

City County

PLAN # 21750

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 1715 Nth 18th

SQ FT OF BLDG: 1474

SUBDIVISION: _____

SQ FT OF LOT: 5,995

FILING # _____ BLK # 3 LOT # 20

NUMBER OF FAMILY UNITS: 1

TAX SCHEDULE NUMBER: _____

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION

2945-123-08-008-0

1

PROPERTY OWNER: Azall Chase

USE OF ALL EXISTING BUILDINGS:

ADDRESS: 1715 Nth 18th

Leaving quarters

PHONE: 2431216

DESCRIPTION OF WORK AND INTENDED USE:

Repair existing ^{patio} ~~garage~~ TO

building codes. Tear fiberglass roof and replace with cdx plywood and roofing.

FOR OFFICE USE ONLY

ZONE: RSE-8

FLOOD PLAIN: YES NO

SETBACKS: F 20' S 5' R 15'

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: 60'

CENSUS TRACT NUMBER: 6

MAXIMUM HEIGHT: 32'

SPECIAL CONDITIONS: MUST

PARKING SPACES REQUIRED: N/A

REMAIN OPEN AND

LANDSCAPING/SCREENING: N/A

UNCOVERED

* ACCESSORY SETBACKS
3' SIDE

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

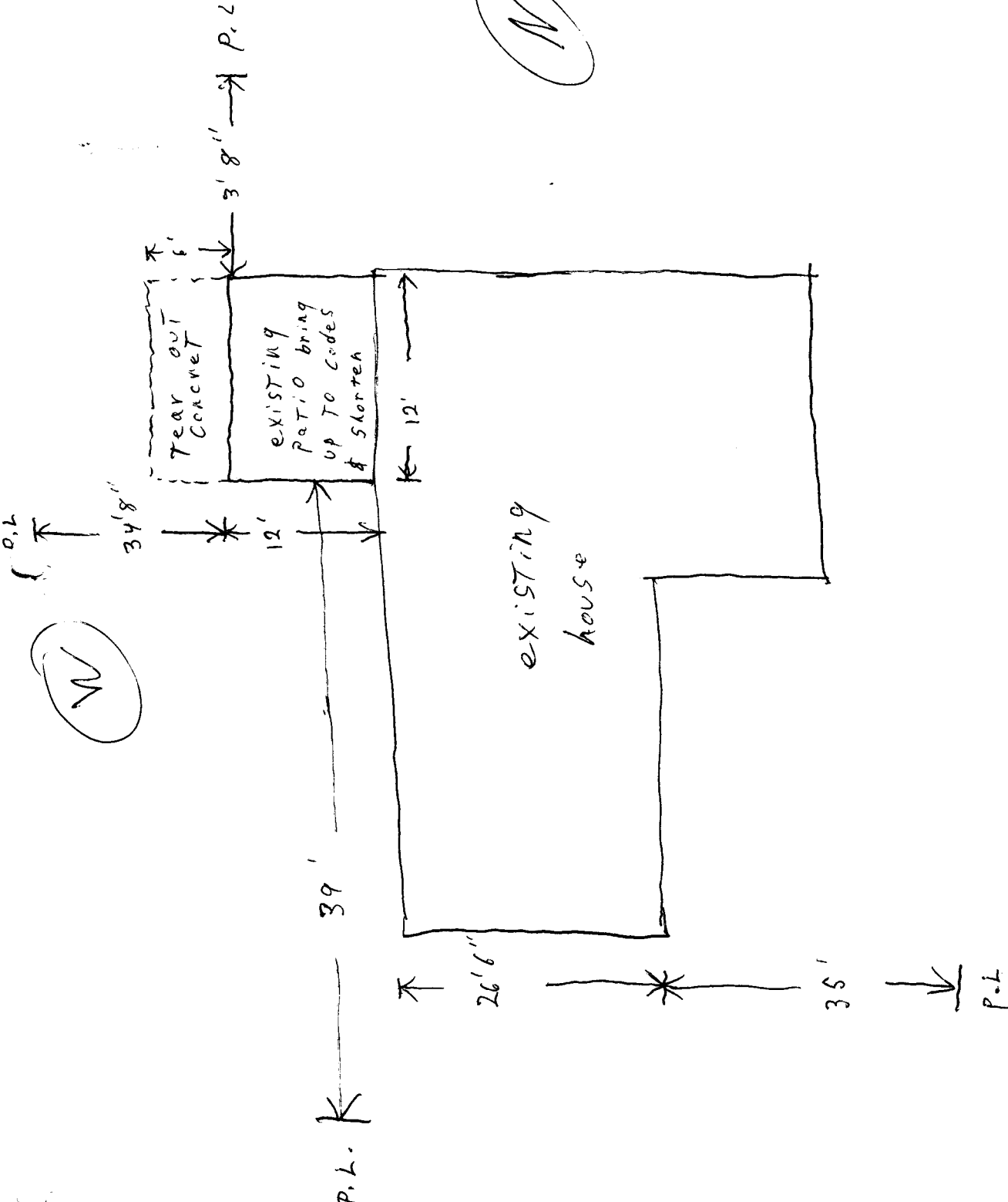
ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

DATE APPROVED: 9-7-84

Jase Vallega
SIGNATURE

APPROVED BY: JMAS



(E) Front

(S)