

DATE SUBMITTED 9-30-93

BUILDING PERMIT NO. 46415

FEE \$ 5.00

PLANNING CLEARANCE
(Single Family Residential and Accessory Structures)
Grand Junction Department of Community Development

BLDG ADDRESS 2393 W. PLATEAU CT.

SQ. FT. OF PROPOSED BLDG(S)/ADDITION 2000 sq

SUBDIVISION RIDGES

SQ. FT. OF EXISTING BLDG(S) 0

FILING 3 BLK 18 LOT 18C

NO. OF FAMILY UNITS 1

TAX SCHEDULE NO. 2945-201-10-108

OWNER STAN KISER

NO. OF BLDGS ON PARCEL BEFORE THIS CONSTRUCTION 0

ADDRESS 646 KAREN CT.

DESCRIPTION OF WORK AND INTENDED USE:
RESIDENTIAL / RESIDENCE

TELEPHONE 242-6334

REQUIRED: Two plot plans showing parking, setbacks to all property lines, and all rights-of-way which abut the parcel.

ZONE PR

DESIGNATED FLOODPLAIN: YES NO

SETBACKS: Front 20' from property line or from center of ROW, whichever is greater

GEOLOGIC HAZARD: YES NO

Side 10' from property line

CENSUS TRACT 14 TRAFFIC ZONE 96

Rear 10' from property line

PARKING REQ'MT

Maximum Height 25'

SPECIAL CONDITIONS:

Maximum coverage of lot by structures

Modifications to this Planning Clearance must be approved, in writing, by this Department. The structure approved by this application cannot be occupied until a final inspection has been completed by the Building Department (Section 305, Uniform Building Code).

I hereby acknowledge that I have read this application and the above is correct, and I agree to comply with the requirements above. I understand that failure to comply shall result in legal action.

Department Approval *Marcia Petty*
Date Approved 9-30-93

Applicant Signature *Stan Kiser*
Date 9-30-93

VALID FOR SIX MONTHS FROM DATE OF ISSUANCE (Section 9-3-2D Grand Junction Zoning & Development Code)

(White: Planning)

(Yellow: Customer)

(Pink: Building Department)

APPROVAL FOR BUILDING PERMIT
Ridges Architectural Control Committee (ACCO)

Job No. 93-18
 Builder or Homeowner Stan Riser
 Ridges Filing No. _____
 Block 75 Lot 10
 Pages Submitted 13
 Date Submitted May 25, 93

Approved _____
 Not Approved _____

SITE PLAN

- NA
- Front setback (20'-0" minimum) _____
- Rear setback (10'-0" minimum) _____
- Side setbacks (10'-0" minimum "B" and "C" lots) _____
- Square Footage 2000
- Sidewalks 4" concrete
- Driveway (asphalt or concrete) 4" concrete
- Drainage _____
- Landscaping trees & shrubs enamel/steel

NOTE: Driveway shall be constructed of asphalt or concrete and shall extend to street paving with a 12" minimum drainage pipe extended 2'-0" minimum each side of driveway.

NOTE: All drainage shall be directed away from the foundation and disposed of without flowing onto adjacent lots.

NOTE: Water meter and irrigation riser must not be disturbed without permission of Ridges Metropolitan District.

EXTERIOR ELEVATIONS

- Height (25'-0" maximum) _____
- Roof - Material Asphalt Fiberglass TAMCO Color Westford Wood
- Trim - Color Blue Gray #4934D
- Siding - Material Stucco Color #24 Dark Cinnamon #90 Apricot
 Material Brick Color APACHE (red/grey)
- Brick - Color Red Gray "Apache"
- Stone - Color _____
- Balcony None
- Porches or patios Raised
- Other _____

NOTE: All exposed flashing and metal shall be painted so as to blend into adjacent material.

APPROVED SUBJECT TO:

ACCO accepts fact that 1st floor does not meet ^{COVENANTS} side but
the overall design meets standards.

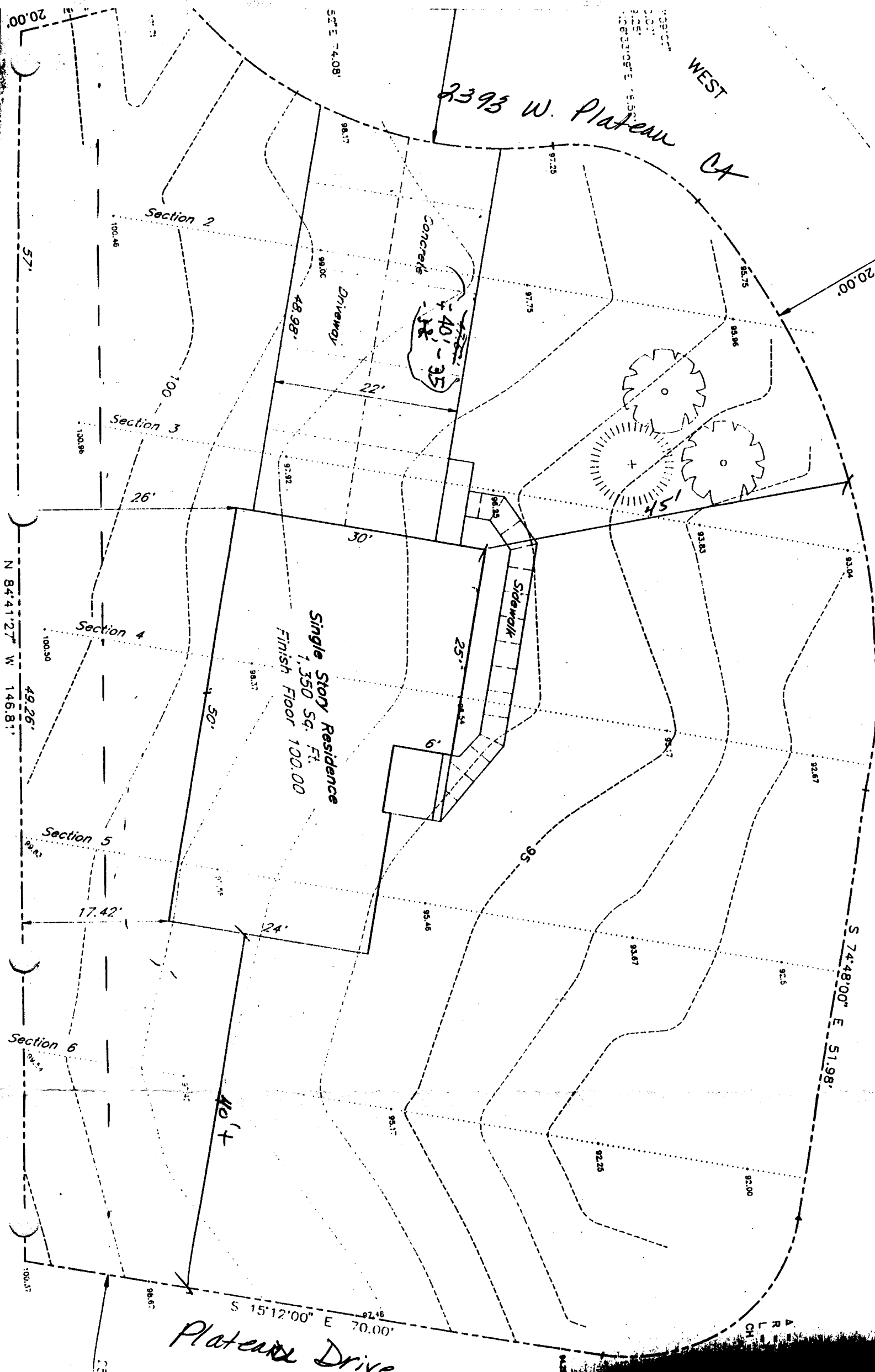
NOTE: Sewer, radon, and water permits must be obtained prior to issuance of building permit.

NOTE: ACCO makes no judgement on foundation design.

By signature below, builder or owner guarantees that improvements will be constructed as shown on this form and building plans that were submitted, including plot plan, landscaping, and drainage plan.

RIDGES Architectural Control Committee
 By [Signature]
 By Stan Riser 5-26-93
[Signature]

Builder/Realtor/Homeowner
 By _____
 Date _____



2393 W. Plateau Ct

Section 2

Section 3

Section 4

Section 5

Section 6

Single Story Residence
1,350 Sq. Ft.
Finish Floor 100.00

Driveway

Concrete

Sidewalk

Plateau Drive

WEST

ARL CH

