

City County

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 2026 NO. 9TH

SQ FT OF BLDG: 528

SUBDIVISION: College Sub-Division

SQ FT OF LOT: 14,000

FILING # 1124 BLK # C LOT # 7

NUMBER OF FAMILY UNITS: _____

TAX SCHEDULE NUMBER:
2945-111-08-012

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION

PROPERTY OWNER: Lloyd Rodriguez

ONE STORY FRAME HOUSE

ADDRESS: 2129 NO. 9TH

USE OF ALL EXISTING BUILDINGS:

PHONE: 245-2618

DESCRIPTION OF WORK AND INTENDED USE:

ONE STORY FRAME
TWO CAR GARAGE

FOR OFFICE USE ONLY

ZONE: RSF 8

FLOOD PLAIN: YES NO

SETBACKS: F 20 S 5/5 R 15

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: _____

CENSUS TRACT NUMBER: 5

MAXIMUM HEIGHT: _____

SPECIAL CONDITIONS: T2-47

PARKING SPACES REQUIRED: _____

LANDSCAPING/SCREENING: _____

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

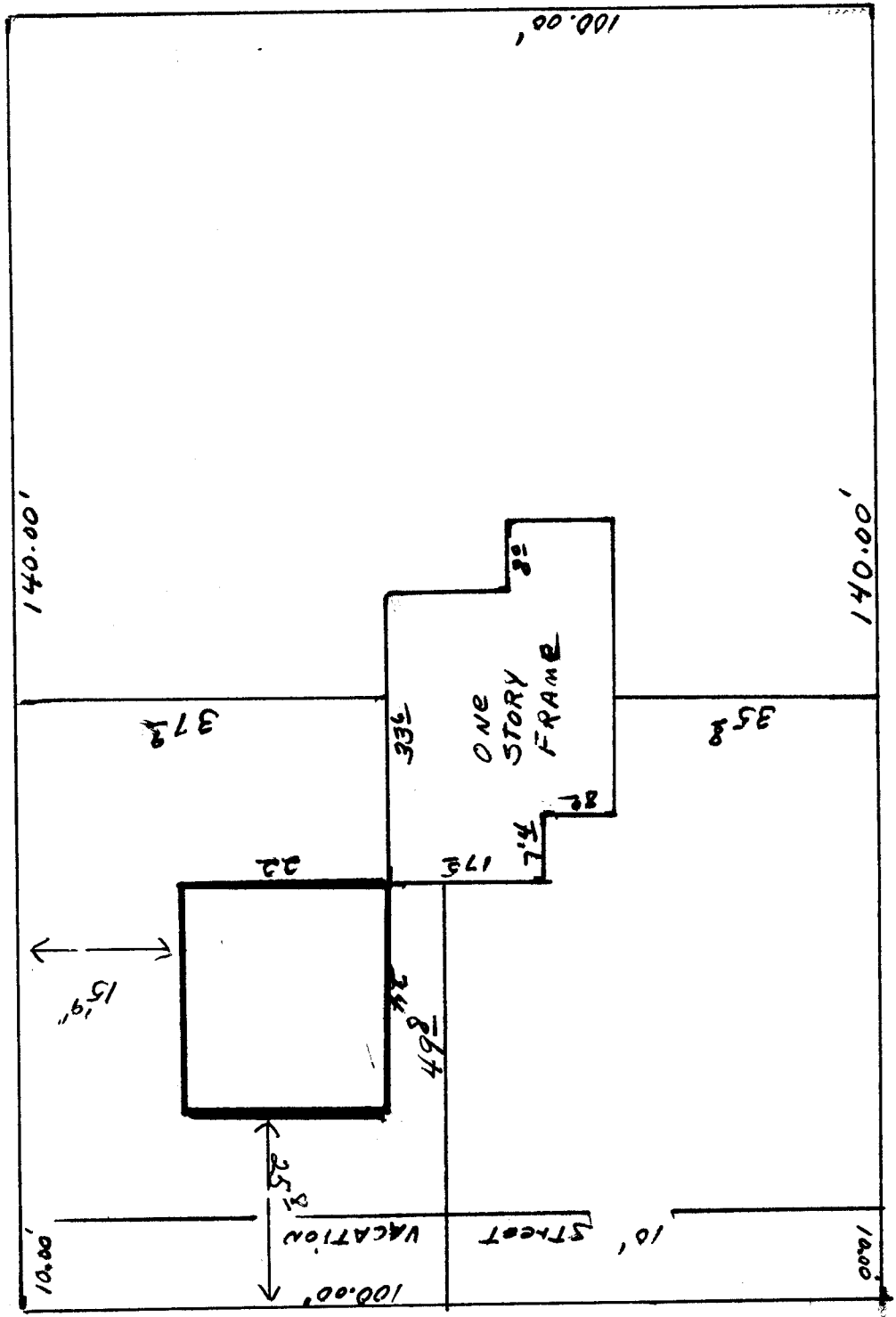
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

DATE APPROVED: 10/22/84

Lloyd Rodriguez
SIGNATURE

APPROVED BY: _____

FD



Walnut