

DATE SUBMITTED: 3-11-87

PERMIT # 27138

FEE 10.00

PLANNING CLEARANCE

GRAND JUNCTION PLANNING DEPARTMENT

BLDG ADDRESS: 652 WHITE AVE

SQ. FT. OF BLDG: 3280

SUBDIVISION: CITY

SQ. FT. OF LOT: 3402^R

FILING # _____ BLK # 83 ^{THE WEST 45.35' OF} LOTS # 19, 20, 21

NUMBER OF FAMILY UNITS: N/A

TAX SCHEDULE NUMBER: 2945-144-06-0045
505

NUMBER OF BUILDINGS ON PARCEL BEFORE THIS PLANNED CONSTRUCTION: ONE

PROPERTY OWNER: MARISA ASSOCIATES

USE OF ALL EXISTING BUILDINGS: PRESENTLY VACANT

ADDRESS: TELLER AVE.
GEORGE F. WHEELER

PHONE: 243-6505

DESCRIPTION OF WORK AND INTENDED USE:
REMODEL INTERIOR, REFACE EXTERIOR - SMALL
ADDITION - GENERAL OFFICE USE - LEASE
PENDING WITH GSA FOR USE BY
IMMIGRATION SERVICE

SUBMITTALS REQ'D: TWO (2) PLOT PLANS SHOWING PARKING, LANDSCAPING, SETBACKS TO ALL PROPERTY LINES, AND ALL STREETS WHICH ABUT THE PARCEL.
* + PARKING ON ADJACENT PARCEL UNDER SAME OWNERSHIP

FOR OFFICE USE ONLY

ZONE: B-3

FLOODPLAIN: YES _____ NO X

SETBACKS: F _____ S 0 R 0

GEOLOGIC HAZARD: YES _____ NO X

MAXIMUM HEIGHT: _____

CENSUS TRACT #: 1

PARKING SPACES REQ'D: _____

TRAFFIC ZONE: 42

LANDSCAPING/SCREENING: _____

SPECIAL CONDITIONS: _____

ANY MODIFICATION TO THIS APPROVED PLANNING CLEARANCE MUST BE APPROVED, IN WRITING, BY THIS DEPARTMENT. THE STRUCTURE APPROVED BY THIS APPLICATION CANNOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED BY THE BUILDING DEPARTMENT (SECTION 307, UNIFORM BUILDING CODE.)

ANY LANDSCAPING REQUIRED BY THIS PERMIT SHALL BE MAINTAINED IN AN ACCEPTABLE AN HEALTHY CONDITION. THE REPLACEMENT OF ANY VEGETATION MATERIALS THAT DIE OR ARE IN AN UNHEALTHY CONDITION SHALL BE REQUIRED.

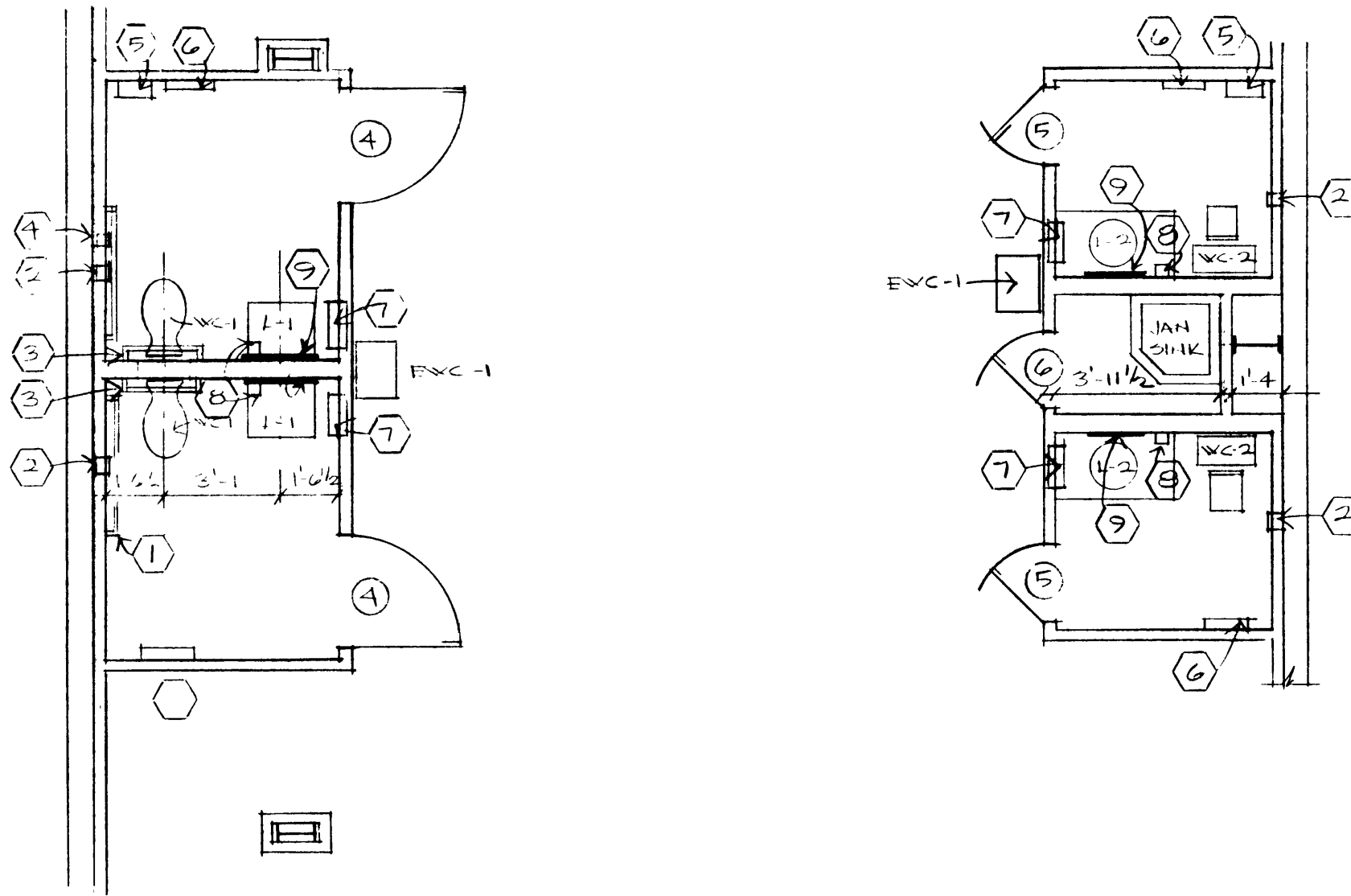
HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THE ABOVE IS CORRECT AND I AGREE TO COMPLY WITH THE REQUIREMENTS ABOVE. FAILURE TO COMPLY SHALL RESULT IN LEGAL ACTION.

DATE APPROVED: 3-11-87

APPROVED BY: Linda

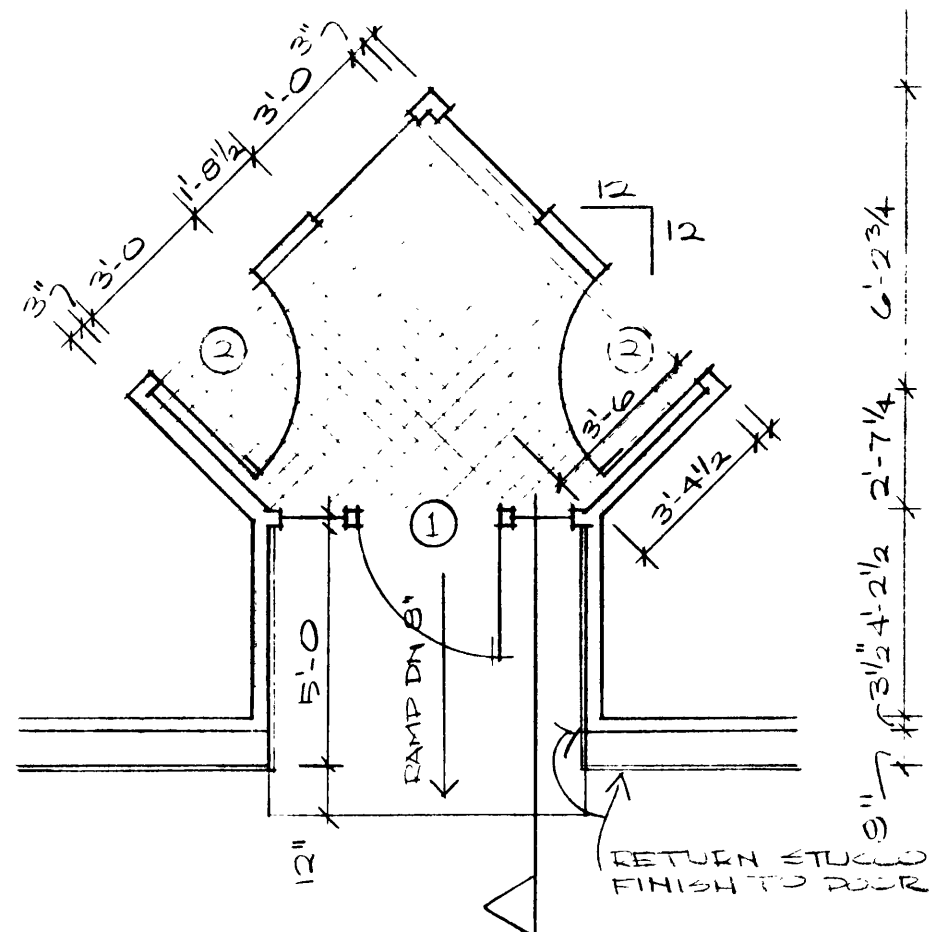
George F. Wheeler ARCHITECT
SIGNATURE
for GEORGE F. WHEELER

SYM	ITEM	MFR	#	MOUNTING HT.	QUANT.
1	GRAB BARS	BOERICK	B-550 x 42"	33" TO TOP	2
2	TOIL. PAPER DISP		B-667	24"	4
3	GRAB BARS		B-550 x 24"	33"	2
4	NAPKIN DISP		B-353	24"	2
5	NAPKIN VENDOR		B-232	60"	2
6	TOIL SPAT DISPENSER		F-211	60"	4
7	PAPEL TYLE COMBO		P-359	60"	4
8	SOAP DISPENSER		B924 + B970	36" ↓	4
9	MIRROR		B534 12x4	PER MFR	4



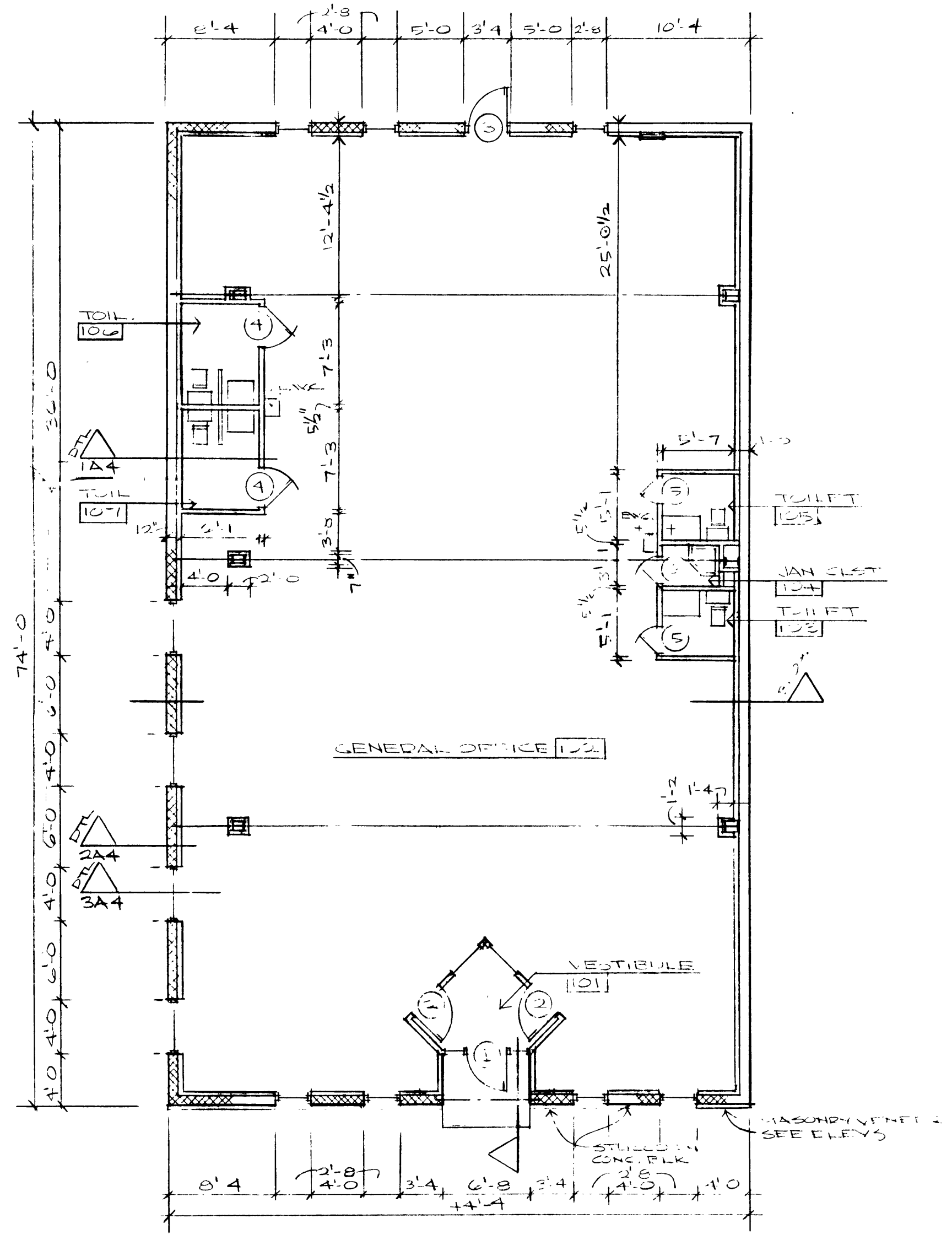
TOILET ROOM PLANS - 1/4":1'-0

SEE DWG P-1 FOR FIXTURE HGT
 NOTE: VERIFY FIXTURE RELOCATIONS /
 OWNER PRIOR TO SETTING. FIXTURES
 SHOWN MAY BE SWITCHED TO OTHER
 REST ROOM (IE WC-1 & L-1 IN RMS 103/105
 AND WC-2 & L-2 IN RMS 106/107.)



VESTIBULE PLAN - 1/4":1'-0

ROOM FINISH SCHEDULE						DOOR SCHEDULE					
#	NAME	FLOOR	BASE	WALLS	CEILING	MK	SIZE	MTL	FRAME	HDWR	REMARKS
101	VEST.	CER. TILE	WOOD	VINYL FABRIC	S.A.T.	1	30'6" x 13'4"	SLD ALUM	ALUM	DE/CLR PNTS	MAIL DEEP
102	GENERAL OFFICE	CARPET	VINYL T.S.	GYPED PT-EG.	S.A.T.	2	30'6" x 13'4"	SD SC	WOOD OAK TRIM	PUSH/PULL CLR. DEAD BOLT	
103	TOIL.	VAT	VINYL COVE	GYPED PT-EN.	GYPED PAINT	3	3'-7" x 13'4"	H.M.	4 M	ESC. SET DEAD BOLT	4" HEAD SECTION
104	JAN. CLST.	NONE	NONE	GYPED NONE		4	30'6" x 13'6"	VD SC	STEEL METAL FRAME	PRIVACY SET	
105	TOIL.	VAT	VINYL COVE	GYPED PT-EN.		5	20'6" x 13'6"			PRIVACY SET	
106	TOIL.	VAT				6	20'6" x 13'6"			LOCK SET	
107	TOIL.	VAT									



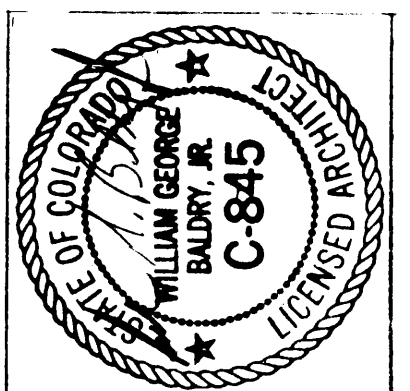
ARCH. FLOOR PLAN: 1/8": 1'-0

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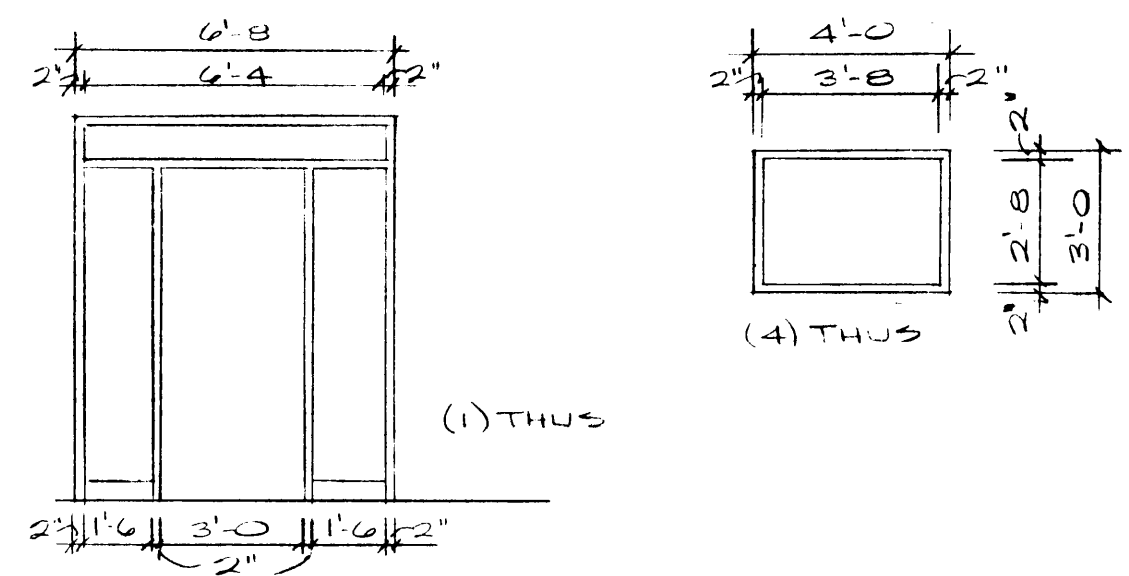
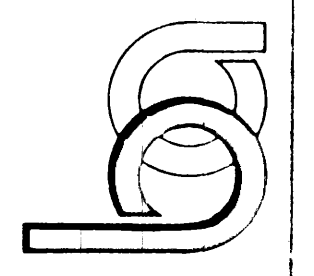
MARISA ASSOCIATES
 OWNER
 3045 TELLER AVE.
 GRAND JUNCTION, COLO.
 81503
 (303) 243-6505

**OFFICE BUILDING
 REMODEL**
 652 WHITE
 GRAND JUNCTION, COLO.

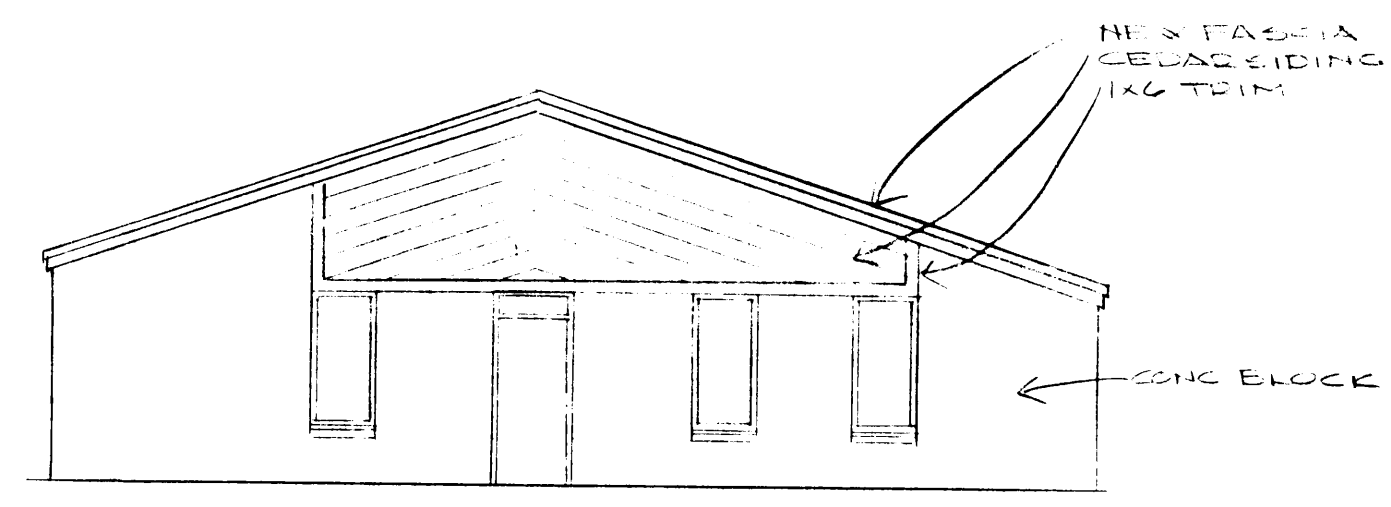
PROJ: 87/06
 DATE: 3/9/87
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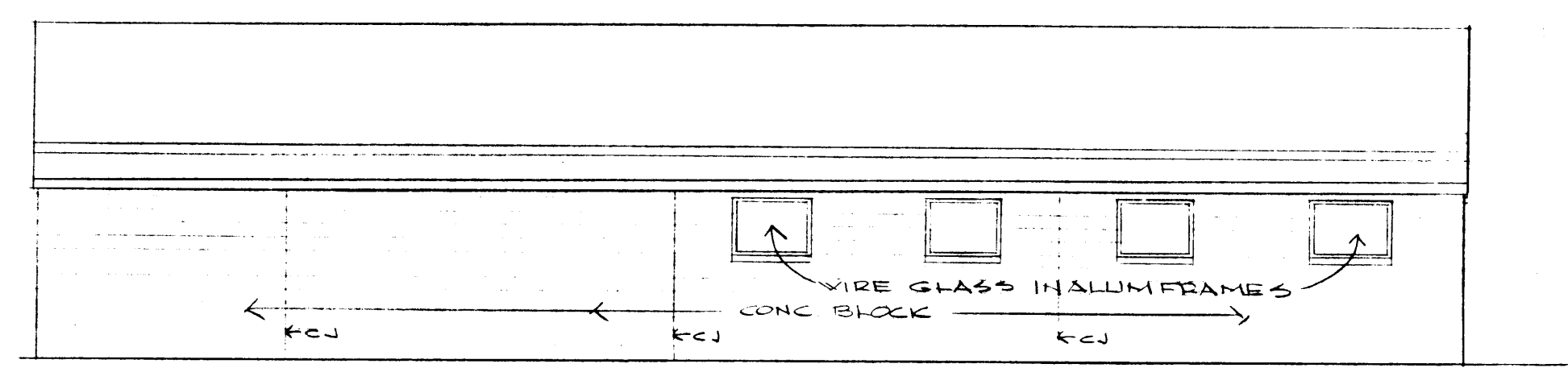
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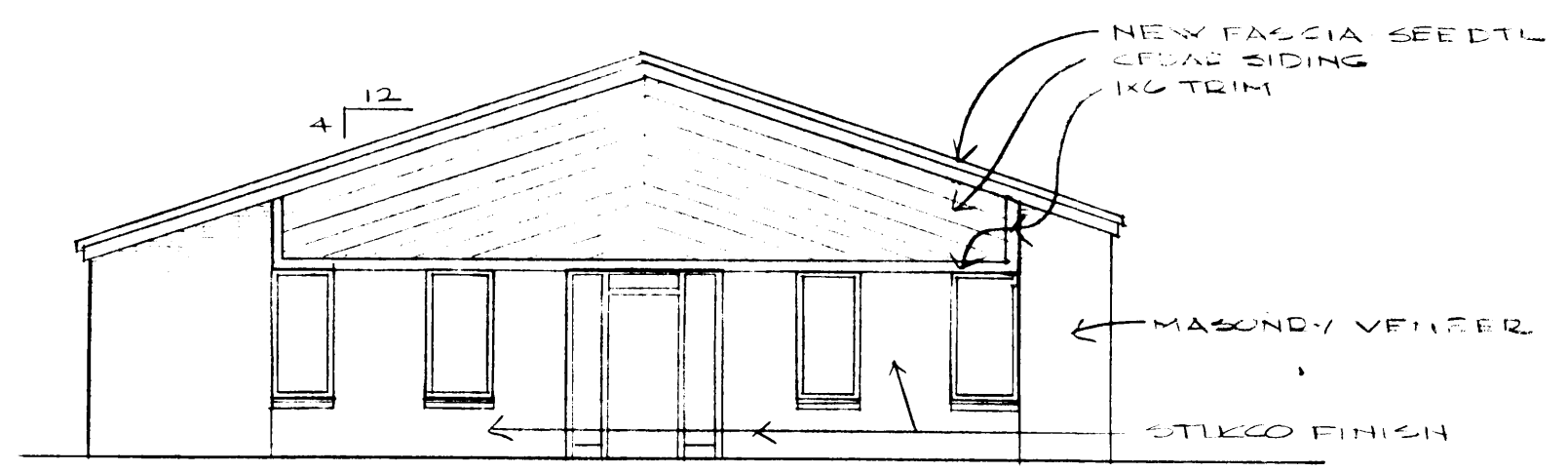
STORE FRONT - 1/4":1'-0



NORTH ELEV. - 1/8":1'-0



WEST ELEV. - 1/8":1'-0



SOUTH ELEV. - 1/8":1'-0

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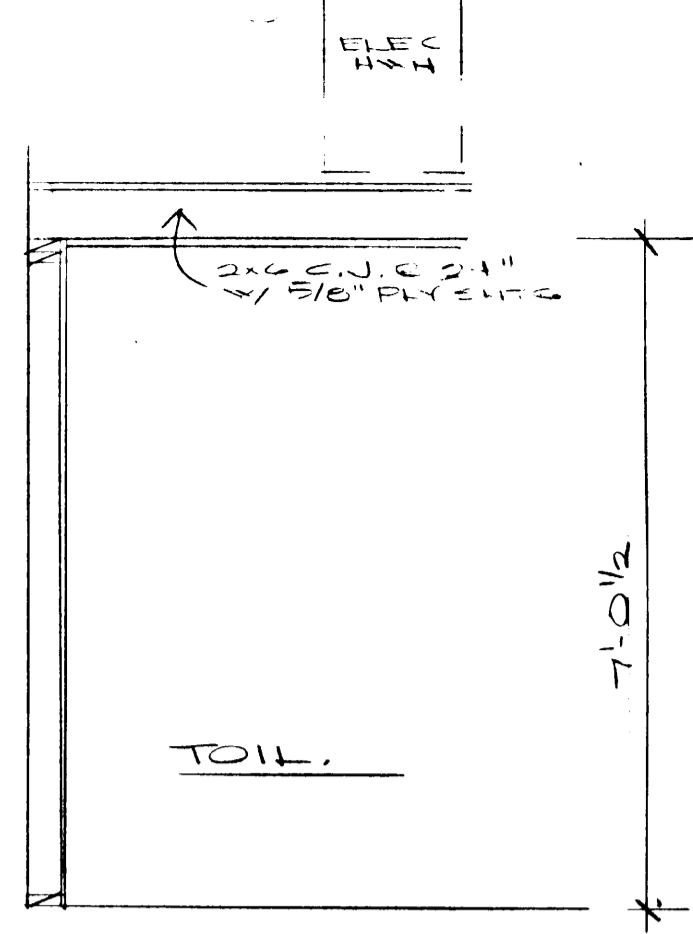
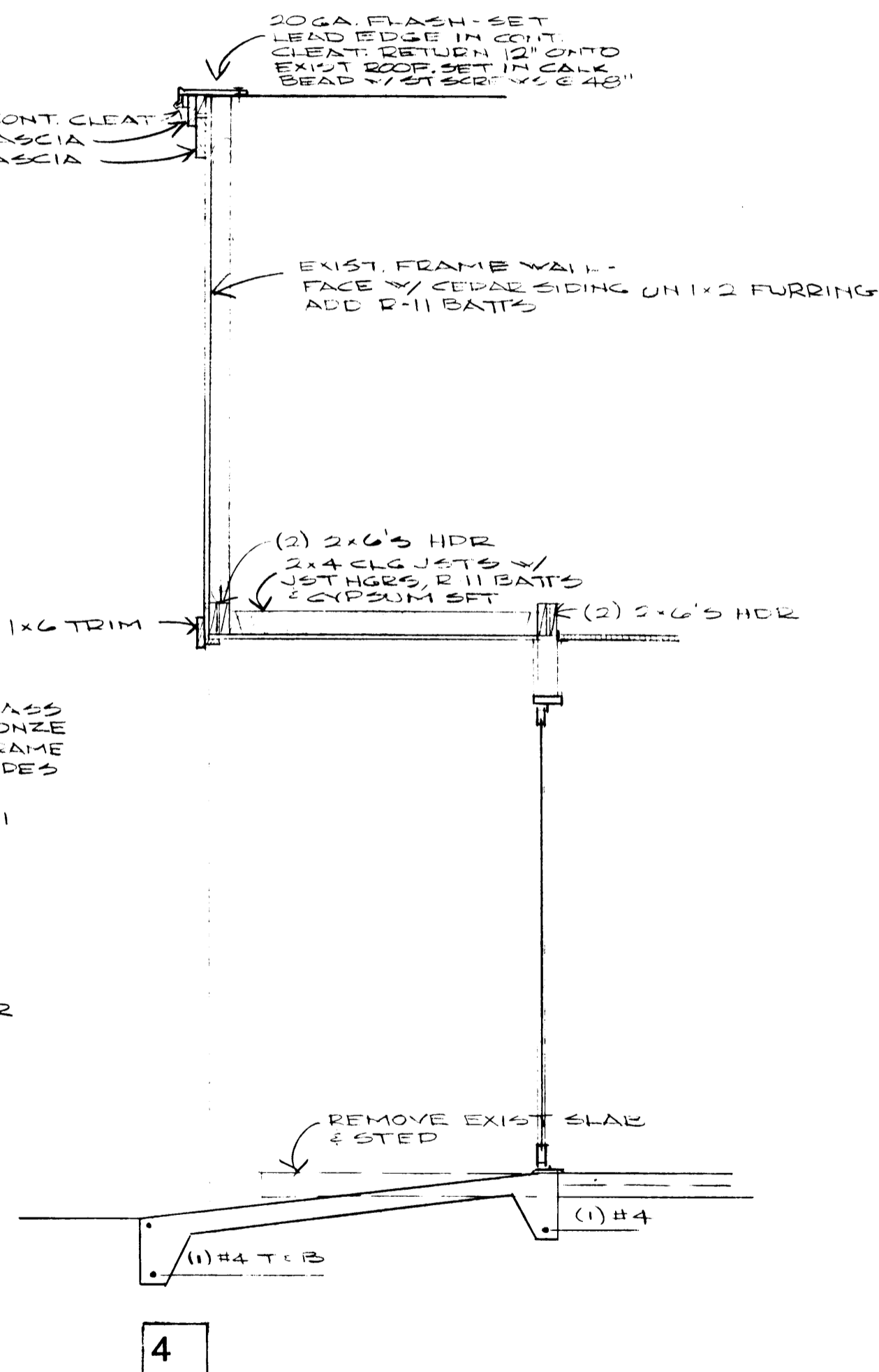
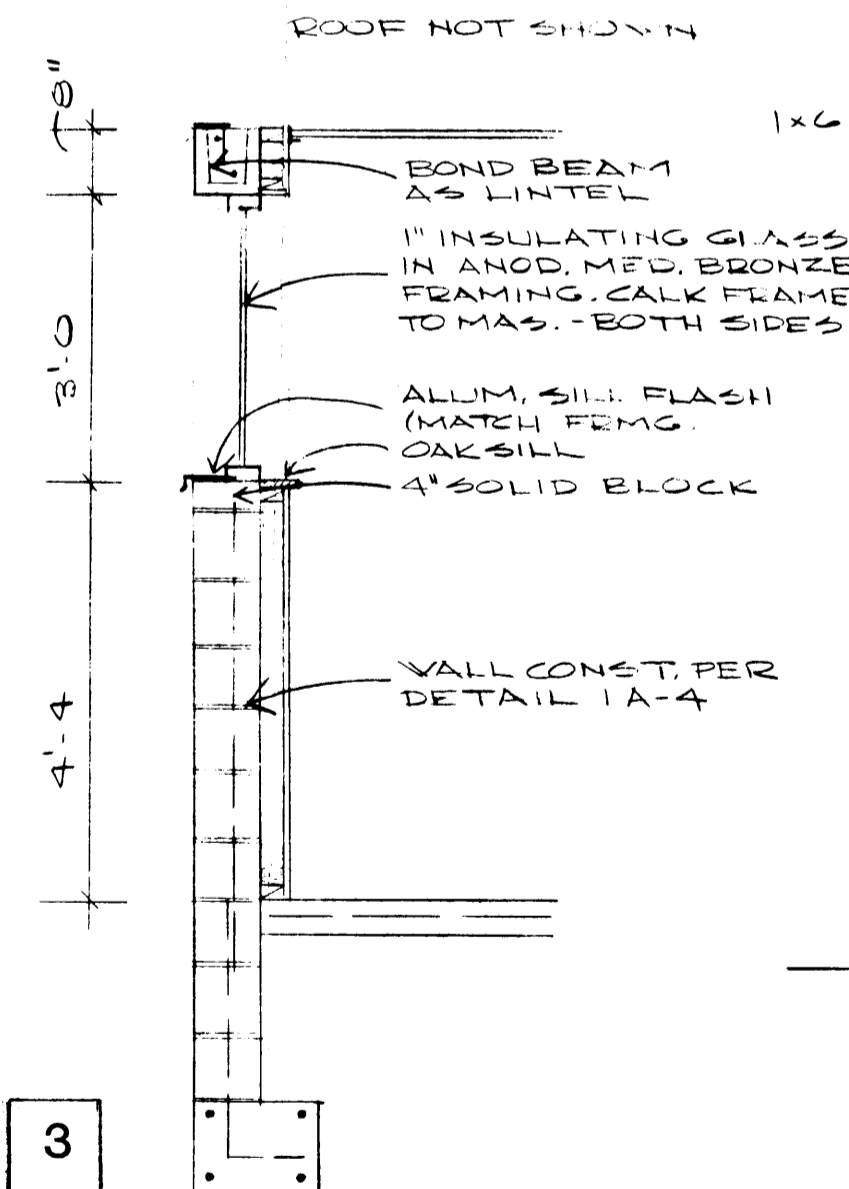
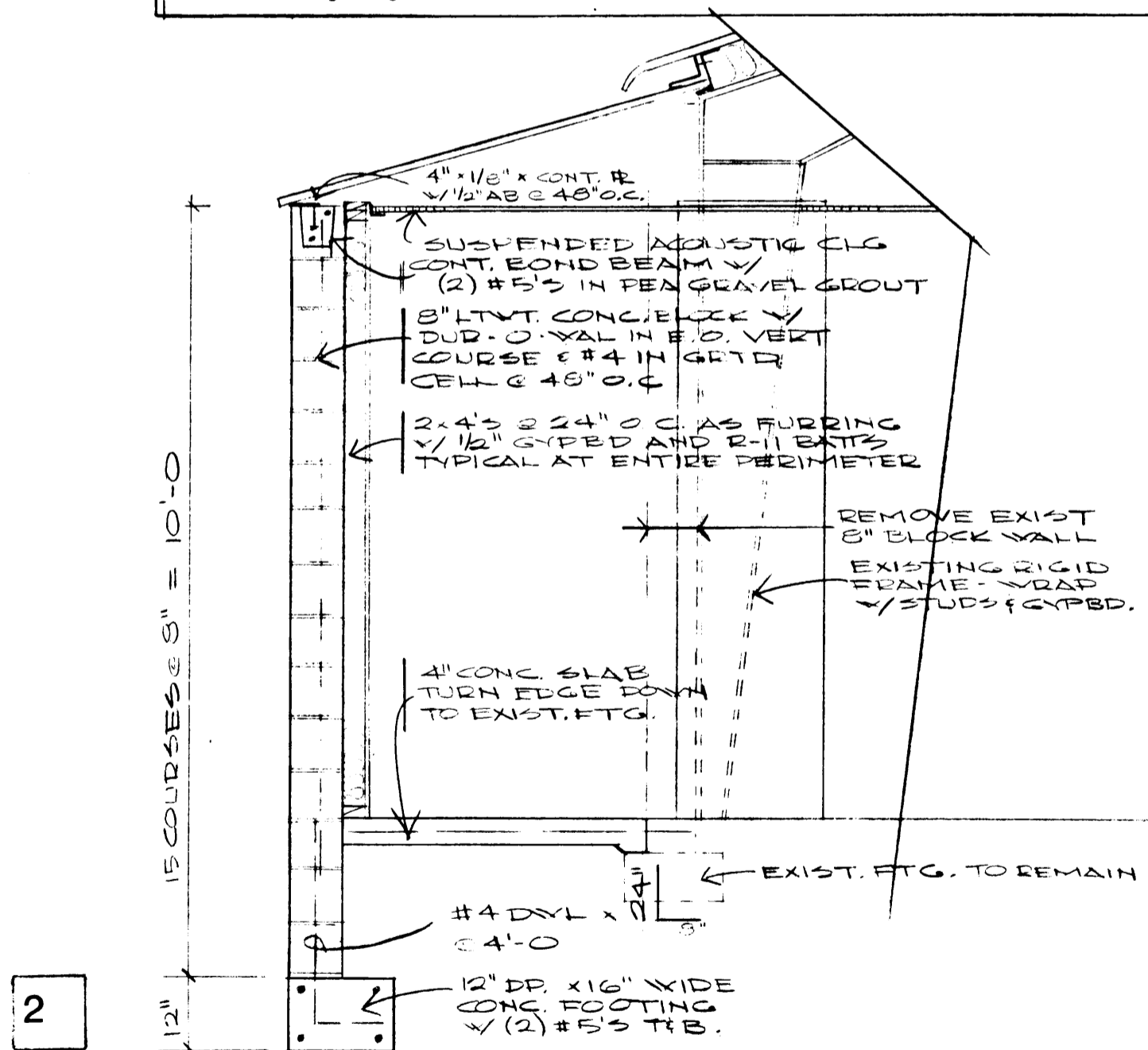
OFFICE BUILDING
REMODEL

652 WHITE
GRAND JUNCTION, COLO.

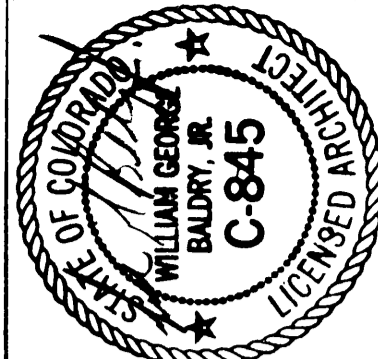
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OUTLINE SPECIFICATIONS

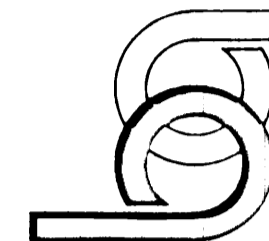
- 1) Contractor to pay for all permits, inspection fees, etc and include same in his lump sum bid to Owner. Coordinate all trades.
- 2) Cut existing asphalt in vicinity of new addition neatly to minimize patch work. Obtain City approval if excavation is to infringe on alley r.o.w. Do demolition work as required and shown on drawing A-1. All material is the property of the contractor. Haul all debris immediately upon removal.
- 3) All concrete work below grade to be 3,000 psi - 5% sack concrete with 4" slump. Provide all rebar where shown. Concrete for slabs to be 4,000 psi - 6 sack. Mesh reinforcing not required. Saw cut slab at column center line - 1" deep.
- 4) All masonry work shown on drawings including concrete block and veneer work to be done in temperatures of 40 degrees F. minimum. Lay all block in running bond with reinforcing per drawings. Parge face of all masonry below grade. Provide ties per code for all veneer work. Thoroughly clean all work ready for painting or final finish.
- 5) Provide and install metal products including plates, angles and new metal roofing on addition as shown or as required. New roofing to be metal building type roofing - match existing if possible - and shall span the 5'-0" width without additional supports. Roofing shall be weather tight without additional membrane.
- 6) Provide and install all rough and finish carpentry as shown or required. Furring and interior partitions may be standard 92-5/8" studs with single sill and double top plate. All interior window and door trim to be oak. Casework to be AWI custom grade.
- 7) Calk as required to make building tight at all junctures of dissimilar materials. Provide aluminum seamless gutter and down spouts (2) at west wall.
- 8) Windows and new front entrance to be constructed of medium bronze anodized framing. Glazing at vestibule and at west wall to be with wire glass. Glazing at sidelights in entrance to be with tempered plate. Entrance door to be narrow stile aluminum in matching finish. Interior doors to baths may be pre-finished light legacy on solid core or natural finish oak at contractor option. Frames on rest rooms and janitor closet to be "Redi-frame". Rear door to be hollow metal door in fully welded metal frame.
- 9) Provide paint finish on all concrete block at exterior. Provide paint finish in color as selected on interior - see finish schedule. Provide oil base stain finish on all exterior wood. Provide stain plus varnish on all interior natural finish wood items. Grid ceiling to be 2' x 4' fissured standard tile in medium weight white painted "T" grid system. Provide carpet to meet government spec - copy available from Owner. Vinyl tile to be 12" x 12" in color selected. Provide vinyl base at all interior areas - 4" high with cove or straight base as required.
- 10) Provide all toilet room specialty items and all hardware including signs as shown or required.



WALL SECTIONS - 1/2":1'-0



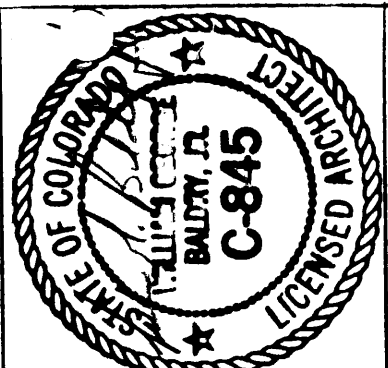
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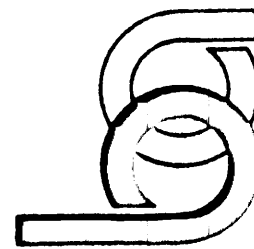
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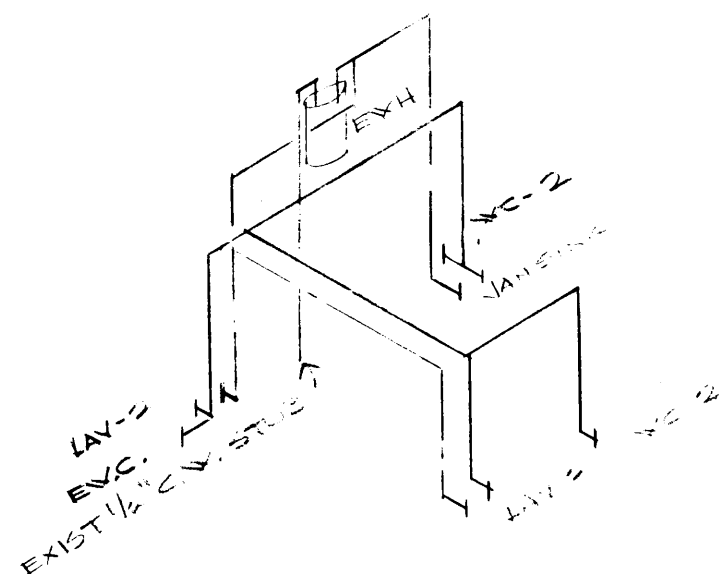
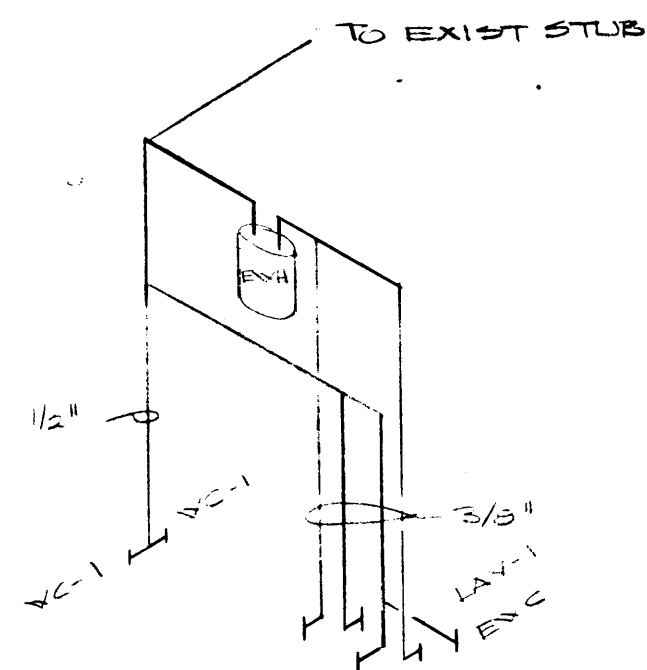
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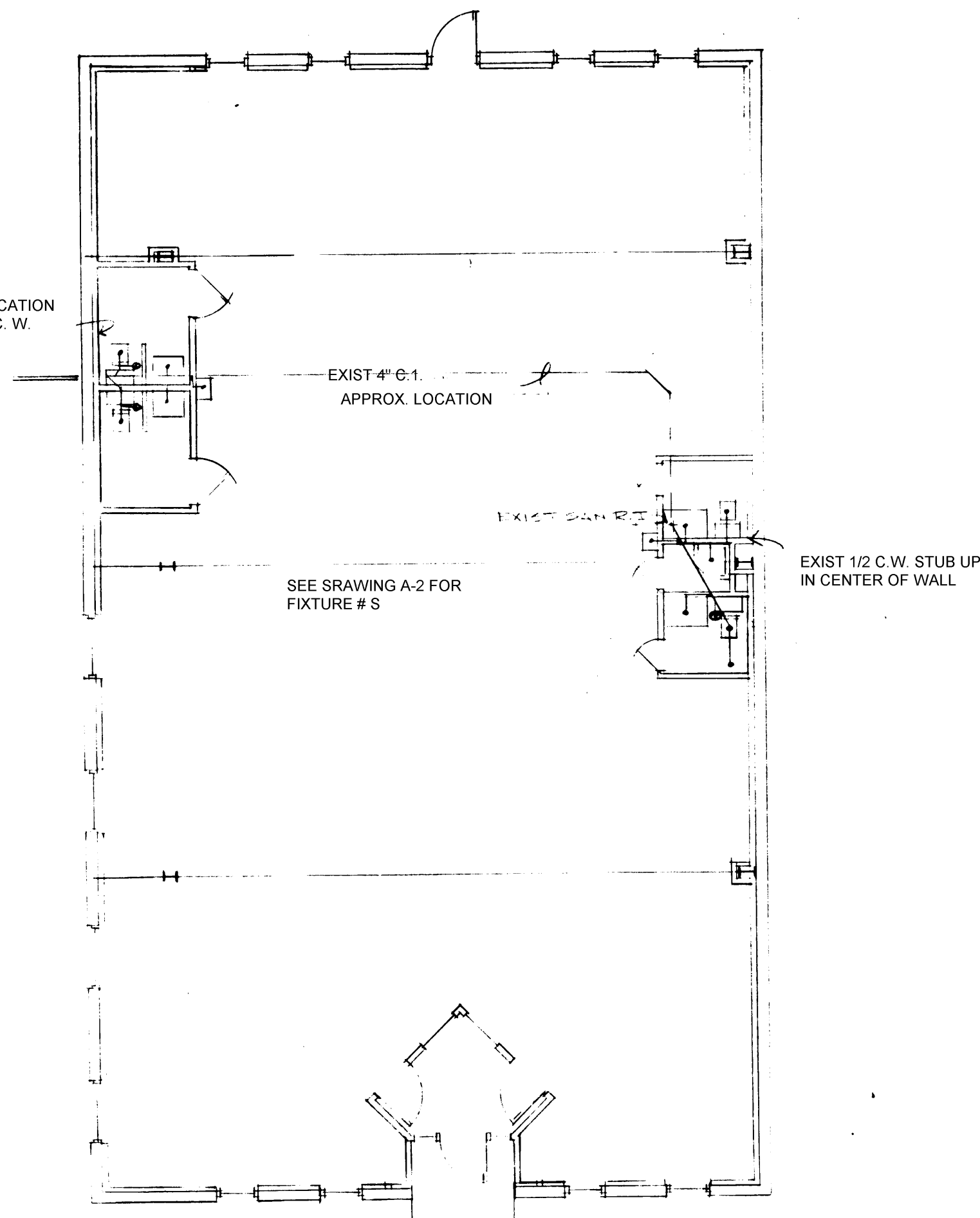
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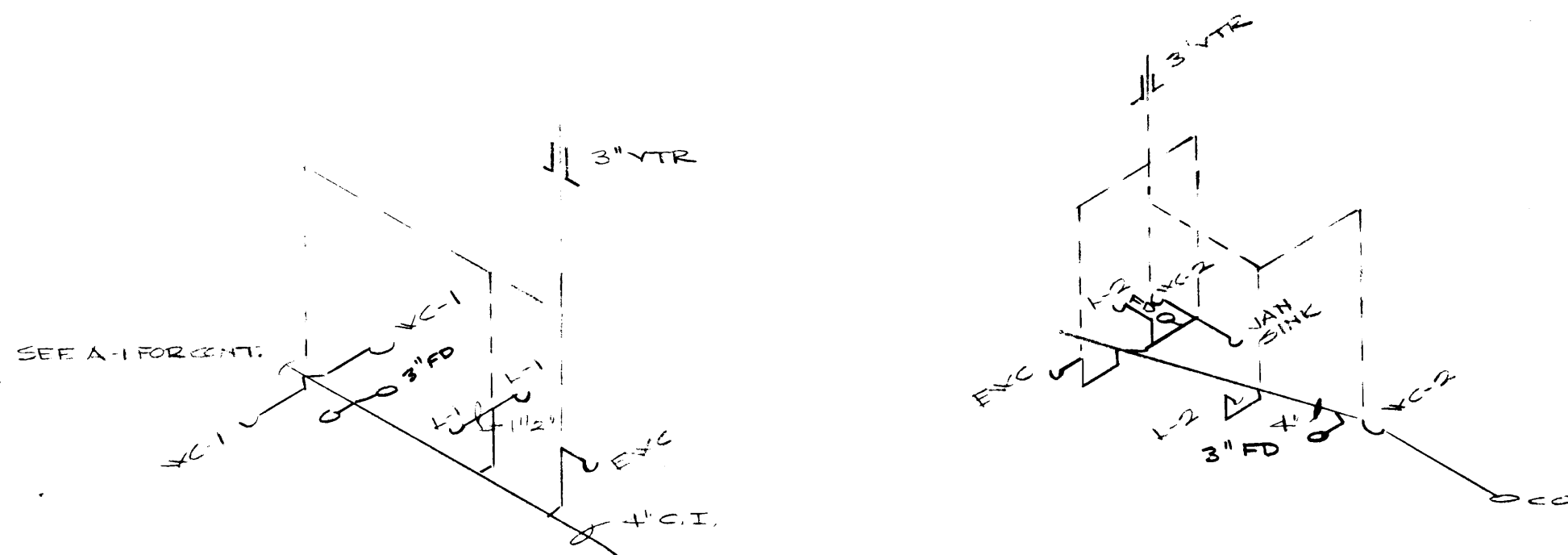
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WATER SUPPLY SCHEMATICS



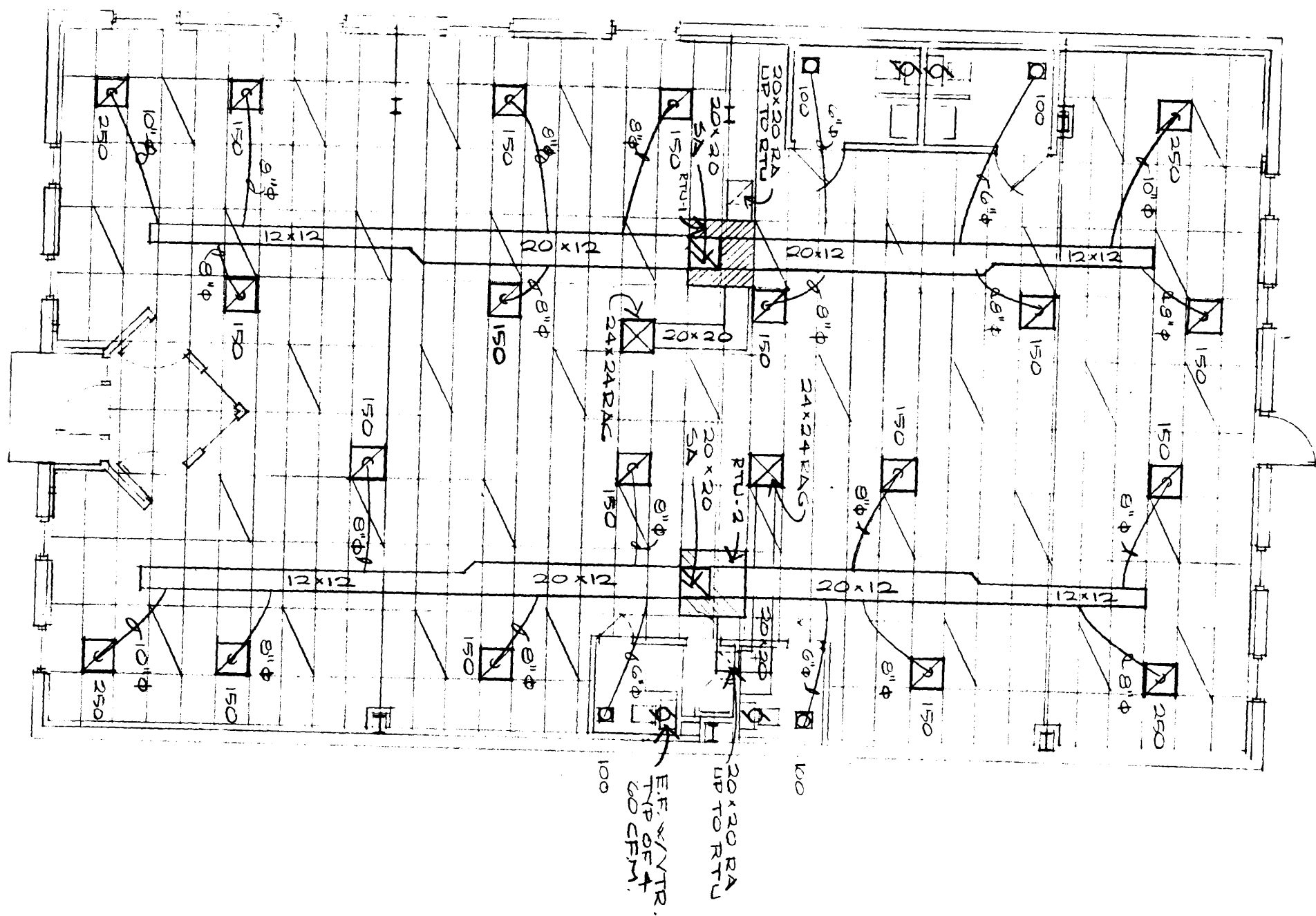
PLBG. FLOOR PLAN: 1/8" : 1'-0



WASTE & VENT SCHEMATICS-NO SCALE

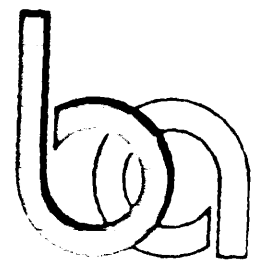
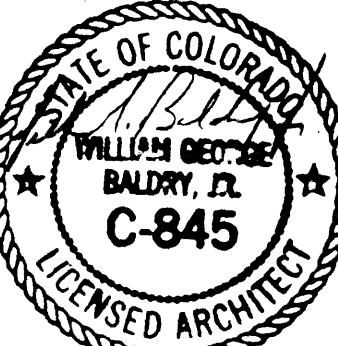
FIXTURE SCHEDULE			
NO	MFR	#	REMARKS
WC-1	KOHLER	K-4432 ER	WALL HDYR/SEAT/FTC
WC-2		K-3537 EE	"
L-1		K-2861	"
L-2		K-2916	"
J.C.		K-6710	"
ENC	HAILEY	1075	

HELD TO 005
 0 CFM. OR EQUAL



HVAC FLOOR PLAN: 1/8" : 1'-0"

M-1

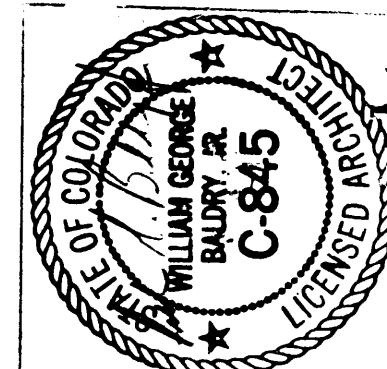
PROJ : 87/06 DATE: 3/9/87 REV:	OFFICE BUILDING REMODEL 652 WHITE GRAND JUNCTION, COLO.	MARISA ASSOCIATES OWNER 3045 TELLER AVE. GRAND JUNCTION, COLO. 81503 (303) 243-6505	 <p>934-5569 baldry associates architects/engineers/planners 47 so. federal blvd denver, co. 80219</p>	
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BUILDING CODE SUMMARY

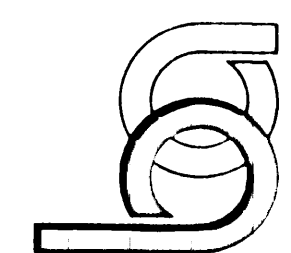
Occupancy group = B-2
 Construction type = V - N
 Allowable area = 8,000 s.f.
 Area - existing + new addition = 3,280 s.f.
 Parapet wall required on new west wall.
 Occupant load = 33
 Handicap access and toilets provided.

DEMOLITION NOTES

- 1 Remove masonry where shown cross hatched including that necessary to "key" in adjacent new units.
- 2 Remove existing window.
- 3 Remove existing west wall in entirety. Provide temporary support for existing roof and "Z" channel.
- 4 Remove existing doors (2).
- 5 Remove two existing overhead doors, track, etc.
- 6 Remove existing storefront glazing and framing.
- 7 Remove existing slab. Saw cut for neat new joint.
- 8 Remove existing interior ductwork, electrical wiring from panel to fixtures, outlets, etc., ceiling hangers and all miscellaneous items not needed for new work.



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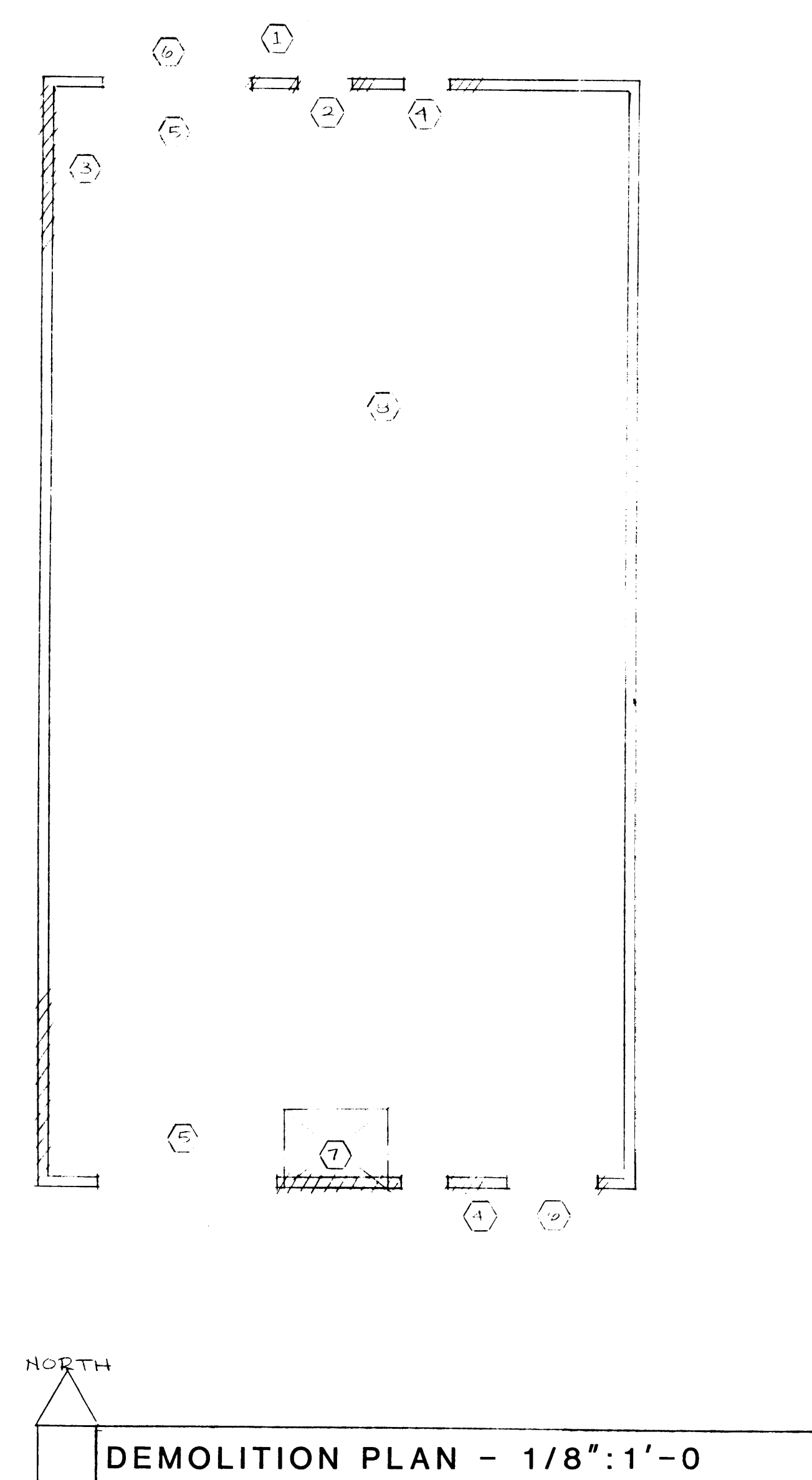
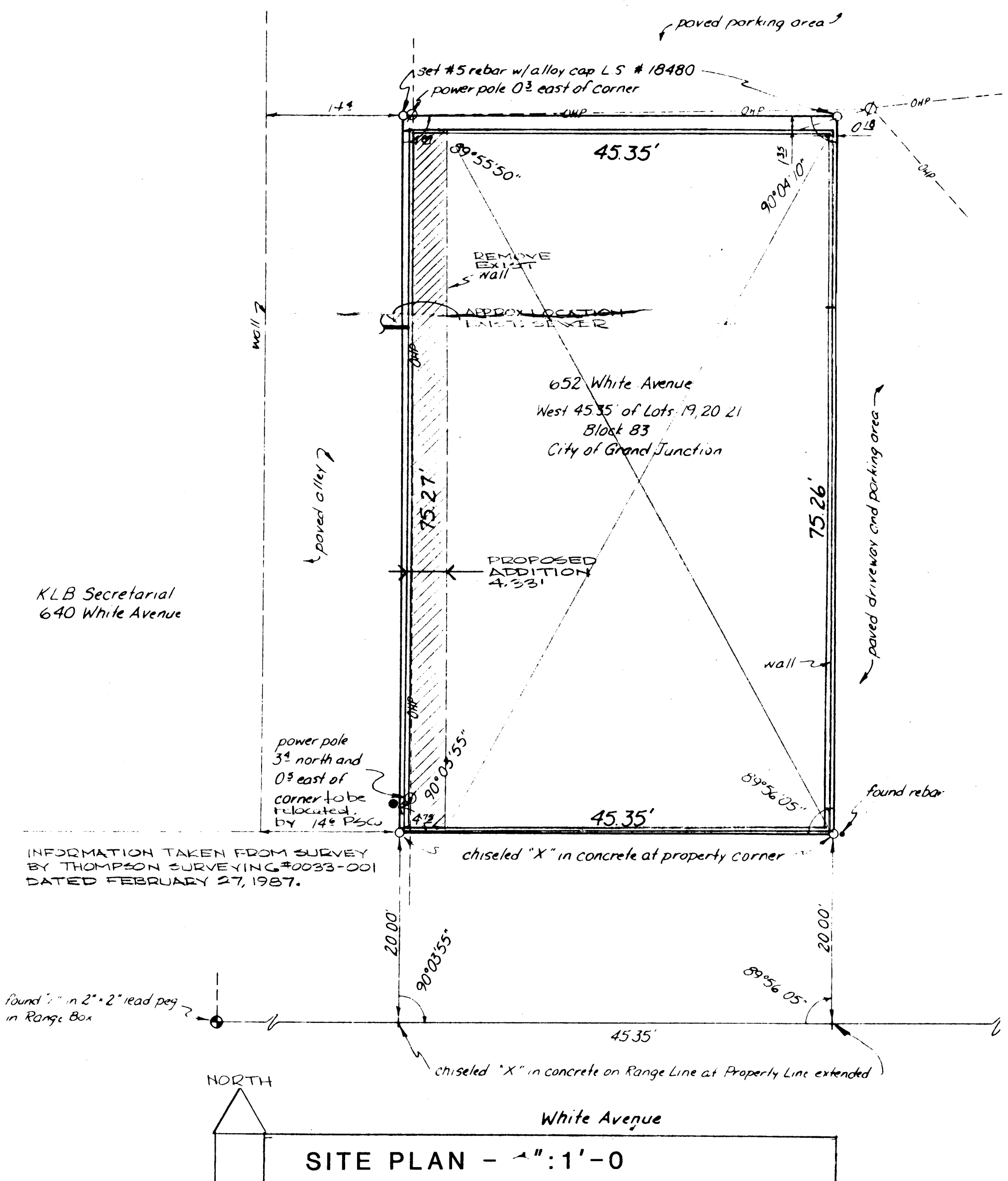


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 REMODEL**
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 GRAND JUNCTION, COLO.

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A-1



KLB Secretarial
 640 White Avenue