

City County

APPLICATION FOR THE PLANNING CLEARANCE FOR A BUILDING PERMIT

SUBMITTALS REQUIRED: (2) Plot Plans showing Parking, Landscaping, Setbacks to all property lines, and all streets which abut the parcel:

BLDG ADDRESS: 674 23 ROAD

SQ FT OF BLDG: 200 SF

SUBDIVISION: _____

SQ FT OF LOT: 2500 SF

FILING # _____ BLK # _____ LOT # _____

NUMBER OF FAMILY UNITS: 0

TAX SCHEDULE NUMBER: 2945-052-00-003

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION

PROPERTY ~~LEADER~~ MOUNTAIN BELL

USE OF ALL EXISTING BUILDINGS: _____

ADDRESS: _____

PHONE: _____

DESCRIPTION OF WORK AND INTENDED USE:

CONSTRUCTION OF UNOCCUPIED RELAY STATION

FOR OFFICE USE ONLY

ZONE: C

FLOOD PLAIN: YES NO

SETBACKS: F 2/10' S 0' R 20'

GEOLOGIC HAZARD: YES NO

RIGHT OF WAY: 2/60'

CENSUS TRACT NUMBER: 9

MAXIMUM HEIGHT: N/A

SPECIAL CONDITIONS: COJ-81

PARKING SPACES REQUIRED: N/A

LANDSCAPING/SCREENING: N/A

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED IN WRITING BY THIS DEPARTMENT.

THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (CO) IS ISSUED BY THE BUILDING DEPARTMENT (Section 307, Uniform Building Code).

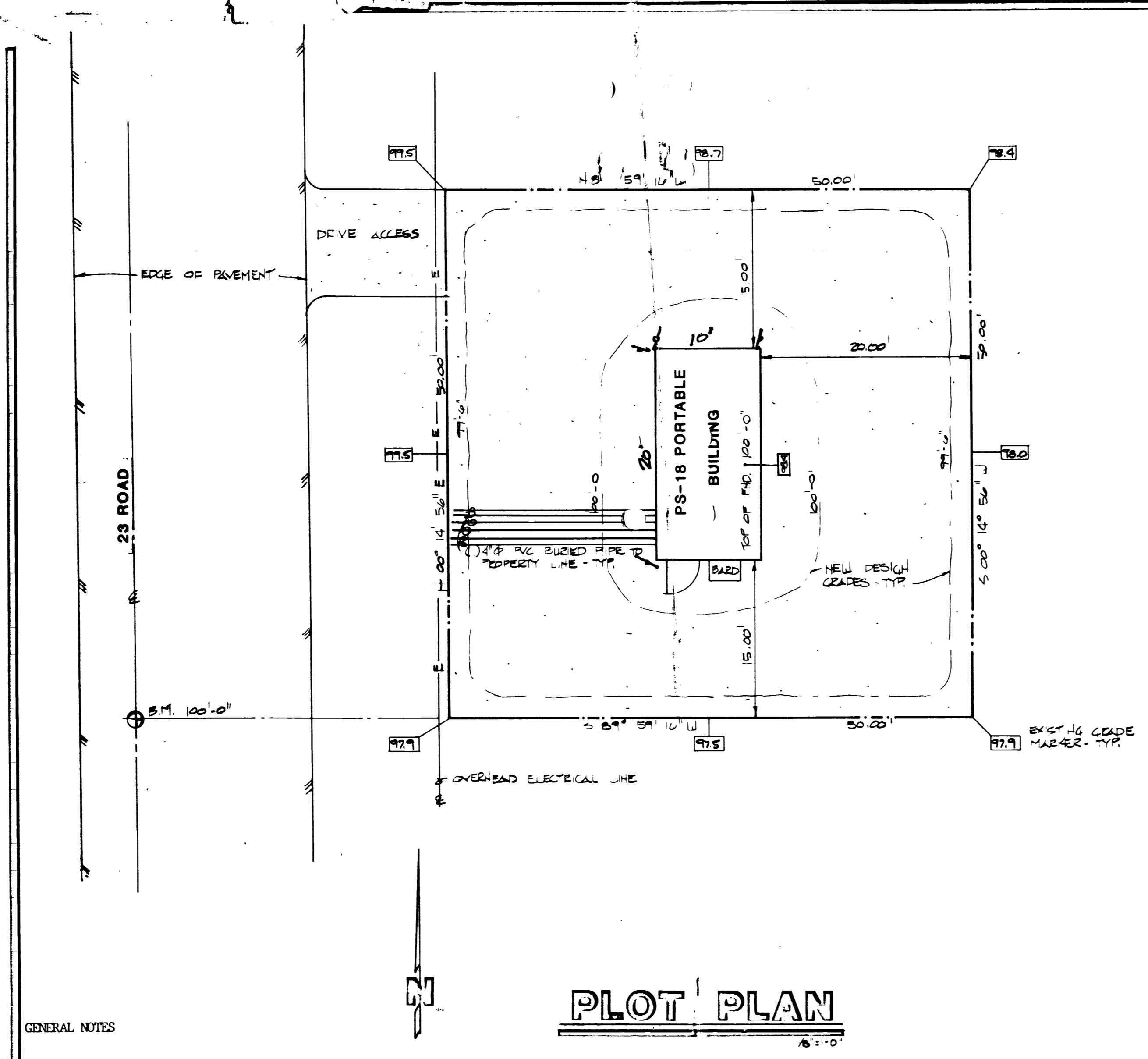
ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AND HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

Michael Downing
SIGNATURE

DATE APPROVED: 7-31-84

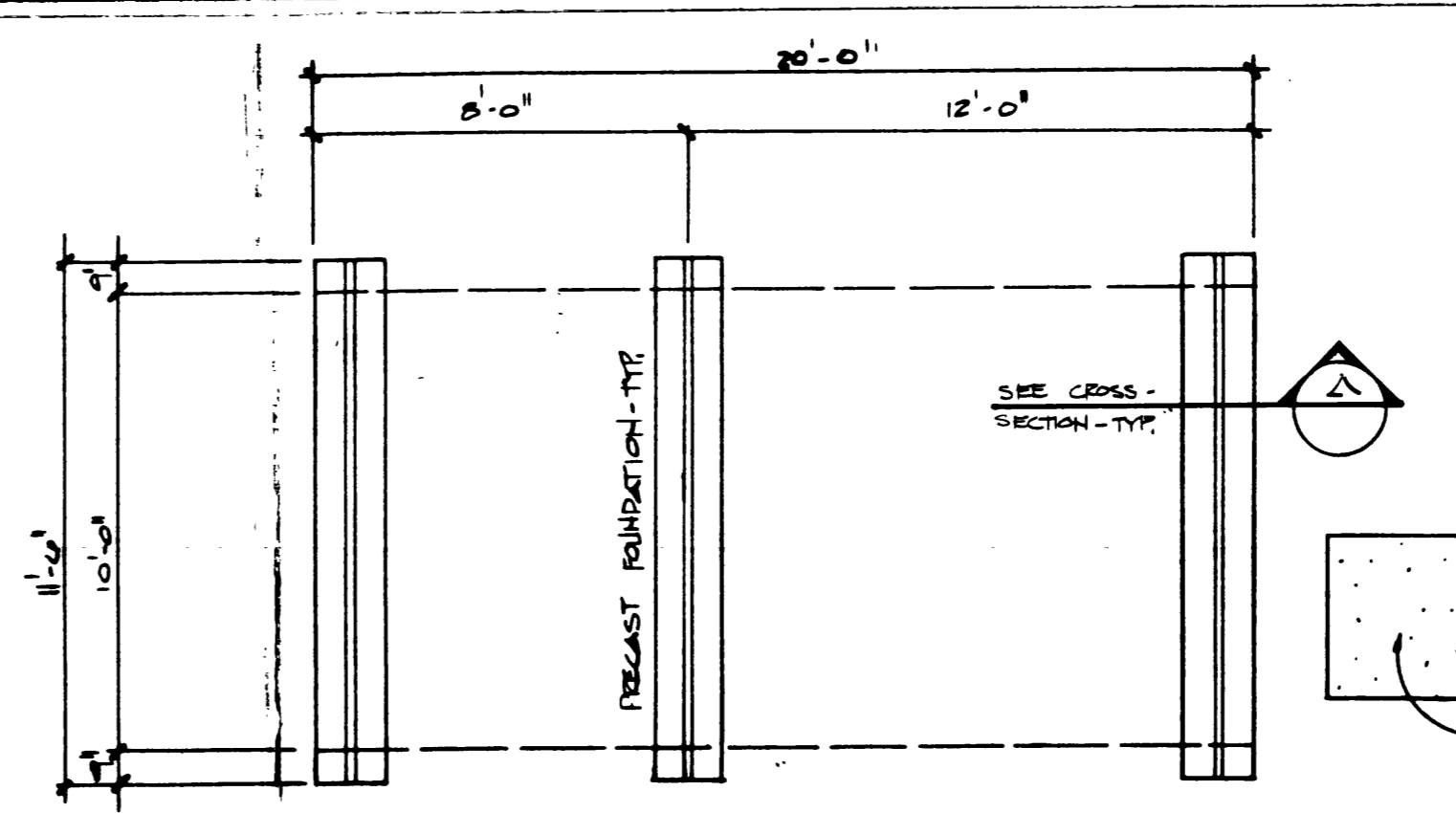
APPROVED BY: [Signature]



PLOT PLAN

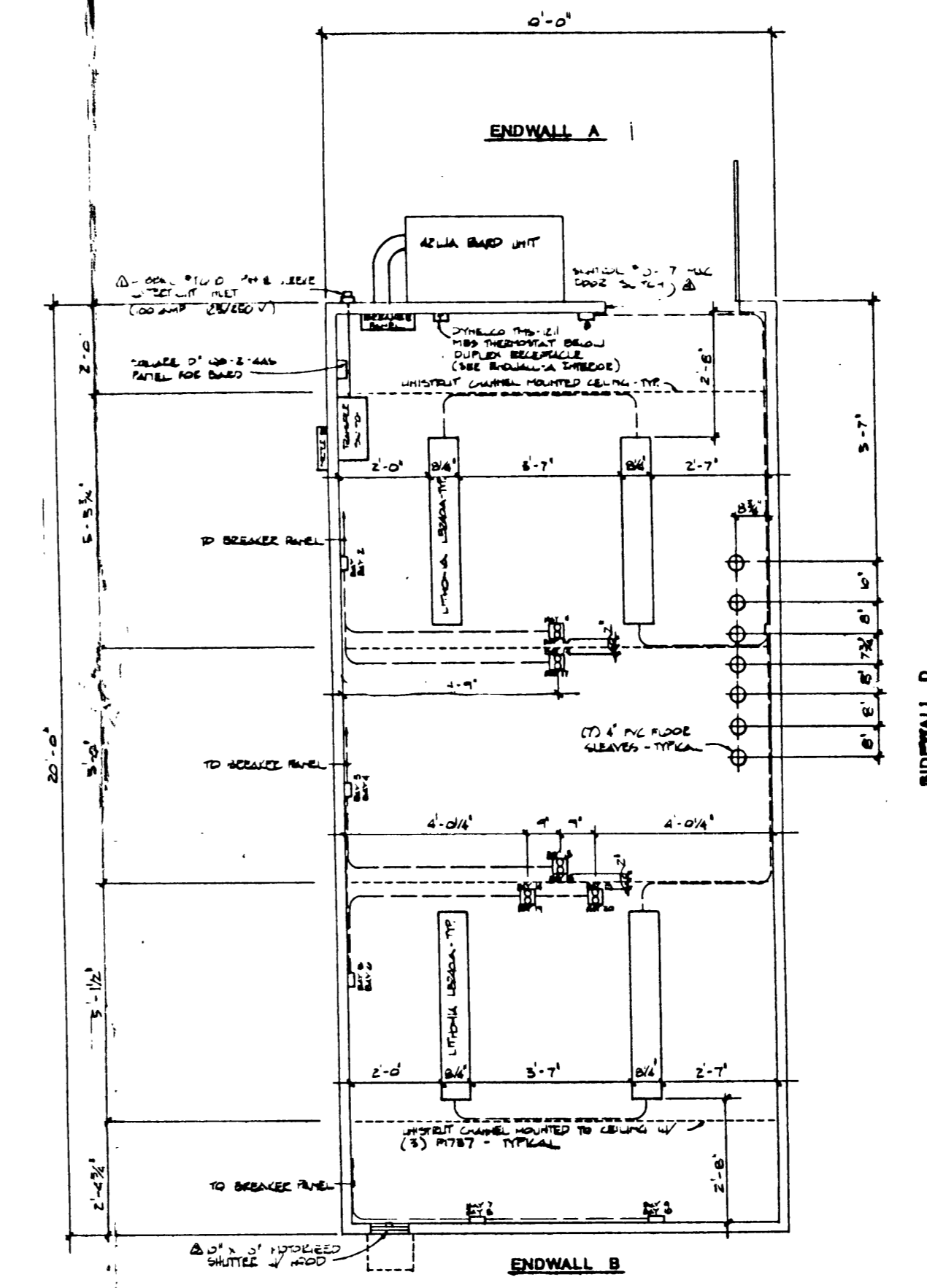
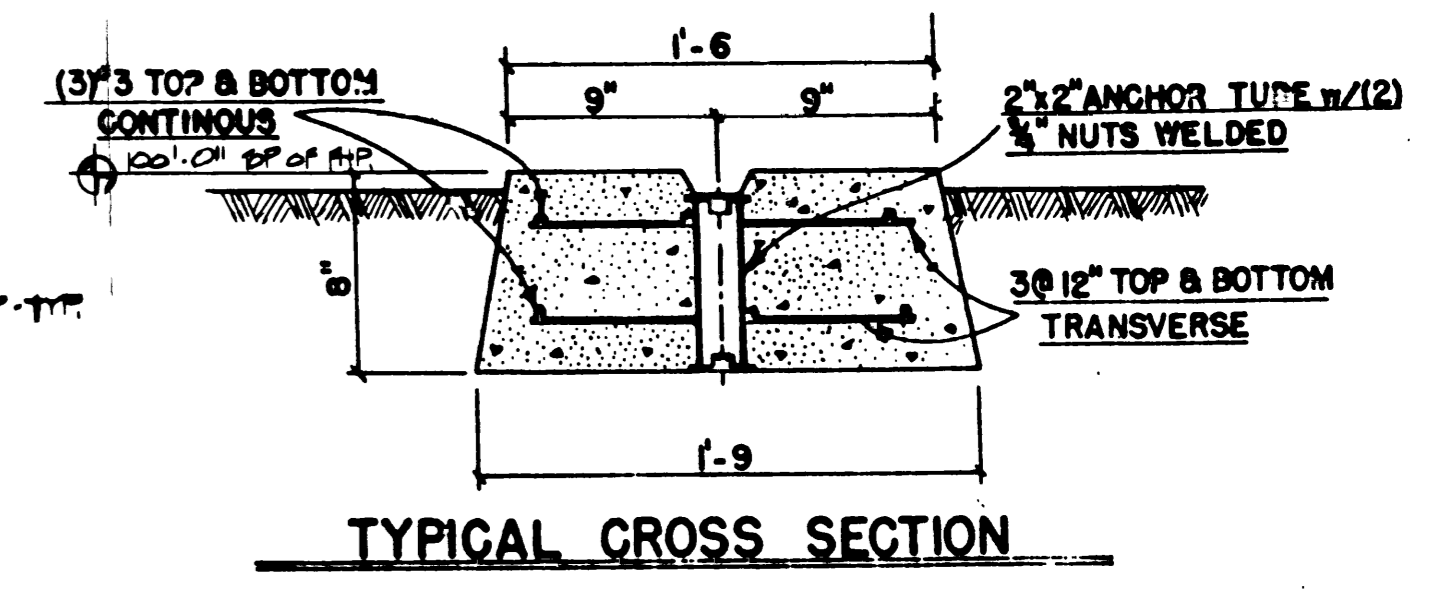
GENERAL NOTES

1. Strip site of all Debris & Vegetation.
2. Fill site to 4" less than finished elevation using fill material - 95% compaction.
3. Install 6 runs of 4" PVC to Property line (owner to furnish all materials).
4. Install precast foundations and door stoop. (materials furnished by owner)
5. Install groundings as per plan. (materials furnished by owner)
6. Install Hewitt Wood Barrier on entire site.
7. Install 4" road base entire site & 10' wide road way to 23 road.
8. Install Building and secure to precast foundation.
9. Clear site of all construction debris after completion of the above work.



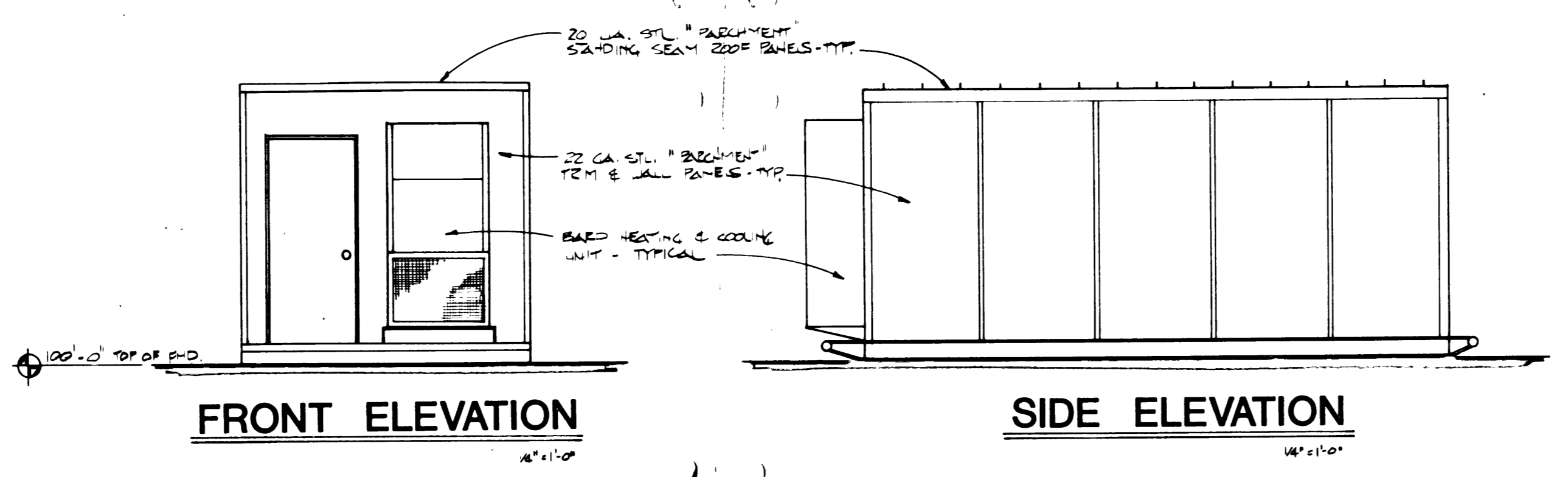
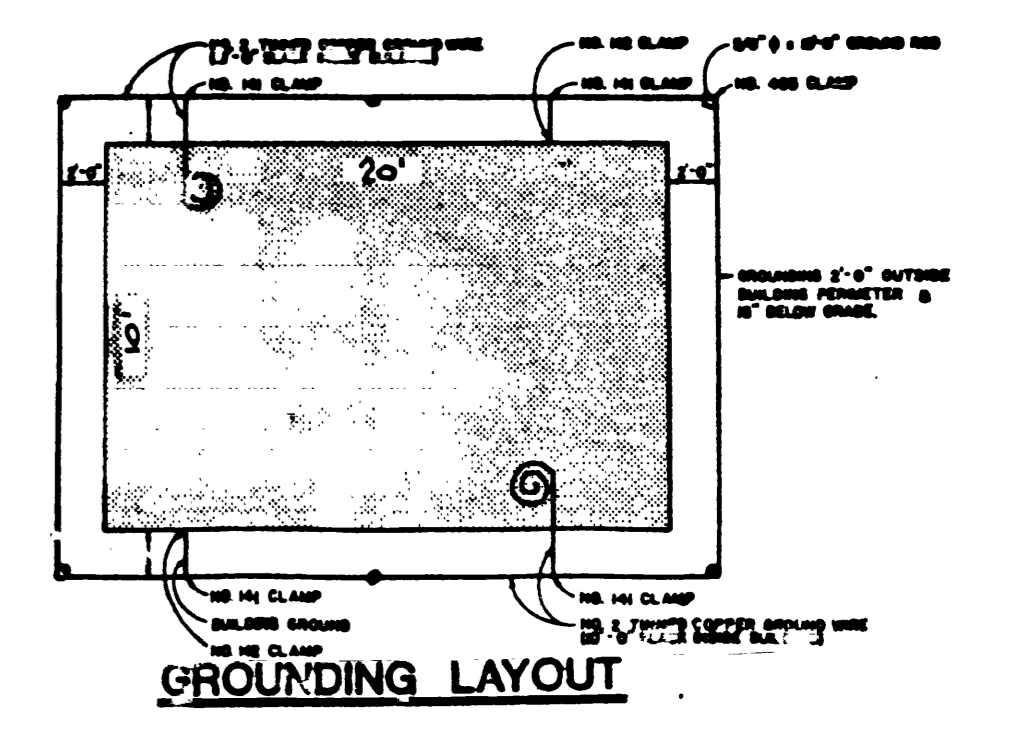
FOUNDATION PLAN

NOTE: FOUNDATION DESIGN BASED ON 1500 P.S.F. SOIL BEARING CAPACITY



ELECTRICAL PLAN

NOTE: ALL ELECTRICAL COMPONENTS TO BE PRE-WIRED AT FACTORY.



FRONT ELEVATION

SIDE ELEVATION

BUILDING DESIGN LOADS
 30 P.S.F. ROOF LIVE LOAD
 25 P.S.F. WALL WIND LOAD
 150 P.S.F. FLOOR LIVE LOAD

	PRESTON STEEL GREELEY, COLORADO DESIGN • CONSTRUCTION • FABRICATION P.O. BOX 1198 80632 (303) 339-5310	
	COLORADO MOUNTAIN BELL PS-18 MAXI-HUT 074 23 ROAD GEMO UTILITIES CO.	
7/17/84 94103 	DRAWN BY: BUD DATE: 7-25-84	