

City  County

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 2356 N 7<sup>th</sup>

SQ FT OF BLDG: 9700 FT.

SUBDIVISION: \_\_\_\_\_

SQ FT OF LOT: \_\_\_\_\_

FILING # \_\_\_\_\_ BLK # \_\_\_\_\_ LOT # \_\_\_\_\_

NUMBER OF FAMILY UNITS: \_\_\_\_\_

TAX SCHEDULE NUMBER: 2945-111-02-004

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION \_\_\_\_\_

PROPERTY OWNER: Dr Broderson

USE OF ALL EXISTING BUILDINGS: \_\_\_\_\_

ADDRESS: 2356 N 7<sup>th</sup>

Dr Office

PHONE: \_\_\_\_\_

DESCRIPTION OF WORK AND INTENDED USE:

Addition For Dr Offices

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FOR OFFICE USE ONLY

\*\*\*\*\*

ZONE: B-1

FLOOD PLAIN: YES NO

SETBACKS: F 65 S 0 R 0

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: \_\_\_\_\_

CENSUS TRACT NUMBER: 5

MAXIMUM HEIGHT: 40

SPECIAL CONDITIONS: \_\_\_\_\_

PARKING SPACES REQUIRED: \_\_\_\_\_

LANDSCAPING/SCREENING: \_\_\_\_\_

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ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

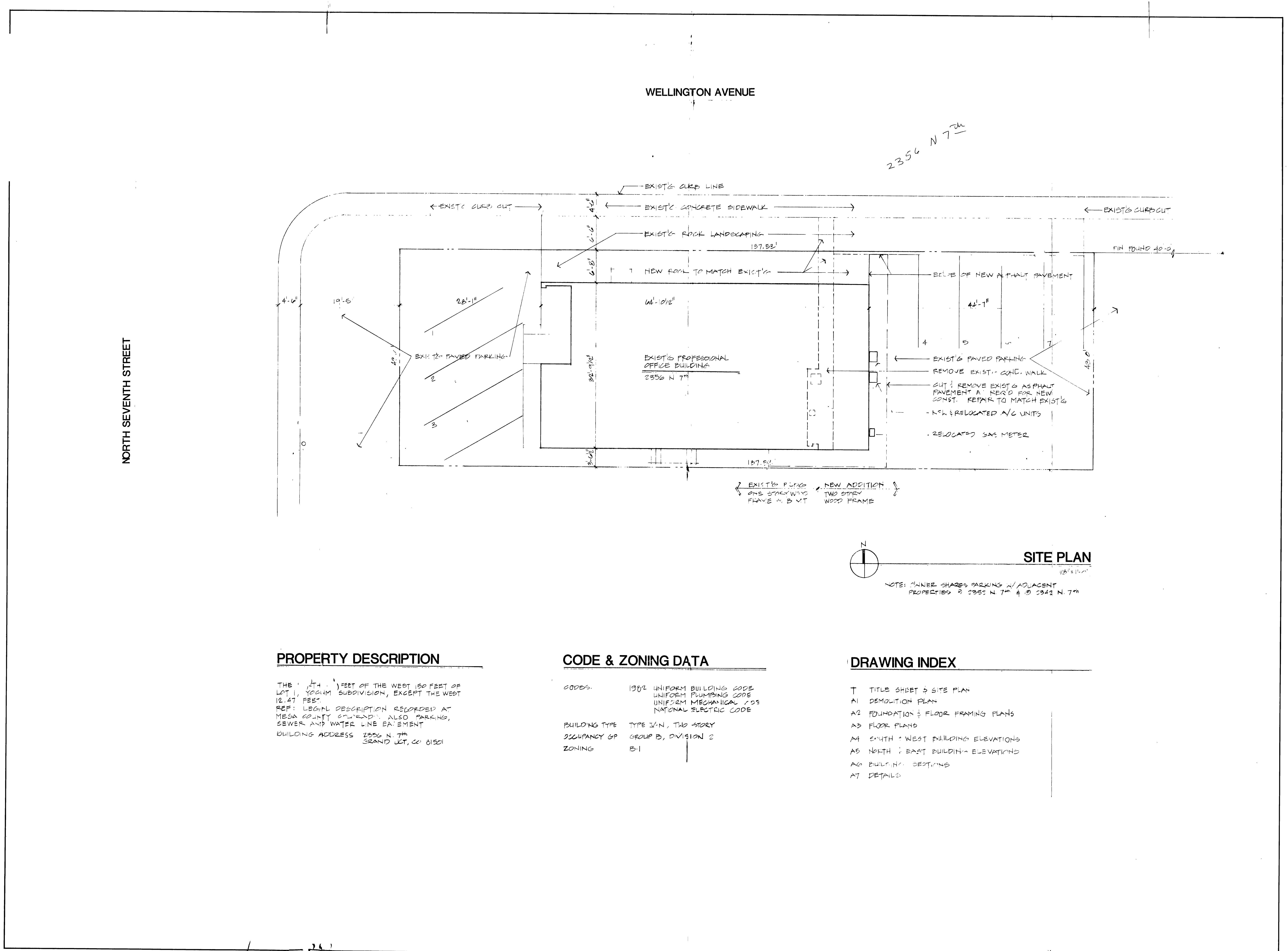
ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

DATE APPROVED: 6/1/84

Jim Wilson  
SIGNATURE

APPROVED BY: [Signature]



**SITE PLAN**  
 12/2/03  
 NOTE: OWNER SHARES PARKING W/ ADJACENT PROPERTIES @ 2355 N 7TH & @ 2342 N 7TH

**PROPERTY DESCRIPTION**

THE 7TH FEET OF THE WEST 180 FEET OF LOT 11, YOCUM SUBDIVISION, EXCEPT THE WEST 12.47 FEET.  
 REF: LEGAL DESCRIPTION RECORDED AT MESA COUNTY CLERK'S OFFICE. ALSO PARKING, SEWER AND WATER LINE EASEMENT.  
 BUILDING ADDRESS 2356 N 7TH GRAND JCT, CO 81501

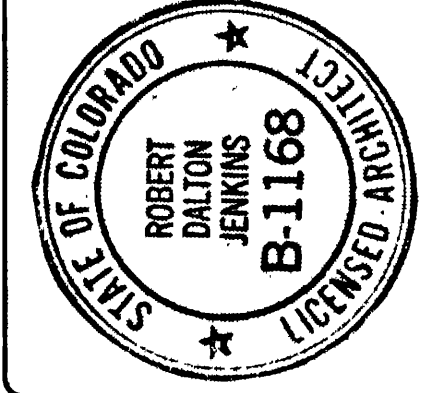
**CODE & ZONING DATA**

CODES: 1902 UNIFORM BUILDING CODE  
 UNIFORM PLUMBING CODE  
 UNIFORM MECHANICAL CODE  
 NATIONAL ELECTRIC CODE  
 BUILDING TYPE TYPE 3-A-N, TWO STORY  
 OCCUPANCY GROUP B, DIVISION 2  
 ZONING B-1

**DRAWING INDEX**

- T TITLE SHEET & SITE PLAN
- A1 DEMOLITION PLAN
- A2 FOUNDATION & FLOOR FRAMING PLANS
- A3 FLOOR PLANS
- A4 SOUTH - WEST BUILDING ELEVATIONS
- A5 NORTH - EAST BUILDING ELEVATIONS
- A6 BUILDING SECTIONS
- A7 DETAILS

(801) 243-7340  
 ROBERT D. JENNINS/AIA  
 ARCHITECT  
 630 MAIN ST.  
 GRAND JUNCTION, CO 81502



**BBF**

**BRODERSON, BROWNSON & FUGATE**  
 OFFICE ADDITION  
 GRAND JUNCTION, COLORADO

JOB NUMBER	DATE
8347	11/03
DRAWN BY	
SAR	
CHECKED BY	
ROU	
REVISED BY	
DATE OF ISSUE	
12/2/03	

SHEET **T**  
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