

City County

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 222 N. 7th

SQ FT OF BLDG: 4998

SUBDIVISION: CITY OF GRAND JUNCTION

SQ FT OF LOT: 17,500

FILING # — BLK # 93 LOT # 6,7,8,9,10

NUMBER OF FAMILY UNITS: —

TAX SCHEDULE NUMBER: 2945-144-08-002

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION

1

PROPERTY OWNER: JACK WILLIAMS

USE OF ALL EXISTING BUILDINGS:

ADDRESS: 2639 DAHLIA DRIVE

PRINTING SHOP

PHONE: 242-2427 / 242-5291

DESCRIPTION OF WORK AND INTENDED USE:

CONSTRUCTION OF NEW OFFICE BUILDING

FOR OFFICE USE ONLY

ZONE: B-3

FLOOD PLAIN: YES NO

SETBACKS: F 0' S 0' R 0'

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: 100' 7th St / 80' White

CENSUS TRACT NUMBER: 2

MAXIMUM HEIGHT: 40'

SPECIAL CONDITIONS: 1) MUST MAINTAIN

PARKING SPACES REQUIRED: 17

REQUIRED NUMBER OFF PARKING

LANDSCAPING/SCREENING: As per plan

SPACES. (DESIGNATED) 2) SEE

FILE # 8-84-Landscape plan

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

DATE APPROVED: 4/7/84

[Signature]
SIGNATURE

APPROVED BY: [Signature]

December 14, 1984

MR. MICHAEL E. SUTHERLAND
CITY DEVELOPEMENT OFFICER
Grand Junction Planning Department
Grand Junction, Colorado 81501

NOV 14 1984
C.O. Released (2-14-84)

Re: Site improvements at 222 North 7th Street

Dear Mr. Sutherland;

BP # 21555

It is the intent of the writer to comply with the drawings as presented by Portice Construction in regards to the beautification of the corner of the 7th & White area. We have budgeted from \$2,000 to \$4,000 for trees, shubery, grass and sprinkling system. The first step of phase will be completed by June 1, 1985.

As you know, we plan on building and developing three (3) other buildings which will give a court yard effect. In order to market these as rental or condo units, it just makes good sense to make that corner as attractive as possible.

I hope this will answer your request. I would appreciate your releasing the certificate of occupancy as soon as possible.

If I can be of further assistance, please do no hesitate in contacting me.

Best Regards,


JACK WILLIAMS

JW/rk
cc:file

3-20 85: Spoke w/ Mr. Williams re: sidewalk complaints. He indicated that construction on the new building ^{2nd} will begin in May, will install sidewalk as soon as possible after the heavy earth work, etc. is completed.

Nov. 1985: Sidewalk Complete

■ CORPORATE OFFICE
1015 North 7th Street
Grand Junction, Colorado 81501
(303) 242-3647

■ CENTRAL OFFICE
1015 North 7th Street
Grand Junction, Colorado 81501
(303) 242-3647

■ EAST OFFICE
3204 Highway 6 & 24
Clifton, Colorado 81520
(303) 434-8648

■ COLLBRAN OFFICE
5824 Highway 330
Collbran, Colorado 81624
(303) 487-3532



City of Grand Junction, Colorado 81501
250 North Fifth St.,

December 10, 1984

Mr. Patrick Portice
2684 Paradise Way
Grand Junction, CO 81501

RE: Site Improvements at
222 North 7th Street

Dear Mr. Portice:

Your letter of intent for landscape improvements at 222 North 7th Street was forwarded to me. The problems that I have with releasing the Certificate of Occupancy before all improvements have been completed are numerous. My primary reluctance is because a letter of intent from the contractor is seldom a binding contract. I need a signed letter of intent from the property owner. In the past, C.O.'s have been released without specific guarantees, some of which are two years old and compliance has still not been met. Presently, our policy is to require one of the following:

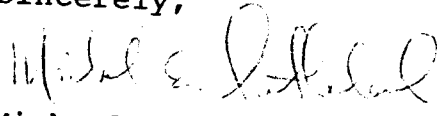
- 1) A letter of intent from the owner of the property which includes completion date and specific scope as to improvements to be made;
- 2) A guarantee for improvements from the financial institution that is backing the project in the form of proof of escrow for the total cost of the remaining improvements (we would prefer to have both #1 and #2);
- 3) A temporary C.O. can be issued until springtime when the remaining improvements can be completed.

From my standpoint, it is best if the permanent C.O. is held until completion, but I will accept alternatives #1 and #2 if the release is absolutely necessary for your benefit.

Mr. Patrick Portice
December 10, 1984
Page 2

If I can answer questions or be of any assistance, please
feel free to contact me at 244-1628.

Sincerely,



Michael E. Sutherland
City Development Officer

MES/tt

xc: Mr. Jack Williams

November 27, 1984

Portice Construction Company
2684 Paradise Way
Grand Junction, Colorado 81501

TO WHOM IT MAY CONCERN:

Portice Construction Company agrees to provide landscaping for 222 North 7th Street, Building "A," Landscaping will include underground sprinkling for grass area of 1,810 square feet on the west and north sides of the building. Parking lot island landscaping to be washed rock "cobblestone."

Portice Construction Company agrees to provide this landscaping on or before May 1, 1985, weather permitting.

Sincerely,


Patrick Portice

243-3373

BP# 21555

WHITE AVE. 80' R.O.W.

ES: CONTRACTOR
WISH ON SITE REFERENCE
FOR CONSTRUCTION
AND ELEVATIONS

TYPICAL
PO-UP
SPRINKLER
REMOVE
EXISTING
CURB-CUT

EXISTING 15' UTILITY EASEMENT

EXISTING
CURBLINE

CONCRETE APRON

EXISTING WATER METER

GRASS
LANDSCAPE

REMOVE GRAVEL COVERED
CONCRETE SLAB

15'-6" LANDSCAPE
BLEND APRON
WITH SIDEWALK

SIDEWALK PER CITY SPECS

BUILDING 'A'
PHASE 1

FIN. FLR. REF. 100'-0"

UTILITY METER PAD
SEE PLAN, SHEET A1

EXTERIOR STAIRWELL
SEE: C/A-B

FUTURE
BLOC B.
PHASE 2

4' WIDE PAVER WALK

GRASS
LANDSCAPED
AREA

EXISTING U.G. GAS
TANK W/ VENT

LIGHT POLE
ISLAND

FUTURE PL
AND DRIV

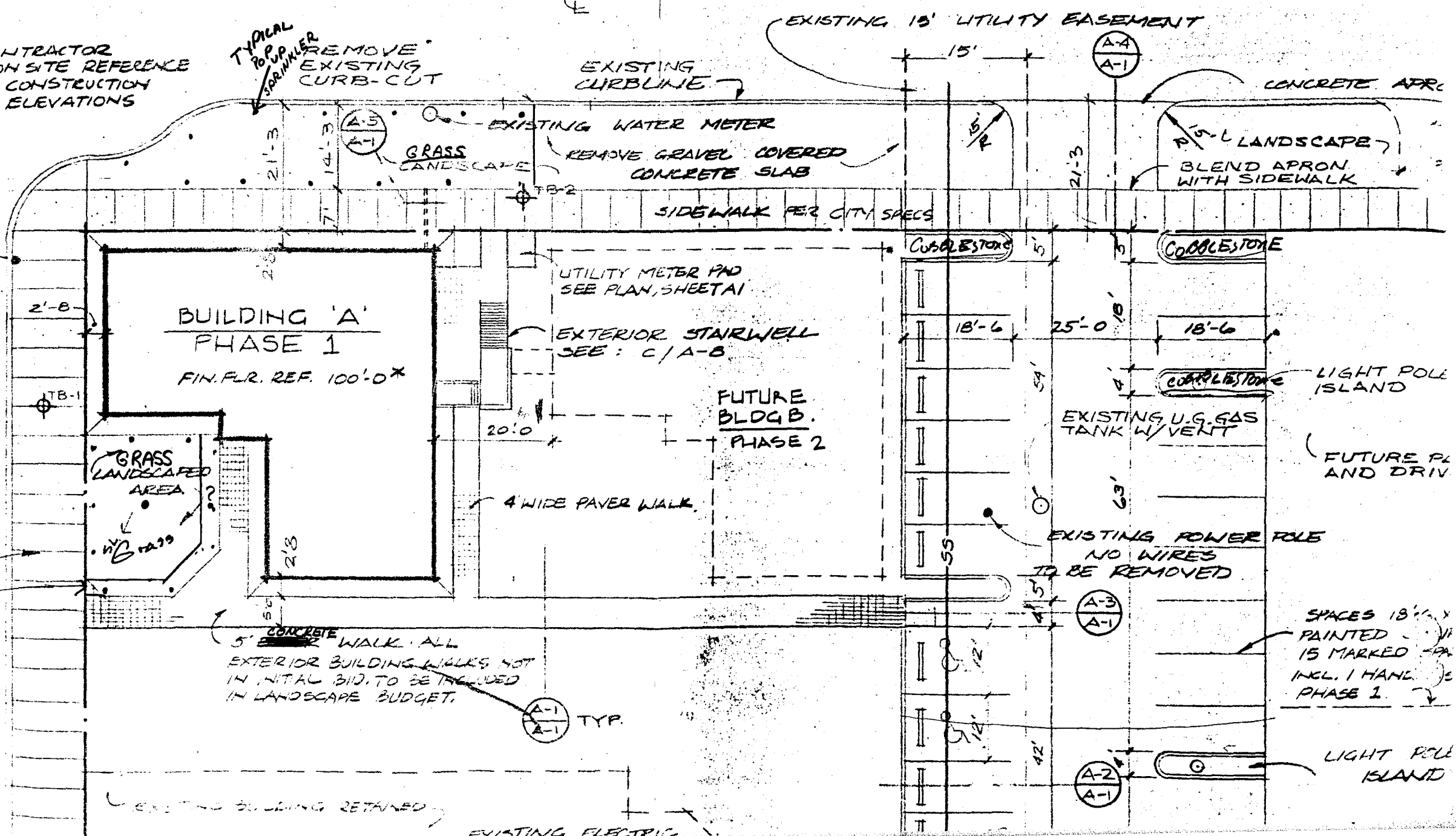
EXISTING POWER POLE
NO WIRES
TO BE REMOVED

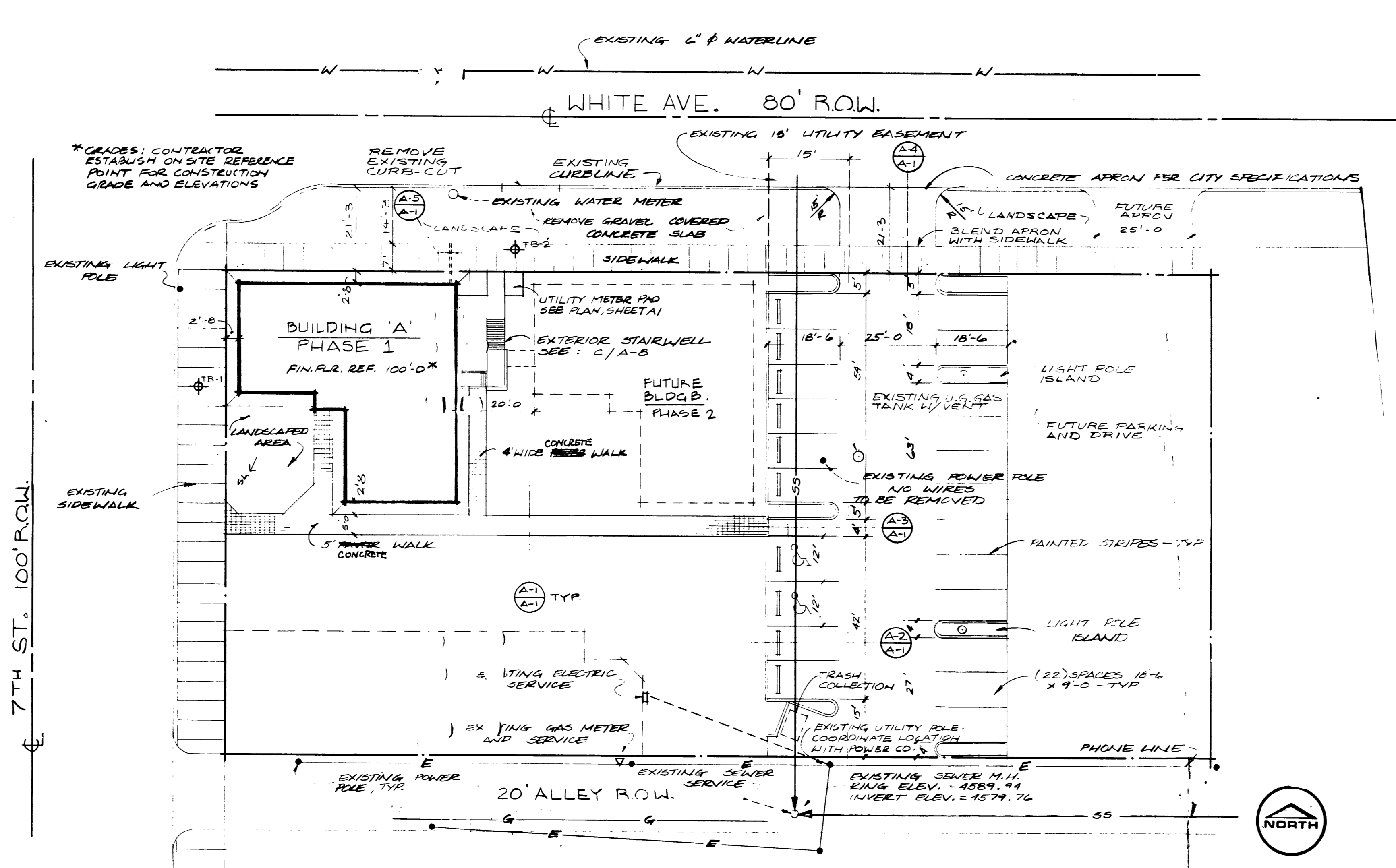
5' CONCRETE WALK ALL
EXTERIOR BUILDING WALKS NOT
IN INITIAL BID TO BE INCLUDED
IN LANDSCAPE BUDGET.

SPACES 13'-11/2" X
15 MARKED FOR
INCL. 1 HANG
PHASE 1.

LIGHT POLE
ISLAND

Possible
bushes
later.





B SITE & GRADING PLAN
SCALE: 1" = 20'

LEGAL DESCRIPTION:
LOTS 6, 7, 8, 9, 10, 11, 12, 13, AND 14, INCLUDING THE 1/8' VACATED ALLEY BETWEEN LOTS 6 AND 10 AND LOT 11 OF BLOCK 93, CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO STREET ADDRESS 222 7TH AVENUE, G.R. COLORADO 80201

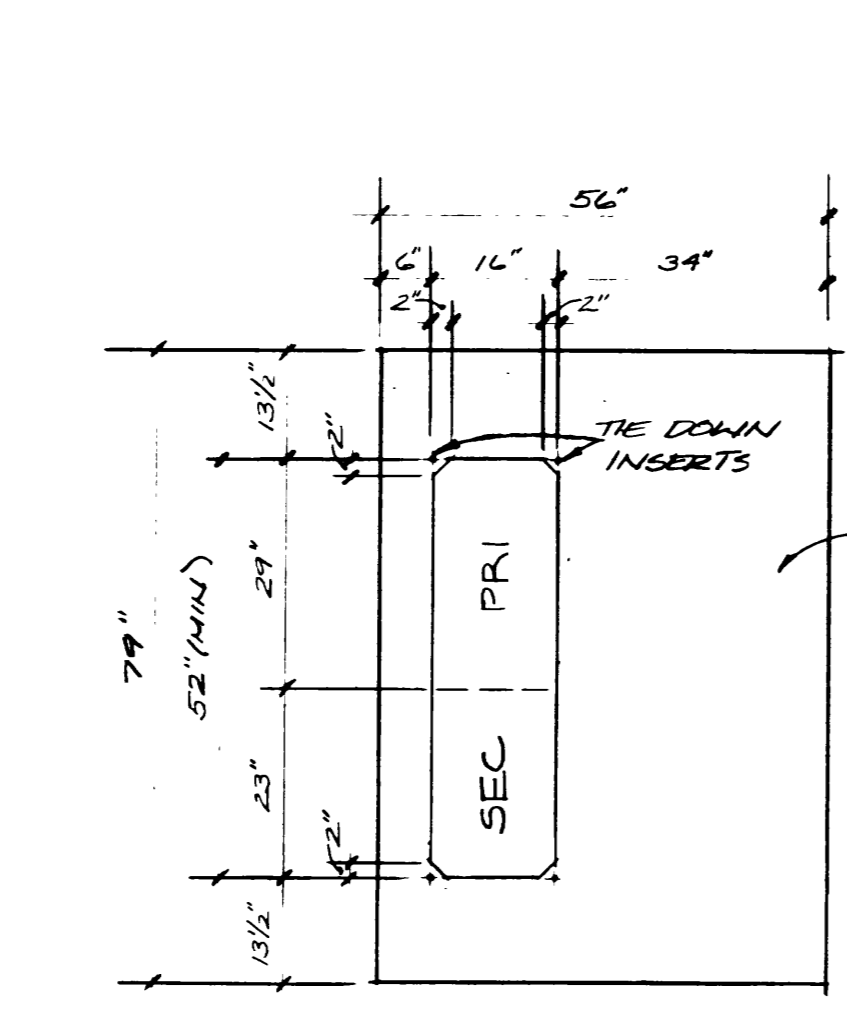
BUILDING A - phase 1

- BUILDING CLASSIFICATION: B2, TYPE V
- PERMITTED CONSTRUCTION

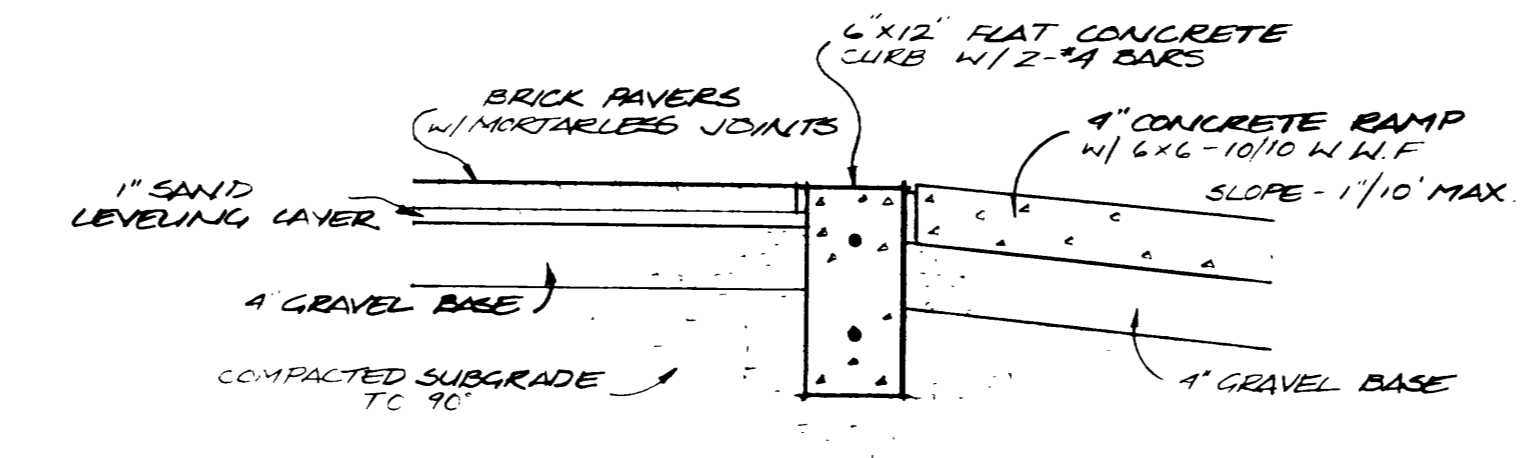
AREAS AND SQUARE FOOTAGE

FLOOR:	COMMON AREA	LEASE SPACE	TOTAL
FIRST FLOOR:	COMMON AREA	365 S.F.	2613 S.F.
	LEASE SPACE	2128 S.F.	
SECOND FLOOR:	COMMON AREA	268 S.F.	2485 S.F.
	LEASE SPACE	2217 S.F.	
TOTAL :			2485 S.F.

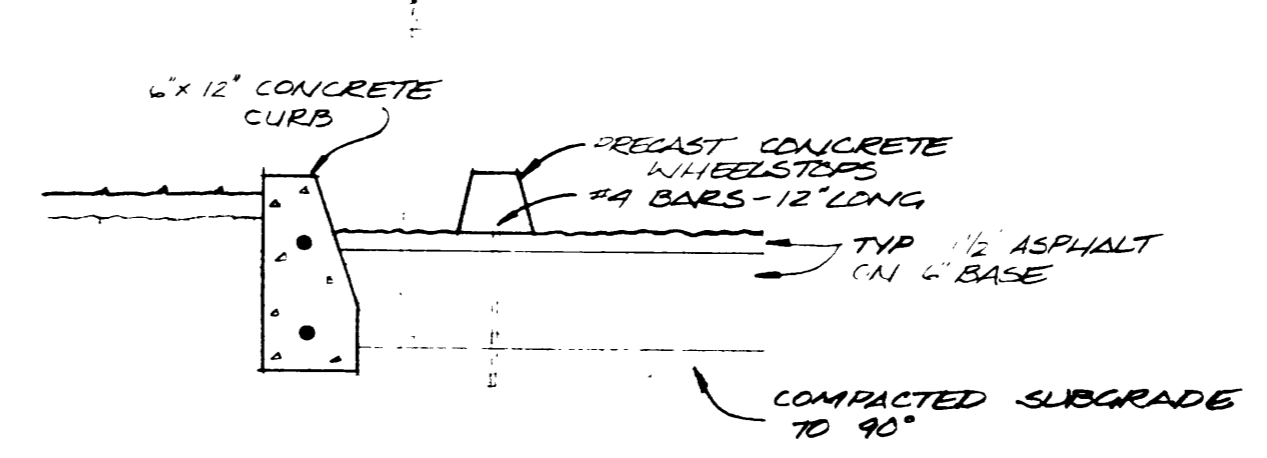
TOTAL BUILDING AREA: 4998 S.F.



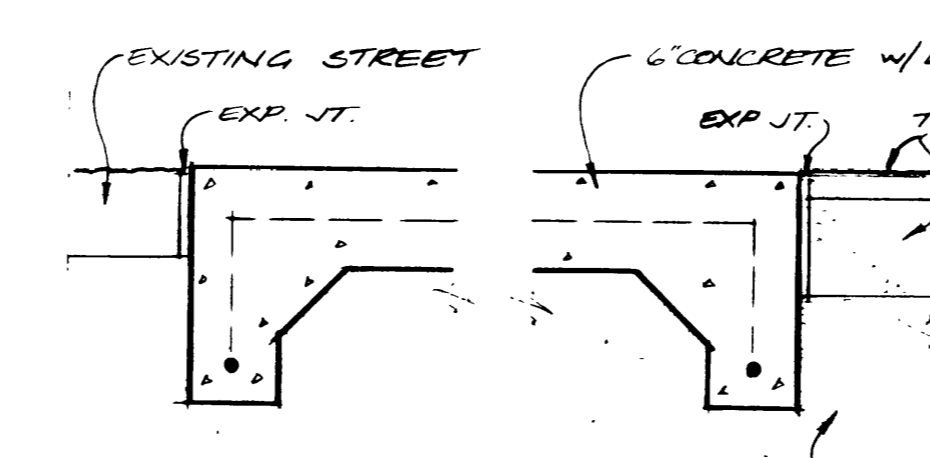
CONCRETE TRANSFORMER PAD PLAN
SCALE: 1/2" = 1'-0"
CONSTRUCT PER UTILITY COMPANY REQUIREMENTS
COORDINATE WITH SHEET E2-5 AND SPECIFICATIONS SEC. 3



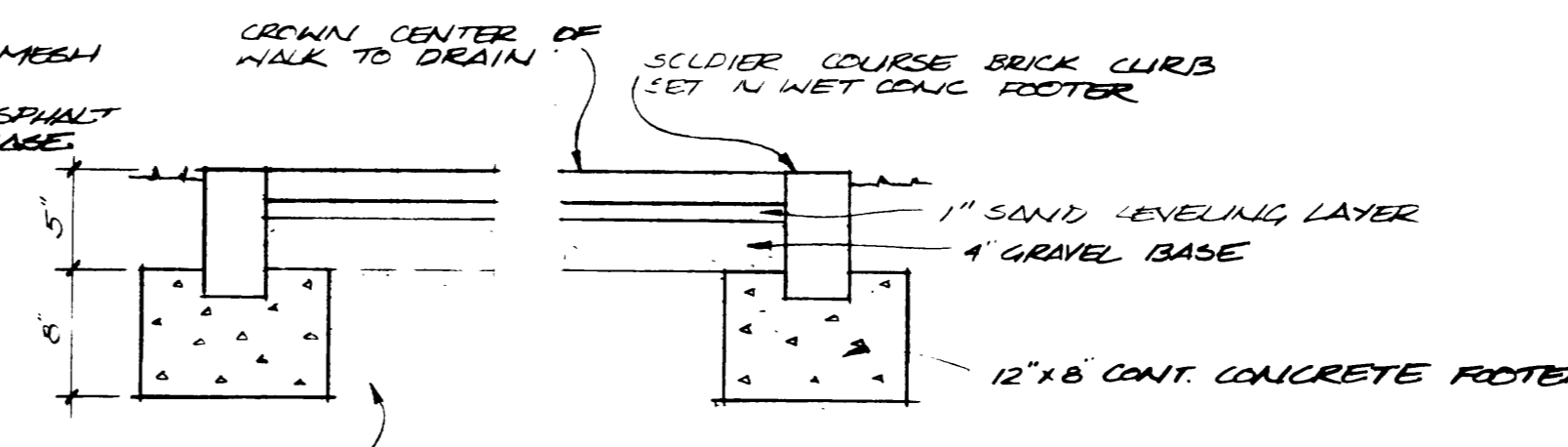
CURB & RAMP
SCALE: 1" = 1'-0"



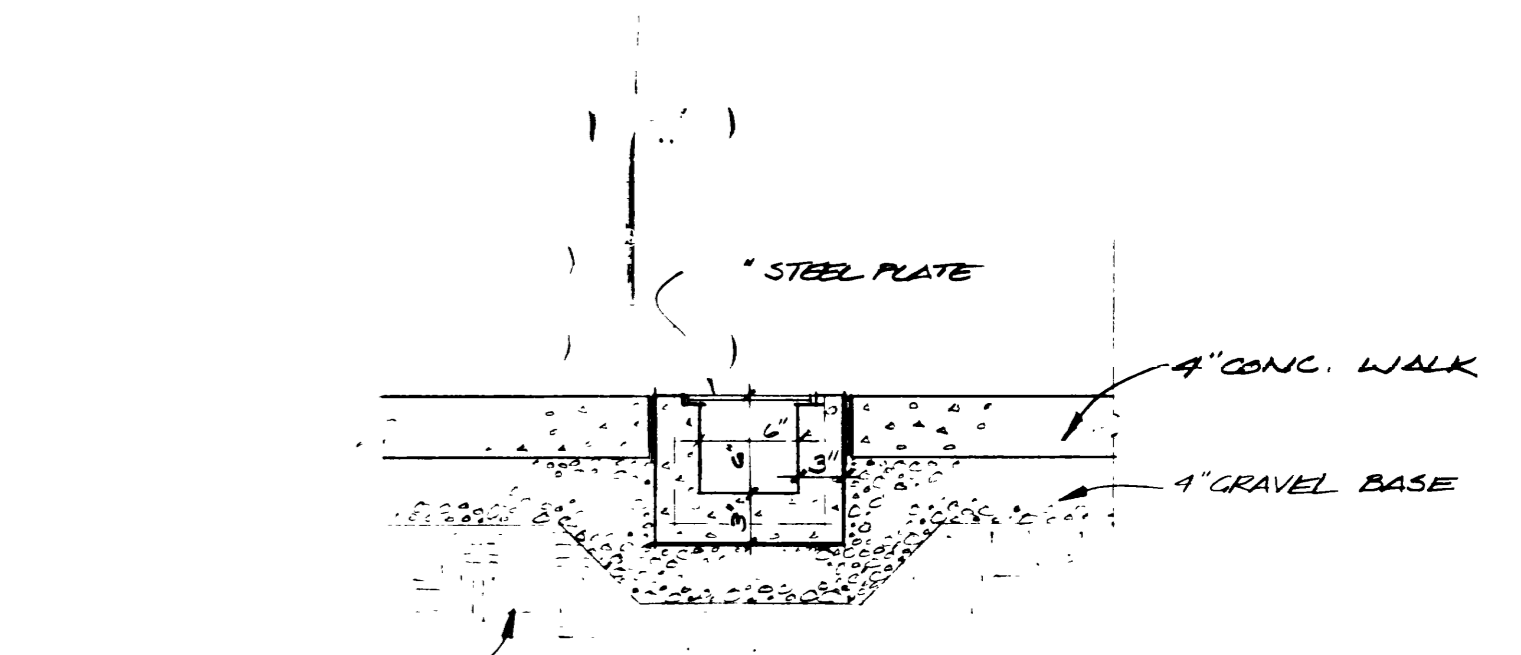
GUTTER & CURB STOP
SCALE: 1" = 1'-0"



ENTRY APRON
SCALE: 1" = 1'-0"



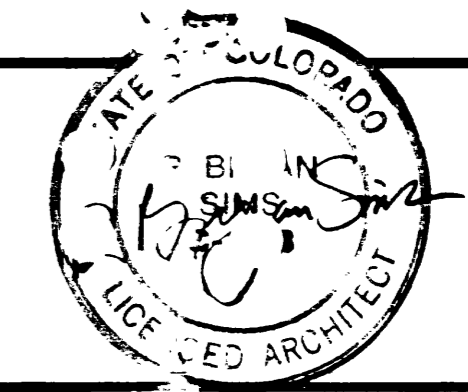
PAVER SIDEWALK
SCALE: 1" = 1'-0"



SIDEWALK CULVERT
SCALE: 1" = 1'-0"

CURB & GUTTER DETAILS
SCALE: 1" = 1'-0"

222 PROFESSIONAL PLAZA
Seventh Street and White Avenue
Grand Junction, Colorado



Design Specialists
ARCHITECTS AND PLANNERS
700 Box 2982
Grand Junction, Colorado 81502
973.546.7728

JOB: 22-1083	DESIGN: EAS/AAB
DETAIL: EAS/CPM	CHECKED: R. [Signature]
DATE: 6/20/24	SHEET: 1

REVISIONS
1. EAS/AAB
01/20/24