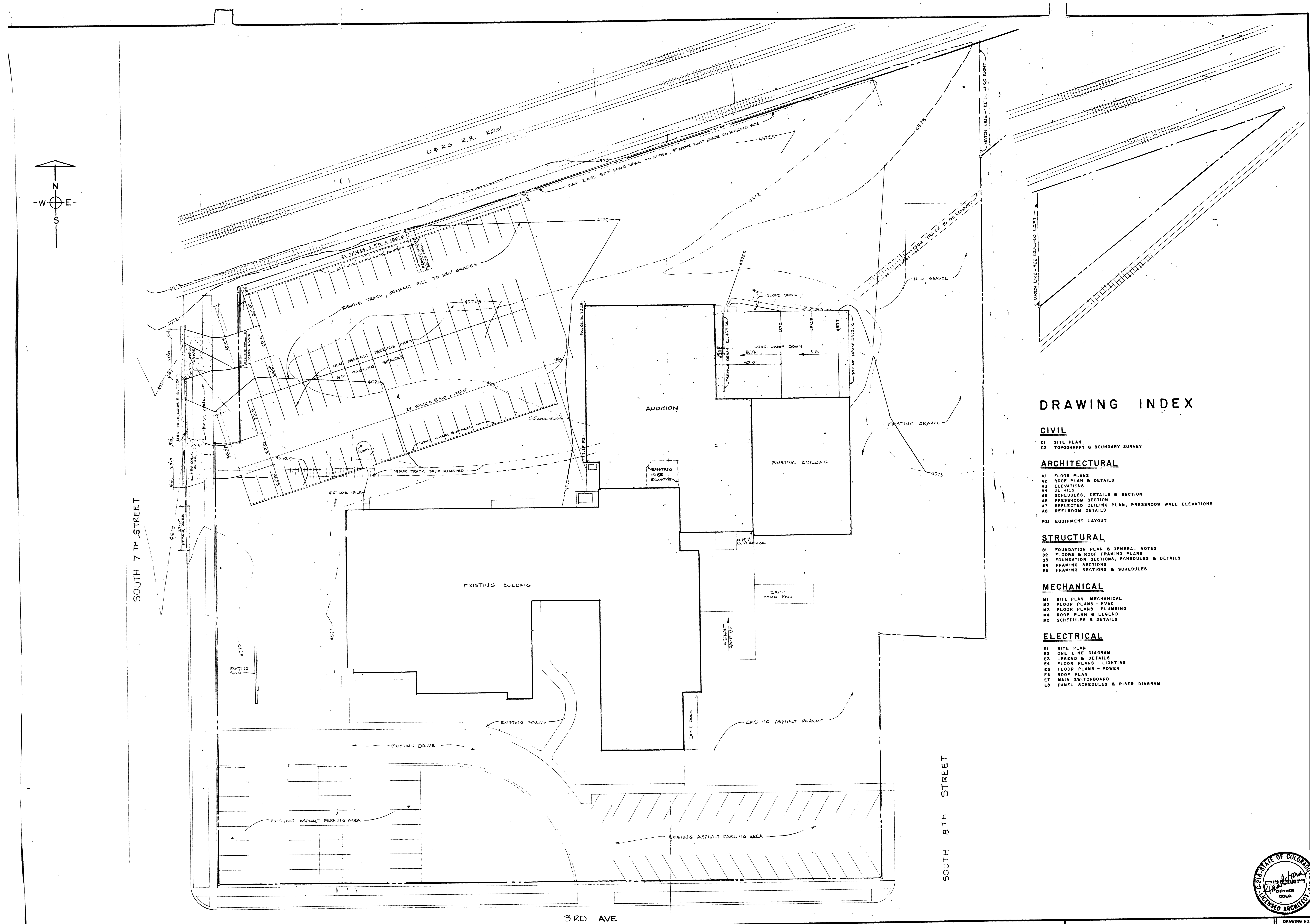
Marc Hennessee
Superintendent

MH/eh

8358C

2424 6th Avenue

Phone (303) 356-3611



DRAWING INDEX

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DENVER DESIGN ASSOCIATES
Engineering Architecture

THE DAILY SENTINEL
GRAND JUNCTION, COLORADO

SITE PLAN
DRAWING NO. C1
JOB NO. SCALE 1"=20'-0" DATE 8-12-83

